

OC PLANNING REPORT

DATE: March 24, 2021

TO: Orange County Planning Commission

FROM: OC Development Services / Planning

SUBJECT: Public Hearing on Planning Application PA19-0078 for a Site Development Permit and Variance.

PROPOSAL: Site Development Permit and Variance to establish a new 462 sq ft single-family residence with a 462 sq ft two-car garage and 236 sq ft loft. The applicant is also requesting a Site Development Permit to construct over-height retaining walls in the front yard setback and Variance for a vertical cut into a slope over 10 feet.

ZONING: Foothill/Trabuco Specific Plan (F/TSP) - "Trabuco Oaks Residential" (TOR) District

GENERAL PLAN: 1A "Rural Residential"

LOCATION: The project is located on 20601 Trabuco Oaks Drive in Trabuco Canyon, within the Third (3rd) Supervisorial District. (APN 842-102-06)

APPLICANT: Alex Tchourbanov, Property owner
John Salat, Applicant

STAFF CONTACT: Ilene Lundfelt, Associate Planner
Phone: (714) 667-9697 FAX: (714) 967-0895
Email: Ilene.Lundfelt@ocpw.ocgov.com

RECOMMENDED ACTION(S):

OC Development Services recommends that the Planning Commission:

- a) Receive staff report and public testimony as appropriate;
- b) Find that the proposed project is statutorily exempt under California Code of Regulations Title 14, Section 15182 and Government Code Section 65457(a), which exempt residential development projects that are consistent with a specific plan for which an environmental impact report was certified after January 1, 1980. Final EIR No. 531, certified on December 10, 1991 for the Foothill/Trabuco Specific Plan is such a specific plan, and this residential development is consistent with it;
- c) Approve Planning Application PA19-0078, a Site Development Permit for a new single-family residential dwelling with attached garage and storage shed, Site Development Permit for over height retaining wall in the front set back and Variance for a vertical cut into the slope for a maximum of 17 feet subject to the attached Findings and Conditions of Approval.

BACKGROUND AND EXISTING CONDITIONS:

The subject site is the 10,512 square feet property identified as APN 842-102-06 located in the “Trabuco Oaks Residential” (TOR) District within the Foothill/Trabuco Specific Plan (F/TSP) in unincorporated Orange County. The site is located on the north of Trabuco Canyon Road and east of Trabuco Oaks Road. Establishment of the property as a legal building site occurred prior to the adoption of the F/TSP in December 10, 1991. There is currently an active code enforcement case for the placement of a storage shed; approval of the Site Development Permit will address the code enforcement violation.

PROPOSED PROJECT

The proposed development is for a 3-story single family residence that consists of 462 sq. ft. of living area and 236 sq. ft. storage loft, with a 462 sq. ft. two-car subterranean garage. The applicant will be removing an unpermitted storage shed and proposing a new storage shed on the property to address violations identified by the Orange County Fire Authority (OCFA). The proposed development will include 950 cu yd of grading activity. The applicant is also requesting a variance to cut into the slope up to a maximum of 17 feet due to the steep topography and other site conditions.

SURROUNDING LAND USE:

The project site is designated “Rural Residential” (1A) under the County of Orange General Plan. The project site is zoned Foothill/Trabuco Specific Plan and designated as Trabuco Oaks Residential (TOR). An aerial photograph of the site and surrounding residential parcels is provided below. Zoning and existing land uses for other surrounding properties near the project site are as follows:

Direction	Zoning	Existing Land Use
Subject Site	FTSP Trabuco Oaks Residential	Vacant Land
North	FTSP Trabuco Oaks Residential	Single Family Residential
East	FTSP Trabuco Oaks Residential	Single Family Residential
South	FTSP Trabuco Oaks Residential	Vacant/Single Family Residential
West	FTSP Trabuco Canyon Residential	Single-Family Residential

AERIAL PHOTO OF PROJECT SITE



DISCUSSION/ANALYSIS:

Below is a table comparing the development standards for the Trabuco Oaks Residential (TOR) District with the Applicant's proposal:

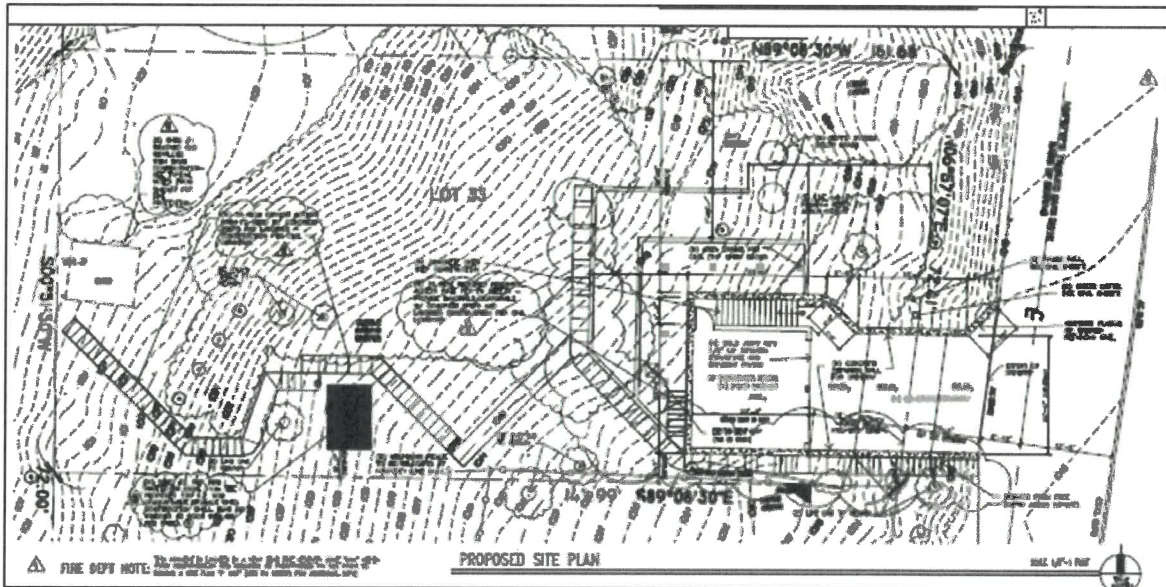
STANDARD	REQUIRED	PROPOSED
Building Site Area	20,000 square feet except for lots that were legal building sites prior to Foothill/Trabuco Specific Plan adoption	10,512 square feet (existing; established 1928)
Maximum Building height	35'	28' 3"
Structural Front Setback	10' min	16'
Structural Side Setback	5' min.	5' 1" west side, 39' 6" east side
Structural Rear Setback	10' min	107'
Parking	2 covered	Two-car garage
Walls in structural setback limits	3.5' max. height in front setback area; 6' max. in sides and rear setback areas; 20' max retaining wall**	9' *height retaining walls in the front property line for driveway
Grading (TOR Section 7.8.g.)	Limited to an average of 3,000 cubic yards per dwelling unit permitted by the development cap	Cut: 950 C.Y., Fill:100 C.Y.
Grading (TOR Section 7.8.g. 4)	Except for grading required for roads and driveways providing access to two or more dwelling, in no case shall the height of cut or fill slopes exceed ten (10) vertical feet	Max height of cut: 17 feet **

*Site Development Permit is required for over-height fences and walls in setback areas.

**Under the specific plan section 7.8.g.4 retaining walls and crib walls. The height limits and setback requirement may be waived for retaining walls or crib wall when it is demonstrated through a site development permit that additional land will be preserved in its natural state as a result of utilizing said walls. However, in no case shall these walls exceed twenty (20) feet in height.

***Variance is required for the cut in slope over 10 feet

Overall Site Plan



Over Height Walls

A Site Development is being requested for over height retaining walls at a maximum of 9 feet in height within the front yard setback. The proposed walls will run along the driveway to the edge of asphalt on Trabuco Oaks Drive. The maximum height for walls permitted by right in the front yard setback is 3.5 feet. The applicants are proposing retaining walls up to 9 feet in height within the front yard setback. Due the steep topography of the lot, if the applicant was to keep with the grading requirements of the Specific Plan they would be required to construct a series of retaining walls which would have the potential to harm/remove existing mature oak trees.

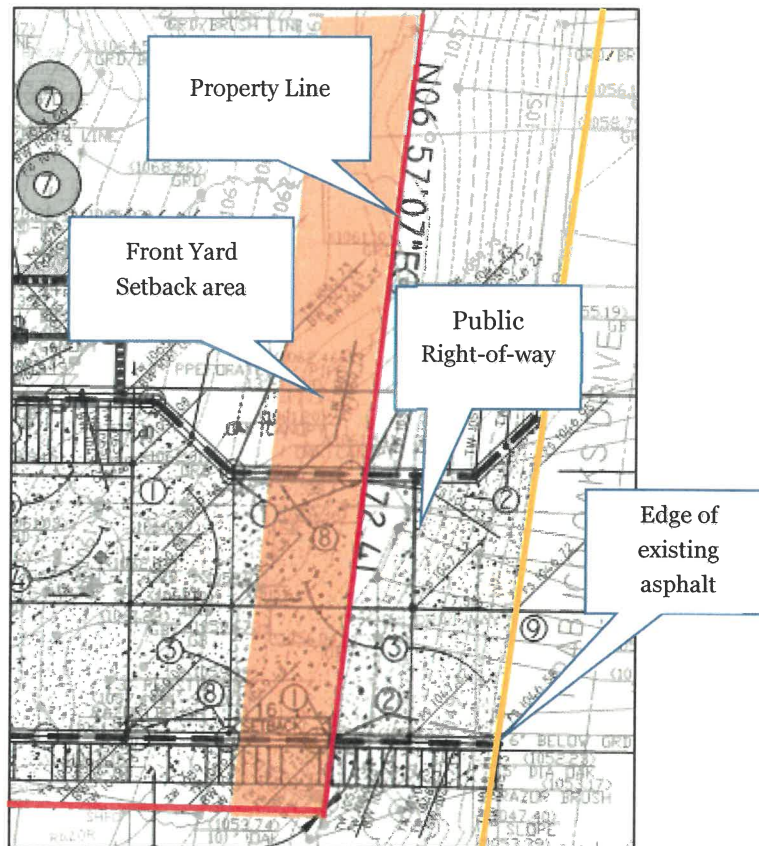
Under the F/TSP Specific Plan Section 7.8.g.4 relating to retaining walls and crib walls., the height limits and setback requirement may be waived for retaining walls or crib walls when it is demonstrated through a site development permit that additional land will be preserved in its natural state as a result of utilizing said walls. However, in no case shall these walls exceed twenty (20) feet in height. In this case, additional land will be preserved, thus the Site Development Permit is appropriate.

Allowing for the larger retaining wall will achieve the following: (1) disturbance of less lot area; (2) retention of more natural slopes; (3), preservation of the existing mature oak trees on the property. The topography to the site is steep, with the base elevation to the end of street pavement at 1,045 feet which rises to an elevation 1,053 feet at the start of the property line. Retaining walls will be required on the uphill side of the driveway to be able to maintain appropriate driveway slopes. Allowing over-height retaining walls in the front yard setback will reduce the overall

grading footprint because the length of the driveway will be decreased compared to a design without over-height retaining walls.

Additionally, a portion of the retaining walls extend into Trabuco Oaks Drive a County maintained road. OC Infrastructure Programs has reviewed the proposed wall in the right-of-way and provided standard conditions for development. The applicant has agreed to the County's conditions to building within the County's right-of-way; including that wall structures are to be removed at the applicant's expense if the County needs the right-of-way for any reason. Condition of Approval 18 has been included to ensure the applicant will obtain and provide to the County the necessary information and acknowledgement for proposed work within the road prior to the issuance of any grading or building permits.

Location of Over Height Walls



Grading

The applicant is also requesting a variance to allow a vertical cut into a slope greater than 10 feet in height. Under the Foothill/Trabuco Specific Plan Section 7.8.g. 4, except for grading required for roads and driveways providing access to two or more dwelling units, in no case shall the height of cut or fill slopes exceed ten (10) vertical feet. Pursuant to Zoning Code Section 7-9-125.6(d), in order to approve a variance, two (2) specific findings need to be made. These findings are:

1. Special Circumstance: There are special circumstances applicable to the subject building site which, when applicable zoning regulations are strictly applied, deprive the subject building site of privileges enjoyed in the vicinity and subject to the same zoning regulations.
2. No Special Privileges: Approval of the application will not constitute a grant of special privileges, which are inconsistent with the limitations place upon other properties in the vicinity and subject to the same zoning regulations when specified conditions are complied with.

Special Circumstance:

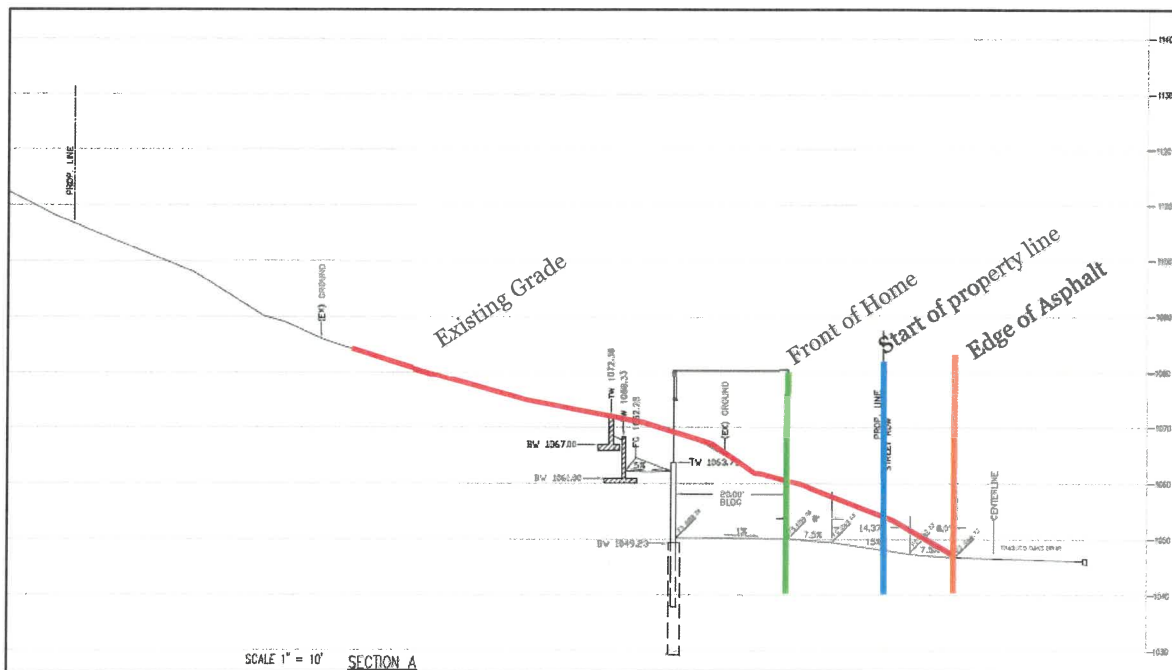
The property has very steep topography. The base elevation to the end of street pavement is at 1,045 feet and rises to an elevation 1,053 feet at the start of the property line, there is an 8 feet elevation difference from the street to the property line. To maintain a safe grade from the street level just to project property would require large cuts just to create a driveway approach from the street. The proposed building is located at 1068 feet elevation which is over 20 feet from the street grade.

Additionally, the site has 6 mature oak trees. In the Foothill/Trabuco Specific Plan area, oak trees are protected. If the applicant were to design the property to specific design requirement of keeping to a maximum of 10 foot cut as prescribed by the Foothill/Trabuco Specific Plan, they would have to remove multiple mature oak trees located in the front area of the property.

No Special Privilege:

When applicable zoning regulations are strictly applied, it deprives the subject building site of privileges enjoyed by other properties in the vicinity and subject to the same zoning regulations. Specifically, neighboring developments were all permitted prior to adoption of the Specific Plan. Historical aerial photos show many of the developed sites had steep topography and required large cuts into a slope to create a building site, similar to this project. However, since these homes were established prior to the Specific Plan adoption they were not required to get a variance at that time.

Property Elevation Section



Consistency with Foothill /Trabuco Specific Plan (F/TSP) Resource Criteria

The purpose and intent of the Resource Criteria is to preserve and minimize impact on significant regional resources.

Section 2.0 Wildlife Corridors

As described by the F/TSP, the purpose of wildlife corridors is to ensure the future viability and movement of wildlife through preservation of necessary habitat and wildlife movement areas. Parcels within a wildlife corridor area or parcels within 150 feet of a wildlife area are required to submit a site-specific wildlife corridor analysis prepared by a biologist. The project site is not located within 150 feet an F/TSP mapped wildlife corridor area as mapped on FTSP Exhibit II-3 (Attachment 7).

Section 3.0 Oak Woodlands

The purpose of the oak woodlands designation is to ensure the preservation of significant stands of oak woodlands. Parcels within 100 feet of any designated oak woodlands shall require a site-specific oak woodlands analysis prepared by a qualified biologist/arborist to determine the precise boundary of the oak woodlands. The proposed area of the site to be developed is located within oak woodland as mapped on F/TSP Exhibit II-4 (Attachment 7). The F/TSP requires a Tree Management/Preservation Plan when any oaks are proposed to be removed and requires identification of trees to be preserved. The project does not propose removal of any trees, but a tree management/preservation plan has been submitted for the project proposal. As part of Condition of Approval No. xx, Prior to issuance of any grading permit, the applicant shall identify and provide proof to the satisfaction of the Manager, OC Development Services/Planning that an off-site mitigation location has been secured for tree replacement if there are any trees that require replacement in accordance with the F/TSP as a result of project construction. The applicant shall plant all off-site replacement trees at the approved location in accordance with the standards set forth in the FTS/P. (Condition 19)

Section 4.0 Streambeds

The purpose of the streambed preservation designation is to provide for the preservation of stream channels in their natural condition. The primary objective of including streambeds within the Resources Overlay Component is to minimize the need for structures which would alter the natural condition of any designated streambeds. The project site is not located adjacent to or within a streambed as mapped on F/TSP Exhibit II-5 (Attachment 7).

Section 5.0 Visual Resources – Major Ridgelines & Major Rock Outcroppings

The F/TSP designates major ridgelines and major rock outcroppings. It specifies that no structure shall be located closer to the centerline of any ridgeline or rock outcropping than 200 feet horizontally on a topographic map and 50 feet measured vertically on a cross section. The project

site is not located adjacent to or within a major ridgeline or rock outcropping as mapped on F/TSP Exhibit II-6 (Attachment 7).

Section 5.2 Scenic Roadway Corridors

The scenic roadway corridors specified by the F/TSP are Santiago Canyon Road, Live Oak Canyon Road, and Trabuco Canyon Road. Greater development setbacks are required adjacent to these roads. Additionally, projects adjacent to these roads are required to prepare a viewshed analysis. The project site is on Trabuco Oaks Drive which is not located adjacent to a Scenic Roadway Corridor as mapped on F/TSP Exhibit II-7 (Attachment 7).

Consistency with Other F/TSP Plan Criteria

Section E.1.b Landscaping

The FTSP (Section E.1.b) requires submittal of a landscape plan in conformance with County standard procedures. A Condition of Approval (Condition 14) is provided to implement the Landscape Plan consistent with County Landscape Irrigation Code and Implementation Guidelines. Under the condition, the plan shall be prepared by a licensed professional in the State of California and shall include criteria for its installation and irrigation if necessary until it is fully established. The preparer shall consider the use of appropriate plants designated in the F/TSP Plant Palette. The Landscape Plan will be subject to the review and approval of the Manager, OC Development Services/Planning.

Section E.2 Fuel Modification Regulations

The project site is located within a High Fire Hazard Severity Zone. OCFA has reviewed the project and determined that a Fuel Modification Plan is required. Construction of the new residence shall comply with all applicable OCFA fire prevention requirements as determined through the plan check review process. The applicants have already obtained an approved conceptual fuel modification plan from OCFA.

Section IV.E Design Guidelines – Architectural Guidelines

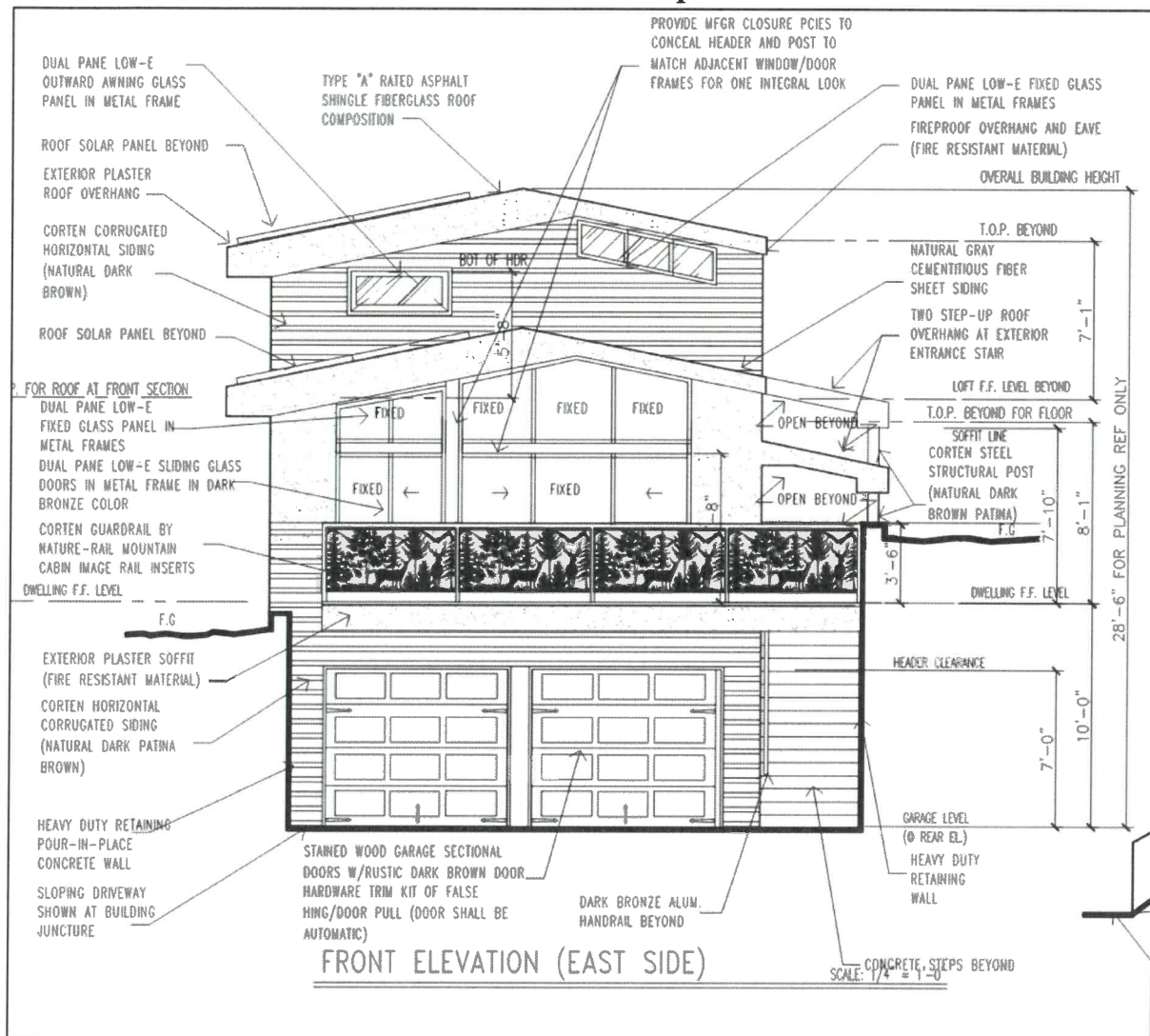
The Design Guidelines are intended to serve as a supplement to the F/TSP to encourage property owners to develop innovative and creative design solutions for rural hillside development. Section IV.E.1.b. requires that architectural treatment should be provided on all sides of residential structures. Elements of architectural treatment used on the front façade should be repeated on all sides of the structure with additional emphasis on those elevations which are visible from public rights-of-way.

The applicant is proposing a rustic style architecture installing metal roof and sliding and stucco finishes. There are decorative iron accents that have been incorporated into the design of home to avoid large expanses of single material on walls and paved areas. The applicant has also designed the home to blend with the curvature of the existing hillside.

Section IV.E.1.e requires the use of natural indigenous materials found in the F/TSP area (plant materials, rocks, soils) as the basis for selecting colors, textures and materials for residential construction.

The primary material finish proposed for the residential construction is painted stucco and sliding. The proposed materials and finishes are found to be consistent with the intent of the F/TSP Design Guidelines.

Front Elevation of the Proposed Home



REFERRAL FOR COMMENT AND PUBLIC NOTICE:

A copy of the planning application and proposed site plan were distributed for review and comment to County Divisions (the Building Official, Building/Grading Plan Check, Watersheds, Flood, and Traffic Engineering), OCFA, and the Foothill/Trabuco Specific Plan Review Board (F/TSPRB).

The F/TSPRB reviewed the application and recommended approval (4-0) for the proposed project at their January 13, 2021 meeting. As part of their recommendation, the committee identified they would like the project to have be condition to encourage the gray water to feed into the proposed landscaping irrigation system, to protect the trees a much as possible, and to provide a soils report. Their meeting minutes are included as Attachment 5.

Staff has reviewed all comments received, and where appropriate, has addressed the comments through recommended Conditions of Approval, which are provided as Attachment 2. Public notices were mailed to all owners of record within 300 feet of the subject property, and posted in front of the project site, the Orange County Hall of Administration at 333 W. Santa Ana Boulevard, and in the lobby at the County Administration South (CAS) building located at 601 N. Ross St at least ten days prior to this public hearing, as required by established public hearing posting procedures.

CEQA COMPLIANCE:

The Board of Supervisors adopted the Foothill/Trabuco Specific Plan, Ordinance No. 3851, and certified Environmental Impact Report No. 531 on December 10, 1991.

The Government Code and the California Environmental Quality Act (CEQA) both provide exemptions for specified residential projects that are consistent with specific plans for which an Environmental Impact Report (EIR) has been certified. Government Code Section 65457(a) exempts a residential development project that is consistent with a specific plan for which an environmental impact report (EIR) was certified after January 1, 1980. In addition, Title 14, Section 15182 of the California Code of Regulations (State CEQA Guidelines) exempts certain residential projects that are consistent with a specific plan for which an EIR has been prepared after January 1, 1980.

PA19-0078 is exempt from the provisions of CEQA based upon the following findings:

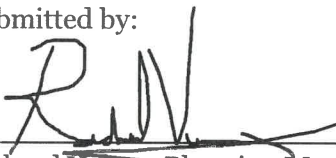
- The applicable EIR was certified after January 1, 1980, and therefore, the project is eligible for an exemption under Section 15182 of the California Code of Regulations and Government Code Section 65457(a).
- The project characteristics are consistent with the applicable specific plan, the FTSP for which an EIR was certified;

- This project is consistent with all applicable Regulations and Guidelines of the FTSP as shown by the FTSP Specific Plan Project Consistency Checklist (Attachment 8);
- An event described in Section 15162 of the State CEQA Guidelines has not occurred such that the exemption granted under State CEQA Guidelines Section 15182 would not apply;
- An event described in Public Resources Code Section 21166 has not occurred such that the exemption granted under Government Code Section 65457(a) would not apply;

CONCLUSION:

Staff has determined that the proposed project complies with the Foothill/Trabuco Specific Plan development standards and architectural guidelines. As proposed, the project is compatible with the Trabuco Oaks Residential District purpose and intent of the Specific Plan. Staff supports the Site Development Permit and Variance proposal and its approval, subject to Findings and Conditions of Approval provided in Attachments 1 and 2.

Submitted by:



Richard Vuong, Planning Manager
OC Public Works/Development Services

Concurred by:



Amanda Carr, Interim Deputy Director
OC Public Works/Development Services

ATTACHMENTS:

1. Recommended Findings
2. Recommended Conditions of Approval
3. Environmental Documentation NOE 19-0078
4. Applicant's Letter of Explanation
5. Draft FTSPRB Minutes
6. Site Photos
7. Resource Overlay Maps
8. FTSP Consistency Checklist
9. Plans

APPEAL PROCEDURE:

Any interested person may appeal the decision of the Planning Commission on this permit to the Orange County Board of Supervisors within 15 calendar days of the decision upon submittal of required documents and a filing fee of \$500 filed at the County Service Center, 601 N Ross St., Santa Ana. If you challenge the action taken on this proposal in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this report, or in written correspondence delivered to OC Development Services / Planning Division.

Attachment 1
Recommended Findings



Attachment 1
Findings
PA19-0078

1 [AA01]	GENERAL PLAN	PA19-0078
That the use or project proposed is consistent with the objectives, policies, and general land uses and programs specified in the General Plan adopted pursuant to the State Planning and Zoning Law.		
2 [AA02]	ZONING	PA19-0078
That the use, activity or improvement(s) proposed, subject to the specified conditions, is consistent with the provisions of the Zoning Code, or specific plan regulations applicable to the property.		
3 [AA03]	COMPATIBILITY	PA19-0078
That the location, size, design and operating characteristics of the proposed use will not create unusual conditions or situations that may be incompatible with other permitted uses in the vicinity.		
4 [AA04]	GENERAL WELFARE	PA19-0078
That the application will not result in conditions or circumstances contrary to the public health and safety and the general welfare.		
5 [AA05]	PUBLIC FACILITIES	PA19-0078
That the approval of the permit application is in compliance with Codified Ordinance Section 7-9-711 regarding public facilities (fire station, library, sheriff, etc.).		
6 [ED03]	STATUTORALLY EXEMPT	PA19-0078 (Custom)
That the proposed project is Statutorily Exempt pursuant to California Code of Regulations Title 14, Section 15182 and Government Code Section 65457(a)		
7 [SP]	SPECIFIC PLAN CONSISTENCY	PA19-0078 (Custom)
That the proposed project, together with the provisions for its design and improvement, is consistent with the Foothill/Trabuco Specific Plan.		

8 [VA01]**VARIANCE 1****PA19-0078**

That there are special circumstances applicable to the subject building site which, when applicable zoning regulations are strictly applied, deprive the subject building site of privileges enjoyed by other property in the vicinity and subject to the same zoning regulations.

9 [VA02]**VARIANCE 2****PA19-0078**

That approval of the application will not constitute a grant of special privileges which are inconsistent with the limitations placed upon other properties in the vicinity and subject to the same zoning regulations when the specified conditions are complied with.

Attachment 2
Recommended Conditions of Approval

Attachment 2
Conditions of Approval
PA19-0078

1 BASIC/ZONING REGULATIONS PA19-0078

This approval constitutes approval of the proposed project only to the extent that the project complies with the Orange County Zoning Code and any other applicable zoning regulations. Approval does not include any action or finding as to compliance or approval of the project regarding any other applicable ordinance, regulation or requirement.

2 BASIC/TIME LIMIT PA19-0078

This approval is valid for a period of 36 months from the date of final determination. If the use approved by this action is not established within such period of time, this approval shall be terminated and shall thereafter be null and void.

3 **BASIC/LAND USE PLAN** **PA19-0078**

Except as otherwise provided herein, this permit is approved as a land use plan. If the applicant proposes changes regarding the location or alteration of any use or structure, the applicant shall submit a changed plan to the Director, OC Development Services, for approval. If the Director, OC Development Services, determines that the proposed change complies with the provisions and the spirit and intent of the original approval action, and that the action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.

4 **BASIC/COMPLIANCE** **PA19-0078**

Failure to abide by and faithfully comply with any and all conditions attached to this approving action shall constitute grounds for the revocation of said action by the Orange County Planning Commission.

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Failure to abide by and faithfully comply with any and all conditions attached to this approving action shall constitute grounds for the revocation of said action by the Orange County Planning Commission.

6 **INDEMNIFICATION** **PA19-0078**

Applicant shall, at its own expense, defend, indemnify and hold harmless the County of Orange, its officers, agents and employees from any claim, action or proceeding against the County, its officers, agents or employees to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental

documents, findings or other environmental determination, by the County of Orange, its Board of Supervisors, Planning Commission, Zoning Administrator, Subdivision Committee, Director of OC Public Works, or Deputy Director of OC Development Services concerning this application. The County may, at its sole discretion, participate in the defense of any action, at the applicant's expense, but such participation shall not relieve applicant of his/her obligations under this condition. Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required to pay as a result of such action. If litigation is filed challenging the Project, the County may, at its sole discretion, require the Applicant to post a bond, enter into an escrow agreement, obtain an irrevocable letter of credit from a qualified financial institution, or provide other security, to the satisfaction of the County, in anticipation of litigation and possible attorney's fee awards. The County shall promptly notify the applicant of any such claim, action or proceeding.

7 BASIC/APPEAL EXACTIONS PA19-0078

Pursuant to Government Code Section 66020, the applicant is hereby informed that the 90-day approval period in which the applicant may protest the fees, dedications, reservations or other exactions imposed on this project through the conditions of approval has begun.

8 PURCHASER NOTIFICATION PA19-0078 (Custom)

Prior to the issuance of building permit final, the applicant shall provide written evidence statement to the satisfaction of the Manager, OC Planning, that the purchaser of this home will be provided with a copy of Foothill/Trabuco Specific Plan.

9 [FP05] FUEL MODIFICATION PLAN PA19-0078
[Res] Service Codes: 1.9 & 1.10

A. Prior to the recordation of a subdivision map (except for conveyance purposes) or the issuance of a preliminary grading permit (whichever occurs first), the applicant must provide the Manager, Permit Services with a clearance from OCFA, or other Local Fire Agency (if applicable), demonstrating approval of a conceptual or precise fuel modification plan.

B. Prior to the issuance of a precise grading permit, the applicant must provide the Manager, Permit Services with a clearance from OCFA, or other Local Fire Agency (if applicable), demonstrating approval of a precise fuel modification plan.

10 [FP06] RESIDENTIAL SITE PLAN PA19-0078
[Res] Service Codes: 1.9 & 1.10

Prior to issuance of a building permit, the applicant shall provide a residential site plan for review and approval by the Fire Code Official. *Note-refer to the OCFA website to obtain a copy of "Residential Site Review Assistance" form for information regarding the submittal requirements.

11 [FP07] FIRE HAZARD SEVERITY ZONE PA19-0078

Prior to the issuance of a building permit, in all Fire Hazard Severity Zones within State Responsibility Areas (SRA) and within Very High Fire Hazard Severity Zones within the Local Responsibility Areas (LRA), the applicant shall provide the Manager, Permit Services with a clearance from OCFA, or other Local Fire Agency (if applicable), indicating compliance with all requirements of Chapter 47 and Chapter 7A or shall have and approved Fire Protection Plan which provides protection equivalent to the risk for the site.

12 [G01] GEOLOGY REPORT PA19-0078

Prior to the issuance of a grading permit, the applicant shall submit a geotechnical report to the Manager, Permit Services, for approval. The report shall include the information and be in the form as required by the Grading Code and Grading Manual.

13 [G04] SOILS REPORT/SEPTIC PA19-0078

Prior to the recordation of a subdivision map, or issuance of any grading permits, whichever comes first, the applicant shall submit a soils report which demonstrates that an on-site sewage disposal system can be designed in accordance with County standards, in a manner meeting the approval of the Manager, Permit Services. The report shall present a log of the soil borings and results of percolation tests performed in accordance with County of Orange "On Site Sewage Disposal System Guidelines" and a grading plan, of site grades on each lot as proposed on the tentative map. Tests shall be reported by a Registered Environmental Health Specialist, Registered Civil Engineer, or Registered Geologist.

14 [LA02] PRIVATE LANDSCAPING PA19-0078

- A. Prior to the issuance of precise grading permits, the applicant shall submit a detailed landscape plan for the project area which shall be approved by the Manager, Permit Services in consultation with the Manager, OC Planning. The plan shall be certified by a professional appropriately licensed in the State of California, as required, as taking into account approved preliminary landscape plan (if any), County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, and water conservation measures contained in the County of Orange Landscape Code (Ord. No. 09-010).
- B. Prior to the approval of final inspection, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan.

C. Prior to the approval of final inspection, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Permit Services.

15 [T08] ROAD FEE PROGRAM PA19-0078 (Custom)

Prior to the issuance of building permits, the applicant shall pay applicable fees for the Major Thoroughfare and Bridge Fee Program listed below, in a manner meeting the approval of the Manager, Permit Services.

- a. Foothill/Eastern Transportation Corridor
- b. Santiago Canyon Road Fee Program
- c. Foothill Circulation Phasing Plan

16 [WQ01] WATER QUALITY MANAGEMENT PLAN PA19-0078

Prior to the issuance of any grading or building permits, the applicant shall submit for review and approval by the Manager, Permit Services, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. The applicant shall utilize the Orange County Drainage Area Management Plan (DAMP), Model WQMP, and Technical Guidance Manual for reference, and the County's WQMP template for submittal. This WQMP shall include the following:

- Detailed site and project description
- Potential stormwater pollutants
- Post-development drainage characteristics
- Low Impact Development (LID) BMP selection and analysis
- Structural and Non-Structural source control BMPs
- Site design and drainage plan (BMP Exhibit)
- GIS coordinates for all LID and Treatment Control BMPs
- Operation and Maintenance (O&M) Plan that (1) describes the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identifies the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; and (3) describes the mechanism for funding the long-term operation and maintenance of the referenced BMPs

The BMP Exhibit from the approved WQMP shall be included as a sheet in all plan sets submitted for plan check and all BMPs shall be depicted on these plans. Grading and building plans must be consistent with the approved BMP exhibit.

17 [WQ02] COMPLIANCE WITH THE NPDES PA19-0078 IMPLEMENTATION PROGRAM

Prior to the issuance of a certificate of use and occupancy, the applicant shall demonstrate compliance with the County's NPDES Implementation Program in a manner meeting the satisfaction of the Manager, OC Inspection, including:

- Demonstrate that all structural Best Management Practices (BMPs) described in the BMP Exhibit from the project's approved WQMP have been implemented, constructed and installed in conformance with approved plans and specifications
 - Demonstrate that the applicant has complied with all non-structural BMPs described in the project's WQMP
 - Submit for review and approval an Operations and Maintenance (O&M) Plan for all structural BMPs (the O&M Plan shall become an attachment to the WQMP;
 - Demonstrate that copies of the project's approved WQMP (with attached O&M Plan) are available for each of the initial occupants;
 - Agree to pay for a Special Investigation from the County of Orange for a date twelve (12) months after the issuance of a Certificate of Use and Occupancy for the project to verify compliance with the approved WQMP and O&M Plan
 - Demonstrate that the applicant has RECORDED one of the following:
 1. A water quality implementation agreement that has the approved WQMP and O&M Plan attached; or
 2. The final approved Water Quality Management Plan (WQMP) and Operations and Maintenance (O&M) Plan.
-

18 WALLS IN PUBLIC RIGHT-OF-WAY PA19-0078 (Custom)

Prior to the issuance of any grading or building permit the will obtain a County Property Permit (CPP) for all work within the County Right-of-way.

19 OFF-SITE TREE MITIGATION SITE PA19-0078 (Custom)

Prior to the issuance of any grading or building permit the applicant will identify the location for the off-site tree migration property within the Foothill/Trabuco Specific Plan Area, and demonstrate an agreement with the property owner(s) for the tree mitigation.

20 GREY WATER PA19-0078 (Custom)

Encourages the homeowner to use the grey water from the septic system to feed into the newly proposed landscape irrigation system.

Attachment 3

Environmental Documentation NOE 19-0078

CEQA NOTICE OF EXEMPTION

To: County Clerk, County of Orange

From: County of Orange
OC Public Works, Development Services/Planning

Planning Application Number (PA): PA 19-0078

Project Title: Tchourbanov Residence

Project Location(s): 20601 Trabuco Oaks Road Trabuco Canyon, Orange County, CA 92679

Project Description: Site Development Permit and Variance to establish a new 462 sq ft single-family residence with a 462 sq ft two-car garage and 236 sq ft loft. The applicant is also requesting a Site Development Permit to construct over-height retaining walls in the front yard setback and Variance for a vertical cut into a slope over 10 feet.

Name of Applicant Approving Project: Alexander Tchourbanov, Property owner

Name of Applicant Carrying-Out Project: John Salat, Architect for Applicant

Address of Applicant: 22386 Woodgrove Road Lake Forest, CA 92630

Exempt Status:

- ☐ Ministerial (Guidelines Section No. 15268)
- ☐ Emergency Project (Guidelines Section No. 15269)
- ☐ Common Sense (Guidelines Section No. 15061(b)(3))
- ☒ Statutory Exemption: State Code number: Government Code Section 65457(a)
- ☐ Categorical Exemption:
- ☒ Other Exemption: California Code of Regulations (CCR) Section 15182(c)

Reason(s) why project is exempt: Both the Government Code and the CCR code sections exempt residential development from CEQA when consistent with a specific plan for which an EIR has been prepared after January 1, 1980. The proposed project is consistent with Foothill/Trabuco Specific Plan.

Date of Decision: March 24, 2021

CEQA Contact Person: Kevin Shannon, Consultant – Environmental Planner

Project Manager Signature: _____

Name: Ilene Lundfelt

Title: Associate Planner

Fish & Game Fees: Pursuant to Section 711.4 (c) (2)(A) of the California Fish and Game Code, this project is exempt from the required fees, as it is exempt from CEQA.

Form Rev. 3.12.20



County Administration South
601 North Ross Street
Santa Ana, California 92701



P.O. Box 4048
Santa Ana, CA 92702-4048



info@ocpw.ocgov.com



(714) 667-8800



OCPublicWorks.com

CEQA Exemption Exceptions Worksheet

Project Name: Tchourbanov Residence

Project Number: PA 19-0078

Project Location: 20601 Trabuco Oaks Road, Trabuco Canyon, CA 92679

Project Description: Site Development Permit and Variance to establish a new single-family residence

Eligible Orange County Local CEQA Exemption(s)	Description
Class 3	One residential structure of four or less dwelling units
Eligible State CEQA Guidelines Exemption(s)	Category
Class 1	Existing Facilities
Class 3	New Construction or Conversion of Small Structures
Exemption Exceptions (Guidelines §15300.2)	Analysis
<p>§15300.2(a) Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located – a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, this class is considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.</p>	<p>This exception does not nullify the use of the Class 3 exemption.</p> <p>The site is located on a developed parcel in an area characterized by similar existing single-family residential development. The Natural Communities Conservation Plan identifies the site as Developed.</p> <p>The project site is not identified on a hazardous waste resource site; therefore, the project would not impact an environmental resource related to a hazardous waste resources. Refer below to the Hazardous Waste Sites section.</p> <p>The project site is not identified on a State of California Seismic Hazard Zone for earthquake induced landslides or fault studies.</p> <p>Orange County Zoning Code Section 7-9-125.1(d) states that Site Development Permits are regarded as having a low potential for adverse impacts on the project site or surrounding community.</p>
<p>§15300.2(b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.</p>	<p>This exception does not nullify the use of either the Class 1 or Class 3 exemption.</p> <p>The remodel project is temporary and does not include or require additional or successive projects to implement the proposed project.</p>

CEQA Exemption Exceptions Worksheet

Project Name: Tchourbanov Residence

Project Number: PA 19-0078

Project Location: 20601 Trabuco Oaks Road, Trabuco Canyon, CA 92679

Project Description: Site Development Permit and Variance to establish a new single-family residence

Eligible Orange County Local CEQA Exemption(s)	Description
<p>§15300.2(c) Significant Effect Unusual Circumstances. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.</p>	<p>This exception does not nullify the use of either the Class 1 or Class 3 exemption.</p> <p>In the 2015 California Supreme Court Case (Berkeley Hillside Preservation v. City of Berkeley) the court created a two-part test to determine if unusual circumstances are operative that would nullify the use of an exemption: 1) Is there an unusual circumstance? 2) If yes, is there a reasonable possibility it will create a significant impact?</p> <ul style="list-style-type: none"> • The project site is on developed land. • The project is within an area characterized by similar residential development. • Similar improvements have been completed on other residential properties in the vicinity of the project, <p>Neither of the tests for Unusual Circumstances have been met.</p>
<p>§15300.2(d) Scenic Highways. A categorical exemption shall not be used for a project, which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.</p>	<p>This exception does not nullify the use of either the Class 1 or Class 3 exemption.</p> <p>There are no State-designated or State-eligible scenic highways in the vicinity of the site. The nearest State-designated scenic highway is located approximately eight miles southeast of the project site.</p>
<p>§15300.2(e) Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.</p>	<p>This exception does not nullify the use of either the Class 1 or Class 3 exemption.</p> <p>The project site is not identified on the California Department of Toxic Substances Control EnviroStor hazardous waste database or the State Water Resources Control Board GeoTracker queried on 02.28.20.</p>
<p>§15300.2(f) Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.</p>	<p>This exception does not nullify the use of either the Class 1 or Class 3 exemption.</p> <p>The residential structure is typical of the residences in the neighborhood and does not contain any historic structures; therefore, no potential for an adverse change in a historical resource would occur.</p>

CEQA Exemption Exceptions Worksheet

Project Name: Tchourbanov Residence

Project Number: PA 19-0078

Project Location: 20601 Trabuco Oaks Road, Trabuco Canyon, CA 92679

Project Description: Site Development Permit and Variance to establish a new single-family residence

Attachment 4
Applicant's Letter of Explanation

Purpose is to receive final approval by the Planning Commission, this initial submitting is for Prelim/Conceptual review as a Site Development Plan (SDP) for the new development in the Foothill/Trabuco Specific Plan by the F/TSP Review Board



Project Proposal / Scope of Work

OWNER

Alexander Tchourbanov
426 E 30th St,
Tucson AZ 85713
Ph 520.400.9008
Email: achurbanov@gmail.com

PROPERTY ADDRESS

20601 Trabuco Oaks Dr, Trabuco Canyon, CA 92678

LEGAL DESCRIPTION

APN 84210206 COUNTY OF ORANGE
Legal description: LOT 33 NORTH AND THR N LOT 31 TRACT 926,

AREA CALCULATIONS

SITE/BUILDING DATA

LOT SIZE/TYPE: 10,512 Sq. Ft Zoning: R 1 SRA FIRE ZONE (TOR DISTRICT) TRABUCO OAKS RESIDENTIAL
CONSTRUCTION TYPE: VN SPRINKLERED
OCCUPANCY: R-3 /U1 SINGLE ATTACHED FAMILY DWELLING
NUMBER OF FLOORS: 3 LEVELS (LOFT ABOVE AND GARAGE BELOW THE MAIN LIVING AREA)

LOT AREA CALCULATIONS

Actual Building Footprint is 462 sf from 10,512 sf lot = 3% building footprint ratio
Actual Landscape (less building/driveway/walks/stairs) = 91% landscape ratio

BUILDING AREA:

	GARAGE	STORAGE	LIVING	DECK	ENTRY COVER
GARAGE LOWER LEVEL (SUBTERRAN)	462.0 SF	75.0 SF	0.0	0.0	0.0
1ST LEVEL (MAIN DWELLING)			462.0 SF	131.0	112.0
LOFT STORAGE LEVEL (UPPER LEVEL)		236.0 SF	0.0	0.0	0.0
TOTAL LIVING AREA:			462.0 SF	131.0	112.0

PROJECT HISTORY

Previous Owner had submitted a similar project on this lot back in 1991 as a County approved (Recording document 91-698513) but never followed to execute the work.

NEW PROPOSAL (BRIEF SCOPE)

Located at a small rural neighborhood immediately off Trabuco Canyon Road, the project initial placing on a vacant site a new small 3 level dwelling (storage loft above and a subterranean garage below the main living space), Built into an embankment, the new proposed family dwelling has 1 bedroom with an folding division wall, 1 bath, and laundry with a open space for the kitchen, dining and living space that sits on the 2 car garage below.

This vacant hillside lot comprising of 10,512 square feet of cactus, live oaks, olive along with low growth vegetation. The toe of slope starts at street and uniformly slopes up above to 65 feet at upper rear corner of site. Combination of building retaining walls and site retaining walls offer grades to step down as tiers to accommodate the new infrastructure of the subterranean garage and depressed driveway portion.

John A. Salat (Architect of Record)

A handwritten signature in black ink, appearing to read "John A. Salat", followed by a long horizontal flourish line.

Date July 1, 2019

Architect State Licensed C-24445

End of Document

Attachment 5
Draft FTSPRB Minutes

FOOTHILL/TRABUCO SPECIFIC PLAN REVIEW BOARD Trabuco Canyon, California

Meeting minutes of the regular meeting of the Foothill/Trabuco Specific Plan Review Board held Jan 13, 2021 by video conference due to COVID-19 restrictions.

In attendance were board Chairman Weber, members Gomez, McClanahan and Borland. Joining the meeting were members of the public and County representatives.

Item 1) Call to Order

The meeting was called to order at 1:30 PM by Dale Weber

Item 2) Approval of Minutes

Approval was not possible as we only had two members that were present at the prior meeting.

Item 3) Election of Officers

Rich Gomez made a motion, Mike McClanahan seconded. Dale Weber remains Chairman, John Reed Vice-Chairman, and Robert Borland is the new secretary.

Vote: 4-Ayes

Item 4) Old Business

None

Item 5) PA19-0078

A Site Development Permit and Variance to establish a new 462 sq. ft with single-family residence with a 462 sq. ft two-car garage and 236 sq. ft loft at 20601 Trabuco Oaks Drive locating in the Trabuco Oaks Residential District. – continued from November 19, 2020.\

Property owner and Architect on the line to discuss updates to the project

Board Discussion:

General discussion and updated information on the septic system, waste water affluence, and the plan to remediate if any trees are harmed in the process of the project. There was also a request for a grading variance.

Public Comments:

(Smith): Question about what qualifies for a grading variance, about where the trees will exactly be

planted, and where is the soils report that is required per the plan.

FOOTHILL/TRABUCO SPECIFIC PLAN REVIEW BOARD

Motion:

Trabuco Canyon, California

Gomez makes a motion to extend the discussion of this project to the next meeting so the concerns brought up by the member of the public could be addressed. McClanahan seconded.

Further discussion was had by the board regarding how many of these items were required at this time, and whether it warranted a push to the next meeting. Would it be possible to approve with conditions instead of pushing the applicant back another meeting.

Gomez made a new motion, recommended approval with some conditions:

- Details of the waste water affluence after leaving the septic system
- Details of the tree preservation plan, and what can be done to mitigate the loss of trees
- Specifics surrounding the request for a grading variance greater than 10'
- Ensure a soils report is provided prior to the projects final approval

Seconded by McClanahan

Vote: 4-Ayes

Item 6) Public Comments

(Smith): General comments about what is required of board members in this process, and recommendations for how the board should proceed going forward. Importance of the board in the county planning process.

Item 7) Administrative Matters

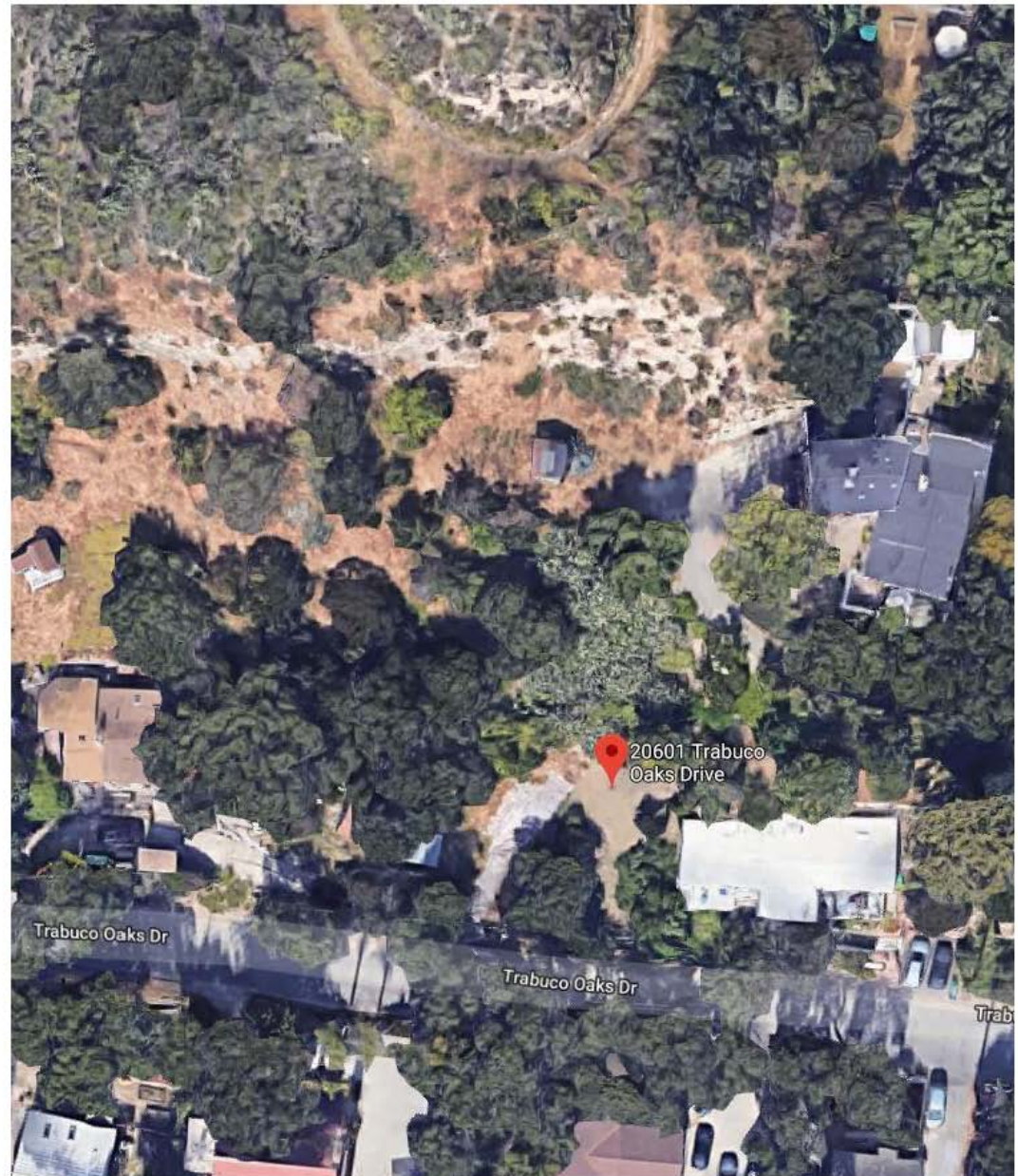
None

Gomez makes a motion to adjourn, McClanahan seconds. Meeting adjourned at 2:37pm

Attachments 6

Site Photos

AERIAL VIEW



EXISTING SURROUNDING VIEWS



Street Looking North



Street Looking South



Frontage View Facing to Street



Frontage View Facing Towards Lot

EXISTING SURROUNDING VIEWS



Existing Right Neighbor Frontage Views



Existing Left Neighbor Frontage Views

Appendix B: Photos 1-3



Photo 1 shows oak tree #1 on the sloped area near the front of the lot. It has a compact habit.

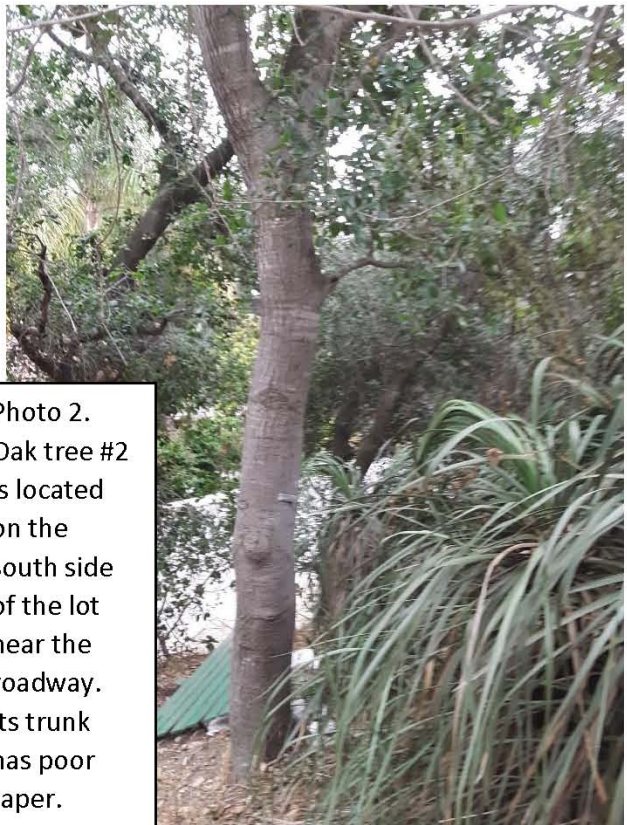


Photo 2. Oak tree #2 is located on the south side of the lot near the roadway. Its trunk has poor taper.



Photo 3 shows oak tree #3. It is located near the roadway and has utility lines running through its canopy.

Appendix B: Photos 4-6



Photo 4 shows oak tree #4. It is growing near the property line. Its canopy is irregular



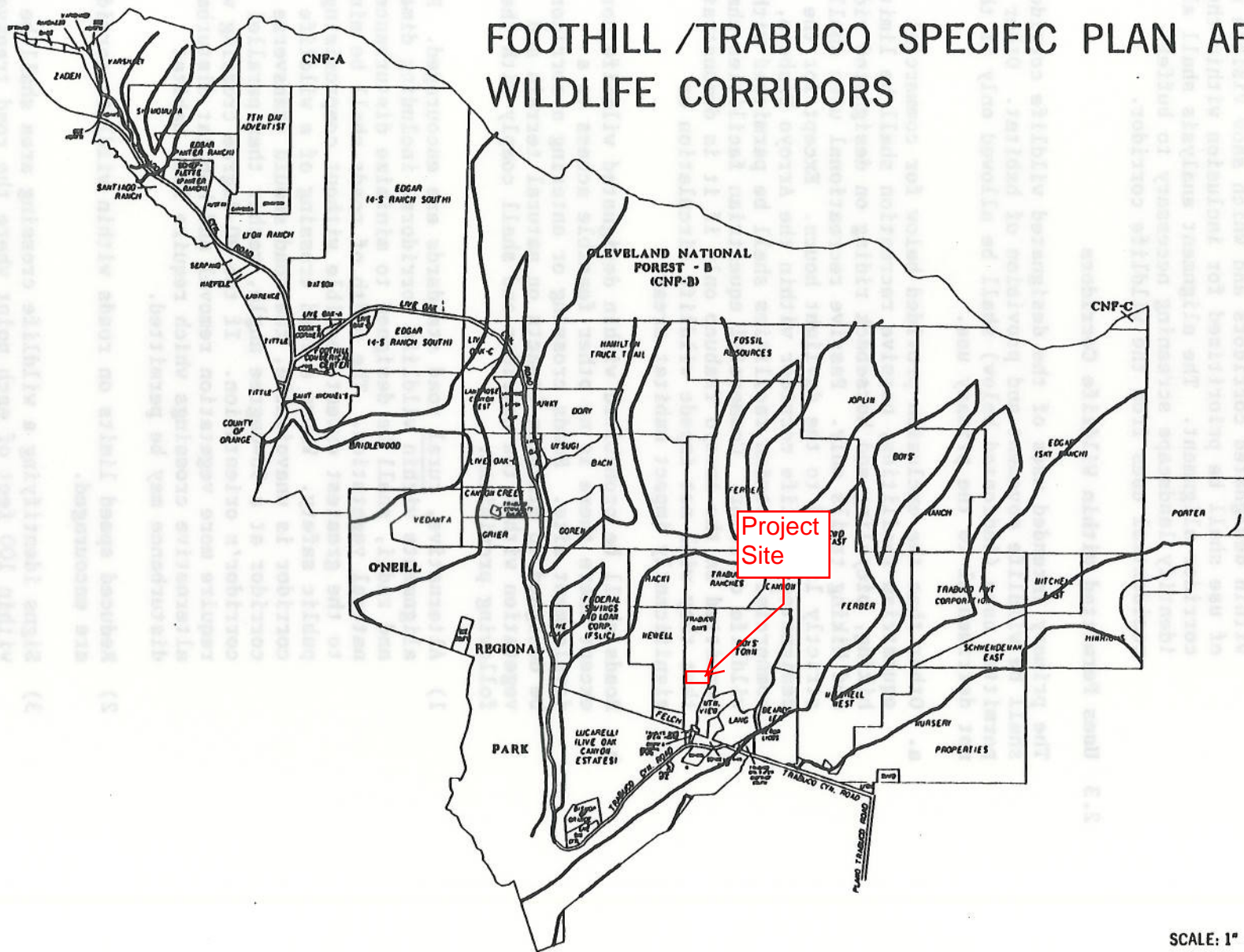
Photo 5. Oak #5 is located near the back of the property where the grade steepens.



Photo 6 shows oak tree #6. It is growing on the neighbor's property. Large limbs were cut years ago

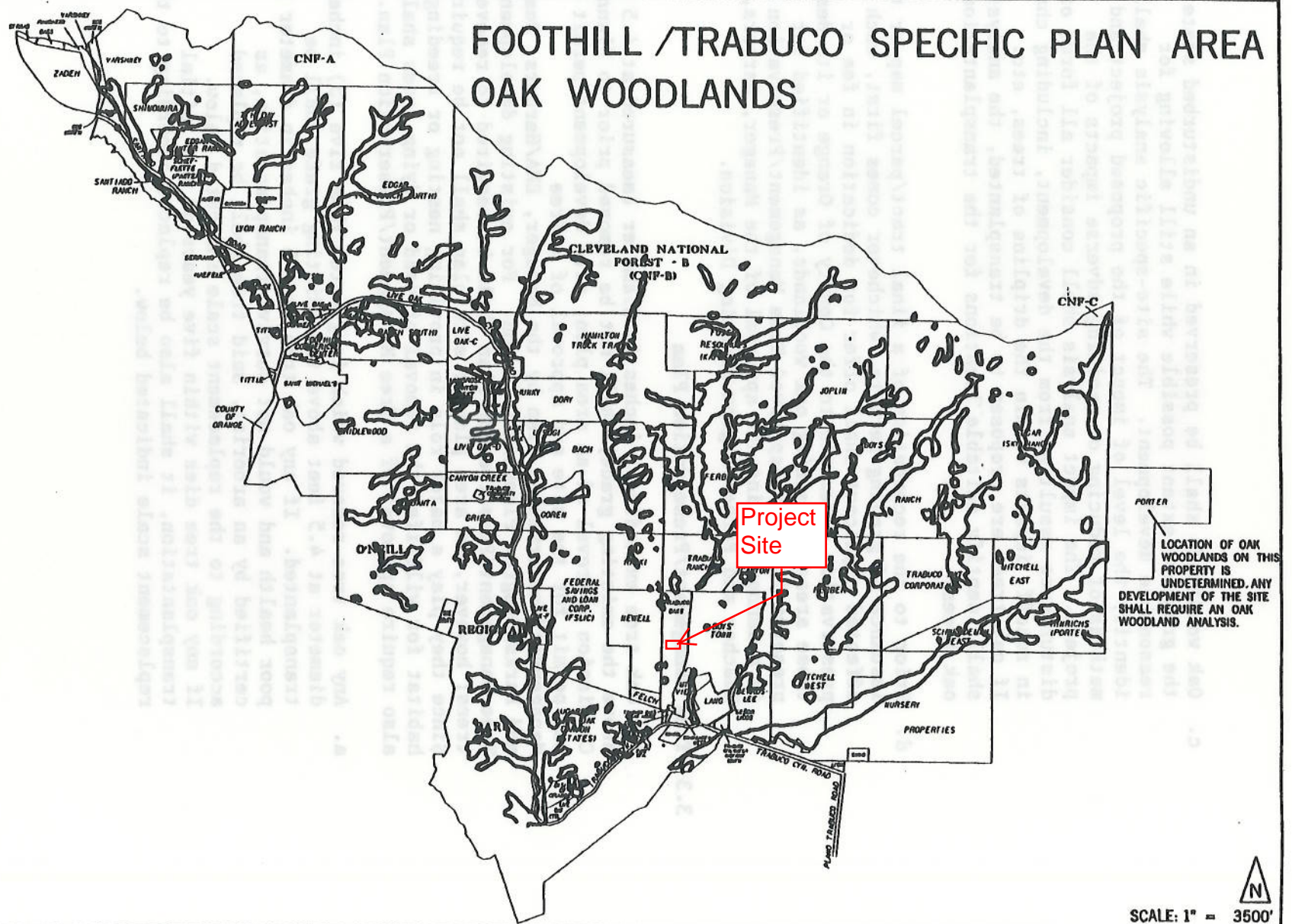
Attachment 7
Resource Overlay Maps

FOOTHILL /TRABUCO SPECIFIC PLAN AREA WILDLIFE CORRIDORS

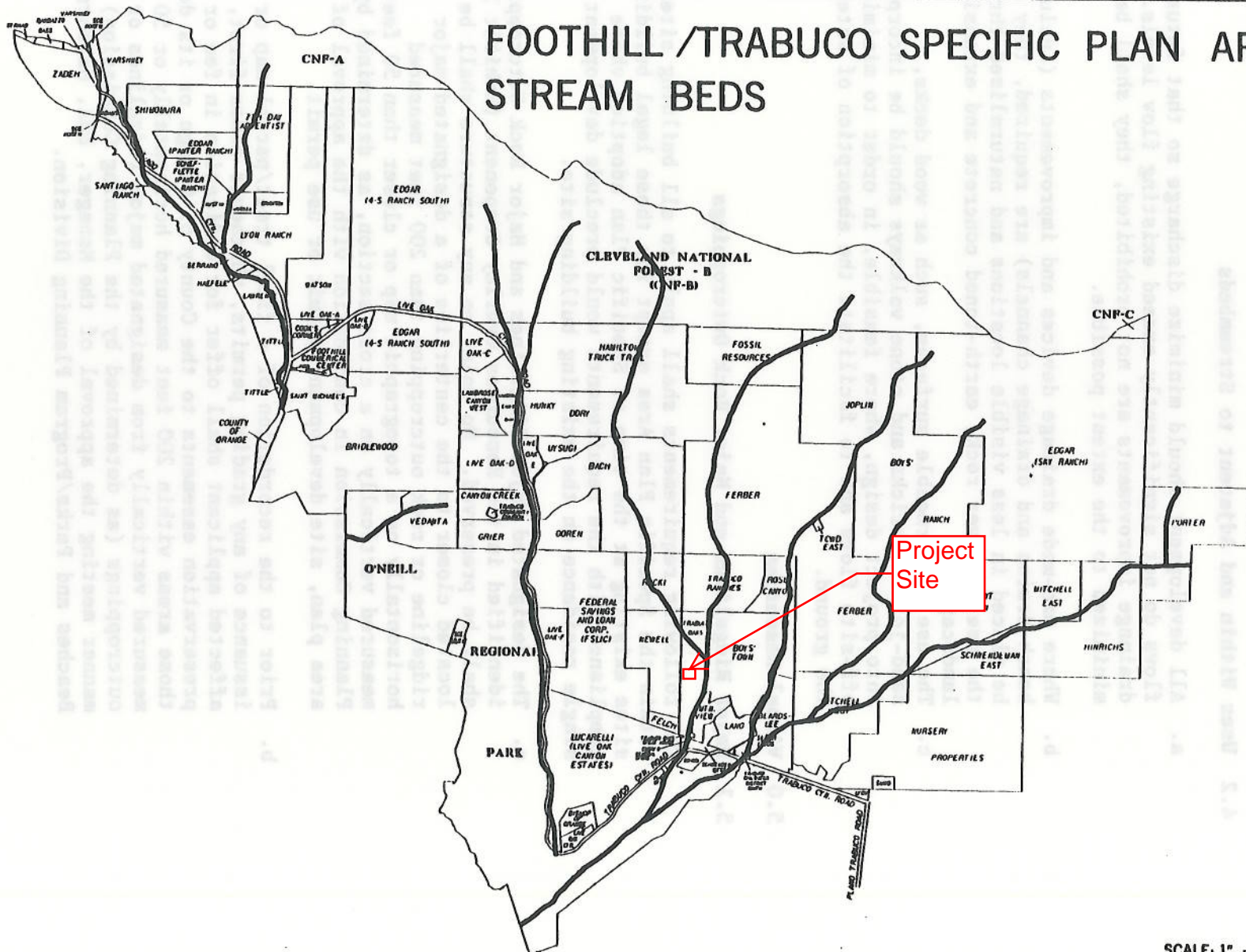


SCALE: 1" = 3500'

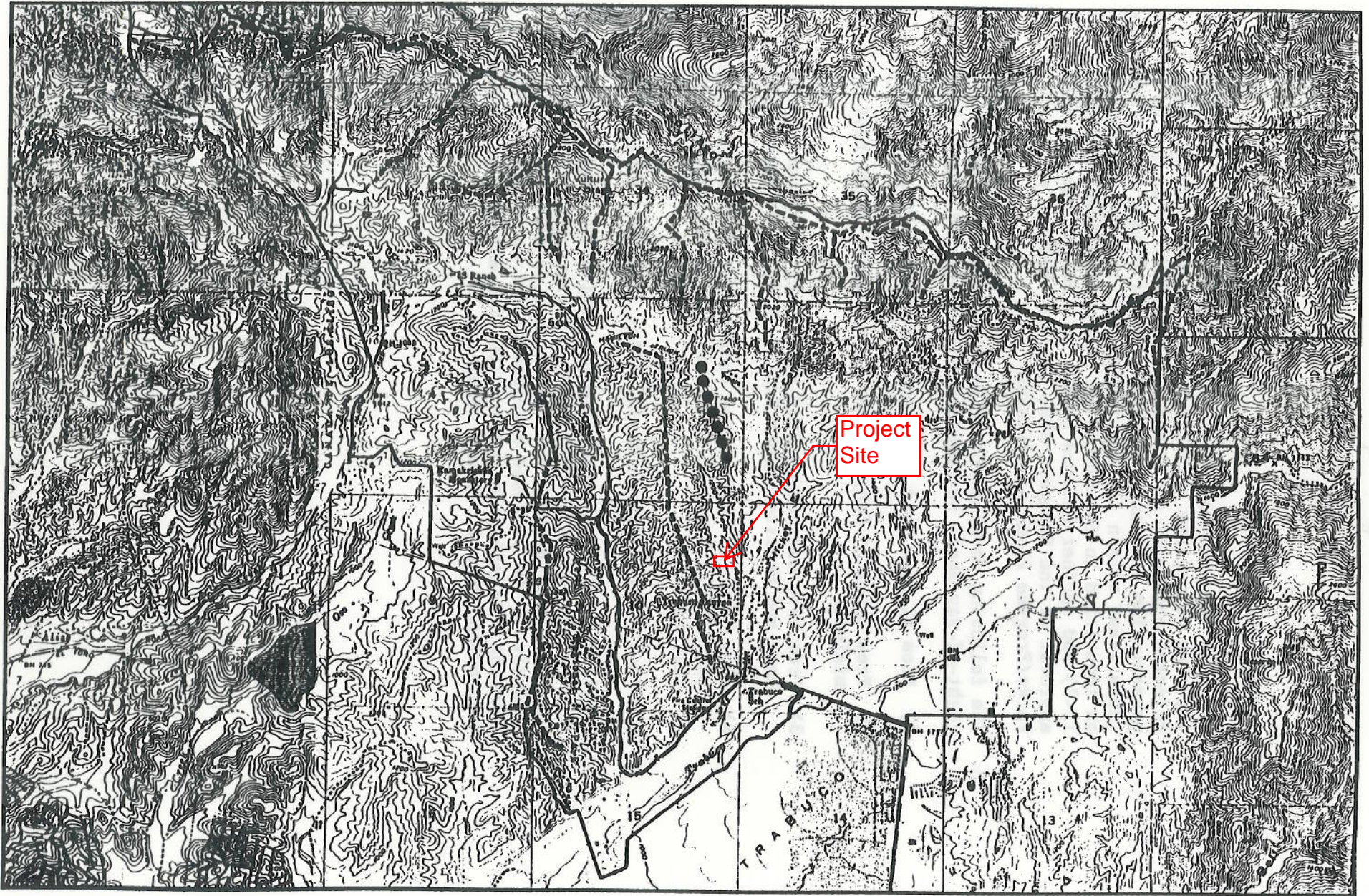
FOOTHILL /TRABUCO SPECIFIC PLAN AREA OAK WOODLANDS



FOOTHILL /TRABUCO SPECIFIC PLAN AREA
STREAM BEDS



SCALE: 1" = 3500'



MAJOR RIDGELINES AND MAJOR ROCK OUTCROPPINGS

MAJOR RIDGELINE

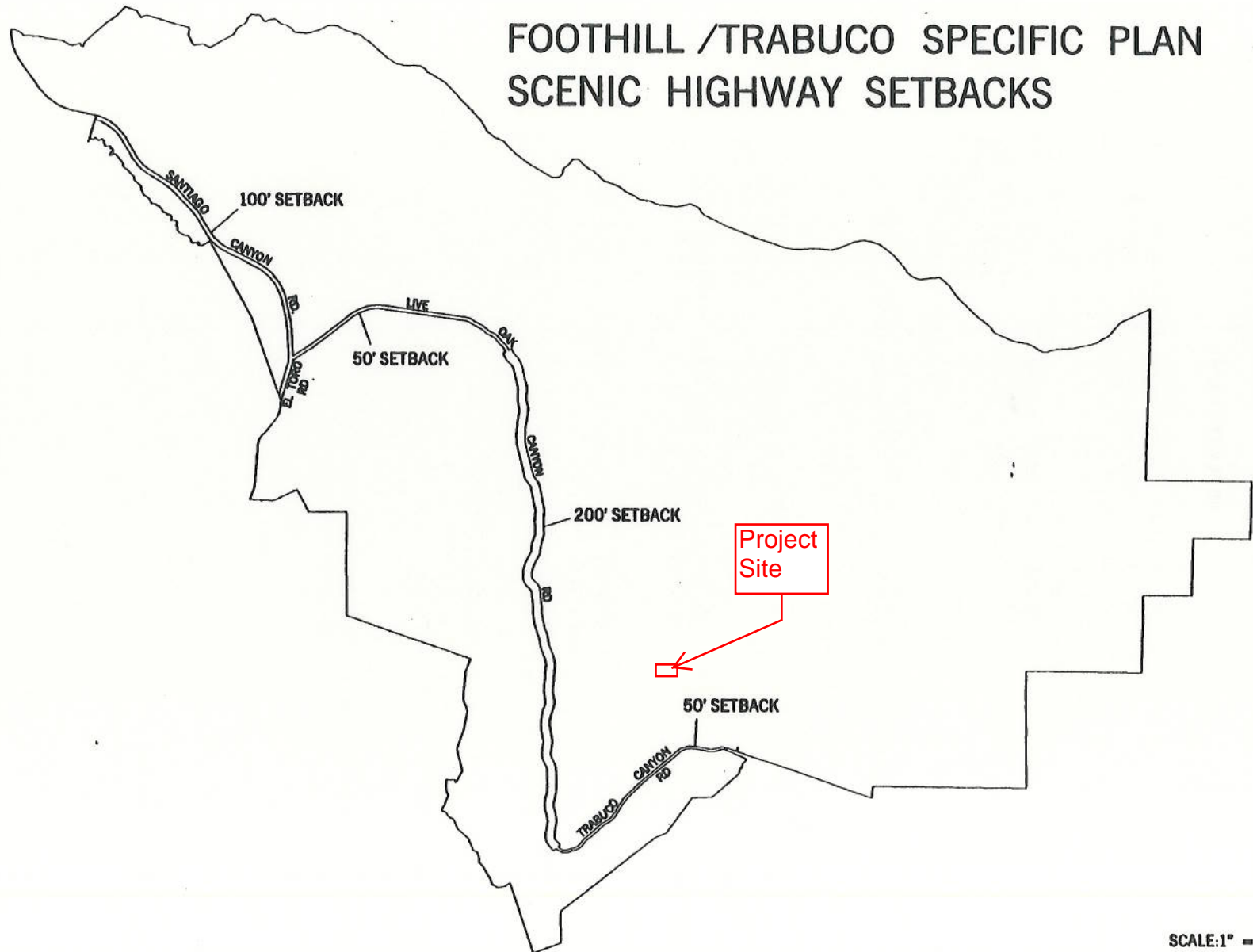


MAJOR ROCK OUTCROPPING



E D ALMANZA &
associates

FOOTHILL /TRABUCO SPECIFIC PLAN SCENIC HIGHWAY SETBACKS



Attachment 8
FTSP Consistency Checklist

FOOTHILL/TRABUCO SPECIFIC PLAN PROJECT CONSISTENCY CHECKLIST

Introduction

The Foothill/Trabuco Specific Plan Project Consistency Checklist has been developed to assist applicants, EMA staff, interested parties and the Planning Commission in determining whether a project proposal is consistent with the Specific Plan. The Checklist includes only the key Regulations and Guidelines from the Specific Plan; however, all projects shall be required to be found consistent with all of the applicable Regulations and Guidelines included in the Specific Plan. (Refer to the individual Specific Plan Components (Chapter II), the Land Use District Regulations (Chapter III) and the Development and Design Guidelines Chapter IV) for a complete listing.)

The language in the Regulations/Guidelines indicates whether they are mandatory Regulations or non-mandatory Guidelines. "Shall" indicates a mandatory Regulation to which there are no exceptions, while "should" indicates a non-mandatory Guideline. Individual development proposals are not required to be consistent with each and every Guideline. The Planning Commission may approve deviations from the Guidelines; however, the Commission must find that the project is in overall compliance with the Guidelines and consistent with the Goals and Objectives of the Specific Plan.

Implementation

Prior to Planning Commission consideration of any Area Plan, Site Development Permit, Use Permit and/or concurrently processed subdivision map, EMA staff shall complete a Specific Plan Project Consistency Checklist for the project and shall make a determination regarding the project's consistency with the Specific Plan. Additional explanation/discussion of the project's consistency with each Regulation and Guideline shall be attached to the Checklist, as necessary. The Planning Commission shall review the completed Checklist in conjunction with consideration of any discretionary approval and shall utilize the Checklist as the basis for making the necessary findings that the project is in overall compliance with the Specific Plan and consistent with the Goals and Objectives of the Specific Plan.

MBM:mbm
1072608151145

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
I. Completeness of Application	X		
The applicant has submitted all of the necessary information, studies, reports and analyses required by the Specific Plan Regulations and the application has been deemed complete.			
II. Environmental Documentation			
A. Initial Study IS _____ has been completed for the project proposal and _____ has been prepared to address the potential environmental impacts of the project.			
B. Initial Study IS _____ has been completed for the project proposal and it has been determined that EIR 531, prepared for the Specific Plan, adequately addresses the potential environmental impacts of the project proposal.			
III. District Regulations/Site Development Standards	X		
The project proposal is consistent with the following site development standards and regulations of the applicable Land Use District.			
A. The project proposal is a permitted use within the District.	X		
B. The project proposal meets the minimum building site area requirement for the District.	X		
C. The project proposal is consistent with the Land Use Plan and the maximum density cap for the site.	X		
D. The project proposal is consistent with the District building height restrictions.	X		
IV. Grading			
A. All residential projects within the Arroyo Trabuco Residential District, the Trabuco Canyon Residential District and the Upper Aliso Residential District shall comply with the following provisions:			

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	CONSISTENT? NO	N/A
1. Grading shall be limited to an <u>average</u> of 3,000 cubic yards of grading per dwelling unit permitted by the development cap on the property (either cut or fill, whichever is greater), excluding grading required for access roads or driveways serving two or more parcels and any remedial grading required, as certified by a geologist. For development of a single building site prior to adoption of the Specific Plan, grading shall be limited to 3,000 cubic yards of cut or fill on the individual lot (not an average) with the same exclusion provided above. For development of a single building site existing prior to the adoption of the Specific Plan, grading shall be limited to 3,000 cubic yards of cut or fill on the individual lot (not an average) with the same exclusions provided above.	X _____	_____	_____
2. If a property owner develops fewer dwelling units than permitted by the development cap, the grading allocation for the un-built dwelling units may be applied to those that are built. However, in no case shall the number of cubic yards of grading for the project exceed an average of 9,000 cubic yards per building site. Where this provision is utilized, a resource or scenic preservation easement (or other restriction) shall be required over the remainder of the property to preclude development of the un-built units.	_____	_____	X _____
3. Except for grading required for roads and driveways providing access to two or more dwelling units, in no case shall the height of cut or fill slopes exceed ten (10) vertical feet.	_____	X _____	_____
4. Except for grading required for roads and driveways providing access to two or more dwelling units, in no case shall the difference between the existing and proposed contour elevations exceed ten (10) vertical feet.	_____	X _____	_____
5. For private roads and driveways providing access to two or more dwelling units, in no case shall the height of cut or fill slopes exceed thirty (30) vertical feet.	X _____	_____	_____
6. Except where geological hazards exist that are best mitigated by more conventional grading methods, utilizing linear slopes to best complement required stabilization devices, and where contour grading would result in more significant impacts to natural resources than would conventional grading methods, contour grading techniques shall be used to provide varying slope percentages and slope directions in three-dimensional, undulating patterns, similar to the natural terrain. The following concepts shall be utilized:	X _____	_____	_____
a) Hard edges left by cut and fill operations shall be given a rounded appearance which closely resembles the natural contours. Rounding of cut or fill edges shall extend a minimum of two feet on either side of any daylight line or hinge point located at the top of a manufactured slope or natural slope.	X _____	_____	_____

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
b) The angle of any graded slope shall be gradually adjusted to the angle of the natural terrain.	X _____	_____	_____
7. Where Alternative Grading Standards are proposed, the Planning Commission shall be required to make the following findings:			
a) The Alternative Grading Standards shall result in seventy (70) percent or more of the site being preserved in natural, undisturbed open space. No grading, structures (including stables and corrals), walls (except river rock walls not to exceed 3 feet), fences (except open fencing) or commercial agricultural activities shall be permitted in the natural open space area. Fuel modification shall be permitted within said open space areas if required by the Fire Chief in conjunction with an approved Fuel Modification Plan; however, the development should be designed so that fuel modification impacts to the open space areas are minimized. The Alternative Grading Standards shall not result in an average of more than 9,000 cubic yards of grading (cut or fill, whichever is greater) per building site, excluding grading required for access roads and driveways serving two or more building sites and any remedial grading required, as certified by a geologist.	_____	_____	X _____
b) The height of cut or fill (manufactured) slopes shall not exceed thirty (30) vertical feet, except for roads or driveways providing access to five or more dwelling units.	_____	_____	X _____
8. For projects located within the Upper Aliso Residential District, alternatives to Site Development Standards relating to building site area and grading apply based on a determination of greater overall protection of environmental resources as provided in section III 8.8 n.	_____	_____	X _____
B. Each individual project proposal within the Upper Aliso Residential and Trabuco Canyon Residential Districts (excluding building sites of one (1) acre or less which were existing at the time of Specific Plan adoption) shall preserve a minimum of sixty-six (66) percent of the site in permanent, natural open space which shall be offered for dedication in fee or within preservation easements to the County of Orange or its designee in a manner meeting the approval of the Manager, EMA/Harbors, Beaches and Parks/Program Planning Division. No grading, structures (including stables and corrals), walls (except river rock walls not to exceed three feet), fences (except open fencing) or commercial agricultural activities shall be permitted in the natural open space area, except as provided by applicable District regulations. Fuel modification shall be permitted within said open space areas if required by the Fire Chief in conjunction with an approved Fuel Modification Plan; however, the development should be designed so that fuel modification impacts to the open space areas are minimized.	_____	_____	X _____

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
V. Resources Overlay Component			
A. Wildlife Corridors			
1. No development proposal subject to the required site-specific wildlife corridor analysis shall be approved until it has been determined by the Planning Commission that the wildlife corridor analysis meets the requirements of the Resources Overlay Component, that the development complies with the corridor protection policies (identified below), and the Planning Commission has approved the final corridor alignments.	X _____	_____	_____
2. Delineation/Adjustment of Wildlife Corridor Boundaries			
a. Parcels containing wildlife corridors as designated in the Resources Overlay Component, or any portion thereof, and parcels within 150 feet of any corridor shall be required to prepare a site-specific wildlife corridor analysis. Detailed mapping is intended to provide final designated alignments for the corridors. The intent of the analysis shall not be to locate the corridor where it is most feasible to accommodate adjacent development. Detailed mapping shall be limited to defining the designated 1:500-scale alignment at a scale of at least 1:100 (1:40 scale within the area of disturbance) for incorporation into EMA's Intergraph Mapping System and not realignment or deletion of the designated corridor swath. The analysis shall be prepared by a qualified wildlife biologist.	_____	_____	X _____
b. Mapping shall identify a minimum corridor width <u>at all locations</u> of 400 feet measured perpendicular to the corridor's boundary, except for the corridor parallel and adjacent to Live Oak Canyon Road where the minimum width shall be 100 feet.	_____	_____	X _____
c. The explicit intent of the detailed, site-specific corridor alignment analysis shall be to optimize conditions for wildlife use and movement. Factors to be considered in this determination shall include the types of habitat within and at both ends of the corridor. The 1:100 scale mapping (1:40 scale within the area of disturbance) shall attempt to include a variety of the habitat types representative of the area, and to provide habitat for the species that occupy connecting habitat areas. Established large mammal trails within designated corridors which show visible signs of use shall be prioritized for inclusion within the final corridor alignment. The alignment analysis shall also identify landscape screening necessary to buffer residential uses from the wildlife corridor.	_____	_____	X _____

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
d. Prior to the recordation of any final tract/parcel map or the issuance of any grading permits, whichever comes first, the final established wildlife corridor areas shall be offered for dedication in fee or within preservation easements to the County of Orange or its designee in a manner meeting the approval of the Manager, Harbors, Beaches and Parks/Program Planning Division.	<u> </u>	<u> </u>	X <u> </u>
3. Uses Permitted within Wildlife Corridors			
The primary intended uses of the designated wildlife corridors shall be wildlife movement and provision of habitat. Other permitted uses (indicated below) shall be allowed only if they are not detrimental to the primary use.	X <u> </u>	<u> </u>	X <u> </u>
a. Other than the exclusion provided below for commercial equestrian facilities, passive recreation shall be limited to hiking, bicycling and horseback riding on designated riding and hiking trails only. Passive recreational uses shall be strictly limited to the daylight hours. Except for the designated wildlife corridor within the Arroyo Trabuco, no commercial equestrian facilities shall be permitted within any wildlife corridor. Commercial equestrian facilities shall be permitted in the Arroyo Trabuco only if it is demonstrated that they will not impede wildlife circulation or significantly impact habitat areas.	<u> </u>	<u> </u>	X <u> </u>
b. Roads shall be prohibited within designated wildlife corridors except where there is no other feasible access to a development site. Roads crossing or entering a corridor shall be designed to minimize impacts on natural terrain and vegetation within the corridor and shall comply with the following provisions:	<u> </u>	<u> </u>	X <u> </u>
1) Alternative, <u>rural</u> road standards are encouraged. Road alignments within wildlife corridors, including dimensions and radii, shall be designed to minimize disturbance to natural vegetation. The width of the roads shall be minimized to the greatest extent feasible without compromising public safety. Where a road crossing of a wildlife corridor is unavoidable, the road should transverse the corridor at a 90-degree angle, rather than parallel to the corridor's orientation. If the 90-degree crossing would require more vegetation removal and habitat disturbance, alternative crossings which require less habitat disturbance may be permitted.	<u> </u>	<u> </u>	X <u> </u>
2) Reduced speed limits on roads within wildlife corridors are encouraged.	<u> </u>	<u> </u>	X <u> </u>
3) Signs identifying a wildlife crossing area shall be posted within 100 feet of each point where the road transverses the wildlife corridor.	<u> </u>	<u> </u>	X <u> </u>

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	CONSISTENT?	
		NO	N/A
4) Roads within wildlife corridors shall be limited to local collector roads providing access to local residents and shall be designed to discourage or preclude through traffic. Controlled access from arterials, e.g. a gated entry, is preferred.	_____	_____	<u>X</u>
			X
5) Where a road crosses a streambed within a designated wildlife corridor, a low-water bridge crossing should be provided rather than a culvert, where possible, to minimize grading impacts associated with culvert crossings.	_____	_____	_____
			X
c. Where a recreational trail enters or crosses a designated wildlife corridor, the trail shall be located based upon the recommendations of a site specific corridor analysis by a wildlife biologist. In cases where a trail enters a corridor where a road is also existing or proposed, the trail shall be sited immediately adjacent and parallel to the road in order to minimize habitat disturbance. Where a road is not existing or proposed within the corridor, it is preferable to locate the trail outside of the wildlife corridor.	_____	_____	_____
d. When a road or underground utility or pipeline is required to transverse or encroach upon a designated wildlife corridor, its alignment shall incorporate, to the <u>maximum</u> extent feasible, the recommendations of a wildlife biologist based on site visit(s) and assessment of impacts of the proposed alignment.	_____	_____	<u>X</u>
4. Uses Adjacent to Wildlife Corridors			
a. Development shall maintain a minimum 50-foot setback of all structures and barrier fencing from all corridors. Uses within the setback zone shall be limited to low-intensity, residential-related activities such as recreation and private open space.	_____	_____	<u>X</u>
b. If determined necessary by a biologist as part of the corridor analysis, development shall provide planting of a minimum 25-foot buffer zone, within the required 50-foot setback, of native shrubs and trees. In areas where sufficient buffering already exists, landscape screening may not be necessary. Planting shall be informal and shall emphasize native trees and shrubs that provide maximum screening. Landscaping within the buffer zone shall be maintained by the homeowner or by a homeowners' association.	_____	_____	<u>X</u>
c. Exterior lighting shall be prohibited within the 50-foot setback zone. Lighting for outdoor nighttime activities such as playing fields or tennis courts shall be prohibited. Light sources shall be directed away from wildlife corridors. Lighting may be permitted on roads that transverse corridors where necessary for public safety reasons.	_____	_____	<u>X</u>

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
d. Fencing within the 50-foot setback zone shall be limited to open fencing (i.e., split rail fencing) which does not exceed 40 inches in height, measured from the finished grade, in order to allow for the mobility of animals.	_____	_____	X _____
B. Oak Woodlands			
1. Delineation/Adjustment of Oak Woodlands Boundaries			
a. Parcels containing oak woodlands as identified in the Resources Overlay Component and parcels located within 100 feet of any identified oak woodland shall be required to submit a site-specific oak woodlands analysis, prepared by a qualified biologist/arborist, to determine the precise boundary of the oak woodlands. The analysis shall provide precise mapping of all oak woodlands at a minimum scale of 1:100 (1:40 scale within the area of disturbance) for inclusion in EMA's Intergraph Mapping System. Oak woodlands shall be preserved in an undisturbed state to the greatest extent possible while still allowing for reasonable development. The site-specific analysis shall identify the level of impact of the proposed project and methods of reducing or avoiding adverse impacts of the project. The impacts analysis shall consider all forms of disturbance resulting from the development, including changes in runoff, impacts within the dripline of trees, etc. If oak trees are proposed to be transplanted, the analysis shall identify suitable locations for the transplantation of oak trees.	X _____	_____	_____
b. Prior to the recordation of a final tract/parcel map or the issuance of grading permits, whichever comes first, each affected applicant shall offer for dedication in fee or preservation easements to the County of Orange of its designee those areas containing oak woodlands, as identified for preservation in an approved Tree Management/Preservation Plan, in a manner meeting the approval of the Manager, Harbors, Beaches and Parks, Program Planning Division.	X _____	_____	_____
2. Tree Management/Preservation Plan			
a. Any oak tree exceeding five inches in diameter (measured at 4.5 feet above the existing grade) shall not be removed prior to Planning Commission approval of an area plan, site development permit or use permit for the subject site and approval of a Tree Management/Preservation Plan by the Manager, EMA/Harbors, Beaches and Parks/Program Planning Division. For existing development, a Tree Management/Preservation plan shall be required to remove any tress; however, an area plan or site plan shall not be required. Since they provide a major role in providing nesting or breeding habitat, removal of dead or dying oak trees shall also require approval of a Tree Management/Preservation Plan.	X _____	_____	_____

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
b. Any oak trees removed which is greater than five (5) inches in diameter at 4.5 feet above the existing grade shall be transplanted. If any oak tree over five inches in diameter is either in poor health or would not survive transplantation, as certified by an arborist, said tree shall be replaced either according to the Tree Replacement Scale in the Resources Overlay Component or as provided in an approved Tree Management and Preservation Plan designed to provide more extensive and effective mitigation. If any oak trees die within five years of the initial transplantation, they shall be replaced according to Tree Replacement Scale or as provided in an approved Tree Management and Preservation Plan designed to provide more extensive and effective mitigation.	X _____	_____	_____
c. The Tree Management/Preservation Plan shall identify those trees exceeding five (5) inches in diameter which are proposed for removal and the location of replacement trees.	X _____	_____	_____
d. In the event that all transplanted or replacement trees cannot be feasibly located on the property, an off-site mitigation program may be permitted; however, all replacement and transplanted trees shall be located within the Specific Plan Area.	X _____	_____	_____
e. The Tree Management/Preservation Plan shall be signed and certified by a biologist or arborist. All transplanting of trees shall be performed by an experienced nursery, landscape contractor or arborist who shall care for the trees for a minimum period of six months.	X _____	_____	_____
3. Uses Within and Adjacent to Oak Woodlands			
a. During all grading and construction operations, all oak trees on the site, located adjacent to the approved limits of grading and identified in an approved Tree Management/Preservation Plan as trees to be preserved, shall be adequately fenced and protected from encroachment by grading and construction equipment. Grading, placement of fill and storage of building materials and heavy equipment shall be prohibited within the dripline of any tree designated for preservation as part of an approved Tree Management/Preservation Plan.	X _____	_____	_____
b. Retaining walls shall be used to protect the existing grades within the driplines of oaks from surrounding cut and fill. However, these shall not alter the drainage from around trees.	X _____	_____	_____
c. No types of surface, whether pervious or impervious, shall be placed within a six-foot radius of oak tree trunks. Where surfacing cannot be avoided, alternative types of paving should be utilized, such as gravel or porous brick and sand joints.	X _____ _____	_____ _____	_____ _____

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
d. Oak trees shall not be subjected to increased runoff from irrigation systems, impermeable surfaces, storm drain discharge, etc.	X		
e. Natural drainage courses and natural grades in proximity to and providing seasonal irrigation to oak trees shall not be altered.	X		
f. In proximity to oak trees, only one trench should be dug to accommodate all utility lines. Where necessary, the impacted trees should be carefully pruned by an arborist in proportion to the total amount of root zone lost.	X		
C. Streambeds			
1. Delineation of Streambed Boundaries			
a. Applicants for development proposals on parcels containing streambeds as designated on EMA's Intergraph Base Map at 1:500 scale and parcels within 100 feet of any designated streambed shall be required to prepare a site-specific streambed analysis prepared by an hydrologist to determine the precise boundary of the streambed at a minimum scale of 1:100 (1:40 scale within the area of disturbance) for incorporation into EMA's Intergraph Mapping System.			X
b. Applicants of said projects shall be required to submit detailed, site-specific analyses to identify the direction and flow of natural runoff from the site, or immediately adjacent to the site. The detailed, site-specific analysis shall address the need for mitigation measures such as check dams, drop structures, rip-rap, energy dissipation structures and flow stabilizing devices below drainage discharge flows to keep velocities close to pre-development levels. The primary objective of including streambeds within the Resources Overlay Component shall be to minimize the need for man-made structures which would alter the natural condition of any designated streambeds, either on-site or downstream.			X
2. Uses Within and Adjacent to Streambeds			
a. All development should minimize discharge so that future storm flows do not significantly exceed existing flow levels. While drainage improvements are not prohibited, they shall be minimized to the extent possible.			X

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
b. Where man-made drainage devices and improvements (including bench drains and drainage channels) are required, they shall be placed in less visible locations and naturalized through the use of river rock, earth-toned concrete and extensive landscaping.	_____	_____	<u>X</u>
c. The use of permeable surfaces, such as wood decks, sand-jointed bricks and stone walkways should be incorporated into project design, where feasible, in order to minimize off-site flows and to facilitate the absorption of water into the ground.	_____	_____	<u>X</u>
D. Visual Resources			
1. Major Ridgelines and Major Rock Outcroppings	_____	_____	<u>X</u>
The following requirements shall apply to all building sites within the Specific Plan Area except for those legal building sites existing at the time of Specific Plan Adoption where compliance with the requirements would preclude development of a single residence on the existing building site.			<u>X</u>
a. The designated Major Ridgelines and Rock Outcroppings identified in the Resources Overlay Component shall be preserved: No point on any structure shall be located closer to the centerline of a designated major ridgeline than 200 feet measured horizontally on a topographic map or closer than 50 feet measured vertically on a cross section, as determined by the Planning Commission in conjunction with the approval of an area plan, site development permit or use permit. Said areas within 200 feet measured horizontally or 50 feet measured vertically shall be offered for dedication in fee or preservation easements to the County of Orange or its designee prior to the recordation of a final tract/parcel map or the issuance of grading permits, whichever comes first, in a manner meeting the approval of the Manager, EMA, Harbors, Beaches and Parks/Program Planning Division.	_____	_____	<u>X</u>
b. Applicants for development projects on sites located adjacent to the scenic roadway corridors identified in the Resources Overlay Component shall offer the required scenic setback areas for dedication in fee or preservation easements to the County of Orange or its designee prior to the recordation of a final tract/parcel map or the issuance of grading permits, whichever comes first, in a manner meeting the approval of the Manager, EMA, Harbors, Beaches and Parks/Program Planning Division.	_____	_____	<u>X</u>

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	CONSISTENT? NO	N/A
2. Scenic Roadway Corridors			
a. Applicants for development projects which are visible from any road designated as a scenic corridor in the Resources Overlay Component shall be required to submit a detailed viewshed analysis of the proposed development for consideration by the Planning Commission in conjunction with any area plan, site development permit or use permit.	<u> </u>	<u> </u>	X <u> </u>
b. No structure should encroach upon the skyline as viewed from the scenic corridors.	<u> </u>	<u> </u>	X <u> </u>
c. Landscape screening shall be provided to obscure any grading scars that are visible from the designated scenic corridors.	<u> </u>	<u> </u>	X <u> </u>
VI. Landscaping and Fuel Modification			
A. Prior to the approval of any area plan, tentative subdivision map, site development permit or use permit, the applicant shall prepare a Preliminary Landscaping Plan for approval of the Manager, Subdivision Division in consultation with the Manager, EMA/Harbors, Beaches and Parks/Program Planning Division. A licensed landscape architect shall certify in writing that the plan is consistent with the Landscaping Regulations and the Development and Design Guidelines of the Specific Plan. Prior to the issuance of any grading permits, a Precise Landscaping Plan shall be approved by the Manager, Subdivision Division, in consultation with the Manager, EMA/Harbors, Beaches and Parks/Program Planning Division. Prior to the issuance of certificates of use and occupancy, the applicant shall install said landscaping and irrigation systems and shall have a licensed landscape architect certify that it was installed in accordance with the approved Precise Plan and shall furnish said certification to the Manager, EMA/Building Inspection Division.	X <u> </u>	<u> </u>	<u> </u>
B. Any tree exceeding five inches in diameter (measured at 4.5 feet above the existing grade) shall not be removed prior to Planning Commission approval of an area plan, site development permit or use permit and the approval of a Tree Management/Preservation Plan by the Manager, EMA/Harbors, Beaches and Parks, Program Planning Division. Said plan shall be incorporated as a component of the required Landscaping/Fuel Modification Plan. Since they play a major role in providing nesting or breeding habitat, the removal of dead or dying trees shall require approval of a Tree Management/Preservation Plan by the Manager, EMA/Harbors, Beaches and Parks/Program Planning Division. Said plan shall be signed and certified by a biologist or arborist. The plan shall identify the location, size and species of all trees proposed to be removed which have a trunk diameter of five inches or greater at 4.5 feet above the existing grade and the proposed location for transplanted or replacement trees.	X <u> </u>	<u> </u>	<u> </u>

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
C. Any oak trees exceeding five inches in diameter at 4.5 feet above the existing grade removed in accordance with an approved Tree Management/Preservation Plan shall be transplanted. If any oak tree over five inches in diameter is either in poor health or would not survive transplantation, as certified by an arborist, said tree shall be replaced either with minimum 15-gallon trees according to the Tree Replacement Scale included in the Landscaping Regulations or as provided in an approved Tree Management and Preservation Plan designed to provide more extensive and effective mitigation.	<u>X</u>	<u> </u>	<u> </u>
D. Any sycamore tree exceeding thirty-five inches in diameter shall be preserved, transplanted or replaced by an identical species of equal or greater size. Sycamore trees less than thirty-five inches in diameter shall be replaced according to the Tree Replacement Scale in the Landscaping Regulations.	<u>X</u>	<u> </u>	<u> </u>
E. In the event that all replacement trees will not fit on a property, an off-site mitigation program may be permitted; however, all replacement trees shall be located within the Specific Plan Area.	<u>X</u>	<u> </u>	<u> </u>
F. Any species of tree, other than oaks or sycamores, shall be transplanted or replaced with minimum fifteen gallon trees at minimum ratio of 1:1.	<u>X</u>	<u> </u>	<u> </u>
G. All transplanting of trees shall be performed by an experienced nursery, landscape contractor or arborist who shall care for the tree for a minimum period of six months. If any transplanted tree dies within five years of the date of transplantation, it shall be replaced according to the replacement scale for the trees removed.	<u>X</u>	<u> </u>	<u> </u>
H. Grading, placement of fill, storage of building materials and heavy equipment, structural development and hardscape (e.g., roads, sidewalks, patio slabs and pool decks), shall be prohibited within the dripline (outer edge of branches) of any oak or sycamore tree. Where these activities cannot be avoided, all trees with impacted driplines shall be retained in their current location, but replacement trees shall be provided according to the Tree Replacement Scale in the Landscaping Regulations.	<u>X</u>	<u> </u>	<u> </u>
I. During all construction and grading operations, all oak and sycamore trees on the site located adjacent to the approved limits of grading identified in the Tree Management/Preservation Plan as trees to be preserved shall be adequately fenced and protected from encroachment by grading and construction equipment. In the event that any oak or sycamore trees are inadvertently or intentionally injured or removed, they shall be replaced in accordance with the Tree Replacement Scale in the Landscaping Regulations.	<u>X</u>	<u> </u>	<u> </u>
J. Graded slopes shall be re-vegetated with native, fire-resistant vegetation prior to the issuance of certificates of use an occupancy or within six months of the termination of grading operations, whichever occurs first.	<u>X</u>	<u> </u>	<u> </u>

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
K. Landscape screening shall be provided to obscure grading scars from the view of any public road.	<u>X</u>	<u> </u>	<u> </u>
L. All projects located in a wildland fire hazard, as identified by the Fire Chief, shall be required to prepare Fuel Modification Plans. Said plans shall be incorporated as a component of the required Landscaping Plan.	<u>X</u>	<u> </u>	<u> </u>
M. Prior to the approval of any area plan or the issuance of any grading permits or building permits, whichever occurs first, the applicant shall prepare a Preliminary Fuel Modification/Landscaping Plan for approval first by the Fire Chief and then by Manager, Subdivision Division in consultation with the Manager, EMA/Harbors, Beaches and Parks, Program Planning Division. The Manager, Harbors, Beaches and Parks, Program Planning Division shall determine whether the Fuel Modification/Landscaping Plan is consistent with any Resource Management Plan and/or Tree Management Preservation Plan addressing the subject property. The Preliminary Landscaping/Fuel Modification Plan shall be incorporated into an area plan if one is required for the subject project. The plan shall show the special treatment to achieve an acceptable level of risk in regard to the exposures of structures to flammable vegetation and shall address the method of removal and installation (mechanical or hand labor), and provisions for its continuous maintenance.	<u>X</u>	<u> </u>	<u> </u>
N. Prior to the approval of any site development permit or the issuance of any building permits, whichever occurs first, the applicant shall prepare a Precise Fuel Modification/Landscaping Plan for approval first by the Fire Chief and then by the Manager, Subdivision Division in consultation with the Manager EMA/Harbors, Beaches and Parks/Program Planning Division. The Manager, Harbors, Beaches and Parks, Program Planning Division shall determine whether the Fuel Modification/Landscaping Plan is consistent with any Resource Management Plan and/or Tree Management Preservation Plan address the subject property. The precise plan shall include all preliminary plan information, as well as a plant list, an irrigation plan and a precise definition of fuel modification zone boundaries.	<u>X</u>	<u> </u>	<u> </u>
O. Installation of the approved Precise Fuel Modification/Landscaping Plan shall commence prior to the issuance of any building permits for new habitable structures, under the supervision of the Fire Chief, and shall be completed prior to the issuance of applicable use and occupancy permits. After final inspection and approval, fuel modification/landscaping shall be regularly maintained in accordance with the approved plan.	<u>X</u>	<u> </u>	<u> </u>
P. The project proposal is consistent with the remaining Fuel Modification Regulations (Section III.E) and, if applicable, the Landscaping and Fuel Modification Guidelines (Section IV.F).	<u>X</u>	<u> </u>	<u> </u>

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
VII. Animal Regulation			
The project proposal is consistent with the Animal Regulations (Section III.F).	X _____	_____	_____
VIII. Circulation Component/Phasing Component			
The project proposal is consistent with the Circulation Component and will not generate traffic beyond the levels assumed in the Traffic Analysis included in the EIR 531. The project will be phased in a manner which is consistent with the Phasing Component.	X _____	_____	_____
IX. Recreation Component			
The project proposal is consistent with the Recreation Component, and the applicant shall offer to dedicate and improve the Master Plan Riding and Hiking Trails, Master Plan Bikeways, Local Riding and Hiking Trails and Local Parks affecting the property, as required by the Recreation Plan.	X _____	_____	_____
X. Public Facilities Component			
The project proposal is consistent with the Public Facilities Component, and there are either: 1) adequate public facilities existing to serve the proposed level of development; or 2) the project will be phased to ensure that necessary infrastructure improvements are implemented commensurate with development.	X _____	_____	_____
XI. Development and Design Guidelines			
A. The project is consistent with the Grading, Drainage and Site Planning Guidelines (Section IV.C).	X _____	_____	_____
B. The project proposal is consistent with the Streetscape Guidelines (Section IV.D).	X _____	_____	_____
C. The project proposal is consistent with the Architectural Guidelines (Section IV.E).	X _____	_____	_____
XII. CONSISTENCY DETERMINATION:			
On the basis of this evaluation, I find that the following consistency determination applies:			
A. The project proposal is consistent with all of the Specific Plan Regulations and Guidelines.	_____		
B. The project proposal is inconsistent with the Specific Plan Regulations and is, therefore, inconsistent with the Specific Plan.	_____		

FOOTHILL/TRABUCO SPECIFIC PLAN CONSISTENCY CHECKLIST

REGULATION/GUIDELINE	YES	<u>CONSISTENT?</u> NO	N/A
C. The project proposal is consistent with all of the Specific Plan Regulations, but inconsistent with some of the Specific Plan Guidelines. Although the project is inconsistent with one or more of the Guidelines, the project proposal is in <u>overall compliance</u> with the Specific Plan Guidelines and consistent with the overall Goals and Objectives of the Specific Plan.	X _____		
D. The project proposal is consistent with the Specific Plan Regulations, but inconsistent with several of the Specific Plan Guidelines. Due to the number of individual Guidelines with which the project is inconsistent and the degree of the inconsistency, the project <u>cannot</u> be found in overall compliance with the Specific Plan Guidelines or consistent with the Goals and Objectives of the Specific Plan.	_____		
By: <u>Ilene Lundfelt</u>	Date: <u>3/24/2021</u>		
Title: <u>Associate Planner</u>	Division: <u>Planning</u>		

Attachment 9

Plans

GENERAL AGENCY NOTES

CONSULTANTS

securing law prior to ac

Contractor shall exercise the responsibility with architect in securing latest approved drawgs. prior to actually executing work

[illegible]

1. ALL NEW CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 ENERGY CODE (T-24), CEC, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA GREEN AND CITY OF DANA POINT MUNICIPAL CODE.

2. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING SITE CONDITIONS AND STAGGING STRATEGY AS IT RELATES TO THE SITE. ALL CONSTRUCTION AND INSTALLATION SHALL COMPLY WITH THE LATEST CONDITIONS (STATE/COUNTY) OF CODES AND ORDINANCES INCLUDING CAL OSHA AND FIRE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CODE COMPLIANCE OF WORK OF EVERY TRADE.

3. "THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATE, PAH'S, OR OTHER TOXIC SUBSTANCES SHALL BE DISCHARGED INTO ANY STORM DRAINAGE SYSTEM OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED. CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM."

4. REFER TO SHEET CN-1 & CN-2 FOR FIRE DEPARTMENT NOTES NOT SHOWN ON THIS PAGE

GENERAL FIRE DEPARTMENT NOTES

[illegible]

<p>JOHN A. SULLIVAN Associates 22386 Midway Road Lake Forest, CA 92650 John A.Sullivan@JSA-Eng.com; fred@jasa-llc.com Ph 949-235-4681 FAX 888-606-4634</p>	<p>STRUCTURAL ENGINEERING Stephen Peier, PE, President 1519 Calle Villa San Clemente, CA 92672 (949) 492-3175 Office (949) 492-1891 Fax (949) 370-6655 Cell Web: www.peierassoc.com Email: steve@peierassoc.com</p>
<p>DMJ/SOLS Stephen Peier, PE, President 1519 Calle Villa San Clemente, CA 92672 (949) 492-3175 Office (949) 492-1891 Fax (949) 370-6655 Cell Web: www.peierassoc.com Email: steve@peierassoc.com</p>	<p>1-24. CALCULATIONS Hummingbird Energy Services Contact: Denise Kowal Email: mo@hummingbirdllc4.com P.O. box 68315, Los Valley, AZ 85737 Ph 520-556-0448</p>
<p>LANSCAPE ARCHITECT (FIRM MODIFICATION & LANSCAPE) Principal: Rick Thorne, FSCA, licensed Architect 1984 Normandie Way, Ft. Lauderdale, FL 33305 Phone: 954.376.3888 Fax: 954.376.3888</p>	<p>LANSCAPE ARCHITECT (FIRM MODIFICATION & LANSCAPE) Peter C. Hansen Consulting Architect Contractors license #51552, CA Certified Architect #9773 102 Ave Professional #736 + member of ASCLA 1022 South Main St., Laguna Beach, CA 92651 (626) 945-3176 Email: petehansen@architect.com</p>
<p>2</p> <p>FIRE ASSIGNMENT/FIRE PREVENTION PLANNING REPORT PER SEPARATE ATTACHMENT OF 8-1/2X11 FORMAT PER SEPARATE ATTACHMENT OF 8-1/2X11 FORMAT</p>	<p>1</p> <p>CONCEPT FIRM MODIFICATION PLAN PH-2 CONCEPT FIRM MODIFICATION NOTES PH-3 CONCEPT FIRM MODIFICATION PLANT PALETTE PH-4 CONCEPT FIRM MODIFICATION PHOTOS</p>
<p>3</p> <p>CONCEPT FIRM MODIFICATION PLAN PH-2 CONCEPT FIRM MODIFICATION NOTES PH-3 CONCEPT FIRM MODIFICATION PLANT PALETTE PH-4 CONCEPT FIRM MODIFICATION PHOTOS</p>	<p>4</p> <p>CONCEPT FIRM MODIFICATION PLAN PH-2 CONCEPT FIRM MODIFICATION NOTES PH-3 CONCEPT FIRM MODIFICATION PLANT PALETTE PH-4 CONCEPT FIRM MODIFICATION PHOTOS</p>

THE CONTRACTOR RESPONSIBLE FOR ALL INSTALLATIONS THROUGH UTILIZING ARCHITECT'S DRAWINGS, INSTRUMENTS, AND INSTRUCTIONS, NOT THE PROJECT ITSELF, SHALL BE RESPONSIBLE TO REPRESENT THE METHOD OF CONSTRUCTION. CONTRACTOR IS TO SUPERVISE AND DIRECT THE WORK UNDER HIS CONTRACT AND IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION, METHODS, PROCEDURES, STANDARDS, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND SAFETY OF WORKMEN DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING ARCHITECTS DUE TO CONSTRUCTION, ETC. THE CONTRACTOR SHALL NOT HAVE CONTROL OVER OR CHARGE OF FIELD SAFETY, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS AND ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK SINCE THE CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION. INCLUDING TIME SCHEDULES AND TRADE SEQUENCE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

[illegible]

OWNER	PROPERTY ADDRESS
<p>Monty Kalish 1320 Seatic Dr., Escondido, CA 92029 Phone: 760-745-3947 Email: mk.freesz2000@bncglobe.net</p>	

1. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER, FIELD REPRESENTATIVE SHALL BE CONSIDERED AS NOT AS INSPECTION AND DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, UNLESS NOTED OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR HIS CONSULTANTS ARE NOT TO INCLUDE INSPECTIONS OF THE WORK PERFORMED BY THE CONTRACTOR. THE RESPONSIBILITY OF THE CONTRACTOR, ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS DURING CONSTRUCTION ARE TO BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE PROVIDED BY THE ARCHITECT AND/OR HIS CONSULTANTS. INSPECTION BY THE ARCHITECT AND/OR HIS CONSULTANTS, WHETHER OF MATERIAL, OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSURING THE QUALITY CONTROL IN THE WORK AND GENERAL CONFORMANCE WITH DESIGN, CONCEPT AND CONTRACT DRAWINGS AND SPECIFICATIONS AND THEREFORE, THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE.

2. CONTRACTOR SHALL PROVIDE ALL NECESSARY BUILDING MATERIALS, INCLUDING BUT NOT LIMITED TO, WOOD, ELECTRICAL LIGHTS, A/C EQUIPMENT, DRAPERY, CEILING BACKING SLEEVES, FRAMING FOR LIGHT FIXTURES, TRACKS, PLUMBING EQUIPMENT, COUNTERS, HANDRAILS, AND ALL OTHER ITEMS REQUIRING BACKING SUPPORT.

An aerial photograph of a field site. A dashed black rectangle is drawn on the left side of the image. Inside this rectangle, there is a small, light-colored rectangular object. A thick black arrow points from the top-right corner of the dashed rectangle towards the upper right, where the text "SITE LOCATION" is written in bold, black, capital letters. The background is a grayscale aerial view of a textured, possibly vegetated or rocky, surface.

[illegible]

10,512 SQ. FT. ZONE: R-1 SRA FIRE ZONE (TDR DISTRICT)	TRABUO OAKS RESIDENTIAL
CONSTRUCTION TYPE:	SPRINKLERED
OCCUPANCY:	3 LENSES (LOFT ABOVE AND GARAGE BELOW THE MAIN LIVING AREA)
NUMBER OF FLOORS:	R-3 /U/ SINGLE ATTACHED FAMILY DWELLING
LOT AREA CALCULATIONS	
Actual Building Footprint is 462 sf from 10,512 sf lot = 3% building footprint ratio	
Actual Landscape (less building/driveway/walks/stairs) = 91% landscape ratio	
AREA CALCULATIONS	
20601 Trabuco Oaks Dr., Trabuco Canyon, CA 92678	
LEGAL DESCRIPTION	
APR 84/10066 COUNTY OF ORANGE	
Legal description: LOT 33 NORTH AND THIR N LOT 31 TRACT 926,	
mtd: octuborn@gmail.com	
26 E 30th St, Tucson AZ 85713 Ph 520.400.9008 octuborn@gmail.com	
DATE/BUILDING DATA	
LOT SIZE/TYPE:	10,512 Sq. Ft. Zone: R-1 SRA FIRE ZONE (TDR DISTRICT)

THE ARCHITECT SHALL BE ENTITLED TO RELY UPON THE PROFESSIONAL CAPABILITY OF THE CONTRACTOR (AND HIS SUB-CONTRACTORS) FROM OWNERS' SELECTION TO SUSSE. ALL IN FIELD HANDLED IN PROFESSIONAL MANNER. THE ARCHITECT MAY REQUEST PROFESSIONAL CLARIFYING DRAWING INTERPRETATIONS AND OTHER INQUIRIES DURING BID & CONSTRUCTION IN A TIMELY MANNER AS IS THE GENERAL CONTRACTOR TO FIELD VERIFY AND REPORT ANY DISCREPANCIES ON FIELD NOT DISCLOSED TO THE ARCHITECT PRIOR TO THE REMOVAL OF MATERIALS TO THE PROJECT TO CAREFULLY EXAMINE ALL PORTIONS TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK TO BE REPORTED IN WRITING TO ARCHITECT PRIOR TO BEGINNING WORK. NOTIFY THE ARCHITECT IF ANY CONDITIONS EXIST WHICH WILL PREVENT THE PROPOSED WORK TO BE COMPLETED IN A SATISFACTORY MANNER AS WELL AS ANY AND ALL ADDITIONAL WORK TO BE PERFORMED BEFORE STARTING WORK. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF SUBSURFACES WITH OWNER, ARCHITECT AND DEVELOPER FOR ENTIRE PROJECT SITE.


An aerial photograph of a residential property. A black dashed line outlines a specific area of interest, which appears to be a cleared or disturbed patch of land within a wooded area. The surrounding property includes a large house with a gabled roof, a driveway with a white car, and various trees and shrubs. The image is oriented vertically on the page.

[illegible]

ST LEVEL (MAIN DWELLING)	462.0 SF		131.0		1120.0	
	462.0 SF	0.0	0.0	0.0	0.0	0.0
STORAGE LOWER LEVEL (SUBTERRAN)	462.0 SF	75.0 SF	0.0	0.0	0.0	0.0
STORAGE UPPER LEVEL (UPPER LEVEL)	236.0 SF	0.0	0.0	0.0	0.0	0.0
TOTAL LIVING AREA	462.0 SF	0.0	131.0	0.0	1120.0	0.0

3. FAMILIARIZE THEMSELVES WITH THE CONTENTS OF ALL BOX OF THIS SHEET. ALL DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS PARTS OF THE CONTRACT. IF CLARIFICATION IS REQUIRED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK. NO REQUEST FOR CHANGE ORDER WILL BE CONSIDERED BASE UPON INFORMATION FOUND IN ONE AREA OF THE PLANS OR SPECIFICATIONS. ALL INFORMATION DERIVED FROM ANY OTHER PART OF THE PLANS SHALL BE DEEMED TO BE IN ALL SECTIONS.

[illegible]

OF ELEVATION	ID	INSIDE DIAMETER INCLUDED	O W/ O	ROUND WITH WITHOUT
 <p>A</p> <p>GRID NUMBER/LETTER</p>				

This recent low-rise lot comprising of 10,512 square feet of cactus, live oaks, olive trees and other native plants, is being developed into a 10-unit townhome complex. Along with low growth vegetation, the use of slope starts at street and uniformly slopes up to 65 feet of upper rear corner of site. Combination of building retaining walls and site retaining walls offer grades to step down as tiers to accommodate the new infrastructure of the suburban garage and depressed driveway portion.

1 OF 1 SHEETS

A-1

OWNER/SITE ADDRESS:
 CONTACT: **Alexander Tchourbanov**
20601 Trabuco Oaks Dr,
Trabuco Canyon, CA 92678
 Ph 520.400.9008 Email: achurbanov@gmail.com

FIRE PROTECTION PLAN

THOURBANOV RESIDENCE

NEW DWELLING


COVER PAGE

DATE: **SEP 2016/NOV 2016**

SCALE: **1/8"=1'-0"**

JOB NO. _____

SHEET _____



REVISIONS NO. _____

RESSUE FIRE DEPT 11-1-19 _____

RESSUE FIRE DEPT 3-23-20 _____

RESSUE PLANNING 7-13-20 _____

architect

JOHN A. SALAT ARCHITECTS

22386 Woodgrove Road, Lake Forest, CA 92663
 PH 949-235-4847 email: freeingwinds@earthlink.net
zenarchitect.com

GENERAL AGENCY NOTES	1. REFER TO SHEET A-1 FOR TYPICAL MULTI-AGENCY NOTES
GENERAL FIRE DEPARTMENT NOTES	1. A FUEL MODIFICATION PLAN IS PART OF THESE DOCUMENTS REFERENCE AS OCFO SERVICE REQUEST #284008 (REFER TO FM SHEETS) AS REQUIRES A SEPARATE AND INDEPENDENT APPROVAL PROCESS FROM OTHER COUNTY AGENCIES. 2. ALL FIRE CODES SHALL COMPLY FROM 2019 CALIFORNIA BUILDING CODES "CBC", 2019 CALIFORNIA FIRE CODES "CFC" AND NATIONAL FIRE CODE ASSOCIATION (NFPA) STANDARDS AND LOCAL AMENDMENTS INCLUDING FUEL MODIFICATIONS FROM FM 125 OCFO GUIDELINES. 3. THIS PROJECT IS LOCATED IN A VERY HIGH FIRE SEVERITY ZONE "SRA" WITHIN STATE RESPONSIBILITY AND REQUIRES AN PREAPPROVED PR 125 SF#284112 PRIOR TO ISSUING A SITE PLAN "P" 160 SR #284008 4. SEE SHEET A-2 FOR EXISTING FIRE HAZARD LOCATIONS OFF-SITE 5. ALL CONSTRUCTION PRINCIPLES COUPLED TO FIRE MITIGATION MEASURE SHALL BE CONSTRUCTED TO MAINTAIN THE SAME FIRE-RESISTANT STANDARDS AS MEET PER CBC7A AND CRC 337. REFER TO INFORMATION GENERATED BY FIREWISE FOR FIRE ASSESSMENT/FIRE PREVENTION PLANNING REPORTS ALONG WITH FM SHEETS FOR LANDSCOPE FUEL MODIFICATION PLANS. 6. FIRE MITIGATION MEASURES: FIRE SPRINKLERS SHALL BE INSTALLED IN THE ATTIC SPACE. SYSTEM DESIGN WILL REQUIRE A FOUR (4) HEAD CALCULATION FOR THE SPRINKLER DESIGN. THE HEADS SHALL BE LISTED DOMESTIC DEMAND SHUTOFF VALVES MAY BE OF A SMALL ORIFICE TYPE SUCH AS 3/8 OR 7/16. LISTED DOMESTIC DEMAND SHUTOFF VALVES MAY BE USED TO PREVENT MINIMIZE UPGRADING METER SIZES WHERE POSSIBLE. COPPER PIPING IS REQUIRED IN ATTICS AND HEADS SHALL BE PROTECT PIPING IN ACCORDANCE WITH THEIR LISTINGS. AND PROJECTIONS ATTACHED TO EXTERIOR FIRE-RESISTIVE WALLS SHALL BE CONSTRUCTED TO MAINTAIN THE SAME FIRE-RESISTANT STANDARDS AS THE EXTERIOR WALLS OF THE STRUCTURE. THE EXTERIOR SURFACE OR CLADDING SHALL MEET SECTION 707A.3.1 WHEN CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A1. THE ROOF SHALL BE TYPE "A" AND COMPLY WITH ASTM D 3909 FOR UNFACED INSULATION. THE EXTERIOR SURFACE SHALL HAVE THE SAME CLASS "A" RATING AS ROOF ACCESSORIES WITH ATTACHMENT ASSEMBLY SHALL HAVE THE SAME CLASS "A" RATING AS ROOF ALL WINDOW ASSEMBLIES SHALL EXCEED THE CBC7A, CRC337 REQUIREMENTS BY MINIMUM 10% AND EXTERIOR DOORS SHALL EXCEED THE CBC7A, CRC337 REQUIREMENTS SHALL MEET 708A.2.1 EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLY REQUIREMENTS SHALL MEET 708A.2.1 EXTERIOR WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLY SHALL MEET NFPA 252. EXTERIOR DOORS SHALL COMPLY TO 708A.3. EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH SECTION 2406 SAFETY GLAZING, OR GLAZING SHALL BE OF LISTED TYPE OR TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2 AND FOR EXTERIOR DOOR GLAZING, GLAZING IN EXTERIOR DOORS SHALL COMPLY WITH SECTION 708A.3.1 AND WALL ASSEMBLY BEHIND STRUCTURAL GLASS VENEER SHALL COMPLY WITH SECTION 707A.3. ADDITIONALLY ALL GENERAL RELATED FIRE CODE SECTION SHALL APPLY

GENERAL NOTES FOR FIRE MITIGATION	<p>NOTE: REFER TO GN-1 SHEET FOR FURTHER BREAKDOWN CODES FROM CHAPTER 7A SECTION AS INFORMATION BELOW IS A HIGHLIGHT FROM FIRE STUDY REPORT.</p> <p>GENERAL: CBC7A and CRC3337 construction principles coupled to mitigation measure, interlocking fuel treatment, and progressive landscape design.</p> <p>MITIGATION MEASURES: Appendages and projections attached to exterior fire-resistant walls, shall be constructed to maintain the same fire-resistant standards as the exterior walls of the structure.</p> <p>ROOF: The roof area will have one layer of minimum 72 pound (32.4 kg) mineral-surfaced, non-perforated cap sheet complying with ASTM D 3909 installed over the combustible decking.</p> <p>FIRE SPRINKLERS: Fire sprinklers shall be installed in the attic space, system design will require a four (4) head calculation for the sprinkler design. The four head calculation must have a minimum .05 density design, QR and intermediate temperature heads; the heads may be of a small orifice type such as 3/8 or 7/16. Listed domestic demand shutoff valves may be used to try to minimize upgrading meter sizes where possible. Copper piping is required in the attics; CPVC will only be permitted in the attic if listed heads are used to protect piping in accordance with their listing.</p> <p>WINDOWS: All window assemblies shall exceed the CBC7A, CRC337 requirements by having both inner and outer tempered plate glass.</p> <p>708A.2.1 Exterior windows, skylights and exterior glazed door assembly requirements</p> <p>Exterior windows, skylights and exterior glazed door assemblies shall comply with one of the following requirements: Be constructed of multipane glazing with a minimum of one tempered pane meeting the requirements of Section 2406 Safety Glazing, or Be constructed of glass block units, or Have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 257, or Be tested to meet the performance requirements of SFM Standard 12-7A-2</p> <p>708A.2.1 Exterior windows, skylights and exterior glazed door assembly requirements. Exterior windows, skylights and exterior glazed door assemblies shall comply with one of the following requirements: Be constructed of multipane glazing with a minimum of one tempered pane meeting the requirements of Section 2406 Safety Glazing, or Be constructed of glass block units, or Have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 257, or Be tested to meet the performance requirements of SFM Standard 12-7A-2</p> <p>708A.2.2 Structural glass veneer: The wall assembly behind structural glass veneer shall comply with Section 707A.3.</p> <p>708A.3 Exterior doors: Exterior doors shall comply with one of the following: The exterior surface or cladding shall be of non combustible material. The exterior surface or cladding shall be of ignition resistant material.</p> <p>The exterior door shall be constructed of solid core wood that complies with the following requirements: Stiles and rails shall not be less than 1 3/8 inches thick. Panels shall not be less than 1 1/4 inches thick, except for the exterior perimeter of the panel that shall be permitted to taper to a tongue not less than 3/8 inch thick. The exterior door assembly shall have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 252.</p> <p>The exterior surface or cladding shall be tested to meet the performance requirements of Section 707A.3.1 when tested in accordance with ASTM E2707. The exterior surface or cladding shall be tested to meet the performance requirements of SFM Standard 12-7A1.</p> <p>708A.3.1 Exterior door glazing: Glazing in exterior doors shall comply with Section 708A.2.1.</p> <p>Garage door seal must prevent ember intrusion.</p> <p>708A.4 Weather stripping: Exterior garage doors shall be provided with neoprene striping to resist the intrusion of embers from entering through gaps between doors and door openings when visible gaps exceed 1/8 inch (3.2 mm). Weather striping or seals shall be installed on the bottom, sides, and tops of doors to reduce gaps between doors and door openings to 1/8 inch (3.2 mm) or less.</p> <p>Solar panel must have the same Class A just like roof covering, plan check process assures better evaluate a solar PV system for fire performance, an update of the UL1703 was required.</p> <p>The new fire test protocol necessitates the same two fire tests for the module needed for the old UL1703 and borrowed from the roof fire rating standard, UL790:</p>
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FIRE PROTECTION CHECK LIST	NOTE: N/A = CONDITIONS NOT APPLICABLE
REFER TO FUEL MODIFICATION SET "SHEET GN-1" FOR CODE EXPANSION TO BELOWS OUTLINE	
Fire Protection Plan 2019 CBC Chapter 7A Screening Form:	
Chapter 7A Code section	Yes No OCCA has approved the following:
703A.2 Qualifications by Testing	X
703A.3 Approved Agency	X
703A.4 Labeling	X
703A.5 Weathering and surface treatment protection	X
703A.5.2.1 Fire-retardant-treated wood	X
703A.5.2.2 Fire-retardant-treated wood shingles and shakes	N/A
703A.5.3 Surface treatment protection	X
703A.6 Alternate for materials, design, tests methods of construction	X
703A.7 Standards of Quality 704A.2 Ignition-Resistant Material	X
704A.3 Conditions of acceptance for ignition-resistant material tested in accordance with ASTM E84 or UL 723	X
704A.4 Alternate methods for determining ignition-resistant material	X
705A.1 Roofing General	X
705A.2 Roof Coverings	X
705A.3 Roof Valleys	X
705A.4 Roof Gutters	X
706A.1 Vents General	X
706A.2 Vents Requirements	X
706A.3 Ventilation opening on the underside of eaves and cornices	X
707A.2 Exterior Covering General	X
707A.3 Exterior Walls	X
707A.3.1 Conditions of acceptance when tested in accordance with ASTM E2707	X
707A.3.2 Extent of Exterior Wall Covering	X
707A.4 Open Roof Eaves	X
707A.5 Enclosed Roof Eaves and Roof Eave Soffits	X
707A.6 Exterior Porch Ceilings	X
707A.7 Floor Projections	X
707A.8 Underfloor Protection	X
707A.9 Underside of Appendages	X
707A.10 Conditions of acceptance when tested in accordance with ASTM E2957	X
708A.2.1 Exterior Windows, Skylights and Doors General	X
708A.2. Exterior Glazing	X
708A.2.1 Exterior Windows, Skylights and exterior glazed door assembly requirements	X
708A.2.2 Operable Skylights	N/A
708A.2.3 Structural glass veneer	X
708A.3 Exterior Doors	X
708A.3.1 Exterior Door Glazing	X
708A.4 Garage Door Perimeter Gap	X
709A.2 Decking Where required	X
709A.3 Decking Surfaces	X
709A.4 Requirements of type of Ignition-resistant material in Section 709A.3, Item 1	X
709A.4.1 Conditions of acceptance for ASTM E2632	X
709A.4.2 Conditions of acceptance for ASTM E2726	X
709A.5 Requirements for type of material in Section 709A.3, Item 7	X
710A.1 Accessory Structures General	N/A
710A.2 Accessory Structures Applicability	N/A
710A.3 Accessory Structures Where required	N/A
710A.3.1 Accessory Building Requirements	N/A
710A.3.2 Attached miscellaneous structure requirements	N/A
710A.3.3 Detached miscellaneous structure	X

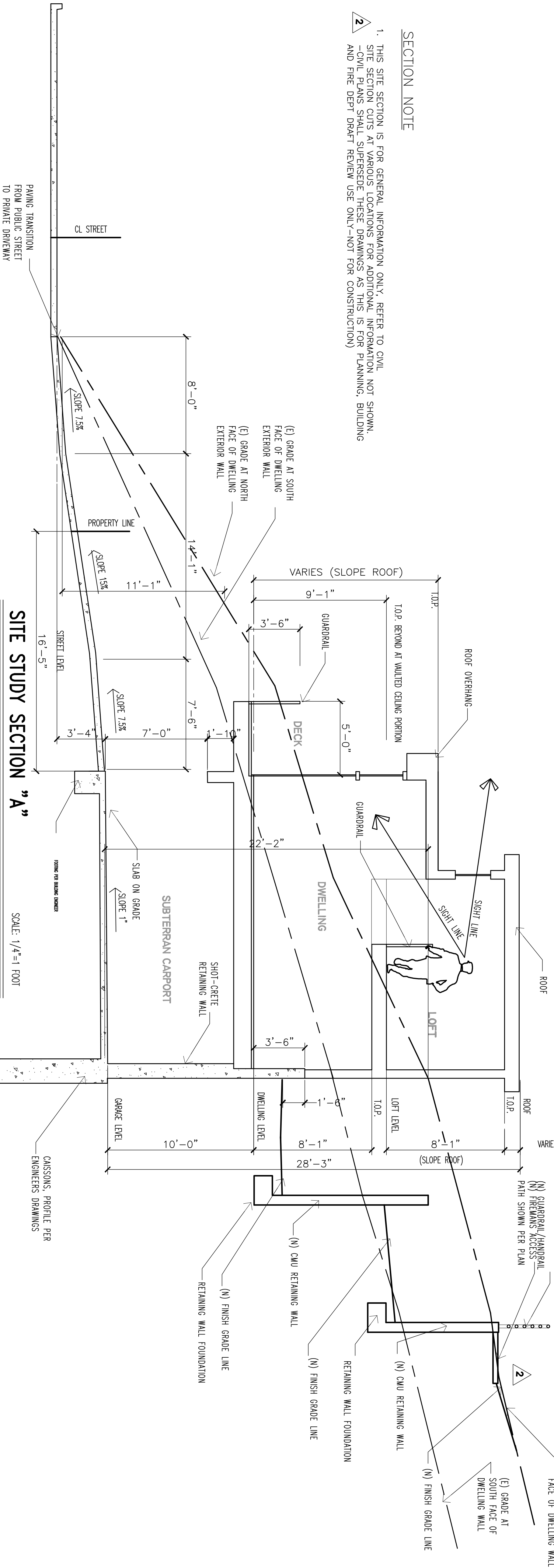
OWNER/SITE ADDRESS: CONTACT: Alexander Tchourbanov 20601 Trabuco Oaks Dr, Trabuco Canyon, CA 92678 Ph 520.400.9008 Email: ochurbanov@gmail.com	<div><div>architect</div><div>JOHN A. SALAT ARCHITECTS 22386 Woodgrove Road, Lake Forest, CA 92630 PH 949-235-4847 email: freeingwinds@earthlink.net zenarchitect.com</div></div>
1 OF 07 SHEETS	CONTINGENT shall exercise the securing latest approved drawings prior to actually executing work
REVISIONS	NO.
REISSUE FIRE DEPT 11-1-19	
REISSUE FIRE DEPT 3-23-20	
REISSUE PLANNING 7-13-20	

APN 94210206 COUNTY OF ORANGE Zoning: R 1 SRA FIRE ZONE Legal description: LOT 33 NORTH AND THR N LOT 31 TRACT 926	
Name of community: (FOR DISTRICT) TRABUCO OAKS RESIDENTIAL OF FOOTHILL/TRABUCO SPECIFIC PLAN Zoning: R 1 SRA FIRE ZONE	
List the final tract and lot numbers on the line(s) below that this form is associates to:	
Signature, Name:	Date: 3-23-20
CHECKED DATE: 3-23-20 SCALE: AS SHOWN ON PLANS JOB NO.	
DRAWN DATE: 3-23-20 SCALE: AS SHOWN ON PLANS JOB NO.	
SHEET	

2 GN-1 1 OF 07 SHEETS	
OWNER/SITE ADDRESS: CONTACT: Alexander Tchourbanov 20601 Trabuco Oaks Dr, Trabuco Canyon, CA 92678 Ph 520.400.9008 Email: ochurbanov@gmail.com	
JOHN A. SALAT ARCHITECTS 22386 Woodgrove Road, Lake Forest, CA 92630 PH 949-235-4847 FAX 888-608-4934 HTTP://ZenArchitect.com	

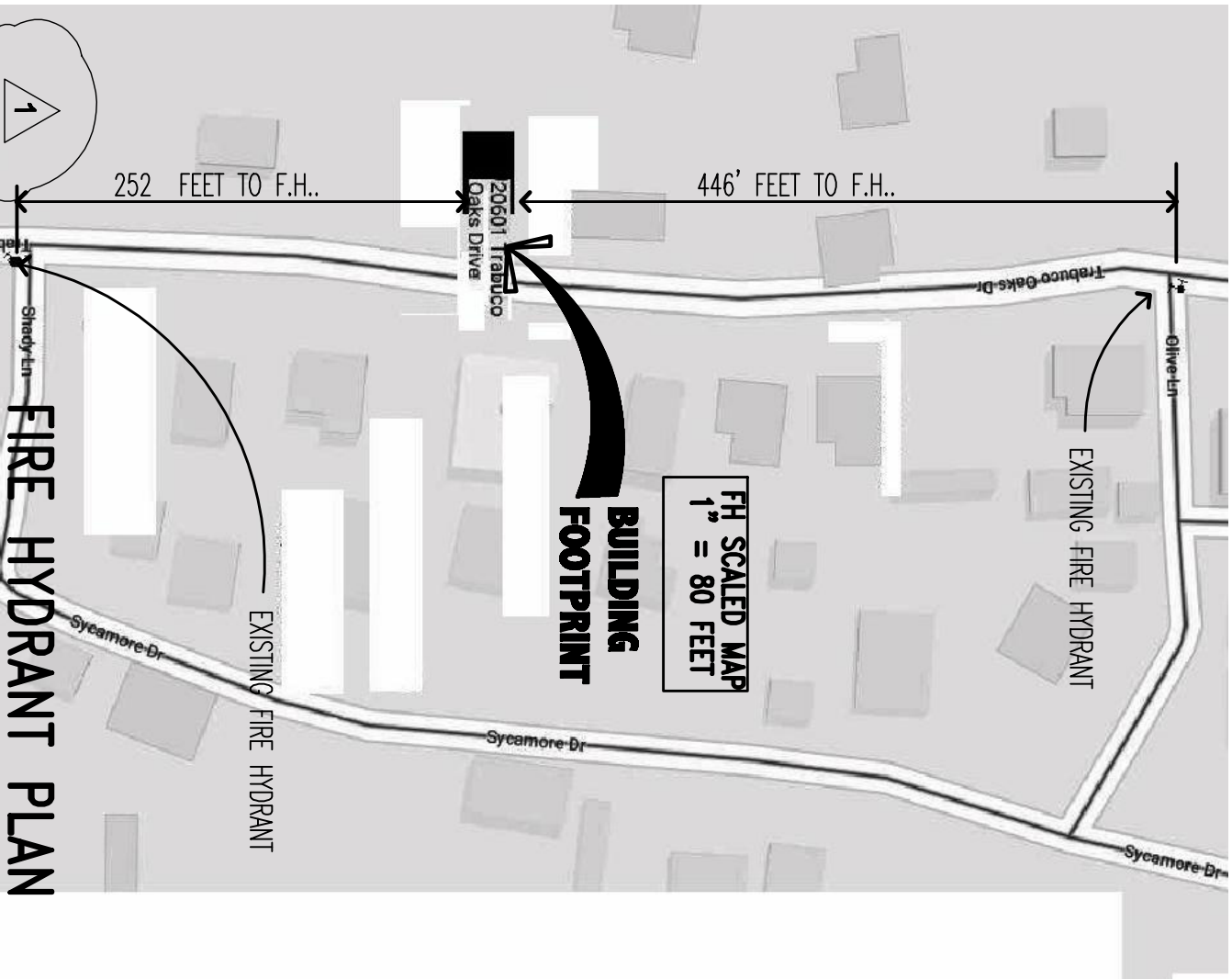
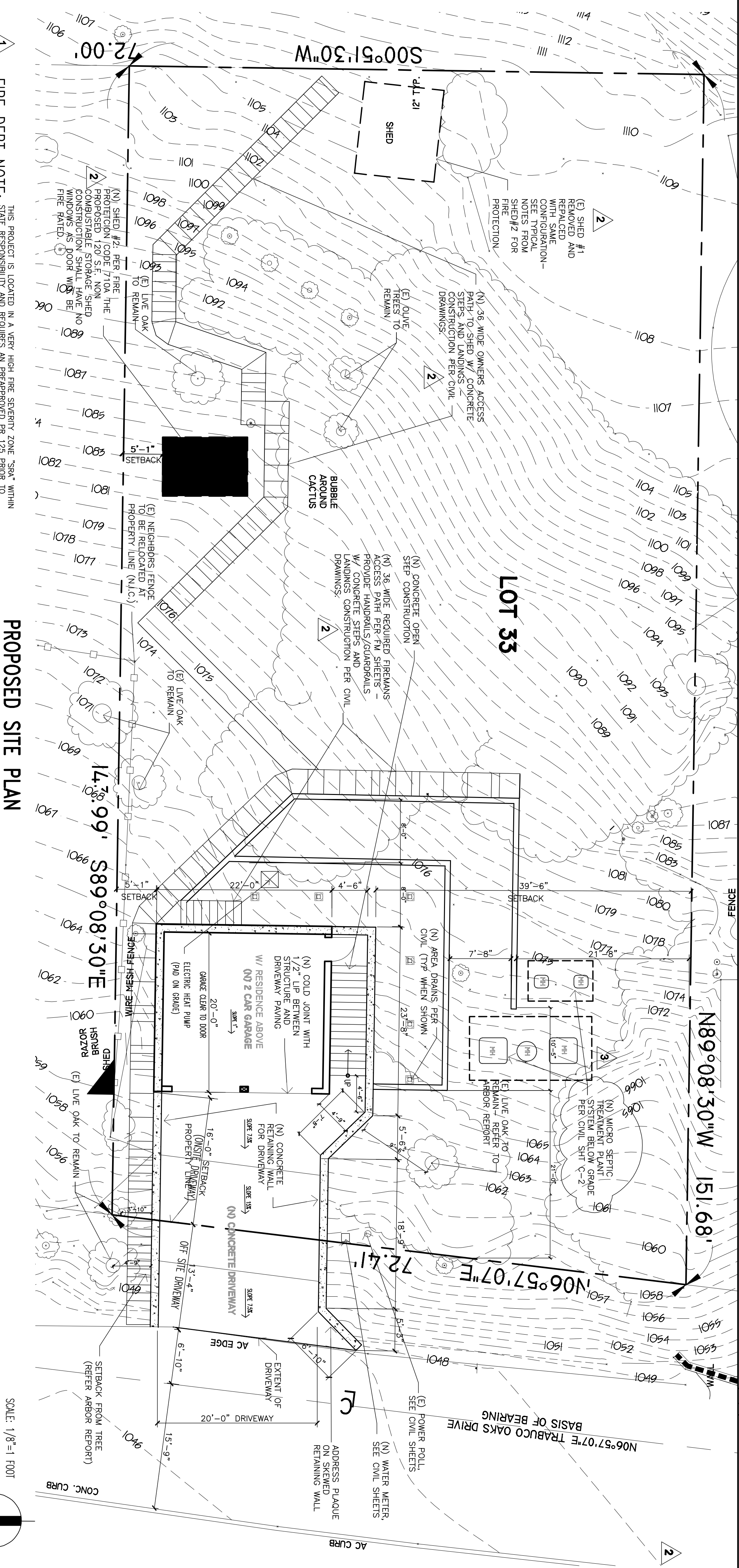
SECTION NOTE

1. THIS SITE SECTION IS FOR GENERAL INFORMATION ONLY. REFER TO CIVIL SITE SECTION CUTS AT VARIOUS LOCATIONS FOR ADDITIONAL INFORMATION NOT SHOWN.
-CIVIL PLANS SHALL SUPERSEDE THESE DRAWINGS AS THIS IS FOR PLANNING, BUILDING AND FIRE DEPT DRAFT REVIEW USE ONLY-NOT FOR CONSTRUCTION)
- 2



SITE PLAN NOTES

1. THIS SITE PLAN IS FOR GENERAL INFORMATION ONLY. REFER TO CIVIL SITE SECTION CUTS AT VARIOUS LOCATIONS FOR ADDITIONAL INFORMATION NOT SHOWN.
-CIVIL PLANS SHALL SUPERSEDE THESE DRAWINGS AS THIS IS FOR PLANNING, BUILDING AND FIRE DEPT DRAFT REVIEW USE ONLY-NOT FOR CONSTRUCTION)
2. SEE A-1, A-2 & A-3 FOR TYPICAL FIRE PREVENTION NOTES AND STD REFERENCES
3. ALL FINISHES, MATERIALS, AND EXTERIOR STAIRS IF APPLICABLE WILL BE UNDER SEPARATE PERMIT.
4. VERIFY LOCATION AND P.O.C. INSTRUCTIONS WITH UTILITY COMPANIES FOR REUSE OR REPLACEMENT. SEE EDP SHEET
5. THE CONTRACTOR SHALL LAY OUT ALL WORK AND ESTABLISH ALL NECESSARY MARKERS AND GRADING STAKES AS REQUIRED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL LAYOUT AND GRADING INFORMATION.
7. ROOF AND OVERFLOW DRAINS, DOWN SPOUTS AND ROOF GUTTERS SHALL COMPLY WITH ALL APPLICABLE CODES AND STANDARDS. DRAINS SHALL BE EFFECTIVELY DRAINED AND WATER SHALL NOT ACCUMULATE ON A ROOF. DRAINS SHALL BE EFFECTIVELY DRAINED AND WATER SHALL NOT ACCUMULATE ON A ROOF. DRAINS SHALL BE EFFECTIVELY DRAINED AND WATER SHALL NOT ACCUMULATE ON A ROOF.
8. LOCATIONS APPROVED BY THE BUILDING OFFICIAL. SUCH WATER SHALL BE CONVEYED THROUGH GUTTERS, LEADERS, DISCHARGED PERMITS OR OTHER MEANS AS APPROVED BY THE BUILDING OFFICIAL. (15.08.022 HH) THIS PROJECT SHALL HAVE SHEET FLOW OF WATER SPILLING UNIFORM AT 1.2-INCH OVERHANG OVER PLANKED AS APPROVED NON BUILDING EDGE TO AREA DRAINS AT MINIMUM 2% SLOPE TO LOW POINT OF DRAINAGE AS SHOWN PER CIVIL PRELIM GRADING PLANS. ALL THESE AREAS WHERE DRAINS ARE SHOWN PER CIVIL PRELIM GRADING PLANS. ALL THESE AREAS WHERE DRAINS ARE SHOWN PER CIVIL PRELIM GRADING PLANS. ALL THESE AREAS WHERE AREAS DRAINS AS NOTED PER CIVIL DRAWINGS



FIRE DEPT NOTE: THE PROJECT IS LOCATED IN A VERY HIGH FIRE SEVERITY ZONE. "SEA" WITHIN STATE RESPONSIBILITY AND REQUIRED (AS PREAPPROVED) PER 125 PRIOR TO ISSUING A SITE PLAN "P" 160" (SEE PM SHEETS FOR ADDITIONAL INFO)

ROOF NOTES

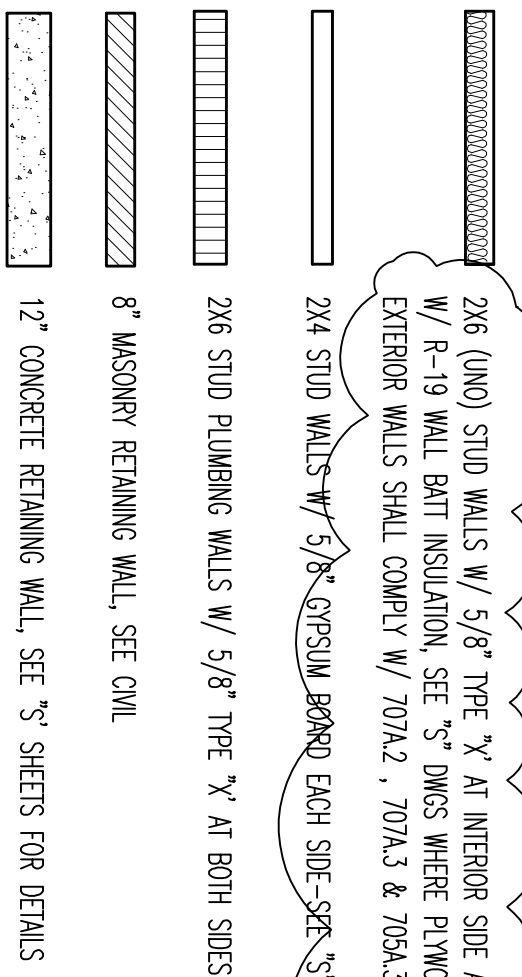
1. SHEET TO SH-1-1 FOR GENERAL, PER NOTES NOTED ON SHEET A-1 FOR STANDARD COVER PAGE NOTES FOR FIRE PROTECTION AND MISCELLANEOUS CODE PROFESSIONS.
2. ALL SLOPES AND OVERHANGS ARE AS NOTED ON PLANS (FIELD VENTRY TO MATCH EXISTING)
3. FOR TYPICAL, SYMBOLS, ABBREVIATIONS AND NOTES, SEE COVER PAGE AND SH-1 SHEET FOR FIRE CODE NOTES NOT SHOWN
4. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATION PER BUILDING CODES THROUGH CONTINUOUS SOFFIT VENTS AND EAVE AND DOWNER VENTS PER CBC SECTIONS 705A THROUGH 706A.
5. ROOF WEIGHT PER POUND 300 lb A SQUARE
6. EXPOSED ROOF PIPES, VENTS, AND FLASHING TO (M) ROOF COLOR.
7. ROOF VENTILATION SHALL BE PER SECTION 706A.1, 706A.2, 706A.3, 706A.4, 706A.5, 706A.6, 706A.7, 706A.8, 706A.9, 706A.10, 706A.11, 706A.12, 706A.13, 706A.14, 706A.15, 706A.16, 706A.17, 706A.18, 706A.19, 706A.20, 706A.21, 706A.22, 706A.23, 706A.24, 706A.25, 706A.26, 706A.27, 706A.28, 706A.29, 706A.30, 706A.31, 706A.32, 706A.33, 706A.34, 706A.35, 706A.36, 706A.37, 706A.38, 706A.39, 706A.40, 706A.41, 706A.42, 706A.43, 706A.44, 706A.45, 706A.46, 706A.47, 706A.48, 706A.49, 706A.50, 706A.51, 706A.52, 706A.53, 706A.54, 706A.55, 706A.56, 706A.57, 706A.58, 706A.59, 706A.60, 706A.61, 706A.62, 706A.63, 706A.64, 706A.65, 706A.66, 706A.67, 706A.68, 706A.69, 706A.70, 706A.71, 706A.72, 706A.73, 706A.74, 706A.75, 706A.76, 706A.77, 706A.78, 706A.79, 706A.80, 706A.81, 706A.82, 706A.83, 706A.84, 706A.85, 706A.86, 706A.87, 706A.88, 706A.89, 706A.90, 706A.91, 706A.92, 706A.93, 706A.94, 706A.95, 706A.96, 706A.97, 706A.98, 706A.99, 706A.100, 706A.101, 706A.102, 706A.103, 706A.104, 706A.105, 706A.106, 706A.107, 706A.108, 706A.109, 706A.110, 706A.111, 706A.112, 706A.113, 706A.114, 706A.115, 706A.116, 706A.117, 706A.118, 706A.119, 706A.120, 706A.121, 706A.122, 706A.123, 706A.124, 706A.125, 706A.126, 706A.127, 706A.128, 706A.129, 706A.130, 706A.131, 706A.132, 706A.133, 706A.134, 706A.135, 706A.136, 706A.137, 706A.138, 706A.139, 706A.140, 706A.141, 706A.142, 706A.143, 706A.144, 706A.145, 706A.146, 706A.147, 706A.148, 706A.149, 706A.150, 706A.151, 706A.152, 706A.153, 706A.154, 706A.155, 706A.156, 706A.157, 706A.158, 706A.159, 706A.160, 706A.161, 706A.162, 706A.163, 706A.164, 706A.165, 706A.166, 706A.167, 706A.168, 706A.169, 706A.170, 706A.171, 706A.172, 706A.173, 706A.174, 706A.175, 706A.176, 706A.177, 706A.178, 706A.179, 706A.180, 706A.181, 706A.182, 706A.183, 706A.184, 706A.185, 706A.186, 706A.187, 706A.188, 706A.189, 706A.190, 706A.191, 706A.192, 706A.193, 706A.194, 706A.195, 706A.196, 706A.197, 706A.198, 706A.199, 706A.200, 706A.201, 706A.202, 706A.203, 706A.204, 706A.205, 706A.206, 706A.207, 706A.208, 706A.209, 706A.210, 706A.211, 706A.212, 706A.213, 706A.214, 706A.215, 706A.216, 706A.217, 706A.218, 706A.219, 706A.220, 706A.221, 706A.222, 706A.223, 706A.224, 706A.225, 706A.226, 706A.227, 706A.228, 706A.229, 706A.230, 706A.231, 706A.232, 706A.233, 706A.234, 706A.235, 706A.236, 706A.237, 706A.238, 706A.239, 706A.240, 706A.241, 706A.242, 706A.243, 706A.244, 706A.245, 706A.246, 706A.247, 706A.248, 706A.249, 706A.250, 706A.251, 706A.252, 706A.253, 706A.254, 706A.255, 706A.256, 706A.257, 706A.258, 706A.259, 706A.260, 706A.261, 706A.262, 706A.263, 706A.264, 706A.265, 706A.266, 706A.267, 706A.268, 706A.269, 706A.270, 706A.271, 706A.272, 706A.273, 706A.274, 706A.275, 706A.276, 706A.277, 706A.278, 706A.279, 706A.280, 706A.281, 706A.282, 706A.283, 706A.284, 706A.285, 706A.286, 706A.287, 706A.288, 706A.289, 706A.290, 706A.291, 706A.292, 706A.293, 706A.294, 706A.295, 706A.296, 706A.297, 706A.298, 706A.299, 706A.300, 706A.301, 706A.302, 706A.303, 706A.304, 706A.305, 706A.306, 706A.307, 706A.308, 706A.309, 706A.310, 706A.311, 706A.312, 706A.313, 706A.314, 706A.315, 706A.316, 706A.317, 706A.318, 706A.319, 706A.320, 706A.321, 706A.322, 706A.323, 706A.324, 706A.325, 706A.326, 706A.327, 706A.328, 706A.329, 706A.330, 706A.331, 706A.332, 706A.333, 706A.334, 706A.335, 706A.336, 706A.337, 706A.338, 706A.339, 706A.340, 706A.341, 706A.342, 706A.343, 706A.344, 706A.345, 706A.346, 706A.347, 706A.348, 706A.349, 706A.350, 706A.351, 706A.352, 706A.353, 706A.354, 706A.355, 706A.356, 706A.357, 706A.358, 706A.359, 706A.360, 706A.361, 706A.362, 706A.363, 706A.364, 706A.365, 706A.366, 706A.367, 706A.368, 706A.369, 706A.370, 706A.371, 706A.372, 706A.373, 706A.374, 706A.375, 706A.376, 706A.377, 706A.378, 706A.379, 706A.380, 706A.381, 706A.382, 706A.383, 706A.384, 706A.385, 706A.386, 706A.387, 706A.388, 706A.389, 706A.390, 706A.391, 706A.392, 706A.393, 706A.394, 706A.395, 7

FLOOR PLAN NOTES

1. REFER TO COVER SHEET FOR ADDITIONAL INFORMATION NOT SHOWN
2. REFER TO SH-04-1 FOR GENERAL FIRE NOTES NOT SHOWN
3. SMOKE DETECTORS PER 2019 C.A.C. SEE
4. CONTRACTOR SHALL FIELD ~~THE~~ BOTH HORIZONTAL AND VERTICAL DIMENSIONS TO ENSURE PROPER FIT FOR ALL DETAILS-REPORT TO THE ARCHITECT IMMEDIATELY TO SECURE INSTRUCTIONS SHOULD INFORMATION BE INCORRECTLY NOTED

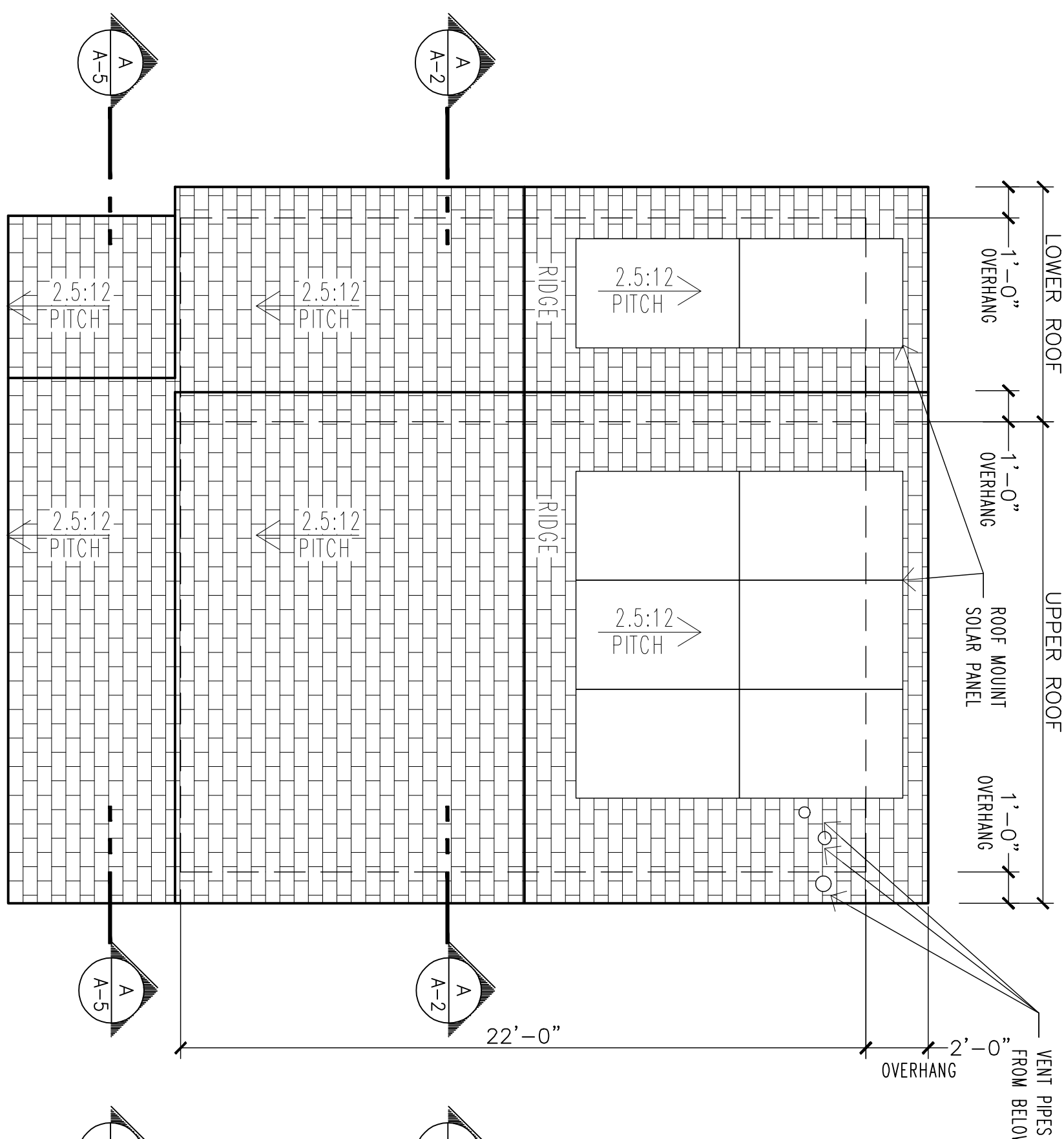
ARCHITECTURAL WALL SYMBOLS

NOTE: STRUCTURAL DRAWINGS SHALL SUPERCEDE WHERE IN CONFLICT, SEE "S" SHITS FOR POST NOT SHOWN



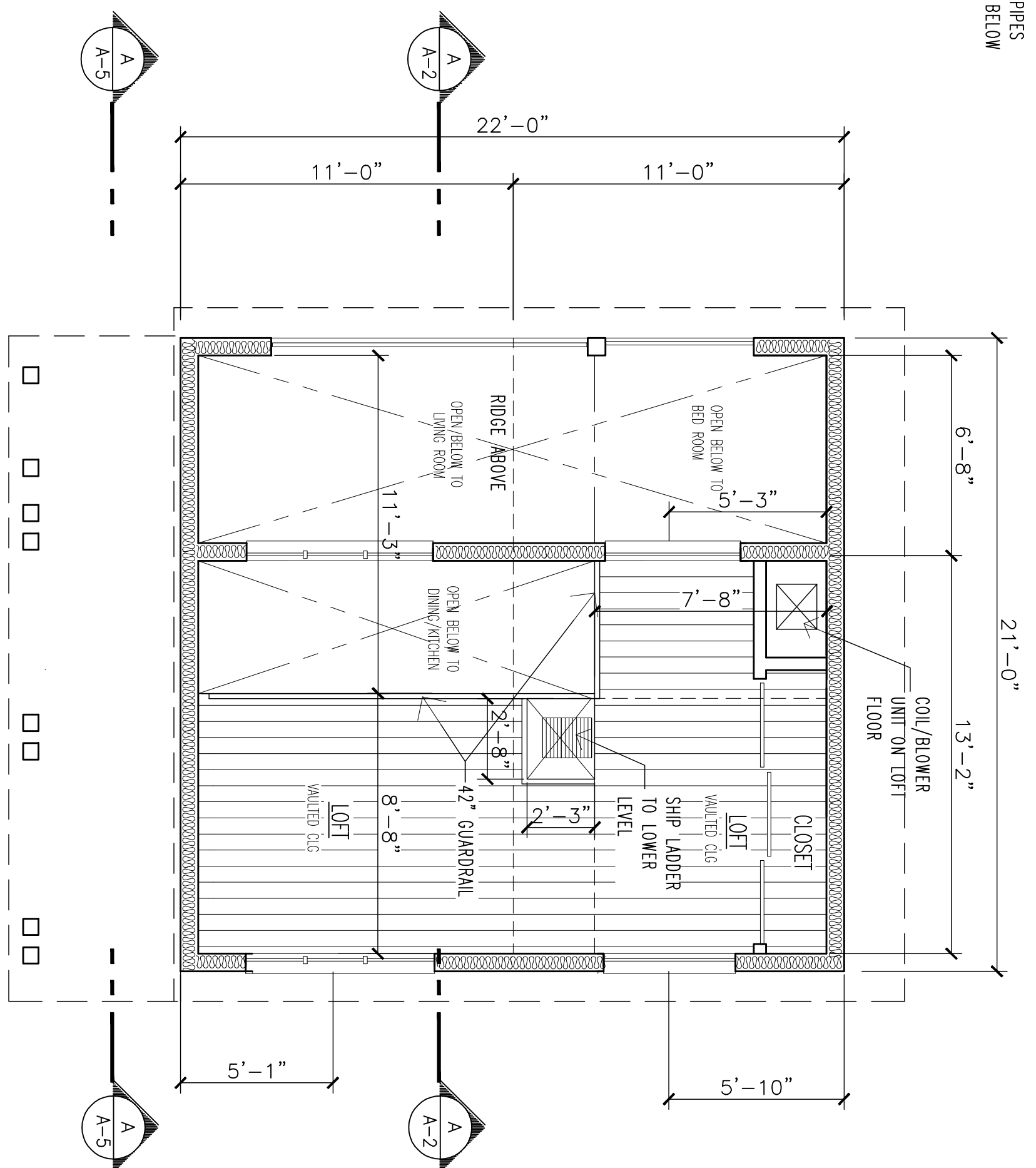
ROOF PLAN

SCALE: 1/4" = 1'-0"



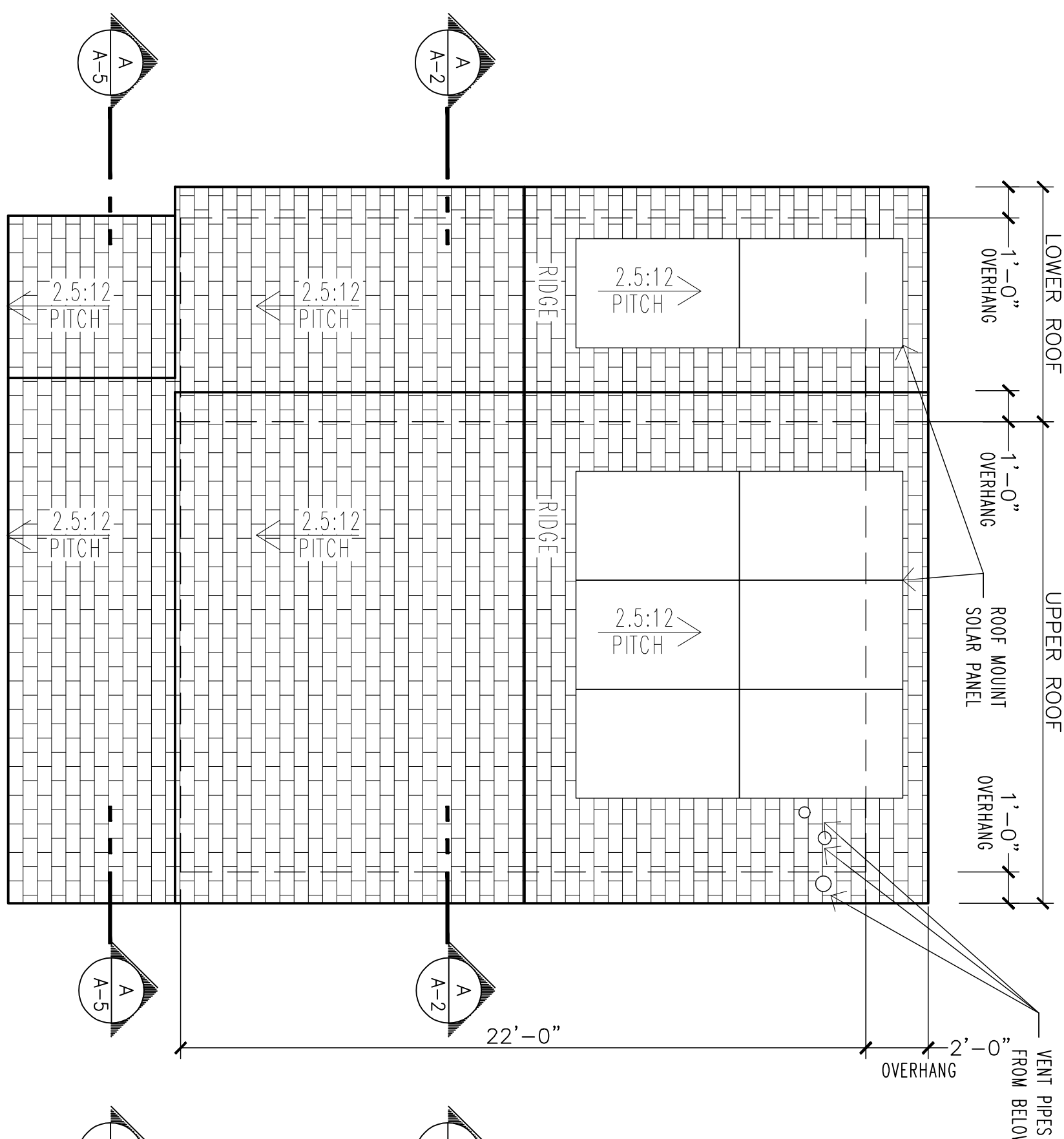
FLOOR PLAN (LOFT LEVEL)

SCALE: 1/4" = 1'-0"



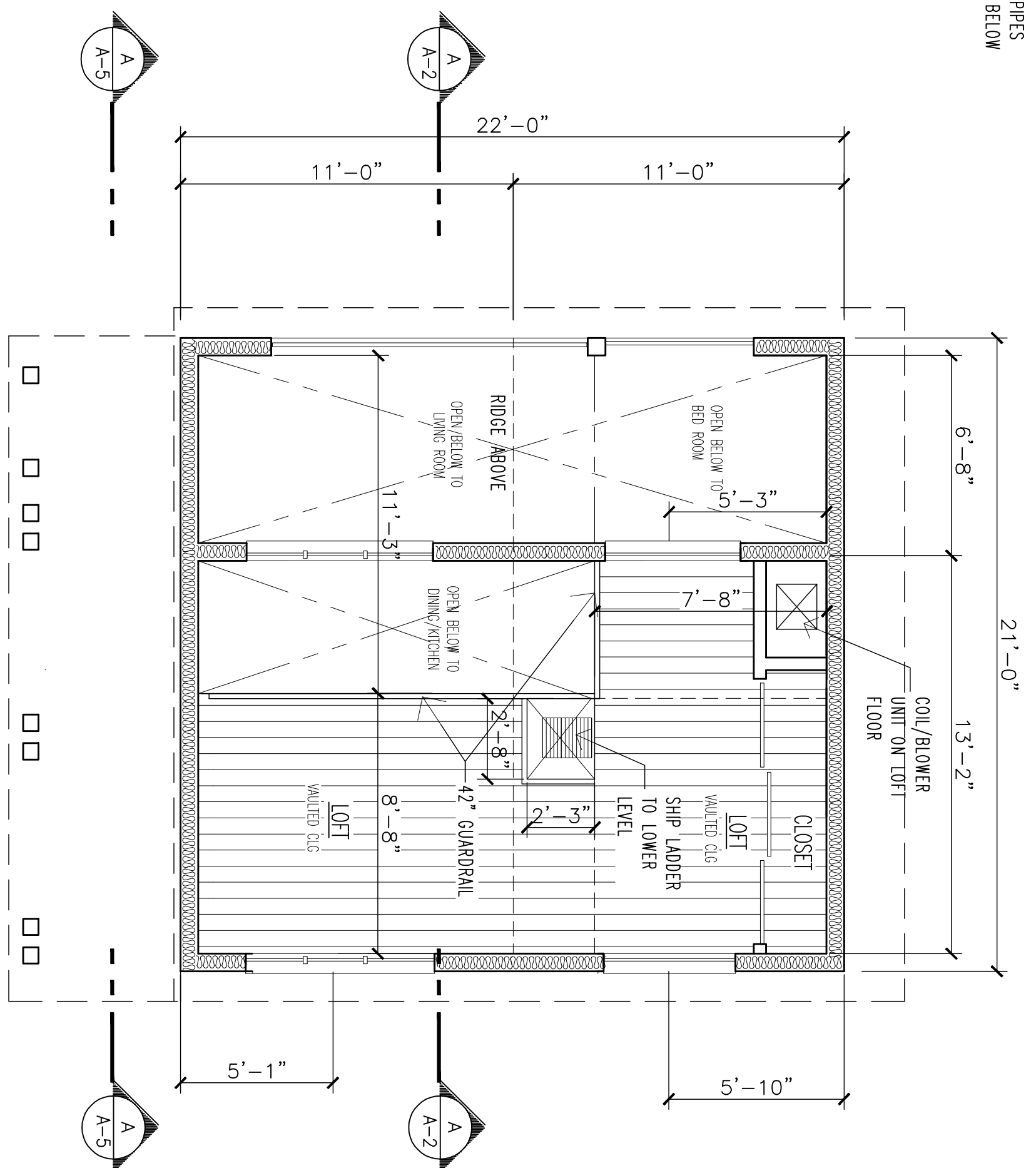
ROOF PLAN

SCALE: 1/4" = 1'-0"



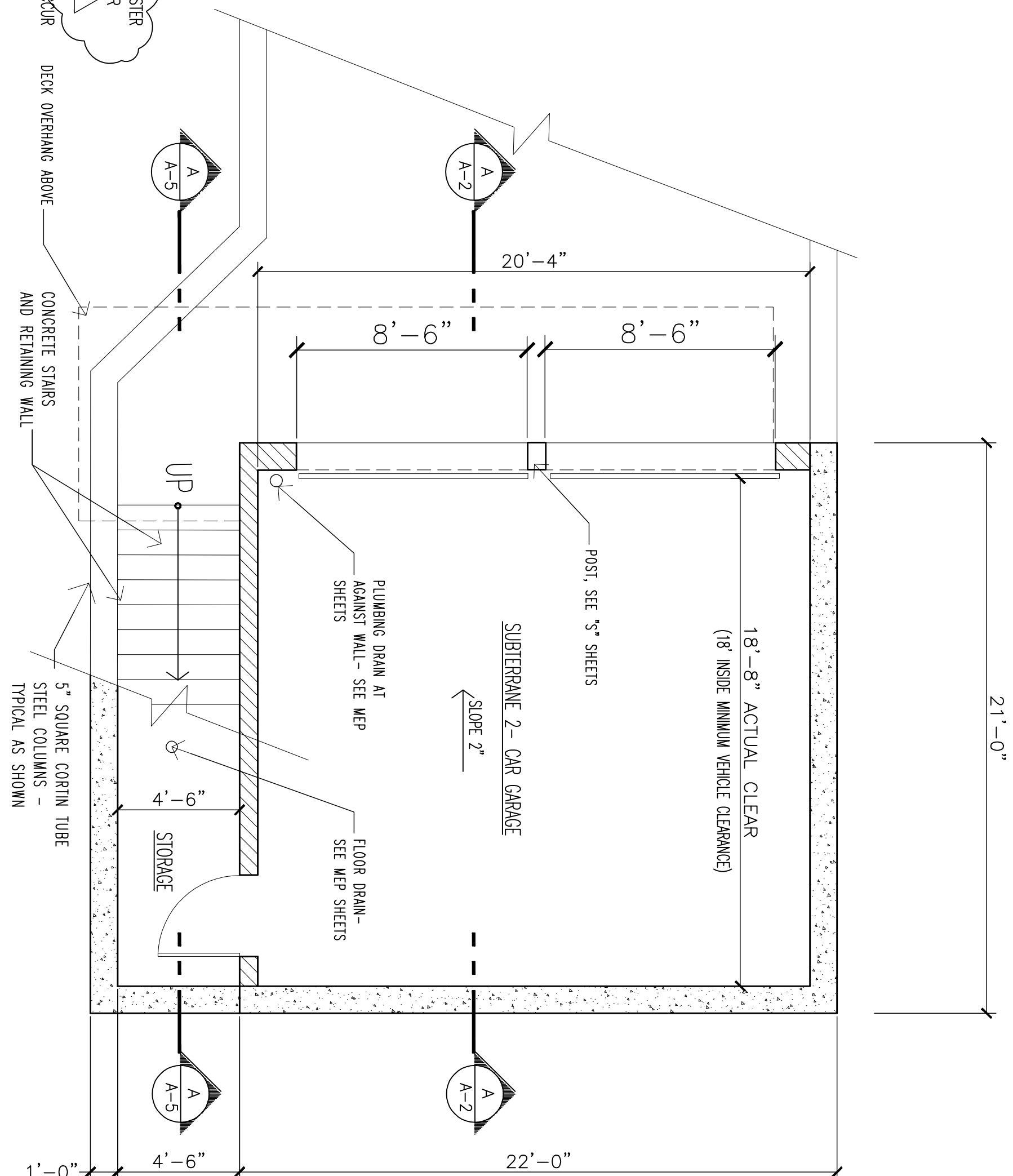
FLOOR PLAN (LOFT LEVEL)

SCALE: 1/4" = 1'-0"



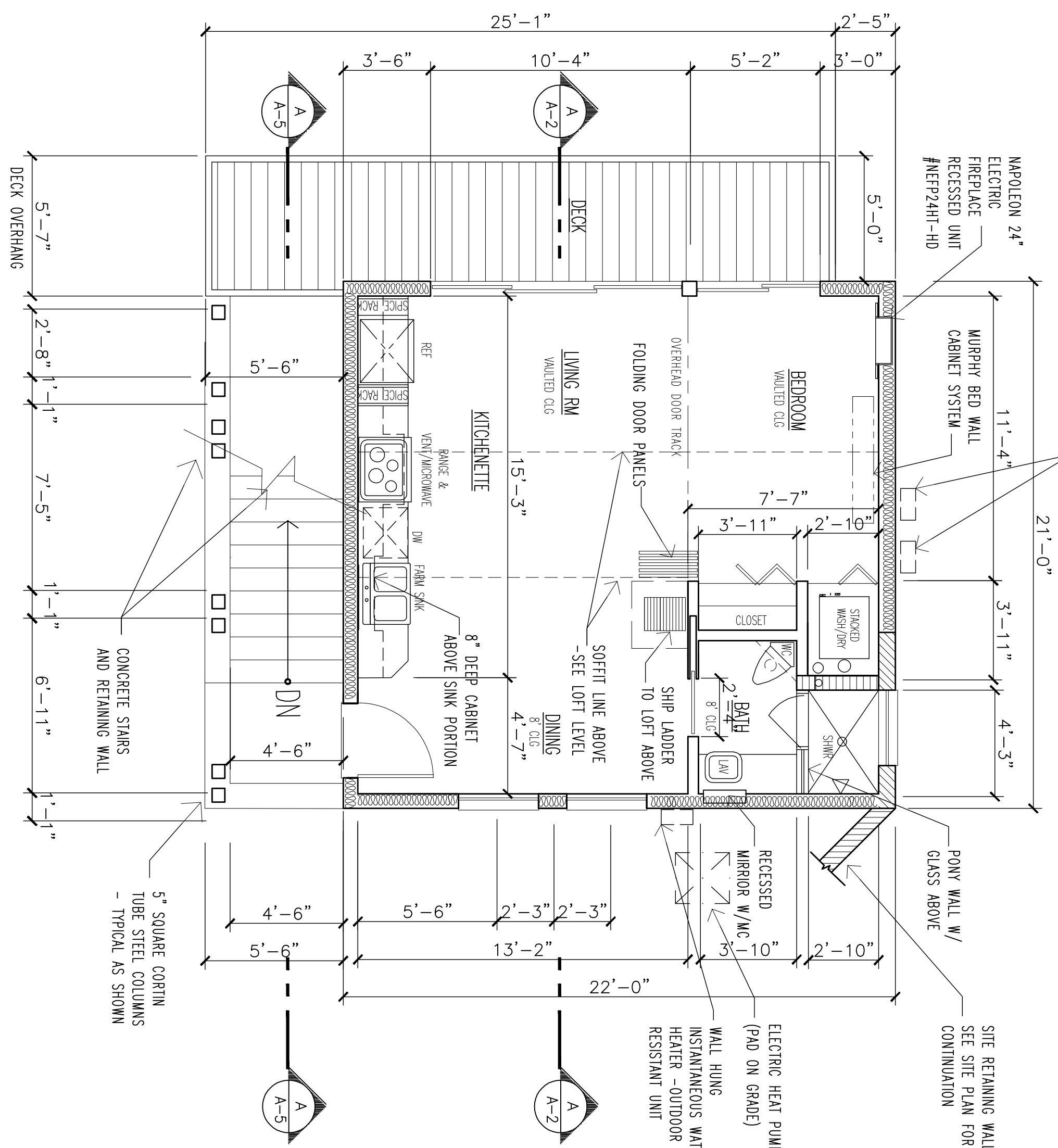
FLOOR PLAN (SUBTERRANEAN LEVEL)

SCALE: 1/4" = 1'-0"



FLOOR PLAN (DWELLING LEVEL)

SCALE: 1/4" = 1'-0"



OWNER/SITE ADDRESS:
CONTACT: Alexander Tchourbanov
20601 Trabuco Oaks Dr,
Trabuco Canyon, CA 92678
 Ph 520.400.9008 Email: achurbanov@gmail.com

FIRE PROTECTION PLAN THOURBANOV RESIDENCE

NEW DWELLING
PLAN VIEW

architect

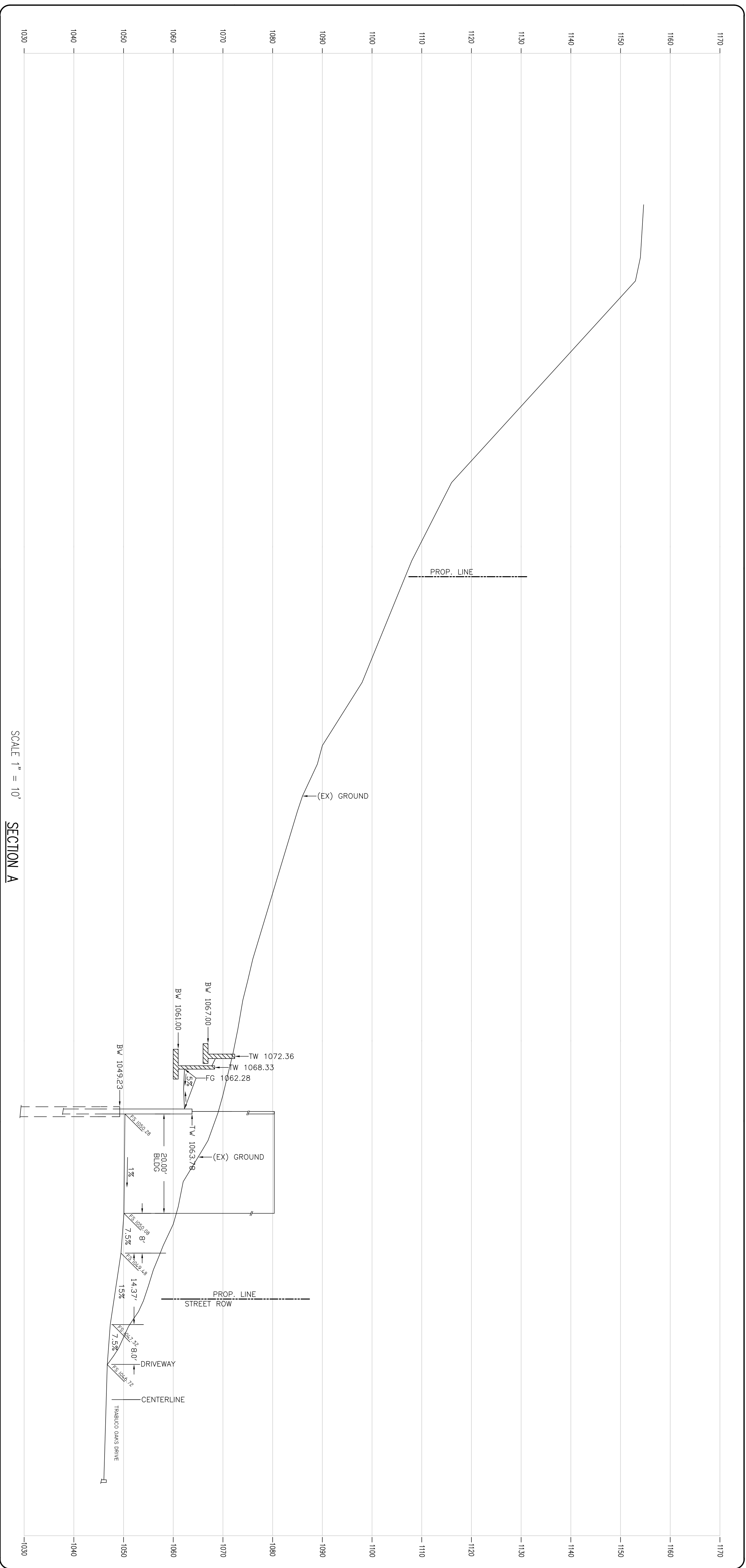
JOHN A. SALAT ARCHITECTS
22386 Woodgrove Road, Lake Forest, CA 92630
PH 949-235-4847 email: freeingwinds@earthlink.net
zenarchitect.com

responsibility for discrepancies

1 REISSUE FIRE DEPT 11-1-19

2 REISSUE FIRE DEPT 3-23-20

NO./REVISION/DATE




PREPARED BY:					
REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	
				N/A	
				ACAD FILE NO.	
				19E19011	
				PROJECT NO.	STEPHEN B. PETER RCE 38823 003171
				CIVIL ENGINEER	LICENSE NO. EXP. DATE

BENCHMARK
OCSBM: 3W-61-90 ELEVATION = 995.132 NAVD 88/DATUM

LEGAL

A.P. NUMBER:
842-102-06

PETER and ASSOCIATES
ENGINEERS
GEOLOGISTS &
SURVEYORS, INC.



WWW.PETERASSOC.COM

1519 CALLE VALE SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891


20601 TRABUCO OAKS DRIVE
TRABUCO CANYON, CA 92679

C-3		
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REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	PREPARED BY:
				N/A	
				ACAD FILE NO.	DATE
				19E19011	
				PROJECT NO.	EXP. DATE
				19E19011	

BENCHMARK	LEGAL
OCSM: 3W-61-90 ELEVATION = 983.132 NAVD 88/DATUM	

A.P. NUMBER:
842-102-06



PPTER and ASSOCIATES
ENGINEERS & SURVEYORS, INC.

PLANS PREPARED BY:

WWW.PPTRASSOC.COM

1519 CALLE VALLE SAN CLEMENTE, CA 92672
Tel: (949) 492-3735 Fax: (949) 492-1891


SECTIONS

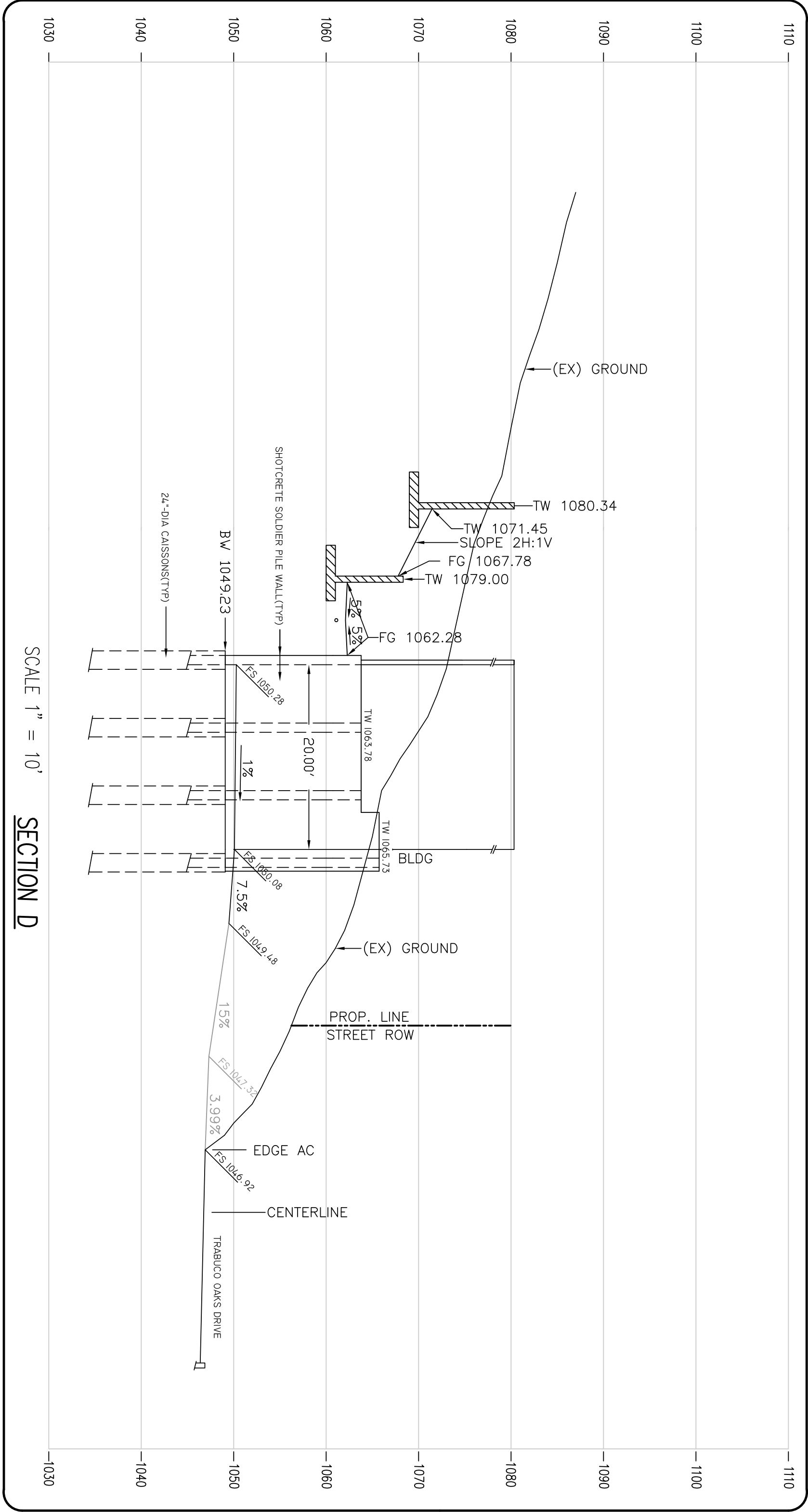
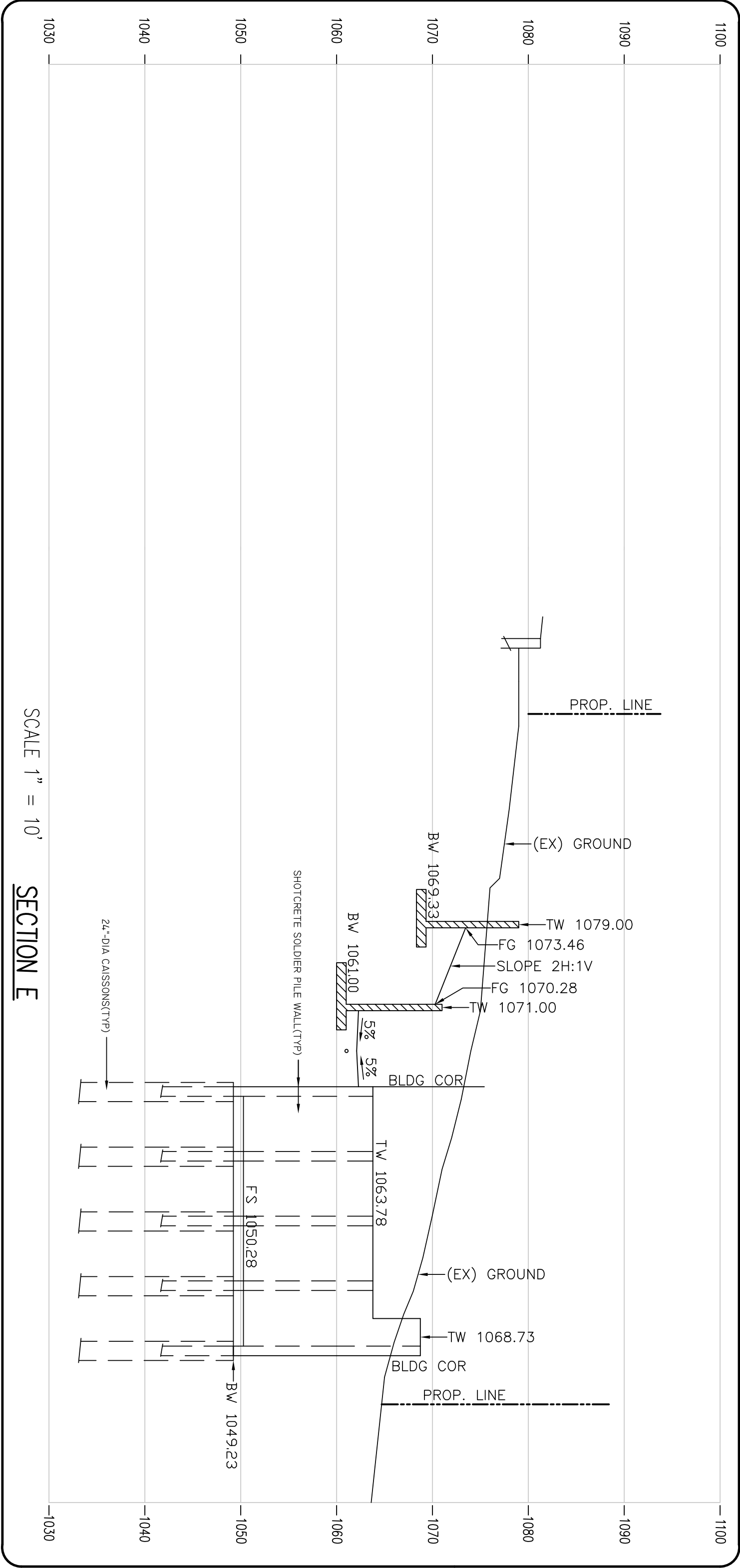
20601 TRABUCO OAKS DRIVE
TRABUCO CANYON, CA 92679

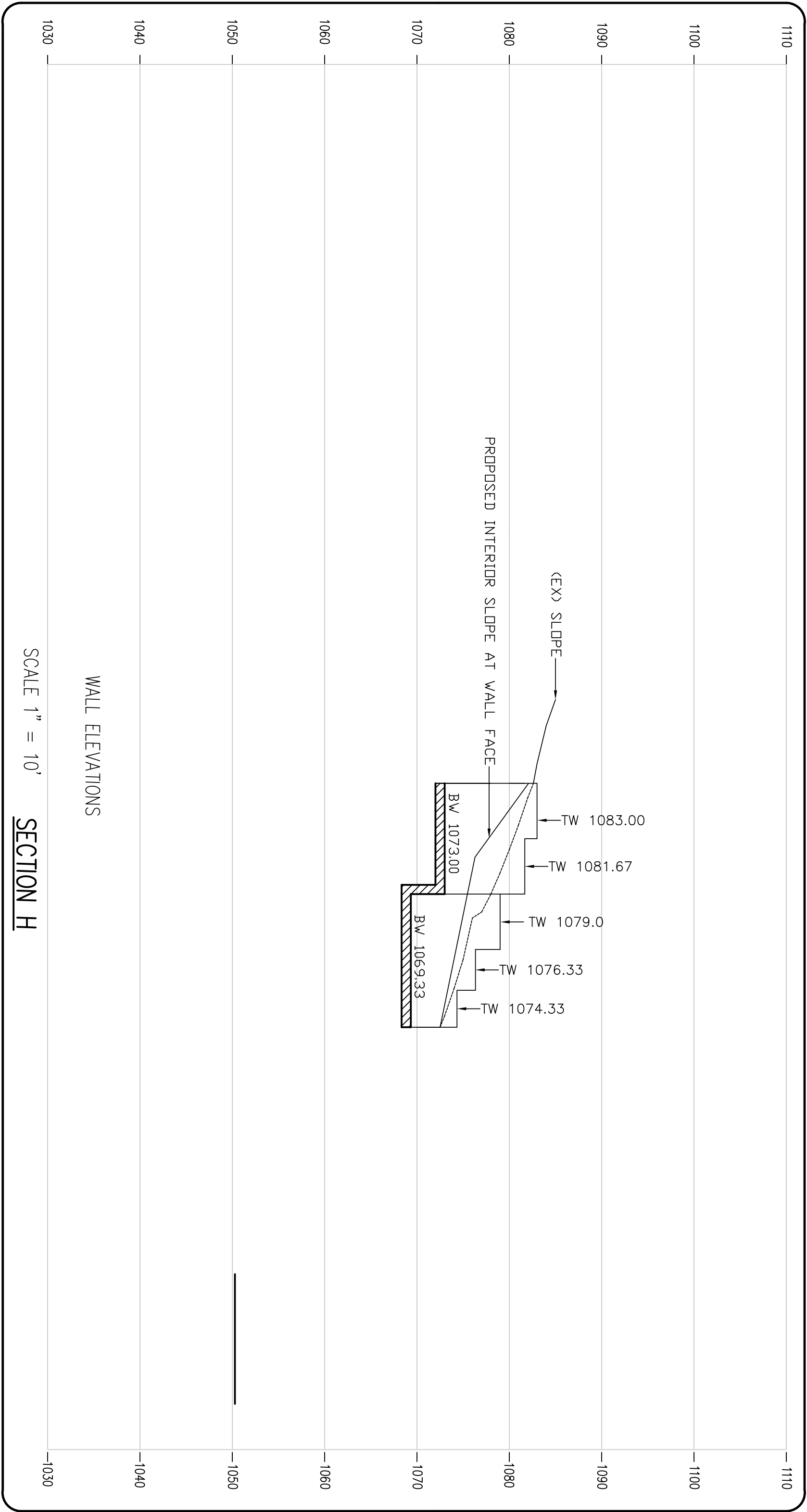
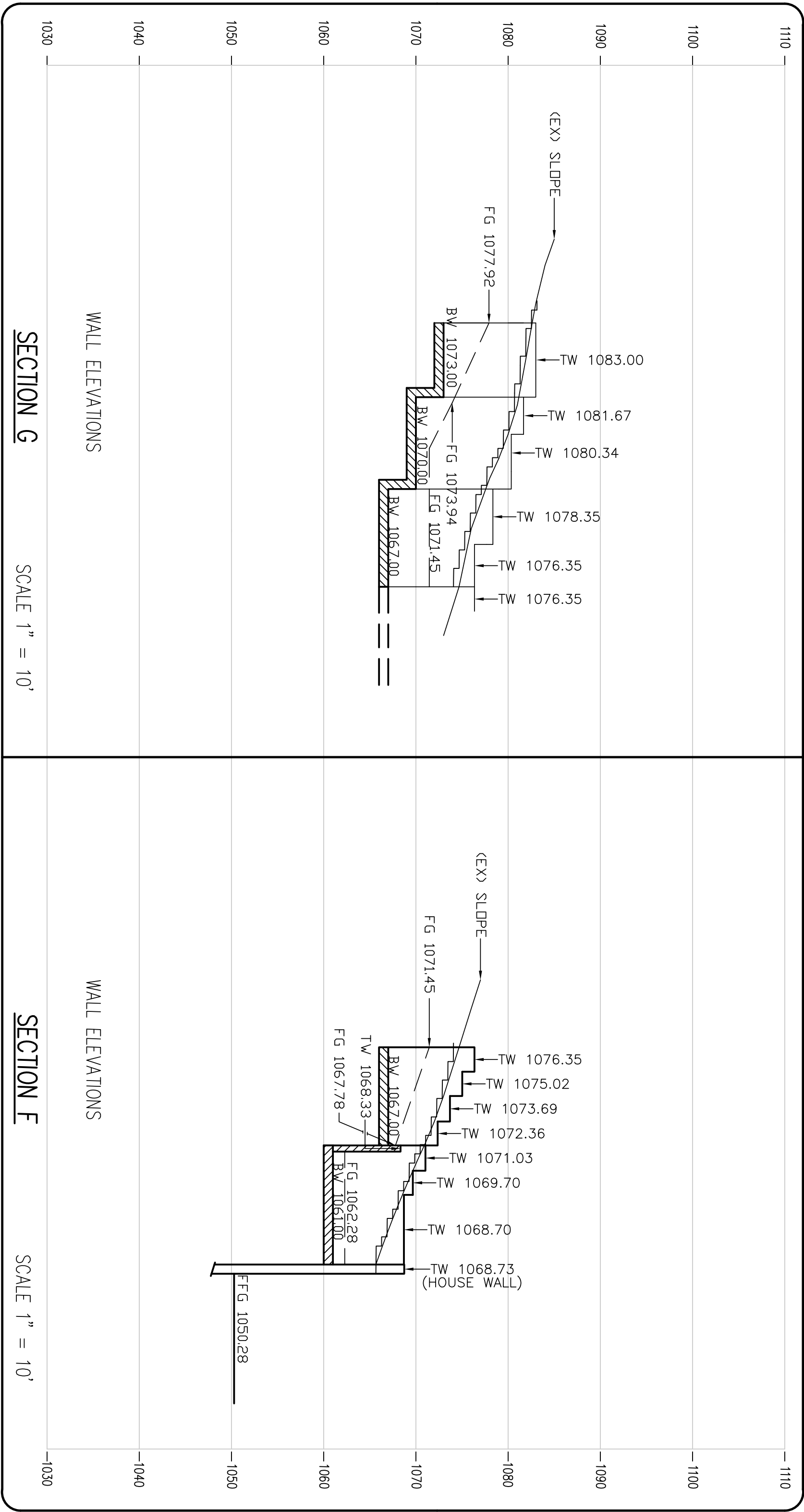
C-5

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE







PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER
STEPHEN B. PETER
No. 38623
Exp. 3/31/21
STATE OF CALIFORNIA

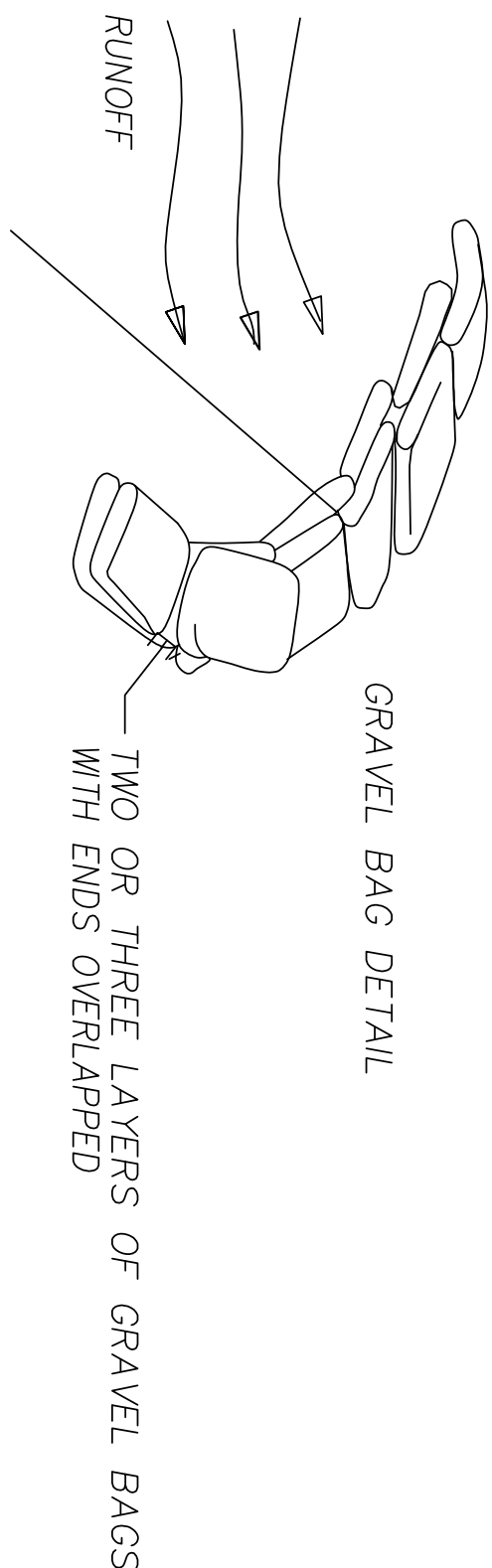
REVISION	DESCRIPTION	APPROVED	DATE	SCALE	PREPARED BY	BENCHMARK	LEGAL	PLANS PREPARED BY:	SECTIONS
				N/A				<i>PETER and ASSOCIATES</i> ENGINEERS, GEOLOGISTS & SURVEYORS, INC.	
				ACAD FILE NO.	DATE	OCSBM: 3W-61-90	A.P. NUMBER:	<i>PETER and ASSOCIATES</i> ENGINEERS, GEOLOGISTS & SURVEYORS, INC.	20601 TRABUCO OAKS DRIVE
				19E1901.1	03/31/21	ELEVATION = 995.132	842-102-06	<i>WWW.PETERASSOC.COM</i>	TRABUCO CANYON, CA 92679
				PROJECT NO.	LICENSE NO.	NAVD 88/DATUM		1519 CALE WALLE SAN CLEMENTE, CA 92672	
				19E1901.1				Tel: (949) 492-3735 Fax: (949) 492-1891	

EROSION CONTROL NOTES:

DETAILS BELOW ARE PER THE "CALIFORNIA BEST MANAGEMENT PRACTICES HANDBOOK".

EROSION CONTROL NOTES:

- | | |
|---|--------------------------------------|
| A | INSTALL GRAVEL BAGS PER DETAIL SE-6. |
| B | INSTALL SILT FENCE SE-1. |



NO GAP BETWEEN BAGS
PLACE VISQUEEN BETWEEN UPPER BAGS

THE FOLLOWING GENERAL SITE MANAGEMENT BMP'S SHALL BE MAINTAINED/IMPLEMENTED ON PROJECT SITE AT ALL TIMES.

- | | |
|-------|--|
| EC-1: | SCHEDULING |
| EC-2: | PRESERVATION OF EXISTING VEGETATION |
| EC-3: | HYDROSEEDING; EARTHGUARD® 2000®/AC |
| EC-4: | WATER CONSERVATION PRACTICES |
| NS-1: | PAVING AND GRINDING OPERATION |
| NS-2: | ILLEGAL CONNECTION/ILLEGAL DISCHARGE |
| SE-1: | SILT FENCE |
| SE-2: | FIBER ROLLS |
| SE-3: | GRAVEL BAG BERM |
| SE-4: | STREET SWEEPING AND VACUUMING |
| SE-5: | STORMDRAIN INLET PROTECTION |
| SE-6: | WIND EROSION CONTROL |
| WE-1: | MATERIAL DELIVERY & STORAGE |
| WM-1: | MATERIAL USE |
| WM-2: | STOCKPILE MANAGEMENT |
| WM-3: | SPLIT PREVENTION AND CONTROL |
| WM-4: | SOLID WASTE MANAGEMENT |
| WM-5: | HAZARDOUS WASTE MANAGEMENT |
| WM-6: | CONCRETE WASTE MANAGEMENT |
| WM-7: | SANITARY/SEPTIC WASTE MANAGEMENT |
| WM-8: | STABILIZATION CONSTRUCTION ENTRANCE/EXIT |
| WC-1: | |

[illegible]