



Attachment 1
Findings
PA20-0132

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| 1 | GENERAL PLAN | PA20-0132 |
| <p>That the use or project proposed is consistent with the objectives, policies, and general land uses and programs specified in the General Plan adopted pursuant to the State Planning and Zoning Law.</p> | | |
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| 2 | ZONING | PA20-0132 |
| <p>That the use, activity or improvement(s) proposed, subject to the specified conditions, is consistent with the provisions of the Zoning Code, or specific plan regulations applicable to the property.</p> | | |
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| 3 | COMPATIBILITY | PA20-0132 |
| <p>That the location, size, design and operating characteristics of the proposed use will not create unusual conditions or situations that may be incompatible with other permitted uses in the vicinity.</p> | | |
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| 4 | GENERAL WELFARE | PA20-0132 |
| <p>That the application will not result in conditions or circumstances contrary to the public health and safety and the general welfare.</p> | | |
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| 5 | PUBLIC FACILITIES | PA20-0132 |
| <p>That the approval of the permit application is in compliance with Codified Ordinance Section 7-9-711 regarding public facilities (fire station, library, sheriff, etc.).</p> | | |
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| 6 | COASTAL DEVELOPMENT PERMIT 1 | PA20-0132 |
| <p>That the development project proposed by the application conforms to the certified Local Coastal Program.</p> | | |
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| 7 | COASTAL DEVELOPMENT PERMIT 2 | PA20-0132 |
| <p>That the project conforms to the public access and public recreation policies of the California Coastal Act.</p> | | |
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| 8 | COASTAL DEVELOPMENT PERMIT 3 | PA20-0132 |
| <p>That the approval of this application will result in no modification to the requirements of the certified land use plan.</p> | | |
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| 9 | COASTAL DEVELOPMENT PERMIT 4 | PA20-0132 |
| <p>That the approval of the application will result in a project which is in full compliance with the requirements of the certified land use plan.</p> | | |
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10 **CATEGORICALLY EXEMPT** **PA20-0132 (Custom)**

That the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA), under the Class 1 (*Existing Facilities*), Class 3 (*New Construction or Conversion of Small Structures*) and Class 4 (*Minor Alterations to Land*) exemptions pursuant to Sections 15301, 15303 and 15304 of the California Environmental Quality Act (CEQA) Guidelines and County of Orange procedures.

11 **FISH & GAME - EXEMPT** **PA20-0132**

That pursuant to Section 711.4 of the California Fish and Game Code, this project is exempt from the required fees as it has been determined that no adverse impacts to wildlife resources will result from the project.

12 **NCCP NOT SIGNIFICANT** **PA20-0132**

That the proposed project will not have a significant unmitigated impact upon Coastal Sage Scrub habitat and therefore, will not preclude the ability to prepare an effective subregional Natural Communities Conservation Planning (NCCP) Program.

13 **FENCE AND WALL 1** **PA20-0132**

That the height and location of the over-height walls within the front setback area will not result in or create a traffic hazard.

14 **FENCE AND WALL 2** **PA20-0132**

That the height and location of the over-height walls as proposed will not create conditions or situations that may be objectionable, detrimental or incompatible with other permitted uses in the vicinity.

15 **PARKING STANDARDS MODIFICATION** **PA20-0132**

That the modification of the driveway depth as proposed, with the additional on-site parking as proposed, will not create conditions or situations that may be objectionable, detrimental or incompatible with other residential development in the vicinity.



Attachment 2
Conditions of Approval
PA20-0132

1 **BASIC/ZONING REGULATIONS** **PA20-0132**

This approval constitutes approval of the proposed project only to the extent that the project complies with the Orange County Zoning Code and any other applicable zoning regulations. Approval does not include any action or finding as to compliance or approval of the project regarding any other applicable ordinance, regulation or requirement.

2 **BASIC/TIME LIMIT** **PA20-0132**

This approval is valid for a period of 36 months from the date of final determination. If the use approved by this action is not established within such period of time, this approval shall be terminated and shall thereafter be null and void.

3 **BASIC/PRECISE PLAN** **PA20-0132**

If the applicant proposes changes regarding the location or alteration of any use or structure, the applicant shall submit a changed plan to the Director, OC Planning, for approval. If the Director, OC Planning, determines that the proposed change complies with the provisions and the spirit and intent of the original approval action, and that the action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.

4 **BASIC/COMPLIANCE** **PA20-0132**

Failure to abide by and faithfully comply with any and all conditions attached to this approving action shall constitute grounds for the revocation of said action by the Orange County Zoning Administrator.

5 **INDEMNIFICATION** **PA20-0132**

Applicant shall defend with counsel approved by the County of Orange in writing, indemnify and hold harmless the County of Orange, its officers, agents and employees from any claim, action or proceeding against the County, its officers, agents or employees to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental documents, findings or other environmental determination, by the County of Orange, its Board of Supervisors, Planning Commission, Subdivision Committee, Zoning Administrator, Director of OC Public Works, or Deputy Director of OC Development Services concerning this application. The County may, at its sole discretion, participate in the defense of any action, at the applicant's expense, but such participation shall not relieve applicant of his/her obligations under this condition. The County may, at its sole discretion, require the Applicant to post a bond, enter into an escrow agreement, obtain an irrevocable letter of credit from a qualified financial institution, or provide other security, to the satisfaction of the County, in anticipation of litigation and possible attorney's fee awards. Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required to pay as a result of such action. The County shall promptly notify the applicant of any such claim, action or proceeding.

6 BASIC/APPEAL EXACTIONS PA20-0132

Pursuant to Government Code Section 66020, the applicant is hereby informed that the 90-day approval period in which the applicant may protest the fees, dedications, reservations or other exactions imposed on this project through the conditions of approval has begun.

7 GEOLOGY REPORT PA20-0132

Prior to the issuance of a grading permit, the applicant shall submit a geotechnical report to the Manager, Building and Safety Division, for approval. The report shall include the information and be in the form as required by the Grading and Excavation Code and Grading Manual.

8 BUILDING CODES PA20-0132

- A. This project must comply with 2019 California Codes or latest adopted California Codes.
 - B. This project is located in the High Fire Hazard area and shall comply with Chapter 7A of current adopted CBC.
 - C. Driveway to garage is to be constructed per OC Zoning Code 7-9-145.5(a)(1) & 7-9-145.5(a)(2)
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9 CONSTRUCTION NOISE PA20-0132

A. Prior to the issuance of any grading permits, the project proponent shall produce evidence acceptable to the Manager, Building and Safety Division, that:

(1) All construction vehicles or equipment, fixed or mobile, operated within 1,000 feet of a dwelling shall be equipped with properly operating and maintained mufflers.

(2) All operations shall comply with Orange County Codified Ordinance Division 6 (Noise Control).

(3) Stockpiling and/or vehicle staging areas shall be located as far as practicable from dwellings.

B. Notations in the above format appropriately numbered and included with other notations on the front sheet of the project's permitted grading plans, will be considered as adequate evidence of compliance with this condition.

10 EROSION AND SEDIMENT CONTROL PLAN PA20-0132

Prior to the issuance of any grading or building permit, the applicant shall submit an Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Building and Safety Division, to demonstrate compliance with the County's

NPDES Implementation Program and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. The ESCP shall be updated as needed to address the changing circumstances of the project site. A copy of the current ESCP shall be kept at the project site and be available for County review on request.

11 ROAD FEE PROGRAM PA20-0132

Prior to the issuance of building permits, the applicant shall pay applicable fees for the Major Thoroughfare and Bridge Fee Program listed below, in a manner meeting the approval of the Manager, Building and Safety Division.

a. San Joaquin Hills Transportation Corridor

10 DRAINAGE FACILITIES PA20-0132

Prior to issuance of grading or building permits, if determined necessary by the Manager, Building and Safety Division, drainage studies that demonstrate the following shall be submitted to and approved by Manager, Building and Safety Division:

1. All surface runoff and subsurface drainage directed to the nearest acceptable drainage facility, as determined by the Manager, Building and Safety Division

2. Drainage facilities discharging onto adjacent property shall be designed to imitate the manner in which runoff is currently produced from the site and in a manner meeting the satisfaction of the Manager, Permit Services. Alternatively, the project applicant may obtain a drainage acceptance and maintenance agreement, suitable for recordation, from the owner of said adjacent property. All drainage facilities must be consistent with the County of Orange Grading Ordinance and Local Drainage Manual.

11 PRIVATE LANDSCAPING PA20-0132

A. Prior to the issuance of precise grading permits, the applicant shall submit a detailed landscape plan for the project area which shall be approved by the Manager, Permit Services in consultation with the Manager, OC Planning. The plan shall be certified by a licensed landscape architect or a licensed landscape contractor, as required, as taking into account approved preliminary landscape plan (if any), County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, and water conservation measures contained in the County of Orange Landscape Code (Ord. No. 09-010).

B. Prior to the approval of final inspection, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan.

C. Prior to the approval of final inspection, the applicant shall furnish said installation

certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Permit Services.

Hearthside Luxury Home

August 20, 2020

County of Orange
300 North Flower Street
Santa Ana, CA 92702

RE: 1507 Emerald Bay
Lot 29
Tract 3125
APN 053-30-30

Dear Sirs:

This letter provides a written description of the project referenced above and the scope of work.

The project consists of demolition of existing residence. New 4,997 sq ft residence to be constructed with a site retaining walls, pool, reflecting pond, outdoor barbeque, exterior firepit, grading and new landscaping.

The new residence is an R-3-U-1.

At this time, we are not aware of any deviations from County standards.

If you have any questions, please feel free to contact the undersigned.

Sincerely,



Brian Bartlett, President
Hearthside Luxury Home
License #1046479
billing@hearthsideluxuryhome.com

GENERAL CONTRACTOR / CONSTRUCTION MANAGEMENT

9 Baycrest Place ♦ Dana Point, CA 92629

(949) 290-4564 office

billing@hearthsideluxuryhome.com

APPLICANT: D' ESPOSITO
ADDRESS: #1507
PROJECT: 2952 TRACT: 3125 LOT: 29
SCOPE OF WORK: NEW RESIDENCE w/ MAJOR LANDSCAPE/HARDSCAPE
SUBMITTAL: PRELIMINARY RESUBMITTAL 3
ARCHITECT: Horst Architects
Phone: (949) 494-9569 Lic. # C22660
LANDSCAPE ARCHITECT: Bud Sutton Landscape Architecture
Phone: (714) 335-9971

Architectural review by Ken Wilkins

Landscape review by James Dockstader

FINAL COMMITTEE RECOMMENDATION: APPROVAL

HISTORY OF SUBMITTALS:

• November 2019	CONCEPT	ACKNOWLEDGED
• January 2020	PRELIMINARY	DISAPPROVED
• February 2020	PRELIMINARY RESUB	DISAPPROVED
• May 2020	PRELIM RESUB 2 w/Var	DISAPPROVED

SUMMARY OF PROPOSED ARCHITECTURAL IMPROVEMENTS:

The scope of work indicated in the Submittal Application is a new residence of approximately 5,502 SF, which includes a 2-car garage. Overlays were provided. Very minor discrepancies remain. **Roof Decks remain noted as Decks. The exterior patio was raised 2' above the adjacent door /floor at Bedroom 1 and is unclear. The floor area was increased impacting the parking.**

The areas indicated on the submittal are: **EBCA calculation***

	Prelim Resub 2	Proposed	Change
• Upper/ Garage Level	1,312 SF	1,820 SF	+508 SF
• Mid Level	2,558 SF	2,602 SF*	+44 SF
• Basement	903 SF	1,078 SF	+175 SF
• Mechanical		87 SF	
• Cantilevered Deck	186.7 SF	410.8 SF*	+224.1 SF
• Supported Deck	103.5 SF	51 SF*	-52.5 SF
• Roof Deck	460.2 SF	402 SF*	-58.2 SF

SUMMARY OF PROPOSED LANDSCAPE IMPROVEMENTS:

Proposed landscape improvements include: Spa, pool, firepit, walls, paving, planting.

STAFF ARCHITECTURAL FINDINGS:

1. **ARCHITECT STAMP (Section B.2):** The plans are stamped and signed. **This will be verified at each submittal.**
2. **ARCHITECTURAL REVIEW - SUBMITTAL COMPLETENESS (Section B.5):** Submittal is generally complete enough for review. **OK**
3. **LOT COVERAGE (Section C.1):** A structure shall not exceed 40% coverage of the lot. Lot coverage shall be calculated as the total area of the roof less the overhang including anchored decks. Elevated surfaces (patios, pools, planters) greater than 5'-0" above finished grade are included in lot coverage. Cantilevered decks and covered below grade structures less than 6'-6" in height are not included.

A signed copy of the 1960 topo plan was submitted with the interpolated high point by Toal. The lot coverage is stated on the Submittal Application as $3,034.65 / 7,600 = 39.9\%$.
Revisions have been made. PLUS portions of elevated patios, pools and other elements > 5'-0" above finish grade. Small portions of landscape elements that also count towards Lot Coverage were identified. Refer to Staff Landscape Findings.
4. **SETBACKS (Section C.2):** The existing structure appears to respect the 5'-0" minimum setbacks on all four sides. **The Garage face is indicated at the minimum 5'-0" front setback line. Verify the Garage face finish materials and offsets that "may" encroach into the setback as shown on the rendering.**

The Committee may require greater setbacks.
5. **UTILITY EASEMENTS (Section C.3):** Portions of retaining walls, stairs and planters are allowed within the Utility Easements. **These will be reviewed by the Emerald Bay Service District prior to Final approval.**

Structural shoring plan provided. An extra caisson is shown near the Torrey Pine that is not required. There is not PL wall in this location.

Shoring Detail 6/AD1 was provided which indicates a 3'-0" minimum clearance between property line and structure caissons.

As part of the Service District review note: projection of caissons or any below grade structures including shoring structures have recently been limited to project 24" into the utility easements. It has been discussed that a clear zone of 3'x15' is large enough and deep enough for a sewer main, water main, or 30" diameter storm drain. This is only a guideline and will be reviewed on a case by case basis.
6. **PARKING (Section C.4):** The parking requirement shown on the Submittal Application is for 4 spaces with *no calculation offered* (205 SF added). **A gym was added at the Basement level that adds to parking requirement.** The garage area used for required parking (430 SF) is not included in the parking calculations. With 87 SF of mechanical space not counted, EBCA calculation is $(1,820 + 2,602 + 1,078 - 430 = 5,070 \text{ SF})$. This requires a two-car garage plus three additional off-street parking spaces (one may be compact). **Only four spaces (2 in the garage and 2 in the driveway) are provided.**

7. **SERVICE YARD (Section C.5):** Indicated adjacent to the North sideyard. **OK** The stairs are not coordinated on the Civil, Landscape and Architectural plans.
8. **BACKFLOW PREVENTION DEVICES (Section C.8):** New residences and renovations/remodels/additions which include the addition of 2 or more plumbing fixtures require a backflow prevention device. **The Emerald Bay Service District will review at time of Final submittal.**
9. **NUMBER OF STORIES (Section D.1):** No structure shall exceed two stories. First Basement Rule: If the elevation of the finished floor level directly above a basement is more than 6 feet above Natural Grade for more than 50% of the perimeter or is more than 12 feet at any point then it shall be considered a story. Topo information was provided at the roof level that EBCA applied to the basement level. The structure appears to be in compliance with the first basement rule. **OK**
10. **BUILDING HEIGHT (Section D.2):** The maximum height envelope for this lot is "15 feet above the highest level of the Lot or Parcel and shall not exceed 20 feet above Natural Grade" as defined by the 1960 Topo Plan. Toal has interpolated the 1960 topo highest point of the lot to be 412.75. **The previous catenary roof structure was abandoned. This submittal includes a new roof design.**

It has been noted that the center roof skylight and adjacent flat roof is pushing the 15' height maximum. Information on the flush skylight was provided but noted that the skylight will be sloped at 1/4" / FT. The section on sheet A.4.2 shows a center break on the skylight requiring it to slope in two directions. This is unclear with the information provided.

Roof eaves have been pulled back and appear to be within the 20' height maximum. **OK**

Final construction must be below the maximum allowable. **OK**

The proposed chimney was noted to be at the minimum required by Code. Over height chimneys are at the discretion of the Committee with consideration for impact to views and general aesthetics but must be kept to the minimum required by Code. **OK**
11. **COMPATIBILITY (Section D.3):** Materials identified include stone cladding, smooth trowel stucco, wood screens, wood wall cladding and garage door, glass railings and a naturally weathered zinc roof.

The Committee has previously noted that many different guideline requirements are being pushed past threshold limits and/or interpreted in ways not consistent with past practice and intent. When design struggles to be consistent with multiple guidelines and with realistic construction expectations it is more often than not a sign that proposals are inconsistent neighborhood compatibility and sound general plans of development in addition to the technical portions of guidelines. The Committee also notes that multiple guidelines are inter-related and when serious attention is given to solving some of the non-conforming proposals then more and more other non-conforming elements become resolved.

The Committee appreciates that the Applicant has listened to the Committee to address its previous comments with regards to rear setbacks, height, Lot Coverage

and minimizing the impact on neighbors. Although there are remaining items to be addressed in this submittal, the Committee believes they can be addressed and appreciates the continued cooperation to bring the design into compliance with the Architectural Regulations.

12. **NON-CONFORMING STRUCTURES (Section D.4):** A pre-existing, non-conforming Structure or portions of a Structure may be retained where the proposed alteration does not increase the square footage by 25% or more, increase the height of the Structure such that it is above the height envelope for the Tract and there is no change to the existing broad style of architecture.

All elements must conform to the current Architectural Regulations.

Existing non-conforming elements:

- N/A

New non-conforming elements:

- Parking
- Lot Coverage

13. **ROOFS (Section D.5):** The intent of the roof requirements includes that design is consistent with prevailing appearances within the Community.

Roof pitch: Noted as 3:12 **OK**

Flat roof: Roof slopes less than 3:12 are considered flat. The maximum area of flat roofs is 15% of the total aggregate roof area. The overlay indicates 241.5 SF of flat roof with 2,320 SF total = 10% **OK**

Roof materials: Naturally weathered zinc, class 'A'. **OK**

Roof Equipment: None shown. **OK**

Parapet: None shown. **OK**

14. **ROOF DECKS (Section D.6):** A roof deck is considered to be a covered or uncovered exterior space constructed over any part of the residence Structure or garage. Roof decks are not allowed except when the deck is directly accessible from an interior living space on the same level and the area of the deck is equal to or less than the area of the living space from which access is taken. Roof Deck appear to be less than the interior area served. **OK**
Roof Decks are not labeled as Roof Decks.

15. **MATERIALS AND COLORS (Section D.7):** Actual materials samples and exterior colors are required to be submitted on a board no smaller than 11 x 17 and no larger than 18 x 24. A color rendering must be included on the board to clearly identify the location of all proposed materials and colors. **The Committee will review the color and materials at the Final review.**

16. **WINDOWS AND DOORS (Section D.8):** **Aluminum windows and doors noted. OK**

17. **ANTENNAS (Section D.9):** None shown. **OK**

18. **SOLAR PANELS (Section D.10):** None shown. **OK**

19. **SKYLIGHTS (Section D.11): Note as non-reflective.**
20. **ARCHITECTURAL EXTERIOR LIGHTING (Section D.12):** Light fixtures must be down lit or shielded to prevent glare or be a nuisance to neighbors. Light fixtures must be complementary to the architectural style of the residence.
No elevations with light fixture locations were provided. Details of wall mounted and recessed down lights are shown on sheet AE.1. Drawings note fixtures will be integral designed fixtures – not exposed. This will be confirmed at Final.
Cutsheets will be required prior to Final submittal.
21. **GUTTERS AND DOWNSPOUTS (Section D.13):** Shown on roof plan and detail 2/AD1 as recessed internal gutters. **Identify locations for downspouts. Identify method of drainage at raised Decks.**
22. **OTHER:**
 - The Height Variance was abandoned and the designed revised to fit within the height envelope
 - No neighbor comments were received.
 - As the construction documents and details are developed these are to be resolved within the requirements of the Architectural Regulations. The Final Submittal is to be in substantial compliance with the Preliminary submittal with the remaining outstanding items to be provided along with the full Construction Document drawings.
 - **Workshops were held with the Architects and Landscape Architect Members of the Committee after the May Architectural Committee meeting in preparation for this submittal.**

STAFF LANDSCAPE FINDINGS:

1. **SUBMITTAL COMPLETENESS (Section B.5):** Submittal must be generally complete enough for review. **OK**
2. **LANDSCAPE STRUCTURES ARE SET BACK 5' FROM LOT BOUNDARIES (Tract Schedule A Exhibits):** Except for fences and walls, structures are 5' from PL. **OK**

UTILITY ELEMENTS / EBSD SUBMITTAL: Evidence of EBSD review and approval will be required at the time of final submittal. **Submit at time of final**

3. **LOT COVERAGE (Sec C.1):** Landscape features such as raised patios and/or freestanding structures must not create a lot coverage overage. **At the side entry to the casita, there is some lot coverage that should be counted...the landing outside the door is more than 5' above the paving below.**

On architectural drawings spot elevations 417.5 (casita entry) and 414 (below in side yard) aren't consistent with elevations shown on civil drawings.

4. **SITE DRAINAGE (Sec C.6):** A conceptual grading and drainage plan must be included, generally showing adequate site drainage. **OK**

5. CURBS AND GUTTERS (Sec C.7): For new residences and major remodels, plans must show complete replacement of curb and gutter along entire street frontage with reference to EBSD requirements. **OK, except reference to Laguna Beach standards must be replaced by reference to Service District standards.**
6. BACKFLOW PREVENTION (Sec C.8): A backflow prevention device must be installed for proposed irrigation systems and must not be located on Association Property. **Show at time of final submittal**
7. EXTERIOR MECHANICAL EQUIPMENT (Sec E.1): Mechanical equipment shall not be located in easement areas. **Pool equipment is shown out of the sideyard setback, mostly under building (OK). Area shown for pool equipment, 30" x 42" is not realistic.**

Three AC condensers are shown in the same room under the building.

Mechanical spa equipment appears to be screened from view. **OK**

Noise impacts on adjacent neighbors must be avoided and/or minimized. **Reviewed at time of acoustical report submittal.**

An acoustical report prepared by a qualified expert is submitted showing that anticipated noise impacts are less than the County maximum at the nearby property lines. **Submit at time of final submittal**

Acoustical report assumptions and recommendations are to be shown on the submittal drawings. **Reviewed at time of final**

8. EXTERIOR LIGHTING (Sec E.2): Landscape lighting proposals must be shown and must appear to limit glare and annoyance. **Several downlights are shown for the tree in the parking area (OK). Five uplights are shown on the rear slope.**
9. FENCES, WALLS, AND HEDGES (Sec E.3):

In front yard setback areas fences, hedges, and walls are to be 4' high or less as compared to adjacent top of curb elevations. For corner lots, the maximum height is 3'. **OK**

Between the front yard setback and the house structure fences, walls, hedges, railings or other features are to be 4' high or less compared to finished grade. **OK**

Front yard improvements address issues of visual impact, compatibility, and contributions to common visual streetscape. **A tree has been added within off-street parking area, and wider planting areas are shown in front of low wall. Still, amount of planting is less than is generally apparent for the street. Narrow planting shown on planting plan at sides of area is inconsistent with parking shown.**

In side yard and rear yard setback areas fences and/or walls must be 6' high or less as compared to existing grade along neighbor's side of property line. **In north sideyard,**

required guardrail at and near service yard appears to be overheight compared to neighbor's grade. In south sideyard, required railing appears to be overheight. Also, civil drawings show a railing on top of the wall with 398 elevation and the railing will be overheight in the side yard. Also, the railing leading from the south sideyard (at FS elevation 407.0) toward the pool deck will be overheight in the side setback.

Generally, pool enclosure and guardrails and handrails are not shown clearly and in conforming fashion.

Property line fences, walls, and footings must be constructed completely on the subject property. **OK**

Block walls are finished on all sides. **Unclear**

At the street fences, walls, and railings must be held back a minimum of 18 inches from face of curb. **OK**

10. PLAY EQUIPMENT AND PLAY HOUSES (Sec E.5): Issues of noise and visual impact have been adequately addressed. **None proposed. NA**

11. MAILBOXES (Sec E.6): Design and location must be shown. **OK**

12. OUTDOOR FIREPLACES, FIREPITS, COOKING ELEMENTS (Sec E.7): Outdoor fireplaces, BBQs, and ovens shall be a minimum of 5' clear of any property line and must be gas only. **OK**

The minimum setback for any open firepit shall be a minimum of 10'. **OK**

13. WATER FEATURES, SWIMMING POOLS, SPAS (Sec E.8): Pool and spa structures are located entirely outside the 5' utility easement area. **OK**

Issues of noise and visual impact must be adequately addressed. **OK**

Security/pool fencing is shown. **Unclear. Not shown...enclosure should be studied in the context of the 6' height restriction within setback areas.**

14. PARKWAY ACCESS (Sec E.12): Planting and paving within 18-24" of face of curb shall allow for convenience of on-street parking **OK**

15. IMPROVEMENTS ON EBCA PROPERTY Section C, Part 21): Trees, hedges, and structures are not proposed on EBCA property. **OK**

16. POTENTIAL OBSTRUCTION OF VIEW (Sec A.5): Trees and shrubs must not unreasonably block a neighbor's view. **OK**

17. PREPARATION BY LANDSCAPE ARCHITECT (Sec B.2): **OK**

18. FUEL MODIFICATION (Sec E.14): Highly flammable target species shall not be proposed.
OK

Perimeter properties appear to be consistent with Orange County requirements for Zone A.
OK

19. OTHER:

- Civil drawings show guardrails on top of the rear area retaining walls below the pool and patios. These will be 8' to 9.5' above grade but do not appear to have been staked.
- In general, the pool is set back significantly compared to previous submittals.
- **A note has NOT been added to the civil drawings to protect the adjacent Torrey Pine during construction, based on Applicant's conversation with the neighbor. Such notes are sufficient for preliminary submittal, but an arborist's report must be submitted at time of final describing existing conditions, likelihood of survival given adjacent excavation, and recommendations for protection and monitoring.**
- In general, pool is set back significantly compared to previous submittals. The Committee reviewed staking of the pool and patio and observed that rear elements were much improved in terms of relationship to street below
- Civil drawings don't match architectural plans with respect to walls and caissons near the Torrey Pine in back, the north service yard, and to elevations near the casita entry.
- The distance between the outside of the pool gutter and the rear property line should be shown.
- All railings, guardrails, and pool enclosure must be clearly shown and must be shown to comply with height restrictions
- Civil Drawing doesn't show stepping and tops of walls in sideyard areas, relying on wall profile on separate sheet. Once railing designs are resolved show steps and tops of wall elevations on civil plan.

FINAL COMMITTEE RECOMMENDATIONS:

1. The Committee initially recommended disapproval of the plans as submitted. The following items were adequately addressed; therefore, the Committee voted to **Approve** the project as revised.
 - a. The Committee viewed the staking and takes no exception
 - b. Identify Roof Decks as such. **Shown OK**
 - c. Clarify the raised deck off Bedroom 1 (adjacent to the pond) works. See section. **A2.2 show steps at bedroom added OK**
 - d. Bring parking into conformance. **Exercise room at basement removed OK**

- e. Verify that offsets and finish materials at the Garage will not encroach into the front setback. Pull garage face back to allow for thickness of finish materials as necessary. **Shown correctly OK**
- f. Identify skylights as non-reflective. **Note added OK**
- g. Clarify the center break shown on the skylight or otherwise correct the pitch to show that it can stay within the height envelope. **Clarified OK**
- h. Identify locations for downspouts and method of drainage at raised Decks. **Deck drains with internal downspouts OK**
- i. Coordinate the Civil, Architectural and Landscape plans at the Service Yard. **Updated OK**
- j. Remove caisson shown on the Shoring plan near the Torrey Pine that is no longer required. **Removed OK**
- k. Regarding landing at casita entry, once discrepancies are resolved between civil and architectural elevations if there is still more than a 5' difference between the paved landing and the paving below include in lot coverage calculation. (On architectural drawings spot elevations 417.5 (casita entry) and 414 (below, in the side yard) aren't consistent with elevations shown on civil drawings) **Corrected OK**
- l. On Civil drawings, delete reference to Laguna Beach standards for curb replacement, include reference to EBSD requirements. **OK**
- m. Show realistic, reasonable amount of area for pool equipment **Updated OK**
- n. Delete landscape uplights on rear slope **Removed OK**
- o. Show all pool enclosure, guardrails, and handrails. **Shown** Delete portions of railings (north sideyard, south sideyard, at pool deck in south sideyard, on top of lower wall at elev 398 in south sideyard, etc.) which exceed height restrictions. **Deleted OK** Gate shown at north service yard cannot open into steps. **Changed to sliding OK**
- p. Add note to Civil drawings to protect in place the adjacent Torrey Pine. An arborist's report must be submitted at time of final describing existing conditions, likelihood of survival given adjacent excavation, and recommendations for protection and monitoring. Recommendations must be included on all site drawings. **OK**
- q. Revise drawings so that Civil drawings and architectural drawings are consistent with each other (including with respect to walls near the Torrey Pine in back, the north service yard, and to elevations near the casita entry) **OK**
- r. On Architectural drawings, show a dimension between the outside face of the pool gutter and the rear property line. **Shown OK**

- s. On Civil plan C-1 regarding retaining walls in sideyards, show wall step locations and tops of wall elevations for each segment so that conformance with height restrictions for walls/railings can be verified. **OK**
3. At time of FINAL submittal:
- a. Submit drawings and the application to EBSD for review. Provide evidence of EBSD review and approval. The Preliminary plans must be developed in sufficient detail to confirm that there will be no structural encroachments into the 5' easement. If caissons are required for the foundation, they must be shown on the Final submittal for review by the Service District Engineer.
 - b. Submit an arborist's report which describes the existing conditions of the Torrey Pine on the adjacent property at the rear slope, the impact of improvement proposals, likelihood of survival, and recommendations for protection and monitoring. All recommendations must be shown on architectural and civil drawings. Modify excavation/retaining proposals if need be.
 - c. For review of proposed changes to the existing color and materials, a board must be submitted of actual color and material samples, not photographs.
 - d. Cutsheets for exterior architectural light fixtures demonstrating they will not create glare or light nuisance to neighbors and that they are complementary to the architectural style of the residence.
 - e. An acoustical report prepared by a qualified expert must be submitted showing that anticipated noise impacts are less than the County maximum at the closest property line. Submitted plans must be consistent with the recommendations of the report.
4. Note:
- a. If a Member would like to appeal the recommendation of the Architectural Committee or determination of the Board, please to the CC&Rs, ARTICLE VIII, Section 5 – Notice and Hearing Requirements.
 - b. Approvals are valid for one year. See extension request requirements in the Architectural Regulations for additional information.
 - c. All future submittals must be accompanied by a detailed scope of work and highlighting revisions to previous scope of work, if any.
 - d. If it becomes necessary or desirable for the Association to utilize its easements within private property boundaries, it is the responsibility of the owner of such property to remove improvements (whether previously approved by the Association or not) to provide access and to replace or repair improvements subsequent to Association access at no cost to the Association.
 - e. Any changes to the Final approved plans must be submitted for Architectural Committee's review prior to construction.

- f. The Committee reserves the right to reclassify a project at any time before or after construction begins.

Horst Noppenberger (Architect); Iman Amin (Architect); David Frith (Architect); Mike Rafferty (Owner Representative) and Louis D'Esposito (Owner) were in attendance via videoconference to discuss the submittal.

At their meeting on September 1, 2020 the Board voted to approve the recommendation of the Architectural Committee.



SHEET INDEX	
TS 1	TITLE SHEET
C-1	PRELIMINARY GRADING PLAN
C-2	PRELIMINARY SITE WALL PROFILE
A1.1	SITE PLAN
A1.2	ROOF PLAN
A1.3	STAKING PLAN
A2.1	BASEMENT FLOOR PLAN
A2.2	MID LEVEL FLOOR PLAN
A2.3	UPPER LEVEL FLOOR PLAN
A3.1	EXTERIOR ELEVATION - NORTH & SOUTH
A3.2	EXTERIOR ELEVATION - EAST & WEST
A4.1	SECTION CUT - A & B
A4.2	SECTION CUT - C
AE1	EXTERIOR LIGHTING PLAN

GENERAL NOTE

1. ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, AND ORDINANCES AND AS SPECIFIED BY ALL BY ALL GOVERNING AUTHORITIES WHERE APPLICABLE. REFERENCE IS TO THE LATEST ACCEPTED EDITION OR REVISION. IN THE EVENT OF CONFLICT WITH CODE REQUIREMENTS, THAT CODE REQUIREMENT OR NOTE WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE.
2. THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS, OR WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
4. DIMENSIONS ARE FROM FACE OF STUDS OR TO CENTER OF WALL AS INDICATED ON DRAWINGS, UNLESS NOTED OTHERWISE.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. WALLS NOT DIMENSIONED ARE TO ALIGN WITH EXISTING WALLS OR BE ABUTTED OR APPLIED TO EXISTING WALLS PER DRAWINGS. DOORS NOT DIMENSIONED AND SHOWN JAMB TIGHT SHALL BE SET 3" FROM PERPENDICULAR WALL TO OUTER EDGE OF DOOR JAMB.
6. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
7. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE AND PROVIDE NECESSARY BRACING PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
8. THE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AS WELL AS THE DRAWINGS OF OTHER CONSULTANTS, ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF WORK SHOWN ON THE DRAWINGS OF CONSULTANTS. THE CONTRACTOR SHALL BRING ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS AND NOT BROUGHT TO THE ARCHITECTS ATTENTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
9. PRIOR TO PERFORMANCE OF WORK, THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS FOR HIS TRADE THAT CANNOT BE FULLY GUARANTEED.
10. CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL OPENINGS WITH ALL DRAWINGS AND MANUFACTURED ITEMS WHERE APPLICABLE.
11. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION, MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.
12. THE CONTRACTOR HEREIN AGREES TO REPAIR OR REPLACE ANY OR ALL WORK, TOGETHER WITH ANY OTHER ADJACENT WORK WHICH MAY BE DISPLACED IN CONNECTION WITH SUCH REPLACEMENT, THAT MAY PROVE TO BE DEFECTIVE IN WORKMANSHIP OR MATERIALS WITHIN A PERIOD OF ONE YEAR FORM THE DATE OF ACCEPTANCE, ORDINARY WEAR AND UNUSUAL ABUSE OR NEGLIGENCE EXCEPTED.
13. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, LANDSCAPING, MATERIALS, ETC., DURING CONSTRUCTION. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES.
14. THE CONTRACTOR SHALL ON A DAILY BASIS KEEP THE PREMISES FREE FORM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS, OR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS FROM IN AND ABOUT THE BUILDING AND LEAVE THE PREMISES "BROOM CLEAN".
15. ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS BY THE CONTRACTOR OR OWNER WITHOUT THE ARCHITECTS APPROVAL RELEASES THE ARCHITECT OF RESPONSIBILITY AND LIABILITY IN CONNECTION WITH ALL WORK SO INVOLVED.
16. CLARIFICATIONS ON AND/OR INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL CHARGES WILL NOT BE GRANTED BASED ON CLAIMS OF INCOMPLETE, INACCURATE, OR INCONSISTENT DRAWINGS AND SPECIFICATIONS.
17. PRIOR TO ANY EXCAVATION, A MEETING WILL BE HELD ON SITE THAT WILL BE ATTENDED BY THE PROJECT ENGINEER, GEOLOGIST, PROJECT BUILDING INSPECTOR, GENERAL AND SHORING CONTRACTORS.

18. A CAL OSHA PERMIT IS REQUIRED WHERE EXCAVATIONS EXCEED 5FT AND A COPY OF THE PERMIT SHALL BE SUPPLIED TO THE CITY PRIOR TO ISSUING A BUILDING PERMIT.
19. PROJECT IS IN COMPLIANCE WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24).
20. ALL NEW UTILITIES WILL BE UNDERGROUND TO NEAREST UTILITIES POLE.
21. CONSTRUCTION DUST CONTROL: DURING CONSTRUCTION DUST CONTROL MEASURES SHALL BE REQUIRED. GRADING WILL BE DISCONTINUED DURING FIRST-STAGE SMOG ALERTS & SUSPENDED DURING PERIODS OF HIGH WIND (OVER 15mph). ALL HAULING TRUCKS SHALL HAVE LOADS COVERED OR WETTED & LOADED BELOW THE SIDEBOARDS TO MINIMIZE DUST.
22. THE RESPONSIBLE CERTIFIED GEOTECHNICAL ENGINEER WILL INSPECT AND APPROVE ALL GRADING AND EXCAVATIONS PRIOR TO PLACEMENT OF FORMS, REINFORCING STEEL OR CONCRETE. IN CASES INVOLVING ENGINEERED FILL, A SOILS ENGINEER SHALL PROVIDE THE INSPECTION AND APPROVAL.
23. ALL EAVES/PROJECTIONS TO BE ONE HOUR FIRE RESISTIVE, HEAVY TIMBER OR CONSTRUCTED ON NON-COMBUSTIBLE MATERIALS. THERE SHALL BE NO OPENINGS IN THE FIRE RESISTIVE CONSTRUCTION (I.E. NO EAVE VENTS), AND THE FIRE RATING MUST BE MAINTAINED AROUND RECESSED LIGHTING.
24. ALL ROOF/ EAVE MATERIALS TO BE "CLASS A" RATED
25. THE ENTIRE STRUCTURE, INCLUDING EXTERIOR TRELLIS, SHALL BE FULLY SPRINKLERED TO NFPA13 STANDARDS.

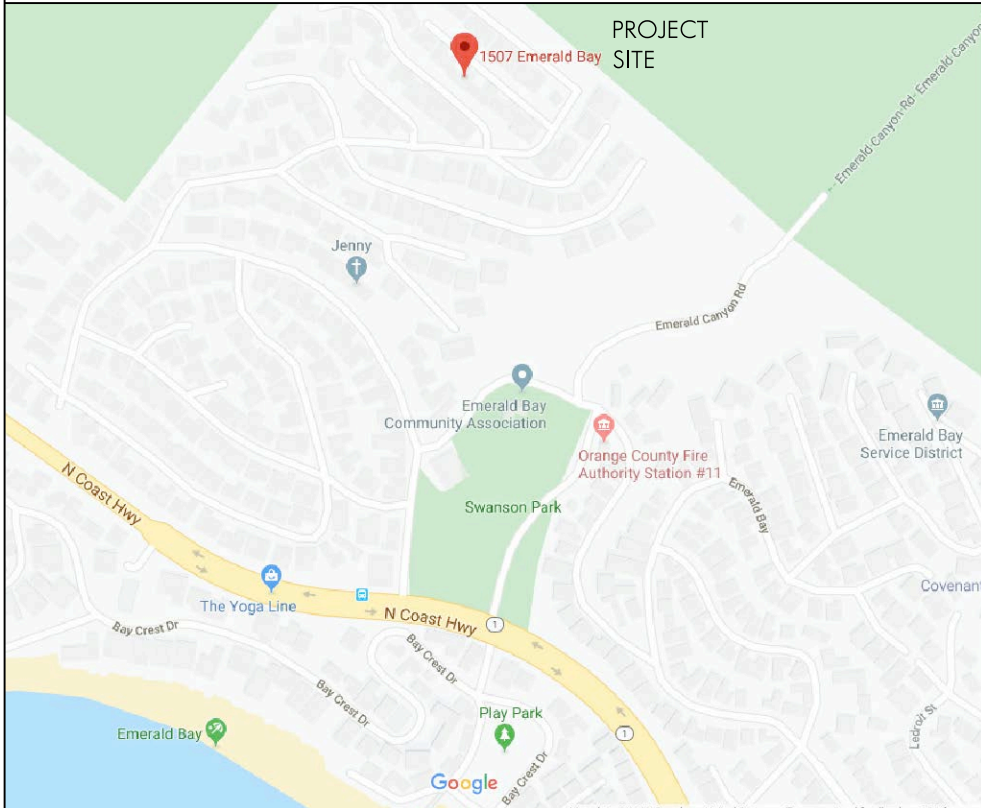
COUNTY OF ORANGE NOTES

- 1.THE PERMIT APPLICATION FOR THIS PROJECT IS DEEMED TO HAVE BEEN EXPIRED 180 DAYS AFTER THE DATE FILING. CONTACT COUNTY BUILDING DEPARTMENT TO OBTAIN WRITTEN 180-DAY EXTENSION(S). [CRC R105.3.2]
2. THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND; OR OBTAIN THE NECESSARY PERMITS FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA, 714-558-4451). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.
3. NEW ONE-FAMILY DWELLINGS SHALL HAVE AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH CRC SECTION R313.3 OR NFPA 13D. SUBMIT THREE SETS OF AUTOMATIC SPRINKLER PLANS TO OFCA FOR APPROVAL (714) 573-6100 [CRC R313]
4. THIS SUPPORTING CONSTRUCTION OF FLOOR ASSEMBLIES WITH FIRE RESISTANCE RATED BY SECTION R302.3 SHALL BE OF EQUAL OR GREATER FIRE RESISTANCE RATING THEN THE FIRE RATED ASSEMBLY BEING SUPPORTED. [CRC R302.3.1]
5. THROUGH PENETRATIONS OF FIRE RESISTANCE RATED CONSTRUCTION SHALL BE IN ACCORDANCE WITH CRC SECTION R302.4.1 OR R302.4.1.2.
6. MEMBRANE PENETRATIONS OF FIRE RATED CONSTRUCTION SHALL BE IN ACCORDANCE WITH CRC SECTION R302.4.2.
7. FIRE BLOCKING IS REQUIRED IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY THE AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIRS AND LANDING, OPENINGS AROUND VENTS, PIPES, DOTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES. [CRC R302.1.1]
8. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY. [CRC R317.1, ITEM1]
9. SILLS AND SLEEPERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY THAT IS IN DIRECT CONTACT WITH THE GROUND AND GRIDERS WITH LESS THAN 1/2" CLEARANCE TO MASONRY AND CONCRETE SHALL BE PRESSURE-TREATED OR NATIONALLY DURABLE TO DECAY. [CRC R317.1, ITEM 3&4]
10. FIELD CUTTING ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWAP M4. [CRC R317.1.1]
11. THE MIN. WIDTH OF HALLWAYS SHALL NOT BE LESS THAN 36". [CRC R311.4]
12. AN ELEVATOR PERMIT WILL BE REQUIRED FROM THE ELEVATOR DIVISION OF CAL/OSHA
13. IT IS THE CONTRACTOR OR OWNER RESPONSIBILITY TO PROVIDE ONE HARD SET OF PLANS WITH THE COUNTY APPROVAL STAMP IN THE FIELD FOR THE INSPECTOR TO VIEW.

ABBREVIATIONS

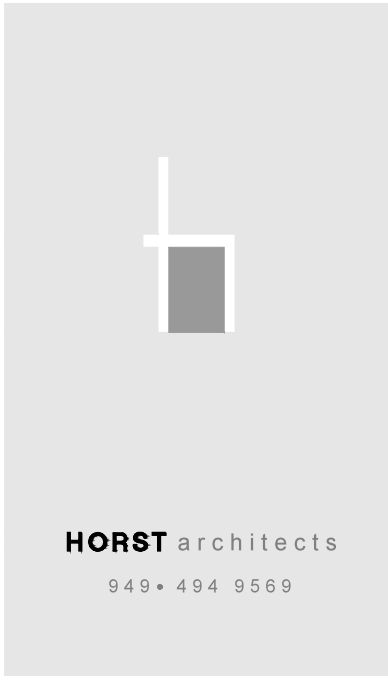
A.B. ANCHOR BOLT	EA. EACH	JAN. JANITOR	R.O.W. RIGHT OF WAY
ABV. ABOVE	ELEC. ELECTRICAL	JT. JOINT	S. STAINLESS
A.C. ASPHALT CONCRETE	ELEV. ELEVATION	KIT. KITCHEN	S.C. SOLID CORE
A.F.F. ABOVE FINISH FLOOR	E.E.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	L. LENGTH	SCH. SCHEDULE
AL. ALUMINUM	EQ. EQUIP.	LAV. LAVATORY	SECT. SECTION
ALT. ALTERNATE	EQUP. EQUIPMENT	M.C. MEDICINE CHEST	SH. SHELF
APP. APPROXIMATE	ESMT. EASMENT	M.O. MASONRY OPENING	SHGT. SHEATHING
ARCH. ARCHITECTURAL	EXH. EXHAUST	M.S. MASONRY	SHWR. SHOWER
BD. BOARD	EX. EXISTING	MAX. MAXIMUM	SK. SIMILAR
BLW. BELOW	EXP. EXPOSED	MECH. MECHANICAL	SPEC. SPECIFICATIONS
BET. BETWEEN	FN. FIELD MARKING	MED. MEDICAL	SQ. SQUARE
BLDG. BUILDING	FO.C. FACE OF CONCRETE	MFG. MANUFACTURER	ST. STREET
BM. BEAM	FO.M. FACE OF MASONRY	MIN. MINIMUM	STD. STANDARD
BOT. BOTTOM	FO.S. FACE OF STUD	MISC. MISCELLANEOUS	STL. STEEL
BVN. BEYOND	FRAG. FRAMING	MTD. MOUNTED	STN. STONE
BW. BOTH WAYS	FDN. FOUNDATION	MTL. METAL	STUC. STUCCO
C.I. CEILING JOISTS	FIN. FINISH	N. NEW	STRUCT. STRUCTURAL
C.M.U. CONCRETE MASONRY UNITS	FLR. FLOOR	N.C. NOT IN CONTRACT	SYM. SYMMETRICAL
C.O. CLEAR OPENING	FT. FOOTING	N.T.S. NOT TO SCALE	T&B. TOP AND BOTTOM
CAB. CABINET	GA. GARAGE	NAT. NATURAL	T&G. TONGUE AND GROOVE
CEN. CEILING	GA.V. GALVANIZED	O.C. ON CENTER	T. TREAD, TEMPERED GLASS
CER. CERAMIC	GFF. GARAGE FINISH FLOOR	O.O. OUTSIDE DIAMETER	TC. TOP OF CONCRETE / CURB / CHIMNEY
COL. COLUMN	GFI. GROUND FAULT INTERRUPTOR	OPN. OPENING	TD. TOP OF DECK
CONC. CONCRETE	GL. GLASS	OPP. OPPOSITE	TT. TOP OF PLATE
CONN. CONNECTION	G.L.F.C. GLASS FIBER REINFORCED CEMENT	PA. PAINTING AREA	TT. TOP OF TRELLIS
CONTR. CONTRIBUOUS	GR. GRANITE	PL. PLATE	TR. TOP OF ROOF
CONTR. CONTRACTOR	GRD. GRADE	PLAS. PLASTER	TRM. TOP OF HANDRAIL
D. DEPTH	GYP. GYPSUM BOARD	PV. PLYWOOD	TW. TOP OF WALL
D.F. DRINKING FOUNTAIN, DOUGLAS FIR	H.A. HOLLOW METAL	PO. POURED	TEL. TELEPHONE
D.S. DOWNSPOUT	H.C. HOLLOW CORE	PR. PAPER	THK. THICK
DB. DOUBLE	H.D. HIGH DENSITY HOLLOW DOWN	R. RADIIUS, RAFTER	UN.L.O. UNLESS NOTED OTHERWISE
DET. DETAIL	HDW. HARDWARE	R.D. ROOF DRAIN	UR. URINAL
DN. DOWN	HR. HOUR	R.O. ROUGH OPENING	V.E. VENT PIPE
DR. DOOR	HT. HEIGHT	R.R. ROOF RAFTER	V.T.R. VENT THROUGH ROUGH
DWG. DRAWING	HT. HEATER	R.S. ROUGH SAWN	W. WIDE, WIDTH
DWR. DRAWER	I.D. INSIDE DIAMETER	RA. RETURN AIR	W/ WITH
EN. EDGE MARKING	IN. INCH	REQ. REQUIRED	W.C. WATER CLOSET, WALL COVERING
E.V. EACH WAY	INS. INSULATION	R. ROUGH	WO. WOOD
	INT. INTERIOR	RM. ROOM	WP. WATERPROOF
			WR. WATER RESISTANT

VICINITY MAP



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D'ESPOSITO RESIDENCE
1507 Emerald Bay, Laguna Beach, CA 92651

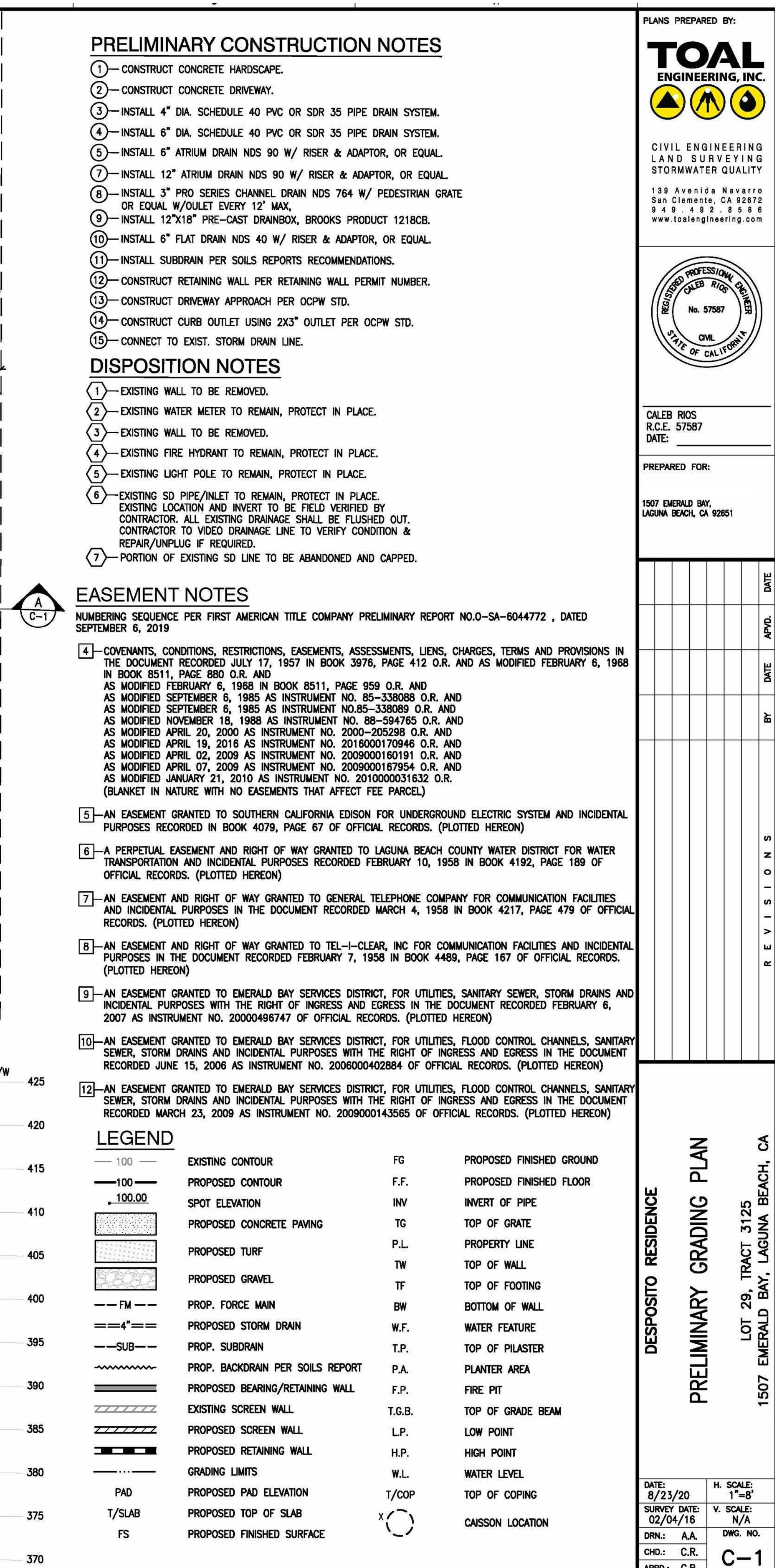


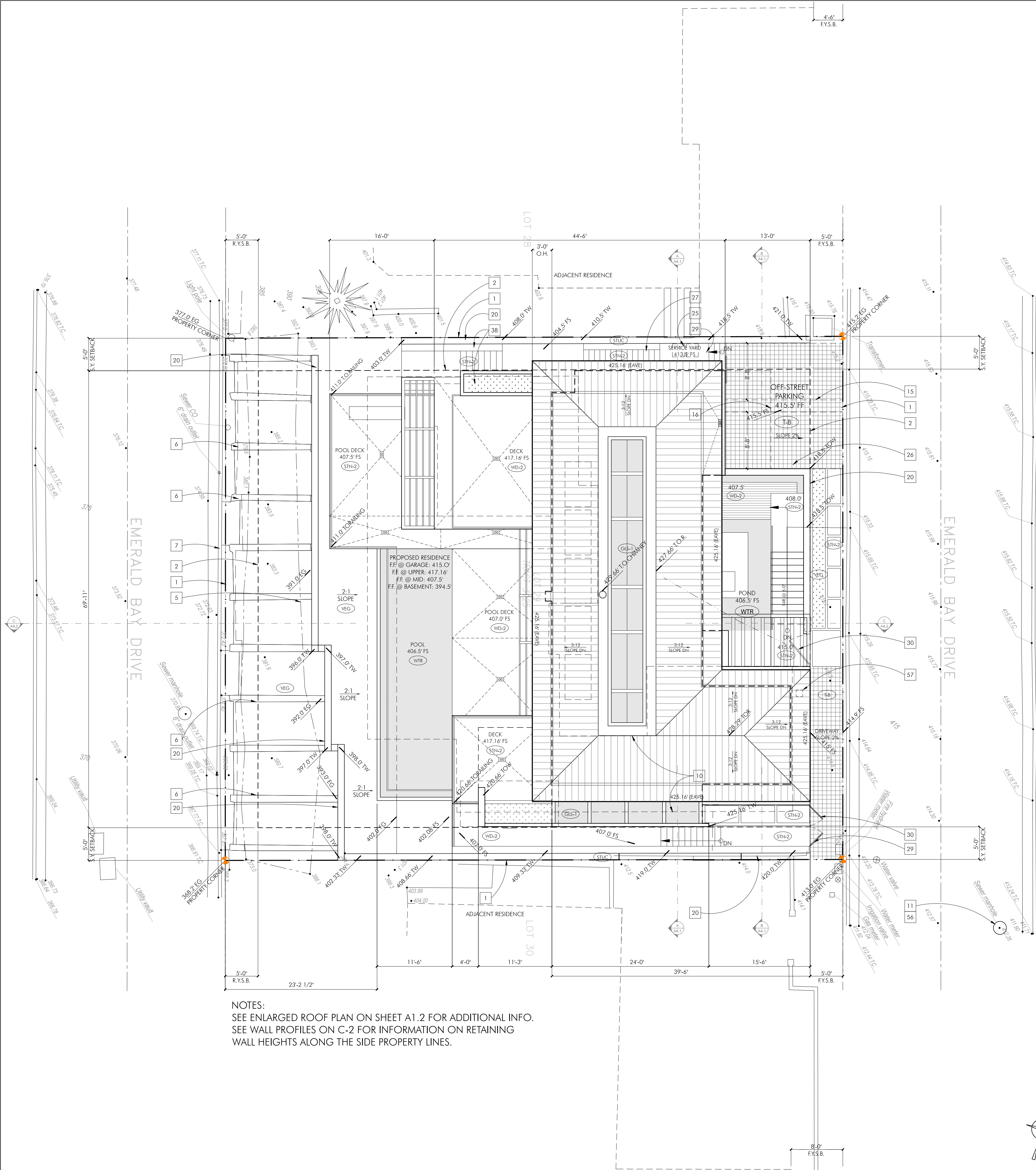
PRELIMINARY APPROVED 08-20-2020

SCALE:	N.T.S.
PLOT DATE:	11-10-2020
SHEET NUMBER	

TS 1

DRAWING PREPARED BY RA





NOTES:
SEE ENLARGED ROOF PLAN ON SHEET A1.2 FOR ADDITIONAL INFO.
SEE WALL PROFILES ON C-2 FOR INFORMATION ON RETAINING
WALL HEIGHTS ALONG THE SIDE PROPERTY LINES.

SITE PLAN

PROJECT TEAM

OWNER: LOUIS DESPOSITO 1507 EMERALD BAY LAGUNA BEACH, CA 92651 P. 949-494-9569 E. ldesposito@cox.net		ARCHITECT: HORST NOPENBERGER HORST ARCHITECTS, INC. 247 A FOREST AVENUE LAGUNA BEACH, CA 92651 P 949-494-9569 F 949-494-8069 E: horst@horst-architects.com	
SURVEYOR/CIVIL: CALEB O. RIOS TQAL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92662 P 949-492-8586 F 949-498-8625 E. crios@tqalengineering.com		GEOLOGIST: ERIK HILDE GEOFIRM 801 GLENNEYE ST #F LAGUNA BEACH, CA 92651 P 949-494-2122 F 949-497-0270 E. ehilde@geofirm.com	
STRUCTURE: MIKE HOUSHMAND, PE. GOUVIS ENGINEERING 15 STUDEBAKER IRVINE, CA 92618 P 949.752.1612 E. mhoushmand@gouvigroup.com		CONTRACTOR: MIKE RAFFERTY & BRIAN BARLETT HEARTSIDE LUXURY HOME, LLC 1507 EMERALD BAY LAGUNA BEACH, CA 92651 P 949-351-4200 F: E: mike@heartsideluxuryhome.com brian@heartsideluxuryhome.com	
T-24: GOUVIS ENGINEERING 15 STUDEBAKER IRVINE, CA 92618 P 949.752.1612 E. mhoushmand@gouvigroup.com		LANDSCAPE ARCHITECT: BUDD SUTTON, S.L.N. 2748 1507 EMERALD BAY455 DIAMOND ST. LAGUNA BEACH, CA 92651 P 714.335.9971 F: E: BSUTTON@COX.NET	

PROJECT SUMMARY

PROJECT ADDRESS 1507 Emerald Bay, Laguna Beach CA 92651
ACCESSOR'S PARCEL NUMBER APN: 053-320-30
LEGAL Lot 29, Tract No 3125
CODE ANALYSIS CODE: 2016 CBC, CRC, CMC, CEC, CPC, CGBC, CEEs ZONING DESIGNATION: RL OCCUPANCY: R-3, U-1 NUMBER OF STORIES: 2 STORIES AND A BASEMENT
PROJECT DESCRIPTION DEMO OF EXISTING RESIDENCE, NEW RESIDENCE TO BE CONSTRUCTED WITH A SITE RETAINING WALLS, POOL AND JACUZZI, REFLECTING POND, OUTDOOR BBQ, EXTERIOR FIREPIT, GRADING, AND NEW LANDSCAPING.

PROJECT SUMMARY TABLES

ZONING STANDARDS			
DESCRIPTION	REQUIRED/ ALLOWED	EXISTING	PROPOSED
USE	RESIDENTIAL	SINGLE FAMILY	SINGLE FAMILY
ZONE	RSF4		(NO CHANGE)
LOT AREA	7,200 sf	7,600 sf	(NO CHANGE)
LOT WIDTH (AVG.)	79.95'		(NO CHANGE)
LOT DEPTH (AVG.)	94.43'		(NO CHANGE)
MAX. BLDG. HT	35' ft Max.		20.16' ft
SETBACKS:			
STRUCTURAL FRONT SETBACK	6'-25"		5'-0"
STRUCTURAL REAR SETBACK	19'-0" Min		23'-2"
REAR DECK/BALCONY	14'-0"		15'-11"
STRUCTURAL SIDE SETBACK	5'-0"		5'-0"
PARKING	2 covered spaces		2 garage spaces
WALLS WITHIN FRONT SETBACK	3'-6"		6'-0"
WALLS WITHIN SIDE/REAR PROPERTY LINE	6'-0"		6'-0"
LOT COVERAGE max.	3,040 SF(40% Max)		3,034.65 SF(39.9%)
PROJECT DATA			
DESCRIPTION	ALLOWED	PROPOSED	
LIVING AREA:			
BASEMENT		1,078 SF	
MID LEVEL		2,604 SF	
UPPER LEVEL		1,315 SF	
TOTAL	5,000 SF	4,997 SF	
GARAGE		505 SF	
DECK	-	1,443.5 SF	
MECHANICAL	-	204.5 SF	
POOL		443 SF	

- 1

PROPERTY LINE
- 2

REQUIRED BUILDING SETBACK
- 3

MAX. ALLOWABLE BUILDING HT -
15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY
- 4

MAX ALLOWABLE BUILDING HT -
20FT ABOVE THE NATURAL GRADE PER 1960 AERIAL SURVEY
- 5

TOP OF SLOPE
- 6

(E) BUTTRESSES TO REMAIN
- 7

(E) CURB/EDGE OF PAVEMENT
- 8

FINISH GRADE
- 9

LOUVERS- ADJUSTABLE ALUMINUM BY "LOUVERTECH"
- 10

PROFILE OF EXISTING STRUCTURE
- 11

FIXED DATUM POINT/ BENCHMARK
- 12

FS/ FG/ EG (ABOVE/ BELOW/ BEYOND AS OCCURS)
- 13

NATURAL GRADE PER 1960 AERIAL SURVEY
- 14

(E) RETAINING WALL TO REMAIN
- 15

TWO OFF-STREET PARKING STALLS, 8'-8"x18'-0" EACH
- 16

EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
- 17

EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
- 18

EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)
- 19

(E) SITE/RETAINING WALL OR FENCE TO BE REMOVED
- 20

(N)SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 4' IN FYSB, 6' IN SYSB
- 21

HANDRAIL ~ 36" ABOVE ADJACENT FINISHED SURFACE
- 22

CASEWORK
- 23

EXISTING GRADE
- 24

STRUCTURAL COLUMN/ BEAM
- 25

SERVICE YARD - TRASH STORAGE AREA
- 26

GUARDRAIL - 42" ABV. FS
- 27

STAIRWAY OR STEPS ON GRADE
- 28

STAIR
- 29

POOL SECURITY GATE
GATE 5' HIGH, SELF-CLOSING/LATCHING, NON-CLIMBABLE
- 30

GATE (MAX. 4' IN FYSB, 6' IN SYSB)
- 31

CLERESTORY (ABV/ BLW/ BYD AS OCCURS)
- 32

SCREEN
- 33

WALKWAY
- 34

DIRECT VENT
- 35

FIREPLACE
- 36

OUTDOOR FIREPIT FUELED BY NATURAL GAS
- 37

HARDSCAPE
- 38

PLANTER / SOFTSCAPE AREA
- 39

EDGE OF POOL (BELOW/BEYOND)
- 40

POOL INFINITY EDGE
- 41

INFINITY CATCH BASIN (18" DEEP)
- 42

POOL / AC EQUIPMENT IN SOUND ATTENUATED VAULT
- 43

NOT USED
- 44

OPEN TO BELOW / BEYOND
- 45

EXTERIOR LIGHTING, DARK SKY COMPLIANT
- 46

OUTDOOR BBQ
- 47

LOCATION OF FUTURE INTEGRATED PHOTOVOLTAIC PANELS (NOT PART OF THIS REVIEW)
- 48

NOT USED
- 49

TRELLIS
- 50

MAILBOX
- 51

(E) TORREY PINE PROTECT IN PLACE - SEE LANDSCAPE PLAN & ARBORIST REPORT
- 52

CHIMNEY
- 53

CONTINUOUS RECESSED GUTTER
- 54

MATERIAL CHANGE
- 55

THRESHOLD
- 56

(E) SEWER MANHOLE
- 57

(E) UTILITIES (REFER TO SURVEY)
- 58

(E) TREE TO BE REMOVED
- 59

(E)TREE TO REMAIN
- 60

(E)NATIVE PLANT SPECIES TO REMAIN
- 61

(N)PERMEABLE SURFACE
- 62

NOT USED
- 63

OUTDOOR SHOWER
- 64

NEW 2:1 SLOPE- SEE CIVIL PLANS
- 65

SKYLIGHT- FLUSH GLASS BY SAFTI FIRST
- 66

ROOF/DECK DRAIN WITH OVERFLOW
- 67

RECESSED WINDOW COVERING SLOT - SEE DETAIL
- 68

CONTINUOUS RECESSED SKYLIGHT SHADE - "INTERIOR DESIGNER"

- NOTE:
1.

CURBS AND GUTTERS TO BE REMOVED MUST BE SAW-CUT AND REPLACED WITH NEW CONCRETE GUTTER AND DEPRESSED CURBING AND MUST FOLLOW EMERALD BAY SERVICE DISTRICT DESIGN SPECIFICATIONS. EXPANSION STRIP MUST BE USED TO ALL JOINING OF (N) AND (E) CURBS NO GUTTERS
2.

SEE SHEET C-2, PRELIMINARY WALL PROFILE, FOR SITE WALL HEIGHTS
3.

ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL
4.

SKYLIGHT IS NON-REFLECTIVE

KEYNOTES

(VEG)	VEGETATION PER LANDSCAPE PLAN	(STN-1)	STONE WALL CLADDING TRAVERTINE- OCEAN BLACK
(GRAV)	GRAVEL	(STN-2)	STONE FLOORING TRAVERTINE- NOVA WHITE
(ACR)	ACRYLIC POOL INFINITY EDGE	(STUC)	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
(CON-1)	CONCRETE FLOORING	(T-B)	TURF BLOCK PAVING WITH LANDSCAPING
(GLS-1)	TRANSPARENT GLASS- CARDINAL LOW E-366	(WD-1)	WOOD WALL CLADDING
(GLS-2)	TRANSLUCENT GLASS- LAMINATED WITH MILKY WHITE INTERLAYER	(WD-2)	WOOD FLOORING
(GLS-3)	TEMPERED STAIRFIRE GLASS	(WD-3)	WOOD SCREENS
(MTL-1)	EXPOSED STRUCTURAL STEEL	(WD-4)	WOOD EXTERIOR DECKS
(MTL-2)	BRAKE METAL	(WTR)	WATER
(MTL-3)	METAL ROOF - NATURALLY WEATHERED ZINC, CLASS "K" RATED	(GB)	GYPSPUM BOARD/DRYWALL
(MTL-4)	ALUMINUM-KYNAR500 FINISH STATUARY BRONZE	(GB-X)	TYPE-X GYPSPUM BOARD/DRYWALL

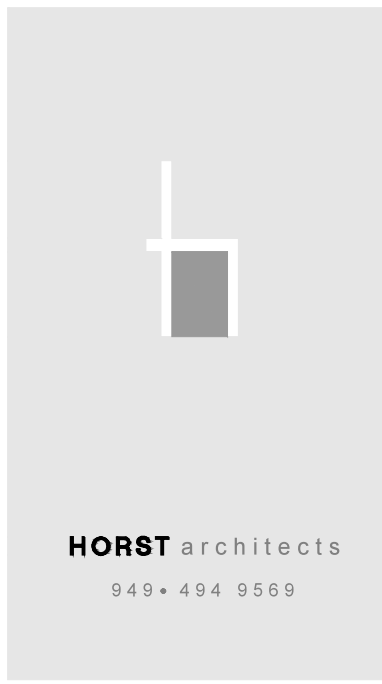
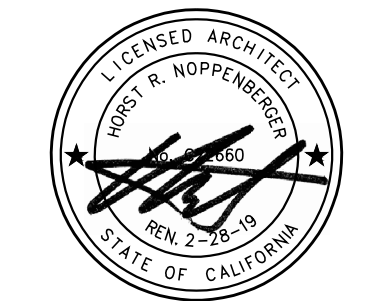
MATERIALS

<div></div>	BUILDING FOOTPRINT ADDITION / NEW HABITABLE AREA
<div></div>	(E) STRUCTURE TO REMOVE
<div></div>	PLANTING AREA - REFER TO LANDSCAPE PLAN

LEGEND

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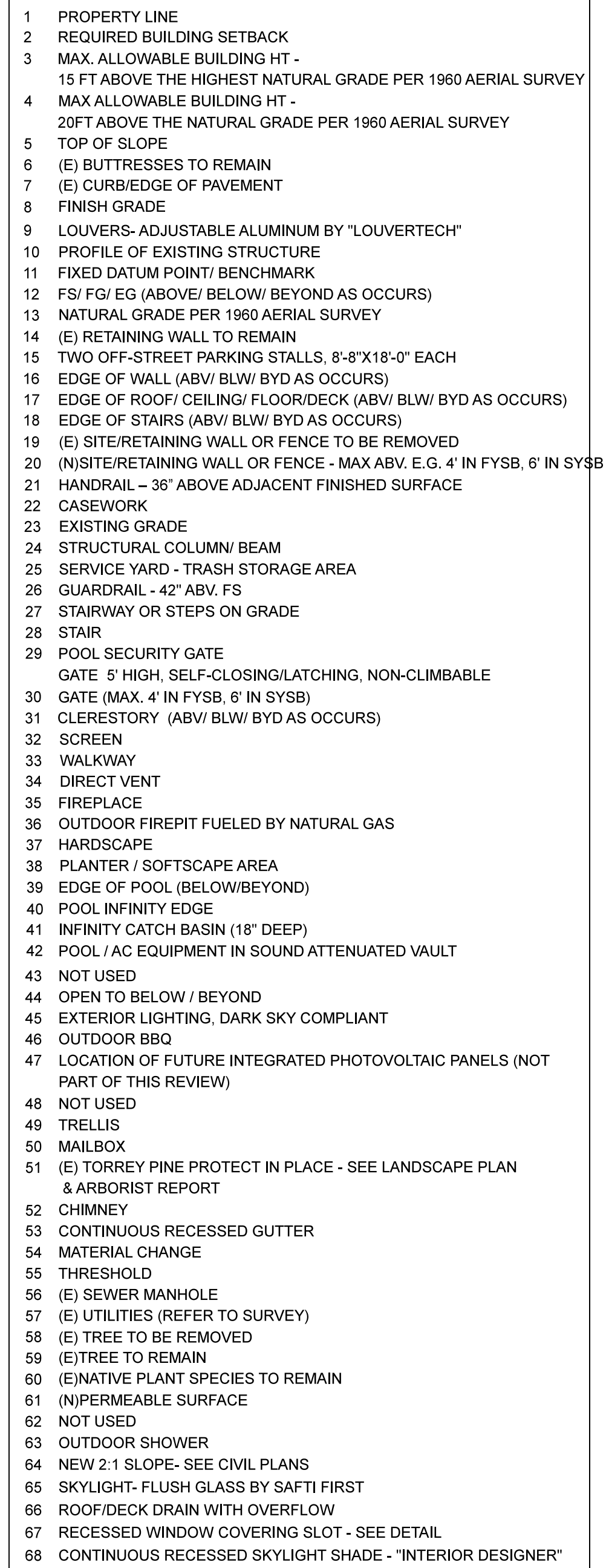


PRELIMINARY APPROVED 08-20-2020

SCALE: 1/8" = 1'-0"
PLOT DATE: 11-1-2020
SHEET NUMBER

A1.1

DRAWING PREPARED BY: LA




NOTE:

1. CURBS AND GUTTERS TO BE REMOVED MUST BE SAW-CUT AND REPLACED WITH NEW CONCRETE GUTTER AND DEPRESSED CURBING AND MUST FOLLOW EMERALD BAY SERVICE DISTRICT DESIGN SPECIFICATIONS. EXPANSION STOP MUST BE USED TO ALL JOINING OF (N) AND (E) CURBS AND GUTTERS.
2. SEE SHEET C-2, PRELIMINARY WALL PROFILE, FOR SITE WALL HEIGHTS
3. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL
4. SKYLIGHT IS NON-REFLECTIVE

KEYNOTES

VEG	VEGETATION PER LANDSCAPE PLAN	STN-1	STONE WALL CLADDING TRAVERTINE-COLOR BLACK
GRAV	GRAVEL	STN-2	STONE FLOORING TRAVERTINE-NOVA WHITE
ACR	ACRYLIC POOL INFINITY EDGE	STUC	INTERIALLY COLORED SMOOTH TROWEL STUCCO
CON-2	CONCRETE FLOORING	T-8	TURF BLOCK PAVING WITH LANDSCAPING
GLS-1	TRANSPARENT GLASS- CARDINAL LOW E-366	WD-1	WOOD WALL CLADDING
GLS-2	TRANSLUCENT GLASS- LAMINATED WITH MILKY WHITE INTERLAYER	WD-2	WOOD FLOORING
GLS-3	TEMPERED STARFIRE GLASS	WD-3	WOOD SCREENS
MTL-1	EXPOSED STRUCTURAL STEEL	WD-4	WOOD EXTERIOR DECKS
MTL-2	BRAKE METAL	WTR	WATER
MTL-3	METAL ROOF - NATURALLY WEATHERED ZINC CALX "A" RATED	GB	GYPSUM BOARD/DRYWALL
MTL-4	ALUMINUM-KYNAR500 FINISH STATUARY BRONZE	GB-X	TYPE-X GYPSUM BOARD/DRYWALL

MATERIALS

 BUILDING FOOTPRINT ADDITION /
NEW HABITABLE AREA

----- (E) STRUCTURE TO REMOVE

P/A PLANTING AREA - REFER TO
LANDSCAPE PLAN

ROOF PLAN

LEGEND

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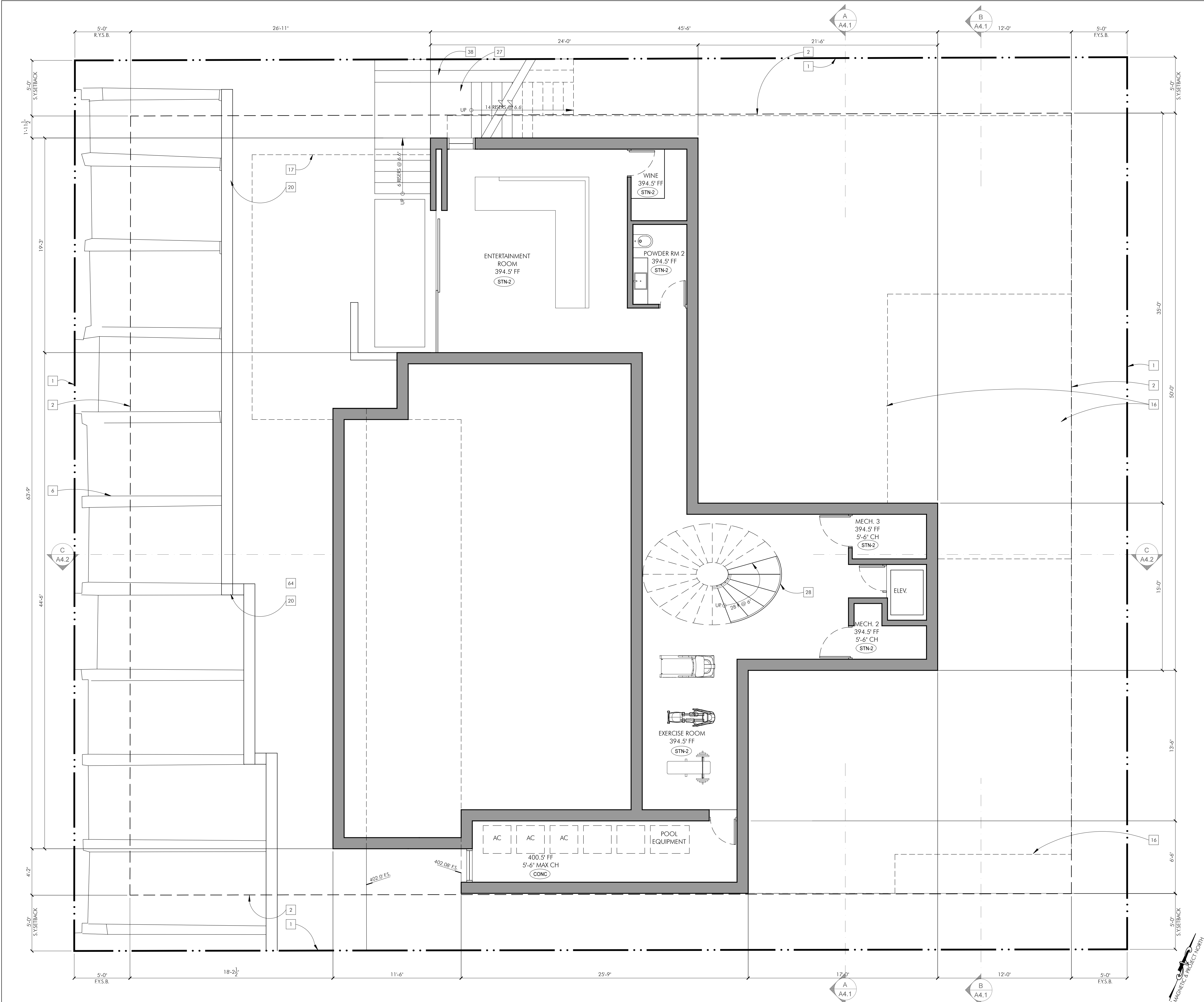
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SCALE: $1/4" = 1'-0"$

PLOT DATE: 11-1-2020

SHEET NUMBER

A1.2



BASEMENT LEVEL FLOOR PLAN

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- MAX. ALLOWABLE BUILDING HT - 15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY
- MAX ALLOWABLE BUILDING HT - 20FT ABOVE THE NATURAL GRADE PER 1960 AERIAL SURVEY
- TOP OF SLOPE
- (E) BUTTRESSES TO REMAIN
- (E) CURB/EDGE OF PAVEMENT
- FINISH GRADE
- LOUVERS- ADJUSTABLE ALUMINUM BY "LOUVERTECH"
- PROFILE OF EXISTING STRUCTURE
- FIXED DATUM POINT/ BENCHMARK
- FS/ FG/ EG (ABOVE/ BELOW/ BEYOND AS OCCURS)
- NATURAL GRADE PER 1960 AERIAL SURVEY
- (E) RETAINING WALL TO REMAIN
- TWO OFF-STREET PARKING STALLS, 8'-8"x18'-0" EACH
- EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
- EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
- EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)
- (E) SITE/RETAINING WALL OR FENCE TO BE REMOVED
- SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 4' IN FYSB, 6' IN SYSB
- HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE
- CASEWORK
- EXISTING GRADE
- STRUCTURAL COLUMN/ BEAM
- SERVICE YARD - TRASH STORAGE AREA
- GUARDRAIL - 42" ABV. FS
- STAIRWAY OR STEPS ON GRADE
- STAIR
- POOL SECURITY GATE
- GATE 5' HIGH, SELF-CLOSING/LATCHING, NON-CLIMBABLE
- GATE (MAX. 4' IN FYSB, 6' IN SYSB)
- CLERESTORY (ABV/ BLW/ BYD AS OCCURS)
- SCREEN
- WALKWAY
- DIRECT VENT
- FIREPLACE
- OUTDOOR FIREPIT FUELED BY NATURAL GAS
- HARDSCAPE
- PLANTER / SOFTSCAPE AREA
- EDGE OF POOL (BELOW/BEYOND)
- POOL INFINITY EDGE
- INFINITY CATCH BASIN (18" DEEP)
- POOL / AC EQUIPMENT IN SOUND ATTENUATED VAULT
- NOT USED
- OPEN TO BELOW / BEYOND
- EXTERIOR LIGHTING, DARK SKY COMPLIANT
- OUTDOOR BBQ
- LOCATION OF FUTURE INTEGRATED PHOTOVOLTAIC PANELS (NOT PART OF THIS REVIEW)
- NOT USED
- TRELLIS
- MAILBOX
- (E) TORREY PINE PROTECT IN PLACE - SEE LANDSCAPE PLAN & ARBORIST REPORT
- CHIMNEY
- CONTINUOUS RECESSED GUTTER
- MATERIAL CHANGE
- THRESHOLD
- (E) SEWER MANHOLE
- (E) UTILITIES (REFER TO SURVEY)
- (E) TREE TO BE REMOVED
- (E) TREE TO REMAIN
- (E) NATIVE PLANT SPECIES TO REMAIN
- (N) IMPERMEABLE SURFACE
- NOT USED
- OUTDOOR SHOWER
- NEW 2:1 SLOPE- SEE CIVIL PLANS
- SKYLIGHT- FLUSH GLASS BY SAFTI FIRST
- ROOF/DECK DRAIN WITH OVERFLOW

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 - SEE SHEET C-2, PRELIMINARY WALL PROFILE, FOR SITE WALL HEIGHTS
 - ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL
 - SKYLIGHT IS NON-REFLECTIVE

KEYNOTES

(VEG)	VEGETATION PER LANDSCAPE PLAN	(MTL-3)	METAL ROOF - NATURALLY WEATHERED ZINC, CLASS "X" RATED
(GRV-1)	LANDSCAPE GRAVEL -2" DIA. MAX.	(MTL-4)	ALUMINUM-KYNAR500 FINISH STATUARY BRONZE
(ACR)	ACRYLIC	(STN-1)	STONE WALL CLADDING
(CON-2)	CONCRETE FLOORING W/ EPOXY FINISH	(STN-2)	STONE FLOORING
(GLS-1)	TRANSPARENT GLASS	(STUC)	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
(GLS-2)	TRANSLUCENT GLASS	(T-B)	TURF BLOCK PAVING WITH LANDSCAPING
(GLS-3)	TRANSPARENT GLASS GUARDRAIL	(WD-1)	WOOD WALL CLADDING
(MTL-1)	STRUCTURAL STEEL	(WD-2)	WOOD FLOORING
(MTL-2)	BREAK METAL	(WD-3)	WOOD SCREENS
		(WTR)	WATER

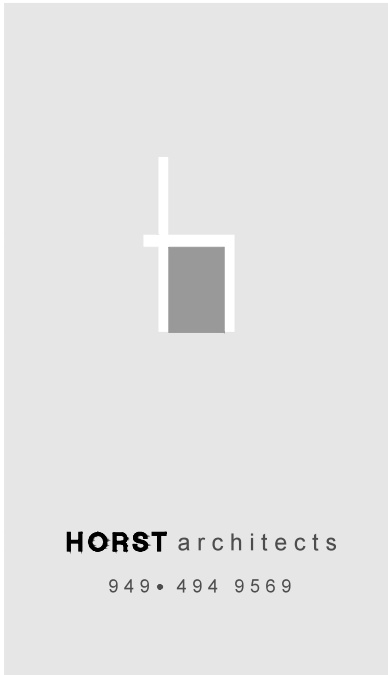
MATERIALS

	BUILDING FOOTPRINT ADDITION / NEW HABITABLE AREA
	(E) STRUCTURE TO REMOVE PLANTING AREA - REFER TO LANDSCAPE PLAN
	P/A

LEGEND

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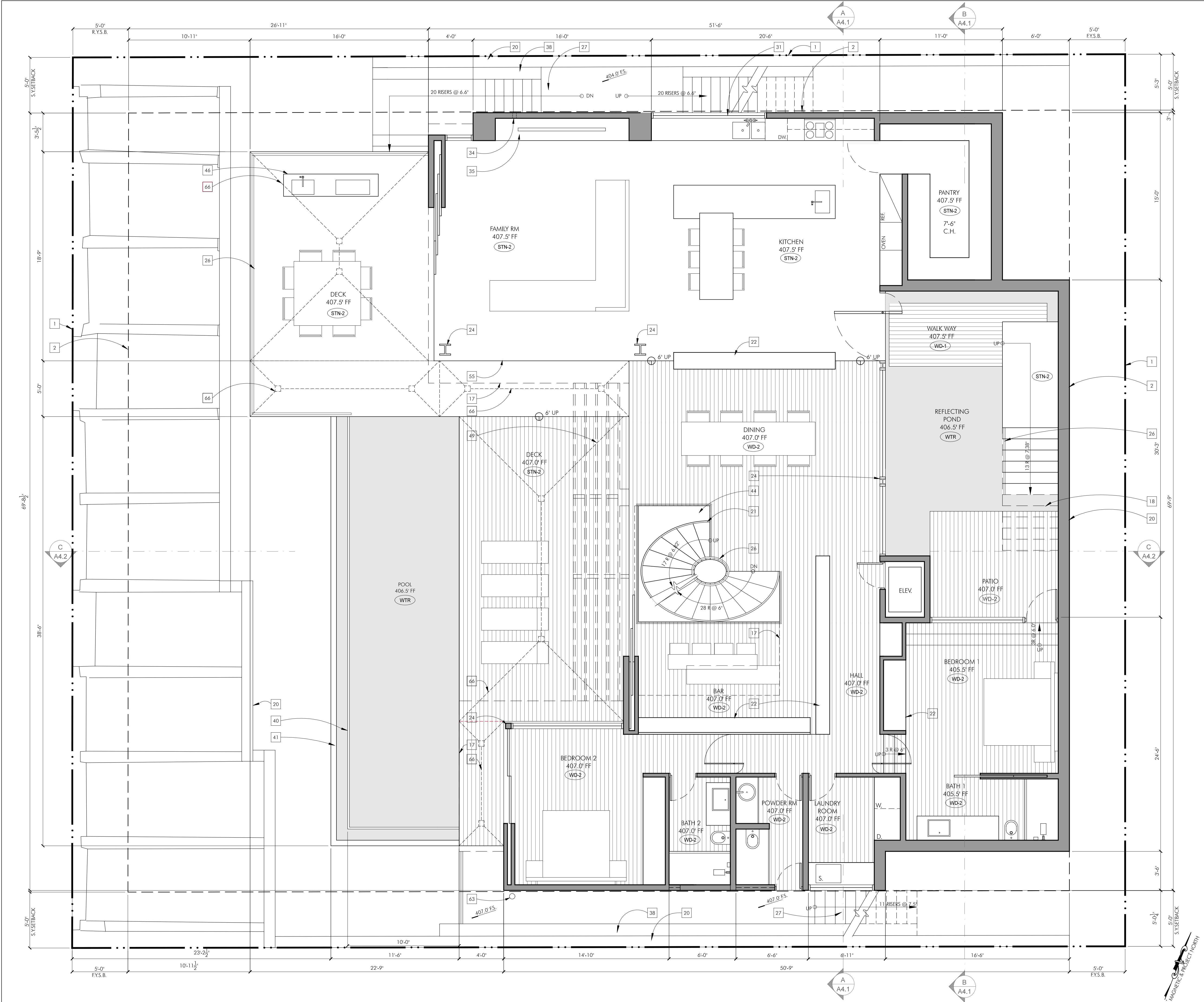


PRELIMINARY REVIEW 01-09-2020
PRELIMINARY REVIEW 2 02-06-2020
PRELIMINARY REVIEW 3 05-07-2020
PRELIMINARY REVIEW 4 08-01-2020

SCALE:	1/4"=1'-0"
PLOT DATE:	08-20-2020
SHEET NUMBER	

A2.1

DRAWING PREPARED BY: RA



MID LEVEL FLOOR PLAN

- 1 PROPERTY LINE
- 2 REQUIRED BUILDING SETBACK
- 3 MAX. ALLOWABLE BUILDING HT - 15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY
- 4 MAX ALLOWABLE BUILDING HT - 20FT ABOVE THE NATURAL GRADE PER 1960 AERIAL SURVEY
- 5 TOP OF SLOPE
- 6 (E) BUTTRESSES TO REMAIN
- 7 (E) CURB/EDGE OF PAVEMENT
- 8 FINISH GRADE
- 9 LOUVERS- ADJUSTABLE ALUMINUM BY "LOUVERTECH"
- 10 PROFILE OF EXISTING STRUCTURE
- 11 FIXED DATUM POINT/ BENCHMARK
- 12 FS/ FG/ EG (ABOVE/ BELOW/ BEYOND AS OCCURS)
- 13 NATURAL GRADE PER 1960 AERIAL SURVEY
- 14 (E) RETAINING WALL TO REMAIN
- 15 TWO OFF-STREET PARKING STALLS, 8'-8"x18'-0" EACH
- 16 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
- 17 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
- 18 EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)
- 19 (E) SITE/RETAINING WALL OR FENCE TO BE REMOVED
- 20 SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 4' IN FYSB, 6' IN SYSB
- 21 HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE
- 22 CASEWORK
- 23 EXISTING GRADE
- 24 STRUCTURAL COLUMN/ BEAM
- 25 SERVICE YARD - TRASH STORAGE AREA
- 26 GUARDRAIL - 42" ABV. FS
- 27 STAIRWAY OR STEPS ON GRADE
- 28 STAIR
- 29 POOL SECURITY GATE
- 30 GATE 5' HIGH, SELF-CLOSING/LATCHING, NON-CLIMBABLE
- 31 GATE (MAX. 4' IN FYSB, 6' IN SYSB)
- 32 CLERESTORY (ABV/ BLW/ BYD AS OCCURS)
- 33 SCREEN
- 34 WALKWAY
- 35 DIRECT VENT
- 36 FIREPLACE
- 37 OUTDOOR FIREPIT FUELED BY NATURAL GAS
- 38 HARDSCAPE
- 39 PLANTER / SOFTSCAPE AREA
- 40 EDGE OF POOL (BELOW/BEYOND)
- 41 POOL INFINITY EDGE
- 42 INFINITY CATCH BASIN (18" DEEP)
- 43 POOL / AC EQUIPMENT IN SOUND ATTENUATED VAULT
- 44 NOT USED
- 45 OPEN TO BELOW / BEYOND
- 46 EXTERIOR LIGHTING, DARK SKY COMPLIANT
- 47 OUTDOOR BBQ
- 48 LOCATION OF FUTURE INTEGRATED PHOTOVOLTAIC PANELS (NOT PART OF THIS REVIEW)
- 49 NOT USED
- 50 TRELIS
- 51 MAILBOX
- 52 (E) TORREY PINE PROTECT IN PLACE - SEE LANDSCAPE PLAN & ARBORIST REPORT
- 53 CHIMNEY
- 54 CONTINUOUS RECESSED GUTTER
- 55 MATERIAL CHANGE
- 56 THRESHOLD
- 57 (E) SEWER MANHOLE
- 58 (E) UTILITIES (REFER TO SURVEY)
- 59 (E) TREE TO BE REMOVED
- 60 (E) TREE TO REMAIN
- 61 (E) NATIVE PLANT SPECIES TO REMAIN
- 62 (N) IMPERMEABLE SURFACE
- 63 NOT USED
- 64 OUTDOOR SHOWER
- 65 NEW 2:1 SLOPE- SEE CIVIL PLANS
- 66 SKYLIGHT- FLUSH GLASS BY SAFTI FIRST
- 67 ROOF/DECK DRAIN WITH OVERFLOW

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KEYNOTES

(VEG)	VEGETATION PER LANDSCAPE PLAN	(MTL-3)	METAL ROOF - NATURALLY WEATHERED ZINC, CLASS "X" RATED
(GRV-1)	LANDSCAPE GRAVEL -2" DIA. MAX.	(MTL-4)	ALUMINUM-KYNAR500 FINISH STATUARY BRONZE
(ACR)	ACRYLIC	(STN-1)	STONE WALL CLADDING
(CON-2)	CONCRETE FLOORING W/ EPOXY FINISH	(STN-2)	STONE FLOORING
(GLS-1)	TRANSPARENT GLASS	(STUC)	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
(GLS-2)	TRANSLUCENT GLASS	(T-B)	TURF BLOCK PAVING WITH LANDSCAPING
(GLS-3)	TRANSPARENT GLASS GUARDRAIL	(WD-1)	WOOD WALL CLADDING
(MTL-1)	STRUCTURAL STEEL	(WD-2)	WOOD FLOORING
(MTL-2)	BREAK METAL	(WD-3)	WOOD SCREENS
		(WTR)	WATER

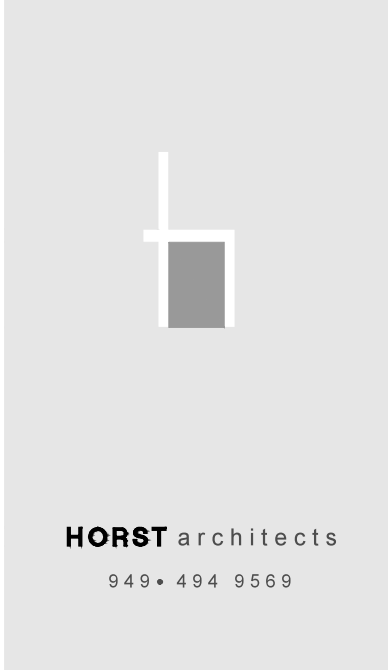
MATERIALS

	BUILDING FOOTPRINT ADDITION / NEW HABITABLE AREA
	(E) STRUCTURE TO REMOVE
	PLANTING AREA - REFER TO LANDSCAPE PLAN
	P/A

LEGEND

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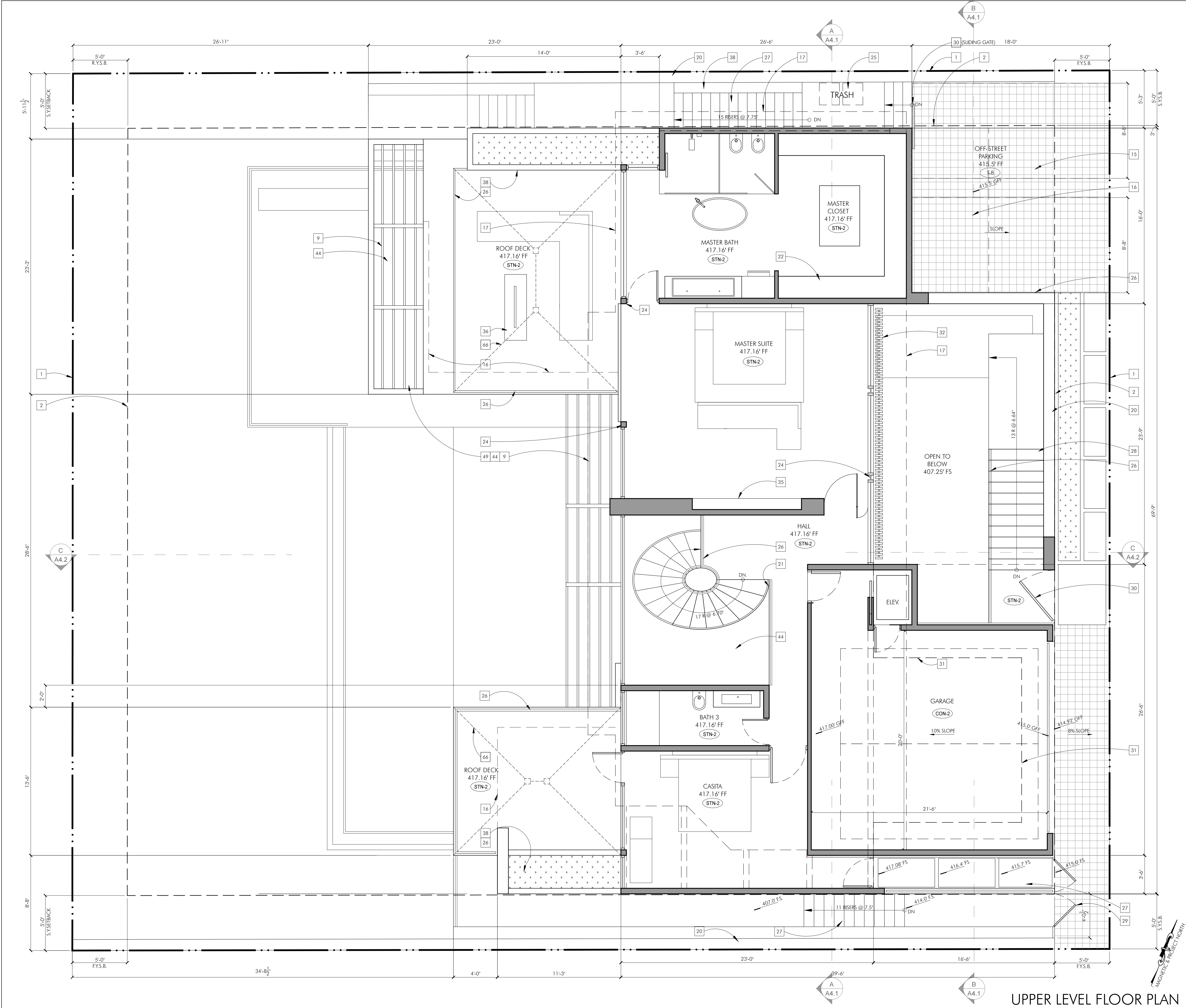


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PRELIMINARY REVIEW 4 08-01-2020

SCALE:	1/4"= 1'-0"
PLOT DATE:	08-20-2020
SHEET NUMBER	

A2.2

DRAWING PREPARED BY: RA



UPPER LEVEL FLOOR PLAN

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- MAX. ALLOWABLE BUILDING HT - 15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY
- MAX ALLOWABLE BUILDING HT - 20FT ABOVE THE NATURAL GRADE PER 1960 AERIAL SURVEY
- TOP OF SLOPE
- (E) BUTTRESSES TO REMAIN
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- LOUVERS- ADJUSTABLE ALUMINUM BY "LOUVERTECH"
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- (E) SITE/RETAINING WALL OR FENCE TO BE REMOVED
- SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 4' IN FYSB, 6' IN SYSB
- HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE
- CASEWORK
- EXISTING GRADE
- STRUCTURAL COLUMN/ BEAM
- SERVICE YARD - TRASH STORAGE AREA
- GUARDRAIL - 42" ABV. FS
- STAIRWAY OR STEPS ON GRADE
- STAIR
- POOL SECURITY GATE
- GATE 5' HIGH, SELF-CLOSING/LATCHING, NON-CLIMBABLE
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- MATERIAL CHANGE
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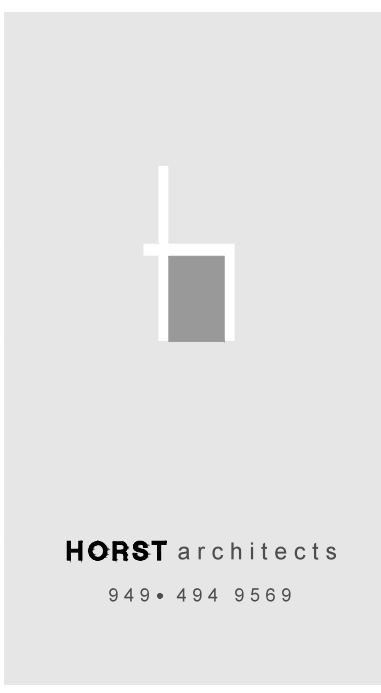
MATERIALS

	BUILDING FOOTPRINT ADDITION / NEW HABITABLE AREA
	(E) STRUCTURE TO REMOVE
	PLANTING AREA - REFER TO LANDSCAPE PLAN
	P/A

LEGEND

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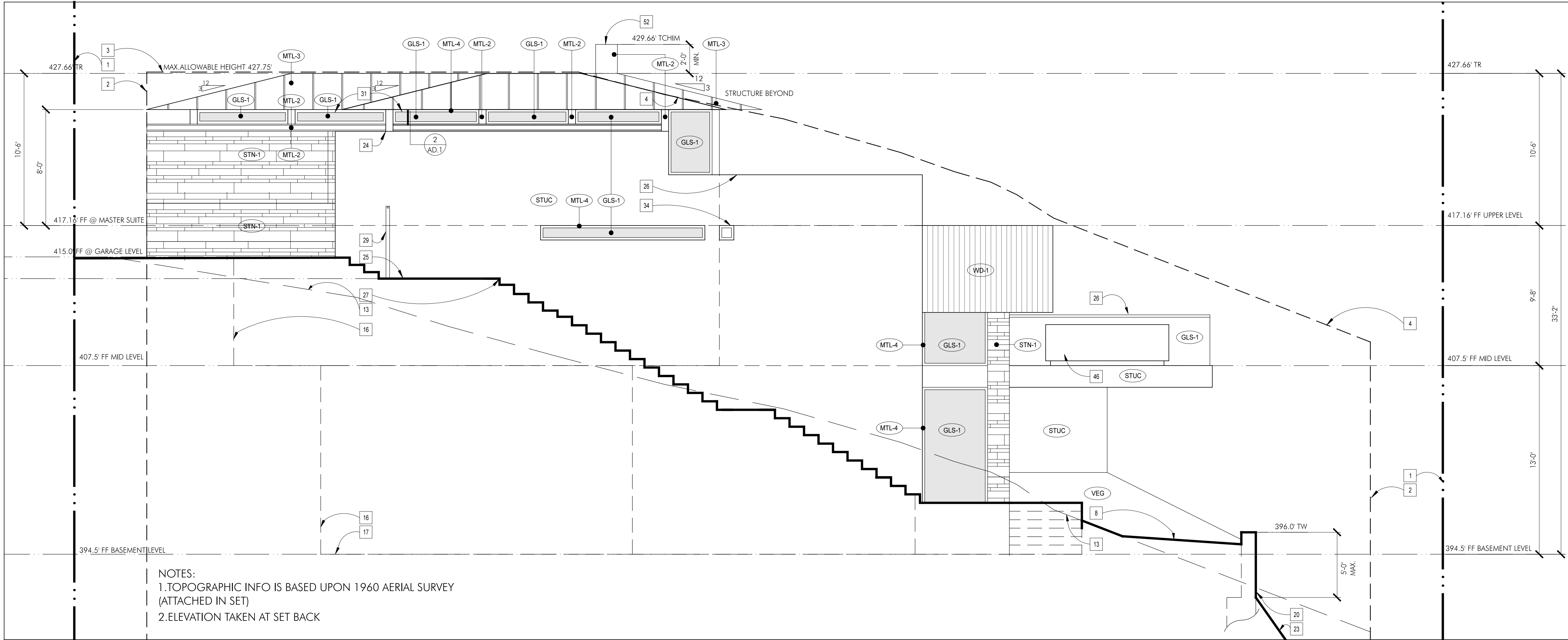


PRELIMINARY REVIEW 01-09-2020
PRELIMINARY REVIEW 2 02-06-2020
PRELIMINARY REVIEW 3 05-07-2020
PRELIMINARY REVIEW 4 08-01-2020

SCALE: 1/4"=1'-0"
PLOT DATE: 08-20-2020
SHEET NUMBER

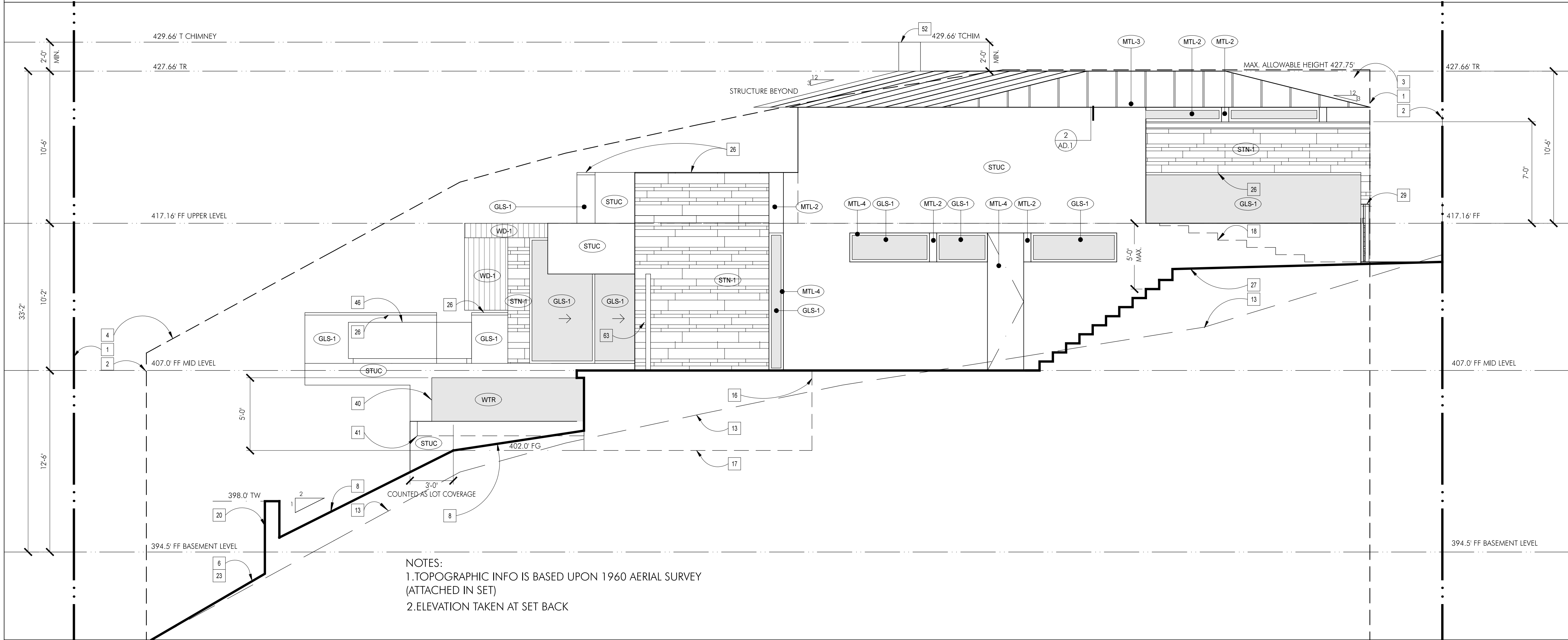
A2.3

DRAWING PREPARED BY: RA



- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- MAX. ALLOWABLE BUILDING HT - 15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY
- MAX ALLOWABLE BUILDING HT - 20FT ABOVE THE NATURAL GRADE PER 1960 AERIAL SURVEY
- TOP OF SLOPE
- (E) BUTTRESSES TO REMAIN
- (E) CURB/EDGE OF PAVEMENT
- FINISH GRADE
- LOUVERS- ADJUSTABLE ALUMINUM BY "LOUVERTECH"
- PROFILE OF EXISTING STRUCTURE
- FIXED DATUM POINT/ BENCHMARK
- FS/ FG/ EG (ABOVE/ BELOW/ BEYOND AS OCCURS)
- NATURAL GRADE PER 1960 AERIAL SURVEY
- (E) RETAINING WALL TO REMAIN
- TWO OFF-STREET PARKING STALLS, 8'-8"x18'-0" EACH
- EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
- EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
- EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)
- (E) SITE/RETAINING WALL OR FENCE TO BE REMOVED
- SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 4' IN FYSB, 6' IN SYSB
- HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE
- CASEWORK
- EXISTING GRADE
- STRUCTURAL COLUMN/ BEAM
- SERVICE YARD - TRASH STORAGE AREA
- GUARDRAIL - 42" ABV. FS
- STAIRWAY OR STEPS ON GRADE
- STAIR
- POOL SECURITY GATE
- GATE 5' HIGH, SELF-CLOSING/LATCHING, NON-CLIMBABLE
- GATE (MAX. 4' IN FYSB, 6' IN SYSB)
- CLERESTORY (ABV/ BLW/ BYD AS OCCURS)
- SCREEN
- WALKWAY
- DIRECT VENT
- FIREPLACE
- OUTDOOR FIREPIT FUELED BY NATURAL GAS
- HARDSCAPE
- PLANTER / SOFTSCAPE AREA
- EDGE OF POOL (BELOW/BEYOND)
- POOL INFINITY EDGE
- INFINITY CATCH BASIN (18" DEEP)
- POOL / AC EQUIPMENT IN SOUND ATTENUATED VAULT
- NOT USED
- OPEN TO BELOW / BEYOND
- EXTERIOR LIGHTING, DARK SKY COMPLIANT
- OUTDOOR BBQ
- LOCATION OF FUTURE INTEGRATED PHOTOVOLTAIC PANELS (NOT PART OF THIS REVIEW)
- NOT USED
- TRELLIS
- MAILBOX
- (E) TORREY PINE PROTECT IN PLACE - SEE LANDSCAPE PLAN & ARBORIST REPORT
- CHIMNEY
- CONTINUOUS RECESSED GUTTER
- MATERIAL CHANGE
- THRESHOLD
- (E) SEWER MANHOLE
- (E) UTILITIES (REFER TO SURVEY)
- (E) TREE TO BE REMOVED
- (E) TREE TO REMAIN
- (E) NATIVE PLANT SPECIES TO REMAIN
- (N) IMPERMEABLE SURFACE
- NOT USED
- OUTDOOR SHOWER
- NEW 2:1 SLOPE- SEE CIVIL PLANS
- SKYLIGHT- FLUSH GLASS BY SAFTI FIRST
- ROOF/DECK DRAIN WITH OVERFLOW

NORTH ELEVATION



- NOTE:
- CURBS AND GUTTERS TO BE REMOVED MUST BE SAW-CUT AND REPLACED WITH NEW CONCRETE GUTTER AND DEPRESSED CURBING AND MUST FOLLOW EMERALD BAY SERVICE DISTRICT DESIGN SPECIFICATIONS. EXPANSION STRIP MUST BE USED TO ALL JOINING OF (N) AND (E) CURBS AND GUTTERS.
 - SEE SHEET C-2, PRELIMINARY WALL PROFILE, FOR SITE WALL HEIGHTS
 - ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL
 - SKYLIGHT IS NON-REFLECTIVE

KEYNOTES

(VEG)	VEGETATION PER LANDSCAPE PLAN	(MTL-3)	METAL ROOF - NATURALLY WEATHERED ZINC, CLASS 'N' RATED
(GRV-1)	LANDSCAPE GRAVEL - 2" DIA. MAX.	(MTL-4)	ALUMINUM-KYNAR500 FINISH STATUARY BRONZE
(ACR)	ACRYLIC	(STN-1)	STONE WALL CLADDING
(CON-2)	CONCRETE FLOORING W/ EPOXY FINISH	(STN-2)	STONE FLOORING
(GLS-1)	TRANSPARENT GLASS	(STUC)	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
(GLS-2)	TRANSLUCENT GLASS	(T-B)	TURF BLOCK PAVING WITH LANDSCAPING
(GLS-3)	TRANSPARENT GLASS GUARDRAIL	(WD-1)	WOOD WALL CLADDING
(MTL-1)	STRUCTURAL STEEL	(WD-2)	WOOD FLOORING
(MTL-2)	BREAK METAL	(WD-3)	WOOD SCREENS
		(WTR)	WATER

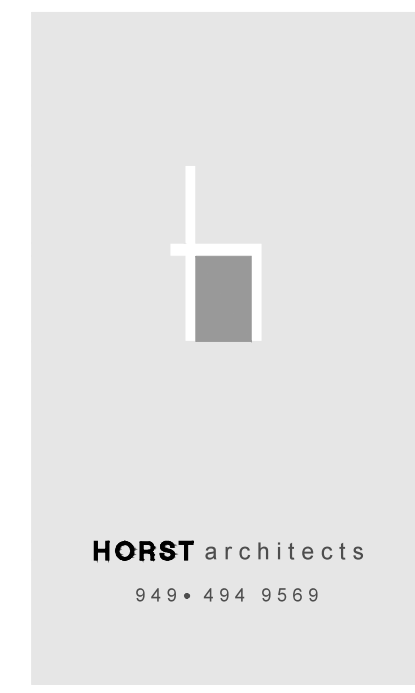
MATERIALS

	BUILDING FOOTPRINT ADDITION / NEW HABITABLE AREA
	(E) STRUCTURE TO REMOVE
	PLANTING AREA - REFER TO LANDSCAPE PLAN

LEGEND

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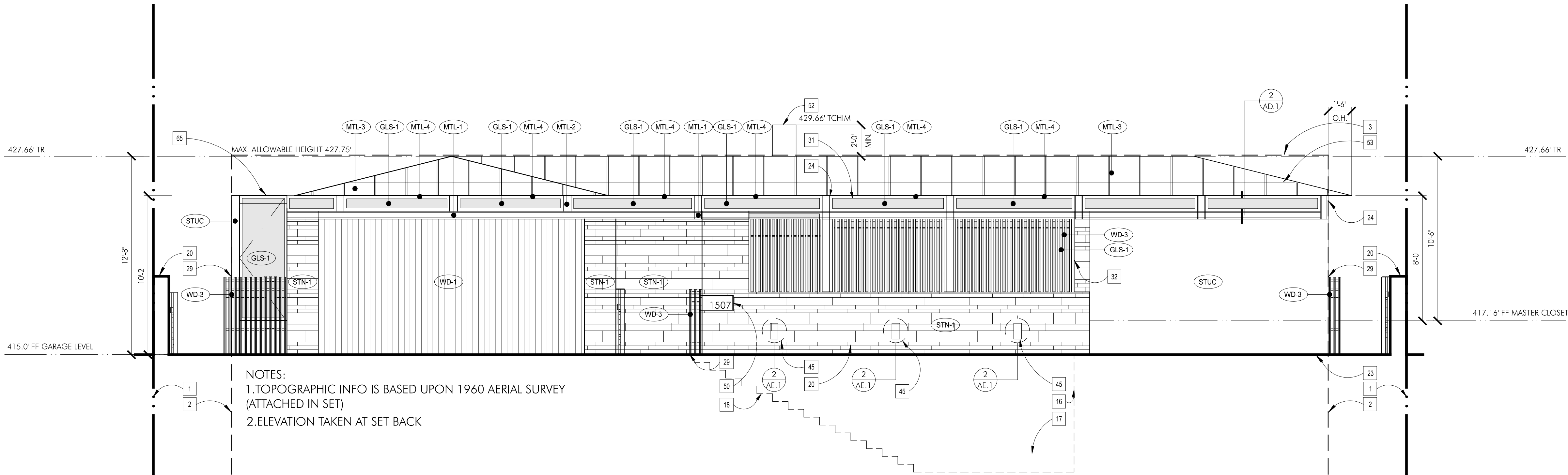


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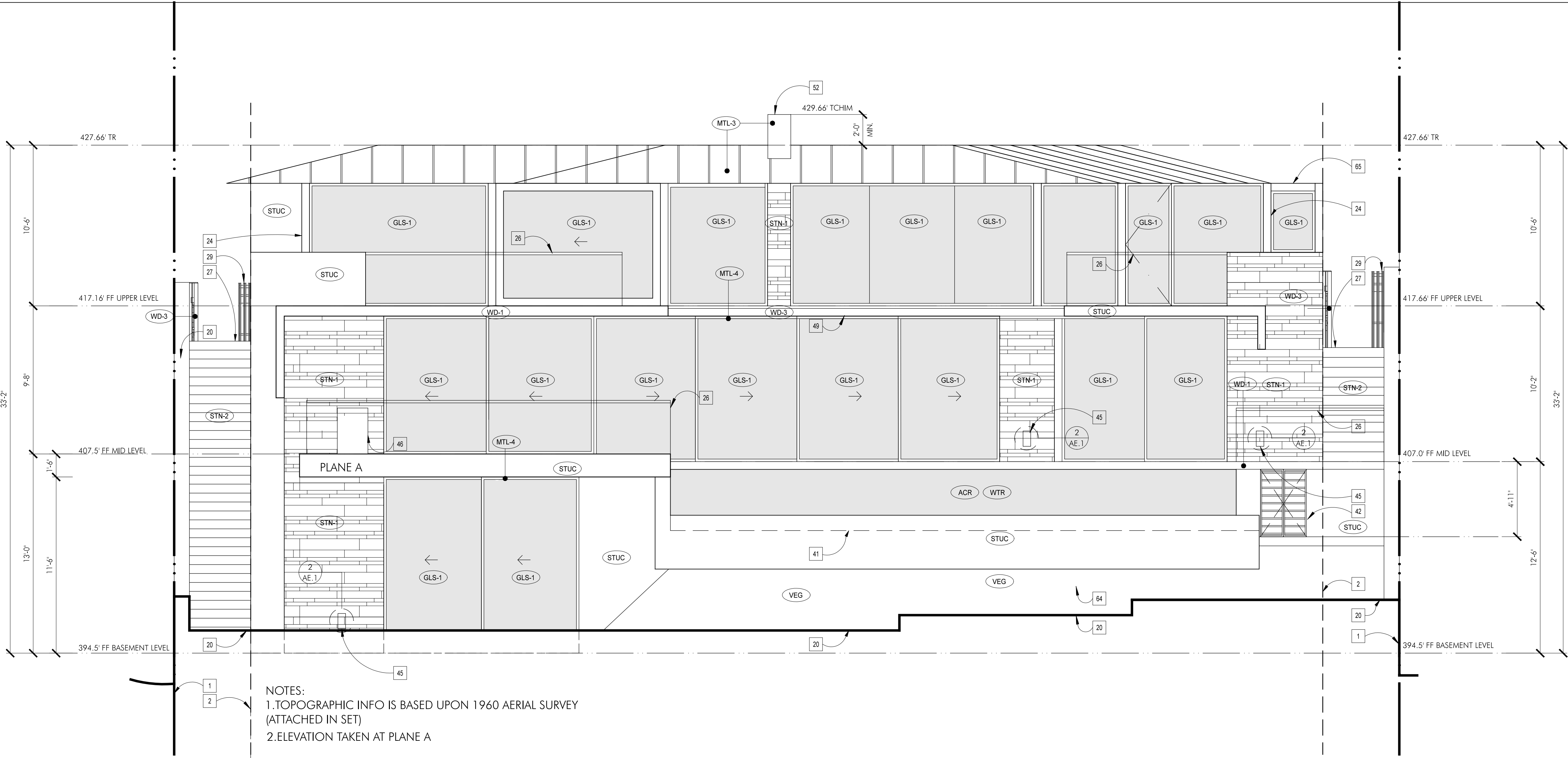
SCALE:	1/4" = 1'-0"
PLOT DATE:	08-20-2020
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A3.1

DRAWING PREPARED BY: RA



EAST ELEVATION



WEST ELEVATION

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- MAX. ALLOWABLE BUILDING HT - 15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY
- MAX. ALLOWABLE BUILDING HT - 20FT ABOVE THE NATURAL GRADE PER 1960 AERIAL SURVEY
- TOP OF SLOPE
- (E) BUTTRESSES TO REMAIN
- (E) CURB/EDGE OF PAVEMENT
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- LOUVERS- ADJUSTABLE ALUMINUM BY "LOUVERTECH"
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- HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE
- CASEWORK
- EXISTING GRADE
- STRUCTURAL COLUMN/ BEAM
- SERVICE YARD - TRASH STORAGE AREA
- GUARDRAIL - 42" ABV. FS
- STAIRWAY OR STEPS ON GRADE
- STAIR
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- GATE 5' HIGH, SELF-CLOSING/LATCHING, NON-CLIMBABLE
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- CLERESTORY (ABV/ BLW/ BYD AS OCCURS)
- SCREEN
- WALKWAY
- DIRECT VENT
- FIREPLACE
- OUTDOOR FIREPIT FUELED BY NATURAL GAS
- HARDSCAPE
- PLANTER / SOFTSCAPE AREA
- EDGE OF POOL (BELOW/BEYOND)
- POOL INFINITY EDGE
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- NOT USED
- OPEN TO BELOW / BEYOND
- EXTERIOR LIGHTING, DARK SKY COMPLIANT
- OUTDOOR BBQ
- LOCATION OF FUTURE INTEGRATED PHOTOVOLTAIC PANELS
- NOT USED
- TRELLIS
- MAILBOX
- (E) TORREY PINE PROTECT IN PLACE - SEE LANDSCAPE PLAN
- CHIMNEY
- CONTINUOUS RECESSED GUTTER
- MATERIAL CHANGE
- THRESHOLD
- (E) SEWER MANHOLE
- (E) UTILITIES (REFER TO SURVEY)
- (E) TREE TO BE REMOVED
- (E) TREE TO REMAIN
- (E) NATIVE PLANT SPECIES TO REMAIN
- (N) IMPERMEABLE SURFACE
- NOT USED
- OUTDOOR SHOWER
- NEW 2:1 SLOPE- SEE CIVIL PLANS
- SKYLIGHT- FLUSH GLASS BY SAFTI FIRST

- NOTE:
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KEYNOTES

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(ACR)	ACRYLIC	(STN-1)	STONE WALL CLADDING
(CON-2)	CONCRETE FLOORING W/ EPOXY FINISH	(STN-2)	STONE FLOORING
(GLS-1)	TRANSPARENT GLASS	(STUC)	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
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(GLS-3)	TRANSPARENT GLASS GUARDRAIL	(WD-1)	WOOD WALL CLADDING
(MTL-1)	STRUCTURAL STEEL	(WD-2)	WOOD FLOORING
(MTL-2)	BREAK METAL	(WD-3)	WOOD SCREENS
		(WTR)	WATER

MATERIALS

	BUILDING FOOTPRINT ADDITION / NEW HABITABLE AREA
	(E) STRUCTURE TO REMOVE PLANTING AREA - REFER TO LANDSCAPE PLAN
	P/A

LEGEND

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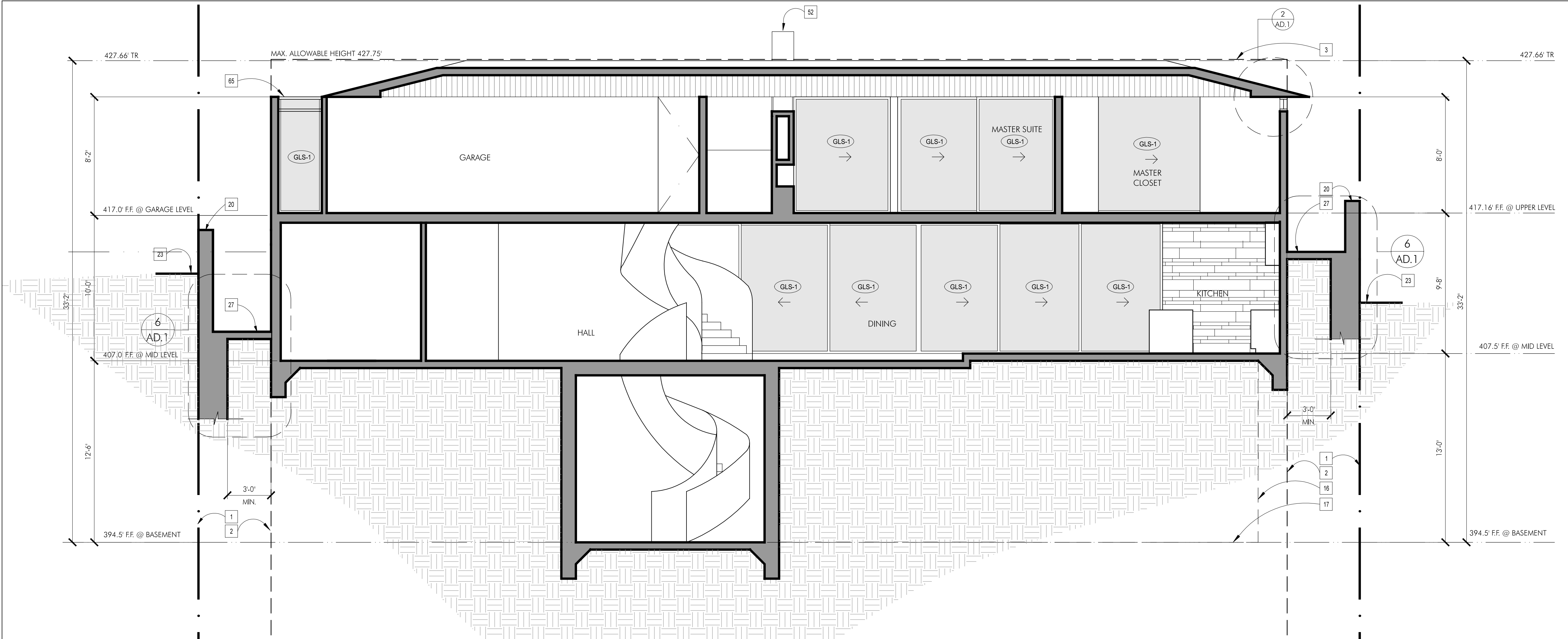
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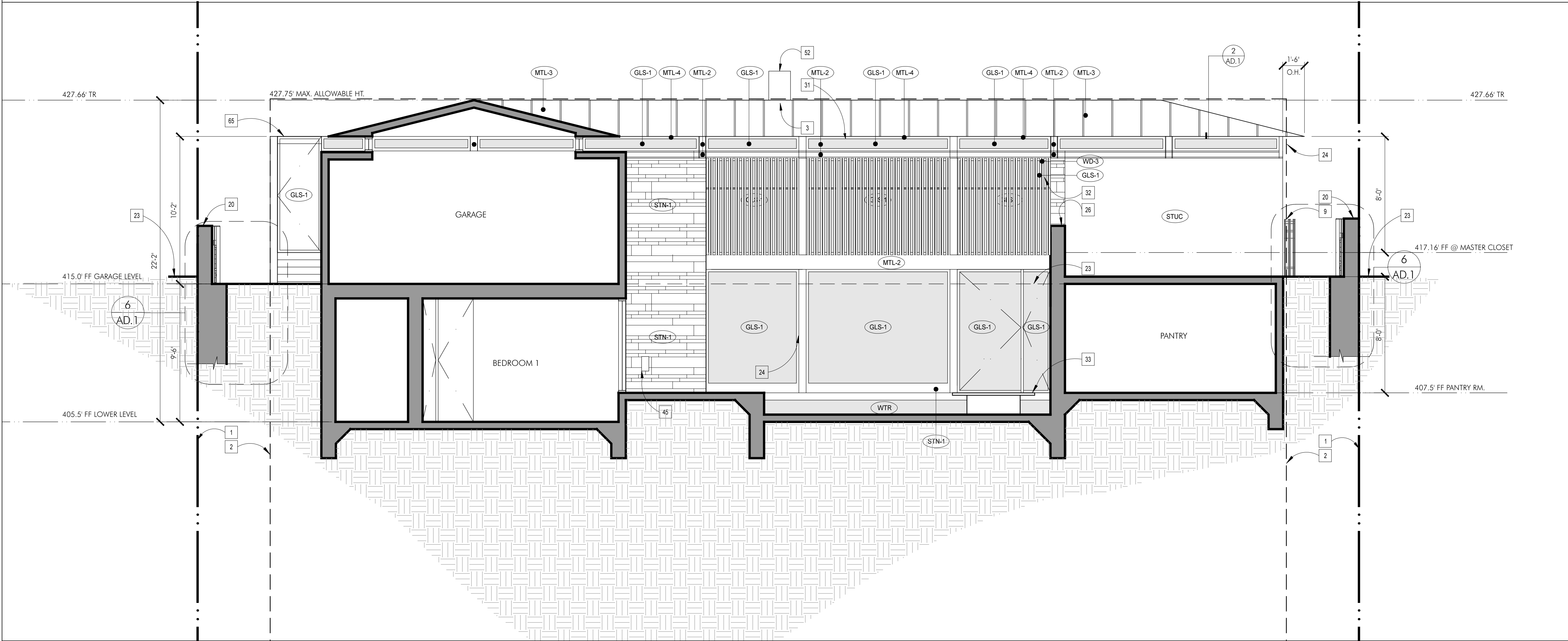
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A3.2



SECTION A



SECTION B

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- MAX. ALLOWABLE BUILDING HT - 15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY
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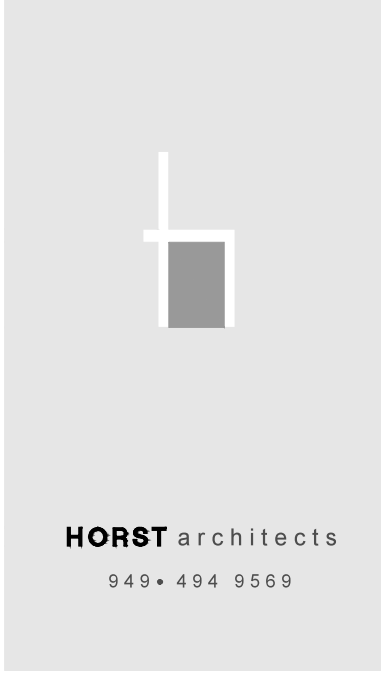
MATERIALS

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	(E) STRUCTURE TO REMOVE
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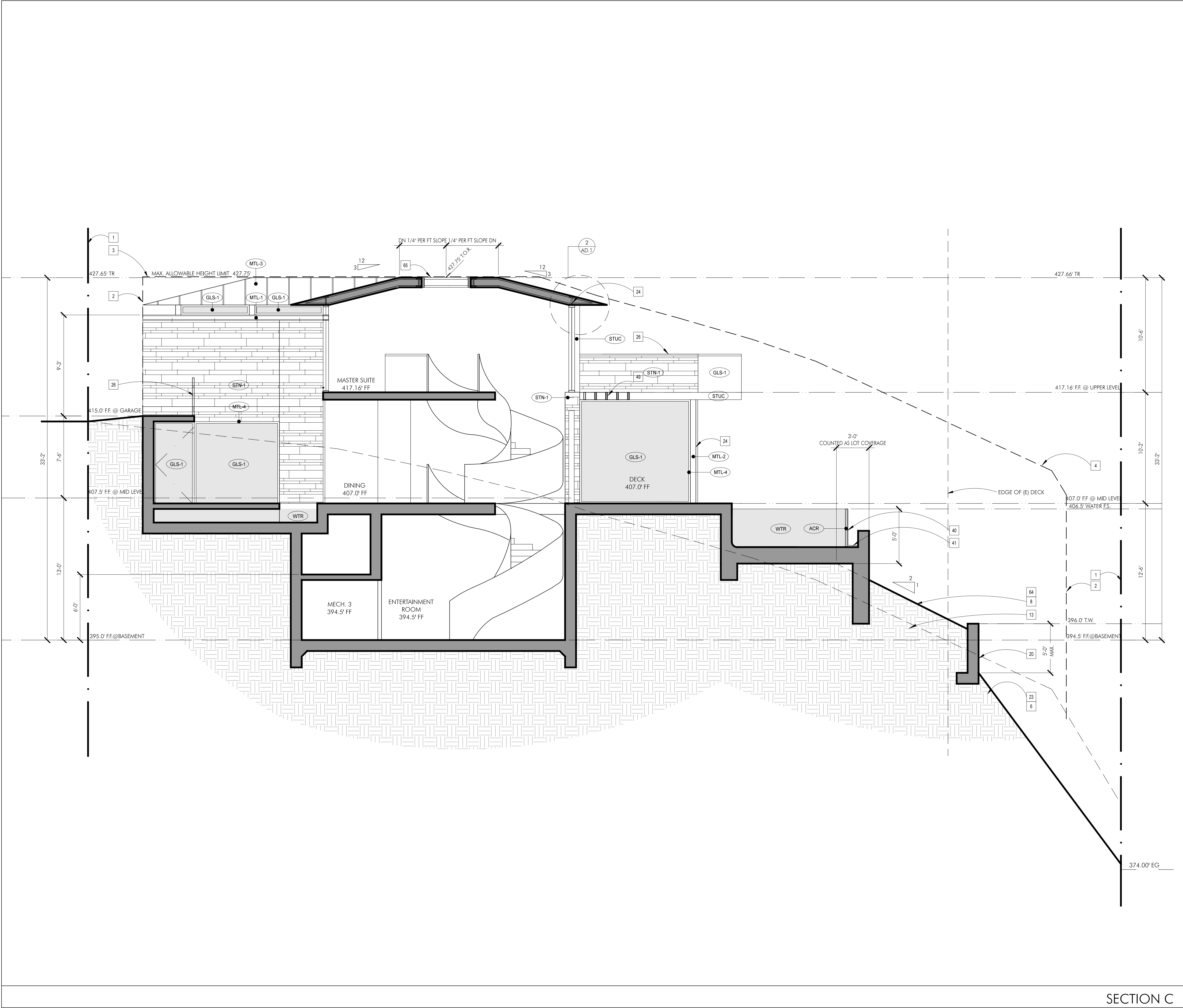
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A4.1



<div>1 PROPERTY LINE</div> <div>2 REQUIRED BUILDING SETBACK</div> <div>3 MAX. ALLOWABLE BUILDING HT - 15 FT ABOVE THE HIGHEST NATURAL GRADE PER 1960 AERIAL SURVEY</div> <div>4 MAX ALLOWABLE BUILDING HT - 20FT ABOVE THE NATURAL GRADE PER 1960 AERIAL SURVEY</div> <div>5 TOP OF SLOPE</div> <div>6 (E) BUTTRESSES TO REMAIN</div> <div>7 (E) CURB/EDGE OF PAVEMENT</div> <div>8 FINISH GRADE</div> <div>9 LOUVERS- ADJUSTABLE ALUMINUM BY "LOUVERTECH"</div> <div>10 PROFILE OF EXISTING STRUCTURE</div> <div>11 FIXED DATUM POINT/ BENCHMARK</div> <div>12 FS/ FG/ EG (ABOVE/ BELOW/ BEYOND AS OCCURS)</div> <div>13 NATURAL GRADE PER 1960 AERIAL SURVEY</div> <div>14 (E) RETAINING WALL TO REMAIN</div> <div>15 TWO OFF-STREET PARKING STALLS, 8'-8"x18'-0" EACH</div> <div>16 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)</div> <div>17 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)</div> <div>18 EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)</div> <div>19 (E) SITE/RETAINING WALL OR FENCE TO BE REMOVED</div> <div>20 SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 4' IN FYSB, 6' IN SYSB</div> <div>21 HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE</div> <div>22 CASEWORK</div> <div>23 EXISTING GRADE</div> <div>24 STRUCTURAL COLUMN/ BEAM</div> <div>25 SERVICE YARD - TRASH STORAGE AREA</div> <div>26 GUARDRAIL - 42" ABV. FS</div> <div>27 STAIRWAY OR STEPS ON GRADE</div> <div>28 STAIR</div> <div>29 POOL SECURITY GATE</div> <div>30 GATE 5' HIGH, SELF-CLOSING/LATCHING, NON-CLIMBABLE</div> <div>31 CLERESTORY (ABV/ BLW/ BYD AS OCCURS)</div> <div>32 SCREEN</div> <div>33 WALKWAY</div> <div>34 DIRECT VENT</div> <div>35 FIREPLACE</div> <div>36 OUTDOOR FIREPIT FUELED BY NATURAL GAS</div> <div>37 HARDSCAPE</div> <div>38 PLANTER / SOFTSCAPE AREA</div> <div>39 EDGE OF POOL (BELOW/BEYOND)</div> <div>40 POOL INFINITY EDGE</div> <div>41 INFINITY CATCH BASIN (18" DEEP)</div> <div>42 POOL / AC EQUIPMENT IN SOUND ATTENUATED VAULT</div> <div>43 NOT USED</div> <div>44 OPEN TO BELOW / BEYOND</div> <div>45 EXTERIOR LIGHTING, DARK SKY COMPLIANT</div> <div>46 OUTDOOR BBQ</div> <div>47 LOCATION OF FUTURE INTEGRATED PHOTOVOLTAIC PANELS (NOT PART OF THIS REVIEW)</div> <div>48 NOT USED</div> <div>49 TRELLIS</div> <div>50 MAILBOX</div> <div>51 (E) TORREY PINE PROTECT IN PLACE - SEE LANDSCAPE PLAN & ARBORIST REPORT</div> <div>52 CHIMNEY</div> <div>53 CONTINUOUS RECESSED GUTTER</div> <div>54 MATERIAL CHANGE</div> <div>55 THRESHOLD</div> <div>56 (E) SEWER MANHOLE</div> <div>57 (E) UTILITIES (REFER TO SURVEY)</div> <div>58 (E) TREE TO BE REMOVED</div> <div>59 (E)TREE TO REMAIN</div> <div>60 (E)NATIVE PLANT SPECIES TO REMAIN</div> <div>61 (N)PERMEABLE SURFACE</div> <div>62 NOT USED</div> <div>63 OUTDOOR SHOWER</div> <div>64 NEW 2:1 SLOPE- SEE CIVIL PLANS</div> <div>65 SKYLIGHT- FLUSH GLASS BY SAFTI FIRST</div> <div>66 ROOF/DECK DRAIN WITH OVERFLOW</div>																					
<div>NOTE:</div> <div>1. CURBS AND GUTTERS TO BE REMOVED MUST BE SAW-CUT AND REPLACED WITH NEW CONCRETE GUTTER AND DEPRESSED CURBING AND MUST FOLLOW EMERALD BAY SERVICE DISTRICT DESIGN SPECIFICATIONS. EXPANSION STRIP MUST BE USED TO ALL JOINING OF (N) AND (E) CURBS ND GUTTERS.</div> <div>2. SEE SHEET C-2, PRELIMINARY WALL PROFILE, FOR SITE WALL HEIGHTS</div> <div>3. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL</div> <div>4. SKYLIGHT IS NON-REFLECTIVE</div>																					
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HORST architects

949 • 494 9569

PRELIMINARY REVIEW 01-09-2020

PRELIMINARY REVIEW 2 02-06-2020

PRELIMINARY REVIEW 3 05-07-2020

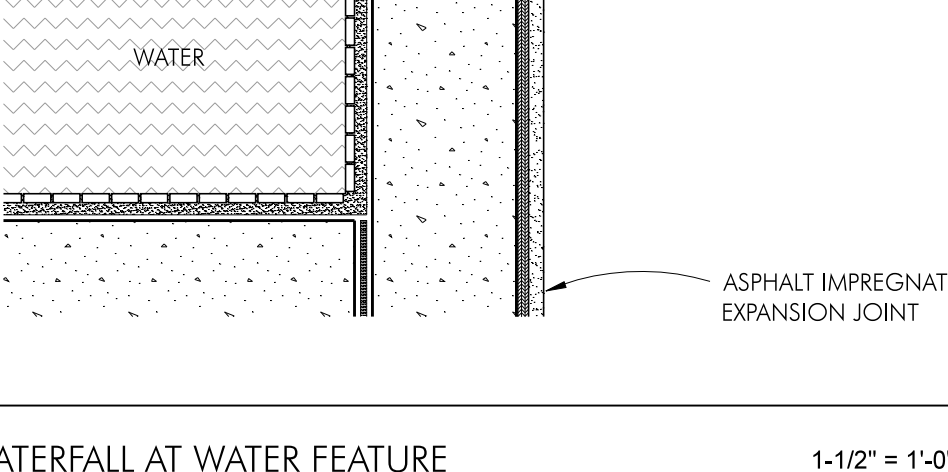
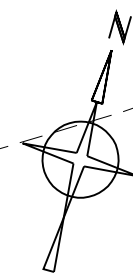
PRELIMINARY REVIEW 4 08-01-2020

SCALE:
1/4" = 1'-0"

PLOT DATE:
08-20-2020

SHEET NUMBER
A4.2

DRAWING PREPARED BY: RA



EXTERIOR LIGHTING PLAN