



Attachment 1
Findings
PA20-0065

-
- 1 **GENERAL PLAN** **PA20-0065**
That the use or project proposed is consistent with the objectives, policies, and general land uses and programs specified in the General Plan adopted pursuant to the State Planning and Zoning Law.
-
- 2 **ZONING** **PA20-0065**
That the use, activity or improvement(s) proposed, subject to the specified conditions, is consistent with the provisions of the Zoning Code, or specific plan regulations applicable to the property.
-
- 3 **COMPATIBILITY** **PA20-0065**
That the location, size, design and operating characteristics of the proposed use will not create unusual conditions or situations that may be incompatible with other permitted uses in the vicinity.
-
- 4 **GENERAL WELFARE** **PA20-0065**
That the application will not result in conditions or circumstances contrary to the public health and safety and the general welfare.
-
- 5 **PUBLIC FACILITIES** **PA20-0065**
That the approval of the permit application is in compliance with Codified Ordinance Section 7-9-711 regarding public facilities (fire station, library, sheriff, etc.).
-
- 6 **COASTAL DEVELOPMENT PERMIT 1** **PA20-0065**
That the development project proposed by the application conforms to the certified Local Coastal Program.
-
- 7 **COASTAL DEVELOPMENT PERMIT 2** **PA20-0065**
That the project conforms to the public access and public recreation policies of the California Coastal Act.
-
- 8 **COASTAL DEVELOPMENT PERMIT 3** **PA20-0065**
That the approval of this application will result in no modification to the requirements of the certified land use plan.
-
- 9 **COASTAL DEVELOPMENT PERMIT 4** **PA20-0065**
That the approval of the application will result in a project which is in full compliance with the requirements of the certified land use plan.
-

10

CATEGORICALLY EXEMPT

PA20-0065 (Custom)

That the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA), under the Class 1 (*Existing Facilities*) and Class 3 (*New Construction or Conversion of Small Structures*) exemptions pursuant to Sections 15301 and 15303 of the California Environmental Quality Act (CEQA) Guidelines and County of Orange procedures.

11

FISH & GAME - EXEMPT

PA20-0065

That pursuant to Section 711.4 of the California Fish and Game Code, this project is exempt from the required fees as it has been determined that no adverse impacts to wildlife resources will result from the project.

12

NCCP NOT SIGNIFICANT

PA20-0065

That the proposed project will not have a significant unmitigated impact upon Coastal Sage Scrub habitat and therefore, will not preclude the ability to prepare an effective subregional Natural Communities Conservation Planning (NCCP) Program.

13

FENCE AND WALL 1

PA20-0065

That the height and location of the over-height walls within the front setback area will not result in or create a traffic hazard.

14

FENCE AND WALL 2

PA20-0065

That the height and location of the over-height walls as proposed will not create conditions or situations that may be objectionable, detrimental or incompatible with other permitted uses in the vicinity.

6 BASIC/APPEAL EXACTIONS PA20-0065

Pursuant to Government Code Section 66020, the applicant is hereby informed that the 90-day approval period in which the applicant may protest the fees, dedications, reservations or other exactions imposed on this project through the conditions of approval has begun.

7 GEOLOGY REPORT PA20-0065

Prior to the issuance of a grading permit, the applicant shall submit a geotechnical report to the Manager, Building and Safety Division, for approval. The report shall include the information and be in the form as required by the Grading and Excavation Code and Grading Manual.

The subject site is located within a State of California Seismic Hazard Zone for liquefaction potential. The proposed development must address the potential impact of liquefaction at the subject site on the proposed grading and construction. Site specific liquefaction analysis and evaluation in accordance with SP117A requirements must be included in the project geotechnical report.

8 BUILDING CODES PA20-0065

- A. This project must comply with 2019 California Codes or latest adopted California Codes.
- B. This project is located in the High Fire Hazard area and shall comply with Chapter 7A of current adopted CBC.
- C. Driveway to garage is to be constructed per OC Zoning Code 7-9-145.5(a)(1) & 7-9-145.5(a)(2)

9 CONSTRUCTION NOISE PA20-0065

A. Prior to the issuance of any grading permits, the project proponent shall produce evidence acceptable to the Manager, Building and Safety Division, that:

(1) All construction vehicles or equipment, fixed or mobile, operated within 1,000 feet of a dwelling shall be equipped with properly operating and maintained mufflers.

(2) All operations shall comply with Orange County Codified Ordinance Division 6 (Noise Control).

(3) Stockpiling and/or vehicle staging areas shall be located as far as practicable from dwellings.

B. Notations in the above format appropriately numbered and included with other notations on the front sheet of the project's permitted grading plans, will be considered as adequate evidence of compliance with this condition.

10 **EROSION AND SEDIMENT CONTROL PLAN** **PA20-0065**

Prior to the issuance of any grading or building permit, the applicant shall submit an Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Building and Safety Division, to demonstrate compliance with the County's NPDES Implementation Program and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. The ESCP shall be updated as needed to address the changing circumstances of the project site. A copy of the current ESCP shall be kept at the project site and be available for County review on request.

11 **ROAD FEE PROGRAM** **PA20-0065**

Prior to the issuance of building permits, the applicant shall pay applicable fees for the Major Thoroughfare and Bridge Fee Program listed below, in a manner meeting the approval of the Manager, Building and Safety Division.

- a. San Joaquin Hills Transportation Corridor
-



CAA PLANNING

April 29, 2020

OC Public Works
OC Development Services
Attention: Mr. Kevin Canning, Contract Planner
300 N. Flower Street
Santa Ana, CA 92702

Subject: Coastal Development Permit Application, 92 Emerald Bay, Laguna Beach, CA 92651

Dear Mr. Canning:

On behalf of Brighton Road Investments, Inc., CAA Planning, Inc. (CAA) submits the attached application for a Coastal Development Permit (CDP) to allow remodeling of an existing residence located at 92 Emerald Bay. Specifically, the CDP is requested to authorize the construction of a subterranean basement level to the residence, and associated site grading. The existing development on the property includes a 7,847-square-foot residence (including the 700-square-foot garage) and associated landscape and hardscape improvements. The proposed project will result in a minor reduction of square footage as detailed in the table below. The remodel will include new decking, pool, spa, landscaping, and hardscape improvements. In addition to the CDP, a use permit will be required for new walls exceeding 3.5 feet in height within the front setback.

The location of the existing residence is shown on the attached regional and vicinity maps (Exhibits A and B) and the attached aerial (Exhibit C). Details of the proposed improvements are shown on the enclosed project site plan, floor plans, elevations, cross sections, grading plan, and landscaping plan (Exhibit D).

As stated above, the existing 7,847-square-foot residence and garage will be remodeled resulting in a slightly smaller 7,797-square-foot residence and garage. The existing site coverage is 40.1%, and proposed site coverage will be a slightly reduced, at 39.83%. A breakdown of the existing and proposed square footage of each level is identified in the following table.

| Description | Existing Floor Area | Net Change (+/-) | Proposed Floor Area |
|----------------------|---------------------|------------------|---------------------|
| Street Level | 330 sf | -204 sf | 126 sf |
| Kitchen/Living Level | 1,861 sf | -112 sf | 1,749 sf |
| Master Bedroom Level | 2,048 sf | +44 sf | 2,092 sf |
| Guest Level | 1,622 sf | -132 sf | 1,490 sf |
| Beach Level | 1,286 sf | +93 sf | 1,379 sf |
| Mechanical | 0 sf | +199 sf | 199 sf |
| 2-Car Garage | 428 sf | +48 sf | 476 sf |
| 1-Car Garage | 272 sf | +14 sf | 286 sf |
| Project Total | 7,847 sf | -50 sf | 7,797 sf |

The proposed project is consistent with the LCP, the Emerald Bay Building Restrictions, and the County of Orange Zoning Code R1 Building Regulations as further described below.



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Local Coastal Program

The community of Emerald Bay is regulated by the Emerald Bay Local Coastal Program (LCP), which was approved by the County of Orange (County) on January 24, 1989 and was certified by the California Coastal Commission on September 13, 1989. The LCP serves as both the Land Use Plan and the Implementing Actions Program for the Emerald Bay Community. At adoption of the LCP, the County applied the R1 Zoning over all residential lots that had been created pre-LCP (Exhibit E). The Emerald Bay LCP is fully certified, and therefore, the issuance of a required CDP is within the jurisdiction of the County.

Coastal Development Permit

The County Zoning Code specifies that CDPs are required for existing structures when an additional story or loft is constructed (§7-9-118.5.b.(2).c). The project proposes the construction of an additional 199 square feet of basement level for mechanical equipment. Construction of the new basement level will require a site grading permit, because more than 50 cubic yards of grading is proposed. Consistent with Zoning Code §7-9-118.3, site grading is considered to be development, and requires a CDP. The project site is located between Pacific Coast Highway and the ocean and is therefore located within the California Coastal Commission appeal jurisdiction as identified in Section III-B of the LCP and delineated on Figure 9 – Post LCP Certification Permit and Appeal Jurisdiction Map (Exhibit F).

Emerald Bay Building Restrictions

In addition to the County Zoning Code, the development of the subject property is regulated by the Building Restrictions contained in Covenants, Conditions and Restrictions (CC&Rs), which are administered by the Emerald Bay Community Association. In that regard, the proposed project was closely reviewed by the Emerald Bay Design Review Board (DRB) to ensure it meets the requirements of the CC&R Building Restrictions and will be aesthetically compatible and harmonious with adjacent homes in Emerald Bay. The project received final approval at the October 1, 2019 DRB meeting. Meeting minutes from the October 1, 2019 DRB approval are attached hereto.

County of Orange Zoning Code R1 Building Regulations

The residences in Emerald Bay are subject to the County Zoning R1 District Regulations (Regulations) in Zoning Code §7-9-74.8, established with adoption of the Emerald Bay LCP in 1989. The County provides for deviation from the Regulations with variance and/or use permit approvals. The following discussion outlines the project's compliance with the County's site development standards and identifies the need for deviation from the Regulations with respect to the wall height in the front setback, and possibly along the side property line.

Building Site Area – The minimum building site area in the R1 zoning is 7,200 square feet. The subject property is described as Lot 10 of Tract 975, which has an area of approximately 7,522 square feet. The site is in compliance with the Building Site Area.



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Building Height – The maximum building height limit allowed for structures in the R1 zoning district is 35 feet above finished grade. The existing residence is built on a sloping lot, and the Zoning Code procedure for measuring building height on a sloping lot is found in §7-9-129.1.(a), which specifies, “When a building site slopes in any direction at an average grade of more than ten (10) percent within the front fifty (50) feet of the building site, building height is the vertical distance above an inclined slope to the top of the structure , including screened mechanical and electrical fixtures. The inclined slope is established by enclosing the structure with an imaginary line five (5) feet outside of the perimeter of the structure, or at the property line if it is less than five (5) feet from the structure, and assuming that all ground closer is flat.” Per Drawing Sheet TP-1 of Exhibit D, the site slopes an average of 52% within the front 50 feet of the subject property. Using the inclined slope procedure outlined above, the height of the structure is less than 35 feet above finished grade as shown on Drawing Sheets A16 and A18 of Exhibit D.

Building Setbacks – Section 7-9-127 of the Zoning Code contains setback requirements for the R1 district. In addition, the Zoning Code allows exceptions to the setback requirements and provides several methods for calculating the setbacks. Section 7-9-128.4 says “Where a building site is situated between two (2) adjoining building sites, each of which has a main building within forty (40) feet of said building site which projects into the required front setback area, the front building line for said building site need not set back any further than the average of the setbacks of the two (2) adjoining buildings.” Using this criterion, the front setback for the project can be established using the average distance for the two adjoining buildings, which calculates to be 10 feet. The side and rear setbacks comply with the Zoning Code requirements of 5 feet and 25 feet, respectively. For comparison purposes, the Zoning Code setbacks and exceptions, the Emerald Bay setbacks, and the proposed setbacks are shown in following table.

| Setbacks | | | | |
|--------------------|-------------------------|-----------------------------------|--------------------------------|-----------------|
| Description | Code Requirement | Adjusted Code Requirement* | Emerald Bay Requirement | Proposed |
| Front | 20' | 10' | 5' | 10' |
| Right Side | 5' | 5' | 5' | 5' |
| Left Side | 5' | 5' | 5' | 5' |
| Rear | 25' | 25' | 5' | 25' |

*The front setback area is calculated per §7-9-128.4 of the Zoning Code, which allows for a front setback using the average distance for the two adjoining buildings. Using this method of calculation results in a front setback of 10 feet ($15.2' + 4.8' / 2 = 10'$).

Off-street Parking – The established number of off-street parking spaces for an R1 development is 2 covered spaces. The Emerald Bay requirement for a house of this size is 7 spaces with a minimum of 2 garage spaces. The proposed residence will provide the required 7 spaces with 3 covered parking spaces in the garages and 4 driveway spaces as shown on Drawing Sheet SP1 of Exhibit D.



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Lights – The lighting proposed for the new residence will be downlighted or shielded to prevent glare or to prevent being a nuisance to neighbors, and as such is in compliance with the R1 Regulations for lighting as show on Drawing Sheet L-3 of Exhibit D.

Use Permit Requirements

Section 7-9-137.5(b) of the Zoning Code restricts wall heights within the front setback to 3.5 feet, but §7-9-137.5(f) allows the modification of the height through the approval of a use permit per §7-9-150. Therefore, the applicant is requesting a use permit for approximately 10 feet of water feature wall, located between the driveways, and approximately 9 feet of service yard wall, located adjacent to the southerly property line, that encroach into the front setback. Both walls are shown on Drawing Sheet SP1 of Exhibit D.

Existing Over-Height Wall Segments

Small sections of existing walls located along the southern and northern property lines are in excess of the 6-foot height limit. Along the southern property line, approximately 28 feet of the existing wall varies in height from 6 feet to 8.5 feet. Along the northern property line, approximately 2.5 feet of the existing wall varies in height from 6 feet to 7.5 feet. These minor increases in wall height are due to the severely sloping nature of the project site and represent very minor encroachments above the height limit. There are no changes proposed to these existing over-height wall segments, and no additional approvals are required. However, if the County considers that these over-height wall sections should be included in the requested Use Permit, then the applicant requests that the County include them.

California Environmental Quality Act

The California Environmental Quality Act (CEQA) allows categorical exemptions for projects that have been determined not to have a significant effect on the environment (CEQA Guidelines §§15300-15332). Following is a brief analysis of why the project is consistent with Class 1 and Class 3 categorical exemptions.

Class 1 Categorical Exemption

The Class 1 (§15301) exemption provides for the operation, repair, maintenance, permitting, leasing, licensing or minor alteration of existing public or private structures, facilities, mechanical equipment or topographical features, involving negligible or no expansion of the use beyond that existing at the time of the lead agency's determination. Examples include:

- (a) *Interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances;*

The project is a remodel of an existing structure, which includes the construction of a new 199-square-foot basement and the remodeling of all five of the existing upper levels and the two existing garages, which results in a net decrease in the overall floor area of 50 square feet.



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(e) *Additions to existing Structures provided that the addition will not result in an increase of more than:*

(1) *50 percent of the floor area of the structures before the addition or 2,500 square feet, whichever is less; or. . .*

The project is a remodel of an existing structure, which includes the construction of a new 199-square-foot basement and is less than 50% of the floor area and less than 2,500 square feet.

(l) *Demolition and removal of individual small structures listed in this subdivision;*

(4) *Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences.*

The project will include the demolition of an existing spa and hardscape improvements.

Class 3 Categorical Exemption

The Class 3 (§15303) exemption consists of construction and location of limited numbers of new, small facilities or structures. Examples of the exemption include:

(e) *Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences.*

The project will include construction of a new pool and spa, patio decking, and hardscape improvements.

Each component of the project, including the remodel of the existing residence and the demolition and reconstruction of the accessory structures, meets criteria outlined in the Class 1 and Class 3 exemptions. The project will not result in a cumulative impact or significant environmental effect, and will not damage scenic or historic resources; and the appropriate environmental document for this project is a Notice of Exemption. Standard conditions of approval applied by the County for all construction projects of this nature will address any short-term construction-related concerns.

Conclusion

The remodel of R1 residences and associated site improvements is common in the Emerald Bay community. The project will result in a slight reduction in building intensity and site coverage, and does not require any variances, which are common in Emerald Bay given the difficulty associated with the application of the R1 zoning regulations to legal, non-conforming lots and structures on sloping terrain.

The use permit for the over height wall in the front setback is minor in nature, and the location of the wall is consistent with similar improvements throughout Emerald Bay. This over-height wall will not be objectionable, detrimental, or incompatible with other permitted uses within the community. The wall is located away from the street and will not result in, or create, a traffic hazard. If the Zoning Code requirements were strictly applied to this lot, previous applications



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approved by the County would enjoy privileges beyond the permits requested for the proposed residence at 92 Emerald Bay Drive.

The proposed project is consistent in character with previously approved requests of homeowners in the surrounding neighborhood and is consistent with the Emerald Bay CC&R Building Restrictions. In addition, the proposed residence at 92 Emerald Bay is consistent with the Emerald Bay LCP and the County Zoning Code. We appreciate the County's consideration on this project and look forward to working with you. If you have any questions, please contact me or Shawna Schaffner at (949) 581-2888.

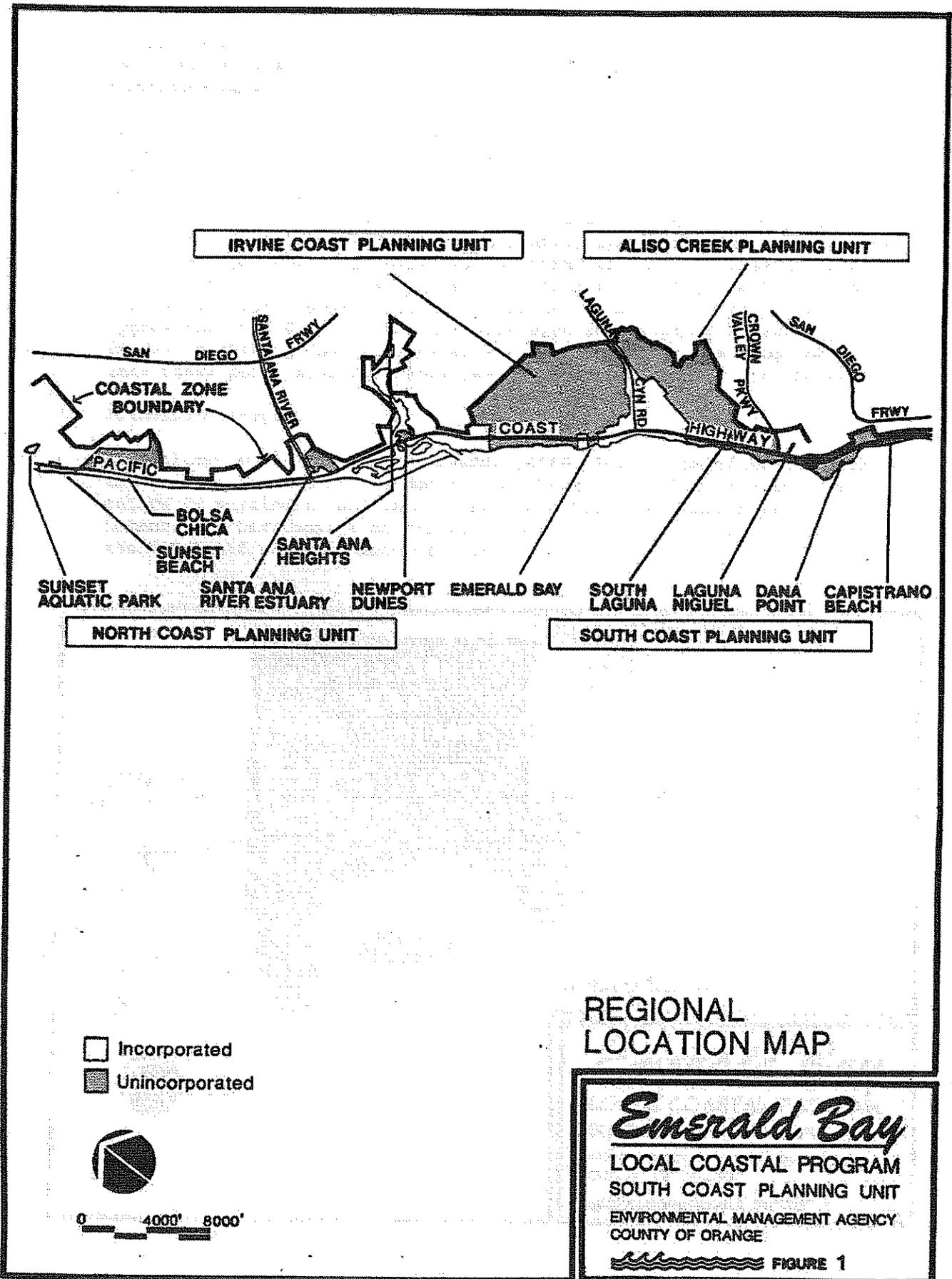
Sincerely,

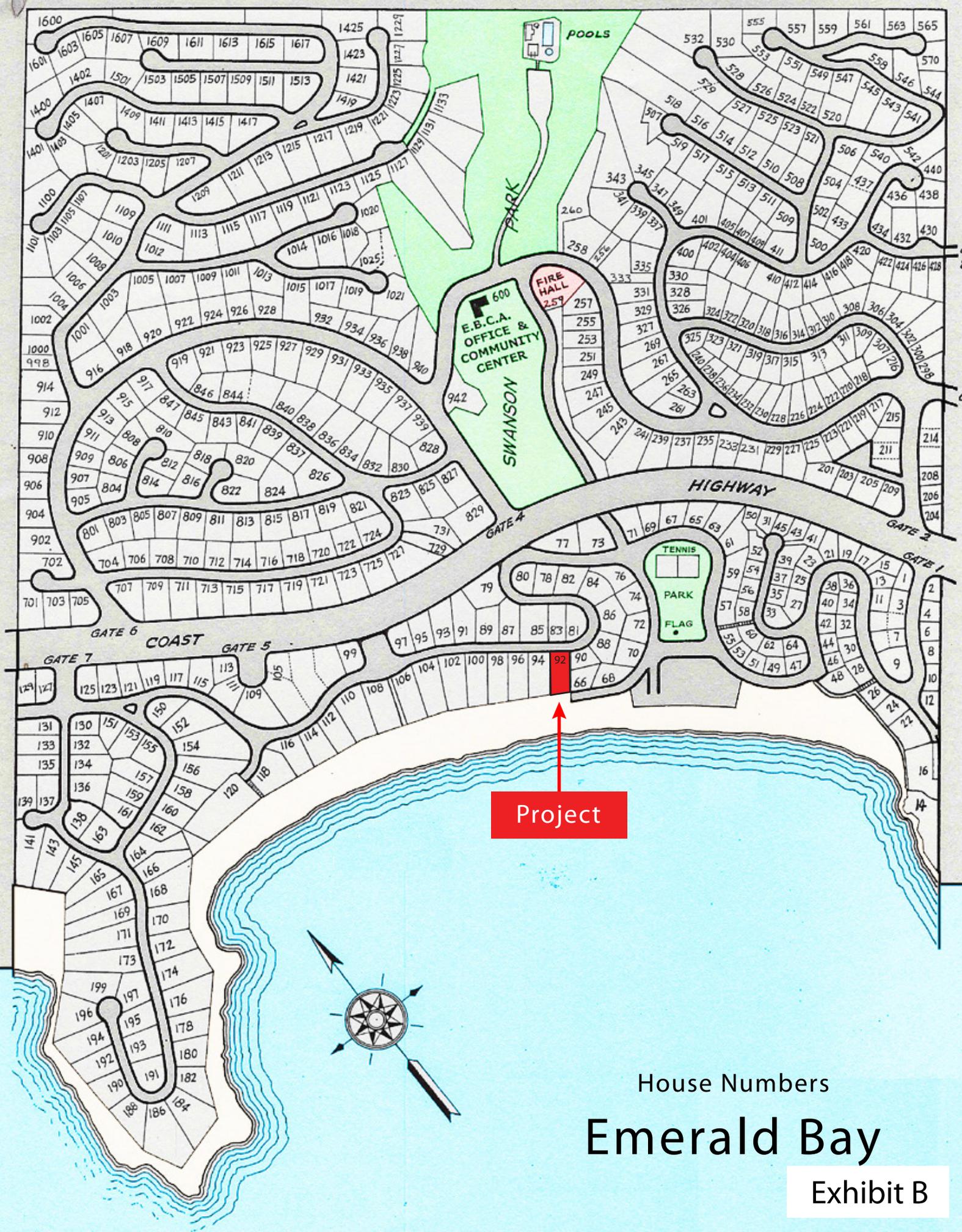
CAA PLANNING, INC.

Paul Shaver

Attachments: Exhibit A-Regional Map
Exhibit B-Vicinity Map
Exhibit C-Aerial
Exhibit D-Plans
Exhibit E-Zoning
Exhibit F- Appeal Area
Emerald Bay Approval

cc: Brighton Road Investments, Inc. – Applicant
Victor Rogel – CJ Light Associates
Shawna Schaffner – CAA Planning, Inc.



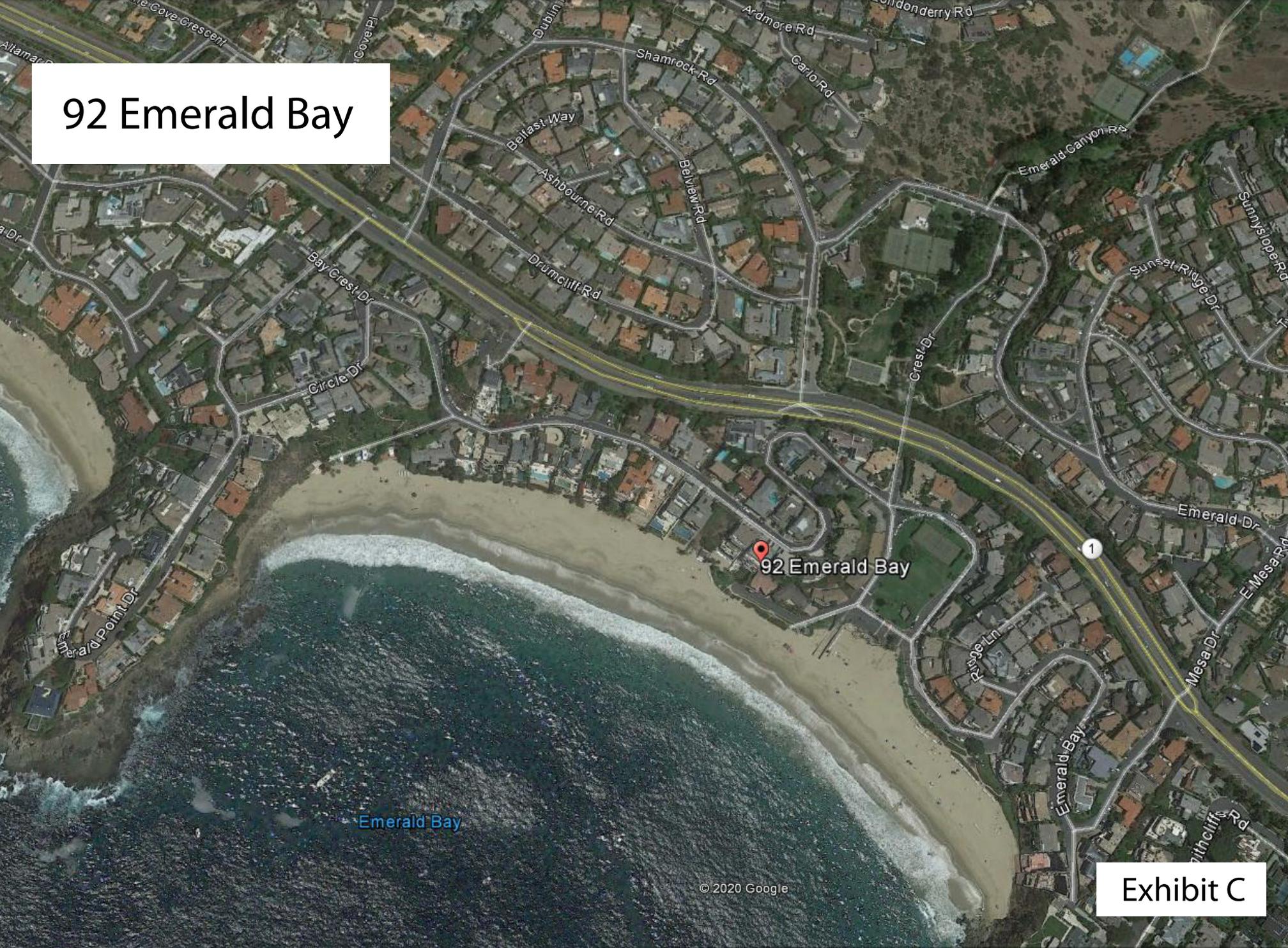


House Numbers

Emerald Bay

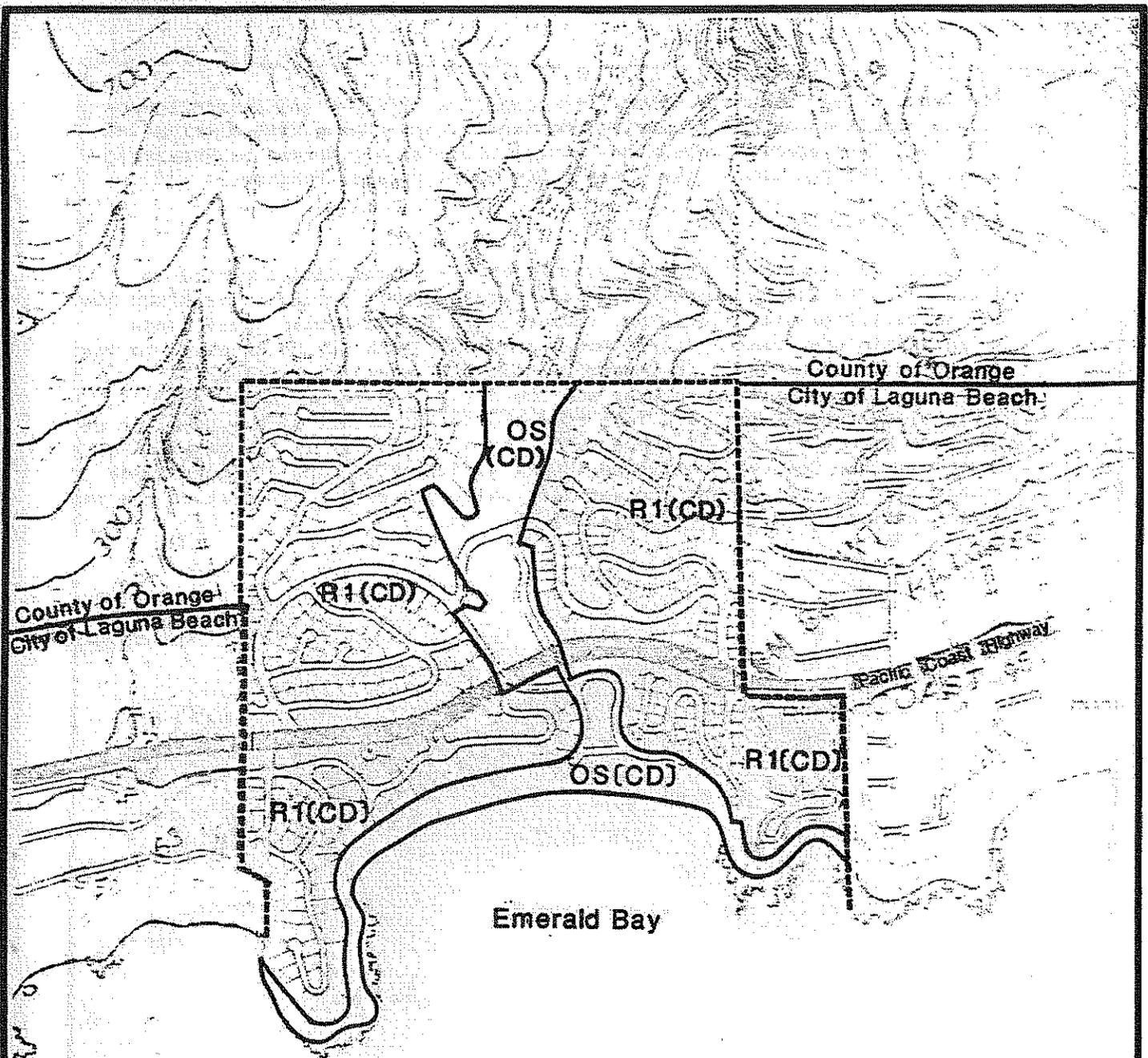
Exhibit B

92 Emerald Bay

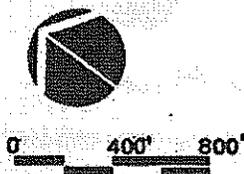


92 Emerald Bay

Emerald Bay



- R1 Single-Family Residence
- OS Open Space
- (CD) Coastal Development Overlay
- LCP Study Area



Note 1: Scenic Highway Overlay (SH) applicable to within 25' of the ultimate ROW for PCH

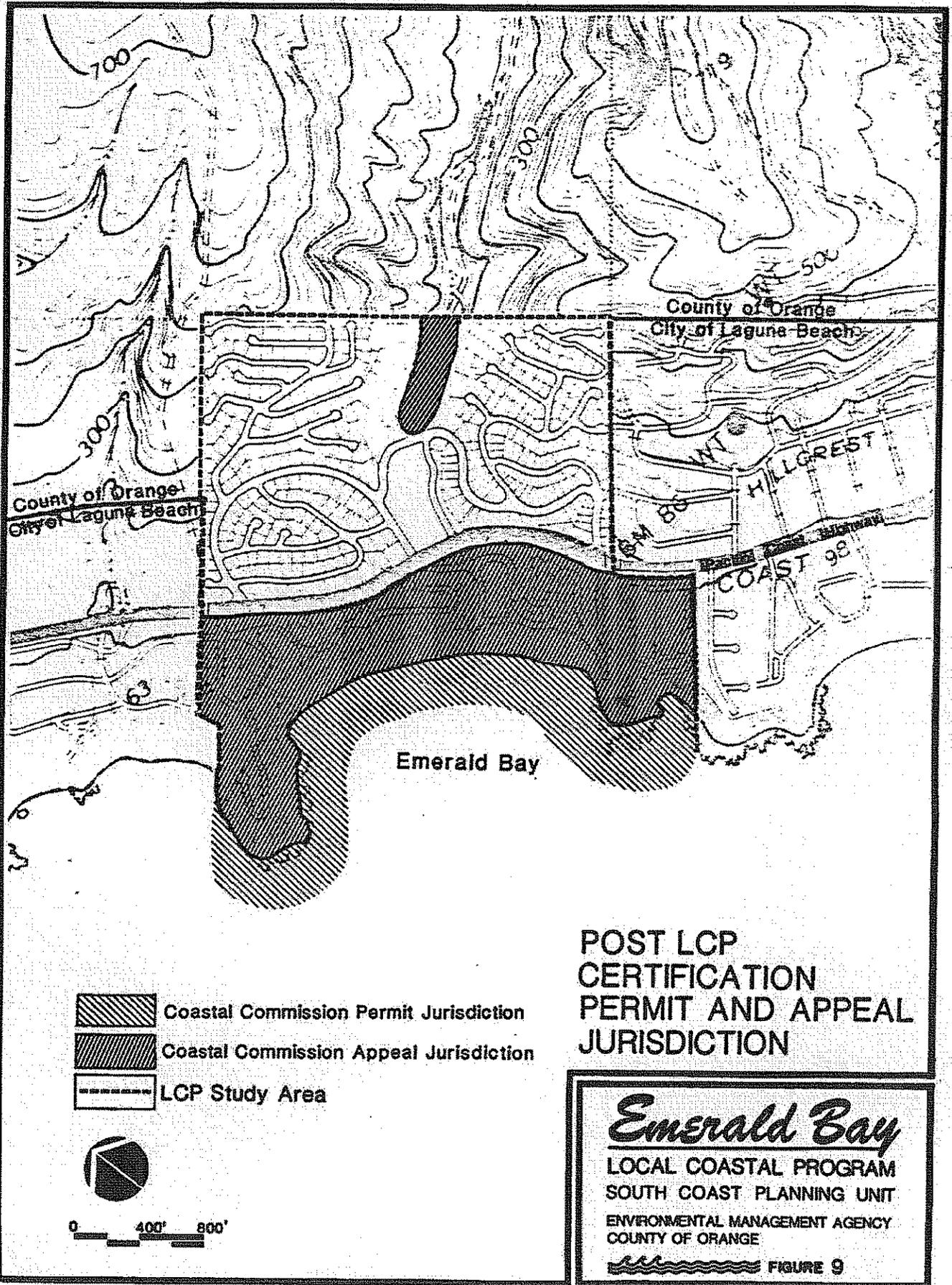
Note 2: Floodplain Overlay (FP) applicable as indicated on Flood Insurance Rate Map Community-Panel number 060212 0074A and County SR and FP-2 and FP-3 areas established by Ordinance number 3223

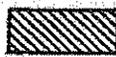
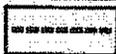
ZONING

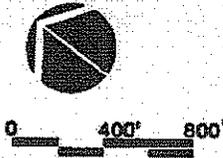
Emerald Bay

LOCAL COASTAL PROGRAM
SOUTH COAST PLANNING UNIT
 ENVIRONMENTAL MANAGEMENT AGENCY
 COUNTY OF ORANGE

FIGURE 8



-  Coastal Commission Permit Jurisdiction
-  Coastal Commission Appeal Jurisdiction
-  LCP Study Area



**POST LCP
CERTIFICATION
PERMIT AND APPEAL
JURISDICTION**

Emerald Bay
 LOCAL COASTAL PROGRAM
 SOUTH COAST PLANNING UNIT
 ENVIRONMENTAL MANAGEMENT AGENCY
 COUNTY OF ORANGE
 FIGURE 9

APPLICANT: DAVIS (previously ISOLA)
ADDRESS: #92
PROJECT: 2913 TRACT: 975 LOT: 10
SCOPE OF WORK: MAJOR REMODEL w/ MAJOR LANDSCAPE/HARDSCAPE
(RECLASSIFIED FROM 25 – 50% REMODEL DUE TO SCOPE
NOT AREA ADDED)
SUBMITTAL FINAL
ARCHITECT: Christian Light
Phone: (949) 851-8345 Lic. # C22334
LANDSCAPE ARCHITECT: Exteriors Inc. - Richard King
Phone: (949) 285-9692

Architectural review by Ken Wilkins

Landscape review by James Dockstader

FINAL COMMITTEE RECOMMENDATION: APPROVAL

HISTORY OF SUBMITTALS:

- | | | |
|------------------|------------------------|----------------------|
| • January 2019 | CONCEPT | ACKNOWLEDGED |
| • June 2019 | PRELIMINARY | DISAPPROVED |
| • August 2019 | PRELIMINARY RESUB | DISAPPROVED |
| • September 2019 | PRELIMINARY RESUB 2 | APPROVED |
| • February 2020 | FINAL | DEFERRED |
| • March 2020 | FINAL (PREV. DEFERRED) | POSTPONED (COVID-19) |

SUMMARY OF PROPOSED ARCHITECTURAL IMPROVEMENTS:

The scope of work indicated in the Submittal Application is the remodel of an existing residence of 7,847 SF (7,147 + 700), which includes a 3-car (2+1) garage. There are 1,317 SF of decks noted (1,093 SF of existing roof decks and 254 SF of new cantilevered decks). **No new overlays were provided.**

The areas indicated on the submittal are:

| | Existing | Proposed | Change |
|------------------------|----------|----------|---------|
| • Street/ Garage Level | 1,030 SF | 888 SF | -142 SF |
| • Kit/ Living Level | 1,861 SF | 1,749 SF | -82 SF |
| • Master Bedroom Level | 2,048 SF | 2,092 SF | +44 SF |
| • Guest Bedroom Level | 1,622 SF | 1,490 SF | -132 SF |
| • Beach Level | 1,286 SF | 1,379 SF | +93 SF |
| • Mechanical | 0 SF | 199 SF | +199 SF |
| • Deck | 1,093 SF | 1,347 SF | +254 SF |

The proposed Architectural changes include (NONE SINCE SEPTEMBER 2019 SUBMITTAL):

- Remodel existing non-conforming 2-car Garage to conform with the minimum dimensions and add one parking space and revise one to a compact space (at the single space garage) to bring the number of parking spaces into conformance.

- Reduce existing non-conforming lot coverage of 40.84% to 39.83%.
- Reduce/eliminate, modify and pull back various roof, chimney and deck elements.
- Refinish and replace existing exterior finish materials.
- Interior remodeling including addition of an elevator.
- Lower the Beach level floor elevation by 2', the extension further into the slope was removed.
- The Mechanical space level below main structure was reconfigured; the trash bins and extension to the elevator were removed.
- The single space garage roof was revised to a full hip to accommodate better view lines for neighbors.
- The Service Yard was relocated to the SE side yard halfway down the driveway.
- The two Guest Bedroom cantilevered decks were reduced in width by +/- 3' each.

The proposal changes the existing architectural character. Therefore, all existing non-conforming elements are required to be brought into conformance. No new non-conforming can be added.

SUMMARY OF PROPOSED LANDSCAPE IMPROVEMENTS:

Proposed landscape improvements include: Walls, pool, spa, outdoor fireplace, water feature, paving, planting, irrigation. **Review is based on previous finding that existing non-conforming elements must be addressed (change in broad style of architecture).**

STAFF ARCHITECTURAL FINDINGS:

1. ARCHITECT STAMP (Section B.2): The plans are stamped and signed. **OK**
2. ARCHITECTURAL REVIEW - SUBMITTAL COMPLETENESS (Section B.5): Submittal is generally complete enough for review. **OK**
3. LOT COVERAGE (Section C.1): Maximum 40% for this tract. The lot coverage is stated on the submittal application as $(2,996 / 7,522) = 39.83\%$, reduced from the existing 40.84%. **No new overlay for the lot coverage calculation was provided. No changes were made from Preliminary. OK**

A signed copy of the 1960 topo plan was submitted with lot area indicated. **OK**

4. SETBACKS (Section C.2): The existing structure appears to respect the 5'-0" minimum setbacks at the street and beach elevations. The existing non-conforming cantilevered deck and bay projections occurring at the side elevations were removed. **OK**

The Committee has the right to require greater setbacks.

5. UTILITY EASEMENTS (Section C.3): Portions of retaining walls, stairs and planters are allowed within the Utility Easements.

Proof of Emerald Bay Service District review and approval was provided. OK

NOTE: As part of the Service District review note: projection of caissons or any below grade structures including shoring structures have recently been limited to project 24" into the utility easements. The submittal states only site walls and stairs are proposed.

The applicant has noted there will be no additional structure or projections into the Utility Easements and shoring is not required.

6. PARKING (Section C.4): The parking requirement shown on the Submittal Application is 7,797 but on sheet C1 it notes 7,187. The garage area used for required parking does not need to be included in the parking calculations ($7,797 - 430 - 180 = 7,187$). **No new overlays were provided.** Seven spaces (3 in the garage (one compact) and 4 off street spaces in the driveway) are provided.

The note on the mechanical space ceiling not to exceed 6'-6" was removed on sheet A5 but remains noted on sheets A19 to be 6'. It previously appeared the area was included in the parking calculation. No overlays were provided with this submittal to confirm however there were no plan changes. OK

7. SERVICE YARD (Section C.5): Located to the Southeast sideyard halfway down the driveway. It is out of the 5' front yard setback. **OK**
8. BACKFLOW PREVENTION DEVICES (Section C.8): New residences and renovations/remodels/additions that include the addition of 2 or more plumbing fixtures require a backflow prevention device. **The Service District reviewed. OK**
9. NUMBER OF STORIES (Section D.1): The Submittal Application indicates no change to the existing. **OK**
10. BUILDING HEIGHT (Section D.2): "The height of any Structure on any Lot or Parcel in this zone shall not exceed thirty (30) feet above the Natural Grade of the Lot or Parcel; and shall not exceed (12) feet above the average level of the frontage of said property on Lot A, Tract 975, or the highest point on the property upon which such residence is built, whichever is lower". **OK**
11. COMPATIBILITY (Section D.3): Materials indicated include zinc roofing, stucco, stone, wood cladding and glass railings. **The overall broad style of architecture has changed. The Committee does not take exception.**
12. NON-CONFORMING STRUCTURES (Section D.4): A pre-existing, non-conforming Structure or portions of a Structure may be retained where the proposed alteration does not increase the square footage by 25% or more, increase the height of the Structure such that it is above the height envelope for the Tract and there is no change to the existing broad style of architecture.

The Committee has determined the broad style of architecture is changing therefore all existing non-conforming elements must be corrected.

All new elements must conform to the current Architectural Regulations.

Existing non-conforming elements:

- 2-car Garage (proposed to be brought into conformance)
- Inadequate parking (proposed to be brought into conformance)
- Lot Coverage (proposed to be brought into conformance)
- Sideyard cantilevered deck and bay projections within 5' setbacks. (Removed)
- No Service Yard (added)

New non-conforming elements:

- None

13. ROOFS (Section D.5): The intent of the roof requirements includes that design is consistent with prevailing appearances within the Community.

Roof pitch: 7:12, 3.63:1, 3:12 **OK**

Flat roof: Roof slopes less than 3:12 are considered flat. The maximum area of flat roofs allowed is 15%. Flat roof area indicated in the submittal is (291 SF/ 1,997 SF) = 14.6%. Skylights are not counted as flat roof. **OK**

Roof materials: Zinc roofing noted. **Noted as Class "A". OK**

Roof Equipment: None shown. **OK**

Parapet: None shown. **OK**

14. ROOF DECKS (Section D.6): Existing roof decks occur at the Kitchen/ Living Room level and Master Bedroom level. The interior living space and exterior roof deck areas have been modified to conform to proportions within requirements. Existing Roof Decks appear to be in compliance. **OK**

15. MATERIALS AND COLORS (Section D.7): Actual materials samples and exterior colors are required to be submitted on a board no smaller than 11 x 17 and no larger than 18 x 24. A color rendering must be included on the board to clearly identify the location of all proposed materials and colors. **A material and color board was submitted. The Committee took no exception**

16. WINDOWS AND DOORS (Section D.8): French doors noted as metal clad. Garage doors noted as wood. **Additional information shown on the material and color board. A glass sample was included. OK**

17. ANTENNAS (Section D.9): None shown. **OK**

18. SOLAR PANELS (Section D.10). None shown. **OK**

19. SKYLIGHTS (Section D.11): Noted as non-reflective. **OK**

20. ARCHITECTURAL EXTERIOR LIGHTING (Section D.12): Light fixtures must be down lit or shielded to prevent glare or be a nuisance to neighbors. Light fixtures must be complementary to the architectural style of the residence.

Indicated on elevations, type not identified on elevations. Cut sheet provided. **OK**

21. GUTTERS AND DOWNSPOUTS (Section D.13): Noted to be concealed, detail provided that indicates no parapet extension above roof plan. **OK**

22. OTHER COMMENTS:

- **None**

STAFF LANDSCAPE FINDINGS:

1. SUBMITTAL COMPLETENESS (Section B.5): Submittal must be generally complete enough for review. **OK.**

2. LANDSCAPE STRUCTURES ARE SET BACK 5' FROM LOT BOUNDARIES (Tract Schedule A Exhibits): Except for fences and walls, structures are 5' from PL. **OK**

UTILITY ELEMENTS / EBSD SUBMITTAL: Evidence of EBSD review and approval will be required at the time of final submittal. **Provided. OK**

3. LOT COVERAGE (Sec C.1): Landscape features such as raised patios and/or freestanding structures must not create a lot coverage overage. **OK**
4. SITE DRAINAGE (Sec C.6): A conceptual grading and drainage plan must be included, generally showing adequate site drainage. **OK**
5. CURBS AND GUTTERS (Sec C.7): For new residences and major remodels, plans must show complete replacement of curb and gutter along entire street frontage with reference to EBSD requirements. **OK**
6. BACKFLOW PREVENTION (Sec C.8): A backflow prevention device must be installed for proposed irrigation systems and must not be located on Association Property. **Not shown**
7. EXTERIOR MECHANICAL EQUIPMENT (Sec E.1): Mechanical equipment shall not be located in easement areas. **It appears that AC and other mechanical equipment are proposed under rear patio.**

Mechanical spa equipment appears to be screened from view. **OK**

Noise impacts on adjacent neighbors must be avoided and/or minimized. **OK**

An acoustical report prepared by a qualified expert is submitted showing that anticipated noise impacts are less than the County maximum at the nearby property lines. **Acoustical report addresses AC units (OK). The pool equipment was addressed separately and does not required sound mitigation. OK**

Acoustical report assumptions and recommendations are consistent with submittal drawings. **OK**

8. EXTERIOR LIGHTING (Sec E.2): Landscape lighting proposals must be shown and must appear to limit glare and annoyance. **OK**
9. FENCES, WALLS, AND HEDGES (Sec E.3):

In front yard setback areas fences, hedges, and walls are to be 4' high or less as compared to adjacent top of curb elevations. For corner lots, the maximum height is 3'. **OK**

Between the front yard setback and the house structure fences, walls, hedges, railings or other features are to be 4' high or less compared to finished grade. **OK**

Front yard improvements address issues of visual impact, compatibility, and contributions to common visual streetscape. **No change from Preliminary approved plan. OK**

In side yard and rear yard setback areas fences and/or walls must be 6' high or less as compared to existing grade along neighbor's side of property line. **OK**

Property line fences, walls, and footings must be constructed completely on the subject property. **OK**

Block walls are finished on all sides. **OK**

At the street fences, walls, and railings must be held back a minimum of 18 inches from face of curb. **OK**

10. PLAY EQUIPMENT AND PLAY HOUSES (Sec E.5): Issues of noise and visual impact have been adequately addressed. **None proposed. NA**

11. MAILBOXES (Sec E.6): Design and location must be shown. **OK**

12. OUTDOOR FIREPLACES, FIREPITS, COOKING ELEMENTS (Sec E.7): Outdoor fireplaces, BBQs, and ovens shall be a minimum of 5' clear of any property line and must be gas only. **Not proposed. NA**

The minimum setback for any open firepit shall be a minimum of 10'. **OK**

13. WATER FEATURES, SWIMMING POOLS, SPAS (Sec E.8): Pool and spa structures are located entirely outside the 5' utility easement area. **OK**

Issues of noise and visual impact must be adequately addressed. **No change from Preliminary approved plan. OK**

Security/pool fencing is shown. **OK**

14. PARKWAY ACCESS (Sec E.12): Planting and paving within 18-24" of face of curb shall allow for convenience of on-street parking **OK**

15. IMPROVEMENTS ON EBCA PROPERTY Section C, Part 21): Trees, hedges, and structures are not proposed on EBCA property. **OK**

16. POTENTIAL OBSTRUCTION OF VIEW (Sec A.5): Trees and shrubs must not unreasonably block a neighbor's view. **OK**

17. PREPARATION BY LANDSCAPE ARCHITECT (Sec B.2): **OK.**

18. FUEL MODIFICATION (Sec E.14): Highly flammable target species shall not be proposed. **OK**

Perimeter properties appear to be consistent with Orange County requirements for Zone A. **NA**

19. OTHER:

- **Civil plan shows a newly proposed wall in the east sideyard near the cul de sac.**

FINAL COMMITTEE RECOMMENDATIONS:

1. The Committee had previously deferred its recommendation to allow the applicant to obtain Emerald Bay Service District approval. Proof of approval was submitted. Therefore, the Committee now recommends **Approval**.

2. Note:

- a. Approvals are valid for one year. See extension request requirements in the Architectural Regulations for additional information.
- b. All future submittals must be accompanied by a detailed scope of work and highlighting revisions to previous scope of work, if any.
- c. If it becomes necessary or desirable for the Association to utilize its easements within private property boundaries, it is the responsibility of the owner of such property to remove improvements (whether previously approved by the Association or not) to provide access and to replace or repair improvements subsequent to Association access at no cost to the Association.
- d. Any changes to the Final approved plans must be submitted for Architectural Committee's review prior to construction.

No representatives were in attendance to further discuss the submittal.

At their meeting on May 5, 2020 the Board voted to approve the recommendation of the Architectural Committee.

Custom Residence

92 Emerald Bay

Laguna Beach • California • 92651

Abbreviations

| | | | | | |
|-------|-----------------------|----------|----------------------------|--------|----------------------|
| AB | Anchor Bolt | DIM | Dimension | MECH | Mechanical |
| AC | Air Conditioning | DR | Drawing | MAX | Maximum |
| ACOU | Acoustical | D.F. | Drinking Fountain | MET | Metal |
| AD | Area Drain | EA | Each | MIN | Minimum |
| ADJ | Adjustable | ELEC | Electrical | (N) | New |
| ADJT | Adjacent | ELEV | Elevation | NIC | Not In Contract |
| ALT | Aluminum | EQUIP | Equipment | N.T.S. | Not To Scale |
| ALT | Alternate | EX | Existing | NAT | Natural |
| APPRX | Approximate | EXP. JT. | Expansion Joint | OC | On Center |
| ARCH | Architect | EXT | Exterior | OPG | Opening |
| ASB | Asbestos | EQ | Equal | OD | Outside Dim |
| ASP | Asphalt | FOF | Face Of Finish | OH | Overhead |
| ASBO | As Selected By Owner | FOC | Face Of Concrete | PLAS | Plaster |
| BD | Board | FOS | Face Of Stud | PLPG | Plate |
| BUILD | Building | FIN | Finish | PG | Paint Grade |
| BL | Block | FP | Fire Proof | PR | Pair |
| BLK | Blocking | FS | Finish Surface | RAD | Radius |
| BM | Beam | FT | Foot | REQ | Required |
| BOT | Bottom | FTG | Footing | RD | Roof Drain |
| BED | Bedroom | F.D.C. | Fire Department Connection | RM | Room |
| BRK | Bracket | GI | Galvanized | RVD | Revised |
| CAB | Cabinet | G.I. | Galvanized | RO | Redwood |
| CB | Catch Basin | GA | Gauge | R.O. | Rough |
| CM | Cement | GL | Glass | R.O. | Rough Opening |
| CER | Ceramic | GYP | Gypsum | REG | Register |
| C. I. | Cast Iron | GC | General Contractor | SCH | Schedule |
| CLG | Ceiling | HDWR | Hardware | SECT | Section |
| CA | Calking | HW | Hardwood | SIM | Similar |
| CL | Center Line | HT | Height | STD | Standard |
| CLOS | Close | HC | Hollow Core | STL | Steel |
| CLR | Clear | HM | Hollow Metal | STR | Structural |
| CEM | Concrete Masonry Unit | HORIZ | Horizontal | SUSP | Suspended |
| CTR | Counter | HB | Hose Bibb | TEL | Telephone |
| COL | Column | HVAC | Heating Venting Ac | TEMP | Temporary |
| CONC | Concrete | IN | Inch | T&G | Tongue And Groove |
| COND | Condition | ID | Inside Dim. | TC | Top Of Curb/Concrete |
| CONN | Connection | INSUL | Insulation | TS | Top Of Slab |
| CONST | Construction | INT | Interior | TYP | Typical |
| CONT | Continuous | INV | Invert | TW | Top Of Wall |
| CONTR | Contractor | JT | Joint | VTR | Vent Thru Roof |
| COR | Corridor | KIT | Kitchen | VT | Vertical |
| CT | Center | LAV | Lavatory | VT | Vinyl Tile |
| CTSK | Countersunk | LIN. FT. | Linear Foot | WC | Water Closet |
| CL | Center Line | LINOL | Linoleum | WH | Water Heater |
| C.T. | Ceramic Tile | LG | Long | WT | Weight |
| CLR | Clear | LAM | Laminated | WD | Wood |
| DET | Detail | LT | Light | WWM | Welded Wire Mesh |
| DIA | Diameter | MB | Machine Bolt | WI | Wrought Iron |
| | | | | WS | Weather Strip |

Codes

This Project Shall Comply With The Following Codes:

| | | |
|----------|---------------|-----------|
| 2019 CBC | 2019 CPC | 2019 T-24 |
| 2019 CEC | 2019 CRC | |
| 2019 CMC | 2019 CalGreen | |

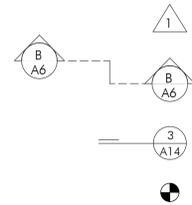
Symbols

Revision

Section Line
Section Designation
Sheet Number

Detail Key
Detail Designation
Sheet Number

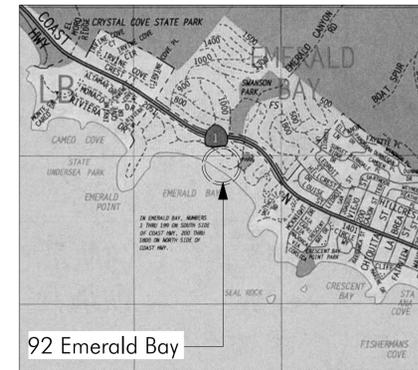
Datum



Owner / Client

92 Emerald Bay
Laguna Beach, CA 92651

Vicinity Map



Scope of Work

Remodel and addition to existing residence with landscape and hardscape improvements which include a pool, spa, fire feature and detached trellis structure.

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| Architectural | |
| C1 | Cover Sheet |
| SP1 | Site Plan |
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| A2 | Kitchen/Living Room Level Floor Plan |
| A3 | Master Bedroom Level Floor Plan |
| A4 | Guest Bedroom Level Floor Plan |
| A5 | Beach Level Floor Plan |
| A6 | Mechanical Level Floor Plan |
| A7 | Roof Plan |
| A8 | Street/Garage and Kitchen/Living Level Ceiling Plans |
| A9 | Master Bedroom and Guest Bedroom Level Ceiling Plans |
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| A11 | Mechanical Level Ceiling Plan |
| A12 | Street/Garage and Kitchen/Living Level Electrical Plans |
| A13 | Master Bedroom and Guest Bedroom Level Electrical Plans |
| A14 | Beach Level Electrical Plan |
| A15 | Mechanical Level Electrical Plan |
| A16 | Street and Left Side Elevations |
| A17 | Ocean Elevation |
| A18 | Right Side Elevation |
| A19 | Sections A |
| A20 | Section B |
| A21 | Section C |
| A22 | Section D |
| DWS | Door and Window Schedules |
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| S1.1 | Typical Structural Details |
| S1.2 | Typical Structural Details |
| S1.3 | Structural Steel Quality Control Requirements |
| S1.4 | Structural Steel Quality Control Requirements |
| S1.5 | Structural Steel Quality Control Requirements |
| S2 | Mechanical Access Foundation |
| S3 | Beach Level Foundation |
| S4 | Guest Bedroom Level Framing |
| S5 | Master Bedroom Level Framing |
| S6 | Living Room Level Framing |
| S7 | Garage Level Framing |
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| L-4 | Planting Plan |
| Civil | |
| C-1 | Preliminary Grading Plan |
| TP-1 | 1960 Topographic Survey |
| TP-01 | Topographic Survey |

Consultants

ARCHITECT:
C.J. Light Associates
1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345
Fax 851-1116
Architect: Christian R. Light
Contact: Victor Rogel

LANDSCAPE:
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24682 Del Prado, Suite 230
Dana Point, CA 92629
(949) 285-9692
Contact: Rick King

CIVIL ENGINEER:
Tool Engineering, Inc.
139 Avenida Navarro
San Clemente, CA 92672
(949) 492-8586
Fax 498-8625
Contact: Caleb Rios

Project Data

Legal Description

| | |
|---------|--------|
| Lot : | Lot 10 |
| Tract : | 975 |
| APN : | - |

Site General

| | |
|------------------------------|--------------|
| Approximate Site Area: | 7,522 sq ft |
| Max. Allowable Coverage: 40% | 3008.8 sq ft |
| Existing Coverage: 40.1 % | 3016.0 sq ft |
| Proposed Coverage: 39.83% | 2,996 sq ft |

| Proposed | EXISTING | PROPOSED | TOTAL |
|----------------------|-------------|------------|-------------|
| Street Level | 330 sq ft | -204 sq ft | 126 sq ft |
| Kitchen/Living Level | 1,861 sq ft | -112 sq ft | 1,749 sq ft |
| Master Bedroom Level | 2,048 sq ft | +44 sq ft | 2,092 sq ft |
| Guest Level | 1,622 sq ft | -132 sq ft | 1,490 sq ft |
| Beach Level | 1,286 sq ft | +93 sq ft | 1,379 sq ft |
| Mechanical | 0 sq ft | +199 sq ft | 199 sq ft |
| Total Habitable Area | 7,147 sq ft | -112 sq ft | 7,035 sq ft |

| | | | |
|--------------|-----------|-----------|-----------|
| 2-Car Garage | 428 sq ft | +48 sq ft | 476 sq ft |
| 1-Car Garage | 272 sq ft | +14 sq ft | 286 sq ft |
| | 700 sq ft | +62 sq ft | 762 sq ft |

Total Project 7,847 sq ft 7,797 sq ft

| | |
|--------------|------------|
| 2-Car Garage | -430 sq ft |
| 1-Car Garage | -180 sq ft |

Parking Calculation 7,187 sq ft

Mechanical Access 141 sq ft

| Proposed Deck | EXISTING | PROPOSED | TOTAL |
|----------------------|-------------|------------|-------------|
| Street Level | 0 sq ft | 0 sq ft | 0 sq ft |
| Kitchen/Living Level | 635 sq ft | -34 sq ft | 601 sq ft |
| Master Bedroom Level | 428 sq ft | +64 sq ft | 492 sq ft |
| Guest Level | 30 sq ft | +194 sq ft | 224 sq ft |
| Total Deck Area | 1,093 sq ft | +224 sq ft | 1,317 sq ft |

Notes

- All gutters to be concealed within building walls.
- All exterior lighting including landscape lighting to be removed and replaced per revised plans.



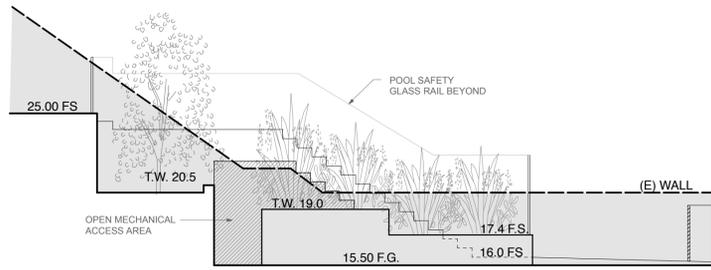
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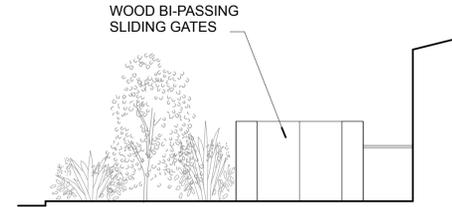
Cover Sheet

Job Number -
Scale -
Date 8-18-20
EBCA Final Submittal
2-5-20

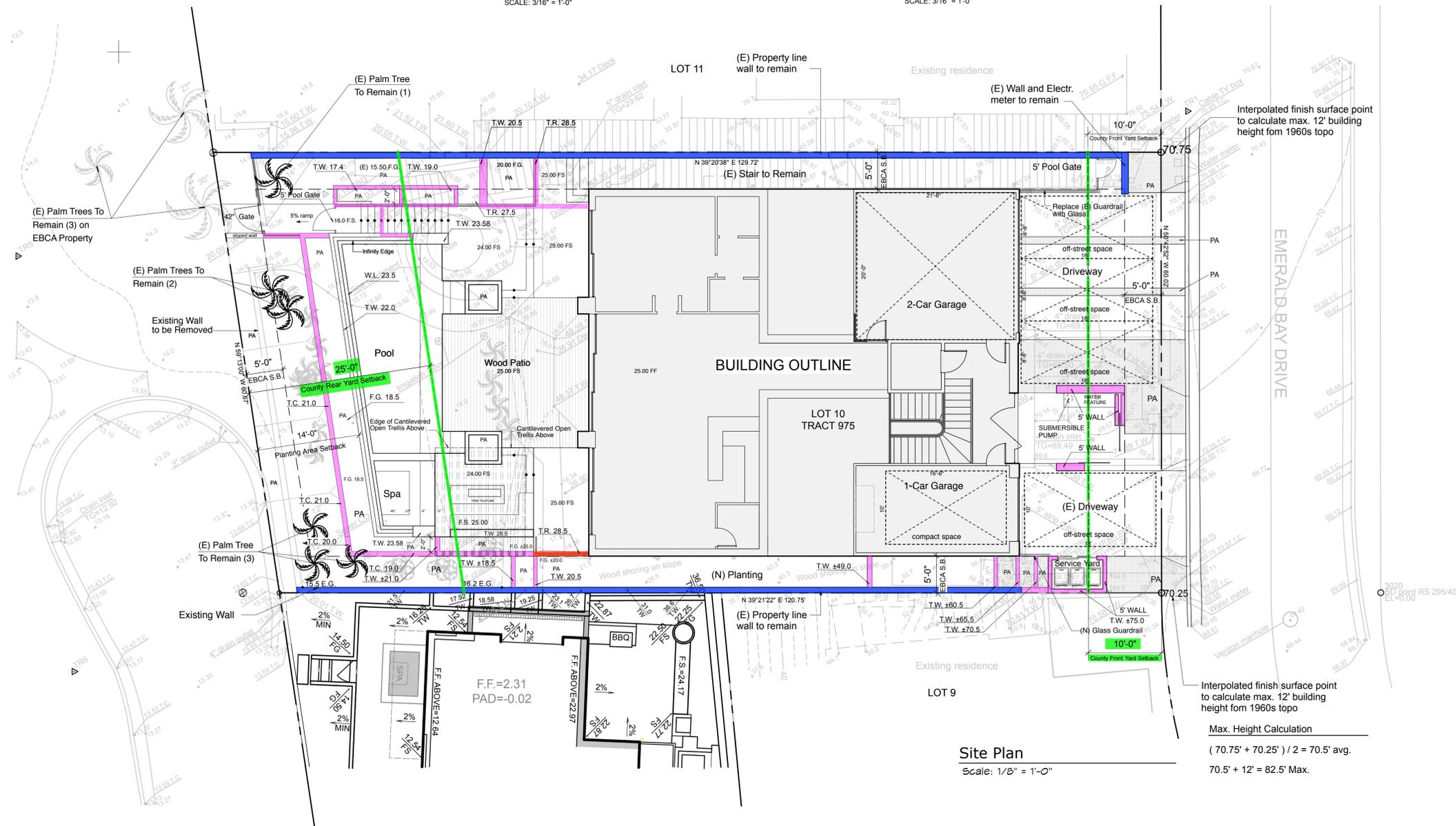
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SIDE YARD ELEVATION
SCALE: 3/16" = 1'-0"



SERVICE YARD ELEVATION
SCALE: 3/16" = 1'-0"



Site Plan
Scale: 1/8" = 1'-0"

SITE WALL LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS - 6' or Lower
- WALLS OVER 6' HIGH

Interpolated finish surface point to calculate max. 12' building height from 1960s topo

Max. Height Calculation
 $(70.75' + 70.25') / 2 = 70.5'$ avg.
 $70.5' + 12' = 82.5'$ Max.

Notes:

1. Remove all existing exterior and landscape lighting.
2. All Roof Gutters to be concealed.



Christian R. Light • Architect

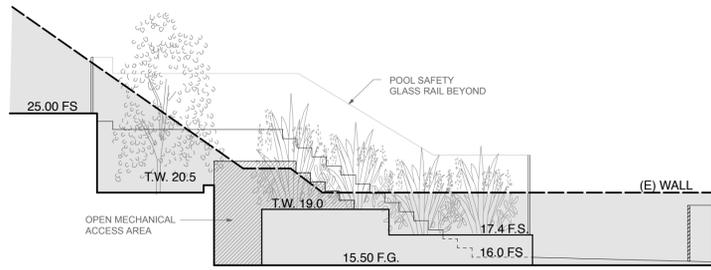
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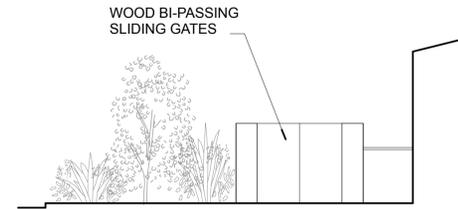
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Site Plan

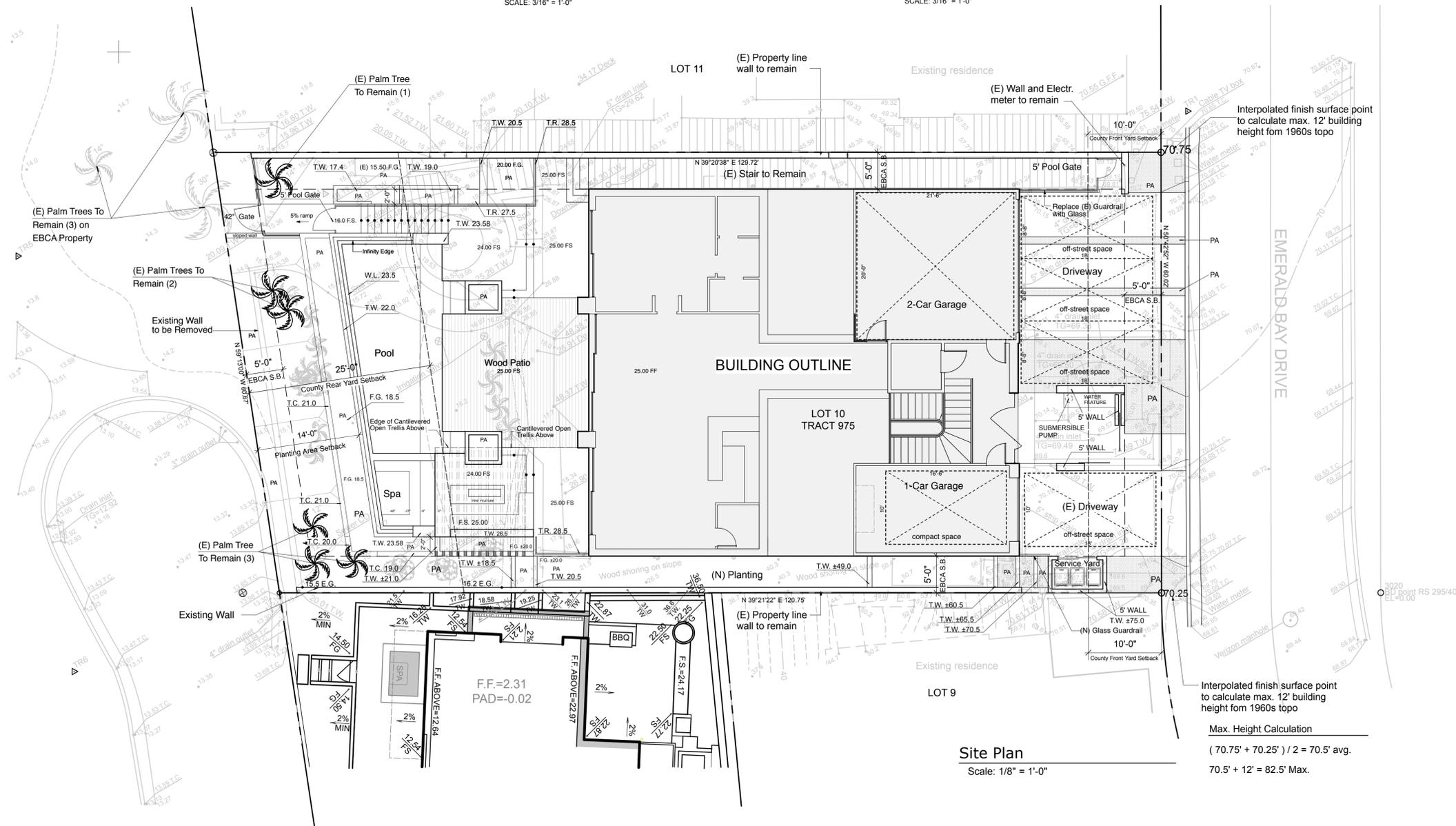
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 Date: EBCA Final Submittal
 2-5-20
 7-4-20



SIDE YARD ELEVATION
SCALE: 3/16" = 1'-0"



SERVICE YARD ELEVATION
SCALE: 3/16" = 1'-0"



Site Plan
Scale: 1/8" = 1'-0"

Interpolated finish surface point to calculate max. 12' building height from 1960s topo
 Max. Height Calculation
 $(70.75' + 70.25') / 2 = 70.5'$ avg.
 $70.5' + 12' = 82.5'$ Max.



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Site Plan

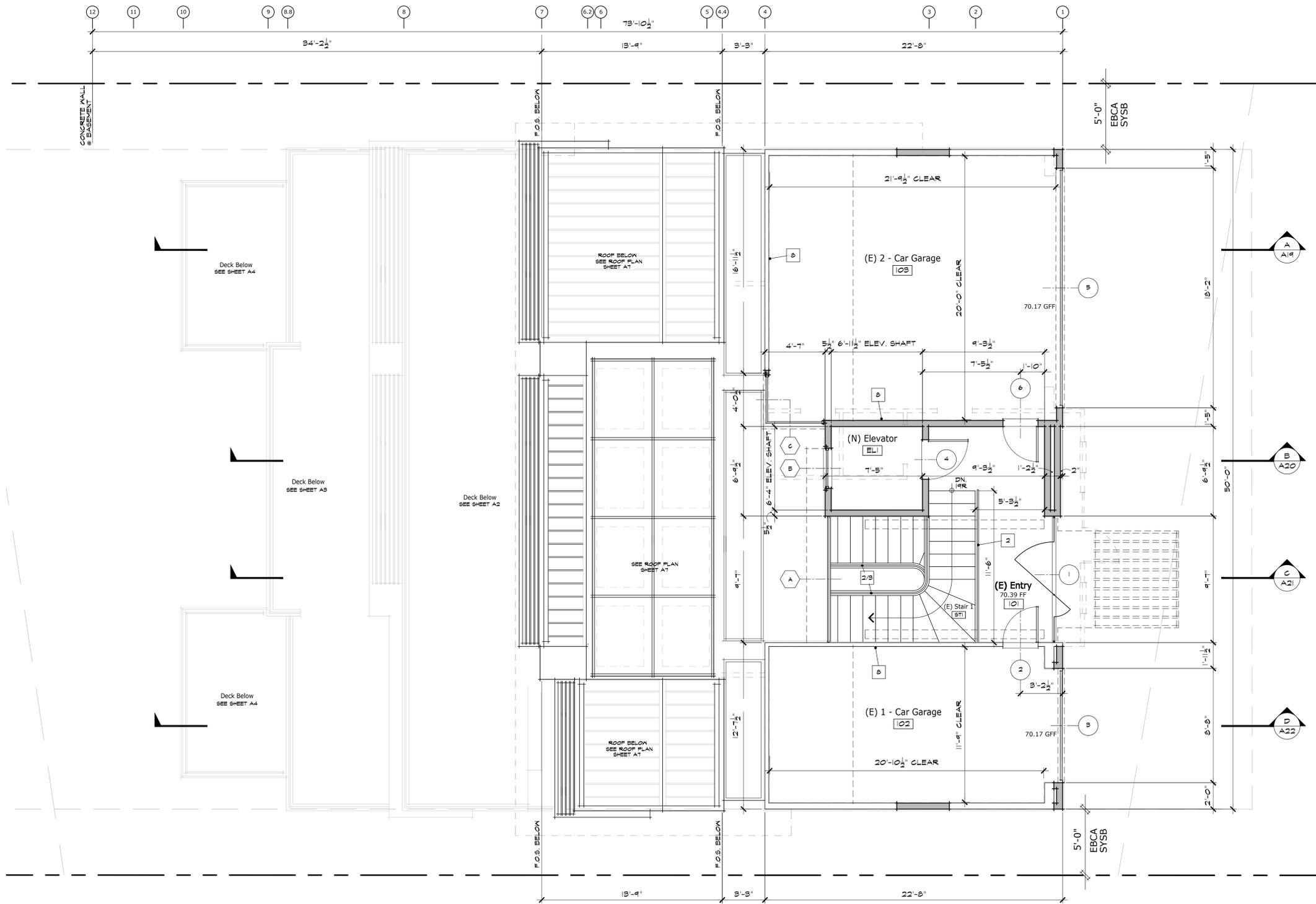
Job Number: 1820

Scale: 1/8" = 1'-0"

Date: EBCA Final Submittal 2-5-20

Notes:

1. Remove all existing exterior and landscape lighting.
2. All Roof Gutters to be concealed.



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**Street & Garage Level
 Floor Plan**

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-18-20
 EBCA Final Submittal
 2-5-20

Floor Plan Reference Notes

PLAN CHECK NOTES:

- 42" HIGH GUARDRAIL (CLOSED RAILING). (CBC 1013.2)
- 42" HIGH GUARDRAIL (OPEN RAILING). (CBC 1013.2) SEE GEN. NOTE #10, 11, 41.2
- METAL HANDRAIL 3/4" TO 3/8" HIGH ABOVE NOSE OF TREAD. (CBC 1012.2) SEE GENERAL NOTE #11
- WATER CLOSET PROVIDE 30" MIN. CLEAR WIDTH AND 24" MIN. CLEARANCE MEASURED FROM FRONT EDGE OF BOWL TO ANY OBSTRUCTION. (CPC 401.6)
- 22 X 30 MINIMUM ATTIC ACCESS WITH 30" MINIMUM HEADROOM. (CBC 1204.2) PROVIDE WEATHERSTRIP
- 4 INCH DIAMETER DRYER VENT.
- SHOWER IN SHATTERPROOF ENCLOSURE - WALLS, STONE MUDSET OVER FIBER CEMENT OR GLASS MAT GYPSUM BACKERS TO 70" MIN. ABOVE DRAIN INLET AT TUB SHOWER. (CBC 1203.3)
- 22 X 30 MINIMUM ATTIC ACCESS WITH 30" MINIMUM HEADROOM. (CBC 1204.2) PROVIDE WEATHERSTRIP
- TANKLESS WATER HEATER LOCATION
- FULL UNIT - 110V EQUIPPED WITH A SETBACK THERMOSTAT THAT MEETS THE REQUIREMENTS OF CECS 1022 (C)
- WASHER SPACE - PROVIDE RECESSED VALVES
- DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR. SEE GEN. NOTE #4 & 6.
- 36" DIRECT VENT FIREPLACE, "MARQUIS" BY MAJESTIC TESTING AGENCY, CSA CERT. REPORT NO. 1844485
- VOID CHASE OR DUCT CHASE IN DRAFT STOP # 10'-0" VERT. MAX. TYP.
- 5/8" TYPE "X" GYP. BRD. AT ALL WALLS & CEILING OF ENCLOSED USABLE SPACE UNDER STAIRS. (CBC 1004.5.3)

- STONE OVER DESKING BY: FLO-DESK SYSTEMS, INC. ESR-3091. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM A6-851-01) - SLOPE 1/4" PER FOOT, TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION
 - INDICATES DECK DRAIN - 3" MIN. DIA. SIZE PER CPC 1025, TABLE 11-I.
 - SELF-CLOSING TIGHT-FITTING SOLID WOOD 1-3/8" THICK DOOR OR A 20-MIN. RATED DOOR AT OPENING TO DWELLING. (CBC 406.1.4 R)
 - INDICATES OVERFLOW DRAIN - 3" MIN. DIA. MIN. 2" ABOVE DECK DRAIN INLET. SIZE PER CPC 1025, TABLE 11-I
 - INDICATES 4" WIDE GATE DRAIN.
 - 36" DIRECT VENT FIREPLACE, "MARQUIS" BY MAJESTIC TESTING AGENCY, CSA CERT. REPORT NO. 2088328
 - 42" HIGH GLASS RAILING (SAFETY GLASS) WITH CONTINUOUS TOP RAIL. SEE GENERAL NOTE #11.
- KITCHEN:**
- 36" SINK WITH GARBAGE DISPOSAL
 - 24" DISHWASHER
 - 36" REFRIGERATOR
 - ISLAND COUNTERTOP
 - 30" WIDE DOUBLE GAS OVEN

- 45" WIDE RANGE W/ 48" WIDE 100 CFM HOOD ABOVE VENT TO OUTSIDE AIR. SEE SHEET - FOR MORE INFORMATION.
 - UNDERCOUNTER REFRIGERATOR
 - BAR SINK
 - 36" FREEZER
 - UNDERCOUNTER ICE MAKER
- BATHROOMS/LAUNDRY:**
- LAVATORY - PER INTERIOR DESIGNER
 - SHOWER/TUB FIXTURES - PER INTERIOR DESIGNER
 - 18" HIGH SHOWER SEAT.
 - PLATFORM # 1 TUB - PER INTERIOR DESIGNER
- CABINETS:**
- BUILT-IN CABINET OR SHELVING - PER INTERIOR DESIGNER
 - UPPER CABINET - PER INTERIOR DESIGNER
 - BASE CABINET - PER INTERIOR DESIGNER
 - 42" HIGH COUNTERTOP

- MISCELLANEOUS:**
- INDICATES FACE OF EXTERIOR WALL BELOW
 - KNEE SPACE AT VANITY
 - 15" WIDE UNDERCOUNTER ICE MAKER
 - 15" WIDE UNDERCOUNTER REFRIGERATOR
 - LOVE SHELF
 - SOFFIT ABOVE (SEE CEILING PLAN)
 - STONE/MARBLE AT THRESHOLD
 - ELECTRICAL EQUIPMENT.
 -
 - DIRECT VENT FLE FROM FLOOR BELOW
 - INDICATES NATURAL STONE VENEER. SEE EXTERIOR ELEVATIONS FOR INFORMATION.
 - PLATFORM # 1 TUB - PER INTERIOR DESIGNER
 - WOOD SEATING AT SAUNA
 -
 - MECHANICAL EQUIPMENT.
 - UPPER CABINET - PER INTERIOR DESIGNER
 - TOP OF RETAINING WALL - SEE EXTERIOR ELEVATIONS & LANDSCAPE PLAN
 - DRAINAGE PER GRADING PLAN
 - FENCING / GATE PER LANDSCAPE PLAN
 - METAL CLADDING - SEE EXTERIOR ELEVATIONS

Floor Plan General Notes

- ALL DIMENSIONS ARE TO FACE OF STUD OR RETAINING WALL UNLESS OTHERWISE NOTED.
- EXTERIOR STAIRS SHALL NOT HAVE A SLOPE GREATER THAN 1/4" PER FOOT. (C.B.C. 1008.4)
- ALL EXTERIOR SHELVES SHALL HAVE A SLOPE OF NOT LESS THAN 1/4" RISE PER FOOT OF RUN AWAY FROM HOUSE.
- PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
- INSTALL DECORATIVE FIREPLACE SURROUND PER C.B.C. AND MANUFACTURER'S INSTALLATION REQUIREMENTS PROVIDED PROTECTION AND CLEARANCE FOR COMBUSTIBLE MATERIALS.
- MAX. 14 FT. LENGTH FOR DRYER VENT. DRYER VENT SHALL BE TERMINATED AT THE SIDE OF THE HOUSE A MINIMUM OF 6' ABOVE GRADE. (C.B.C. 504.3.2)
- WHERE OPEN RAILINGS OCCUR, OPENINGS BETWEEN BAUSTERS / RAILS / GUARDRAILS / HANDRAILS AT STAIRS, DECKS & LANDINGS SHALL BE ADEQUATE TO SUPPORT A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT A RIGHT ANGLE TO THE TOP RAIL. (CBC 2407)

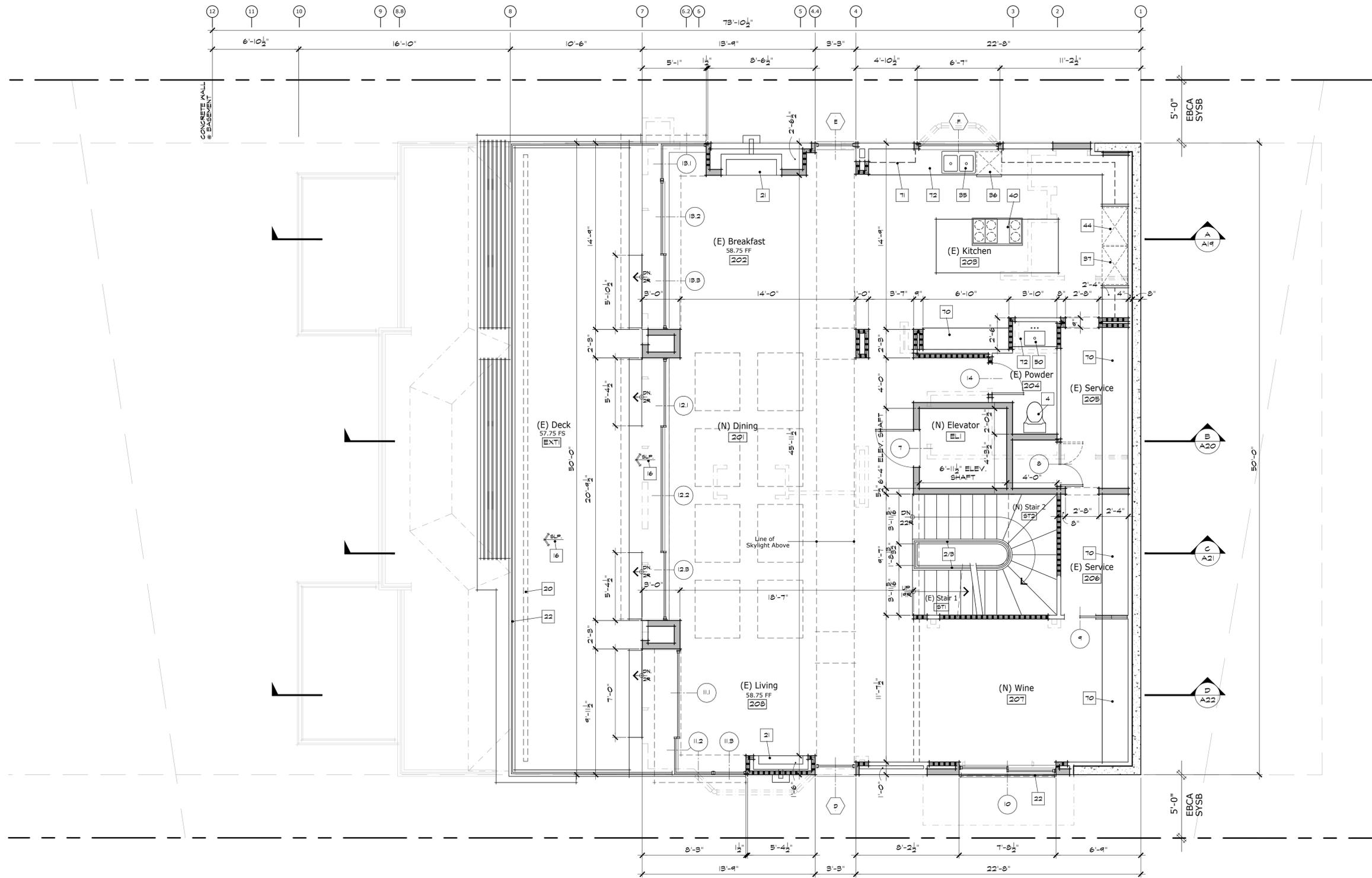
- PROVIDE APPROVED FIRE SPRINKLER SYSTEM THROUGHOUT INCLUDING GARAGE. SUBMIT PLANS TO THE FIRE AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION. (C.B.C. 903.2.1, 903.2.8, 903.3) AND CITY OF DANA POINT AMENDMENTS).
- A DOOR MAY SWING OVER A LANDING THAT IS NOT MORE THAN 0.5 INCHES IN HEIGHT BELOW THE THRESHOLD. (CBC 1008.16)
- SEE DOOR AND WINDOW SCHEDULE SHEET DWS FOR MORE INFORMATION.
- PROVIDE 26 GAUGE STEEL DUCT IN GARAGE, IF IT PENETRATES IHR, SEPERATION AND 36" MINIMUM EXTENDING FROM THE FACE OF DOOR. (CBC 1008.5)
- A DOOR MAY OPEN ON THE TOP STEP OF A FLIGHT OF STAIRS OR AN EXTERIOR LANDING PROVIDED THE DOOR DOES NOT SWING OVER THE TOP STEP OR EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 1.75 INCHES BELOW THE TOP OF THE THRESHOLD. (CBC 1008.14 EX 2, EX3)
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.
- UNVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE.
- ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS. (C.R.C. R301.0)
 - MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 - MINIMUM NET CLEAR OPENING OF 5.50 SQ. FT. AT GRADE LEVEL FLOOR
 - MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
 - MINIMUM NET CLEAR HEIGHT OF 24 INCHES.
 - WINDOW/ILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.

Abbreviations

| SYMBOL | DESCRIPTION |
|----------|------------------|
| F.O.S. | FACE OF STUD |
| F.O.F. | FACE OF FRAMING |
| FIN. | FINISHED FACE |
| T.R. | TOP OF ROOF |
| F.S. | FINISHED SURFACE |
| I. RAIL. | TOP OF RAIL |

Floor Plan Wall Legend

| | | | |
|----------|----------------------------|----------|-------------------------------------|
| [Symbol] | NEW 4" X 4" WOOD STUD WALL | [Symbol] | RETAINING WALL PER STRUCTURAL PLANS |
| [Symbol] | NEW 6" X 6" WOOD STUD WALL | [Symbol] | 6" X 6" WOOD STUD WALL |
| [Symbol] | EXISTING TO BE REMOVED | [Symbol] | EXISTING TO REMAIN |



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CUSTOM RESIDENCE
 92 EMERALD BAY DRIVE
 LAGUNA BEACH • CALIFORNIA 92651

Kitchen & Living Room Level Floor Plan

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-18-20
 EBCA Final Submittal
 2-5-20

Floor Plan Reference Notes

- PLAN CHECK NOTES:**
- 42" HIGH GUARDRAIL (CLOSED RAILING). (CBC 1013.2)
 - 42" HIGH GUARDRAIL (OPEN RAILING). (CBC 1013.2) SEE GEN. NOTE #10, #11, #12.
 - METAL HANDRAIL 34" TO 38" HIGH ABOVE NOSE OF TREAD. (CBC 1012.2) SEE GENERAL NOTE #11
 - WATER CLOSET PROVIDE 30" MIN. CLEAR WIDTH AND 24" MIN. CLEARANCE MEASURED FROM FRONT EDGE OF BOWL TO ANY OBSTRUCTION. (CPC 407A)
 - 22 X 30 MINIMUM ATTIC ACCESS WITH 30" MINIMUM HEADROOM. (CBC 1204.2) PROVIDE FEATHERSTRIP
 - 4 INCH DIAMETER DRYER VENT.
 - SHOWER IN SHATTERPROOF ENCLOSURE - WALLS, STONE
 - MUSET OVER FIBER CEMENT OR GLASS MAT GYPSUM BACKERS TO 70" MIN. ABOVE DRAIN INLET AT TUB WISHER. (CBC 1203.3)
 - GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD. (CBC 406.1.4R)
 - TANKLESS WATER HEATER LOCATION
 - FAU UNIT - 110V EQUIPPED WITH A SETBACK THERMOSTAT THAT MEETS THE REQUIREMENTS OF CECS 110.2 (G)
 - WASHER SPACE - PROVIDE RECESSED VALVES.
 - DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR. SEE GEN. NOTE #4 & 6.
 - 36" DIRECT VENT FIREPLACE, "MARGUIS" BY MAJESTIC TESTING AGENCY, CSA CERT. REPORT NO. H4444S
 - VOID CHASE OR DUCT CHASE IN DRAFT STOP # 10'-0" VERT. MAX. TYP. 5/8" TYPE "X" GYP DRD. AT ALL WALLS & CEILING OF ENCLOSED USABLE SPACE UNDER STAIRS. (CBC 1004.5)

- STONE OVER DECKING BY: FLORIEK SYSTEMS, INC. ESR-20PT. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. (ASTM A6-81-87) - SLOPE 1/4" PER FOOT. TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
 - INDICATES DECK DRAIN - 3" MIN. DIA. SIZE PER CPC 1105, TABLE 11-I.
 - SELF-CLOSING TIGHT-FITTING, SOLID WOOD 1-3/8" THICK DOOR OR A 20-MIN. RATED DOOR AT OPENING TO DWELLINGS. (CBC 406.1.4 R)
 - INDICATES OVERFLOW DRAIN - 3" MIN. DIA. MIN. 2" ABOVE DECK DRAIN INLET. SIZE PER CPC 1105, TABLE 11-I
 - INDICATES 4" WIDE GATE DRAIN.
 - 36" DIRECT VENT FIREPLACE, "TEGHELO" BY MAJESTIC TESTING AGENCY, CSA CERT. REPORT NO. 20892B
 - 42" HIGH GLASS RAILING (SAFETY GLASS) WITH CONTINUOUS TOP RAIL. SEE GENERAL NOTE #11.
- KITCHEN:**
- 36" SINK WITH GARBASE DISPOSAL
 - 24" DISHWASHER
 - 36" REFRIGERATOR
 - ISLAND COUNTERTOP
 - 30" WIDE DOUBLE GAS OVEN

- 48" WIDE RANGE W/ 48" WIDE 100 CFM HOOD ABOVE. VENT TO OUTSIDE AIR. SEE SHEET - FOR MORE INFORMATION.
 - UNDERCOUNTER REFRIGERATOR
 - BAR SINK
 - 36" FREEZER
 - UNDERCOUNTER ICE MAKER
- BATHROOMS/LAUNDRY:**
- LAVATORY - PER INTERIOR DESIGNER
 - SHOWER/TUB FIXTURES - PER INTERIOR DESIGNER
 - 18" SHOWER SEAT.
 - PLATFORM 4 TUB - PER INTERIOR DESIGNER
- CABINETS:**
- BUILT-IN CABINET OR SHELVING - PER INTERIOR DESIGNER
 - UPPER CABINET - PER INTERIOR DESIGNER
 - BASE CABINET - PER INTERIOR DESIGNER
 - 42" HIGH COUNTERTOP

- MISCELLANEOUS:**
- INDICATES FACE OF EXTERIOR WALL BELOW.
 - KNEE SPACE AT VANITY
 - 15" WIDE UNDERCOUNTER ICE MAKER
 - 15" WIDE UNDERCOUNTER REFRIGERATOR
 - LOFT SHELF
 - SOFFIT ABOVE (SEE CEILING PLAN)
 - STONE/MARBLE AT THRESHOLD
 - ELECTRICAL EQUIPMENT.
 -
 - DIRECT VENT FLE FROM FLOOR BELOW.
 - INDICATES NATURAL STONE VENEER. SEE EXTERIOR ELEVATIONS FOR INFORMATION.
 - GRATE DRAIN PER GRADING PLAN
 - WOOD SEATING AT SAUNA
 -
 - MECHANICAL EQUIPMENT.
 - INDICATES FACE OF EXTERIOR WALL ABOVE.
 - TOP OF RETAINING WALL - SEE EXTERIOR ELEVATIONS & LANDSCAPE PLANS
 - DRAINAGE PER GRADING PLAN
 - FENCING / GATE PER LANDSCAPE PLAN
 - METAL CLADDING - SEE EXTERIOR ELEVATIONS

Floor Plan General Notes

- ALL DIMENSIONS ARE TO FACE OF STUD OR RETAINING WALL UNLESS NOTED OTHERWISE.
- EXTERIOR STOODS SHALL NOT HAVE A SLOPE GREATER THAN 1/4" PER FOOT. (C.B.C. 1008.1.4)
- ALL EXTERIOR SHELVES SHALL HAVE A SLOPE OF NOT LESS THAN 1/4" RISE PER FOOT OF RUN AWAY FROM HOUSE.
- PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
- INSTALL DECORATIVE FIREPLACE SURROUND PER C.B.C. AND MANUFACTURER'S INSTALLATION REQUIREMENTS. PROVIDE PROTECTION AND CLEARANCE FOR COMBUSTIBLE MATERIALS.
- MAX. 14 FT. LENGTH FOR DRYER VENT. DRYER VENT SHALL BE TERMINATED AT THE SIDE OF THE HOUSE A MINIMUM OF 6" ABOVE GRADE. (C.B.C. 504.3.2)
- GUTTERS AND DOWNSPOUTS TO CONNECT TO AREA DRAIN SYSTEM. MAXIMUM FLOW RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. A. WATER GLETS - 128 GALLONS PER FLUSH. C. KITCHEN FACETS - 18 GPM @ 60 psi. B. SHOWERHEADS - 2.0 GPM @ 80 psi. D. LAVATORY SINK FACETS - 15 GPM @ 60 psi
- WHERE OPEN RAILINGS OCCUR, OPENINGS BETWEEN BALUSTERS / RAILS / GUARDRAILS - HANDRAILS AT STAIRS, DECKS & LANDINGS SHALL BE ADEQUATE TO SUPPORT A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT A RIGHT ANGLE TO THE TOP RAIL. (CBC 2407)

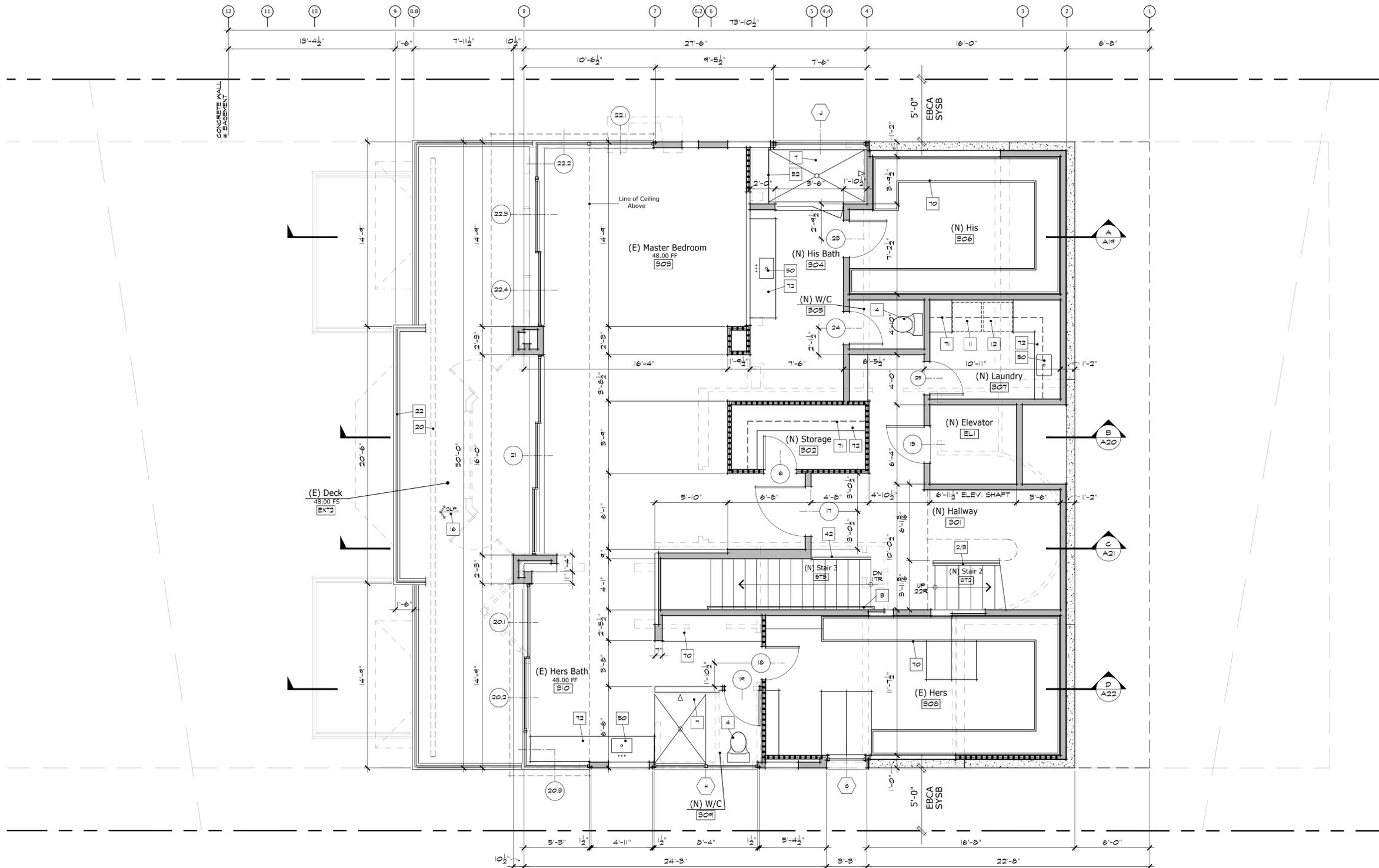
- PROVIDE APPROVED FIRE SPRINKLER SYSTEM THROUGHOUT INCLUDING GARAGE. SUBMIT PLANS TO THE FIRE AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION. (C.B.C. 903.2.1, 903.2.2, 903.3, AND CITY OF DANNA POINT AMENDMENTS).
- A DOOR MAY SWING OVER A LANDING THAT IS NOT MORE THAN 05 INCHES IN HEIGHT BELOW THE THRESHOLD. (CBC 1008.6)
- SEE DOOR AND WINDOW SCHEDULE SHEET DWS FOR MORE INFORMATION.
- PROVIDE 26 GAUGE STEEL DUCT IN GARAGE, IF IT PENETRATES IHR, SEPERATION.
- AT DOORS PROVIDE A MINIMUM LANDING THE WIDTH OF THE DOOR AND 36" MINIMUM EXTENDING FROM THE FACE OF DOOR. (CBC 1008.5)
- A DOOR MAY OPEN ON THE TOP STEP OF A FLIGHT OF STAIRS OR AN EXTERIOR LANDING PROVIDED THE DOOR DOES NOT SWING OVER THE TOP STEP OR EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 175 INCHES BELOW THE TOP OF THE THRESHOLD. (CBC 1008.4 EX 2, EX3)
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.
- INVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE.
- ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS. (C.B.C. R310.1).
 A. MINIMUM NET CLEAR OPENINGS OF 5.7 SQ. FT.
 B. MINIMUM NET CLEAR OPENINGS OF 5.50 SQ. FT. AT GRADE LEVEL FLOOR
 C. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
 D. MINIMUM NET CLEAR HEIGHT OF 24 INCHES.
 E. WINDOW/LL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.

Abbreviations

| POS. | FACE OF STUD | FS. | FINISHED SURFACE |
|------|-----------------|---------|------------------|
| FR. | FACE OF FRAMING | T. RAIL | TOP OF RAIL |
| FIN. | FINISHED FACE | - | - |
| TR. | TOP OF ROOF | - | - |

Floor Plan Wall Legend

| | | | |
|--|--------------------------|--|-------------------------------------|
| | 1/2" X 4" WOOD STUD WALL | | RETAINING WALL PER STRUCTURAL PLANS |
| | 1/2" X 6" WOOD STUD WALL | | X-8" WOOD STUD WALL |
| | EXISTING TO REMAIN | | EXISTING TO REMAIN |



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CUSTOM RESIDENCE
 92 EMERALD BAY DRIVE
 LAGUNA BEACH • CALIFORNIA 92651

Master Bedroom Level
 Floor Plan

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-18-20
 EBCA Final Submittal
 2-5-20



Floor Plan Reference Notes

- PLAN CHECK NOTES:**
- 42" HIGH GUARDRAIL (CLOSED RAILINGS). (CBC 103.2)
 - 42" HIGH GUARDRAIL (OPEN RAILINGS). (CBC 103.2) SEE GEN. NOTE #10, 11, 412.
 - METAL HANDRAIL 34" TO 38" HIGH ABOVE NOSE OF TREAD. (CBC 103.2.2) SEE GENERAL NOTE #11
 - WATER CLOSET PROVIDE 30" MIN. CLEAR WIDTH AND 24" MIN. CLEARANCE MEASURED FROM FRONT EDGE OF BOWL TO ANY OBSTRUCTION. (CPC 407.6) PROVIDE WEATHERSTRIP
 - 4 INCH DIAMETER DRYER VENT.
 - SHOWER W/ SHATTERPROOF ENCLOSURE - WALLS: STONE MISSET OVER FIBER CEMENT OR GLASS MAT GYPSUM BACKERS TO 10" MIN. ABOVE DRAIN INLET AT TUB INSHOWER. (CBC 120.3)
 - GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD. (CBC 406.1.4R)
 - TANKLESS WATER HEATER LOCATION
 - F.A.U. UNIT - 10" EQUIPPED WITH A SETBACK THERMOSTAT THAT MEETS THE REQUIREMENTS OF CEES 102.1(G)
 - WASHER SPACE - PROVIDE RECESSED VALVES.
 - DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR. SEE GEN. NOTE #4 & 6.
 - 36" DIRECT VENT FIREPLACE, "MARQUIS" BY MALESTIC TESTING AGENCY, CSA CERT. REPORT NO. 1844485
 - VOID CHASE OR DUCT CHASE W/ DRAFT STOP @ 10'-0" VERT. MAX. - TYP.
 - 5/8" TYPE "X" GYP. BRD. AT ALL WALLS & CEILINGS OF ENCLOSED USABLE SPACE UNDER STAIRS. (CBC 1004.5)

- STONE OVER DECKING BY FL-DECK SYSTEMS, INC. ESR-2041. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM #C-897-01) - SLOPE 1/4" PER FOOT TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS. PER STRICT PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
 - INDICATES DECK DRAIN - 3" MIN. DIA. SIZE PER CPC 1105, TABLE 11-I.
 - SELF-CLOSING, TIGHT-FITTING, SOLID WOOD 1-3/8" THICK DOOR OR A 20-MIN. RATED DOOR AT OPENING TO DWELLING. (CBC 406.1.4 R)
 - INDICATES OVERFLOW DRAIN - 3" MIN. DIA. MIN. 2" ABOVE DECK DRAIN INLET. SIZE PER CPC 1105, TABLE 11-I
 - INDICATES 4" WIDE GRATE DRAIN.
 - 36" DIRECT VENT FIREPLACE, "EGHELON" BY MALESTIC TESTING AGENCY, CSA CERT. REPORT NO. 2080328
 - 42" HIGH GLASS RAILING (SAFETY GLASS) WITH CONTINUOUS TOP RAIL. SEE GENERAL NOTE #11.
- KITCHEN:**
- 36" SINK WITH GARAGE DISPOSAL
 - 24" DISHWASHER
 - 36" REFRIGERATOR
 - ISLAND COUNTERTOP
 - 30" WIDE DOUBLE GAS OVEN.

- 48" WIDE RANGE W/ 48" WIDE 100 CFM HOOD ABOVE. VENT TO OUTSIDE AIR. SEE SHEET - FOR MORE INFORMATION.
 - UNDERCOUNTER REFRIGERATOR
 - BAR SINK.
 - 36" FREEZER
 - UNDERCOUNTER ICE MAKER
- BATHROOMS/LAUNDRY:**
- LAVATORY - PER INTERIOR DESIGNER.
 - SHOWER TUB FIXTURES - PER INTERIOR DESIGNER.
 - 8" HIGH SHOWER SEAT.
 - PLATFORM 4 TUB - PER INTERIOR DESIGNER
- CABINETS:**
- BUILT-IN CABINET OR SHELVING - PER INTERIOR DESIGNER.
 - UPPER CABINET - PER INTERIOR DESIGNER.
 - BASE CABINET - PER INTERIOR DESIGNER.
 - 42" HIGH COUNTERTOP

- MISCELLANEOUS:**
- INDICATES FACE OF EXTERIOR WALL BELOW.
 - KNEE SPACE AT VANITY
 - 18" WIDE UNDERCOUNTER ICE MAKER
 - 18" WIDE UNDERCOUNTER REFRIGERATOR
 - LOW SHELF
 - SOFFIT ABOVE (SEE CEILING PLAN)
 - STONE/MARBLE AT THRESHOLD
 - ELECTRICAL EQUIPMENT.
 -
 - DIRECT VENT FUELS FROM FLOOR BELOW.
 - INDICATES NATURAL STORE VENTERS. SEE EXTERIOR ELEVATIONS FOR INFORMATION.
 - GRATE DRAIN PER GRADING PLAN
 - HOOD SEATING AT SAUNA
 -
 - MECHANICAL EQUIPMENT.
 - INDICATES FACE OF EXTERIOR WALL ABOVE.
 - TOP OF RETAINING WALL - SEE EXTERIOR ELEVATIONS & LANDSCAPE PLAN
 - DRAINAGE PER GRADING PLAN
 - DRAINAGE / GATE PER LANDSCAPE PLAN
 - METAL GLAZING - SEE EXTERIOR ELEVATIONS

Floor Plan General Notes

- ALL DIMENSIONS ARE TO FACE OF STUD OR RETAINING WALL, UNLESS NOTED OTHERWISE.
- EXTERIOR STAIRS SHALL NOT HAVE A SLOPE GREATER THAN 1/4" PER FOOT. (C.B.C. 1008.1.4)
- ALL EXTERIOR SHELVES SHALL HAVE A SLOPE OF NOT LESS THAN 1/4" RISE PER FOOT OF RUN AWAY FROM HOUSE.
- PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
- INSTALL DECORATIVE FIREPLACE SURROUND PER C.B.C. AND MANUFACTURER'S INSTALLATION REQUIREMENTS. PROVIDE PROTECTION AND CLEARANCE FOR COMBUSTIBLE MATERIALS.
- MAX. 14 FT. LENGTH FOR DRYER VENT. DRYER VENT SHALL BE TERMINATED AT THE SIDE OF THE HOUSE A MINIMUM OF 6' ABOVE GROUND. (C.M.C. 504.3.2)
- GUTTERS AND DOWNSPOUTS TO CONNECT TO AREA DRAIN SYSTEM.
- MAXIMUM FLOOR RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
- A WATER CLOSET - 120 GALLONS PER FLUSH - C. KITCHEN FAUCETS - 18 GPM @ 80 PSI B. SHOWERS - 2.0 GPM @ 80 PSI D. LAVATORY SINK FAUCETS - 1.5 GPM @ 80 PSI
- WHERE OPEN RAILINGS OCCUR, OPENINGS BETWEEN BALUSTERS / RAILS / INTERMEDIATES SHALL BE LESS THAN 4 INCHES OR 4 3/8 INCHES AT OPEN SIDE OF STAIRS. (CBC 1003.3)
- ALL HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. HANDRAIL PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 125" NOR MORE THAN 2" IN GROSS SECTIONAL DIMENSION, OR THE SHAFTS SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. (CBC 1002.4 EX 3)
- GUARDRAILS / HANDRAILS AT STAIRS, DECKS & LANDINGS SHALL BE ADEQUATE TO SUPPORT A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT A RIGHT ANGLE TO THE TOP RAIL. (CBC 2407)

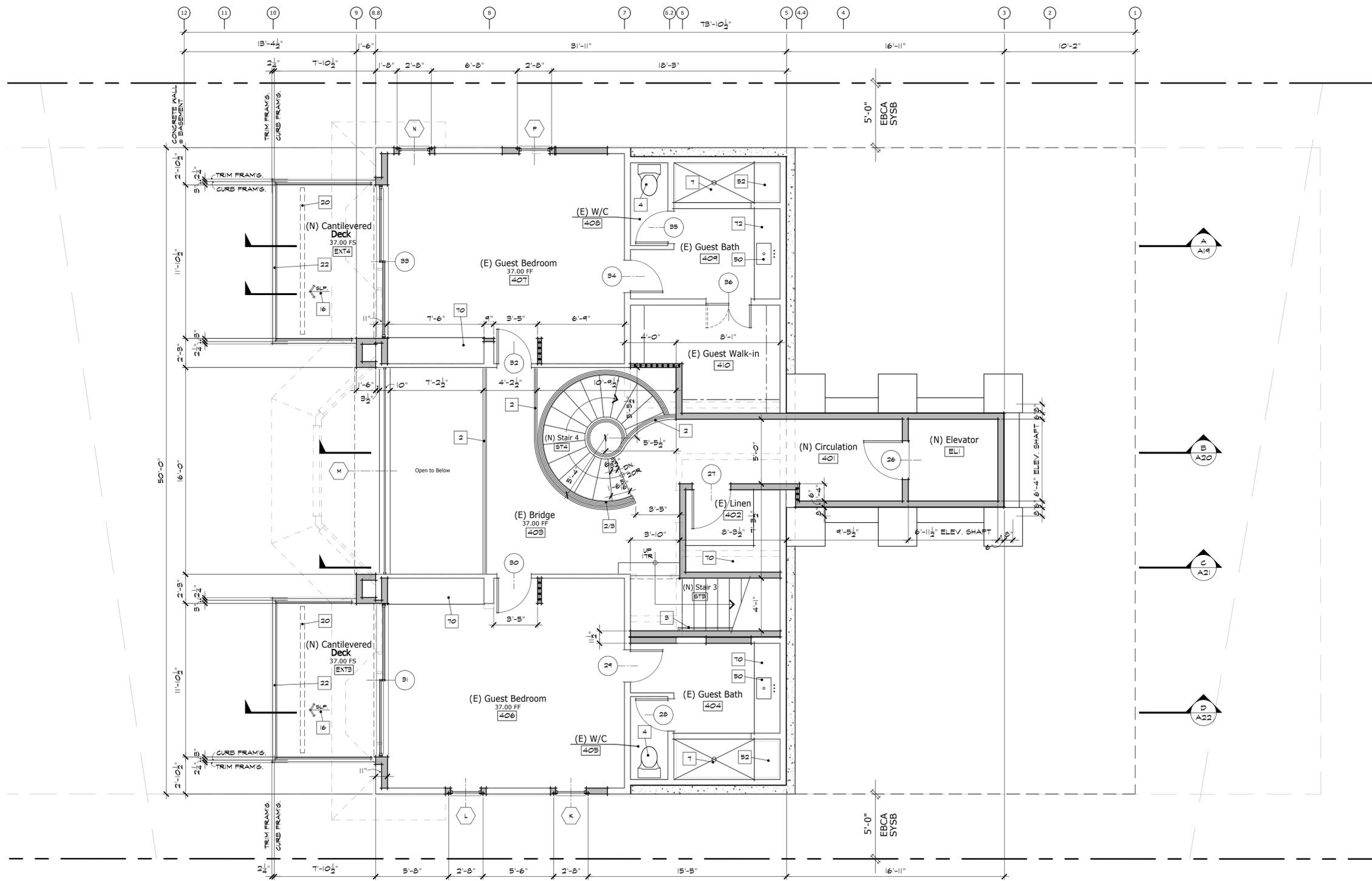
- PROVIDE APPROVED FIRE SPRINKLER SYSTEM THROUGHOUT INCLUDING GARAGE. SUBMIT PLANS TO THE FIRE AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION. (C.B.C. 903.2.1, 903.2.8, 903.3, AND CITY OF DIANA POINT AMENDMENTS)
- A DOOR MAY SPINE OVER A LANDING THAT IS NOT MORE THAN 0.5 INCHES IN HEIGHT BELOW THE THRESHOLD. (CBC 1008.1.6)
- SEE DOOR AND WINDOW SCHEDULE SHEET SPNS FOR MORE INFORMATION.
- PROVIDE 26 GAUGE STEEL DUCT IN GARAGE, IF IT PENETRATES I-HR. SEPARATION.
- AT DOORS PROVIDE A MINIMUM LANDING THE WIDTH OF THE DOOR AND 36" MINIMUM EXTENDING FROM THE FACE OF DOOR. (CBC 1008.15)
- A DOOR MAY OPEN ON THE TOP STEP OF A FLIGHT OF STAIRS OR AN EXTERIOR LANDING PROVIDED THE DOOR DOES NOT SPING OVER THE TOP STEP OR EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 1.5 INCHES BELOW THE TOP OF THE THRESHOLD. (CBC 1008.1.4 EX 2, EX3)
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY POOL ORDINANCE.
- UNVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE.
- ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS. (CBC 903.10)
- MINIMUM NET CLEAR OPENING OF 57" SQ. FT.
- MINIMUM NET CLEAR OPENING OF 5.50 SQ. FT. AT GRADE LEVEL FLOOR
- MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
- MINIMUM NET CLEAR HEIGHT OF 24 INCHES.
- WINDOW WELL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.

Abbreviations

| FOF: | FACE OF STUD | F.S. | FINISHED SURFACE |
|--|-----------------|---------|------------------|
| FR: <td>FACE OF FRAMING</td> <td>T. RAIL</td> <td>TOP OF RAIL</td> | FACE OF FRAMING | T. RAIL | TOP OF RAIL |
| FIN: | FINISHED FACE | - | - |
| TR: | TOP OF ROOF | - | - |

Floor Plan Wall Legend

| | | | |
|--|--------------------------|--|--------------------------|
| | NEW 4 X 4 WOOD STUD WALL | | RETAINING WALL |
| | NEW 6 X 6 WOOD STUD WALL | | EXISTING STRUCTURAL FLUS |
| | EXISTING TO BE REMOVED | | EXISTING TO REMAIN |



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CUSTOM RESIDENCE
 92 EMERALD BAY DRIVE
 LAGUNA BEACH, CALIFORNIA 92651

**Guest Bedroom Level
 Floor Plan**

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-18-20
 EBCA Final Submittal
 2-5-20

Floor Plan Reference Notes

- PLAN CHECK NOTES:**
- 42" HIGH GUARDRAIL (CLOSED RAILING). (CBC 1019.2)
 - 42" HIGH GUARDRAIL (OPEN RAILING). (CBC 1019.2) SEE GEN. NOTE #10, #11, #12.
 - METAL HANDRAIL 34" TO 38" HIGH ABOVE NOSE OF TREAD. (CBC 1012.2) SEE GENERAL NOTE #11.
 - WATER CLOSET PROVIDE 30" MIN. CLEAR WIDTH AND 24" MIN. CLEARANCE MEASURED FROM FRONT EDGE OF BOWL TO ANY OBSTRUCTION. (CPC 407.6)
 - 22 X 30 MINIMUM ATTIC ACCESS WITH 30" MINIMUM HEADROOM. (CBC 1004.2) PROVIDE WEATHERSTRIP.
 - 4 INCH DIAMETER DRYER VENT.
 - SHOWER IN SHATTERPROOF ENCLOSURE - WALLS, STONE MOUNTED OVER FIBER CEMENT OR GLASS MAT GYPSUM BACKERS TO 10" MIN. ABOVE DRAIN INLET AT SHOWER. (CBC 1010.3)
 - GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD. (CBC 406.1.4)
 - TANKLESS WATER HEATER LOCATION.
 - FULL UNIT - 110V EQUIPPED WITH A SETBACK THERMOSTAT THAT MEETS THE REQUIREMENTS OF CECS 102.1(G).
 - WASHER SPACE - PROVIDE RECESSED VALVES.
 - DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR. SEE GEN. NOTE #4 & #6.
 - 36" DIRECT VENT FIREPLACE, "MARQUIS" BY MAJESTIC TESTING AGENCY, CSA CERT. REPORT NO. 1844485.
 - VOID CHASE OR DUCT CHASE IN DRAFT STOP IN 10'-0" VERT. MAX. TYP.
 - 5/8" TYPE "X" GYP. BRD. AT ALL WALLS & CEILINGS OF ENCLOSED USABLE SPACE UNDER STAIRS. (CBC 1004.5.3)
 - STONE OVER DESKING BY: PLU-DEKA SYSTEMS, INC. ESR-3041. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM #C-851-01) - SLOPE 1/4" PER FOOT. TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
 - INDICATES DECK DRAIN - 3" MIN. DIA. SIZE PER CPC 105, TABLE 1-I.
 - SELF-CLOSING TIGHT-FITTING SOLID WOOD 1-3/8" THICK DOOR OR A 20-MIN. RATED DOOR AT OPENING TO DWELLINGS. (CBC 406.1.4 #)
 - INDICATES OVERFLOW DRAIN - 3" MIN. DIA. MIN. 2" ABOVE DECK DRAIN INLET. SIZE PER CPC 105, TABLE 1-I.
 - INDICATES 4" WIDE GATE DRAIN.
 - DIRECT VENT FIREPLACE, "EGHELON" BY MAJESTIC TESTING AGENCY, CSA CERT. REPORT NO. 2088328.
 - 42" HIGH GLASS RAILING (SAFETY GLASS) WITH CONTINUOUS TOP RAIL. SEE GENERAL NOTE #11.
- BATHROOMS/LAUNDRY:**
- LAVATORY - PER INTERIOR DESIGNER.
 - SHOWER/TUB FIXTURES - PER INTERIOR DESIGNER.
 - 18" HIGH SHOWER SEAT.
 - PLATFORM & TUB - PER INTERIOR DESIGNER.
- CABINETS:**
- BUILT-IN CABINET OR SHELVING - PER INTERIOR DESIGNER.
 - UPPER CABINET - PER INTERIOR DESIGNER.
 - BASE CABINET - PER INTERIOR DESIGNER.
 - 42" HIGH COUNTERTOP.
- MISCELLANEOUS:**
- INDICATES FACE OF EXTERIOR WALL BELOW.
 - KNEE SPACE AT VANITY.
 - 15" WIDE UNDERCOUNTER ICE MAKER.
 - 36" FREEZER.
 - UNDERCOUNTER ICE MAKER.
 - LOW SHELF.
 - SOFFIT ABOVE PER CEILING PLAN.
 - STONE/MARBLE AT THRESHOLD.
 - ELECTRICAL EQUIPMENT.
 - DIRECT VENT FLE FROM FLOOR BELOW.
 - INDICATES NATURAL STONE VENEER. SEE EXTERIOR ELEVATIONS FOR INFORMATION.
 - GRATE DRAIN PER GRADING PLAN.
 - WOOD SEATING AT SALINA.
 - MECHANICAL EQUIPMENT.
 - INDICATES FACE OF EXTERIOR WALL ABOVE.
 - TOP OF RETAINING WALL - SEE EXTERIOR ELEVATIONS & LANDSCAPE PLANS.
 - DRAINAGE PER GRADING PLAN.
 - FENCING / GATE PER LANDSCAPE PLAN.
 - METAL CLADDING - SEE EXTERIOR ELEVATIONS.

Floor Plan General Notes

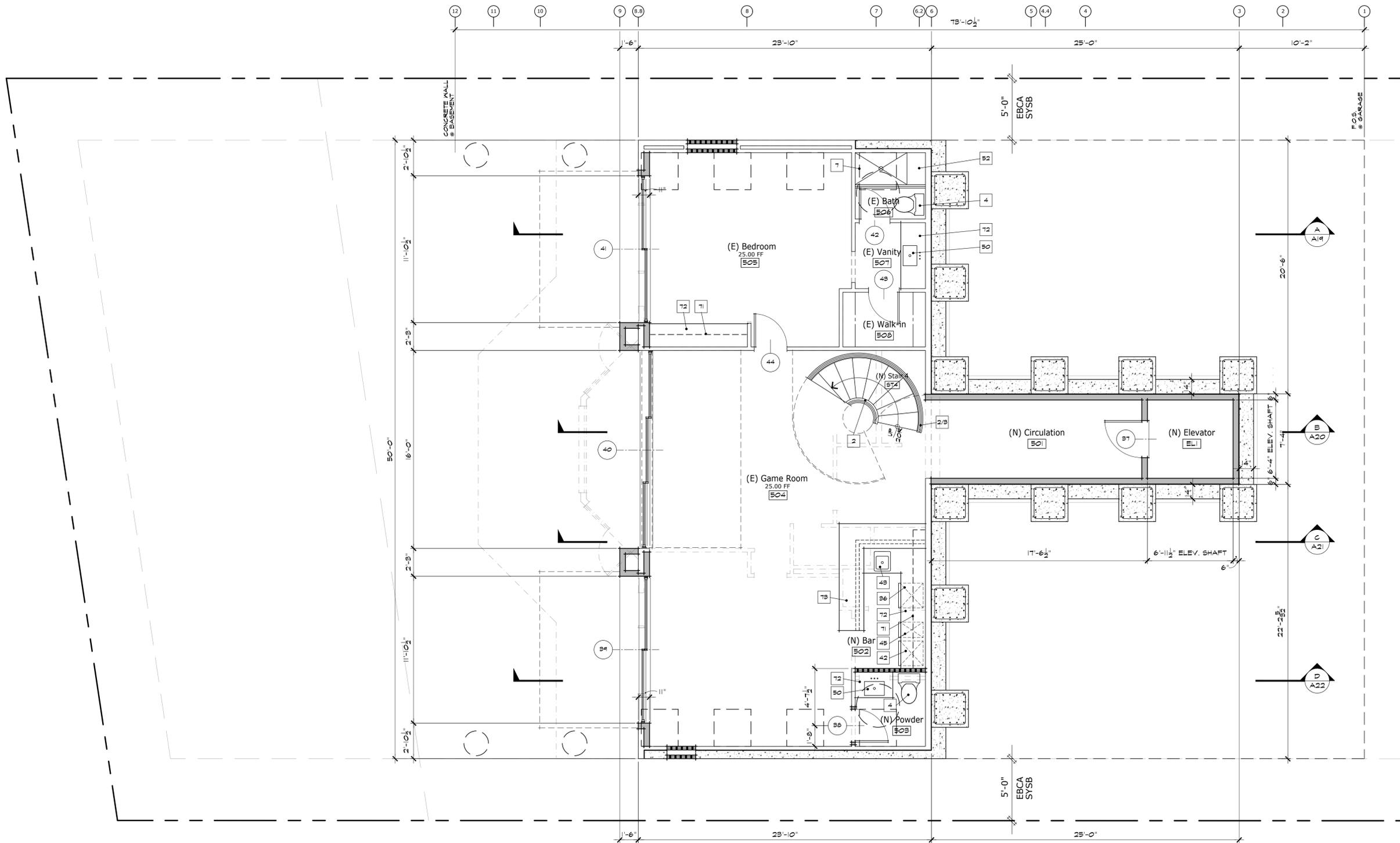
- ALL DIMENSIONS ARE TO FACE OF STUD OR RETAINING WALL UNDO.
- EXTERIOR STAIRS SHALL NOT HAVE A SLOPE GREATER THAN 1/4" PER FOOT. (C.B.C. 1008.1.4)
- ALL EXTERIOR SHELVES SHALL HAVE A SLOPE OF NOT LESS THAN 1/4" RISE PER FOOT OF RUN AWAY FROM HOUSE.
- PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
- INSTALL DECORATIVE FIREPLACE SURROUND PER C.B.C. AND MANUFACTURER'S INSTALLATION REQUIREMENTS, PROVIDE PROTECTION AND CLEARANCE FOR COMBUSTIBLE MATERIALS.
- MAX. 14 FT. LENGTH FOR DRYER VENT. DRYER VENT SHALL BE TERMINATED AT THE SIDE OF THE HOUSE A MINIMUM OF 6" ABOVE GROUND. (C.B.C. 504.3.2)
- GUTTERS AND DOWNSPOUTS TO CONNECT TO AREA DRAIN SYSTEM.
- MAXIMUM FLOW RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. A. WATER CLOSETS - 120 GPM @ 80 PSI. B. SHOWERHEADS - 2.0 GPM @ 80 PSI. C. KITCHEN SINK FACETS - 1.5 GPM @ 80 PSI. D. LAVATORY SINK FACETS - 1.5 GPM @ 80 PSI.
- WHERE OPEN RAILINGS OCCUR, OPENINGS BETWEEN BALUSTERS / RAILS / GUARDRAILS / HANDRAILS AT STAIRS, DECKS & LANDINGS SHALL BE ADEQUATE TO SUPPORT A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT A RIGHT ANGLE TO THE TOP RAIL. (CBC 2401)
- PROVIDE APPROVED FIRE SPRINKLER SYSTEM THROUGHOUT INCLUDING GARAGE. SUBMIT PLANS TO THE FIRE AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION. (C.B.C. 903.2.1, 903.2.6, 903.3, AND CITY OF DANA POINT AMENDMENTS).
- A DOOR MAY SPRING OVER A LANDING THAT IS NOT MORE THAN 0.5 INCHES IN HEIGHT BELOW THE THRESHOLD. (CBC 1008.1.6)
- SEE DOOR AND WINDOW SCHEDULE SHEET DWS FOR MORE INFORMATION.
- PROVIDE 26 GAUGE STEEL DUCT IN GARAGE, IF IT PENETRATES IRR. SEPERATION.
- AT DOORS PROVIDE A MINIMUM LANDING THE WIDTH OF THE DOOR AND 36" MINIMUM EXTENDING FROM THE FACE OF DOOR. (CBC 1008.1.5)
- A DOOR MAY OPEN ON THE TOP STEP OF A FLIGHT OF STAIRS OR AN EXTERIOR LANDING PROVIDED THE DOOR DOES NOT SPRING OVER THE TOP STEP OR EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 1.75 INCHES BELOW THE TOP OF THE THRESHOLD. (CBC 1008.1.4 EX 2, EX3)
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY POOL ORDINANCE.
- UNVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE.
- ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS. (C.B.C. 903.01).
- MINIMUM NET CLEAR OPENING OF 5.7 50 FT.
- MINIMUM NET CLEAR OPENING OF 5 50 FT. AT GRADE LEVEL FLOOR.
- MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
- MINIMUM NET CLEAR HEIGHT OF 24 INCHES.
- WINDOWSILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.

Abbreviations

| F.S. | FACE OF STUD | FS | FINISHED SURFACE |
|--------|-----------------|---------|------------------|
| F.O.F. | FACE OF FRAMING | T. RAIL | TOP OF RAIL |
| FIN. | FINISHED FACE | | |
| TR. | TOP OF ROOF | | |

Floor Plan Wall Legend

| | |
|--------------------------|-------------------------------------|
| 1/2" X 4" WOOD STUD WALL | RETAINING WALL PER STRUCTURAL PLANS |
| 1/2" X 6" WOOD STUD WALL | 1/2" X 6" WOOD STUD WALL |
| EXISTING TO BE REMOVED | EXISTING TO REMAIN |



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CUSTOM RESIDENCE
 92 EMERALD BAY DRIVE
 LAGUNA BEACH • CALIFORNIA 92651

Beach Level
 Floor Plan

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-18-20
 EBCA Final Submittal
 2-5-20

Floor Plan Reference Notes

PLAN CHECK NOTES:

- 42" HIGH GUARDRAIL (CLOSED RAILINGS). (CBC 103.2)
- 42" HIGH GUARDRAIL (OPEN RAILINGS). (CBC 103.2) SEE GEN. NOTE #10, #11, #12. SEE GENERAL NOTE #11
- METAL HANDRAIL, 3/4" TO 3/8" HIGH ABOVE NOSE OF TREAD. (CBC 102.2)
- WATER CLOSET PROVIDE 30" MIN. CLEAR WIDTH AND 24" MIN. CLEARANCE MEASURED FROM FRONT EDGE OF BOWL TO ANY OBSTRUCTION. (CPC 401.6)
- 22 X 30 MINIMUM ATTIC ACCESS WITH 30" MINIMUM HEADROOM. (CBC 1204.2) PROVIDE #2 BATHERSHIP
- 4 INCH DIAMETER DRYER VENT.
- SHOWER IN SHATTERPROOF ENCLOSURE - WALLS, STONE MUDSET OVER FIBER CEMENT OR GLASS MAT GYPSUM BACKERS TO 10" MIN. ABOVE DRAIN INLET AT TUB INSHOWER. (CBC 120.3)
- GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD. (CBC 406.1.4F)
- TANKLESS WATER HEATER LOCATION
- FULL UNIT - 110V EQUIPPED WITH A SETBACK THERMOSTAT THAT MEETS THE REQUIREMENTS OF CECS 102.1 (C)
- WASHER SPACE - PROVIDE RECESSED VALVES.
- DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR. SEE GEN. NOTE #4 & 6.
- 3/4" DIRECT VENT FIREPLACE, "MAJESTIC" BY MAJESTIC TESTING AGENCY, CSA. CERT. REPORT NO. 1844485
- VOID CHASE OR DUCT CHASE IN DRAFT STOP @ 10'-0" VERT. MAX. TYP.
- 5/8" TYPE "X" GYP. BRD. AT ALL WALLS & CEILING OF ENCLOSED USABLE SPACE UNDER STAIRS. (CBC 1004.5.3)

- STONE OVER DESKING BY FLUJEX SYSTEMS, INC. ESR-2011. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM A6-851-871) - SLOPE 1/4" PER FOOT, TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
- INDICATES DECK DRAIN - 3" DIA. SIZE PER CPC 105, TABLE 1-I.
- SELF-CLOSING TIGHT-FITTING, SOLID WOOD 1-3/8" THICK DOOR OR 20-MIN. RATED DOOR AT OPENING TO DWELLING. (CBC 406.1.4 J)
- INDICATES OVERFLOW DRAIN - 3" MIN. DIA. MIN. 2" ABOVE DECK DRAIN INLET. SIZE PER CPC 105, TABLE 1-I
- INDICATES 4" WIDE GRATE DRAIN.
- 3/4" DIRECT VENT FIREPLACE, "SEHLOW" BY MAJESTIC TESTING AGENCY, CSA. CERT. REPORT NO. 2088238
- 42" HIGH GLASS RAILING (SAFETY GLASS) WITH CONTINUOUS TOP RAIL. SEE GENERAL NOTE #11.

KITCHEN:

- 3/8" SINK WITH GARBAGE DISPOSAL
- 24" DISHWASHER
- 3/8" REFRIGERATOR
- ISLAND COUNTERTOP
- 30" WIDE DOUBLE GAS OVEN

- 48" WIDE RANGE W/ 48" WIDE 100 CFM HOOD ABOVE, VENT TO OUTSIDE AIR. SEE SHEET - FOR MORE INFORMATION.
 - UNDERCOUNTER REFRIGERATOR
 - BAR SINK
 - 3/8" FREEZER
 - UNDERCOUNTER ICE MAKER
- BATHROOMS/LAUNDRY:**
- LAVATORY - PER INTERIOR DESIGNER.
 - SHOWER/ TUB FIXTURES - PER INTERIOR DESIGNER.
 - 18" HIGH SHOWER SEAT.
 - PLATFORM & TUB - PER INTERIOR DESIGNER
- CABINETS:**
- BUILT-IN CABINET OR SHELVING - PER INTERIOR DESIGNER.
 - UPPER CABINET - PER INTERIOR DESIGNER.
 - BASE CABINET - PER INTERIOR DESIGNER.
 - 42" HIGH COUNTERTOP

MISCELLANEOUS:

- INDICATES FACE OF EXTERIOR WALL BELOW.
- KNEE SPACE AT VANITY
- 15" WIDE UNDERCOUNTER ICE MAKER
- 2X 15" WIDE UNDERCOUNTER REFRIGERATOR
- LOW SHELF.
- SOFFIT ABOVE (SEE CEILING PLAN)
- STONE/ MARBLE AT THRESHOLD
- ELECTRICAL EQUIPMENT.
-
- DIRECT VENT FLE FROM FLOOR BELOW.
- INDICATES NATURAL STONE VENEER. SEE EXTERIOR ELEVATIONS FOR INFORMATION.
- GRATE DRAIN PER GRADING PLAN
- WOOD SEATING AT SALVA
-
- MECHANICAL EQUIPMENT.
100. INDICATES FACE OF EXTERIOR WALL ABOVE.
- TOP OF RETAINING WALL - SEE EXTERIOR ELEVATIONS & LANDSCAPE PLANS
- DRAINAGE PER GRADING PLAN
- TENCING / SATE PER LANDSCAPE PLAN
- METAL GLAZING - SEE EXTERIOR ELEVATIONS

Floor Plan General Notes

- ALL DIMENSIONS ARE TO FACE OF STUD OR RETAINING WALL, UNLESS NOTED OTHERWISE.
- EXTERIOR STAIRS SHALL NOT HAVE A SLOPE GREATER THAN 1/4" PER FOOT. (S.G. 1008.14)
- ALL EXTERIOR SHELVES SHALL HAVE A SLOPE OF NOT LESS THAN 1/4" RISE PER FOOT OF RUN AWAY FROM HOUSE.
- PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
- INSTALL DECORATIVE FIREPLACE SURROUND PER C.B.C. AND MANUFACTURER'S INSTALLATION REQUIREMENTS. PROVIDE PROTECTION AND CLEARANCE FOR COMBUSTIBLE MATERIALS.
- MAX. 14 FT. LENGTH FOR DRYER VENT. DRYER VENT SHALL BE TERMINATED AT THE SIDE OF THE HOUSE A MINIMUM OF 6' ABOVE GROUND. (C.M.C. 504.3.2)
- GUTTERS AND DOWNSPOUTS TO CONNECT TO AREA DRAIN SYSTEM.
- MINIMUM FLOOR RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. A. WATER CLOSETS - 2.0 GPM @ 80 psi. B. LAVATORY SINKS - 1.5 GPM @ 60 psi. C. SHOWERS - 2.0 GPM @ 80 psi. D. LAVATORY SINKS - 1.5 GPM @ 60 psi
- WHERE OPEN RAILINGS OCCUR, OPENINGS BETWEEN BAULSTERS / RAILS / INTERMEDIATES SHALL BE LESS THAN 4 INCHES OR 4 3/8 INCHES AT OPEN SIDE OF STAIRS. (CBC 103.3)
- ALL HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 125" NOR MORE THAN 2" IN GROSS SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. (CBC 102.4 EX 3)
- GUARDRAILS / HANDRAILS AT STAIRS, DECKS & LANDINGS SHALL BE ADEQUATE TO SUPPORT A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT A RIGHT ANGLE TO THE TOP RAIL. (CBC 2401)

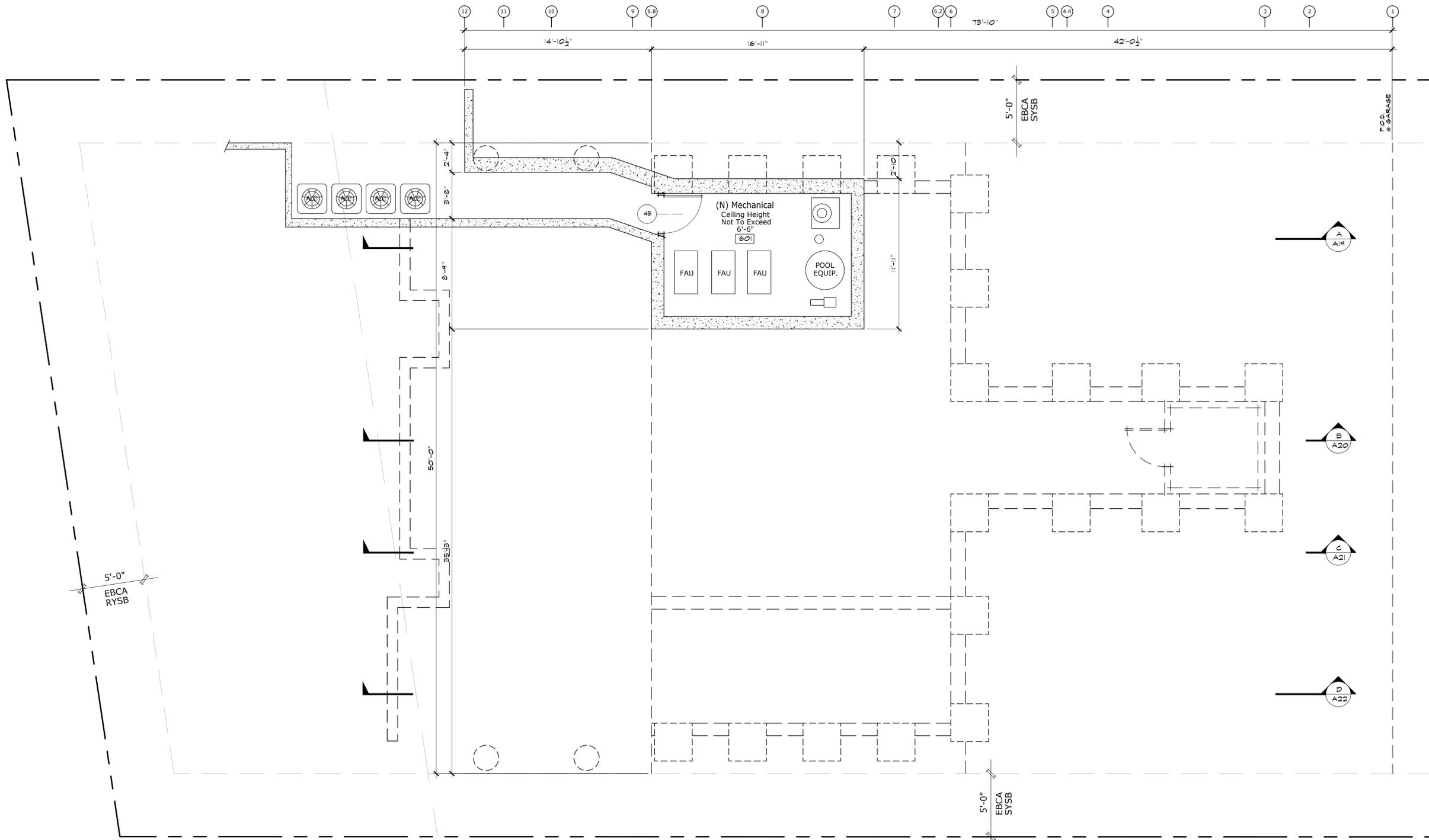
- PROVIDE APPROVED FIRE SPRINKLER SYSTEM THROUGHOUT INCLUDING GARAGE. SUBMIT PLANS TO THE FIRE AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION. (C.B.C. 103.2.1, 103.2.8, 103.3, AND CITY OF DANA POINT AMENDMENTS).
- A DOOR MAY SWING OVER A LANDING THAT IS NOT MORE THAN 25 INCHES IN HEIGHT BELOW THE THRESHOLD. (CBC 1008.1.6)
- SEE DOOR AND WINDOW SCHEDULE SHEET DWS FOR MORE INFORMATION.
- PROVIDE 20 GAUGE STEEL DUCT IN GARAGE, IF IT PENETRATES IRR. SEPERATION.
- AT DOORS PROVIDE A MINIMUM LANDING THE WIDTH OF THE DOOR AND 3/4" MINIMUM EXTENDING FROM THE FACE OF DOOR. (CBC 1008.1.5)
- A DOOR MAY OPEN ON THE TOP STEP OF A FLIGHT OF STAIRS OR AN EXTERIOR LANDING PROVIDED THE DOOR DOES NOT SWING OVER THE TOP STEP OR EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 17 1/2 INCHES BELOW THE TOP OF THE THRESHOLD. (CBC 1008.1.4 EX 2, D3)
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY POOL ORDINANCE.
- UNVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY LISTED, LISTED AND LABELED FOR SUCH USE.
- ALL HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 125" NOR MORE THAN 2" IN GROSS SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. (CBC 102.4 EX 3)
- MINIMUM NET CLEAR OPENING OF 5.50 FT. AT GRADE LEVEL FLOOR
- MINIMUM NET CLEAR OPENING OF 5.50 FT. AT GRADE LEVEL FLOOR
- MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES
- MINIMUM NET CLEAR HEIGHT OF 24 INCHES
- MINIMUMSILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.

Abbreviations

| F.F.S. | FACE OF STUD | F.S. | FINISHED SURFACE |
|--------|-----------------|--------|------------------|
| F.F.P. | FACE OF FRAMING | T.RAIL | TOP OF RAIL |
| FIN | FINISH FACE | - | - |
| T.R. | TOP OF RAIL | - | - |

Floor Plan Wall Legend

| | | | |
|-----------|--------------------------|-----------|-------------------------------------|
| [Pattern] | NEW 4 X 4 ROOF STUD WALL | [Pattern] | RETAINING WALL PER STRUCTURAL PLANS |
| [Pattern] | NEW 6 X 6 ROOF STUD WALL | [Pattern] | 4 X 8 ROOF STUD WALL |
| [Pattern] | EXISTING TO BE REMOVED | [Pattern] | EXISTING TO REMAIN |



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CUSTOM RESIDENCE
 92 EMERALD BAY DRIVE
 LAGUNA BEACH, CALIFORNIA 92651

Mechanical Access Level
 Floor Plan

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-31-20
 EBCE Final Submittal
 2-5-20

Floor Plan Reference Notes

PLAN CHECK NOTES:

- 42" HIGH GUARDRAIL (CLOSED RAILINGS) (CBC 103.2)
- 42" HIGH GUARDRAIL (OPEN RAILINGS) (CBC 103.2) SEE GEN. NOTE #0, 11, 412. SEE GENERAL NOTE #11
- METAL HANDRAIL, 34" TO 38" HIGH ABOVE NOSE OF TREAD. (CBC 103.2)
- WATER CLOSET PROVIDE 30" MIN. CLEAR WIDTH AND 24" MIN. CLEARANCE MEASURED FROM FRONT EDGE OF BOYL TO ANY OBSTRUCTION (CPG 401.6)
- 22 X 30 MINIM ATTIC ACCESS WITH 30" MINIMUM HEADROOM. (CBC 104.2) PROVIDE WEATHERSTRIP
- 4 INCH DIAMETER DRYER VENT.
- SHOWER IN SHATTERPROOF ENCLOSURE - WALLS, STONE MUDSET OVER FIBER CEMENT OR GLASS MAT GYPSUM BACKERS TO 10" MIN. ABOVE DRAIN INLET AT TUB IN SHOWER. (CBC 120.3)
- GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD. (CBC 406.1.4)
- TANKLESS WATER HEATER LOCATION
- FA.U. UNIT - 110V EQUIPPED WITH A SETBACK THERMOSTAT THAT MEETS THE REQUIREMENTS OF CECS 110.2 (2)
- WASHER SPACE - PROVIDE RECESSED VALVES.
- DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR. SEE GEN. NOTE #4 & 6.
- 36" DIRECT VENT FIREPLACE, "MARGUS" BY: MALESTIC TESTING AGENCY, CSA CERT. REPORT NO. 1844445
- VOID CHASE OR DUCT CHASE IN DRAFT STOP @ 10'-0" VERT. MAX. - TYP.
- 5/8" TYPE "X" GYP. BRD. AT ALL WALLS & CEILING OF ENCLOSED USABLE SPACE UNDER STAIRS. (CBC 1004.5.3)

- STONE OVER DESKING BY: FL-DESK SYSTEMS, INC. 258-2011. INSTALLATION SHALL BE IN ACCORDANCE IN MANUFACTURER'S SPECIFICATIONS (ASTM K1-851-01) - SLOPE 1/4" PER FOOT. TO DRAIN OVER 3/4" FLYWOOD OVER 2X SLEEPERS AT 6" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
 - INDICATES DESK DRAIN - 3" MIN. DIA. SIZE PER CPG 105, TABLE 11-I.
 - SELF-CLOSING, TIGHT-FITTING, SOLID WOOD 1-3/8" THICK DOOR OR A 20-MIN. RATED DOOR AT OPENINGS TO DWELLING. (CBC 406.1.4 #1)
 - INDICATES OVERFLOW DRAIN - 3" MIN. DIA. MIN. 2" ABOVE DECK DRAIN INLET. SIZE PER CPG 105, TABLE 11-I
 - INDICATES 4" WIDE GRATE DRAIN.
 - 36" DIRECT VENT FIREPLACE, "TEGELON" BY: MALESTIC TESTING AGENCY, CSA CERT. REPORT NO. 2088328
 - 42" HIGH GLASS RAILING (SAFETY GLASS) WITH CONTINUOUS TOP RAIL. SEE GENERAL NOTE #11.
- KITCHEN:**
- 36" SINK WITH GARBAGE DISPOSAL
 - 36" DISHWASHER
 - 36" REFRIGERATOR
 - ISLAND COUNTERTOP
 - 30" WIDE DOUBLE GAS OVEN

- 48" WIDE RANGE IN 48" WIDE 100 CFM HOOD ABOVE. VENT TO OUTSIDE AIR. SEE SHEET - FOR MORE INFORMATION.
 - UNDERCOUNTER REFRIGERATOR
 - BAR SINK
 - 36" FREEZER
 - UNDERCOUNTER ICE MAKER
- BATHROOMS/LAUNDRY:**
- LAVATORY - PER INTERIOR DESIGNER.
 - SHOWER/TUB FIXTURES - PER INTERIOR DESIGNER.
 - 36" HIGH SHOWER SEAT.
 - PLATFORM & TUB - PER INTERIOR DESIGNER
- CABINETS:**
- BUILT-IN CABINET OR SHELVING - PER INTERIOR DESIGNER.
 - UPPER CABINET - PER INTERIOR DESIGNER.
 - BASE CABINET - PER INTERIOR DESIGNER.
 - 42" HIGH COUNTERTOP

MISCELLANEOUS:

- INDICATES FACE OF EXTERIOR WALL BELOW.
- KNEE SPACE AT VANITY
- 15" WIDE UNDERCOUNTER ICE MAKER
- 15" WIDE UNDERCOUNTER REFRIGERATOR
- LOW SHELF.
- SOFFIT ABOVE (SEE CEILING PLAN)
- STONE MARBLE AT THRESHOLD
- ELECTRICAL EQUIPMENT.
- 36" DIRECT VENT FLUE FROM FLOOR BELOW.
- INDICATES NATURAL STONE VENEER. SEE EXTERIOR ELEVATIONS FOR INFORMATION.
- GRATE DRAIN PER GRADING PLAN
- WOOD SEATING AT SHAUNA
-
- MECHANICAL EQUIPMENT.
- INDICATES FACE OF EXTERIOR WALL ABOVE.
- TOP OF RETAINING WALL - SEE EXTERIOR ELEVATIONS & LANDSCAPE PLANS
- AT OPEN SIDE OF STAIRS. (CBC 103.3)
- DRAINAGE PER GRADING PLAN
- FENCING / GATE PER LANDSCAPE PLAN
- METAL GLAZING - SEE EXTERIOR ELEVATIONS

Floor Plan General Notes

- ALL DIMENSIONS ARE TO FACE OF STUD OR RETAINING WALL, UNLESS NOTED OTHERWISE.
- EXTERIOR STAIRS SHALL NOT HAVE A SLOPE GREATER THAN 1/4" PER FOOT. (CBC 1008.1.4)
- ALL EXTERIOR SHELVES SHALL HAVE A SLOPE OF NOT LESS THAN 1/4" RISE PER FOOT OF RUN AWAY FROM HOUSE.
- PROVIDE BACK-DRAFT DAMPERS AT DRYER VENT, HOOD VENT AND EXHAUST FANS.
- INSTALL DECORATIVE FIREPLACE SURROUND PER C.B.C. AND MANUFACTURER'S INSTALLATION REQUIREMENTS. PROVIDE PROTECTION AND CLEARANCE FOR COMBUSTIBLE MATERIALS.
- MAX. 14 FT. LENGTH FOR DRYER VENT. DRYER VENT SHALL BE TERMINATED AT THE SIDE OF THE HOUSE A MINIMUM OF 6' ABOVE GROUND. (C.M.C. 504.3.2)
- SUITERS AND DOWNPOUTS TO CONNECT TO AREA DRAIN SYSTEM.
- MINIMUM FLOOR RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. A. WATER CLOSETS - 2.0 GPM @ 80 psi B. LAVATORY SINK FACETS - 1.5 GPM @ 60 psi C. SHOWERHEADS - 2.0 GPM @ 80 psi D. LAVATORY SINK FACETS - 1.5 GPM @ 60 psi
- WHERE OPEN RAILINGS OCCUR, OPENINGS BETWEEN BALUSTERS / RAILS / INTERMEDIATES SHALL BE LESS THAN 4 INCHES OR 4 3/8 INCHES AT OPEN SIDE OF STAIRS. (CBC 103.3)
- ALL HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. HANDGRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1.25" NOR MORE THAN 2" IN GROSS SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. (CBC 103.4 EX 3)
- GUARDRAILS / HANDRAILS AT STAIRS, DECKS & LANDINGS SHALL BE ADEQUATE TO SUPPORT A CONCENTRATED LOAD OF 200 POUNDS APPLIED AT A RIGHT ANGLE TO THE TOP RAIL. (CBC 2407)

- PROVIDE APPROVED FIRE SPRINKLER SYSTEM THROUGHOUT INCLUDING GARAGE. SUBMIT PLANS TO THE FIRE AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION. (CBC 903.2.1, 903.2.2, 903.3, AND CITY OF DANA POINT AMENDMENTS).
- A DOOR MAY SWING OVER A LANDING THAT IS NOT MORE THAN 25 INCHES IN HEIGHT BELOW THE THRESHOLD. (CBC 1008.1.6)
- SEE DOOR AND WINDOW SCHEDULE SHEET DWG FOR MORE INFORMATION.
- PROVIDE 36 GAGE STEEL DUCT IN GARAGE. IF IT PENETRATES I.H.R. SEPARATION, AND 36" MINIMUM EXTENDING FROM THE FACE OF DOOR. (CBC 1008.5)
- A DOOR MAY OPEN ON THE TOP STEP OF A FLIGHT OF STAIRS OR AN EXTERIOR LANDING PROVIDED THE DOOR DOES NOT SWING OVER THE TOP STEP OR EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 1.15 INCHES BELOW THE TOP OF THE THRESHOLD. (CBC 1008.1.4 EX 2, EX3)
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY POOL ORDINANCE.
- UNVENTED GAS LOG HEATERS SHALL NOT BE USED IN A FACTORY BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE.
- ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS. (CBC R310.1)
 - MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 - MINIMUM NET CLEAR OPENING OF 5.50 FT. AT GRADE LEVEL FLOOR
 - MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES
 - MINIMUM NET CLEAR HEIGHT OF 24 INCHES
 - WINDOW WELL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY ORDINANCE.

Abbreviations

| FGS | FACE OF STUD | FS | FINISHED SURFACE |
|-----|---------------|-------|------------------|
| TR | FACE OF TRIM | TRAIL | TOP OF RAIL |
| FR | FINISHED FACE | - | - |
| TR | TOP OF ROOF | - | - |

Floor Plan Wall Legend

| | | | |
|-----------|--------------------------|-----------|-------------------------------------|
| [Pattern] | NEW 4 X 4 WOOD STUD WALL | [Pattern] | RETAINING WALL PER STRUCTURAL PLANS |
| [Pattern] | NEW 6 X 6 WOOD STUD WALL | [Pattern] | 4 X 8 WOOD STUD WALL |
| [Pattern] | EXISTING TO BE REMOVED | [Pattern] | EXISTING TO REMAIN |

Elevation Notes

GENERAL NOTES:

- A. REFER TO DETAIL 402.0 FOR TYPICAL FLASHING AT WALL OPENINGS.
- B. REFER TO DETAIL 109.0 AND 209.0 FOR TYPICAL KEEP SCREED AT BOTTOM OF PLASTERED WALLS.
- C. -

ELEVATION REFERENCE:

- 1. INDICATES NEW FINISHED GRADE OR FINISHED SURFACE.
- 2. INDICATES PROPERTY LINE.
- 3. -
- 4. HOUSE STREET NUMBER SHALL BE VISIBLE AND LEGIBLE FROM THE STREET. (MINIMUM 4" HIGH X 7" WIDE) CRG R314

TYPICAL EXTERIOR FINISHES:

- 15. - ZINC STANDING SEAM ROOFING.
- 16. - 3/4" THICK MAX. NATURAL STONE VENEER w/ 3/4" MUDSET w/ PLASTER BROWN COAT.
- 17. - EXTERIOR SMOOTH PLASTER - COLOR: LIGHT SAND
- 18. -

EXTERIOR METAL:

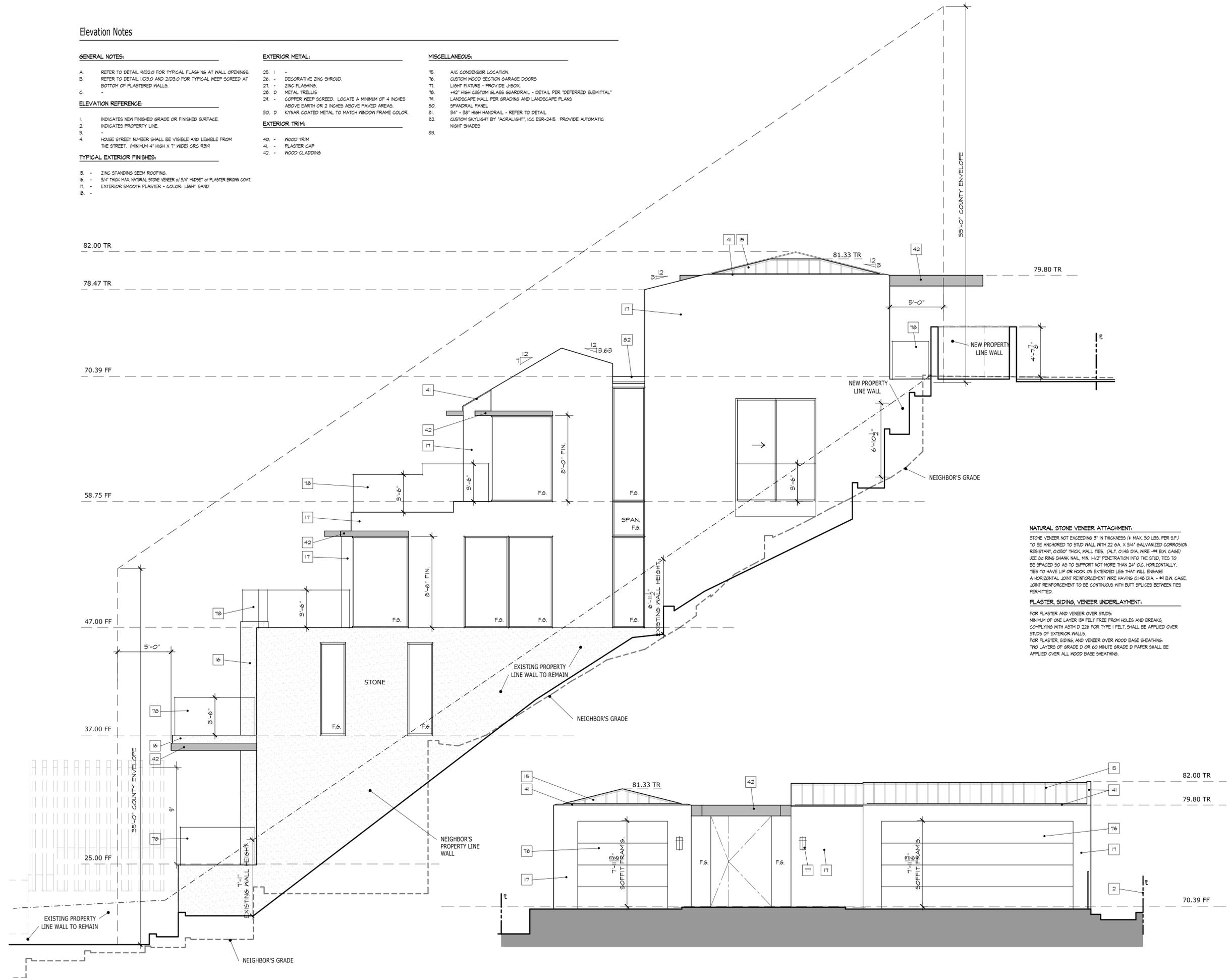
- 25. I -
- 26. - DECORATIVE ZINC SHROUD.
- 27. - ZINC FLASHING.
- 28. D METAL TRELLIS.
- 29. - COPPER KEEP SCREED. LOCATE A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS.
- 30. D KYNAR COATED METAL TO MATCH WINDOW FRAME COLOR.

EXTERIOR TRIM:

- 40. - WOOD TRIM
- 41. - PLASTER CAP
- 42. - WOOD GLAZING

MISCELLANEOUS:

- 75. A/C CONDENSOR LOCATION.
- 76. CUSTOM WOOD SECTION GARAGE DOORS
- 77. LIGHT FIXTURE - PROVIDE J-BOX.
- 78. +42" HIGH CUSTOM GLASS GUARDRAIL - DETAIL PER "DEFERRED SUBMITTAL"
- 79. LANDSCAPE WALL PER GRADINGS AND LANDSCAPE PLANS
- 80. SPANDREL PANEL.
- 81. 34" x 38" HIGH HANDRAIL - REFER TO DETAIL.
- 82. CUSTOM SKYLIGHT BY "ACRALIGHT"; ICG ESR-2415. PROVIDE AUTOMATIC NIGHT SHADES
- 83. -



NATURAL STONE VENEER ATTACHMENT:
 STONE VENEER NOT EXCEEDING 3" IN THICKNESS (4 MAX. 30 LBS. PER S.F.) TO BE ANCHORED TO STUD WALL WITH 22 GA. X 3/4" GALVANIZED CORROSION RESISTANT, 0.020" THICK, WALL TIES. (ALT. 0.148 DIA. WIRE - #4 BXL GAGE) USE #4 RING SHANK NAIL, MIN. 1-1/2" PENETRATION INTO THE STUD, TIES TO BE SPACED 50 AS TO SUPPORT NOT MORE THAN 24" O.C. HORIZONTALLY. TIES TO HAVE UP OR HOOK ON EXTENDED LEG THAT WILL ENGAGE A HORIZONTAL JOINT REINFORCEMENT WIRE HAVING 0.148 DIA. - #4 BXL GAGE. JOINT REINFORCEMENT TO BE CONTINUOUS WITH BUTT SPLICES BETWEEN TIES PERMITTED.

PLASTER, SIDING, VENEER UNDERLAYMENT:
 FOR PLASTER AND VENEER OVER STUDS:
 MINIMUM OF ONE LAYER 5/8" FELT FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE I FELT, SHALL BE APPLIED OVER STUDS OF EXTERIOR WALLS.
 FOR PLASTER, SIDING, AND VENEER OVER WOOD BASE SHEATHING:
 TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.

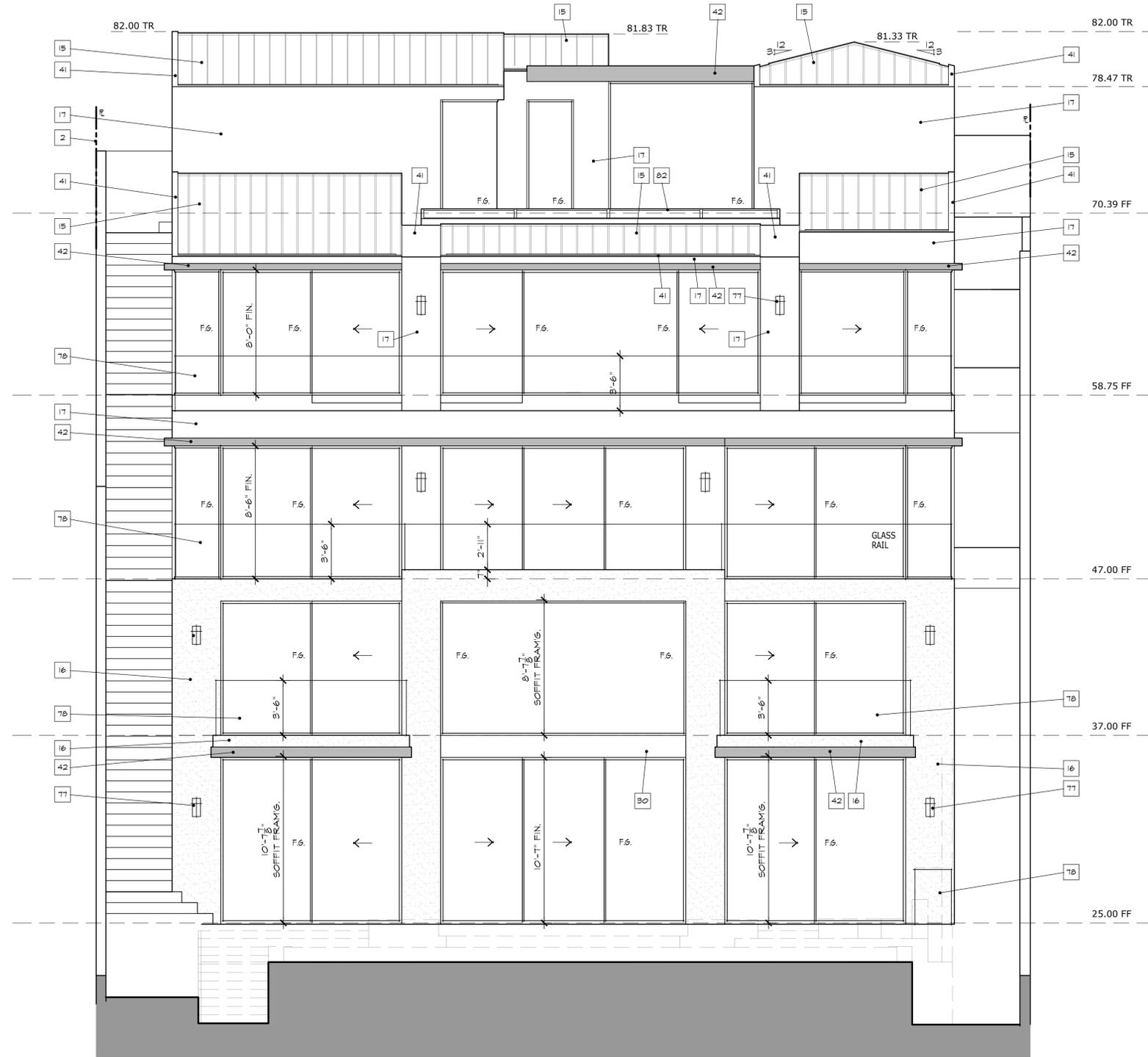
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CUSTOM RESIDENCE
 92 EMERALD BAY DRIVE
 LAGUNA BEACH • CALIFORNIA 92651

Street & Left Side Elevations

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-18-20
 EBCA Final Submittal
 2-5-20



Elevation Notes

GENERAL NOTES:

- A. REFER TO DETAIL 9/D2.0 FOR TYPICAL FLASHING AT WALL OPENINGS.
- B. REFER TO DETAIL 1/D3.0 AND 2/D3.0 FOR TYPICAL KEEP SCREED AT BOTTOM OF PLASTERED WALLS.
- C. -

ELEVATION REFERENCE:

- 1. INDICATES NEW FINISHED GRADE OR FINISHED SURFACE.
- 2. INDICATES PROPERTY LINE.
- 3. -
- 4. HOUSE STREET NUMBER SHALL BE VISIBLE AND LEGIBLE FROM THE STREET. (MINIMUM 4" HIGH X 7" WIDE) CRC R319

TYPICAL EXTERIOR FINISHES:

- 15. - ZINC STANDING SEAM ROOFING.
- 16. - 3/4" THICK MAX. NATURAL STONE VENEER w/ 3/4" MUDSET w/ PLASTER BROWN COAT.
- 17. - EXTERIOR SMOOTH PLASTER - COLOR: LIGHT SAND
- 18. -

EXTERIOR METAL:

- 25. I -
- 26. - DECORATIVE ZINC SHROUD.
- 27. - ZINC FLASHING
- 28. D METAL TRELLIS
- 29. - COPPER KEEP SCREED. LOCATE A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS.
- 30. D KYNAR COATED METAL TO MATCH WINDOW FRAME COLOR.

EXTERIOR TRIM:

- 40. - WOOD TRIM
- 41. - PLASTER CAP
- 42. - WOOD GLADDING

MISCELLANEOUS:

- 75. A/C CONDENSOR LOCATION
- 76. CUSTOM WOOD SECTION GARAGE DOORS
- 77. LIGHT FIXTURE - PROVIDE J-BOX.
- 78. 42" HIGH CUSTOM GLASS GUARDRAIL - DETAIL PER "DEFERRED SUBMITTAL"
- 79. LANDSCAPE WALL PER GRADINGS AND LANDSCAPE PLANS
- 80. SPANDREL PANEL
- 81. 34" - 38" HIGH HANDRAIL - REFER TO DETAIL
- 82. CUSTOM SKYLIGHT BY 'ACRALIGHT', ICG ESR-2415. PROVIDE AUTOMATIC NIGHT SHADES
- 83. -

NATURAL STONE VENEER ATTACHMENT:

STONE VENEER NOT EXCEEDING 3" IN THICKNESS (4 MAX. 30 LBS. PER SF.) TO BE ANCHORED TO STUD WALL WITH 22 GA. X 3/4" GALVANIZED CORROSION RESISTANT, 0.030" THICK, WALL TIES. (ALT. 0.148 DIA. WIRE #14 B.X. CASE) USE 8d RING SHANK NAIL, MIN. 1-1/2" PENETRATION INTO THE STUD. TIES TO BE SPACED SO AS TO SUPPORT NOT MORE THAN 24" O.C. HORIZONTALLY. TIES TO HAVE LIP OR HOOK ON EXTENDED LEG THAT WILL ENGAGE A HORIZONTAL JOINT REINFORCEMENT WIRE HAVING 0.148 DIA. - #14 B.X. CASE. JOINT REINFORCEMENT TO BE CONTINUOUS WITH BUTT SPLICES BETWEEN TIES PERMITTED.

PLASTER, SIDING, VENEER UNDERLAYMENT:

FOR PLASTER AND VENEER OVER STUDS:
 MINIMUM OF ONE LAYER 15# FELT FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE I FELT, SHALL BE APPLIED OVER STUDS OF EXTERIOR WALLS.
 FOR PLASTER, SIDING, AND VENEER OVER WOOD BASE SHEATHING:
 TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.



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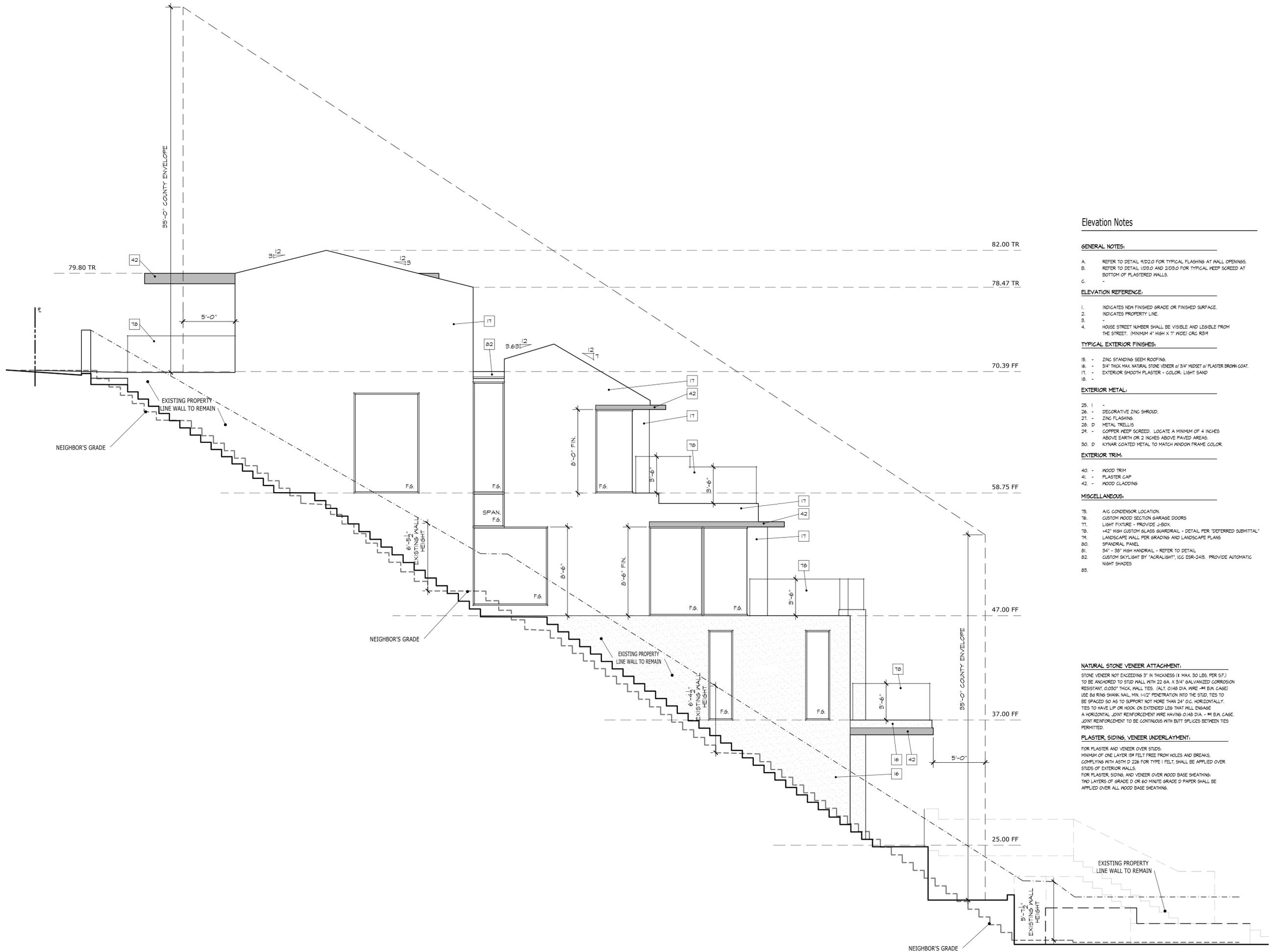
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CUSTOM RESIDENCE
 92 EMERALD BAY DRIVE
 LAGUNA BEACH, CALIFORNIA 92651

Ocean Elevation

Job Number -
 Scale 1/4" = 1'-0"
 Date 8-18-20
 EBCA Final Submittal
 2-5-20



Elevation Notes

GENERAL NOTES:

- A. REFER TO DETAIL 1/23.0 FOR TYPICAL FLASHING AT WALL OPENINGS.
- B. REFER TO DETAIL 1/23.0 AND 2/23.0 FOR TYPICAL KEEP SCREED AT BOTTOM OF PLASTERED WALLS.
- C.

ELEVATION REFERENCE:

- 1. INDICATES NEW FINISHED GRADE OR FINISHED SURFACE.
- 2. INDICATES PROPERTY LINE.
- 3.
- 4. HOUSE STREET NUMBER SHALL BE VISIBLE AND LEGIBLE FROM THE STREET. (MINIMUM 4" HIGH X 1" WIDE) CRC RB19

TYPICAL EXTERIOR FINISHES:

- 15. - ZINC STANDING SEAM ROOFING
- 16. - 3/4" THICK MAX NATURAL STONE VENEER @ 3/4" MISET @ PLASTER BROWN COAT.
- 17. - EXTERIOR SMOOTH PLASTER - COLOR: LIGHT SAND
- 18. -

EXTERIOR METAL:

- 25. I -
- 26. - DECORATIVE ZINC SHROUD.
- 27. - ZINC FLASHING.
- 28. D METAL TRELLIS
- 29. - COPPER KEEP SCREED. LOCATE A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS.
- 30. D KYNAR COATED METAL TO MATCH WINDOW FRAME COLOR.

EXTERIOR TRIM:

- 40. - WOOD TRIM
- 41. - PLASTER CAP
- 42. - WOOD CLADDING

MISCELLANEOUS:

- 75. A/C CONDENSOR LOCATION.
- 76. CUSTOM WOOD SECTION GARAGE DOORS
- 77. LIGHT FIXTURE - PROVIDE L-BOX.
- 78. +42" HIGH CUSTOM GLASS GUARDRAIL - DETAIL PER "DEFERRED SUBMITTAL"
- 79. LANDSCAPE WALL PER GRADINGS AND LANDSCAPE PLANS
- 80. SPANDREL PANEL
- 81. 34" - 38" HIGH HANDRAIL - REFER TO DETAIL
- 82. CUSTOM SKYLIGHT BY "ACRALIGHT", ICC ESR-2415. PROVIDE AUTOMATIC NIGHT SHADES
- 83.

NATURAL STONE VENEER ATTACHMENT:

STONE VENEER NOT EXCEEDING 3" IN THICKNESS (4 MAX. 30 LBS. PER SF.) TO BE ANCHORED TO STUD WALL WITH 22 GA. X 3/4" GALVANIZED CORROSION RESISTANT, 0.030" THICK WALL TIES. (ALT. 0.148 DIA. WIRE #4 B/X CASE) USE #4 RING SHANK NAIL, MIN. 1-1/2" PENETRATION INTO THE STUD. TIES TO BE SPACED SO AS TO SUPPORT NOT MORE THAN 24" O.C. HORIZONTALLY. TIES TO HAVE LIP OR HOOK ON EXTENDED LEG THAT WILL ENGAGE A HORIZONTAL JOINT REINFORCEMENT WIRE HAVING 0.148 DIA. - #4 B/X CASE. JOINT REINFORCEMENT TO BE CONTINUOUS WITH BUTT SPLICES BETWEEN TIES PERMITTED.

PLASTER, SIDING, VENEER UNDERLAYMENT:

FOR PLASTER AND VENEER OVER STUDS: MINIMUM OF ONE LAYER 1/2" FELT FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE I FELT, SHALL BE APPLIED OVER STUDS OF EXTERIOR WALLS. FOR PLASTER, SIDING, AND VENEER OVER WOOD BASE SHEATHING: TWO LAYERS OF GRADE D OR 60 MINUTE GRADE D PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING.

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CUSTOM RESIDENCE
92 EMERALD BAY DRIVE
LAGUNA BEACH • CALIFORNIA 92651

Right Side Elevation

Job Number -
Scale 1/4" = 1'-0"
Date 8-18-20
EBCA Final Submittal
2-5-20



C. J. LIGHT ASSOCIATES

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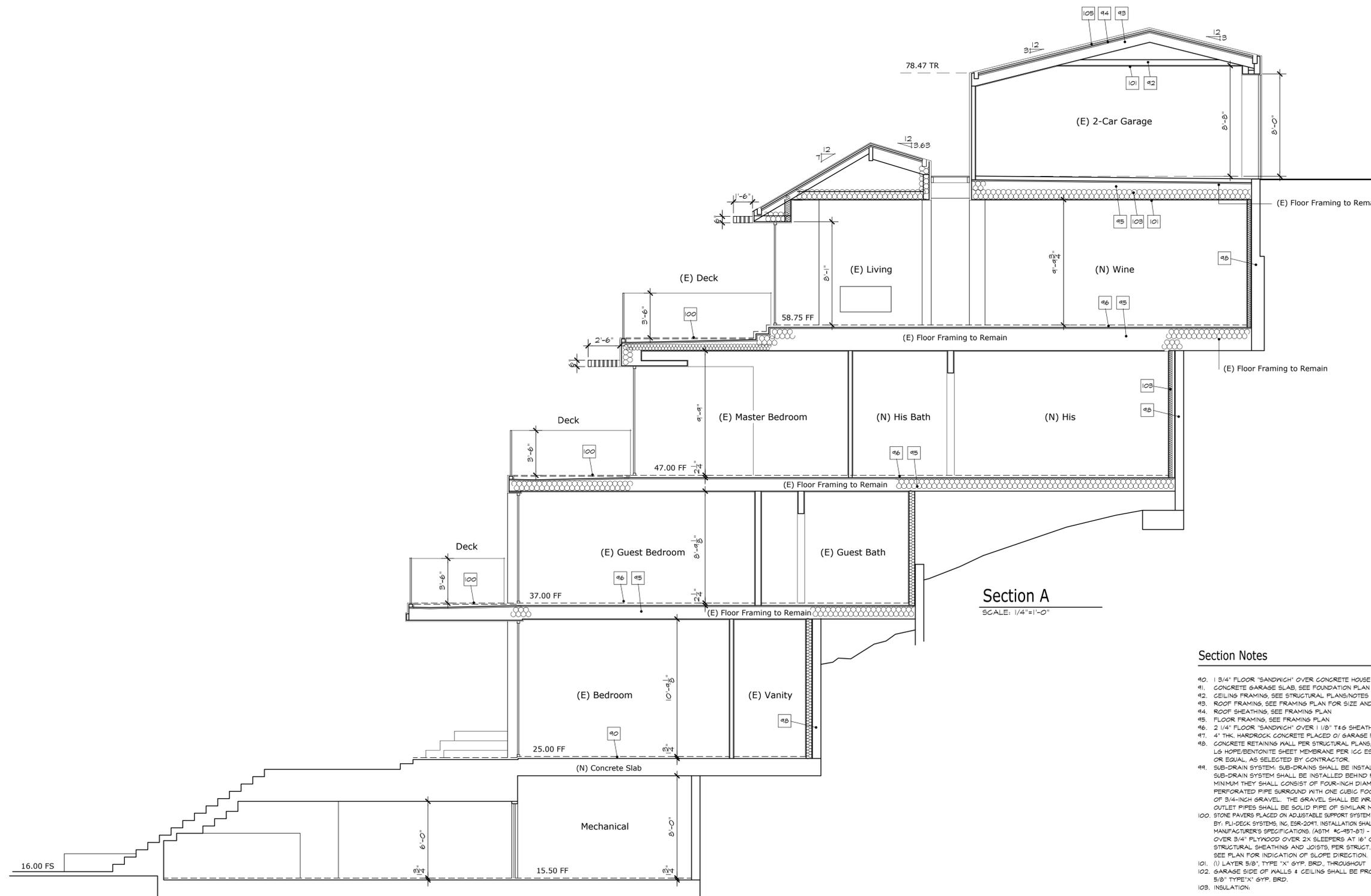
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CUSTOM RESIDENCE
92 EMERALD BAY DRIVE
LAGUNA BEACH • CALIFORNIA 92651

Section

Job Number -
Scale 1/4" = 1'-0"
Date 8-18-20

EBCA Final Submittal
2-5-20

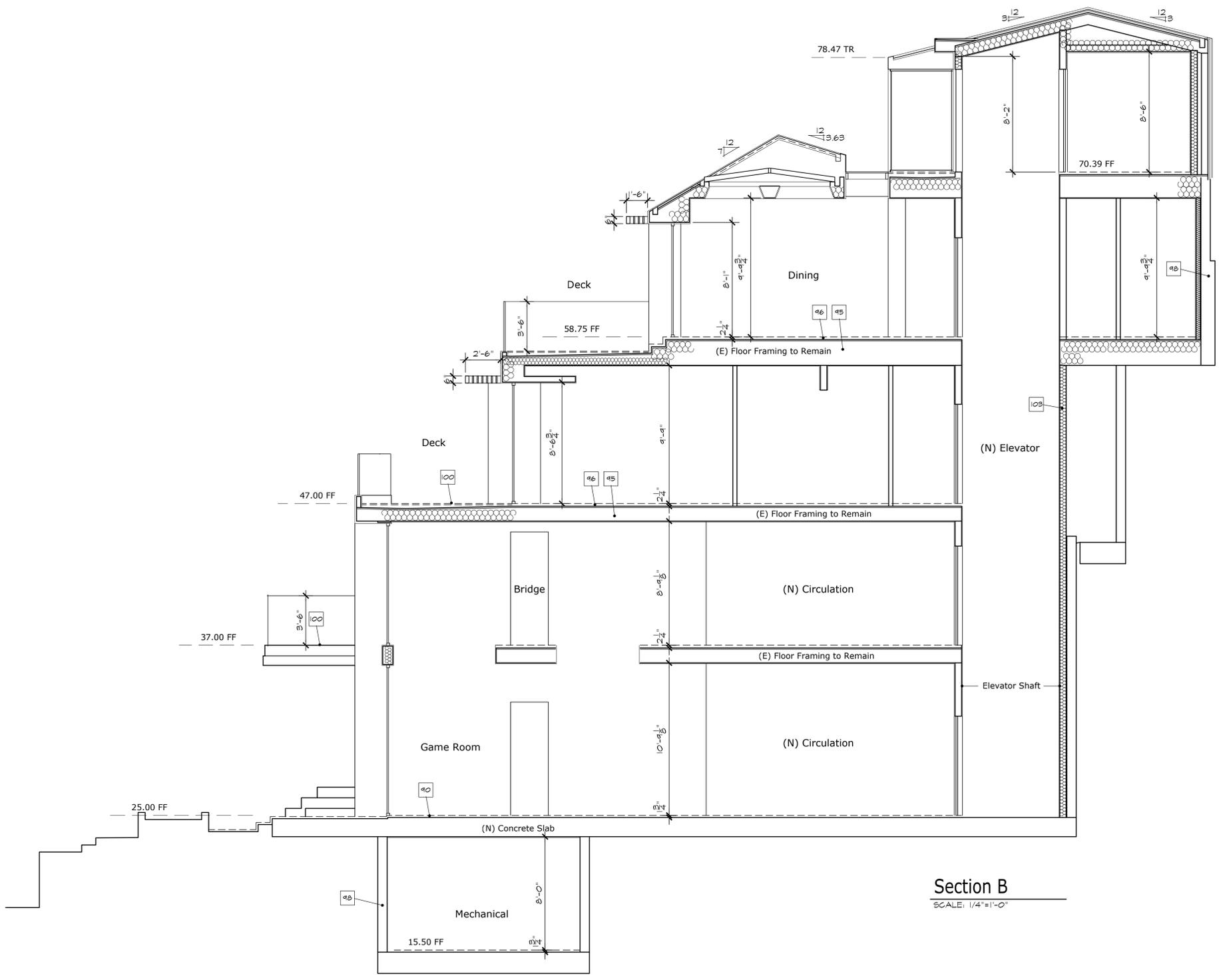


Section Notes

- 90. 1 3/4" FLOOR "SANDWICH" OVER CONCRETE HOUSE SLAB, SEE FOUNDATION PLAN
- 91. CONCRETE GARAGE SLAB, SEE FOUNDATION PLAN
- 92. CEILING FRAMING, SEE STRUCTURAL PLANS/NOTES FOR SIZE AND SPACING
- 93. ROOF FRAMING, SEE FRAMING PLAN FOR SIZE AND SPACING
- 94. ROOF SHEATHING, SEE FRAMING PLAN
- 95. FLOOR FRAMING, SEE FRAMING PLAN
- 96. 2 1/4" FLOOR "SANDWICH" OVER 1 1/8" T&G SHEATHING GLUED AND SCREWED.
- 97. 4" THK. HARDROCK CONCRETE PLACED O/ GARAGE FLOOR FRAMING, SLOPED 2% MIN.
- 98. CONCRETE RETAINING WALL PER STRUCTURAL PLANS, PROVIDE TREMCO PARASEAL LS HOPE/BENTONITE SHEET MEMBRANE PER ICC ESR-2849 PER SPEC. SHEETS OR EQUAL, AS SELECTED BY CONTRACTOR.
- 99. SUB-DRAIN SYSTEM, SUB-DRAINS SHALL BE INSTALLED PER SOILS REPORT. SUB-DRAIN SYSTEM SHALL BE INSTALLED BEHIND RETAINING WALLS AND AT A MINIMUM THEY SHALL CONSIST OF FOUR-INCH DIAMETER SCH 40 OR SDR 35 PERFORATED PIPE SURROUND WITH ONE CUBIC FOOT, PER LINEAL PIPE FOOT, OF 3/4"-INCH GRAVEL. THE GRAVEL SHALL BE WRAPPED IN FILTER FABRIC. OUTLET PIPES SHALL BE SOLID PIPE OF SIMILAR MATERIAL.
- 100. STONE PAVERS PLACED ON ADJUSTABLE SUPPORT SYSTEM O/ DECKING BY: FLI-DECK SYSTEMS, INC, ESR-204T. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM #C-487-07) - SLOPE 1/4" PER FOOT, TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
- 101. (1) LAYER 5/8", TYPE "X" GYP. BRD. THROUGHOUT
- 102. GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYP. BRD.
- 103. INSULATION:

| | |
|---|---|
| • AT ROOF W/ VENTED ATTIC OR VENTED JOIST BAYS, MIN. 1" CLEAR ABOVE. | → R-30 BATT INSULATION |
| • AT NON-VENTED FLAT ROOF OR DECK OVER INTERIOR CONDITIONED SPACE. | → R-5 SPRAY FOAM AT UNDERSIDE OF ROOF/DECK SHEATHING, PLUS R-25 BATT INSULATION BELOW |
| • AT EXTERIOR STUD WALLS, WALL BETWEEN GARAGE AND RESIDENCE | → R-21 BATT INSULATION |
| • AT STUDS ADJACENT TO EXTERIOR RETAINING WALLS | → R-13 BATT INSULATION |
| • NOTE: INSULATE ALL INTERIOR WALLS WITH R-15 AND R-30 AT INTERIOR FLOORS | |

104. OVERHANG/PARAPET ASSEMBLY - REFER TO DETAIL.
105. EXTERIOR FINISH PER ROOF PLAN.



Section B

SCALE: 1/4"=1'-0"

Section Notes

- 10. 1 3/4" FLOOR "SANDWICH" OVER CONCRETE HOUSE SLAB, SEE FOUNDATION PLAN
- 11. CONCRETE GARAGE SLAB, SEE FOUNDATION PLAN
- 12. CEILING FRAMING, SEE STRUCTURAL PLANS/NOTES FOR SIZE AND SPACING
- 13. ROOF FRAMING, SEE FRAMING PLAN FOR SIZE AND SPACING
- 14. ROOF SHEATHING, SEE FRAMING PLAN
- 15. FLOOR FRAMING, SEE FRAMING PLAN
- 16. 2 1/4" FLOOR "SANDWICH" OVER 1 1/2" T&G SHEATHING GLED AND SCREED.
- 17. 4" THK. HARDPACK CONCRETE PLACED O/ GARAGE FLOOR FRAMING, SLOPED 2% MIN.
- 18. CONCRETE RETAINING WALL PER STRUCTURAL PLANS, PROVIDE TREMCO PARASEAL LG HOPE/BENTONITE SHEET MEMBRANE PER ICC ESR-2843 PER SPEC. SHEETS OR EQUAL, AS SELECTED BY CONTRACTOR.
- 19. SUB-DRAIN SYSTEM: SUB-DRAINS SHALL BE INSTALLED PER SOILS REPORT. SUB-DRAIN SYSTEM SHALL BE INSTALLED BEHIND RETAINING WALLS AND AT A MINIMUM THEY SHALL CONSIST OF FOUR-INCH DIAMETER SCH 40 OR SDR 35 PERFORATED PIPE SURROUND WITH ONE CUBIC FOOT PER LINEAL PIPE FOOT, OF 3/4-INCH GRAVEL. THE GRAVEL SHALL BE WRAPPED IN FILTER FABRIC. OUTLET PIPES SHALL BE SOLID PIPE OF SIMILAR MATERIAL.
- 100. STONE PAVERS PLACED ON ADJUSTABLE SUPPORT SYSTEM O/ DECKING BY: FL-DECK SYSTEMS, INC. ESR-2091. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM #C-951-01) - SLOPE 1/4" PER FOOT. TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
- 101. (1) LAYER 5/8" TYPE "X" GYP. BRD., THROUGHOUT
- 102. GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYP. BRD.
- 103. INSULATION.

| | |
|---|---|
| • AT ROOF W/ VENTED ATTIC OR VENTED JOIST BAYS, MIN. 1" CLEAR ABOVE. | → R-30 BATT INSULATION |
| • AT NON-VENTED FLAT ROOF OR DECK OVER INTERIOR CONDITIONED SPACE. | → R-5 SPRAY FOAM AT UNDERSIDE OF ROOF/DECK SHEATHING, PLUS R-25 BATT INSULATION BELOW |
| • AT EXTERIOR STUD WALLS, WALL BETWEEN GARAGE AND RESIDENCE | → R-21 BATT INSULATION |
| • AT STUDS ADJACENT TO EXTERIOR RETAINING WALLS | → R-13 BATT INSULATION |
| • NOTE: INSULATE ALL INTERIOR WALLS WITH R-15 AND R-30 AT INTERIOR FLOORS | |

104. OVERHANG/PARAPET ASSEMBLY - REFER TO DETAIL.
105. EXTERIOR FINISH PER ROOF PLAN.



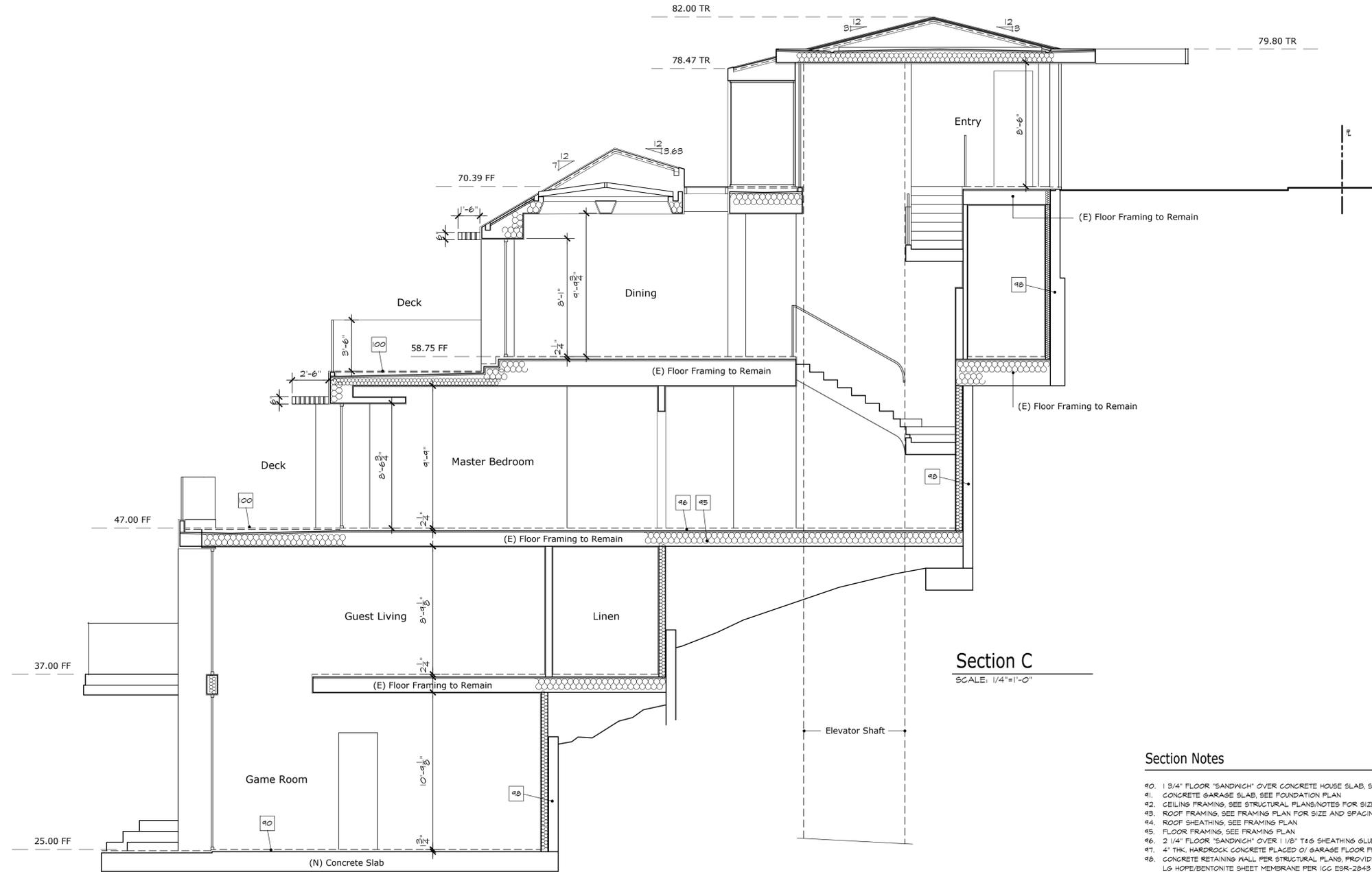
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CUSTOM RESIDENCE
92 EMERALD BAY DRIVE
LAGUNA BEACH • CALIFORNIA 92651

Section

Job Number -
Scale 1/4" = 1'-0"
Date 8-18-20
EBCA Final Submittal
2-5-20



Section C
SCALE: 1/4"=1'-0"

Section Notes

- 90. 1 3/4" FLOOR "SANDWICH" OVER CONCRETE HOUSE SLAB, SEE FOUNDATION PLAN
- 91. CONCRETE GARAGE SLAB, SEE FOUNDATION PLAN
- 92. CEILING FRAMING, SEE STRUCTURAL PLANS/NOTES FOR SIZE AND SPACING
- 93. ROOF FRAMING, SEE FRAMING PLAN FOR SIZE AND SPACING
- 94. ROOF SHEATHING, SEE FRAMING PLAN
- 95. FLOOR FRAMING, SEE FRAMING PLAN
- 96. 2 1/4" FLOOR "SANDWICH" OVER 1 1/8" T&G SHEATHING GLUED AND SCREWED.
- 97. 4" THK. HARDROCK CONCRETE PLACED O/ GARAGE FLOOR FRAMING, SLOPED 2% MIN.
- 98. CONCRETE RETAINING WALL PER STRUCTURAL PLANS, PROVIDE TREMCO PARASEAL LS HOPE/BENTONITE SHEET MEMBRANE PER ICC ESR-2849 PER SPEC. SHEETS OR EQUAL, AS SELECTED BY CONTRACTOR.
- 99. SUB-DRAIN SYSTEM, SUB-DRAINS SHALL BE INSTALLED PER SOILS REPORT. SUB-DRAIN SYSTEM SHALL BE INSTALLED BEHIND RETAINING WALLS AND AT A MINIMUM THEY SHALL CONSIST OF FOUR-INCH DIAMETER SCH 40 OR SDR 35 PERFORATED PIPE SURROUND WITH ONE CUBIC FOOT, PER LINEAL PIPE FOOT, OF 3/4-INCH GRAVEL. THE GRAVEL SHALL BE WRAPPED IN FILTER FABRIC. OUTLET PIPES SHALL BE SOLID PIPE OF SIMILAR MATERIAL.
- 100. STONE PAVERS PLACED ON ADJUSTABLE SUPPORT SYSTEM O/ DECKING BY: FLI-DECK SYSTEMS, INC, ESR-204T. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM #C-451-07) - SLOPE 1/4" PER FOOT, TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
- 101. (1) LAYER 5/8", TYPE "X" GYP. BRD. THROUGHOUT
- 102. GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYP. BRD.
- 103. INSULATION:

| | | |
|---|---|---|
| • AT ROOF W/ VENTED ATTIC OR VENTED JOIST BAYS, MIN. 1" CLEAR ABOVE. | → | R-30 BATT INSULATION |
| • AT NON-VENTED FLAT ROOF OR DECK OVER INTERIOR CONDITIONED SPACE. | → | R-5 SPRAY FOAM AT UNDERSIDE OF ROOF/DECK SHEATHING, PLUS R-25 BATT INSULATION BELOW |
| • AT EXTERIOR STUD WALLS, WALL BETWEEN GARAGE AND RESIDENCE | → | R-21 BATT INSULATION |
| • AT STUDS ADJACENT TO EXTERIOR RETAINING WALLS | → | R-13 BATT INSULATION |
| • NOTE: INSULATE ALL INTERIOR WALLS WITH R-15 AND R-30 AT INTERIOR FLOORS | | |

104. OVERHANG/PARAPET ASSEMBLY - REFER TO DETAIL.
105. EXTERIOR FINISH PER ROOF PLAN.

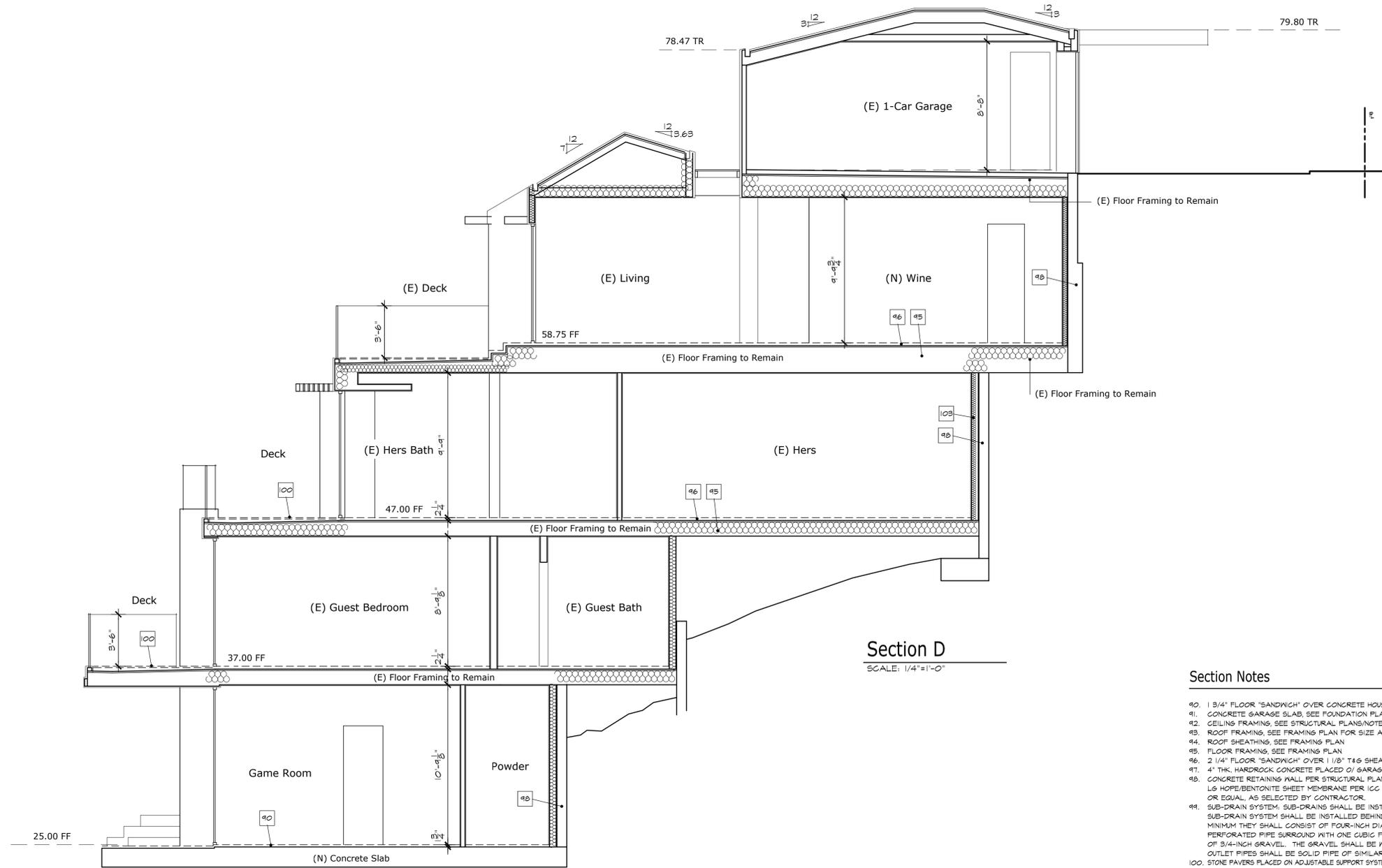
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CUSTOM RESIDENCE
92 EMERALD BAY DRIVE
LAGUNA BEACH, CALIFORNIA 92651

Section

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Section D
SCALE: 1/4"=1'-0"

Section Notes

- 90. 1 3/4" FLOOR "SANDWICH" OVER CONCRETE HOUSE SLAB, SEE FOUNDATION PLAN
- 91. CONCRETE GARAGE SLAB, SEE FOUNDATION PLAN
- 92. CEILING FRAMING, SEE STRUCTURAL PLANS/NOTES FOR SIZE AND SPACING
- 93. ROOF FRAMING, SEE FRAMING PLAN FOR SIZE AND SPACING
- 94. ROOF SHEATHING, SEE FRAMING PLAN
- 95. FLOOR FRAMING, SEE FRAMING PLAN
- 96. 2 1/4" FLOOR "SANDWICH" OVER 1 1/2" T&G SHEATHING GLED AND SCREED.
- 97. 4" THK. HARDPACK CONCRETE PLACED O/ GARAGE FLOOR FRAMING, SLOPED 2% MIN.
- 98. CONCRETE RETAINING WALL PER STRUCTURAL PLANS, PROVIDE TREMCO PARASEAL LG HOPE/BENTONITE SHEET MEMBRANE PER ICC ESR-2843 PER SPEC. SHEETS OR EQUAL, AS SELECTED BY CONTRACTOR.
- 99. SUB-DRAIN SYSTEM: SUB-DRAINS SHALL BE INSTALLED PER SOILS REPORT. SUB-DRAIN SYSTEM SHALL BE INSTALLED BEHIND RETAINING WALLS AND AT A MINIMUM THEY SHALL CONSIST OF FOUR-INCH DIAMETER SCH 40 OR SDR 35 PERFORATED PIPE SURROUND WITH ONE CUBIC FOOT PER LINEAL PIPE FOOT, OF 3/4-INCH GRAVEL. THE GRAVEL SHALL BE WRAPPED IN FILTER FABRIC. OUTLET PIPES SHALL BE SOLID PIPE OF SIMILAR MATERIAL.
- 100. STONE PAVERS PLACED ON ADJUSTABLE SUPPORT SYSTEM O/ DECKING BY: FL-DECK SYSTEMS, INC. ESR-2091. INSTALLATION SHALL BE IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS. (ASTM #C-481-01) - SLOPE 1/4" PER FOOT. TO DRAIN OVER 3/4" PLYWOOD OVER 2X SLEEPERS AT 16" O.C. OVER STRUCTURAL SHEATHING AND JOISTS, PER STRUCT. PLANS. SEE PLAN FOR INDICATION OF SLOPE DIRECTION.
- 101. (1) LAYER 5/8" TYPE "X" GYP. BRD., THROUGHOUT
- 102. GARAGE SIDE OF WALLS & CEILING SHALL BE PROTECTED WITH (1) LAYER OF 5/8" TYPE "X" GYP. BRD.
- 103. INSULATION.

| | | |
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| • AT ROOF W/ VENTED ATTIC OR VENTED JOIST BAYS, MIN. 1" CLEAR ABOVE. | → | R-30 BATT INSULATION |
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| • AT STUDS ADJACENT TO EXTERIOR RETAINING WALLS | → | R-15 BATT INSULATION |
| • NOTE: INSULATE ALL INTERIOR WALLS WITH R-15 AND R-30 AT INTERIOR FLOORS | | |

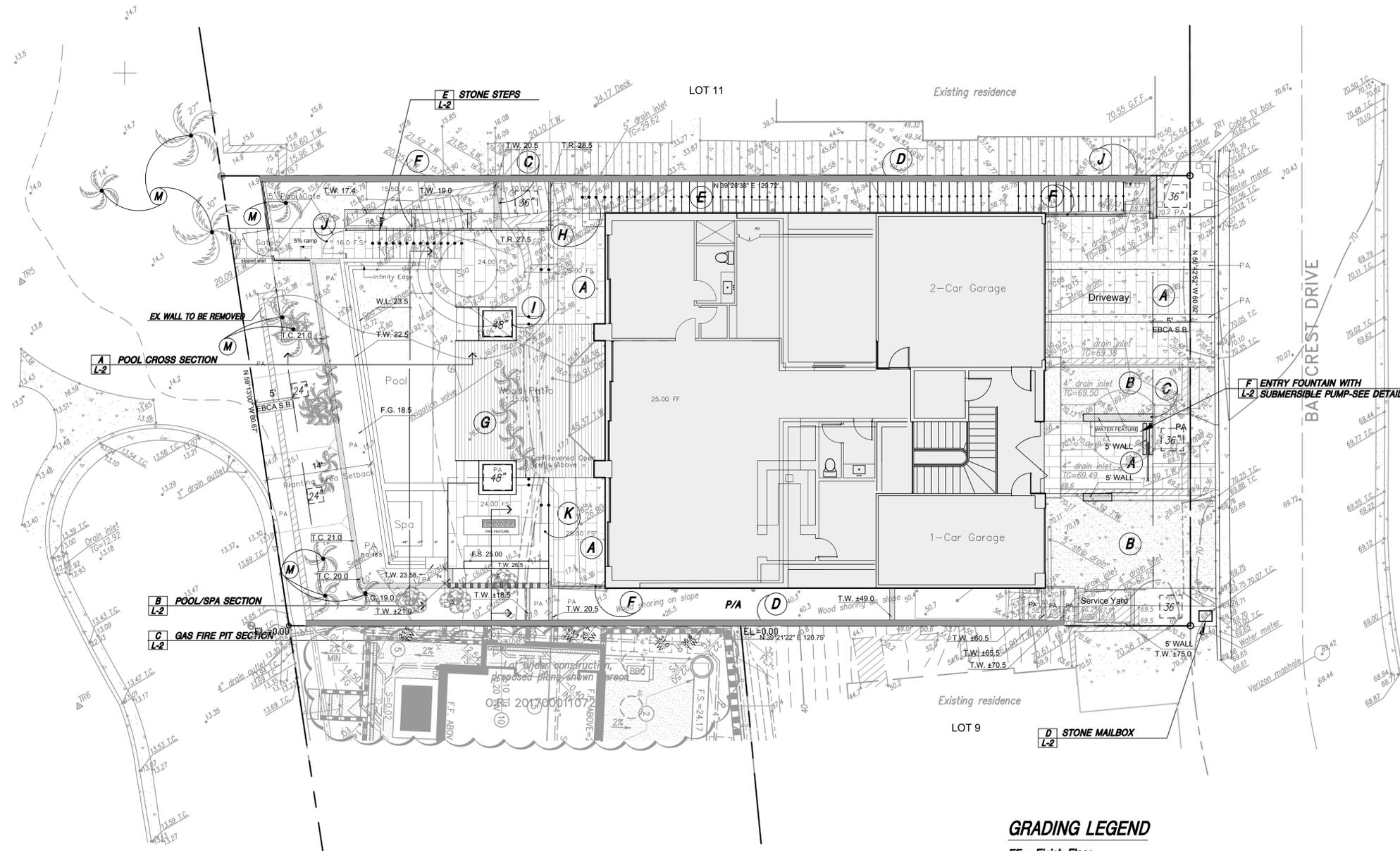
104. OVERHANG/PARAPET ASSEMBLY - REFER TO DETAIL.
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Section
Job Number -
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HARDSCAPE LEGEND

- A 20' x 40' LIMESTONE PAVING SET ON 4" THICK CONCRETE BASE, TYPICAL PAVING TO MATCH INTERIOR STONE SELECTION PER ARCHITECT/DESIGNER.
- B GRASSPAVE 2 DRIVEWAY SYSTEM - INSTALL PER MFG. SPECIFICATIONS
- C CONCRETE BLOCK WALLS WITH STUCCO/STONE VENEER TO MATCH HOUSE.
- D EXISTING SITE WALLS TO REMAIN - STUCCO COLOR AND FINISH TO MATCH HOUSE.
- E EXISTING SIDE YARD STEPS TO REMAIN.
- F GLASS GUARD RAIL TO MATCH HOUSE.
- G WOOD DECK PER ARCHITECT.
- H 1 1/2" - 2" THICK LIMESTONE STAIR TREADS TO MATCH PAVING.
- I TREE BOX LOCATIONS - SEE PLANTING PLAN FOR SPECIES.
- J 5'-0" HIGH POOL SAFE FENCE PER ALL COUNTY POOL CODES - STYLE AND COLOR TO MATCH HOUSE.
- K OVERHEAD TRELLIS PER ARCHITECT.
- L ENTRY REFLECTION POOL - 18" MAXIMUM DEPTH.
- M EXISTING PALM TREE TO REMAIN

HARDSCAPE NOTES

1. Verify all elevations at site prior to construction
2. Seal all raised planters and retaining walls with polyguard membrane sealant or equal.
3. All concrete footings to be 6" minimum below finished surface (FS) or finished grade (FG).
4. All electrical wiring shall be within rigid conduit, SCH. 80 PCV or equal, all exterior electrical outlets shall have G.F.C.I. protection.
5. All gas lines and electrical conduit to be underground (installation and depth per all applicable codes) and or concealed, any exposed PVC pipe or conduit to be protected impact, hazard, and direct sunlight.
6. Slope all hardscape surfaces towards drains at 1% min. slope, typical.
7. Slope all soil surfaces towards drains at 2% min. slope, typical
8. All drain lines shall have 1% min. fall toward street, storm drain connection or point of point of daylight, typical.
9. Tie all roof drains into drainage systems, typical.
10. Install 4" diameter perforated drain lines encased by filter fabric and 3/4" dia. gravel at the base of all raised planters and retaining walls and tie to drainage system.
11. All paving edges, walls, curbs, and headers to be chalked out in the field and approved by landscape architect prior to installation.
12. All finish and sub-base concrete to be 4" thick with #3 bars at 18" both ways centered in slab on 2" sand base over 90% min. compacted sub grade 6" overall, thickened edge adjacent to all planting areas.
13. All finish and sub-base driveway concrete to be 6" thick with #3 bars at 18" both ways centered in slab on 2" sand base over 90% min. compacted sub-grade. Provide 8" overall, thickened edge adjacent to all edges.

GRADING LEGEND

- FF = Finish Floor
- FS = Finish Surface
- FG = Finish Grade
- TW = Top of Wall
- TP = Top of Pilaster
- TC = Top of Coping
- TF = Top of Fence
- P/A = Planting area

NOTE:

- Refer to civil engineer plan for all finish surface, top of walls and drainage information
- Existing and proposed walls in setback areas to be finished on both sides
- Entry fountain to have submersible pump below grade and shall comply with all accoustical regulations.

Project Name

BRI LLC
RESIDENCE
92 Emerald Bay
Laguna Beach, CA
92651

Sheet Title

HARDSCAPE
PLAN



Project No.

Scale: 1/8" = 1'-0"

Date: September 4, 2019

| Revision No. | Description |
|--------------|------------------|
| 9-24-2019 | Per HOA Comments |

Sheet No.

L-1

