
ITEM #2**OC DEVELOPMENT SERVICES REPORT**

DATE: May 20, 2021

TO: Orange County Zoning Administrator

FROM: OC Development Services / Land Development Division

SUBJECT: Public Hearing on Planning Application PA20-0048 for a Site Development Permit to allow for a 73 unit single-family residential project, a model home sales complex, and a Project Specific Alternative Site Development Standard

PROPOSAL: Rancho Mission Viejo request approval of a Site Development Permit to allow for the development of 73 Planned Concept Detached Single-Family Dwellings on an 8.14-acre site, a model home sales complex, and a Project Specific Alternative Site Development Standard. The Project Specific Alternative Site Development Standard would allow for 8.2-foot aggregate setbacks and 8.2-foot building separations where 10-foot aggregate setbacks and 10-foot building separations are the minimum required.

ZONING: Ranch Plan Planned Community (PC) – Planned Concept Detached Dwellings (PC Section III.A.2)

GENERAL PLAN: "6 Urban Activity Center"

LOCATION: The project site is located in southeastern unincorporated Orange County, in Subarea 3.1 of the Ranch Plan Planned Community, within the Fifth (5th) Supervisorial District. The project site encompasses all of "B" VTTM 19025, which is located on Lots 1 through 11 and 74 of "A" Tract Map 17931.

APPLICANT: Rancho Mission Viejo
Jay Bullock, Vice President, Planning and Entitlement

STAFF CONTACT: Robert Zegarra, Contract Planner, Land Development Division
Phone: (714) 667-8893
Email: Robert.Zegarra@ocpw.ocgov.com

RECOMMENDED ACTION(S):

Land Development recommends OC Zoning Administrator:

- 1) Receive staff report and public testimony as appropriate;
- 2) Find that Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 2006, Addendum 1.1 (PA110003-06) approved February 24, 2011, the Planning Area 2 Addendum (PA130001-06) approved March 27, 2013, and Addendum 3.1 (PA140072-81) approved February 25, 2015, reflect the independent judgment of the County and are adequate to satisfy the requirements of CEQA for approval of PA20-0048, which is a necessarily included element contemplated as part of the whole of the action considered in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1.
 - a. The circumstances of the project are substantially the same as described in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1, which adequately addressed the effects of the project proposed in PA20-0048. No substantial changes have been made in the project that involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes have occurred in the circumstances under which the project is being undertaken, that involve new significant environmental effects or a substantial increase in the severity of previously identified environmental effects; and no new information of substantial importance to the project which was not known or could not have been known when Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1 were certified and approved has become known; therefore, no further environmental review is required.
 - b. Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1 are adequate to satisfy the requirements of CEQA for PA20-0048.
 - c. All mitigation measures are fully enforceable pursuant to Public Resources Code section 21081.6(b) and have either been adopted as conditions, incorporated as part of the project design, or included in the procedures of project implementation.
- 3) Approve Planning Application PA20-0048, subject to the attached Findings and Conditions of Approval.

BACKGROUND AND EXISTING CONDITIONS:

In November 2004, the County of Orange approved the Ranch Plan Planned Community, which encompasses approximately 22,815 acres located east of I-5, north and south of Ortega Highway at Antonio Parkway/La Pata Avenue, within the Fifth Supervisorial District. As approved, the Ranch Plan Planned Community comprises 75 percent permanent open space and allows for the development of 14,000 dwelling units and 5,200,000 square feet (SF) of non-residential uses in the remaining 25 percent. It is regulated by the Ranch Plan PC Program Text which addresses the unique characteristics of the property and a development plan for the transition to suburban/urban uses occurring over a 25- to 30-year period.

The Master Area Plan and Subarea Plans for Planning Areas 3 and 4 were originally approved on February 25, 2015 by the Planning Commission (PA140072-PA140081) and revised administratively on May 22, 2017 (PA150047). On September 11, 2019, the Planning Commission approved amendments and revisions to the Master Area Plans and Subarea Plans for Planning Areas 3 and 4 (PA180030) which reflect the applicant's plan to develop Planning Area 3 in smaller phases. Final Tract Map 17931 for Subarea 3.1 was approved on December 8, 2020 by the County of Orange Board of Supervisors and was recorded on December 18, 2020. Currently, Subarea 3.1 is being graded under issued permit GRD19-0175 and construction of infrastructure (Streets and Storm Drains, etc.) is in various stages of construction.

Proposed Project

The applicant, Rancho Mission Viejo, request approval of a Site Development Permit to allow for the development of 73 Planned Concept Detached Single-Family Dwellings on an 8.14-acre site, a model home sales complex, and a Project Specific Alternative Site Development Standard. The Project Specific Alternative Site Development Standard would allow for 8.2-foot aggregate setbacks and 8.2-foot building separations where 10-foot aggregate setbacks and 10-foot building separations are the minimum required. The inclusion of the Project Specific Alternative Site Development Standard requires that the Zoning Administrator, in a public hearing, be the approving authority for this project proposal per the Ranch Plan Planned Community Program Text and the County of Orange Zoning Code.

This application was processed concurrently with "B" Vesting Tentative Tract Map 19025 (VTTM 19025) which was approved by the OC Subdivision Committee on May 5, 2021. VTTM 19025 proposes to subdivide the 8.16-acre project site within Subarea 3.1 of the Ranch Plan Planned Community into 104 legal lots; 73 numbered lots for planned concept single-family detached dwellings, 8 numbered lots for pocket parks and landscaping, 1 lettered lot for a public street, 12 lettered lots for private streets and alleys, and 10 lettered lots for landscaped open space areas. Further discussion is provided in the Discussion/Analysis section.

SURROUNDING LAND USE:

Land uses immediately surrounding the project site include the following:

- North: Future Subarea 3.2 development
- South: Saddle Way, Future Tract 19026 – Tri Pointe single-family homes
- East: Future Subarea 3.2 development
- West: Ranch Canyon Road, Future Ranch Camp Recreation Facility

Please refer to The Ranch Plan General Vicinity Map, Exhibit 1, and the PA 3.1 Builder Map, Exhibit 2.

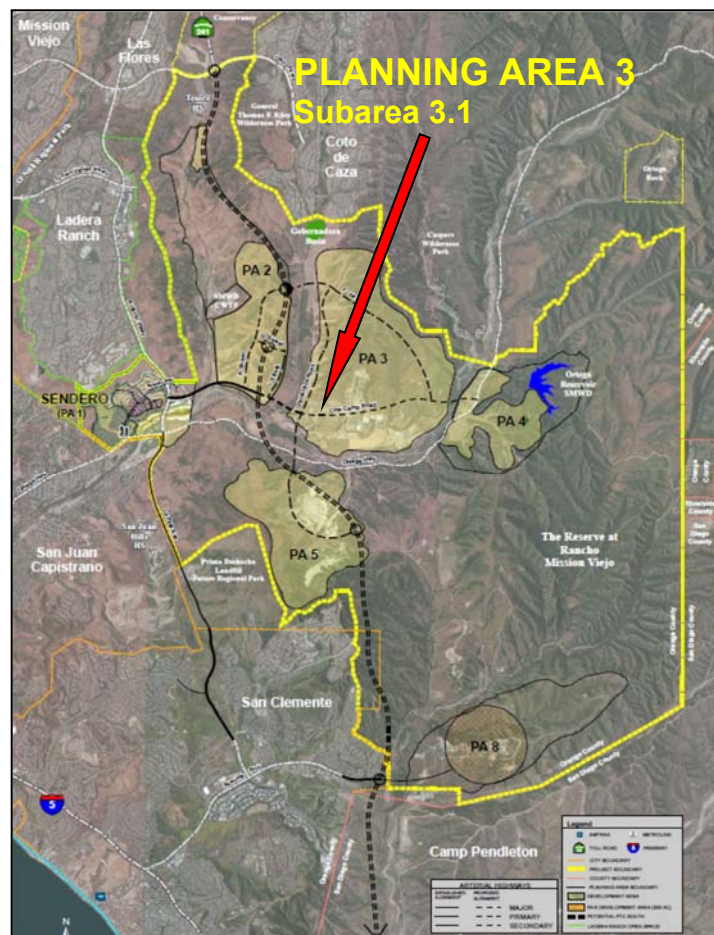


Exhibit 1 - General Vicinity Map

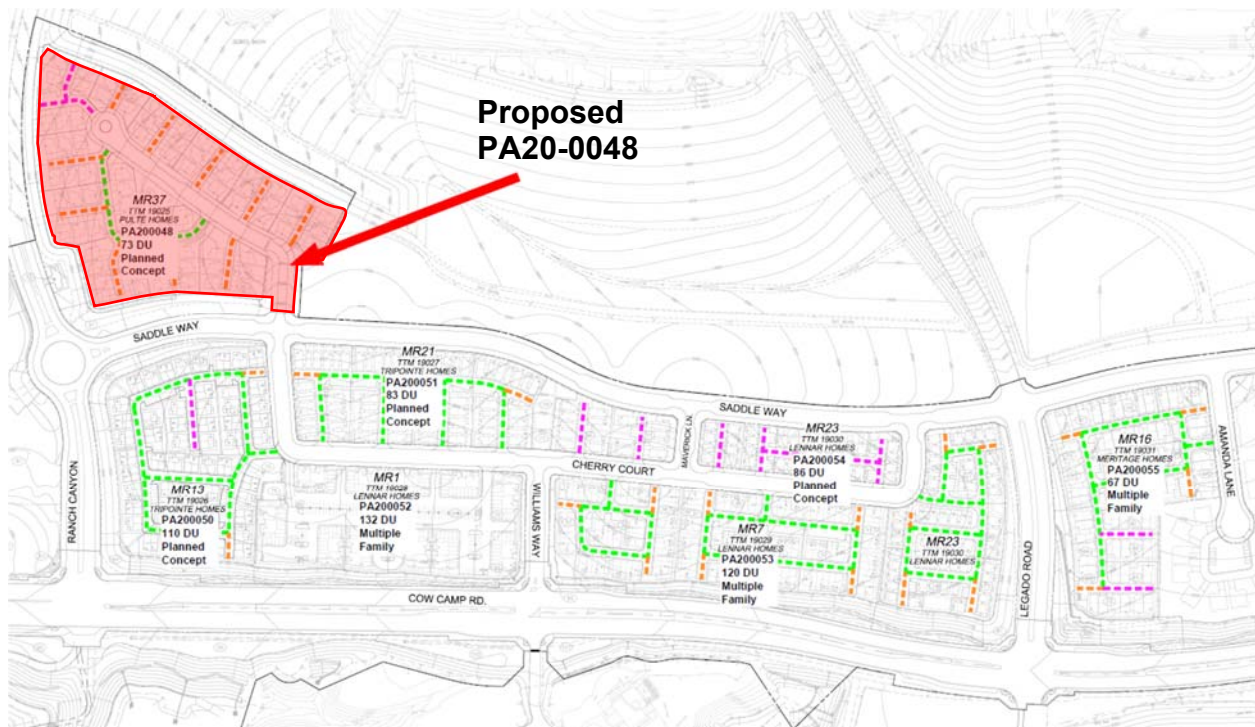


Exhibit 2 – PA 3.1 Builder Map

DISCUSSION/ANALYSIS:

General Description

The project proposes the construction of 73 planned concept single-family dwellings, landscaped open spaces, private motor courts, and a private street. The proposed project site is located within "B" VTTM 19025, a subdivision of a 8.14-acre site into 104 legal lots; 73 numbered lots for planned concept single-family detached dwellings, 8 numbered lots for pocket parks and landscaping, 1 lettered lot for a public street, 12 lettered lots for private streets and motor courts, and 10 lettered lots for landscaped open space areas. The project has been designed to be consistent with the lotting, site planning, and roadway designs that were approved within VTTM 19025.

The proposed site plan includes two pocket parks and usable open space in the form of greenbelts along pedestrian walkways and landscaped areas. The first pocket park measures approximately 3,129 square feet in size and is located on Lot 75 in the southeastern portion of the project site. The second pocket park measures approximately 7,025 square feet in size and is located on Lot 77 in the center of the project site. Both pocket parks include benches, trash receptacles, trees and turf.

The project includes three, two-story residential building plan types that range in size from 1,763 to 2,110 square feet. To enhance architectural curb appeal and create a pedestrian-friendly neighborhood, the units are oriented around motor courts to reduce the visibility of garages and driveways from the neighborhood streets. The 73 units will consist of 27 three-bedroom units and 46 four-bedroom units. A summary of the unit types is provided in Table 1.

Table 1
Condominium Unit Type Summary

Condominium unit type	No. of Bedrooms and bathrooms	Unit Sq. Ft.	Unit Quantity in project
1	3BR/2.5BA	1,763	27
2	4BR/3BA	1,966	25
3	4BR/3BA	2,110	21
Total Units			73

Three different architectural styles are proposed for the project which are identified as Ranch, Contemporary, and Farmhouse. The proposed architectural styles are consistent with the themes of the Ranch Plan and with the overall architectural style being applied in Subarea 3.1.

The proposed Ranch architecture features a stucco finish, horizontal wood siding, brick veneer, and decorative light fixtures. Color schemes incorporate a warm earth-toned color palette as shown in the following elevations.



The proposed Contemporary architecture features scored stucco, horizontal wood siding, shed roofs, and decorative light fixtures. Color schemes incorporate a lighter earth-toned color palette as shown in the following elevations.



The proposed Farmhouse architecture features horizontal wood siding, multi-angle roofs, grid pane windows, and decorative window eaves. Color schemes incorporate a neutral color palette as shown in the elevations below.



Site Development Standards

The proposed project complies with the standards and requirements set forth in the Ranch Plan Planned Community Program Text and applicable Zoning Code regulations. The proposed Planned Concept residential project is a principal permitted use subject to a Subarea Plan and a Site Development Permit pursuant to PC Text Section III.A.2.a.3. Below is a comparison of the proposed project with the Ranch Plan PC Program Text Use Regulations & Development Standards for “Planned Concept Detached Dwellings” (PC Section III.A.2.d.).

Table 2
Project Comparison with the Planned Concept Detached Dwellings
Site Development Standards

Standard	Required/Permitted	Proposed
1) Minimum Building Site Area	No Minimum	
2) Net Density	Greater than 8.0 units/acre, and lots less than 3,000 square feet (SF)	Complies; 12.9 Du/AC, residential lots greater than 3,000 (SF) permitted per ADS D-8
3) Minimum Building Site Width	No minimum	
4) Maximum Building Site Coverage	No maximum for individual lots	
5) Maximum Building Height	35' maximum (+architectural features)	Complies. 30' max.
6) Minimum Building Setback Requirements	a) Front: 12' min. from back of street curb or 3' from P/L, whichever is greater. b) Rear: 5' min from P/L. If rear setback is adjacent to alley then 3' min to P/L or 14' to centerline	Complies. a) Min 12' from back of street curb/min. 3' from P/L proposed b) Min 6' feet proposed from P/L.

Standard	Required/Permitted	Proposed
	<p>c) Side: 10' min. one side, or 10' aggregate; Building separation shall be 10' or can be 8' provided certain criteria is met (see (1)-(5) on page 32 of PC Text)</p> <p>d) Side abutting street: 5'</p> <p>e) Patios: 3' (5' adjacent to street)</p> <p>f) Projections: 4' into any required setback, or 1' from P/L</p>	<p>c) 8.2' aggregate setback with 8.2' building separation*</p> <p>d) Min. 5' proposed for all applicable lots.</p> <p>e) Min 3'/5' proposed</p> <p>f) Max. 4' into any required setback, or min 1' from P/L proposed.</p>
7) Access	20' wide min. right of access	Complies. 25' min. access provided by private alleys
8.a) Usable Project Open Space	10% required	Complies. 10% provided
9) Off-Street Parking	234 spaces required	250 provided (146 garage, 104 uncovered)
10) Garage and Carport Placement	5' or less, 17' assuming a roll-up garage door or more from back of sidewalk or back of curb	Complies: 4.5' max. or 17.5' min. provided
11) Private Drives, Alleys, and Driveways	<p>Private Drive: Min. 24' paved width</p> <p>Alley: Min. 22' paved width, or 24' if required for emergency access.</p> <p>Driveways: 30' unobstructed back-up area.</p>	<p>Complies: 25' min. as depicted on Sheet 2</p> <p>30' min. of unobstructed back-up area provided.</p>
12) Signs (Section III.L.2.a.1) (Freestanding Temporary Signs Sales office)	<p>1) Signage plan drawings indicating type, size, color, height, location etc.</p> <p>2) Such signs not to exceed height of 16', length of 10', total area of 80 SF.</p>	Complies: All signage requirements meet/do not exceed limits.
13) Fences and Walls	<p>a) 6' maximum within area where buildings can be placed.</p> <p>b) 7.5' maximum along boundary, except 3.5' at intersections.</p>	Complies: All proposed walls do not exceed maximum height requirements.
14) Lights	All street lighting on periphery streets adjacent to open space shall be designed and located so that direct light rays shall be confined to the premises.	Not applicable: Project streets and alleys are internal and not adjacent to open space. However, project will comply with Standard Condition 4.10-3 which requires that that all exterior lighting be designed and located so that all direct rays are confined to the property

*** A Project Specific Alternative Site Development Standard is being requested by the applicant.**

Project Specific Alternative Site Development Standard (PSASDS)

The current proposal includes a request for a Project Specific Alternative Site Development Standard (PSASDS). The PSASDS would allow for 8.2-foot aggregate setbacks and 8.2-foot building separations where 10-foot aggregate setbacks and 10-foot building separations are the required minimum. The proposed PSASDS for reduced setbacks and building separations would be applicable to 23 of the 73 proposed residential units. The inclusion of the Project Specific Alternative Site Development Standard requires that the Zoning Administrator, in a public hearing, be the approving authority for this project proposal per Ranch Plan Planned Community Program Text Section II.C.4.b. The Ranch Plan PC Text Section I.C.4.c. states that the Zoning Administrator shall make the findings listed in bold below as part of its approval of a Site Development Permit:

1) General Plan: The use or project proposed is consistent with the General Plan.

The proposed project is consistent with the General Plan which calls for this area to be developed as residential.

2) Ranch Plan PC Text and Zoning Code: The use, activity or improvements proposed by the application are consistent with the provisions of the Ranch Plan PC Text and provisions of the Zoning Code.

The applicant is requesting a Project Specific Alternative Site Development Standard. The PSASDS would allow for 8.2-foot aggregate setbacks and 8.2-foot building separations where 10-foot aggregate setbacks and 10-foot building separations are the required minimum. Per the PC Text Section II.C.4.b., a Site Development Permit may be approved which establishes alternative site development standards for residential and non-residential projects and uses. The Zoning Administrator, in a public hearing, shall be the approving authority for all Site Development Permits proposing to modify site development standards, per Zoning Code Section 7-9-150. If this PSASDS is approved, all other improvements proposed by the applicant are consistent with the provision of the Ranch Plan PC Text and Zoning Code.

3) CEQA: The approval of the development application is in compliance with the requirements of the California Environmental Quality Act.

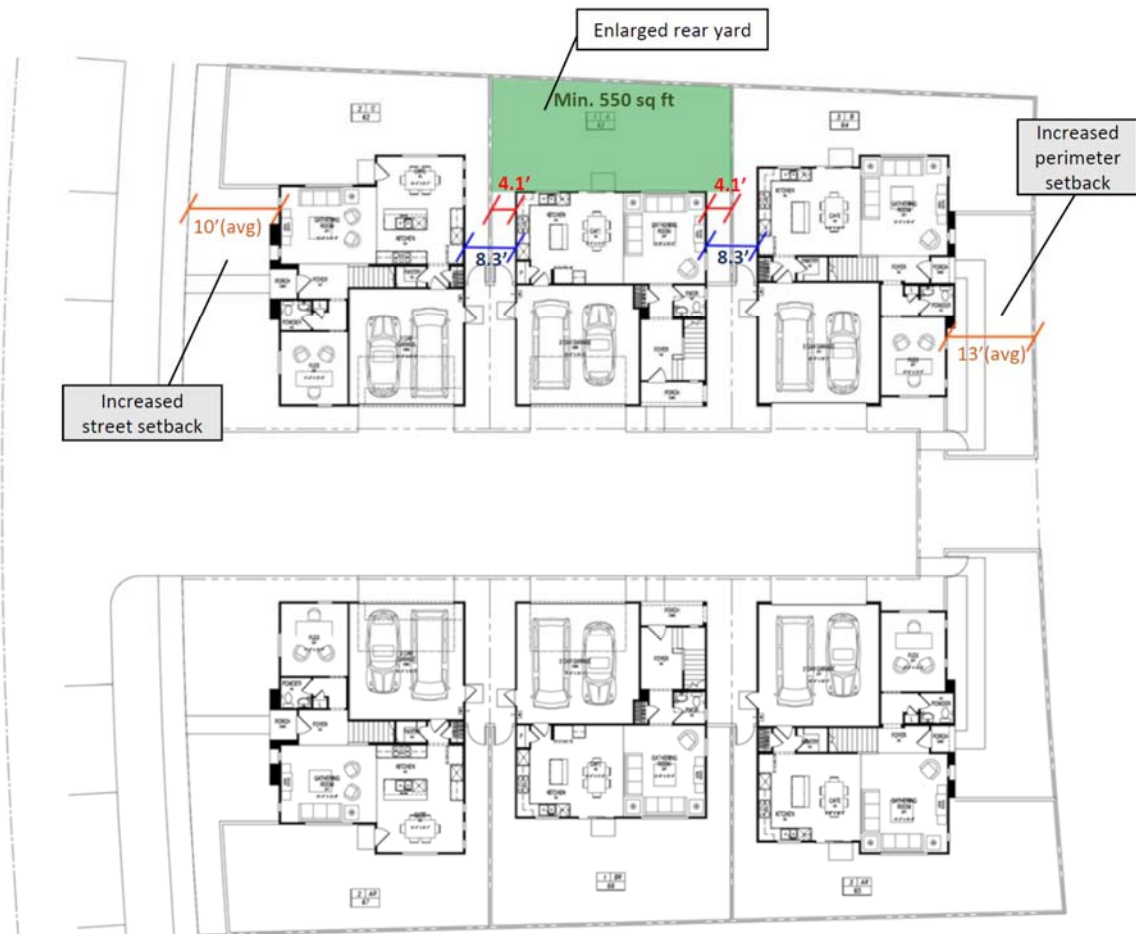
The request is in compliance with CEQA as stated on Page 12 of this report under “CEQA Compliance.”

4) Compatibility: the location, size, design and operating characteristics of the proposed use will not create significant noise, traffic or other condition or situations that are objectionable, detrimental or incompatible with other permitted uses in the vicinity of the project area.

The proposed Site Development Permit is consistent with the location, size, design, and operating characteristics of the Planned Concept Detached Dwellings section of the Ranch Plan PC Text and would not have an adverse effect on noise, traffic, or other site conditions in the vicinity of the project area.

The PSADS to allow for 8.2-foot aggregate setbacks will affect 23 of the 73 proposed residential units. More specifically, it will affect the middle interior units of the motor court clusters proposed throughout the project site. The reduced aggregate setbacks for these middle units will result in 4-foot wide side yards on both sides of the units. Although the reduced side yards will provide less usable area, the project has been designed with enlarged rear yards for all units to provide over 3 times the minimum amount of usable private open space (150 sq ft).

The reduced aggregate setbacks for the middle units will also allow for increased street setbacks for adjacent units fronting the main project streets and increased setbacks for adjacent units along the project perimeter. The front setbacks along Ivy Way and Longhorn Way will increase to an average width of 10 feet instead of the required 6 feet, allowing for larger open space/landscaping areas along pedestrian walkways. The perimeter setbacks will increase to an average width of 13 feet where 6 feet is the required standard, allowing for additional usable private open space for perimeter units. The exhibit below illustrates a typical motor court cluster highlighting the reduced aggregate setback and building separation.



As a result of the reduced aggregate setbacks for the middle units discussed here, all units in the project will exhibit reduced building separations throughout the project. With the exception of units 35 through 41 along Longhorn Way, the reduced building separations will not be visible from the public right of way as they occur in between the units in the motor court clusters. Although the reduced building separations between units 35 through 41 will be visible along Longhorn Way, the units have been designed with enough building articulation to eliminate any potential visual impacts resulting from units being too close to one another. The following exhibit illustrates the street view of units along Longhorn Way showing the reduced building separation and proposed building articulation



5) General Welfare: the application will not result in conditions or circumstances contrary to the public health, safety and general welfare.

The proposed site development permit will not result in conditions or circumstances contrary to public health, safety and general welfare.

Per Ranch Plan PC Text §II.C.4.c, if a Site Development Permit proposes to modify site development standards, the following finding shall be made in addition to the findings above:

6) Equivalent or better project: The alternative development standard will result in an equivalent or better project in terms of reducing adverse impacts and/or providing additional or superior public benefits to the immediate and surrounding community.

The requested PSASDS to allow for an 8.2-foot aggregate setback and 8.2-foot building separation will result in an equivalent project as the PSASDS will not result in any adverse impacts. Although the reduced aggregate setbacks will result in reduced usable side yards for the units discussed in section 4, those units have been provided with enlarged usable rear yards. Privacy issues for all units with reduced aggregate setbacks and reduced building separations have been addressed through the review of unit plotting and window placement within the side yards. Any potential visual impacts resulting from reduced building separations have been eliminated through unit plotting design (motor court clusters) and building articulation. The proposed PSASDS will also not result in any traffic or parking issues. The project is in compliance with all parking requirements and has provided 16 additional spaces over the required minimum. Regarding public safety, the project's fire master plan has been approved by the Orange County Fire Authority and all proposed building separations must comply with the California Residential Code.

Staff supports the request for the Project Specific Alternative Site Development Standard based on the analysis provided above. With the approval of the Project Specific Alternative Site Development Standard, the project will result in an equivalent project with no adverse impacts to the public and the surrounding community.

Parking

Section III.K of the Ranch Plan PC Program Text refers to Orange County Zoning Code Section 7-9-145. Per the January 1994 Zoning Code Section 7-9-145.3.(d)(1) (Attached or detached single-family dwellings) and 7-9-145.3.(d)(4) (Guest Parking) the project is required to provide 219 spaces to serve the residents and 14.6 spaces to serve guests, for a total of 234 required spaces. A detailed summary of the parking requirements for this project is provided in the following table.

Table 4
Parking Requirements Per Zoning Code Section 7-9-145.3.(d)(1)
(Attached or detached single-family dwellings)

Unit Numbers	Unit Count	Covered parking (2.0/unit)	Driveway space ≥ 17' long (1.0 per unit)	Additional assigned space for driveways < 17' long (1.0/unit)	Guest Spaces (0.2/unit)	Total Spaces Required
1-3, 13-22, 29-41, 50-61, 71-73	41	82	41	0	8.2	131.2
4-12, 23-28, 42-29, 62-70	32	64	0	32	6.4	102.4
Total Spaces		146	41	32	14.6	233.6≈ 234

The project will provide a total of 250 parking spaces which exceeds the minimum parking requirement of 234 spaces by 16 parking spaces. As required by ZC Section 7-9-145.3.(d)(1), the 146 covered parking spaces will be in two-car garages attached to each unit. In addition, all units that have not been provided with a minimum 17' long driveway will have one additional parking space assigned to the unit. Per Zoning Code Section 7-9-145.3.(e) all assigned parking spaces shall be located within 200 feet of the unit to which they are assigned. The garage spaces will be directly connected to the unit they are assigned to and driveways will be located on the same lot as the unit they serve. The remaining assigned spaces (32) and guest spaces (15) will be disbursed evenly throughout the project site. A Parking Exhibit has been provided as Sheet 3 of the project plans to show compliance with all parking requirements. Staff has reviewed the parking plans and concurs that the proposed parking is in compliance with ZC Section 7-9-145.

Circulation

Vehicular access to the project site will be provided via Saddle Way on the south side of the project site. Internal circulation will be provided via Ivy Way, a public street, and Longhorn Way, a private loop road that connects to Ivy Way. Eleven private motor courts take access off of Ivy Way and Longhorn Way allowing for direct vehicular access to the individual dwellings. The project site plan on Sheet 2 has been provided with a typical motorcourt vehicle turning exhibit, which illustrates adequate vehicular maneuverability for garage access.

Pedestrian circulation for the project site will be provided via 4-foot minimum pedestrian walkways throughout the project. The pedestrian walkways will provide access to the public right-of-way along Ivy Way, to the individual dwellings, and to the open space areas.

Open Space

Per Section III.A.2.d.8)a) of the Ranch Plan PC Program Text, planned concept detached dwelling projects are required to reserve a minimum of 10 percent of the net residential area as convenient, accessible and usable open space. The proposed project will meet the open space minimum requirements by reserving 10 percent of the net residential area for usable open space. The proposed usable open space consists of two pocket parks and usable open space in the form of greenbelts along pedestrian walkways and landscaped areas. The first pocket park measures approximately 3,129 square feet in size and is located on Lot 75 near the entrance of the project site. The second pocket park measures approximately 7,025

square feet in size and is located on Lot 77 in the center of the project site. Both pocket parks include benches, trash receptacles, trees and open turf.

Per Section III.A.2.d.8)b) of the Ranch Plan PC Program Text, a minimum of 150 square feet of usable private open space shall be provided for each dwelling unit. The ratio of length to width of any usable private open space area may be no more than three-to-one. A Usable Open Space Exhibit has been provided as Sheet 3 of the project plans that shows the required 150 square feet of usable open space for each unit. The exhibit also notes the smallest private open space provided for any unit is 529 square feet, with the average private open space for the entire project site being 1,116 square feet.

Landscape

The applicant provided a conceptual landscape plan for the proposed project site indicating all passive and active open space will be a combination of hardscape and landscaping. Prior to grading permit issuance, the applicant shall provide detailed landscape plans that provide more information regarding the requirements as identified in the 2016 Landscape Irrigation Code and Implementation Guidelines and the landscape development standards of the PC text(Condition no.8).

Mitigation measure 4.7-3 of EIR 589 requires that trees be incorporated into the design of the project parking area and overall project site for purposes of reducing evaporative emissions from parked vehicles, reducing summer cooling needs, and providing shade along pedestrian paths. The provided conceptual landscape plans indicate trees will be provided adjacent to parking areas and pedestrian paths. Condition of Approval No. 14 has been included to ensure shade trees are reviewed during landscape plan check for compliance.

Model Complex

The project will include a Model Home Sales Complex located on Lots 1 through 6 and 75, and more specifically located near the entrance of the project site off of Ivy Way. Plan type units 1A, 2BR, and 3C will serve as the model complex. A temporary sales office will be located in the garage of Lot 1 and an ADA accessible restroom will be located in the garage of Lot 3. Identification signage, flags, enhanced landscaping, and a designated parking area with 10 parking spaces including 1 ADA accessible space are included in the Model Home Sales Complex site and meet applicable County and Ranch Plant PC Text standards and requirements.

The proposed Model Home Sales Complex is in compliance with the applicable zoning regulations as required by Orange County Zoning Code §7-9-136.1. The model homes will not be converted to permanent use as residential dwellings until the model home sales complex is removed and the individual lots becomes legal building sites upon tract recordation.

Fire Master Plan

The applicant has provided a copy of the Orange County Fire Authority (OCFA) Fire Master Plan, Service Request number 292620 approved on April 21, 2021. OCFA has reviewed the proposed project and has concurred with the proposal. OCFA and OC Development Services/Land Development will continue to coordinate necessary plan check reviews during the permitting and construction process to ensure establishment of Site Development Permit PA20-0048 in compliance with associated fire safety and fire protection requirements.

REFERRAL FOR COMMENT AND PUBLIC NOTICE:

Copies of the site development permit submittal package were distributed for review and comment to County staff and consultants, including Land Development, Traffic & Development Support, Inspection Services, Building & Safety, and the Orange County Fire Authority. Through a collaborative effort with County staff, the applicant adequately addressed all comments. As of the writing of this staff report, no further comments have been received from any County divisions.

A Notice of Public Hearing was mailed to all property owners of record within 300 feet of the subject site on May 7, 2021. Additionally, notices were posted at the site, at the Orange County Hall of Administration, and at the County Administrations South (CAS) Building, as required by established public hearing posting procedures. No public comments have been received to date.

CEQA COMPLIANCE:

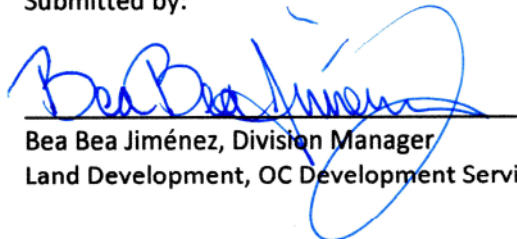
This project is covered by previous CEQA documentation, which includes Final Program EIR 589, which was certified on November 8, 2004; Addendum 1.0, approved on July 26, 2006; Addendum 1.1, approved on February 24, 2011; the Planning Area 2 Addendum, approved March 27, 2013; and Addendum 3.1, approved February 25, 2015. This finding is appropriate and complies with the intent of CEQA, pursuant to the Orange County 2020 Local CEQA Procedures Manual, Section 13.1 for projects where a previous environmental document (i.e. Program EIR 589) is already in place. Further CEQA evaluation and clearances are not required for proposed site development permit PA20-0048.

CONCLUSION:

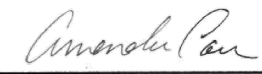
Based upon a review of the subject submittal, staff has determined that the proposed Site Development Permit allow for the development of 73 Planned Concept Detached Single-Family Dwellings on a 8.14-acre site, a model home sales complex, and a Project Specific Alternative Site Development Standard, consists of principal permitted uses, subject to a Site Development Permit, under the Ranch Plan PC Program Text "Planned Concept Detached Single-Family Dwellings" (PC Section III.A.2.d.). This proposal is in compliance with Ranch Plan PC Program Text and is compatible with the surrounding development. The requests to allow for 8.2-foot aggregate setbacks and 8.2-foot building separations may be allowed as a Project Specific Alternative Site Development Standard subject to the approval of the Zoning Administrator in a public hearing per the Ranch Plan PC Text Section II.C.4 b, Site Development Permit Content, Procedures and Amendments. This project meets the findings in the Ranch Plan PC Text Section I.C.4.c. and is compatible with the surrounding development.

Staff recommends approval of planning application PA20-0048 for a Site Development Permit including a Project Specific Alternative Site Development Standard, subject to the attached Findings and Conditions of Approval.

Submitted by:


Bea Bea Jiménez, Division Manager
Land Development, OC Development Services

Approved by,


Amanda Carr, Deputy Director
OC Public Works, OC Development Services

APPENDICES:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Ranch Plan Regulation Compliance Matrix- Site Development Permit Items

ATTACHMENTS:

- 1. Applicant's Letter of Project Proposal
- 2. Project Plans with Fire Master Plan

APPEAL PROCEDURE:

Any interested person may appeal the decision of the Zoning Administrator on this application to the Orange County Planning Commission within 10 calendar days of the decision upon submittal of required documents and a filing deposit of \$500.00 filed at the County Administration South (CAS) Building, 601 North Ross Street, Santa Ana. If you challenge the action taken on this proposal in court, you may be limited to raising only those issues you or someone else raised in written correspondence delivered to OC Development Services.

APPENDIX A



Appendix A Findings PA20-0048

1	EIR AND ADDENDUM	PA20-0048
<p>That the decision-maker has considered Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 2006; Addendum 1.1 (PA110002-PA110006) approved February 24, 2011; the Planning Area 2 Addendum (PA130001-PA130004 and pA130006) approved on March 27, 2013; and Addendum 3.1 (PA140072-81) approved February 25, 2015 prior to project approval:</p> <p>a. Together, these documents reflect the independent judgment of the County and satisfy the requirements of CEQA for approval of PA20-0048, which is a necessarily included element contemplated as part of the whole of the action considered in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning area 2 Addendum, and Addendum 3.1;</p> <p>b. The circumstances of the project are substantially the same as described in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1 which adequately addressed the effects of the project proposed in PA20-0048. No substantial changes have been made in the project that involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes have occurred in the circumstances under which the project is being undertaken, that involve new significant environmental effects or a substantial increase in the severity of previously identified environmental effects; and no new information of substantial importance to the project which was not known or could not have been known when Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1 were certified and approved has become known; therefore, no further environmental review is required.</p> <p>c. All mitigation measures are fully enforceable pursuant to Public Resources Code section 21081.6(b) and have either been adopted as conditions, incorporated as part of the project design, or included in the procedures of project implementation.</p>		
2	ENVIRONMENTAL MONITORING	PA20-0048
<p>That the monitoring requirements of Public Resources Code Section 21081.6 (AB 3180) will be considered as having been met in that the design of the subject project, the satisfaction of the requirements of the County's building, grading, fire, and other codes and ordinances and the satisfaction of the conditions of approval applied to the project will implement the mitigation measures contained in EIR No. 589, Addendum 1 (PA06-0023), Addendum 1.1 (PA110003-0006), the Planning Area 2 Addendum (PA130001-0004 and PA130006), and Addendum 3.1 (PA140072-81).</p>		
3	GENERAL PLAN	PA20-0048
<p>That the use or project proposed is consistent with the objectives, policies, and general land uses and programs specified in the General Plan adopted pursuant to the State Planning and Zoning Law.</p>		
4	ZONING	PA20-0048
<p>That the use, activity or improvement(s) proposed, subject to the specified conditions, is consistent with the Ranch Plan Planned Community Program Text and provisions of the Zoning Code.</p>		
5	COMPATIBILITY	PA20-0048
<p>That the location, size, design and operating characteristics of the proposed use will not create significant noise, traffic or other conditions or situations that are objectionable, detrimental or incompatible with other permitted uses in the vicinity of the project area.</p>		
6	GENERAL WELFARE	PA20-0048
<p>That the application will not result in conditions or circumstances contrary to the public health and safety and the general welfare.</p>		
7	PUBLIC FACILITIES	PA20-0048
<p>That the approval of the permit application is in compliance with Codified Ordinance Section 7-9-711 regarding public facilities (fire station, library, sheriff, etc.).</p>		
8	NUMBER OF DWELLING UNITS	PA20-0048
<p>That the number of dwelling units permitted by this use permit is compatible with existing and planned infrastructure facilities.</p>		
9	PARKING AND CIRCULATION	PA20-0048
<p>That the access, parking and circulation facilities will not result in excess traffic safety hazards.</p>		
10	SEWER SYSTEM	PA20-0048
<p>That the discharge of waste from the proposed subdivision into the existing sewer system of the Water District will not result in violations of existing requirements prescribed by the California Regional Water Quality Control Board, San Diego Region.</p>		
11	MODEL HOME SALES COMPLEX	PA20-0048
<p>That the operation of a model home sales complex will not conflict with adjacent and nearby residential uses.</p>		
12	ALTERNATIVE DEVELOPMENT STANDARDS	PA20-0048
<p>That the alternative development standards will result in an equivalent or better project in terms of reducing adverse impacts and/or providing additional or superior public benefits to the immediate and surrounding community</p>		

APPENDIX B



Appendix B Conditions of Approval PA20-0048

1 RANCH PLAN REGULATION COMPLIANCE MATRIX PA20-0048

The applicant shall comply with all applicable requirements of the Ranch Plan Regulation Compliance Matrix: to the satisfaction of the appropriate decision maker listed in each applicable Regulation Compliance Matrix item. The applicable requirements are listed below and attached as Appendix C:

a. Prior to Issuance of Grading Permits

521: EIR 589 Standard Condition 4.4-1 (G01) – Geotechnical report
522: EIR 589 Standard Condition 4.4-2 (G02) – Conformance with TT Map
523: EIR 589 Standard Condition 4.4-2 (G02) – Revised TT Map (if necessary)
524: EIR 589 Stand. Cond. 4.4-3 (G04) – Off-site Letter of Consent (if necessary)
525: EIR 589 Standard Condition 4.4-4 (G09) – Consistency with Planning Approval
527 & 527.1: EIR 589 Standard Condition 4.5-1 (D01a) – Drainage Study
528 & 528.1: EIR 589 Standard Condition 4.5-2 (D02a) – Drainage Improvements
530 & 530.1: EIR 589 Standard Condition 4.5-3 (D02b) – Drainage Improvements
537 & 537.1: EIR 589 St. Cond. 4.5-8 (WQ01) – Water Quality Management Plan (WQMP)
538: EIR 589 St. Cond. 4.5-8 (WQ03) – Water Quality Management Plan (WQMP)
540: EIR 589 St. Cond. 4.5-10 (WQ04) – Stormwater Pollution Prevention (SWPPP)
541: EIR 589 St. Cond. 4.5-11 (WQ05) – Erosion and Sediment Control Plan
548: EIR 589 Standard Condition 4.6-6 (T07) – Sight Distance
555, 555.1 through 555.5: EIR 589 Standard Condition 4.7-1 – Fugitive Dust
556, 556.1, 556.2 & 556.3: EIR 589 Standard Condition 4.7-2 – Emission Control
557: EIR 589 Standard Condition 4.8-1 (N10) – Hours of Construction
558, 558.1, 558.2, 558.3 & 558.4: EIR 589 St. Condition. 4.8-2 (N10) – Construction Noise
559 & 559.1: EIR 589 Standard Condition 4.8-3 (N01) – Sound Attenuation
562: EIR 589 Standard Condition 4.8-6 (N08) – Noise Generating Equipment (Non-Residential)
567: EIR 589 Standard Condition 4.10-2 (LA02b) – Private Area Landscaping
571: EIR 589 Standard Condition 4.11-1 (A04) – Archaeology Grading Observation and Salvage
574: EIR 589 Standard Condition 4.11-2 (A07) – Paleontology Resource Surveillance
589: EIR 589 Standard Condition 4.14-2 – Hazardous Materials
616: Ranch Plan Fire Prot. Program Cond. 3.d. – Precise Fuel Modification Plan

b. Prior to Precise Fuel Modification Plans:

138: EIR 589 Mitigation Measure 4.9-27 – Invasive Plants and Fuel Modification

c. Prior to Issuance of Building Permit:

111: EIR 589 Mitigation Measure 4.7-3 – Use of Light-Colored Roof Materials
140: EIR 589 Mitigation Measure 4.9-28 – Open Space habitat, light shields
206: EIR 589 Mitigation Measure 4.15-5 – Capistrano Unified School District fees
526: EIR 589 Standard Condition 4.4-5 – Compliance with Code
537 & 537.1: EIR 589 St. Cond. 4.5-8 (WQ01) – Water Quality Management Plan (WQMP)
538: EIR 589 St. Cond. 4.5-8 (WQ03) – Water Quality Management Plan (WQMP)
540: EIR 589 St. Cond. 4.5-10 (WQ04) – Stormwater Pollution Prevention (SWPPP)
541: EIR 589 St. Cond. 4.5-11 (WQ05) – Erosion and Sediment Control Plan
547: EIR 589 Standard Condition 4.6-5 (T05) – Major Thoroughfare & Bridge Fees
550, 550.1, 550.2 & 550.4: EIR 589 Standard Condition 4.6-8 (T12) – Internal Circulation
559.2 & 559.3: EIR 589 Standard Condition 4.8-3 (N01) – Sound Attenuation
561 & 561.1: EIR 589 Standard Condition 4.8-5 (N02) – Non-Residential Development
562: EIR 589 Standard Condition 4.8-6 (N08) – Noise Generating Equipment (Non-Residential)
564 & 564.1: EIR 589 Standard Condition 4.10-1 (LA01b) – Public Area Landscaping
570: EIR 589 Standard Condition 4.10-3 (LG01) – Light and Glare
589: EIR 589 Standard Condition 4.14-2 – Hazardous Materials
617: Ranch Plan Fire Prot. Program Cond. 3.e. – Vegetation Clearance

d. Prior to Combustible Construction:

609: Ranch Plan Fire Prot. Program Cond. 2.d. – Emergency Access & Water Supply

e. During Construction:

197: EIR 589 Mitigation Measure 4.14-13 – ESA Remedial Measures

f. Prior to Certificates of Occupancy:

529: EIR 589 Standard Condition 4.5-2 (D02a) – Drainage Improvements
531: EIR 589 Standard Condition 4.5-3 (D02b) – Drainage Improvements
539, 539.1 & 539.2: EIR 589 Standard Condition 4.5-9 (WQ03) – Compliance with Water Quality Management Plan (WQMP)
560: EIR 589 Standard Condition 4.8-4 (N09) – Multi-Family Residential Development
563: EIR 589 Standard Condition 4.8-7 (N12) – Transportation Corridor Notification
565 & 566: EIR 589 Standard Condition 4.10-1 (LA01b) – Public Area Landscaping
568 & 569: EIR 589 Standard Condition 4.10-2 (LA02b) – Private Area Landscaping
618: Ranch Plan Fire Prot. Program Cond. 3.f. – Fuel Modification Zones

g. Prior to Release of Grading Bond:

572 & 573: EIR 589 Standard Condition 4.11-1 (A04) – Archaeology Grading Observation and Salvage
575 & 576: EIR 589 Standard Condition 4.11-2 (A07) – Paleontology Resource Surveillance

2 BASIC/ZONING REGULATIONS PA20-0048

This approval constitutes approval of the proposed project only to the extent that the project complies with the Orange County Zoning Code and any other applicable zoning regulations. Approval does not include any action or finding as to compliance or approval of the project regarding any other applicable ordinance, regulation or requirement.

3 BASIC/TIME LIMIT PA20-0048

This approval is valid for a period of 36 months from the date of final determination. If the use approved by this action is not established within such period of time, this approval shall be terminated and shall thereafter be null and void.

4 BASIC/PRECISE PLAN PA20-0048

Except as otherwise provided herein, this permit is approved as a precise plan. If the applicant proposes changes regarding the location or alteration of any use or structure, the applicant shall submit a changed plan to the Director, OC Planning, for approval. If the Director, OC Planning, determines that the proposed change complies with the provisions and the spirit and intent of the original approval action, and that the action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.

5 BASIC/COMPLIANCE PA20-0048

Failure to abide by and faithfully comply with any and all conditions attached to this approving action shall constitute grounds for the revocation of said action by the Orange County Planning Commission.

6 INDEMNIFICATION PA20-0048

Applicant shall defend with counsel approved by the County of Orange in writing, indemnify and hold harmless the County of Orange, its officers, agents and employees from any claim, action or proceeding against the County, its officers, agents or employees to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental documents, findings or other environmental determination, by the County of Orange, its Board of Supervisors, Planning Commission, Zoning Administrator, Director of OC Public Works, or Director of Planning concerning this application. The County may, at its sole discretion, participate in the defense of any action, but such participation shall not relieve applicant of his/her obligations under this condition. Applicant shall reimburse the County for any court costs and attorneys fees that the County may be required to pay as a result of such action. The County shall promptly notify the applicant of any such claim, action or proceeding.

7 BASIC/APEAL EXACTIONS PA20-0048

Pursuant to Government Code Section 66020, the applicant is hereby informed that the 90-day approval period in which the applicant may protest the fees, dedications, reservations or other exactions imposed on this project through the conditions of approval has begun.

8 PRIVATE LANDSCAPING PA20-0048

- A. Prior to the issuance of precise grading permits, the applicant shall submit a detailed landscape plan for the project area which shall be approved by the Manager, Permit Services in consultation with the Manager, OC Planning. The plan shall be certified by a licensed landscape architect or a licensed landscape contractor, as required, as taking into account approved preliminary landscape plan (if any), County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, and water conservation measures contained in the County of Orange Landscape Code (Ord. No. 09-010) and shall comply with State's Model Water Efficient Landscape Ordinance (MWEL0 - Sections 490-495, Chapter 2.7, Division 2, Title 23 in the California Code of Regulations).
- B. Prior to the approval of final inspection, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan.
- C. Prior to the approval of final inspection, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Permit Services.

9 WATER QUALITY MANAGEMENT PLAN PA20-0048

Prior to the issuance of any grading or building permits, the applicant shall submit for review and approval by the Manager, Permit Services, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. The applicant shall utilize the Orange County Drainage Area Management Plan (DAMP), Model WQMP, and Technical Guidance Manual for reference, and the County's WQMP template for submittal. This WQMP shall include the following:

- Detailed site and project description
- Potential stormwater pollutants
- Post-development drainage characteristics
- Low Impact Development (LID) BMP selection and analysis
- Structural and Non-Structural source control BMPs
- Site design and drainage plan (BMP Exhibit)
- GIS coordinates for all LID and Treatment Control BMPs
- Operation and Maintenance (O&M) Plan that (1) describes the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identifies the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; and (3) describes the mechanism for funding the long-term operation and maintenance of the referenced BMPs

The BMP Exhibit from the approved WQMP shall be included as a sheet in all plan sets submitted for plan check and all BMPs shall be depicted on these plans. Grading and building plans must be consistent with the approved BMP exhibit.

10 COMPLIANCE WITH THE NPDES IMPLEMENTATION PROGRAM PA20-0048

Prior to the issuance of a certificate of use and occupancy, the applicant shall demonstrate compliance with the County's NPDES Implementation Program in a manner meeting the satisfaction of the Manager, OC Inspection, including:

- Demonstrate that all structural Best Management Practices (BMPs) described in the BMP Exhibit from the project's approved WQMP have been implemented, constructed and installed in conformance with approved plans and specifications
- Demonstrate that the applicant has complied with all non-structural BMPs described in the project's WQMP
- Submit for review and approval an Operations and Maintenance (O&M) Plan for all structural BMPs (the O&M Plan shall become an attachment to the WQMP;
- Demonstrate that copies of the project's approved WQMP (with attached O&M Plan) are available for each of the initial occupants;
- Agree to pay for a Special Investigation from the County of Orange for a date twelve (12) months after the issuance of a Certificate of Use and Occupancy for the project to verify compliance with the approved WQMP and O&M Plan
- Demonstrate that the applicant has RECORDED one of the following:
 1. The CC&R's (that must include the approved WQMP and O&M Plan) for the project's Home Owner's Association;
 2. A water quality implementation agreement that has the approved WQMP and O&M Plan attached; or
 3. The final approved Water Quality Management Plan (WQMP) and Operations and Maintenance (O&M) Plan.

Prior to the issuance of any grading or building permit, the applicant shall submit a Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Permit Intake, to demonstrate compliance with the County's NPDES Implementation Program and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. The ESCP shall be updated as needed to address the changing circumstances of the project site. A copy of the current ESCP shall be kept at the project site and be available for County review on request.

Prior to issuance of a building permit, the off-site regional Best Management Practices (BMPs) relied upon by this project (e.g., basins, swales, etc.) must be built and/or installed, and operational. The location and operation of these regional BMPs must be in compliance with the Final Project-Specific WQMP for the regional BMP(s). The location and operation of the regional BMP(s) must be demonstrated to the satisfaction of the Manager, Grading and Building Plan Check.

Prior to approval, landscape plans shall demonstrate compliance with mitigation measure 4.7-3 of EIR 589 by incorporating shade trees into the design of the project parking area and overall project site for purposes of reducing evaporative emissions from parked vehicles, reducing summer cooling needs, and providing shade along pedestrian paths. Compliance must be demonstrated to the satisfaction of the Manager, Development Services.

Prior to issuance of any certificate of occupancy, lots 74 through 81 of Vesting Tentative Tract Map 19025 shall be developed exclusively as recreation/open space as indicated on this site development permit and shall not be developed as residential lots. A similar note shall also be recorded on the final map indicating lots 74 through 81 shall be developed exclusively as recreation/open space and shall not be developed as residential lots.

- A. Within ninety (90) days after the termination of the use of the subject property as a model home sales complex, the applicant shall remove the signs and revise the model home sales complex as necessary to comply with the current applicable zoning regulations.
- B. The use approved by this action shall expire three (3) years from the issuance of the temporary certificate of use and occupancy . Applicant may apply for one (1) one year extension for this permit.
- C. Notwithstanding this site plan, applicant shall submit a changed plan to reflect exact size, location and copy of signs associated with the model homes. The signed copy shall be limited to matters relating to the recorded tract within in which the signs are located. Such signs shall have a time limit of existence concurrent with the use of the permitted temporary model homes within the recorded tract. No signs shall be posted or placed on public or private property advertising or directing people to the development which is the subject of this permit, unless such sign is allowed by all applicable permits and is expressly permitted by written consent of the property owner. It is expressly understood and accepted by the applicant that this condition is applicable to any sign advertising or directing people to the development, regardless of whether the applicant directly posted or placed the sign in question. A maximum of ten (10) on site pennants are permitted in connection with the model home sales complex use.

APPENDIX C

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application	Applicant Comments	County Comments	Satisfied or Not Satisfied Y/N
a. Prior to Issuance of Grading Permits															
521		EIR 589	SC 4.4-1	Prior to the issuance of a grading permit	Geology and Soils:		Geology and Soils:	Prior to the issuance of a grading permit, the applicant shall submit a geotechnical report to the Manager of Subdivision Manager OC Planned Communities and Grading, for approval. The report shall meet the requirements outlined in the County of Orange Grading Code and Manual. (County Standard Condition G01)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory geotechnical report		Each PA			
522		EIR 589	SC 4.4-2	Prior to the issuance of a grading permit	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to the issuance of any grading permits, the Manager of Subdivision and Grading shall review the grading plan for conformance with the grading shown on the approved tentative map. If the applicant submits a grading plan which the Manager of Subdivision and Grading Manager OC Planned Communities determines to show a significant deviation from the grading shown on the approved tentative map, specifically with regard to slope heights, slope ratios, pad elevations or configurations, the Subdivision Committee shall review the plan for a finding of substantial conformance. (County Standard Condition G02)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approval of grading plan demonstrating submittal conformance with the grading shown on the approved TTM		Each PA			
523		EIR 589	SC 4.4-2 (cont.)	Prior to the issuance of a grading permit	Geology and Soils (cont.):		Geology and Soils (cont.):	If the Subdivision Committee fails to make such a finding, the applicant shall process a revised tentative map; or, if a final map has been recorded, the applicant shall process a new tentative map or a site development permit application per Orange County Zoning Code Sections 7-9-139 and 7-9-150. Additionally, the applicant shall process a new environmental assessment for determination by the decision making entity. (County Standard Condition G02)	Subdivision Committee review for substantial conformance, if required	Process new subdivision, if necessary		Each PA			
524		EIR 589	SC 4.4-3	Prior to the recordation of a subdivision map or prior to issuance of a Grading Permit, whichever comes first	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to the recordation of a subdivision map or prior to the issuance of any grading permit, whichever comes first, and if determined necessary by the County of Orange Manager, Subdivision and Grading, the applicant shall record a letter of consent from the affected property owners permitting off-site grading, cross lot drainage, drainage diversions and/or unnatural concentrations. The applicant shall obtain approval of the form of the letter of consent from the Manager, Subdivision and Grading Services before recordation of the letter. (County Standard Condition G04)	County of Orange Director of Planning & Development Services, Director, OC Planning	Recordation of a letter of consent from affected property owners if determined necessary by County of Orange Director of Planning & Development Services		Each PA			

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application	Applicant Comments	County Comments	Satisfied or Not Satisfied Y/N
525		EIR 589	SC 4.4-4	Prior to the issuance of grading permits	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to issuance of grading permits, the Manager of Subdivision and Grading Manager OC Planned Communities shall determine that the proposed grading is consistent with the grading depicted within the approved planning application. (County Standard Condition G09)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approval of grading plan		Each PA			
527		EIR 589	SC 4.5-1	Prior to recordation of a Subdivision Map or issuance of a Grading Permit, whichever comes first	Drainage Study:		Drainage Study:	Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading permits, whichever comes first, the following drainage studies shall be submitted to and approved by the Manager, Subdivision and Grading: (County Standard Condition D01a)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory of drainage study		Each PA			
527.1		EIR 589	SC 4.5-1 (cont.)	See above	Drainage Study (cont.):		Drainage Study (cont.):	A. A drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; and B. When applicable, a drainage study evidencing that proposed drainage patterns will not overload existing storm drains; and C. Detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood. (County Standard Condition D01a)	See above	See above		Each PA			
528		EIR 589	SC 4.5-2	Prior to recordation of a Subdivision Map or Issuance of a Grading Permit, whichever comes first	Drainage Improvements:		Drainage Improvements:	A. Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading permits, whichever comes first, the applicant shall in a manner meeting the approval of the Manager, Subdivision and Grading: (County Standard Condition D02a)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approval of storm drain drainage plans and offer(s) of dedication, if necessary		Each PA			
528.1		EIR 589	SC 4.5-2 (cont.)	See above	Drainage Improvements (cont.):		Drainage Improvements (cont.):	1) Design provisions for surface drainage; 2) Design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and 3) Dedicate the associated easements to the County of Orange, if determined necessary. (County Standard Condition D02a)	See above	See above		Each PA			

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application	Applicant Comments	County Comments	Satisfied or Not Satisfied Y/N
530		EIR 589	SC 4.5-3	Prior to the issuance of Grading Permits	Drainage Improvements (cont.):		Drainage Improvements (cont.):	A. Prior to the issuance of any grading permits, the applicant shall in a manner meeting the approval of the Manager, Subdivision and Grading: (County Standard Condition D02b)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory drainage plans		Each PA			
530.1		EIR 589	SC 4.5-3 (cont.)	See above	Drainage Improvements (cont.):		Drainage Improvements (cont.):	1) Design provisions for surface drainage; and 2) Design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and 3) Dedicate the associated easements to the County of Orange, if determined necessary. (County Standard Condition D02b)	See above	See above		Each PA			
537		EIR 589	SC 4.5-8	Prior to the recordation of a Subdivision Map or the issuance of any Grading or Building Permit, whichever comes first	Water Quality Management Plan:		Water Quality Management Plan:	Prior to the recordation of any final subdivision map (except those maps for financing or conveyance purposes only) or the issuance of any grading or building permit (whichever comes first), the applicant shall submit for review and approval by the Manager, Inspection Services Division, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. This WQMP shall identify, at a minimum, the routine structural and non-structural measures specified in the current Drainage Area Management Plan (DAMP). The WQMP may include one or more of the following: (County Standard Condition WQ01)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory Water Quality Management Plan		Each PA			

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application	Applicant Comments	County Comments	Satisfied or Not Satisfied Y/N
537.1		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	<ul style="list-style-type: none"> Discuss regional water quality and/or watershed programs (if available for the project); Address Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas; Include the applicable Routine Source Control BMPs as defined in the DAMP. (County Standard Condition WQ01) 	See above	See above		Each PA			
538		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Demonstrate how surface runoff and subsurface drainage shall be managed and directed to the nearest acceptable drainage facility (as applicable), via sump pumps if necessary. (Standard Condition of Approval, WQ03)	See above	See above		Each PA			
540		EIR 589	SC 4.5-10	Prior to the issuance of any Grading or Building Permits	Stormwater Pollution Prevention Plan.		Stormwater Pollution Prevention Plan.	<p>Prior to the issuance of any grading or building permits, the applicant shall demonstrate compliance under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing in a manner meeting the satisfaction of the Manager, Building Permit Services. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ04)</p>	County of Orange Manager of Building Inspection Manager, OC Inspection Division (Regional Water Quality Control Board)	Provision of Notice of Intent and verification of a copy of the Storm Water Pollution Prevention Plan (SWPPP); at the project site		Each PA			

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541		EIR 589	SC 4.5-11	Prior to the issuance of any Grading or Building Permits	Erosion and Sediment Control Plan.		Erosion and Sediment Control Plan.	Prior to the issuance of any grading or building permit, the applicant shall submit a Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Building Permit Services, to demonstrate compliance with local and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. A copy of the current ESCP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ05)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Submittal of satisfactory Erosion and Sediment Control Plan (ESCP); verification of copy of ESCP at project site		Each PA			
548		EIR 589	SC 4.6-6	Prior to the issuance of Grading Permits	Sight Distance:		Sight Distance:	Prior to the issuance of any grading permits, the applicant shall provide adequate sight distance per Standard Plan 1117 at all street intersections, in a manner meeting the approval of the Manager, Subdivision and Grading. The applicant shall make all necessary revisions to the plan to meet the sight distance requirement such as removing slopes or other encroachments from the limited use area in a manner meeting the approval of the Manager, Subdivision and Grading Services. (Standard Condition of Approval T07)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approved grading plans verifying adequate sight distance		Each PA			
555		EIR 589	SC 4.7-1	Prior to the issuance of a grading permit	Fugitive Dust:		Fugitive Dust:	All construction contractors shall comply with South Coast Air Quality Management District (SCAQMD) regulations, including Rule 403, Fugitive Dust, and Rule 402, Nuisance. All grading (regardless of acreage) shall apply best available control measures for fugitive dust in accordance with Rule 403. To ensure that the project is in full compliance with applicable SCAQMD dust regulations and that there is no nuisance impact off the site, the contractor would implement each of the following:	County of Orange Director of Planning & Development Services, Director, OC Planning	Verification of compliance with Rule 403 and Rule 402		Each PA			

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555.1		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	a. Moisten soil not more than 15 minutes prior to moving soil or conduct whatever watering is necessary to prevent visible dust emissions from traveling more than 100 feet in any direction.	See above	See above		Each PA			
555.2		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	b. Apply chemical stabilizers to disturbed surface areas (i.e., completed grading areas) within five days of completing grading or apply dust suppressants or vegetation sufficient to maintain a stabilized surface.	See above	See above		Each PA			
555.3		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	c. Water excavated soil piles hourly or cover with temporary coverings.	See above	See above		Each PA			
555.4		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	d. Water exposed surfaces at least twice a day under calm conditions. Water as often as needed on windy days when winds are less than 25 miles per day or during very dry weather in order to maintain a surface crust and prevent the release of visible emissions from the construction site.	See above	See above		Each PA			
555.5		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	e. Wash mud-covered tires and under-carriages of trucks leaving construction sites.	See above	See above		Each PA			
555.5		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	f. Provide for street sweeping, as needed, on adjacent roadways to remove dirt dropped by construction vehicles or mud, which would otherwise be carried off by trucks departing from project sites.	See above	See above		Each PA			
556		EIR 589	SC 4.7-2	Prior to issuance of a grading permit	Construction - ROC and NOX Emissions:		Construction - ROC and NOX Emissions:	The applicant shall comply with the following measures, as feasible, to reduce NO _x and ROC from heavy equipment.	County of Orange Director of Planning & Development Services, Director, OC Planning	Place as general notes on approved grading plan		Each PA			
556.1		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions:		Construction Emissions:	a. Turn equipment off when not in use for more than five minutes.	See above	See above		Each PA			
556.2		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions (cont.):		Construction Emissions (cont.):	b. Maintain equipment engines in good condition and in proper tune as per manufacturers' specifications.	See above	See above		Each PA			
556.3		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions (cont.):		Construction Emissions (cont.):	c. Lengthen the construction period during smog season (May through October) to minimize the number of vehicles and equipment operating at the same time.	See above	See above		Each PA			

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557		EIR 589	SC 4.8-1	Prior to the issuance of grading permits	Hours of Construction:		Hours of Construction:	During construction, the project applicant shall ensure that all noise generating activities be limited to the hours of 7 a.m. to 8 p.m. on weekdays and Saturdays. No noise generating activities shall occur on Sundays and holidays in accordance with the County of Orange Noise Ordinance.	County of Orange Director of Planning & Development Services, Director, OC Planning	General note on approved grading plan		Each PA			
558		EIR 589	SC 4.8-2	Prior to the issuance of grading permits	Construction Noise:		Construction Noise:	A. Prior to the issuance of any grading permits, the project proponent shall produce evidence acceptable to the Manager, Building Permits Services, that: (County Standard Condition N10)	County of Orange Director of Planning & Development Services, Director, OC Planning	General note on approved grading plan		Each PA			
558.1		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(1) All construction vehicles or equipment, fixed or mobile, operated within 1,000' of a dwelling shall be equipped with properly operating and maintained mufflers. (County Standard Condition N10)	See above	See above		Each PA			
558.2		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(2) All operations shall comply with Orange County Codified Ordinance Division 6 (Noise Control). (County Standard Condition N10)	See above	See above		Each PA			
558.3		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(3) Stockpiling and/or vehicle staging areas shall be located as far as practicable from dwellings. (County Standard Condition N10)	See above	See above		Each PA			
558.4		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	B. Notations in the above format, appropriately numbered and included with other notations on the front sheet of the project's permitted grading plans, will be considered as adequate evidence of compliance with this condition. (County Standard Condition N10)	See above	See above		Each PA			
559		EIR 589	SC 4.8-3	See below	Sound Attenuation:		Sound Attenuation:	The applicant shall sound attenuate all residential lots and dwellings against present and projected noise (which shall be the sum of all noise impacting the project) so that the composite interior standard of 45 dBA CNEL for habitable rooms and a source specific exterior standard of 65 dBA CNEL for outdoor living areas is not exceeded. The applicant shall provide a report prepared by a County-certified acoustical consultant, which demonstrates that these standards will be satisfied in a manner consistent with Zoning Code Section 7-9-137.5, as follows: (County Standard Condition N01)	County of Orange Director of Planning & Development Services and County of Orange Manager of Building Permits Services, Director, OC Planning and Manager, Permit Services (Building Plan Check)	Submittal of satisfactory acoustical analysis	Staff may determine that no attenuation is necessary, and no action is required (as occurred in PA1). In such a case a "not applicable" memo is to be prepared. Applicant and County staff to address AC units in side yards as soon as possible.	Each PA			

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559.1		EIR 589	SC 4.8-3 (cont.)	Prior to the recordation of a subdivision map or prior to the issuance of grading permits	Sound Attenuation (cont.):		Sound Attenuation (cont.):	a. Prior to the recordation of a subdivision map or prior to the issuance of grading permits, as determined by the Manager, Building Permits Services, the applicant shall submit an acoustical analysis report to the Manager, Building Permits Services, for approval. The report shall describe in detail the exterior noise environment and preliminary mitigation measures. Acoustical design features to achieve interior noise standards may be included in the report in which case it may also satisfy Condition B below. (County Standard Condition N01)	See above	See above		Each PA			
562		EIR 589	SC 4.8-6	Prior to the issuance of building or grading permits	Noise-Generating Equipment (Non-Residential Projects):		Noise-Generating Equipment (Non-Residential Projects):	Prior to the issuance of any building or grading permits, the applicant shall obtain the approval of the Manager, Building Permits Services of an acoustical analysis report and appropriate plans which demonstrate that the noise levels generated by this project during its operation shall be controlled in compliance with Orange County Codified Ordinance, Division 6 (Noise Control). The report shall be prepared under the supervision of a County-certified Acoustical Consultant and shall describe the noise generation potential of the project during its operation and the noise mitigation measures, if needed, which shall be included in the plans and specifications of the project to assure compliance with Orange County Codified Ordinance, Division 6 (Noise Control). (County Standard Condition N08)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Approved acoustical analysis		Each PA			
567		EIR 589	SC 4.10-2	Prior to the issuance of precise grading permits	Private Area Landscaping:		Private Area Landscaping:	a. Prior to the issuance of precise grading permits, the applicant shall prepare a detailed landscape plan for privately maintained common areas which shall be reviewed and approved by the Manager, Subdivision and Grading. The plan shall be certified by a licensed landscape architect or a licensed landscape contractor, as required, as taking into account the approved preliminary landscape plan (if any), County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, Water Conservation Measures contained in Board Resolution 90-487 (Water Conservation Measures), and Board Resolution 90-1341 (Water Conservation Implementation Plan). (County Standard Condition LA02b)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approved detailed landscape plan for privately maintained common areas		Each PA			

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571	172-176 (MM 4.11-3)	EIR 589	SC 4.11-1	Prior to the issuance of any grading permits	Archaeology Grading Observation and Salvage:		Archaeology Grading Observation and Salvage:	Prior to the issuance of any grading permit, the applicant shall provide written evidence to the County of Orange Manager, Subdivision and Grading, that applicant has retained a County-certified archaeologist to observe grading activities and salvage and catalogue archaeological resources as necessary. The archaeologist shall be present at the pre-grade conference; shall establish procedures for archaeological resource surveillance; and shall establish, in cooperation with the applicant, procedures for temporarily halting or redirecting work to permit the sampling, identification, and evaluation of the artifacts as appropriate. If the archaeological resources are found to be significant, the archaeological observer shall determine appropriate actions, in cooperation with the project applicant, for exploration and/or salvage. (County Standard Condition A04)	County of Orange Manager, Harbors, Beaches & Parks, HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Written evidence that a County-certified archaeologist has been retained to observe grading and salvage, and to catalogue archaeological resources	If prior to rough grade (GA permit) applicant has obtained archaeological clearance, no additional review or clearance required if precise grading (GB) permit is in compliance with GA permit.	Each PA			
574		EIR 589	SC 4.11-2	Prior to the issuance of any grading permits	Paleontology Resource Surveillance:		Paleontology Resource Surveillance:	Prior to the issuance of any grading permit, the project contractor shall provide written evidence to the Manager, Subdivision and Grading, that contractor has retained a County certified paleontologist to observe grading activities and salvage and catalogue fossils as necessary. The paleontologist shall be present at the pre-grade conference, shall establish procedures for paleontological resources surveillance, and shall establish, in cooperation with the contractor, procedures for temporarily halting or redirecting work to permit sampling, identification, and evaluation of the fossils. If the paleontological resources are found to be significant, the paleontologist shall determine appropriate actions, in cooperation with the contractor, which ensure proper exploration and/or salvage. (County Standard Condition A07)	County of Orange Manager, Harbors, Beaches & Parks, HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Written evidence that a County-certified archaeologist has been retained to observe grading and salvage, and to catalogue fossils as necessary		Each PA			
589		EIR 589	SC 4.14-2	Prior to issuance of a grading and/or building permit	Hazardous Materials:		Hazardous Materials:	Prior to the issuance of a grading or building permit, the contractor shall submit to the Fire Chief a list of all hazardous, flammable and combustible liquids, solids or gases to be stored, used or handled on site. These materials shall be classified according to the Uniform Fire Code and a document submitted to the Fire Chief with a summary sheet listing the totals for storage and use for each hazard class. (County Standard Condition FPC11A)	County of Orange Director of Planning & Development Services Director, OC Planning (OCFA)	Submittal of Hazardous Materials Assessment and Disclosure Statement		Each PA			

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616		Fire Prot. Prog.	Cond. 3.d.	Prior to the issuance of a GB precise grading permit	Precise Fuel Mod:		Precise Fuel Mod:	d) Prior to the issuance of a GB precise grading permit, the applicant shall provide the Manager, PDS Subdivision and Infrastructure Manager OC Planned Communities , with a clearance from OCFA indicating their review and approval of a Precise Fuel Modification Plan per RPFPP Section C.3.	Director, PDS, Director, OC Planning	Provide the Manager, PDS Subdivision and Infrastructure Manager OC Planned Communities with a clearance from OCFA demonstrating approval of a Conceptual Fuel Modification Plan					
COA# 9		PA19-0103		Prior to the issuance of any grading or building permits	WQMP			Prior to the issuance of any grading or building permits, the applicant shall submit for review and approval by the Manager, Permit Services, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. The applicant shall utilize the Orange County Drainage Area Management Plan (DAMP), Model WQMP, and Technical Guidance Manual for reference, and the County's WQMP template for submittal.	County of Orange Manager, Building Inspection Services, Manager, OC Inspection Division			Each PA			

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COA# 9 (cont.)		PA19-0103		See above	WQMP			<p>This WQMP shall include the following:</p> <ul style="list-style-type: none"> - Detailed site and project description - Potential stormwater pollutants - Post-development drainage characteristics - Low Impact Development (LID) BMP selection and analysis - Structural and Non-Structural source control BMPs - Site design and drainage plan (BMP Exhibit) - GIS coordinates for all LID and Treatment Control BMPs - Operation and Maintenance (O&M) Plan that (1) describes the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identifies the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; and (3) describes the mechanism for funding the long-term operation and maintenance of the referenced BMPs <p>The BMP Exhibit from the approved WQMP shall be included as a sheet in all plan sets submitted for plan check and all BMPs shall be depicted on these plans. Grading and building plans must be consistent with the approved BMP exhibit.</p>	County of Orange Manager, Building Inspection Services, Manager, OC Inspection Division			Each PA			

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b. Prior to Precise Fuel Modification Plans															
138	137 and 139 (EIR 589, MM 4.9-27) 514 (ROSA Exhibit G)	EIR 589	MM 4.9-27 (cont.)	Prior to the approval of Precise Fuel Modification Plans	Biological Resources	California Exotic Pest Plant Council, OCFA Fuel Modification Plant List	Invasive Plants and Fuel Modification	a. Prior to issuance of fuel modification plan approvals, the County of Orange shall verify that: 1) plants identified by the California Exotic Pest Plant Council as an invasive risk in Southern California are not included in plans for fuel management zones adjacent to the RMV Open Space and, 2) the plant palette for fuel management zones adjacent to RMV Open Space is limited to those species listed on the Orange County Fire Authority Fuel Modification Plant List.	Director, PDS- Director, OC Planning (OCFA)	Verification of authorized plant materials	Signature of Landscape Architect on approved Precise Fuel Modification Plan certifying plant palette: (a) complies with current OCFA plant list, and (b) does not include plants listed on the current invasive species list.	Each PA			
c. Prior to Issuance of Building Permit															
111	110 (MM 4.7-3)	EIR 589	MM 4.7-3 (cont.)	Prior to issuance of building permits	Air Quality	Light-colored roof materials	Use Light-Colored Roof Materials to Reflect Heat (Item Nos. 110-111)	Prior to issuance of building permits, the applicant shall identify how the use of light-colored roof materials and paint to reflect heat to the extent feasible has been incorporated into the design plans.	Director, PDS- Director, OC Planning	Issuance of Building Permit (Evidence of reflection of heat through home design)	Sustainability Issue	Each PA			
140	141 (MM 4.9-28) 515 (ROSA Exhibit G)	EIR 589	MM 4.9-28	Prior to the issuance of Building permits on streets for tracts with public street lighting adjacent to RMV Open Space habitat areas	Biological Resources	Open Space habitat, light shields	Streetlight Shielding Adjacent to Open Space	Lighting shall be shielded or directed away from RMV Open Space habitat areas through the use of low-sodium or similar intensity lights, light shields, native shrubs, berms or other shielding methods.	Director, PDS- Director, OC Planning	Preparation of a lighting plan	Preparation of street improvement plans for public streets that detail how street lighting is to be directed away from RMV Open Space areas	Each Applicable PA			
206		EIR 589	MM 4.15-5	Prior to issuance of residential building permits (excluding age-qualified units)	Public Services and Facilities	California Government Code Section 65995	CUSD Agreement	Prior to issuance of any residential building permit, excluding senior housing, the applicant shall enter into an agreement with CUSD regarding the development of future facilities and payment of costs. The agreement shall, at a minimum, provide for the payment of fees pursuant to California Government Code Section 65995. If fees are paid, the amount of fees to be paid will be determined based on the established State formula for determining construction costs. Applicable fees shall be paid prior to the issuance of each building permit.	Capistrano Unified School District (CUSD)	Negotiate and execute Mitigation Agreement regarding future school facilities and payment of costs		PC-Wide			
526		EIR 589	SC 4.4-5	Prior to the issuance of building permits	Geology and Soils (cont.):		Geology and Soils (cont.):	The proposed development shall be designed in compliance with the Uniform Building Code (UBC), accepted industry standards, and the County's earthquake safety Municipal Code requirements.	County of Orange Director of Planning & Development Services, Director, OC Planning	Verification of design development compliance with the UBC and Municipal Code requirements		Each PA			

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537		EIR 589	SC 4.5-8	Prior to the recordation of a Subdivision Map or the issuance of any Grading or Building Permit, whichever comes first	Water Quality Management Plan:		Water Quality Management Plan:	Prior to the recordation of any final subdivision map (except those maps for financing or conveyance purposes only) or the issuance of any grading or building permit (whichever comes first), the applicant shall submit for review and approval by the Manager, Inspection Services Division, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. This WQMP shall identify, at a minimum, the routine structural and non-structural measures specified in the current Drainage Area Management Plan (DAMP). The WQMP may include one or more of the following: (County Standard Condition WQ01)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory Water Quality Management Plan		Each PA			
537.1		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	<ul style="list-style-type: none"> • Discuss regional water quality and/or watershed programs (if available for the project); • Address Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas; • Include the applicable Routine Source Control BMPs as defined in the DAMP. (County Standard Condition WQ01) 	See above	See above		Each PA			
538		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Demonstrate how surface runoff and subsurface drainage shall be managed and directed to the nearest acceptable drainage facility (as applicable), via sump pumps if necessary. (Standard Condition of Approval, WQ03)	See above	See above		Each PA			
540		EIR 589	SC 4.5-10	Prior to the issuance of any Grading or Building Permits	Stormwater Pollution Prevention Plan.		Stormwater Pollution Prevention Plan.	Prior to the issuance of any grading or building permits, the applicant shall demonstrate compliance under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing in a manner meeting the satisfaction of the Manager, Building Permit Services. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ04)	County of Orange Manager of Building Inspection - Manager, OC Inspection Division (Regional Water Quality Control Board)	Provision of Notice of Intent and verification of a copy of the Storm Water Pollution Prevention Plan (SWPPP); at the project site		Each PA			

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541		EIR 589	SC 4.5-11	Prior to the issuance of any Grading or Building Permits	Erosion and Sediment Control Plan.		Erosion and Sediment Control Plan.	Prior to the issuance of any grading or building permit, the applicant shall submit a Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Building Permit Services, to demonstrate compliance with local and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. A copy of the current ESCP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ05)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Submittal of satisfactory Erosion and Sediment Control Plan (ESCP); verification of copy of ESCP at project site		Each PA			
547		EIR 589	SC 4.6-5	Prior to the issuance of Building Permits	Major Thoroughfare and Bridge Fee Programs:		Major Thoroughfare and Bridge Fee Programs:	Prior to the issuance of building permits, the applicant shall pay fees for the Major Thoroughfare and Bridge Fee Program for the Foothill/Eastern Transportation Corridor, in a manner meeting the approval of the Manager, Subdivision and Grading. (County Standard Condition T05)	County of Orange Director of Planning & Development Services, Director, OC Planning	Verification of payment of fees for the Major Thoroughfare and Bridge Fee Program		Each PA			

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550		EIR 589	SC 4.6-8	Prior to the recordation of a Subdivision Map or prior to the issuance of Building Permits, whichever occurs first	Internal Circulation:		Internal Circulation:	A. Prior to the recordation of a subdivision map or the issuance of any building permits, whichever occurs first, the subdivider shall provide plans and specifications meeting the approval of the Manager, Subdivision and Grading, for the design of the following improvements: (County Standard Condition T12)	County of Orange Director of Planning & Development Services,	Submittal of satisfactory street improvement plans		Each PA			
550.1		EIR 589	SC 4.6-8 (cont.)	See above	Internal Circulation (cont.):		Internal Circulation (cont.):	1) Internal street common private drive system. (County Standard Condition T12)	See above	See above		Each PA			
550.2		EIR 589	SC 4.6-8 (cont.)	See above	Internal Circulation (cont.):		Internal Circulation (cont.):	2) Entrance to the site to emphasize that the development is private by use of signs and other features. (Standard Condition of Approval T12)	See above	See above		Each PA			
550.4		EIR 589	SC 4.6-8 (cont.)	Prior to the issuance of Building Permits	Internal Circulation (cont.):		Internal Circulation (cont.):	C. Prior to the issuance of any building permits, the subdivider shall provide plans meeting the approval of the Manager, Subdivision & Grading, for the design of the internal pedestrian circulation system within the development. (County Standard Condition T12)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory internal pedestrians circulation plans		Each PA			
559.2		EIR 589	SC 4.8-3 (cont.)	Prior to the issuance of any building permits for residential construction	Sound Attenuation (cont.):		Sound Attenuation (cont.):	b. Prior to the issuance of any building permits for residential construction, the applicant shall submit an acoustical analysis report describing the acoustical design features of the structures required to satisfy the exterior and interior noise standards to the Manager, Building Permits Services, for approval along with satisfactory evidence which indicates that the sound attenuation measures specified in the approved acoustical report have been incorporated into the design of the project. (County Standard Condition N01)	County of Orange Director of Planning & Development Services and County of Orange Manager of Building Permits Services, Director, OC Planning and Manager, Permit Services (Building Plan Check)	Submittal of satisfactory acoustical analysis		Each PA			
559.3		EIR 589	SC 4.8-3 (cont.)	See above	Sound Attenuation (cont.):		Sound Attenuation (cont.):	c. Prior to the issuance of any building permits, the applicant shall show all freestanding acoustical barriers on the project's plot plan illustrating height, location and construction in a manner meeting the approval of the Manager, Building Permits Services. (County Standard Condition N01)	See above	See above		Each PA			
561		EIR 589	SC 4.8-5	Prior to the issuance of building permits	Non-Residential Development:		Non-Residential Development:	Except when the interior noise level exceeds the exterior noise level, the applicant shall sound attenuate all nonresidential structures against the combined impact of all present and projected noise from exterior noise sources to meet the interior noise criteria as specified in the Noise Element and Land Use/Noise Compatibility Manual. (County Standard Condition N02)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Submittal of satisfactory acoustical analysis		Each PA			

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561.1		EIR 589	SC 4.8-5 (cont.)	See above	Non-Residential Development:		Non-Residential Development:	Prior to the issuance of any building permits, the applicant shall submit to the Manager, Building Permit Services, an acoustical analysis report prepared under the supervision of a County-certified acoustical consultant which describes in detail the exterior noise environment and the acoustical design features required to achieve the interior noise standard and which indicates that the sound attenuation measures specified have been incorporated into the design of the project. (County Standard Condition N02)	See above	See above		Each PA			
562		EIR 589	SC 4.8-6	Prior to the issuance of building or grading permits	Noise-Generating Equipment (Non-Residential Projects):		Noise-Generating Equipment (Non-Residential Projects):	Prior to the issuance of any building or grading permits, the applicant shall obtain the approval of the Manager, Building Permits Services of an acoustical analysis report and appropriate plans which demonstrate that the noise levels generated by this project during its operation shall be controlled in compliance with Orange County Codified Ordinance, Division 6 (Noise Control). The report shall be prepared under the supervision of a County-certified Acoustical Consultant and shall describe the noise generation potential of the project during its operation and the noise mitigation measures, if needed, which shall be included in the plans and specifications of the project to assure compliance with Orange County Codified Ordinance, Division 6 (Noise Control). (County Standard Condition N08)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Approved acoustical analysis		Each PA			
564		EIR 589	SC 4.10-1	Prior to the issuance of building permits	Public Area Landscaping:		Public Area Landscaping:	The applicant shall install landscaping, equip for irrigation, and improvements on lots in accordance with an approved plan as stated below: (County Standard Condition LA01b)	County of Orange Director of Planning & Development Services in consultation with Manager, HBP, Director, OC Planning	Approved landscaping plan and irrigation plan		Each PA			

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564.1		EIR 589	SC 4.10-1 (cont.)	See above	Public Area Landscaping:		Public Area Landscaping:	a. Detailed Plan–Prior to the issuance of any building permit(s), the applicant shall submit a detailed landscape plan showing the detailed irrigation and landscaping design to the Manager, Subdivision and Grading for approval, in consultation with the Manager HBP/Program Management. Detailed plans shall show the detailed irrigation and landscaping design and shall take into account the previously approved landscape plan for the Ranch Plan project, the County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, Water Conservation Measures contained in Board Resolution 90-487 (Water Conservation Measures), and Board Resolution 90-1341 (Water Conservation Implementation Plan). (County Standard Condition LA01b)	See above	See above		Each PA			
570		EIR 589	SC 4.10-3	Prior to the issuance of building permits	Light and Glare:		Light and Glare:	Prior to issuance of any building permit, the applicant shall demonstrate that all exterior lighting has been designed and located so that all direct rays are confined to the property in a manner meeting the approval of the Manager, Building Permit. (County Standard Condition LG01)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Approved lighting study/plan	Low voltage lighting: landscape architect is the designer can sign off on the lighting. High voltage lighting: electrical engineer stamp required.	Each PA			
589		EIR 589	SC 4.14-2	Prior to issuance of a grading and/or building permit	Hazardous Materials:		Hazardous Materials:	Prior to the issuance of a grading or building permit, the contractor shall submit to the Fire Chief a list of all hazardous, flammable and combustible liquids, solids or gases to be stored, used or handled on site. These materials shall be classified according to the Uniform Fire Code and a document submitted to the Fire Chief with a summary sheet listing the totals for storage and use for each hazard class. (County Standard Condition FPC11A)	County of Orange Director of Planning & Development Services- Director, OC Planning (OCFA)	Submittal of Hazardous Materials Assessment and Disclosure Statement		Each PA			

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617		Fire Prot. Prog.	Cond. 3.e.	Prior to the issuance of a building permit for construction phases of Vesting Tentative Tract Maps adjoining fuel modification areas, and prior to the County of Orange allowing fuel tanks, generators and/or Lumber Drops	Vegetation Clearance:		Vegetation Clearance:	e) Prior to the issuance of a building permit for construction phases of Vesting Tentative Tract Maps adjoining fuel modification areas, and prior to the County of Orange allowing fuel tanks, generators and/or Lumber Drops (see Section E, Definitions) within the project site, the applicant shall provide the Manager, Building & Safety, with a clearance from OCFA indicating that vegetation has been cleared and maintained at a height of 8 inches or less, or that the appropriate fuel modification thinning and removal of plants from the OCFA Undesirable Plant List has been implemented.	Director, PDS, Director, OC Planning	Provide the Manager, Building & Safety, with a clearance from OCFA indicating that vegetation has been cleared and maintained					
COA#12		PA19-0103	Cond. #3	Prior to the issuance of a building permit			BEST MANAGEMENT PRACTICES	Prior to issuance of a building permit, the off-site regional Best Management Practices (BMPs) relied upon by this project (e.g., basins, swales, etc.) must be built and/or installed, and operational. The location and operation of these regional BMPs must be in compliance with the Final Project-Specific WQMP for the regional BMP(s). The location and operation of the regional BMP(s) must be demonstrated to the satisfaction of the Manager, Grading and Building Plan Check.	Director, PDS, Manager, Permit Services (Building Plan Check)						

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d. Prior to Combustible Construction															
609			Cond. 2.d.	Prior to initiation of combustible construction	A Map Fire Master Plan (cont.):		A Map Fire Master Plan (cont.):	d) Prior to initiation of combustible construction the following fire master plan improvements shall be verified by site inspection: • Emergency access • Water Supply	Director, PDS, Director, OC Planning	Site inspection					
e. During Construction															
197	196 (EIR 589, MM 4.14-13)	EIR 589	MM 4.14-13 (cont.)	During construction	Hazards and Hazardous Materials	Remedial measures	ESA Remedial Measures	If soil is encountered during site development that is suspected of being impacted by hazardous materials, work will be halted and site conditions will be evaluated by a qualified environmental professional. If requested by the qualified environmental professional, the results of the evaluation will be submitted to OCHCA and/or RWQCB, and the appropriate remedial measures will be implemented, as directed by OCHCA, RWQCB, or other applicable oversight agency, until all specified requirements of the oversight agencies are satisfied and a no-further-action status is attained.	Director, PDS, Director, OC Planning (Orange County Health Care Agency)	Stop work upon encountering condition; prepare evaluation and submit to OCHCA and/or RWQCB (as directed)		Each PA			
f. Prior to Issuance of Certificates of Occupancy															
529		EIR 589	SC 4.5-2 (cont.)	Prior to recordation of a Subdivision Map or Issuance of a Certificate of Use and Occupancy, whichever comes first	Drainage Improvements (cont.):		Drainage Improvements (cont.):	B. Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any certificates of use and occupancy, whichever occurs first, said improvements shall be constructed in a manner meeting the approval of the Manager, Construction. (County Standard Condition D02a)	County of Orange Manager of Inspection, Manager, OC Inspection Division	Verification of construction of drainage improvement		Each PA			
531		EIR 589	SC 4.5-3 (cont.)	Prior to the issuance of Certificates of Use and Occupancy	Drainage Improvements (cont.):		Drainage Improvements (cont.):	B. Prior to the issuance of any certificates of use and occupancy, said improvements shall be constructed in a manner meeting the approval of the Manager, Construction. (County Standard Condition D02b)	County of Orange Manager of Inspection, Manager, OC Inspection Division	Verification of installation of drainage improvement		Each PA			

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539		EIR 589	SC 4.5-9	Prior to the issuance of a Certificate of Use and Occupancy	Compliance with the WQMP:		Compliance with the WQMP:	Prior to the issuance of a certificate of use and occupancy, the applicant shall demonstrate compliance with the WQMP in a manner meeting the satisfaction of the Manager, Inspection Services Division, including: • Demonstrate that all structural Best Management Practices (BMPs) described in the project's WQMP have been implemented, constructed and installed in conformance with approved plans and specifications; • Demonstrate that the applicant has complied with all non-structural BMPs described in the project's WQMP; • Submit for review and approval an Operations and Maintenance (O&M) Plan for all structural BMPs for attachment to the WQMP;	County of Orange Manager of Building Inspection, Manager, OC Inspection Division	Verification of compliance with Water Quality Management Plan		Each PA			
539.1		EIR 589	SC 4.5-9 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	• Demonstrate that copies of the project's approved WQMP (with attached O&M Plan) are available for each of the incoming occupants; • Agree to pay for a Special Investigation from the County of Orange for a date (12) twelve months after the issuance of a Certificate of Use and Occupancy for the project to verify compliance with the approved WQMP and O&M Plan; and (County Standard Condition WQ03)	See above	See above		Each PA			
539.2		EIR 589	SC 4.5-9 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	• Demonstrate that the applicant has agreed to and recorded one of the following: 1) the CC&R's (that must include the approved WQMP and O&M Plan) for the project Home Owner's Association; 2) a water quality implementation agreement that has the approved WQMP and O&M Plan attached; or 3) the final approved Water Quality Management Plan (WQMP) and Operations and Maintenance (O&M) Plan. (County Standard Condition WQ03)	See above	See above		Each PA			

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560		EIR 589	SC 4.8-4	Prior to the issuance of certificates of use and occupancy	Multi-Family Residential Development:		Multi-Family Residential Development:	Prior to the issuance of any certificates of use and occupancy, the applicant shall perform field testing in accordance with Title 24 Regulations to verify compliance with FSTC and FIIC standards if determined necessary by the Manager, Building Inspection Services. In the event such a test was previously performed, the applicant shall provide satisfactory evidence and a copy of the report to the Manager, Building Inspection Services, as a supplement to the previously required acoustical analysis report. (County Standard Condition N09)	County of Orange Manager of Building Inspection Services, Manager, OC Inspection Division	Verification of field testing in accordance with Title 24 Regulations to verify compliance with FSTC and FIIC standards or a copy of a previous test		Each PA			
563		EIR 589	SC 4.8-7	Prior to the issuance of certificates of use and occupancy	Transportation Corridor Notification:		Transportation Corridor Notification:	Prior to the issuance of certificates of use and occupancy, the developer shall produce evidence to the Manager, Building Inspection Services, that the Department of Real Estate has been notified that the project area is adjacent to a regional transportation corridor. The corridor is expected to be a high capacity, high-speed, limited-access facility for motor vehicles, and will have provisions for bus lanes and other mass transit type facilities. (County Standard Condition N12)	County of Orange Manager of Building Inspection Services, Manager, OC Inspection Division	Submission of evidence that County of Orange Dept. of Real Estate has been notified the project area is adjacent to a regional transportation corridor		Each PA			
565		EIR 589	SC 4.10-1 (cont.)	Prior to the issuance of final certificates of use and occupancy and the release of financial security	Public Area Landscaping (cont.):		Public Area Landscaping (cont.):	b. Installation Certification: Prior to the issuance of final certificates of use and occupancy and the release of financial security, if any, guaranteeing the landscape improvements, said improvements shall be installed and shall be certified by a licensed landscape architect or licensed landscape contractor, as having been installed in accordance with the approved detailed plans. (County Standard Condition LA01b)	County of Orange Director of Planning & Development Services & Manager HBP, Director, OC Planning	Landscaping and irrigation plan certification from landscape architect		Each PA			
566		EIR 589	SC 4.10-1 (cont.)	Prior to the issuance of final certificates of use and occupancy and the release of financial security	Public Area Landscaping (cont.):		Public Area Landscaping (cont.):	b. Installation Certification (cont): The applicant shall furnish said certification, including an irrigation management report for each landscape irrigation system, and any other required implementation report determined applicable, to the Manager, Construction, and the Manager, Building Inspection Services, prior to the issuance of any certificates of use and occupancy. (County Standard Condition LA01b)	County of Orange Manager, Construction and Manager, Building Inspection Services, Manager, OC Inspection Division	Approved irrigation management report		Each PA			

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568		EIR 589	SC 4.10-2 (cont.)	Prior to the issuance of certificates of use and occupancy	Private Area Landscaping (cont.):		Private Area Landscaping (cont.):	b. Prior to the issuance of certificates of use and occupancy, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan. (County Standard Condition LA02b)	County of Orange Director of Planning & Development Services, Director, OC Planning	Certification from landscape architect that landscaping and irrigation system in accordance with the approved plan		Each PA			
569		EIR 589	SC 4.10-2 (cont.)	Prior to the issuance of certificates of use and occupancy	Private Area Landscaping (cont.):		Private Area Landscaping (cont.):	c. Prior to the issuance of any certificates of use and occupancy, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Building Inspection Services. (County Standard Condition LA02b)	County of Orange Manager, Building Inspection Services, Manager, OC Inspection Division	Approved irrigation management report for each landscape irrigation system		Each PA			
618		Fire Prot. Prog.	Cond. 3.f.	Prior to the issuance of any certificate of use and occupancy adjoining fuel modification areas	Occupancy Requirements:		Occupancy Requirements:	f) Prior to the issuance of any certificate of use and occupancy, the applicant shall provide the Manager, Building & Safety, with a clearance from OCFA indicating that: 1. Approved "A" Zone planting has been installed and approved irrigation has been activated. 2. Approved fuel modification zone markers have been installed. 3. Accessways every 500 feet (or as approved) have been installed. 4. Approved thinning of the "B" and "C" Zones and removal of plants from the OCFA Undesirable Plant List have been completed. 5. CC&Rs or other approved documents contain provisions for maintaining the fuel modification zones.	Director, PDS, Director, OC Planning	Provide the Manager, Building & Safety, with a clearance from OCFA indicating installation and thinning					
COA #15		PA19-0103		Prior to the issuance of any certificate of use and occupancy				Prior to issuance of any certificate of occupancy, the adjacent off-site parking spaces on the west side of the project site (within Lots A and C of Tract 18194) shall be labeled/stenciled in a manner that restricts parking by residents and guests of the project. The labeling/stenciling of the parking stalls and associated maintenance shall be discussed in detail and recorded in the Covenants, Conditions, and Restrictions (CC&Rs) for Tract 18194. A copy of the recorded CC&Rs shall be provided to the Manager, Land Development Division for verification.	Director, PDS, Manager, Land Development Division	Provide the Manager, Building & Safety, with a clearance from OCFA indicating installation and thinning					

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g. Prior to Release of Grading Bond															
572		EIR 589	SC 4.11-1 (cont.)	Prior to the release of the grading bond	Archaeology Grading Observation and Salvage (cont.):		Archaeology Grading Observation and Salvage (cont.):	Prior to the release of the grading bond, the applicant shall obtain approval of the archaeologist's follow-up report from the Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities. The report shall include the period of inspection, an analysis of any artifacts found and the present repository of the artifacts. Applicant shall prepare excavated material to the point of identification. Applicant shall offer excavated finds for curatorial purposes to the County of Orange, or its designee, on a first refusal basis. (County Standard Condition A04)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Approval of the archaeologist's follow-up report		Each PA			
573		EIR 589	SC 4.11-1 (cont.)	Prior to the release of the grading bond	Archaeology Grading Observation and Salvage (cont.):		Archaeology Grading Observation and Salvage (cont.):	These actions, as well as final mitigation and disposition of the resources shall be subject to the approval of the Manager, HBP/Coastal and Historical Facilities. Applicant shall pay curatorial fees if an applicable fee program has been adopted by the Board of Supervisor, and such fee program is in effect at the time of presentation of the materials to the County of Orange or its designee, all in a manner meeting the approval of the Manager, HBP/Coastal and Historical Facilities. (County Standard Condition A04)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Verification of payment of curatorial fee if an applicable fee program has been adopted by the Board of Supervisor at the time of presentation		Each PA			
575		EIR 589	SC 4.11-2 (cont.)	Prior to the release of the grading bond	Paleontology Resource Surveillance (cont.):		Paleontology Resource Surveillance (cont.):	Prior to the release of any grading bond, the contractor shall submit the paleontologist's follow up report for approval by the County Manager, HBP/Coastal and Historical Facilities. The report shall include the period of inspection, a catalogue and analysis of the fossils found, and the present repository of the fossils. The contractor shall prepare excavated material to the point of identification. The contractor shall offer excavated finds for curatorial purposes to the County of Orange, or its designee, on a first-refusal basis. (County Standard Condition A07)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Approval of the paleontologist's follow-up report		Each PA			
576		EIR 589	SC 4.11-2 (cont.)	Prior to the release of the grading bond	Paleontology Resource Surveillance (cont.):		Paleontology Resource Surveillance (cont.):	These actions, as well as final mitigation and disposition of the resources, shall be subject to approval by the HBP/Coastal and Historical Facilities. The contractor shall pay curatorial fees if an applicable fee program has been adopted by the Board of Supervisors, and such fee program is in effect at the time of presentation of the materials to the County of Orange or its designee, all in a manner meeting the approval of the County Manager, HBP/Coastal and Historical Facilities. (County Standard Condition A07)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Verification of payment of curatorial fee if an applicable fee program has been adopted by the Board of Supervisor at the time of presentation		Each PA			

ATTACHMENT 1



October 7, 2020 Updated January 13, 2021, February 11, 2021, and March 16, 2021

Bea Bea Jiménez
Division Manager
Land Development
OC Public Works
601 North Ross Street
Santa Ana, CA 92701

SUBJECT:

Planning Application for a Site Development Permit PA200048 within Rancho Mission Viejo (Ranch Plan) Planning Area 3, Subarea 3.1 for the MR37 project (Pulte Group)

Dear Ms. Jiménez,

PROPOSAL:

Rancho Mission Viejo requests Zoning Administrator approval of Site Development Permit PA200048 to allow 73 Planned Concept Detached Dwellings on 73 numbered residential lots and 8 numbered and 22 lettered lots for landscaped open space, private motor courts and alley purposes, plus a model home complex. "B" Vesting Tentative Tract Map TT19025 is being processed concurrently.

ZONING:

Ranch Plan Planned Community (PC) – Subarea Plan 3.1 Planned Concept Detached Dwellings (PC Text Section III.A.2)

LOCATION:

The MR37 project site is located within the Ranch Plan Planned Community - Planning Area 3 (PA3), Subarea 3.1 and Final Tract Map 17931, Lots 1-11 and 74 in unincorporated Orange County, California. The site is surrounded by Ranch Canyon road to the west, Saddle Way to the south, future Subarea 3.2 residential and recreational area to the north and east.

LANDOWNER/SUBDIVIDER:

The specific land ownership entity for the proposed project site is RMV PA3 Development LLC (referred to as Rancho Mission Viejo, or "RMV"). The site will eventually be owned by, and homes built by, the Pulte Group.

BACKGROUND AND EXISTING CONDITIONS:

In November 2004, the County of Orange approved the Ranch Plan Planned Community, which encompasses approximately 22,815 acres located east of I-5, north and south of Ortega Highway, within the Fifth Supervisorial District. As approved, the Ranch Plan Planned Community encompasses 75 percent permanent open space, with development of 14,000 dwelling units and 5,200,000 square feet (SF) of non-residential uses allowed within the

remaining 25 percent. It is regulated by the Ranch Plan PC Program Text which addresses the unique characteristics of the property and a development plan for the transition to suburban/urban uses occurring over a 25- to 30-year period.

The Master Area Plan and Subarea Plans for Planning Area 3 were approved on September 11, 2019 including Subarea Plan 3.1 (PA180030). VTTM 17931 for Subarea Plan 3.1 was approved by the Subdivision Committee on November 20, 2019. Currently, Subarea 3.1 is currently being graded per issued Mass Grading Permit GRD19-0108. 3rd plan-check review of Rough Grading Permit GRD 19-0175 is currently in process.

PROPOSED PROJECT:

The applicants, RMV and the Pulte Group, request **Zoning Administrator** approval of Site Development Permit PA200048 to allow 73 Planned Concept Detached Dwellings on 73 Planned Concept Detached Dwellings on 73 numbered residential lots and 8 numbered and 22 lettered lots for landscaped open space, private motor courts and alley purposes, all within the proposed 8.14-acre TT19025. The project will also include street and infrastructure improvements, landscaping, and minor precise grading. A model home complex is proposed within Lots 1-3 of TT19025.

The residential numbered lots range in size from 2,253 square feet up to 4,538 square feet. The site has a net residential acreage of 2.21 du/ac (excluding streets, motorcourts, alleys and HOA slopes) for a net residential density of 12.9 dwelling units per acre.

Alternative Development Standard D-8 is proposed to allow Lots Greater than 3,000 square feet.

The project proposes a site design with motor court layout with dwellings having garages accessible via private alleys and motor courts. All private alleys and motor courts will take access off Ivy Way (a public street). The design functions to reduce the number of driveway approaches along the project streets and enhances the streetscape by reducing the visual impact of garages. The result is a varied street scene with a traditional neighborhood feel.

Ranch Plan PC Text Section III.A.2.d.8.a) requires 10% of the net residential area of each Planned Concept project to be reserved as convenient, accessible and usable open space. The PA200048 site provides a total of 0.59 acres of Usable Project Open Space, which equals 10.4% of the net acreage, in excess of the required 10% net acreage standard. As shown on Site Development Plan Sheet 2, 0.47-acres of the project site is parkways that are at least 12-foot wide, including sidewalks. Only 25% of the overall Usable Project Open Space for a site may be credited, so only 0.12-0acres of the 0.59-acres provided is parkway.

The project proposes a temporary model home complex, utilizing homes on Lots 1-3 as the model homes with parking to be provided on Lots 4-6.

The proposal includes four main plan types, with square footages ranging from 1,763 to 2,110 square feet. A summary of the different plan types is provided in the table below.

Plan Type Summary

Plan Type	Square Footage	Bedroom Count	Total DUs
1	1,763	3	27
2	1,966	4	25
3	2,110	4	21
TOTAL			73

SURROUNDING LAND USE:

Land uses immediately surrounding the project site include the following:

- Westerly: Ranch Canyon and permanent Open Space
- Southerly: Saddle Way and future residential (TRI-Pointe MR13)
- Northerly and Easterly: Subarea 3.1 – future residential and recreational

REFERRAL FOR COMMENT AND PUBLIC NOTICE:

The applicant understands that copies of the site development permit and concurrent tentative map application submittal will be distributed for review and comment to County staff and consultants, including Land Development, OC Infrastructure Programs, Inspection Services, Building & Safety OC Survey, and Orange County Fire Authority. The applicant also understands that if no hearing is required (i.e., OC staff agrees that the project complies with all applicable requirements of the Ranch Plan PC Text), then no public notice of a Zoning Administrator hearing is required.

CEQA COMPLIANCE:

Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 26, 2006; Addendum 1.1 (PA110003-06) approved February 24, 2011; the Planning Area 2 Addendum (PA130001-06) approved March 27, 2013; and Addendum 3.1 (PA140072-81) approved February 25, 2015. Further CEQA evaluation and clearances are not required for this proposed SDP or VTTM.

CONSISTENCY ANALYSIS:

The proposed SDP and VTTM are consistent with the Ranch Plan PC Program Text Use Regulations & Development Standards (PC Program Text, Section III), as described below:

- a. General Plan – The OC General Plan Land Use Element designates Subarea 3.1 of Ranch Plan as “1B, Suburban Residential (0.5 to 18 du/ac)”, per GPA 01-01. The proposed SDP and VTTM are consistent with the 1B “Suburban Residential designation.
- b. Zoning – The proposed SDP and VTTM are consistent with the Ranch Plan Planned Community zoning, including all applicable requirements of the PC Program Text Use Regulations & Development Standards (PC Section III).
- c. State Subdivision Map Act and County of Orange Subdivision Code and Manual – In Compliance.
- d. Area Plans – The proposed SDP and VTTM are consistent with land uses and other details of PA#&\$ Master Area Plan and Subarea Plan 3.1 (PA190030).

- e. CEQA – The proposed SDP and VTTM are consistent with Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 26, 2006; Addendum 1.1 (PA110003-06) approved February 24, 2011; the Planning Area 2 Addendum (PA130001-06) approved March 27, 2013; and Addendum 3.1 (PA140072-81) approved February 25, 2015.
- f. Alternative Development Standards – All Alternative Development Standards incorporated into this project have been previously approved by the appropriate decision maker per the Ranch Plan Planned Community Program Text, General Regulation 25.
- g. Regulation Compliance Matrix – Clearance of all applicable conditions of approval have been confirmed per the Ranch Plan Regulation Compliance Matrix.

AREA PLAN CONSISTENCY:

The table below summarizes how this Site Development Permit PA20-0048 application by RMV and MR37 Pulte Group proposing to allow 73 Planned Concept Detached Dwellings (as highlighted below) is in compliance with the September 11, 2019 Planning Commission approval of the Subarea Area Plan 3.1 (PA180030):

Planning Area	Residential									Urban Activity Center	
	Gross AC	Net AC	Max DU	Conv SF DU	Planned Conc. DU	MF DU	Age Qualified DU	Max Non-Res SF	Park Gross AC	Gross AC	Max SF
Subarea 3.1	105	76	775	0	520	255	130	120,000	5	13	10,000
From PA180030 Master Area Plan: Table 2											
Proposed Subarea 3.1 Projects											
MR1 Lennar	4.6	2.6	132			132					
MR7 Lennar	5.4	5.3	120			120					
MR13 Tri-Pointe	5.3	3.8	110		110						
MR16 Meritage	4.7	3.4	67			67					
MR21 Tri-Pointe	5.2	4.1	83		83						
MR23 Lennar	4.8	3.3	86		86						
MR37 Pulte	8.2	5.7	73		73						
*Merrill Gardens	10.7	9.1	*				*	54,615		10.4	*
Ranch Camp	9.1	8.8							6.66	2.2	
Subarea 3.1 TOTALS	58.1	46.2	671		352	319		54,615	6.66	12.6	

* 356 Merrill Gardens Senior Living Facility apartments shall not be counted as a dwelling unit or units with respect to the Ranch Plan PC limit of 14,000 total allowed dwelling units” – PC Text Section III.A.5.a.3)c)

PARKING:

Per the OC Zoning Code [single-family requirement of two garage spaces, 1 additional space in driveway or within 200' walking distance, and 0.2 guest spaces within 200' walking distance of all units](#), the project is required to provide a total of 233.6 spaces including the residents and guests. 250 parking spaces are proposed. All non-garage parking spaces are located within 200 feet walking distance of each applicable home.

SITE DEVELOPMENT STANDARDS:

The following matrix is a summary of the proposed project's compliance with the Site Development Standards contained in the Ranch Plan Planned Community Program Text Section III.A.2 (Planned Concept Detached Dwellings), which are the Site Development Standards applicable for the proposal.

PA200048 MR37 Pulte Group	Planned Concept Detached Dwellings III.A.2.d. Site Development Standards	Compliance
1) Building Site Area	No minimum	See Site Area, Density, & Usable Project Open Space Calculations table on SDP Sheet 2 of 2
2) Net Density	Greater than 8.0 units/acre, and lots less than 3,000 square feet (s.f.). If lots are greater than 3,000 s.f., ADS D-8 shall apply	Lots size from 2,253 to 4,538 SF, Net residential density of 12.9 DU/AC
3) Building Site Width	No minimum	√
4) Building Site Coverage	60% maximum for each development unit if there is more than one d.u. per lot. No maximum for individual lots.	√
5) Building Height	35' maximum (+ architectural features)	25-foot 2 to 10 inches
6) Building setbacks – Planned Concept Detached Dwelling Setbacks	a) Front: 12' min. from back of street curb or 3' from p/l, whichever is greater. b) Rear: 5' min from p/l If rear setback is adjacent to alley then 3' min to p/l or 14' to centerline c) Side: 10' min. one side, or 10' aggregate; Building separation shall be 10' or can be 8' provided certain criteria is met (see 1-5 on page 32 of PC Text) d) Side abutting street: 5' e) Patios: 3' (5' adjacent to street) f) Projections: 4', or 1' from property line	All minimum setbacks are met, per criteria a) through f)
7) Access	Shall either: a) abut a public street having recorded right of access for min width of 10' b) have recorded right of access for min width of 20'	Access provided by public street (Ivy Way)
8.a) Usable Project Open Space	10% min. of the net residential area of project; may be reduced to 5%	Proposed 10.2% Usable Project Open

	min. if project located adjacent to local public park and has direct convenient access	space exceeds 10% standard (see Page 2)
8.b) Usable Private Open Space	150 square feet per unit. The ratio of length to width may be no more than 3:1	Proposed Usable Private Open space far exceeds 150 SF/DU standard
9) Off-Street Parking	Per the OC Zoning Code single-family requirement of two garage spaces, 1 additional space in driveway or within 200' walking distance, and 0.2 guest spaces within 200' walking distance of all units	250 spaces provided meets the requirement of 233.6 parking spaces. (see Page 4)
10) Garage, Carport Placement ADS D-5 17-Foot Driveways	Min. setback of 7' or less, 17' assuming a roll-up garage door or more from back of sidewalk or back of curb	Driveways are all either less than 7-ft. or greater than 18-ft.
11) Private Drives, Alleys ADS G3 Alleys, Private Drives and Courts Emergency Access Required	a) Private Drives: minimum paved width of 24-feet. b) Alleys minimum paved width of 22-feet, or 24-feet if required for emergency access.	All minimum private drives, alleys or motorcourt widths are a minimum of 24-feet
12) Signs Section III.L.2.a.1) Freestanding Temporary Signs Sales office	a) Signage plan drawings indicating type, size, color, height, location etc. b) Such signs not to exceed height of 16', length of 10', total area of 80 s.f.	Model landscape plan proposed on Sheet LC-1. Signage shall meet standards, per separate plan
13) Fences and Walls	6' within area where buildings can be placed, 7.5' along boundary, except 3.5' at intersections.	Fences & walls shall meet standards, per separate fence & wall plan
14) Lights	Confine rays to premises	Understood: Landscape and motorcourt lights shall comply

ALTERNATIVE DEVELOPMENT STANDARDS:

As allowed by General Regulation #25 of the Ranch Plan Planned Community Program Text, proposed Alternative Development Standards are intended to be incorporated into the development as listed within the "Notes" portion of SDP Sheet 1 of 2.

Upon review of this application our hope is that staff supports administrative approval of the Site Development Permit (i.e., staff agrees that the project complies with all applicable requirements of the Ranch Plan PC Text, and no public notice of a Zoning Administrator hearing is required).

Please contact me with any questions, or if you or your staff need any further information.

Sincerely,

A handwritten signature in blue ink that reads "Jay Bullock" followed by a horizontal line.

Jay Bullock
Vice President, Planning and Entitlement
Rancho Mission Viejo

ATTACHMENT 2

NOTES:

- EXISTING LAND USE: VACANT LAND
- LAND USES IMMEDIATELY SURROUNDING THE PROJECT SITE INCLUDES THE FOLLOWING:
WESTERLY: RANCH CANYON AND PERMANENT OPEN SPACE
SOUTHERLY: SADDLE WAY AND FUTURE RESIDENTIAL (TRI-POINTE MR13)
NORTHERLY AND EASTERLY: SUBAREA 3.1 – FUTURE RESIDENTIAL AND RECREATIONAL
- PA20-0048 PROJECT AREA ZONED AS A DEVELOPMENT AREA BY THE RANCH PLAN PC TEXT, AND SHALL BE PROCESSED PER THE IMPLEMENTATION PROCEDURES DETAILED IN SECTION II.C OF THE PC TEXT. MASTER AREA PLAN PA3.1 AND SUBAREA PLAN PA18-0030 DESIGNATE THE PROJECT SITE AS RESIDENTIAL. THIS SITE DEVELOPMENT PERMIT MORE SPECIFICALLY IDENTIFIES THIS SITE DESIGNATION AS BEING SUBJECT TO THE ALLOWED USE PLANNED CONCEPT DETACHED DWELLINGS – PER PC TEXT SECTION III.A.2.g.3.
- SANITARY SEWER PROVIDED BY: SANTA MARGARITA WATER DISTRICT
- DOMESTIC WATER PROVIDED BY: SANTA MARGARITA WATER DISTRICT
- NON-DOMESTIC WATER PROVIDED BY: SANTA MARGARITA WATER DISTRICT
- ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND. PROPOSED UTILITY LOCATIONS SHOWN ON THE MAP ARE APPROXIMATE. ACTUAL LOCATIONS AND EASEMENT WIDTHS WILL BE REFLECTED ON FINAL TRACT MAP(S).

GAS: SOUTHERN CALIFORNIA GAS COMPANY
ELECTRIC: SAN DIEGO GAS AND ELECTRIC
TELEPHONE: AT&T AND COX COMMUNICATIONS
CABLE TELEVISION: COX COMMUNICATIONS
- PROJECT SITE IS LOCATED WITHIN THE CAPISTRANO UNIFIED SCHOOL DISTRICT.
- PER THE RANCH PLAN PLANNED COMMUNITY-WIDE ALTERNATIVE DEVELOPMENT STANDARDS (APPROVED MARCH 14, 2007 AND MOST RECENTLY AMENDED SEPTEMBER 26, 2018; SUBSEQUENT REVISIONS OR ADDITIONS MAY ALSO BE APPROVED), AND AS ALLOWED BY RANCH PLAN PC TEXT (GENERAL REGULATION 25) THE FOLLOWING ALTERNATIVE DEVELOPMENT STANDARDS (ADS) ARE PROPOSED:
 - A-1 36-FOOT DOUBLE LOADED STREETS (UP TO 800 ADT)
 - A-5 RESIDENTIAL PARKWAYS
 - A-9 TAPERED STREETS DOUBLE LOADED
 - A-19 CUL-DE-SACS WITH RAISED LANDSCAPE MEDIAN
 - A-20 ALTERNATIVE NEIGHBORHOOD SIDEWALK DETAIL-CURB SEPARATED WALKWAY
 - A-36 RIBBON CURB
 - B-9 MODIFIED COLOR OF CURB RAMP DETECTABLE WARNING SURFACE
 - D-8 PLANNED CONCEPT RESIDENTIAL LOTS GREAT THAN 3,000 SQUARE FEET
 - D-17 CREDIT TOWARD USABLE PRIVATE OPEN SPACE
 - G-3a PRIVATE ALLEY DRIVE ALLOWING EMERGENCY VEHICLE ACCESS
 - G-3b PRIVATE ALLEY DRIVE WITH NO REQUIREMENT FOR EMERGENCY VEHICLE ACCESS
 - G-7 REDUCED LOCAL DEPRESSION ON PRIVATE STREETS
 - G-9 ROLLED CURB ON PRIVATE STREETS
- CONSTRUCTION PLANS WILL COMPLY WITH ALL ACCESSIBILITY CODE REQUIREMENTS
- APPLICABLE BUILDING AND FIRE CODES WILL BE MET

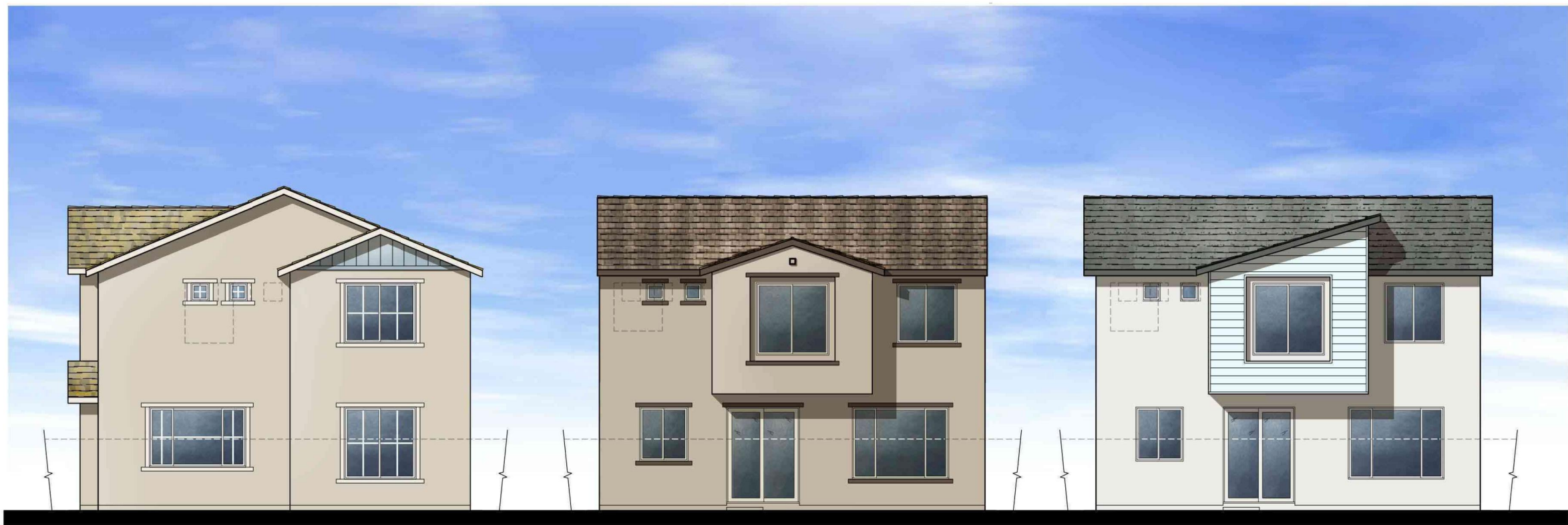
RANCHO MISSION VIEJO - MR37



PLAN 2 - ELEVATION 'B' - LEVEL 2
LOT 50
SCHEME 5

PLAN 2 - ELEVATION 'A' - LEVEL 3
LOT 55
SCHEME 2

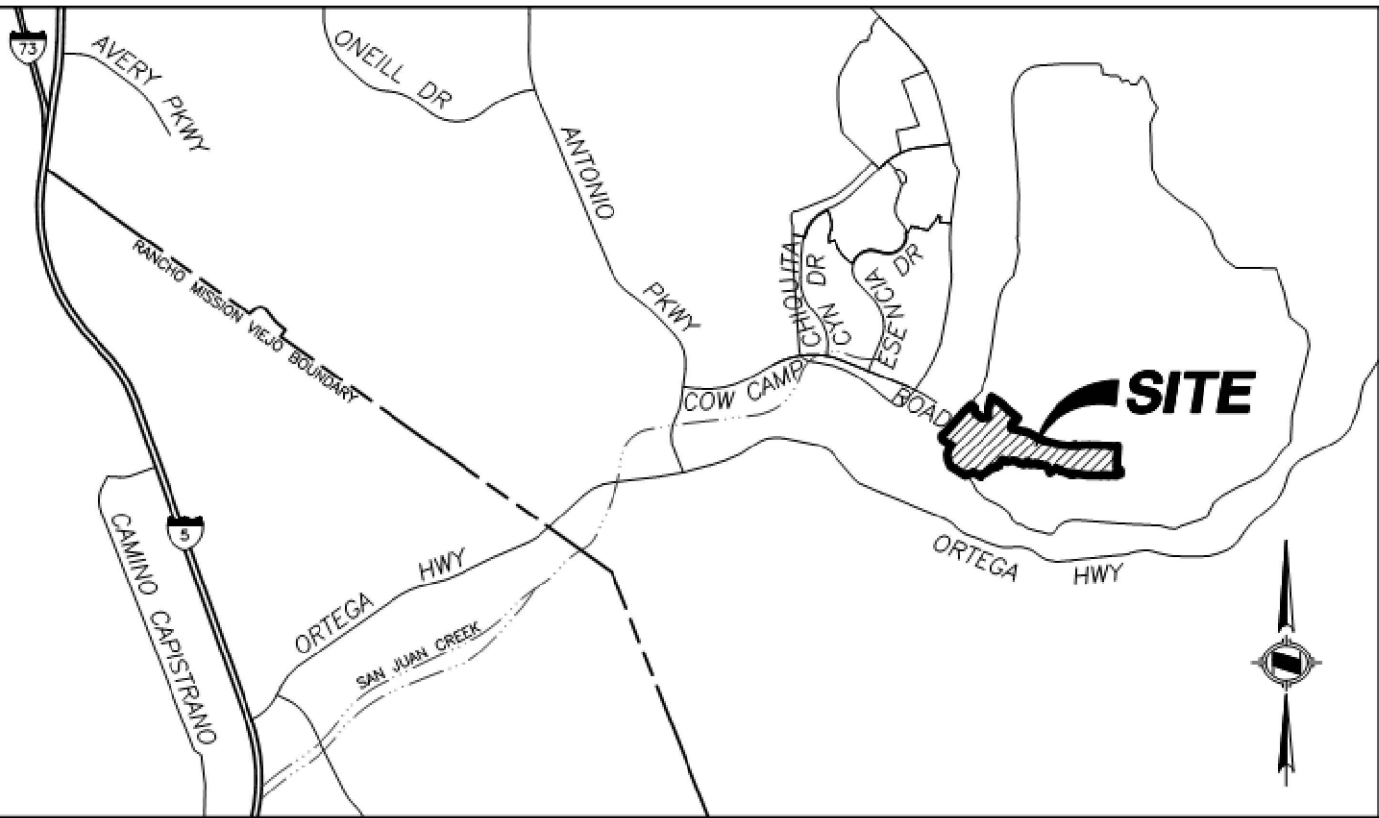
PLAN 2 - ELEVATION 'C' - LEVEL 1
LOT 56
SCHEME 9



PLAN 2 - ELEVATION 'C' - LEVEL 2
LOT 19
SCHEME 8

PLAN 1 - ELEVATION 'A' - LEVEL 1
LOT 18
SCHEME 1

PLAN 1 - ELEVATION 'B' - LEVEL 2
LOT 17
SCHEME 4



VICINITY MAP

SHEET INDEX:

- | | |
|-------------------|--|
| SDP-1 TO SDP-2: | SITE DEVELOPMENT PLAN |
| GR-1: | CONCEPTUAL GRADING PLAN |
| PE-1: | PHASING EXHIBIT |
| WSP-1: | MODEL SITE PLAN |
| BA-1 TO BA-22: | ARCHITECTURAL FLOOR, ELEVATION, AND ROOF PLANS |
| TS-01: | LANDSCAPE PRODUCTION PRECISE GRADING TITLE SHEET |
| LC-01 TO LC-08: | LANDSCAPE PRECISE GRADING |
| TSW-01: | LANDSCAPE MODEL PRECISE GRADING TITLE SHEET |
| LCW-01 TO LCW-03: | LANDSCAPE MODEL PRECISE GRADING |
| MS-01 TO MS-05: | MODEL SIGNAGE SHEETS |
| TSFW-01: | FENCE AND WALL TITLE SHEET |
| WF-01 TO WF-06: | FENCE AND WALL PLANS |
| FM-1: | FIRE MASTER PLAN |



RANCHO MISSION VEIJO - MR-37

PULTEGROUP, INC.
27101 PUERTA REAL, SUITE 300
MISSION VIEJO, CA 92691
760.775.1806

TITLE SHEET

RANCHO MISSION VIEJO, CA
PROJECT #176-017
PA20-0048

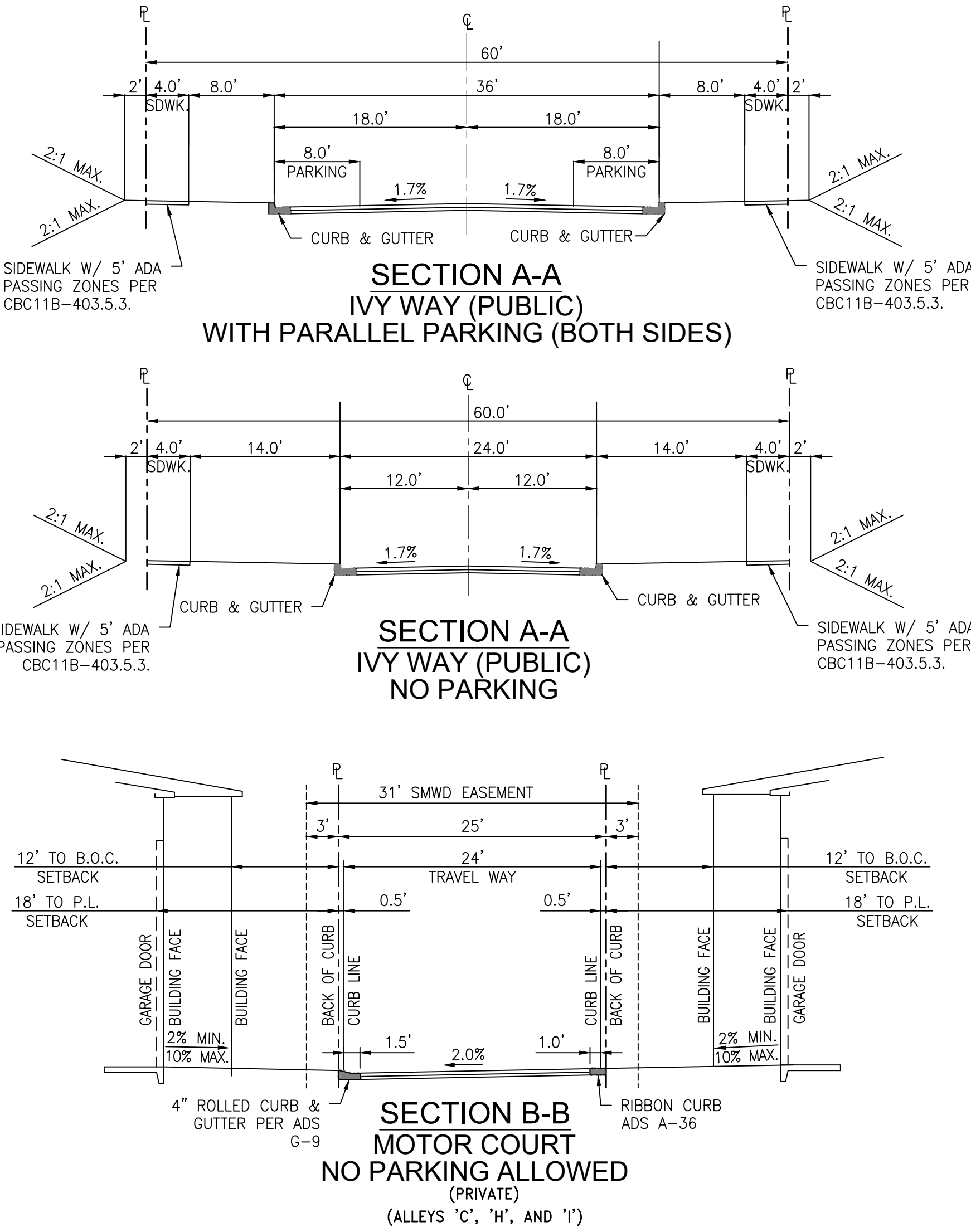
PA20-0048

APPLICANT:  PULTEGROUP, INC. 27101 Puerta Real, Suite 300 Mission Viejo, CA 92691 tel 760.775.1806		PREPARED BY:  16795 Von Karman, Suite 100 Irvine, California 92606 tel 949.474.1960 fax 949.474.5315 www.fuscoec.com	
COUNTY OF ORANGE			
SITE DEVELOPMENT PLAN • VTTM 19025 RANCH PLAN • PLANNING SUBAREA 3.1 RMV PA3 DEVELOPMENT • PULTE MR37			
DESIGNED BY: _____ VP _____	DRAFTED BY: _____ VP _____	CHECKED BY: _____ TD _____	DATE: 3/16/2021
			SHEETS 1 OF 3

F:\PROJECTS\176-017\PLANS\TITLE\DWG\176-017-SDP.TITLE SHEET.DWG (03-23-21 5:10:14PM) Plotted by: Victor Pham

PRODUCT AND SITE CRITERIA	
ZONING CATEGORY PER P.C. TEXT SECTION III.A.1	PLANNED CONCEPT (D4-A)
MINIMUM BUILDING SETBACK	
FRONT YARD	12' FROM B.O.C. (OR 3' FROM P.L.)
REAR YARD	5' (3' IF ADJACENT TO ALLEY)
SIDE YARD	8' BUILDING SEPARATION
SIDE ABUTTING STREET	5'
COVERED PATIOS	3' (5' ADJACENT TO STREET)
BUILDING TO BUILDING SEPARATION AT GARAGE	30' CLEAR TO SKY NO PROJECTION PERMITTED, INCLUDING EAVES
APRON	MINIMUM SETBACK FROM R.O.W. OR ALLEY 5' OR LESS, OR 17' OR MORE

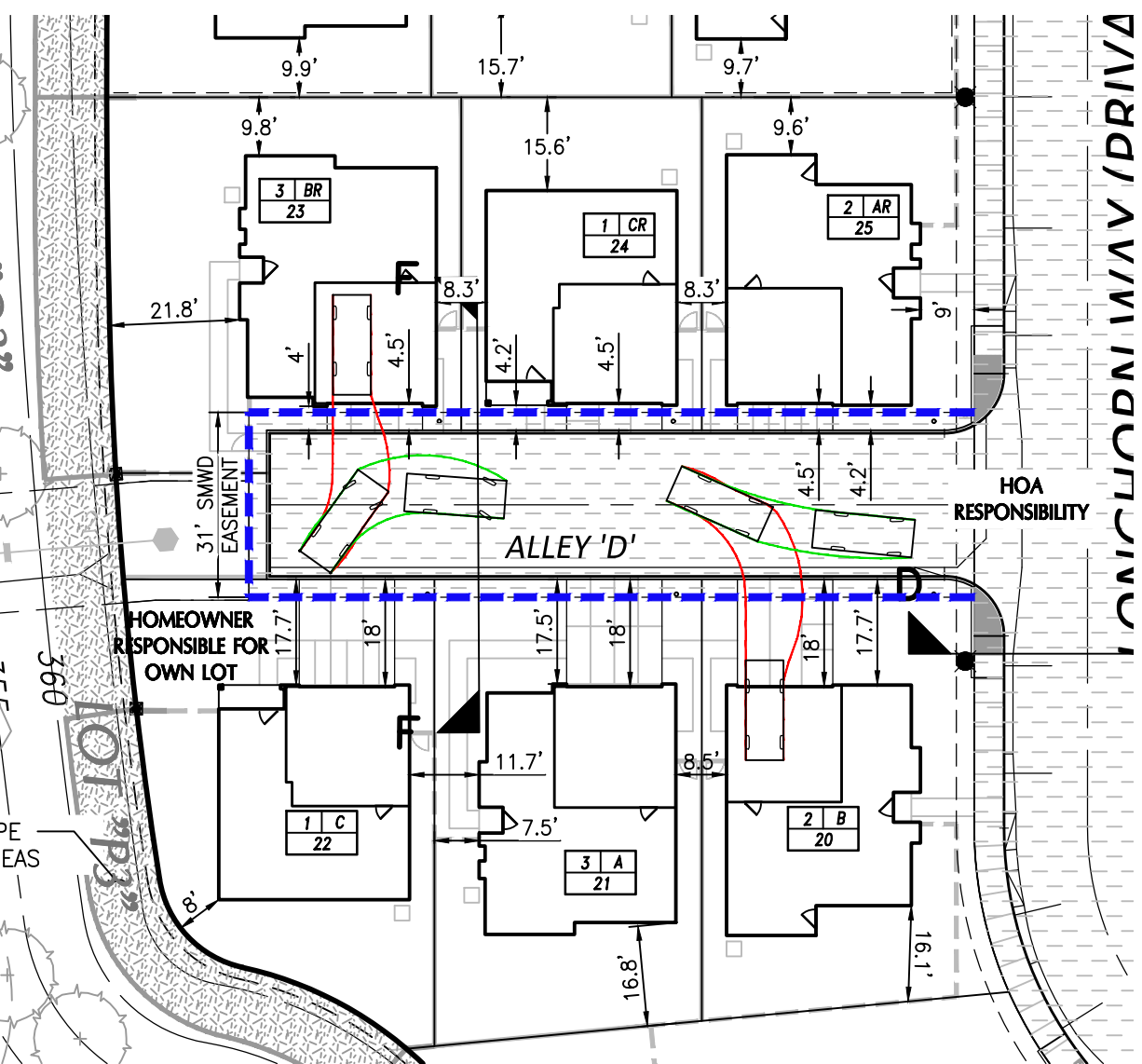
LAND USE SUMMARY	
LAND USE	ACREAGE
NET PROJECT AREA	5.65 AC
STREETS & ALLEYS	2.49 AC
GROSS PROJECT AREA	8.14 AC
NET DENSITY	
73 UNITS/5.64 ACRES =	12.9 DU/ACRE
BUILDING COVERAGE	
RESIDENTIAL	1.92 AC
BUILDING SITE AREA	5.18 AC
BUILDING COVERAGE	37%



SITE PLOTTING SUMMARY					
PLAN #	A	B	C	BEDROOM COUNT	TOTAL HOMES
1	11	7	9	3	27
2	9	9	7	4	25
3	8	7	6	4	21
	28	23	22		73

LEGEND

	TRACT BOUNDARY		STREETS AND ALLEYS (SUB-HOA MAINTAINED)
	PROPOSED LOT LINE		HOA MAINTENANCE RESPONSIBILITY
	EXISTING LOT LINE		BLDG. ELEVATION STYLE
	PROPOSED R/W		LOT NUMBER
	EASEMENTS		LOT NUMBER
	BUILDING SETBACK		LOT NUMBER
	GRADING CONTOUR		LOT NUMBER
	LOT NUMBER		LOT NUMBER
	PUBLIC STREET PARKING		LOT NUMBER
	OFF-STREET PARKING		LOT NUMBER
	INGRESS/EGRESS MANEUVERABILITY EASEMENT (SEE MOTORCOURT MANEUVERABILITY)		LOT NUMBER



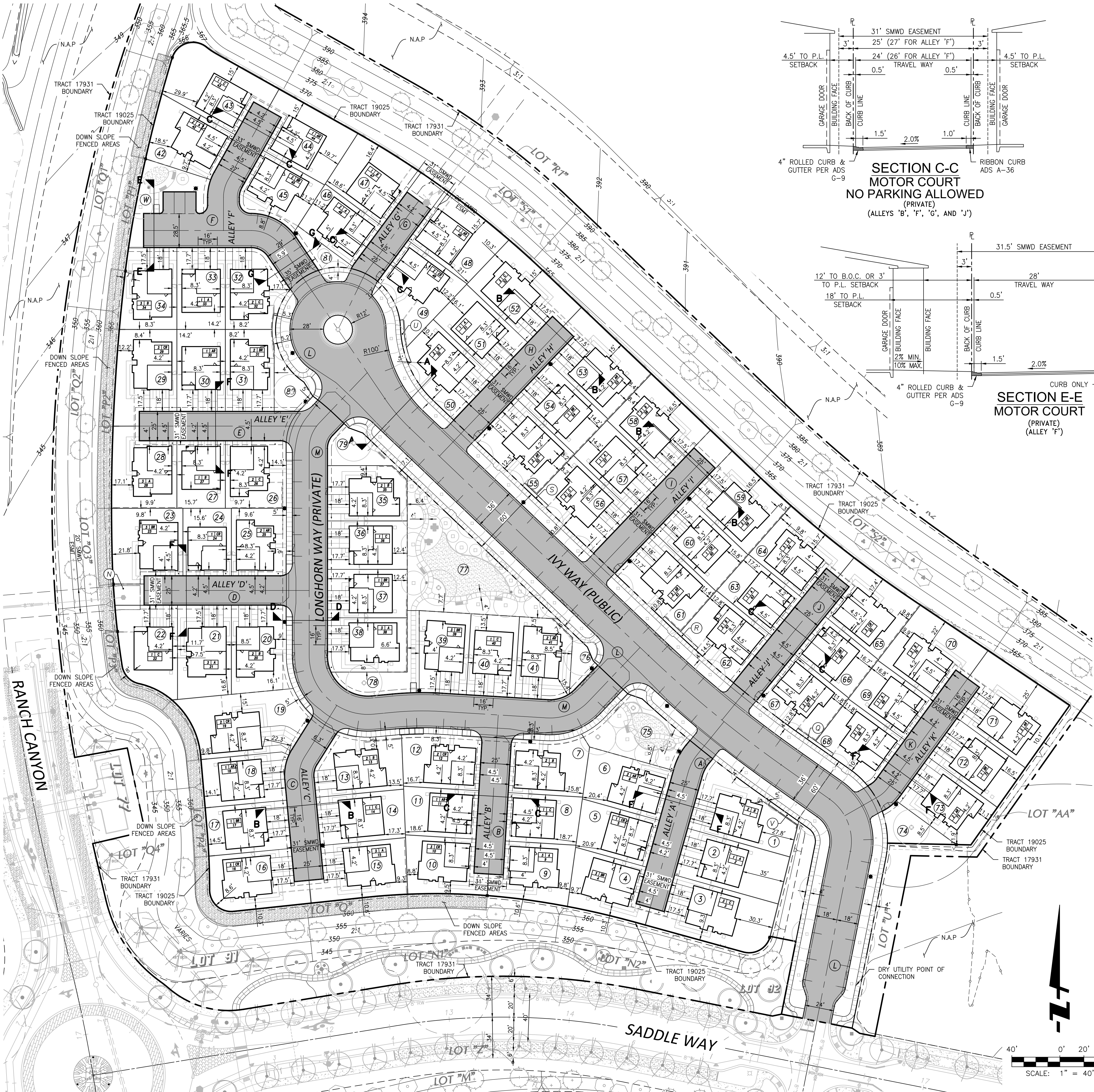
LANDOWNER:

RMV PA3 DEVELOPMENT, LLC
28811 ORTEGA HIGHWAY
SAN JUAN CAPISTRANO, CA 92675
TEL 949-240-3363

SITE DEVELOPMENT PLAN VTTM 19025 - PULTE MR37

LEGAL DESCRIPTION

LOTS 1-11, & 74 INCLUSIVE OF FINAL MAP, TRACT NO. 17931

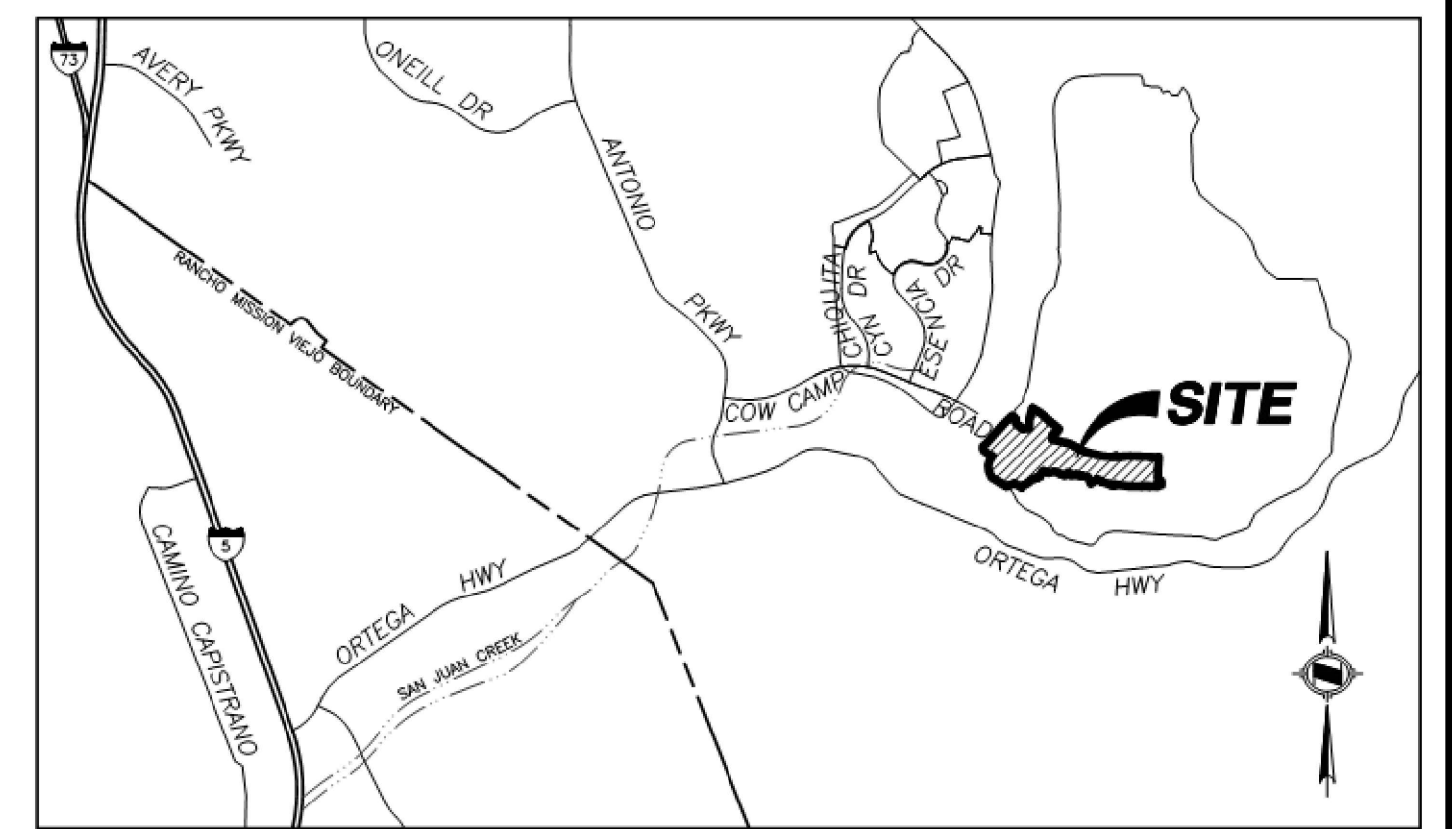


PARKING & USABLE OPEN SPACE (PROJECT & PRIVATE)

VTTM 19025 - PULTE MR37

LEGAL DESCRIPTION

LOTS 1-11, & 74 INCLUSIVE OF FINAL MAP, TRACT NO. 17931



DISTANCES TO PARKING

UNIT #	DISTANCE TO PARKING (FT)	UNIT #	DISTANCE TO PARKING (FT)	UNIT #	DISTANCE TO PARKING (FT)	UNIT #	DISTANCE TO PARKING (FT)
1	134	20	198	39	170	58	153
2	145	21	119	40	180	59	150
3	173	22	164	41	155	60	130
4	195	23	170	42	100	61	75
5	155	24	135	43	95	62	135
6	130	25	195	44	95	63	150
7	180	26	195	45	105	64	190
8	155	27	200	46	200	65	200
9	198	28	179	47	160	66	170
10	128	29	190	48	155	67	140
11	88	30	109	49	195	68	195
12	195	31	180	50	82	69	200
13	130	32	45	51	111	70	160
14	149	33	64	52	151	71	200
15	200	34	47	53	153	72	167
16	195	35	175	54	114	73	134
17	175	36	200	55	85		
18	155	37	145	56	85		
19	130	38	115	57	114		

TYPICAL USABLE PRIVATE OPEN SPACE

PLAN 2

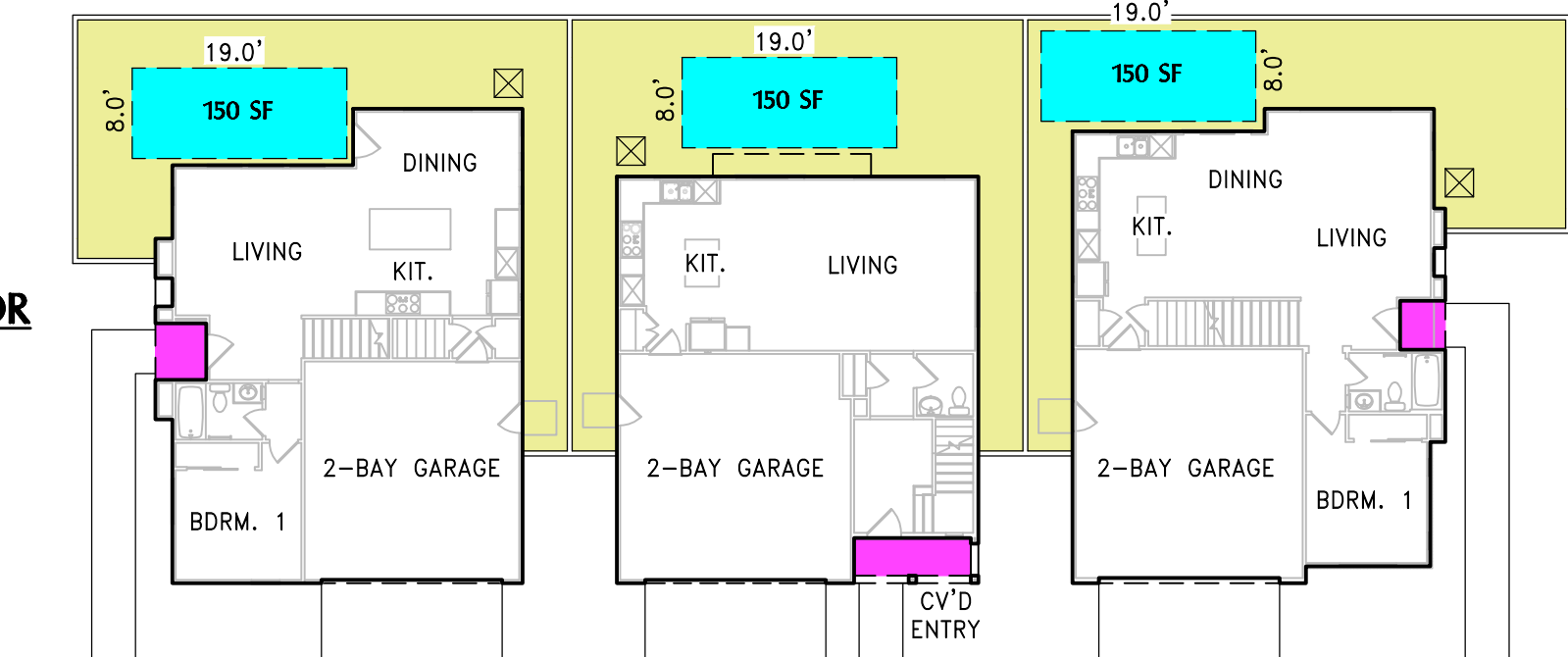
USABLE PRIVATE OPEN SPACE
REAR YARD: 150 SF
TOTAL: 150 SF

PLAN 1

USABLE PRIVATE OPEN SPACE
REAR YARD: 150 SF
TOTAL: 150 SF

PLAN 3

USABLE PRIVATE OPEN SPACE
REAR YARD: 150 SF
TOTAL: 150 SF



LEGEND

- 150 SF USABLE PRIVATE OPEN SPACE QUALIFIED FOR REQUIRED*
- 150 SF USABLE PRIVATE OPEN SPACE QUALIFIED FOR REQUIRED (LOTS 35 AND 41)*
- USABLE PRIVATE OPEN SPACE NOT QUALIFIED FOR REQUIRED
- USABLE PRIVATE OPEN SPACE OUTSIDE OF 150 SF REQUIREMENT

- * USABLE PRIVATE OPEN SPACE REQUIREMENTS
- 150 SF PER UNIT MINIMUM
- RATIO OF LENGTH TO WIDTH MAY BE NO MORE THAN 3:1
- 50% (75% SF.) OF THIS REQUIREMENT MAY BE SATISFIED THROUGH DECKS OR BALCONIES PER ADS D-17
- DECKS OR BALCONIES MUST BE ACCESSIBLE FROM COMMON LIVING SPACE ROOMS IN UNIT.
- DECKS OR BALCONIES MUST BE MINIMUM OF 50 SF, BE OPEN ON ONE SIDE OR MORE AND HAVE A MINIMUM LENGTH TO WIDTH RATIO OF 2:1
- *AVERAGE OPEN SPACE AREA = 1116.84 SF
- *SMALLEST OPEN SPACE AREA = 529.06 SF

1ST FLOOR

2ND FLOOR

NUMBERED LOTS	LOT SQUARE FOOTAGE	LOT SQUARE ACREAGE
74	1162.52	0.03
75	3129.53	0.07
76	728.20	0.02
77	7025.65	0.16
78	1255.65	0.03
79	1345.46	0.03
80	1089.82	0.03
81	671.47	0.02
TOTAL	16408.30	0.38

LETTERED LOTS	LOT SQUARE FOOTAGE	LOT SQUARE ACREAGE
N	449.70	0.01
O	514.46	0.01
P	515.54	0.01
W	1965.54	0.06
TOTAL	3445.24	0.09
25% OF PARKWAY AND SIDEWALK	SQUARE FOOTAGE	SQUARE ACREAGE
	4776.95	0.10

OVERALL TOTAL	24,630.5	0.57 ACRES
---------------	----------	------------

NOTE: OVERALL TOTAL IS A SUM OF LISTED NUMBERED LOTS, LETTERED LOTS, AND 25% OF THE PARKWAY AND SIDEWALK AREA

SITE AREA, DENSITY, & USABLE PROJECT OPEN SPACE CALCULATION

GROSS SITE AREA	8.14 AC
TOTAL UNITS	73 DU
DENSITY (BASED ON GROSS SITE AREA)	9.0 DU/AC
NET RESIDENTIAL AREA (GROSS SITE AREA - STREETS, ALLEY, DRIVEWAYS, HOA SLOPES AND FUEL MOD)	5.65 AC
PROJECT SITE OPEN SPACE: 20,473.84 SF (0.47 AC)	
PARKWAY & SIDEWALK TOTAL (25% ALLOWED): 17,941.17 SF (0.41 AC) x .25 = 4,485.29 SF (0.10 AC)	0.57 AC

REQUIRED USABLE PROJECT OPEN SPACE	10.0%	NET RESIDENTIAL AREA x 0.10 =	0.57
PROVIDED USABLE PROJECT OPEN SPACE	10.0%		0.57

25% OF SIDEWALK AND PARKWAY WAS USED TO ASSIST WITH THE 10% REQUIREMENT. PER PLANNED CONCEPT DETACHED DWELLING SITE DEVELOPMENT STANDARD FOR OPEN SPACE, OPEN SPACE AREAS MAY BE COUNTED AS USABLE PROJECT OPEN SPACE PROVIDED THAT (I) THE SIDEWALK IS SEPARATE FROM THE CURB BY A LANDSCAPED PARKWAY AND (II) THE TOTAL PARKWAY WIDTH AVERAGES NO LESS THAN TWELVE (12) FEET (INCLUDING SIDEWALK)

RANCH CANYON

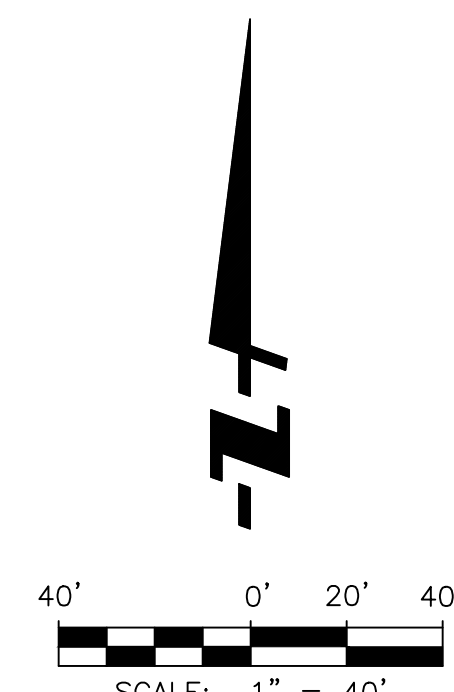
SADDLE WAY

REQUIRED PARKING SUMMARY

PLAN #	SQUARE FOOTAGE	BEDROOM COUNT	BATH COUNT	TOTAL UNITS (PER PLAN TYPE)	PLAN TYPE MIX	PARKING SPACES (PER UNIT)	GUEST PARKING SPACES (PER UNIT TYPE)	RESIDENT PARKING SPACES REQUIRED (NO. OF UNITS x RESIDENT)	GUEST PARKING SPACES REQUIRED (NO. OF UNITS x GUEST)	TOTAL PARKING SPACES REQUIRED (RESIDENT+GUEST)
1	1,763	3	2.5	27	37.0%	3.0	0.2	81.0	5.4	86.4
2	1,966	4	3	25	34.2%	3.0	0.2	75.0	5.0	80.0
3	2,110	4	3	21	28.8%	3.0	0.2	63.0	4.2	67.2
TOTAL				73				219.0	14.6	234

PROVIDED PARKING SUMMARY

DWELLING UNITS	TOTAL DU'S	GARAGE PARKING (2.0 PER DU)	ADDITIONAL REQUIRED PARKING (1.0 PER DU)	GUEST PARKING (0.2 PER DU)	TOTAL REQUIRED PARKING	GARAGE PARKING (2.0 PER DU)	DRIVEWAY PARKING SPACES	ON-STREET REQUIRED PARKING WITHIN 200' (1.0 PER DU)	GUEST PARKING WITHIN 200' (0.2 PER DU)	ADDITIONAL ON-STREET PARKING	TOTAL PROVIDED PARKING
1-3, 13-22, 29-41, 50-51, 71-73	41	82	41	8.20	131.2	82	41	0	20	11	
4-12, 23-28, 42-49, 62-70	32	64	32	6.40	102.4	64	0	32			
TOTAL	73	146	73	14.60	233.60	146	41	32	20	11	250



LEGEND

- TRACT BOUNDARY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- PROPOSED R/W
- LENGTH TO GUEST PARKING
- EASEMENTS
- BUILDING SETBACK
- GRADING CONTOUR
- LOT NUMBER
- PUBLIC STREET PARKING
- OFF-STREET PARKING
- USABLE PROJECT OPEN SPACE (SUB-HOA MAINTAINED)
- 5-FEET SETBACK (3-FEET IF ADJACENT TO ALLEY)
- 8-FEET BUILDING SEPARATION OR 5-FEET SETBACK ABUTTING STREET
- 12-FEET SETBACK FROM BACK OF CURB OR 3-FEET SETBACK FROM PROPERTY LINE
- REAR YARD RETAINING WALL
- BLDG. PLAN NO.
- BLDG. ELEVATION STYLE
- LOT NUMBER

PA20-0048

APPLICANT: **PulteGroup**
27101 Puerto Real, Suite 300
Mission Viejo, CA 92691
tel 949.474.1960 fax 949.474.1806

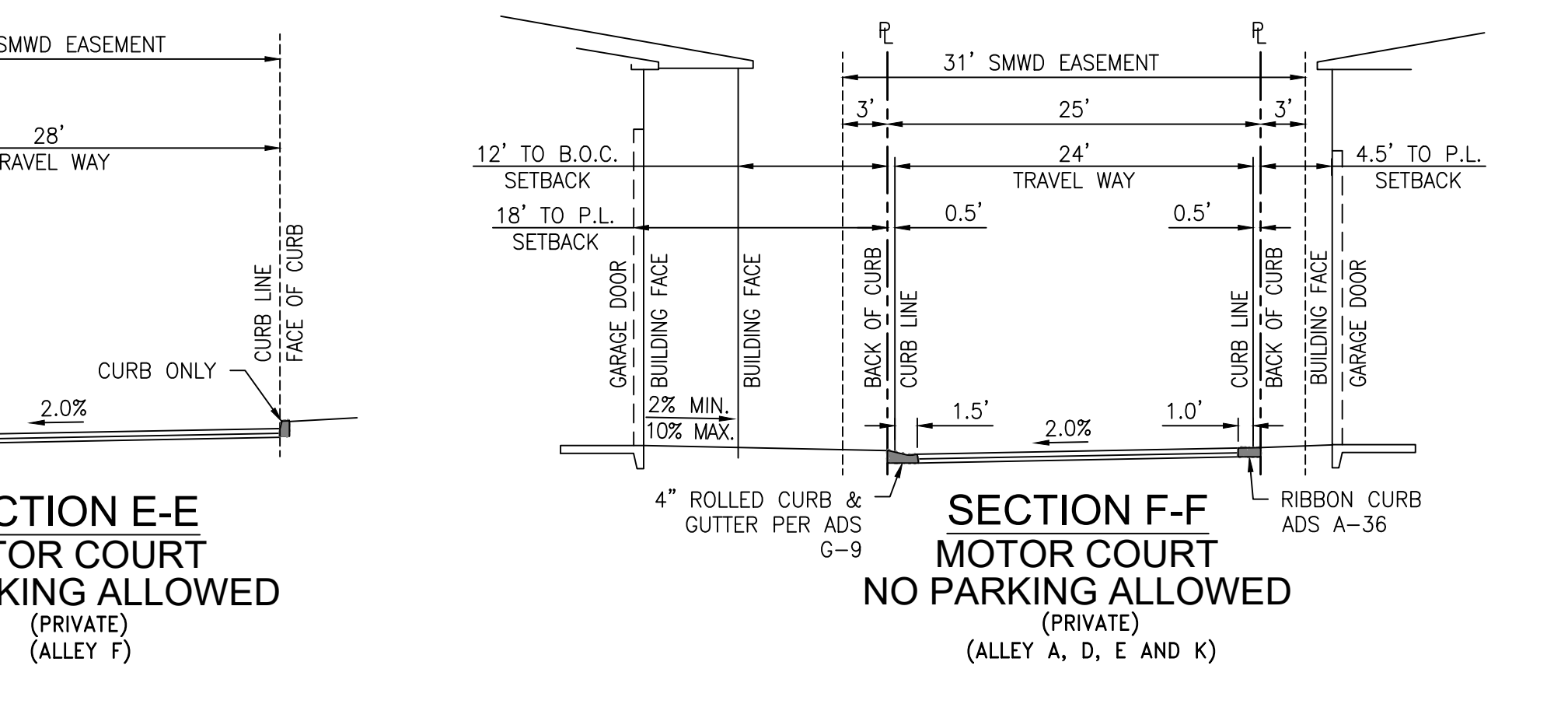
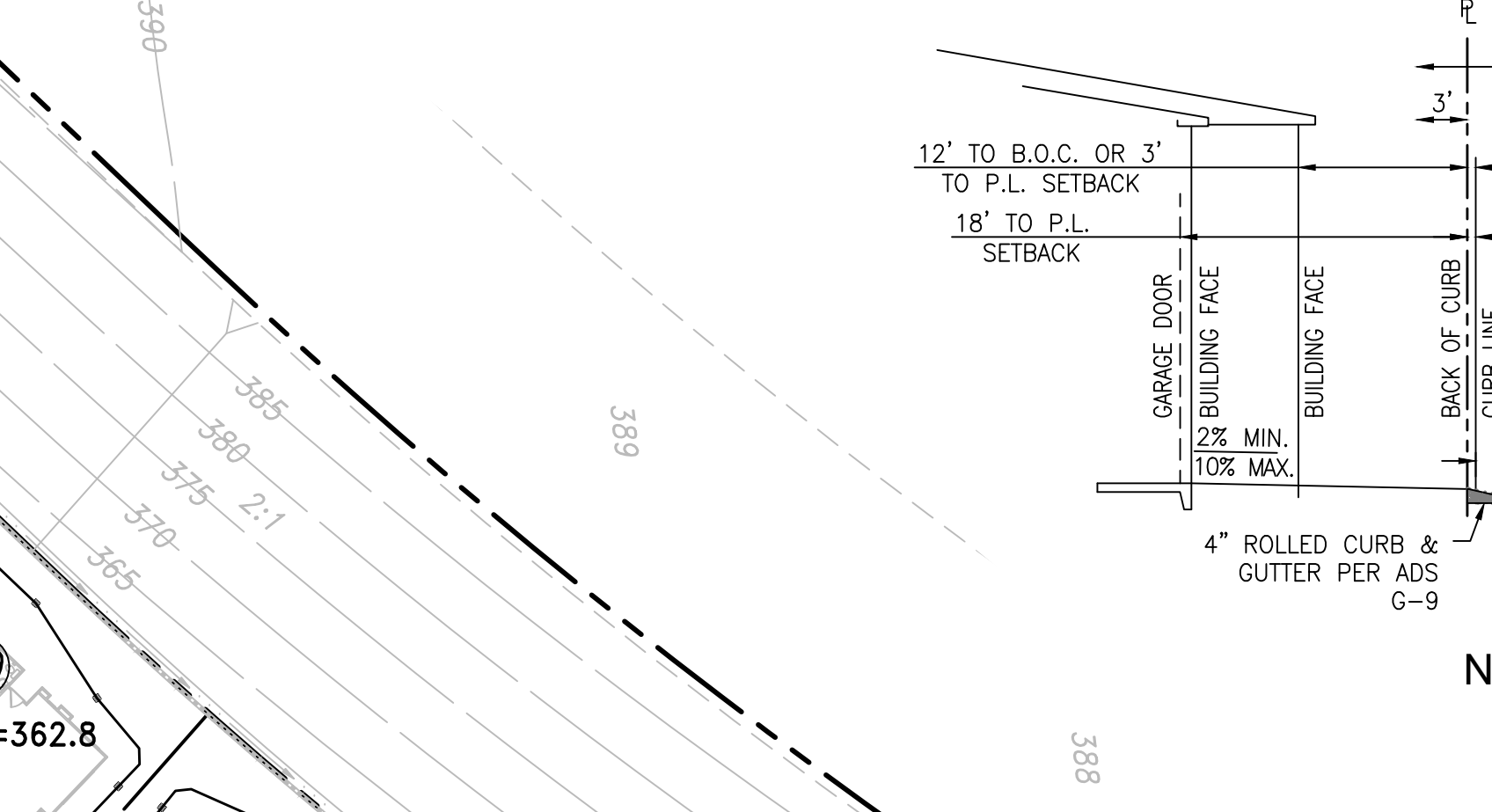
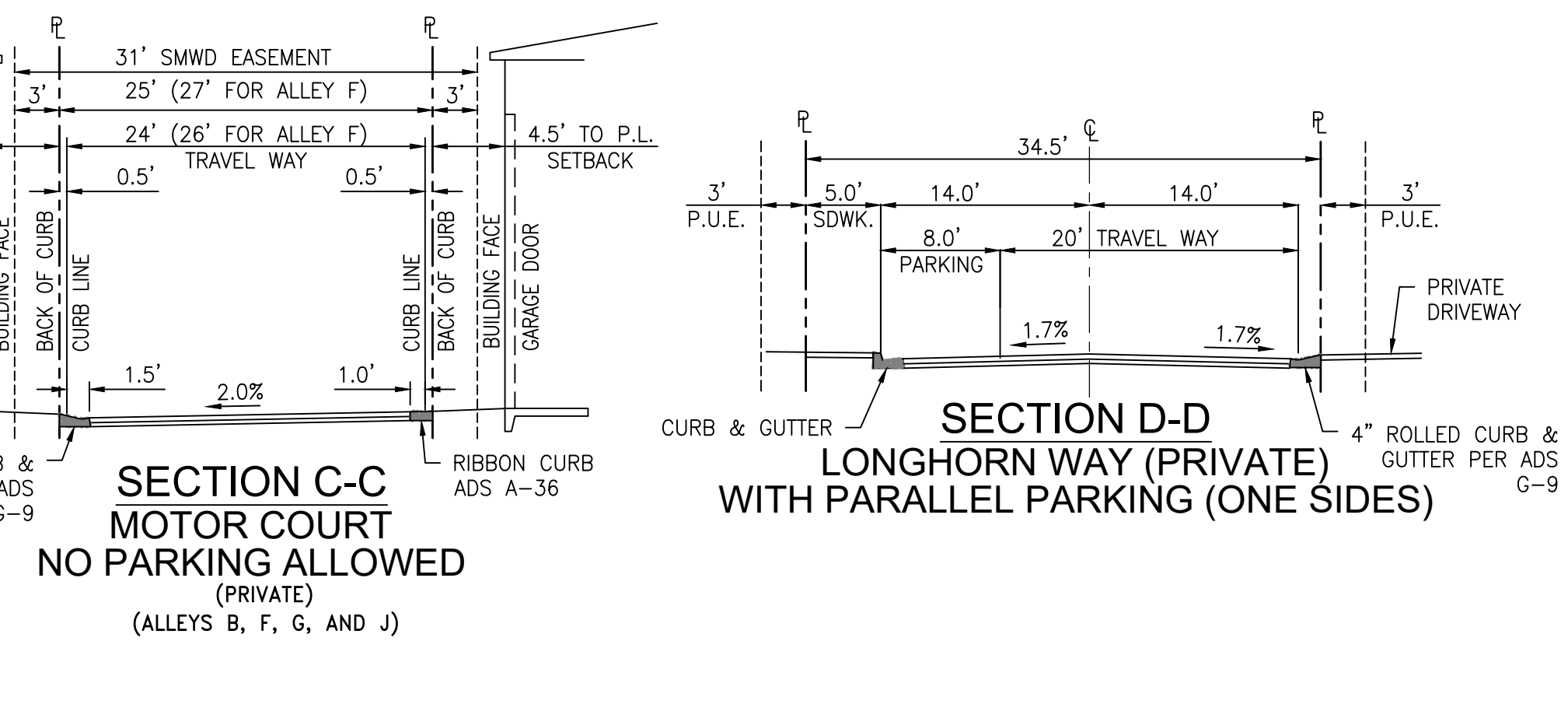
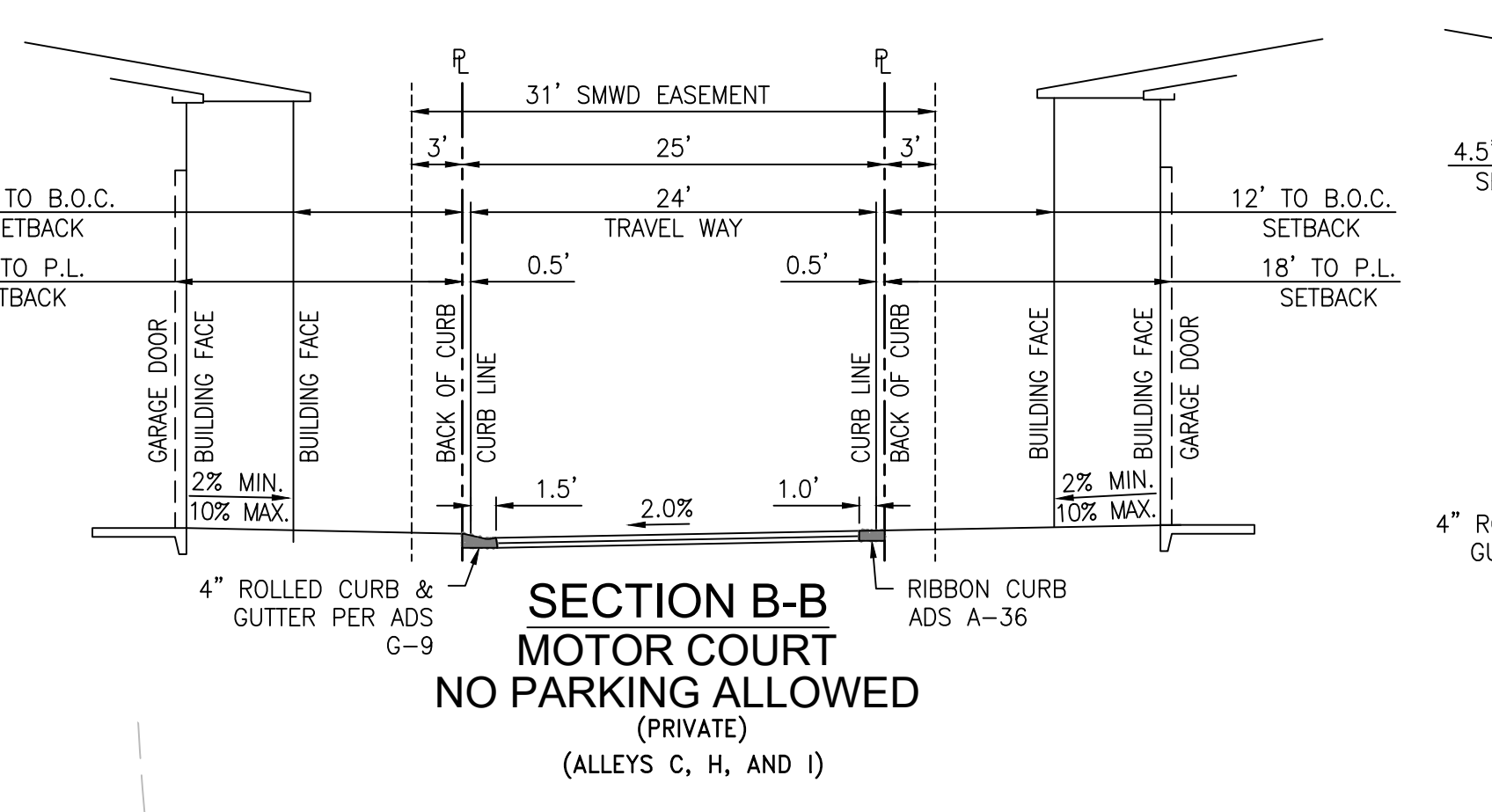
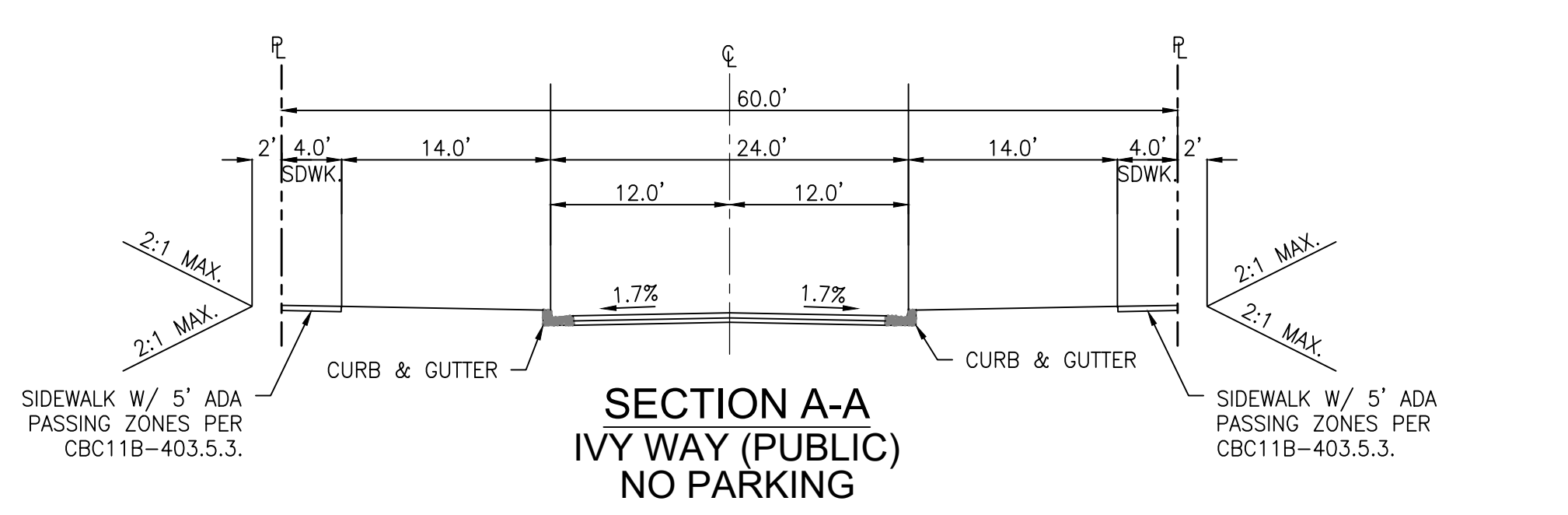
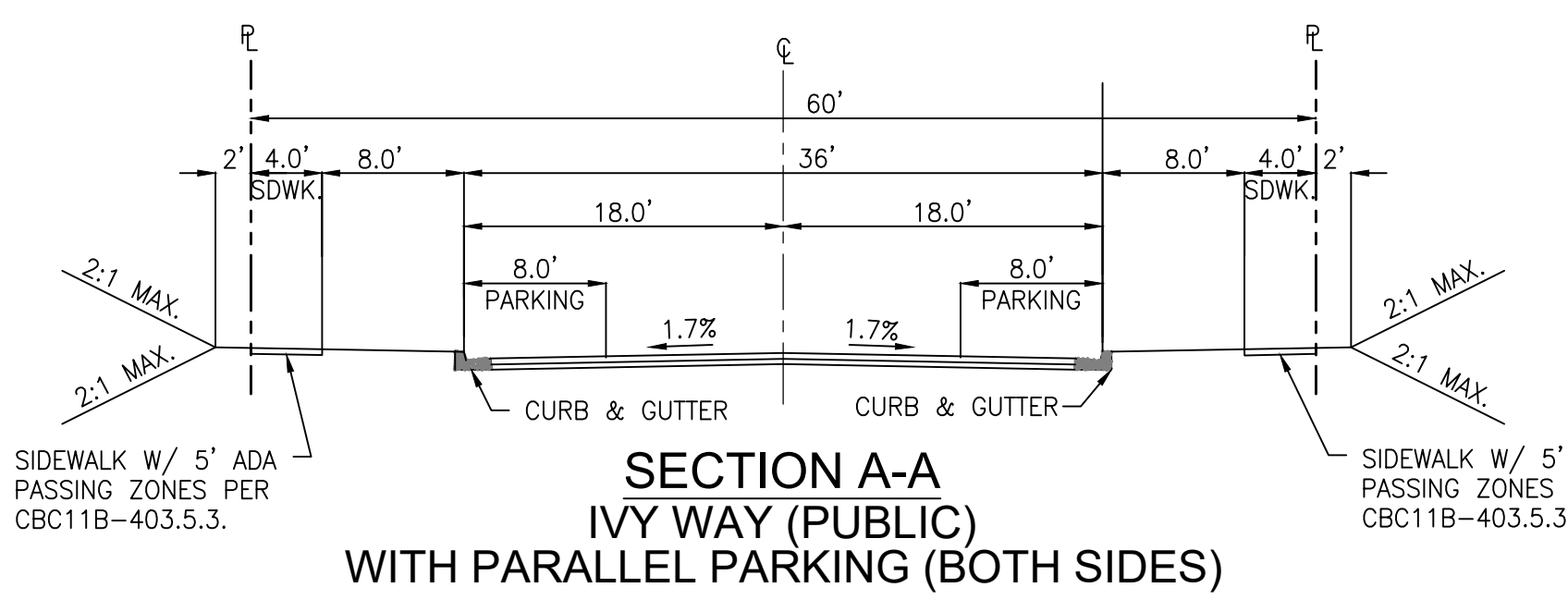
PREPARED BY: **FUSCOE ENGINEERING**
16795 Von Karman, Suite 100
Irvine, California 92606
tel 949.474.1960 fax 949.474.5315
www.fuscoe.com

COUNTY OF ORANGE
**SITE DEVELOPMENT PLAN • VTTM 19025
RANCH PLAN • PLANNING SUBAREA 3.1
RMV PA3 DEVELOPMENT • PULTE MR37**

DESIGNED BY: VP
DRAFTED BY: VP
CHECKED BY: TD

DATE: 3/16/2021

SHEETS 3 OF 3



DRAINAGE NOTES:
DRAINAGE SYSTEM WILL BE DEVELOPED IN ACCORDANCE WITH THE O.C. PUBLIC WORKS AND COUNTY OF ORANGE FLOOD CONTROL DISTRICT STANDARDS IN ACCORDANCE WITH THE APPLICABLE "MASTER PLAN OF DRAINAGE" FOR TRACT 17931 PREPARED BY MICHAEL BAKER INTERNATIONAL AND THE RUNOFF MANAGEMENT PLAN (ROMP) PAS AND 4 APPROVED ON 11/12/2019.

GRADING NOTES:

- GRADING PLANS MAY BE PROCESSED CONCURRENTLY WITH TENTATIVE TRACT MAPS, PER A CONCURRENT PROCESSING REQUEST LETTER. PLAN CHECKING OF GA OR GB PLANS MAY PROCEED, BUT APPROVAL OF THE GRADING PLAN MUST FOLLOW VTIM APPROVAL.
- ESTIMATED EARTHWORK - PROPOSED GRADING OF 2,000 CUBIC YARDS IS CONSISTENT WITH THE PAS MASTER AREA PLAN, SUBAREA PLAN 3.1 (PA180030), VESTING TENTATIVE TRACT MAP 19025 AND RELATED GRADING PERMITS.
- ENVIRONMENTAL - PROPOSED GRADING HAS BEEN ADDRESSED PER FINAL PROGRAM EIR 589 AND ADDENDUMS 1.0,1.1, AND 3.1 AND PLANNING AREA 2 ADDENDUM.



CONCEPTUAL GRADING PLAN

VESTING TENETAIVE TRACT NO. 19025

RANCHO MISSION VIEJO

PA20-0048



RIENDA MR37 PA 3.1	
PHASE	LOTS
MODEL (M)	1-3
PARKING LOT & BUILD-OUT (B)	4-6
1	68-73
2	62-67
3	7-12 & 39-41 & PARK
4	56-61
5	13-19
6	50-55
7	20-25 & 35-38
8	46-49
9	32-34 & 42-45
10	26-31

LEGEND

- PHASE BOUNDARY
- 2 PHASE NUMBER M = MODEL
- LOT LINE

BLDG. PLAN NO.

LOT NUMBER

1

C

4

BLDG. ELEVATION
STYLE

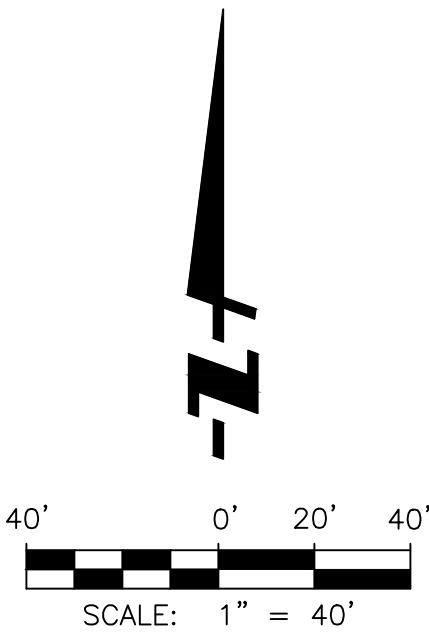
PULTEGROUP, INC.
27101 Puerto Real, Suite 300
Mission Viejo, CA 92691
tel 760.775.1806

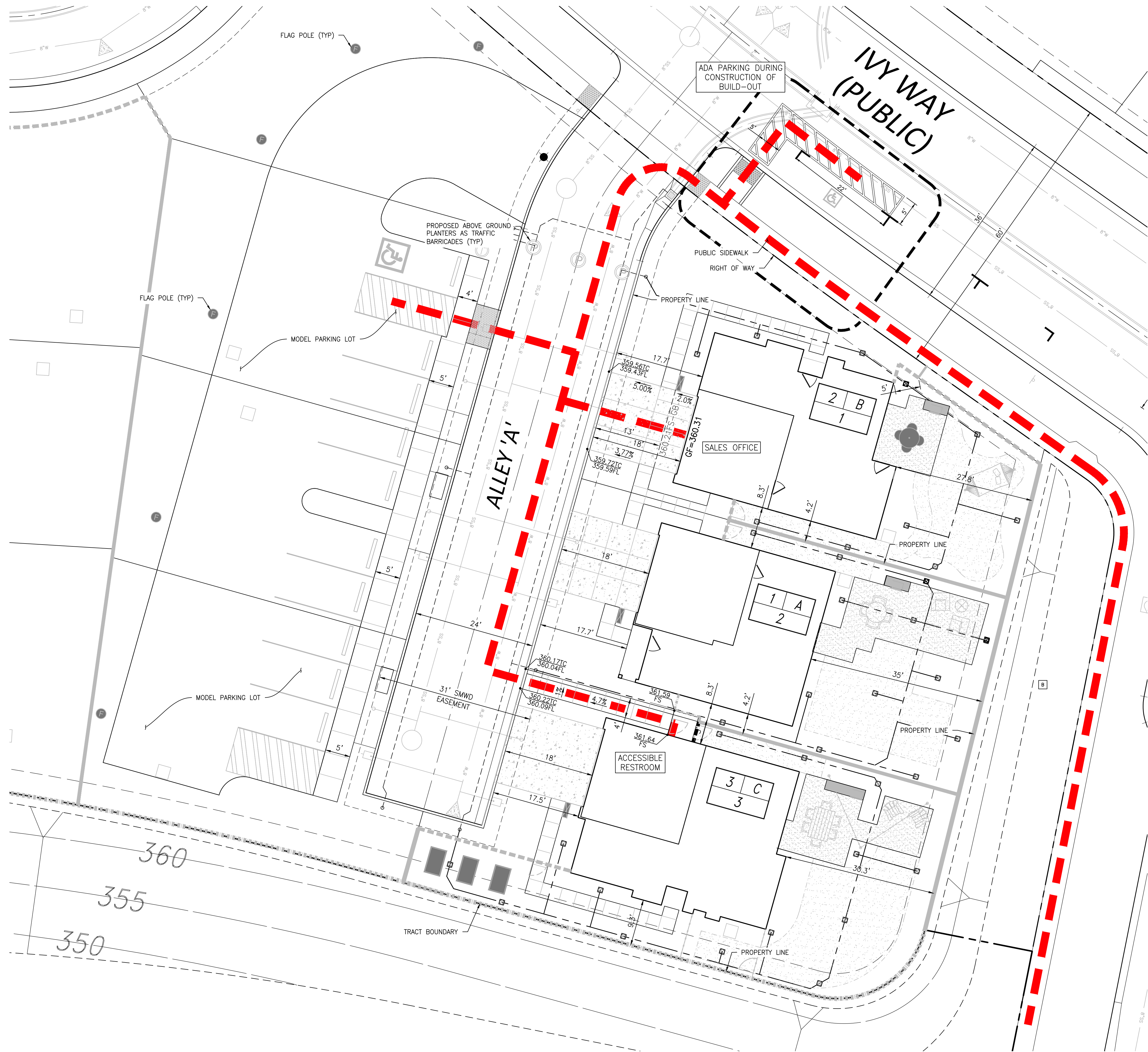
FUSCOE
ENGINEERING
16795 Von Karman, Suite 100, Irvine, California 92606
tel 949.474.1960 • fax 949.474.5315 • www.fuscoe.com

PHASING EXHIBIT

RIENDA MR37 PA 3.1

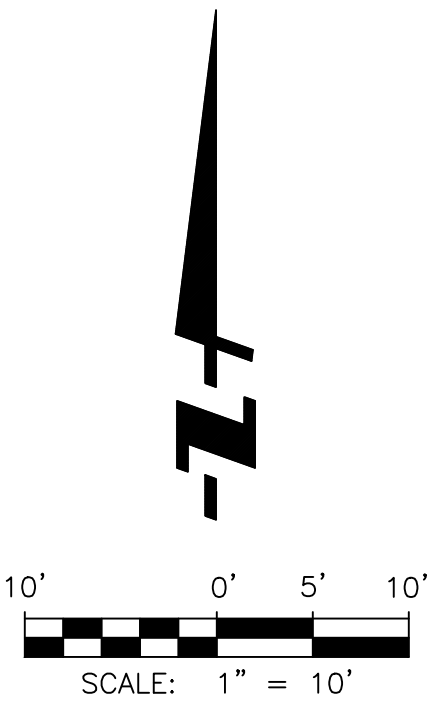
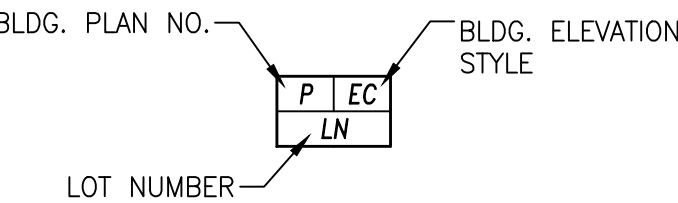
RANCHO MISSION VIEJO





LEGEND

- TRACT BOUNDARY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- PROPOSED R/W
- ADA PATH OF TRAVEL
- EASEMENTS
- BUILDING SETBACK
- GRADING CONTOUR



PA20-0048

APPLICANT:

PULTEGROUP, INC.
27101 Puerto Real, Suite 300
Mission Viejo, CA 92691
tel 760.775.1806

PREPARED BY:

16795 Von Karman, Suite 100
Irvine, California 92606
tel 949.474.1960 fax 949.474.5315
www.fuscoec.com

NO.	DATE	REVISIONS	APP'D

COUNTY OF ORANGE

MODEL SITE PLAN
RANCH PLAN • PLANNING SUBAREA 3.1
RMV PA3 DEVELOPMENT • PULTE MR37

DESIGNED BY: VP	DATE: 2/10/2021	SHEETS 1 OF 1
DRAFTED BY: VP		
CHECKED BY: TD		

PLAN 2
3119-1

PLAN 1
3217-2

PLAN 3
3321-1



PLAN 2
3119-1

PLAN 1
3217-2

PLAN 3
3321-1

TYPICAL GROUND FLOOR PRIVACY EXHIBIT

RANCHO MISSION VIEJO - MR37



COMPOSITE 6 HOME CLUSTER

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PA20-0048

Sheet BA - 1

03/09/2020

PLAN 2
3119-1

PLAN 1
3217-2

PLAN 3
3321-1



PLAN 2
3119-1

PLAN 1
3217-2

PLAN 3
3321-1

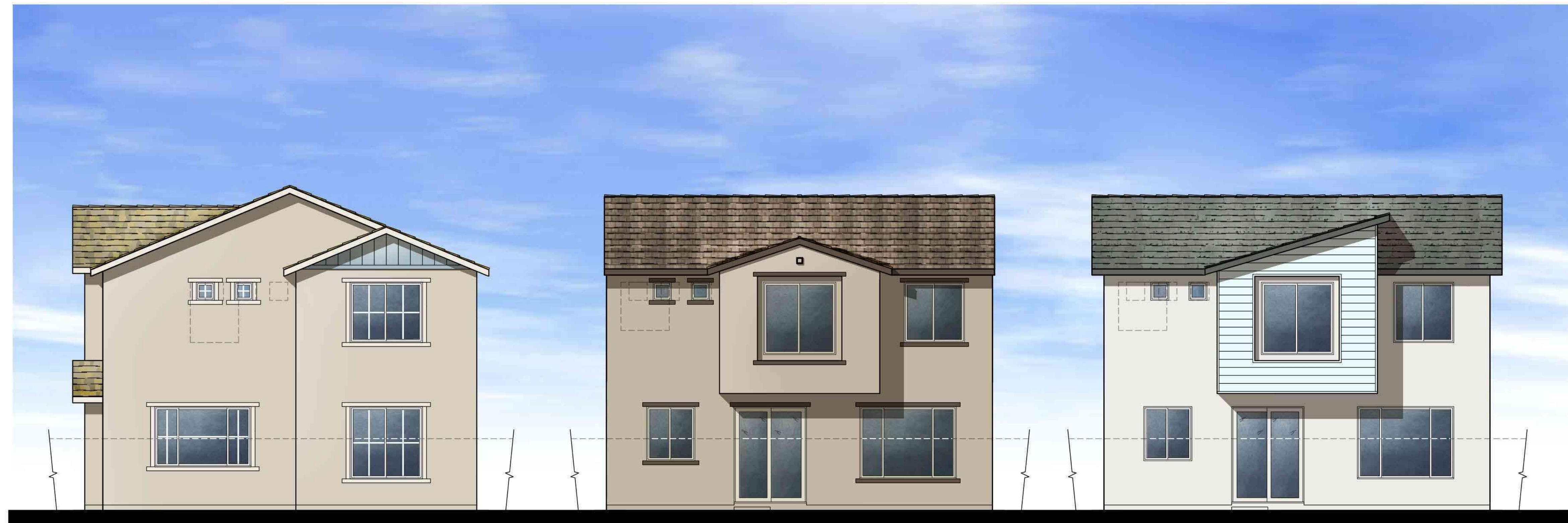
**TYPICAL
SECOND FLOOR
PRIVACY EXHIBIT**
RANCHO MISSION VIEJO - MR37



PLAN 2 - ELEVATION 'B' - LEVEL 2
LOT 50
SCHEME 5

PLAN 2 - ELEVATION 'A' - LEVEL 3
LOT 55
SCHEME 2

PLAN 2 - ELEVATION 'C' - LEVEL 1
LOT 56
SCHEME 9



PLAN 2 - ELEVATION 'C' - LEVEL 2
LOT 19
SCHEME 8

PLAN 1 - ELEVATION 'A' - LEVEL 1
LOT 18
SCHEME 1

PLAN 1 - ELEVATION 'B' - LEVEL 2
LOT 17
SCHEME 4

"Per County of Orange memorandum
"Compliance with Mitigation Measure MM
4.7-3, EIR 589" (2-23-21), residential and
non-residential buildings that are
constructed in compliance with Title 24 of
the 2019 California Building Code and that
utilize an SRI of 15 to 27 for all roofing
materials are considered to be in
compliance with, MM 4.7-3 of EIR 589."



Conceptual Streetscape

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Sheet BA - 3

RANCHO MISSION VIEJO - MR37

09/23/2020



PLAN 3 - ELEVATION 'B' - LEVEL 2
LOT 4
SCHEME 6

PLAN 1 - ELEVATION 'C' - LEVEL 1
LOT 5
SCHEME 7

PLAN 2 - ELEVATION 'A' - LEVEL 2
LOT 6
SCHEME 3

"Per County of Orange memorandum
"Compliance with Mitigation Measure MM
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the 2019 California Building Code and that
utilize an SRI of 15 to 27 for all roofing
materials are considered to be in
compliance with, MM 4.7-3 of EIR 589."



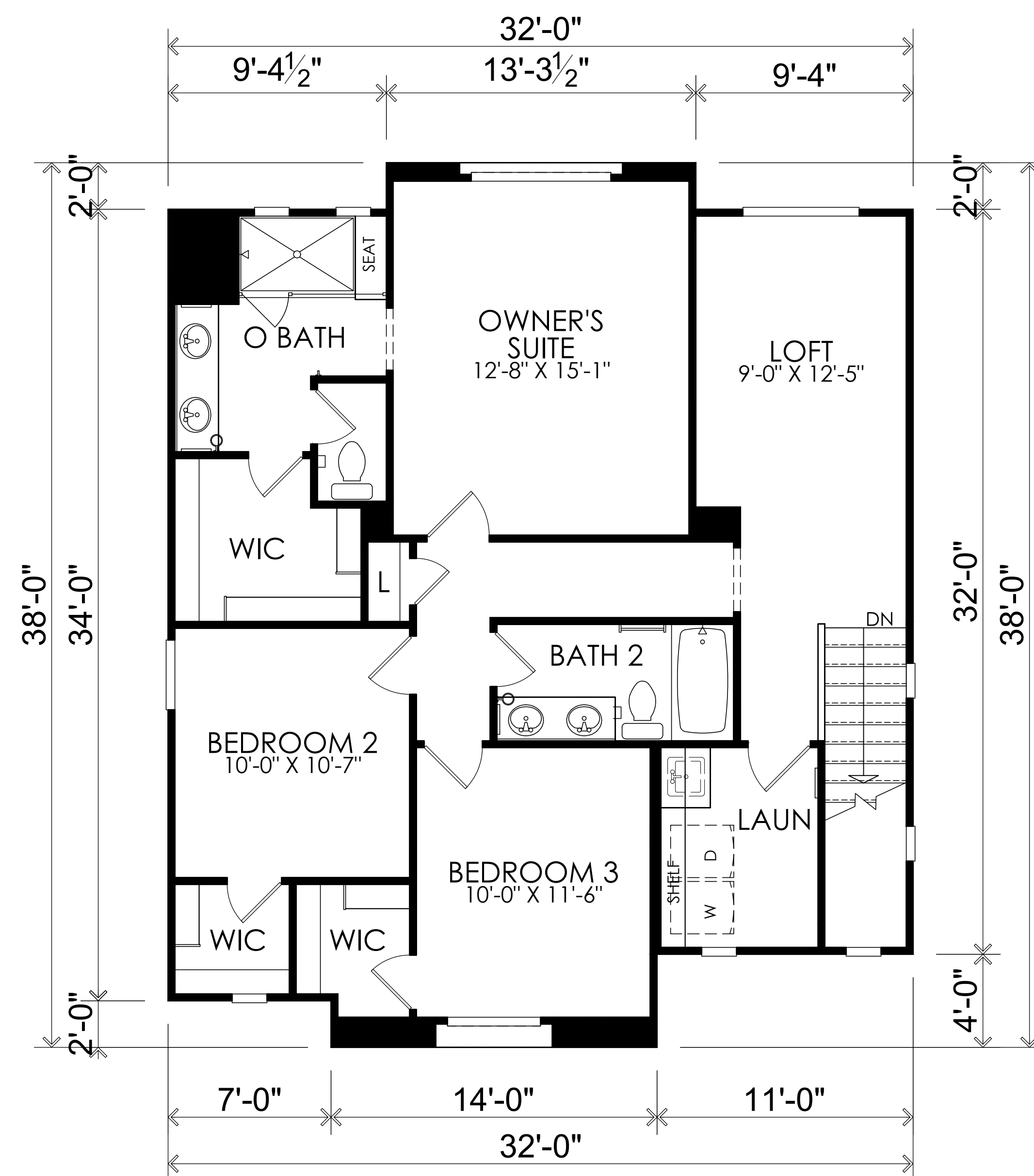
Conceptual Motor Court

(c) Copyright 2020 PulteGroup, Inc. Note: Colors in this rendering may not be accurately represented due to printing. Please refer to the actual paint chips in the DR package.

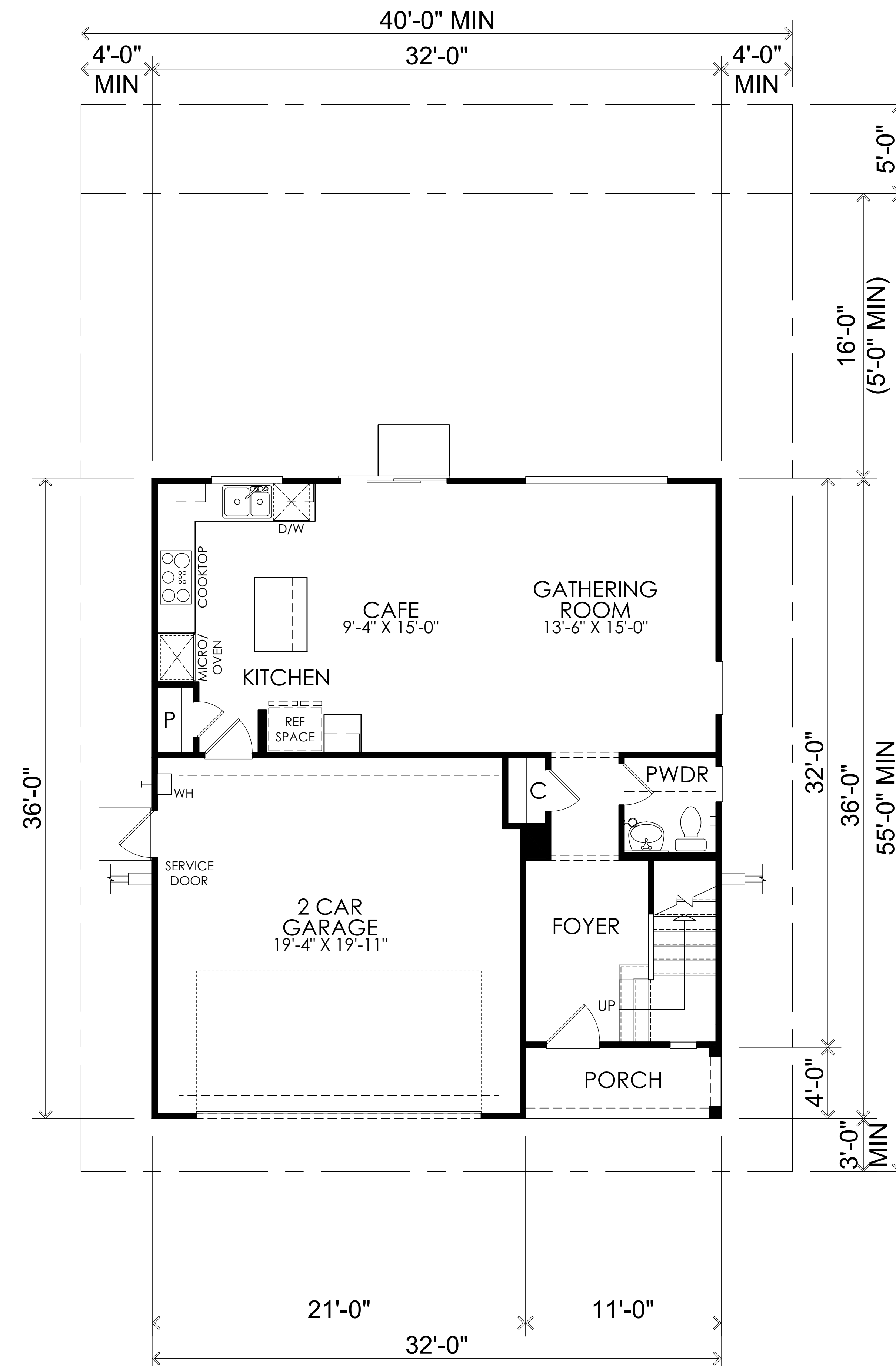
PA20-0048
Sheet BA-4

RANCHO MISSION VIEJO - MR37

09/23/2020



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	691 SQ. FT.
2nd Floor	1,072 SQ. FT.
Total	1,763 SQ. FT.
2 - Car Garage	417 SQ. FT.
Porch	44 SQ. FT.

3 BEDROOM/ 2.5 BATH

ELEVATION 'A' (RANCH) FLOOR PLANS

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37



Plan 1 ■ 1,763 SQ FT

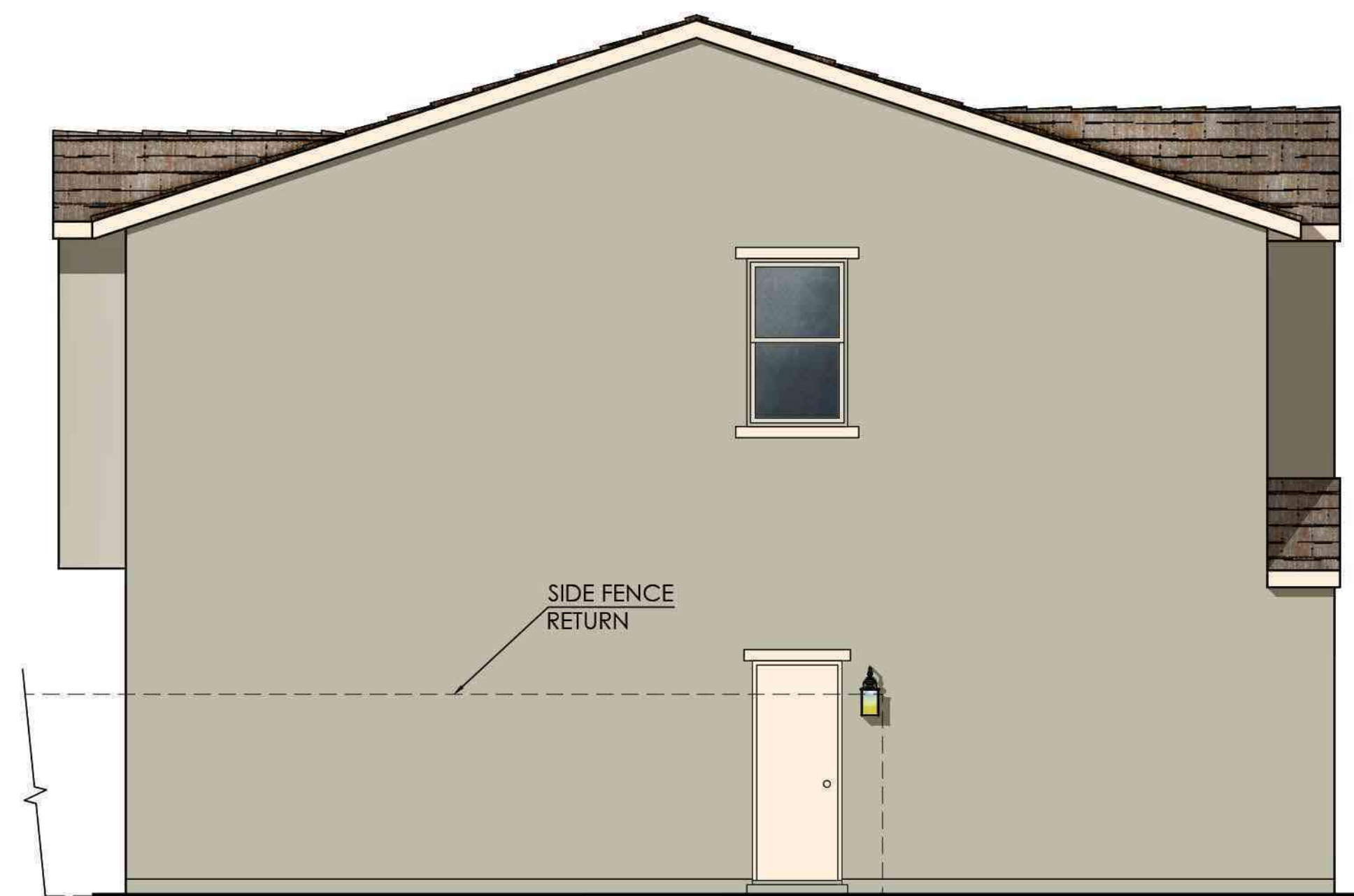
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Sheet BA-5

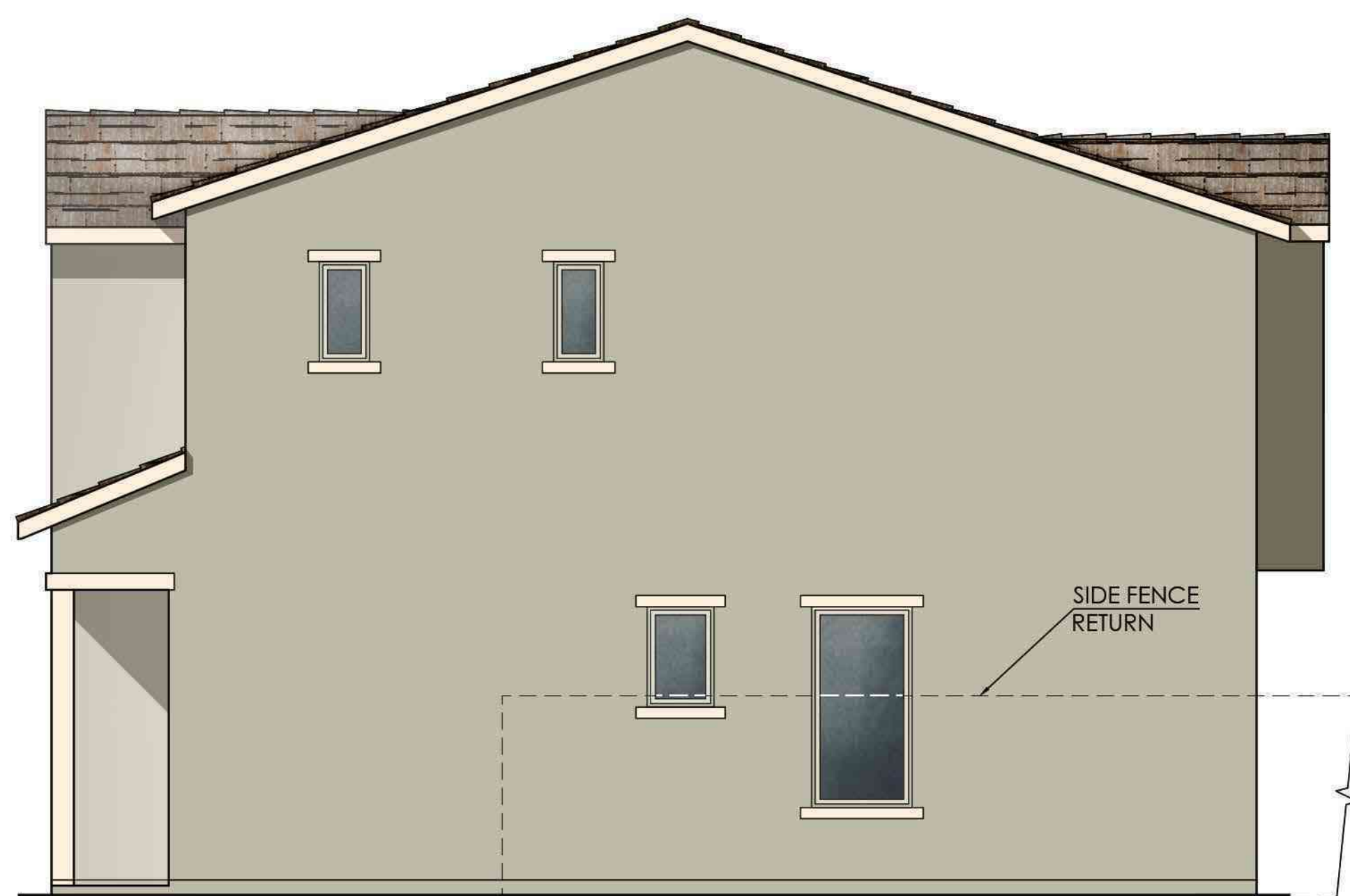
09/23/2020



Rear Elevation



Left Elevation



Right Elevation

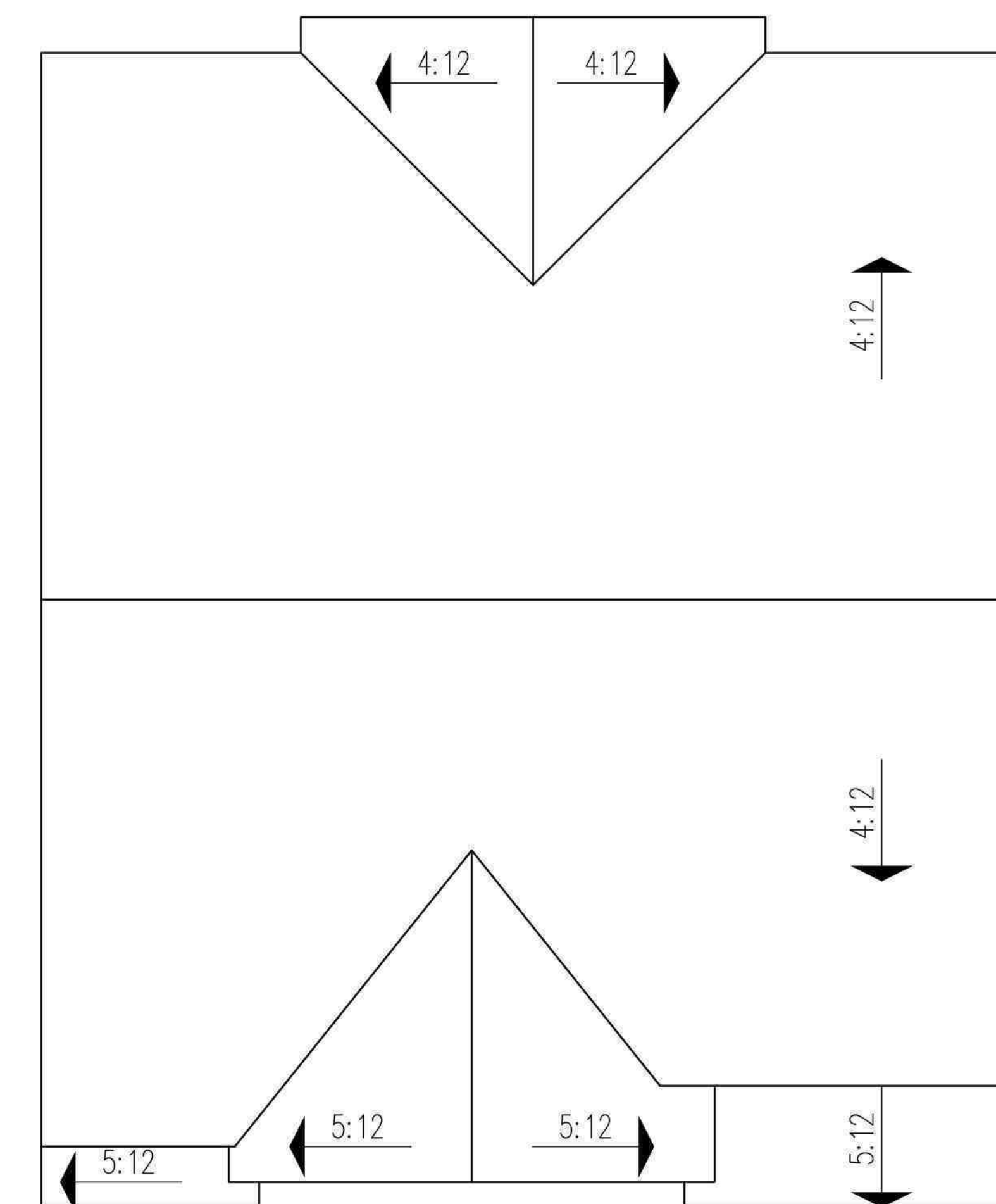
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. 8" HORIZONTAL WOOD SIDING
- D. DECORATIVE GABLE ACCENTS
- E. WINDOWS AT GARAGE DOOR
- F. STANDARD COACH LIGHTS
- G. RECESSED WINDOW LOCATIONS
- H. DISTINCT "A" ELEVATION WINDOW TRIM
- I. DISTINCT "A" ELEVATION GARAGE DOOR
- J. DISTINCT "A" ELEVATION FRONT DOOR



Front Elevation

Scheme 2



Roof Plan

- PITCH: Varies from 4:12 to 5:12
- RAKE: 2"
- EAVE: 12"
- ROOF MATERIAL: COMPOSITE SHINGLE
- BORAL ROOFING:
 - 1FBCJ1132 - CHARCOAL BROWN BLEND
 - 1FBCJ3156 - DESERT BREEZE
 - 1FBCJ3726 - HICKORY

"Per County of Orange memorandum
"Compliance with Mitigation Measure MM
4.7-3, EIR 589" (2-23-21), residential and
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constructed in compliance with Title 24 of
the 2019 California Building Code and that
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materials are considered to be in
compliance with, MM 4.7-3 of EIR 589."

MODEL - LOT 02 ELEVATION 'A' (LEVEL 2 SHOWN) ELEVATION/ROOF

Scale = 1/4" = 1'-0"



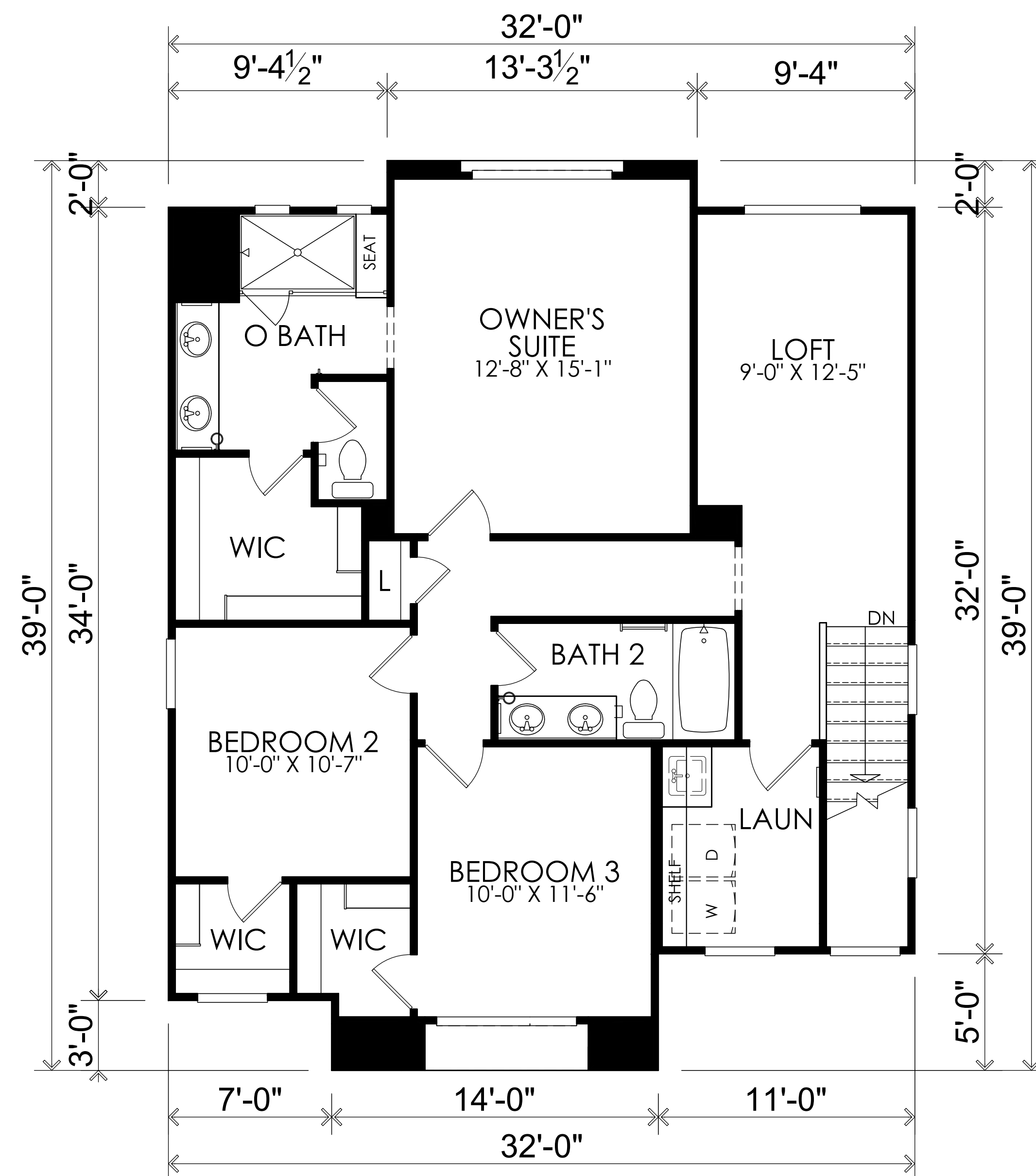
Plan 1 ■ 1,763 SQ FT

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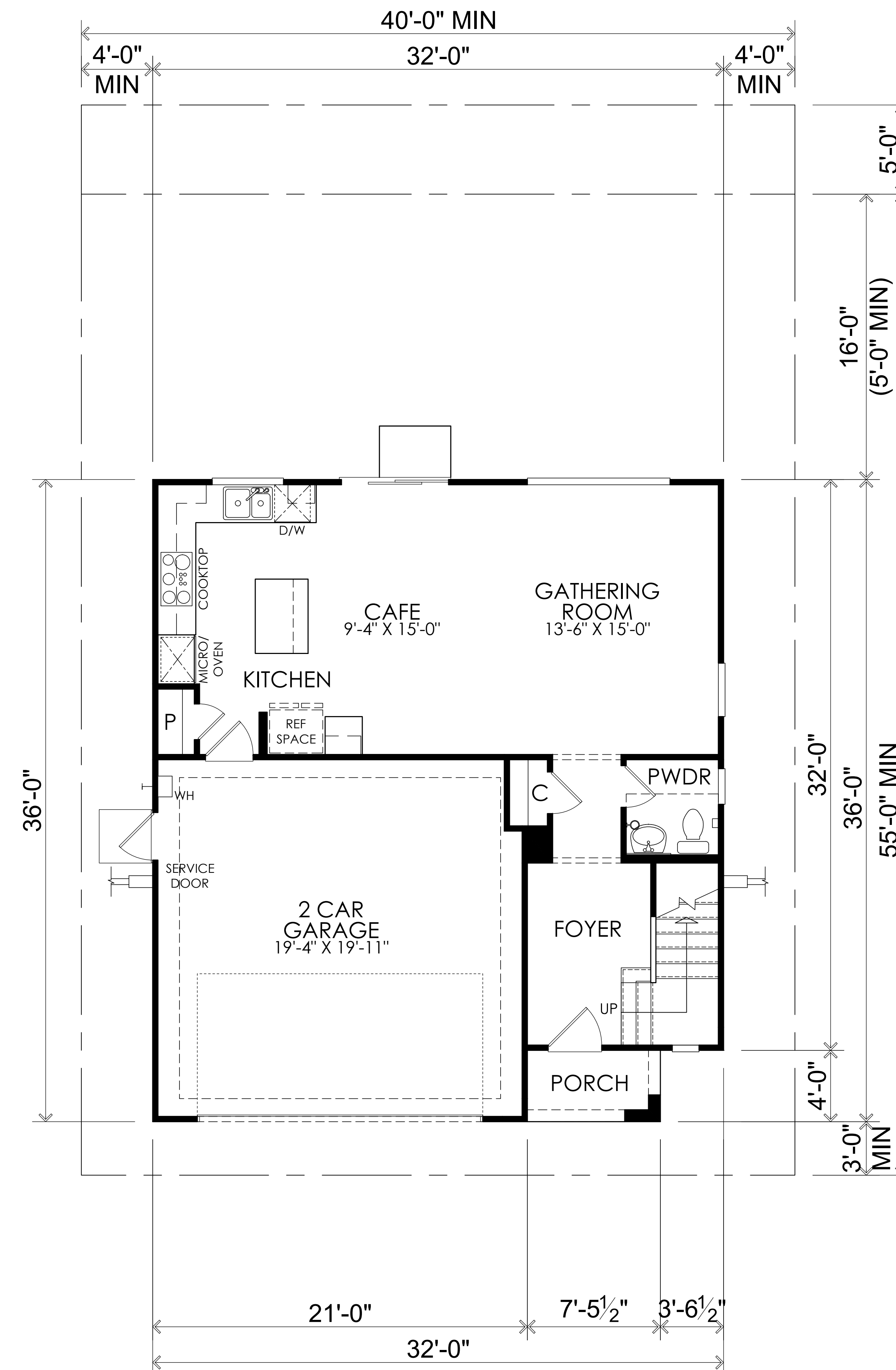
PA20-0048
Sheet BA-6

RANCHO MISSION VIEJO - MR37

09/23/2020



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	691 SQ. FT.
2nd Floor	1,072 SQ. FT.
Total	1,763 SQ. FT.
2 - Car Garage	417 SQ. FT.
Porch	30 SQ. FT.

3 BEDROOM/ 2.5 BATH

ELEVATION 'B' (CONTEMPORARY) FLOOR PLANS

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37

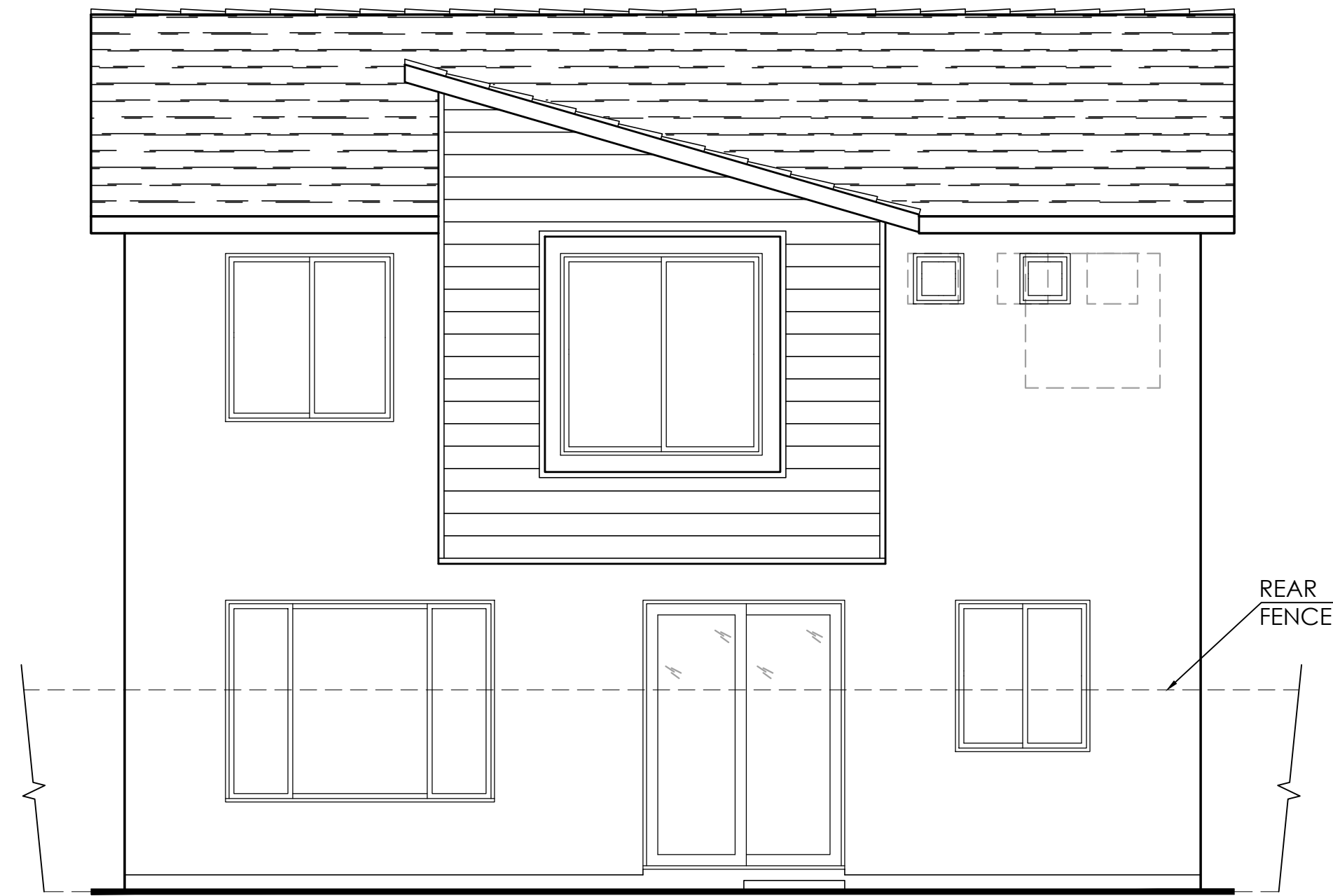


Plan 1 ■ 1,763 SQ FT

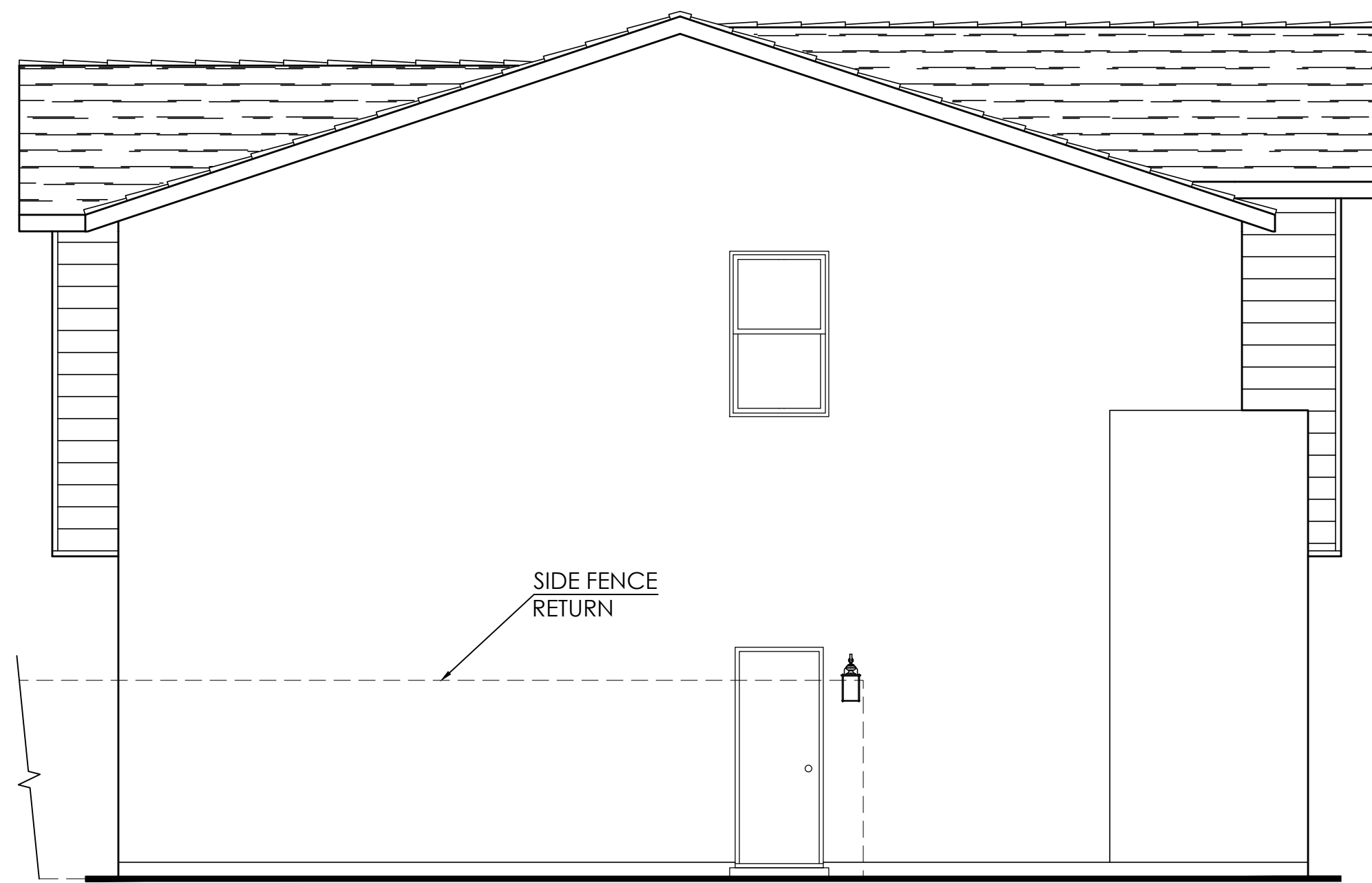
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Sheet BA-7

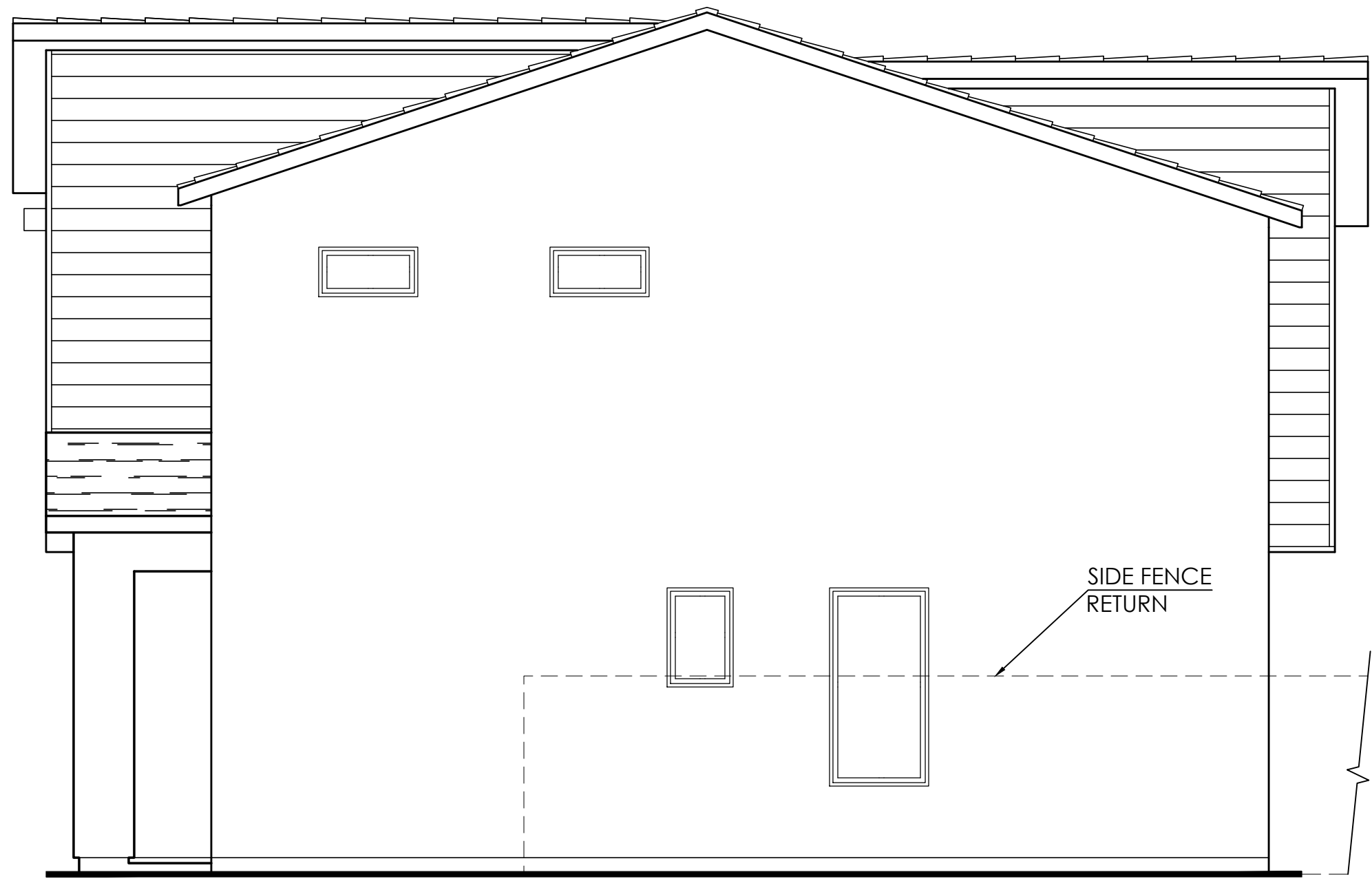
09/23/2020



Rear Elevation



Left Elevation



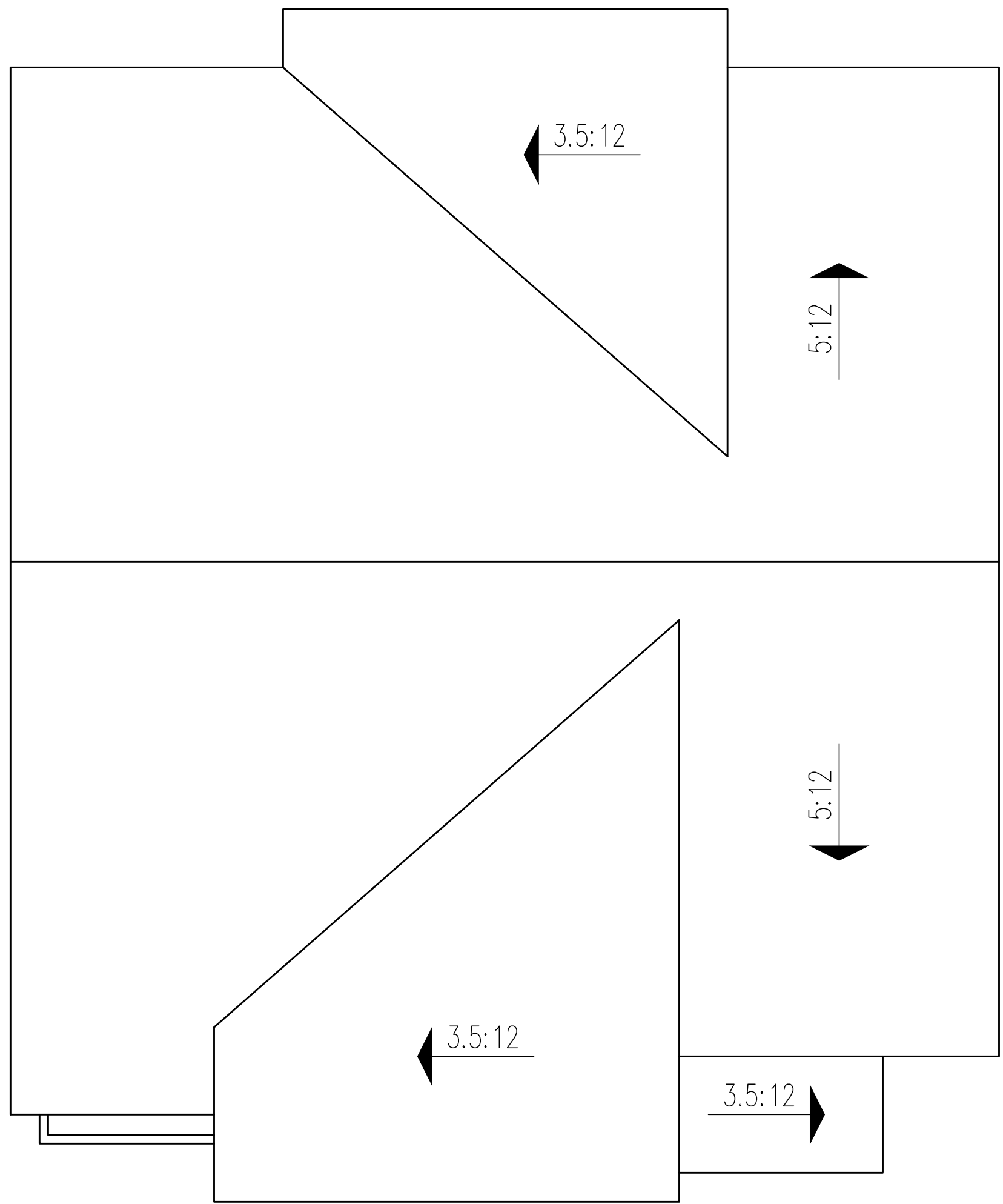
Right Elevation

Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. 8" HORIZONTAL WOOD SIDING
- D. WINDOWS AT GARAGE DOOR
- E. STANDARD COACH LIGHTS
- F. RECESSED WINDOW LOCATIONS
- G. DISTINCT "B" ELEVATION WINDOW TRIM
- H. DISTINCT "B" ELEVATION WINDOW GRIDS
- I. DISTINCT "B" ELEVATION GARAGE DOOR
- J. DISTINCT "B" ELEVATION FRONT DOOR



Front Elevation



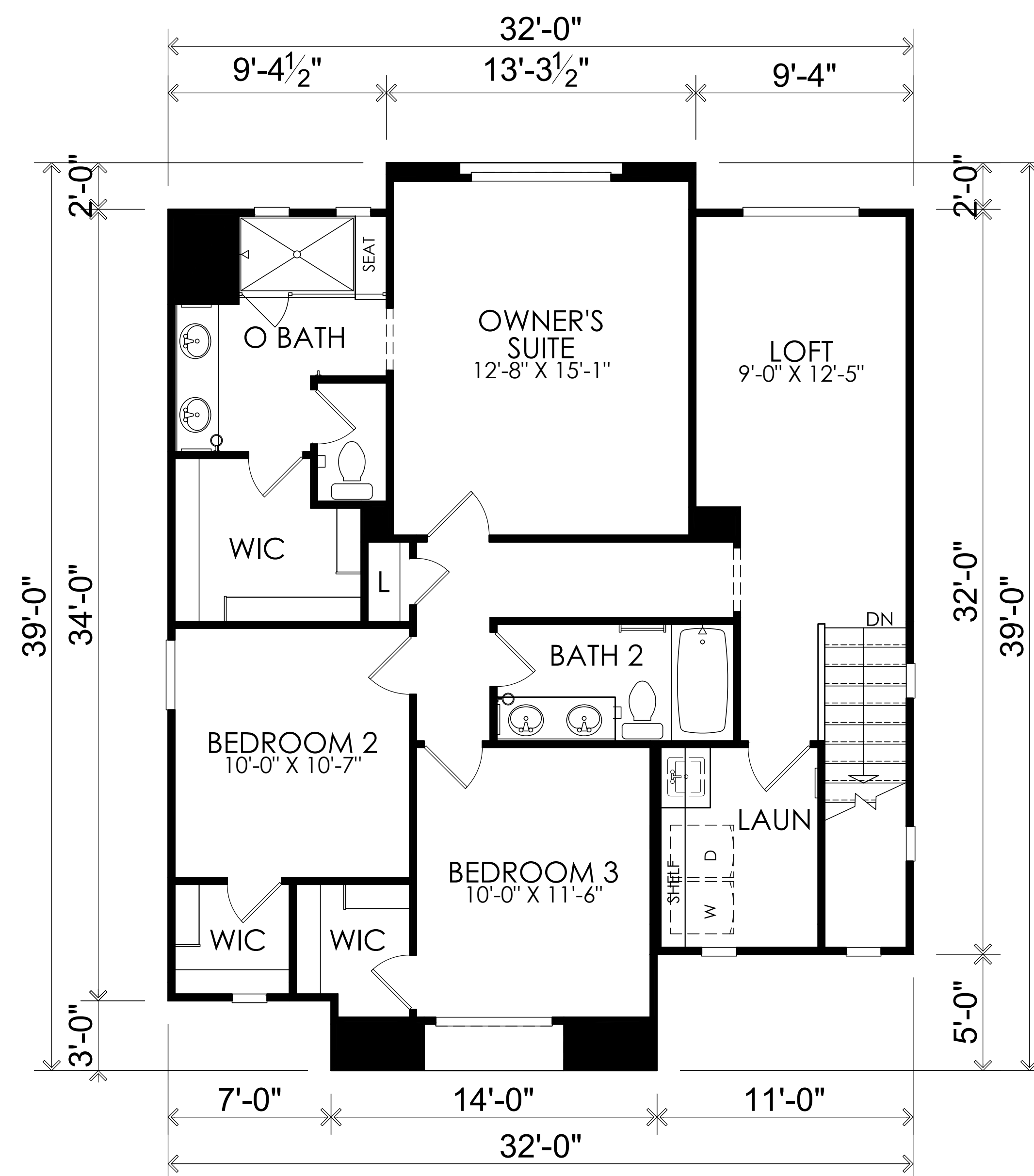
Roof Plan

- PITCH: Varies from 3.5:12 to 5:12
- RAKE: 12"
- EAVE: 12"
- ROOF MATERIAL: COMPOSITE SHINGLE
- BORAL ROOFING:
 - 1FACS2010 - OCEANA
 - 1FACS3184 - RUSTIC BROWN BLEND
 - 1FACS1430 - CHARCOAL BLEND

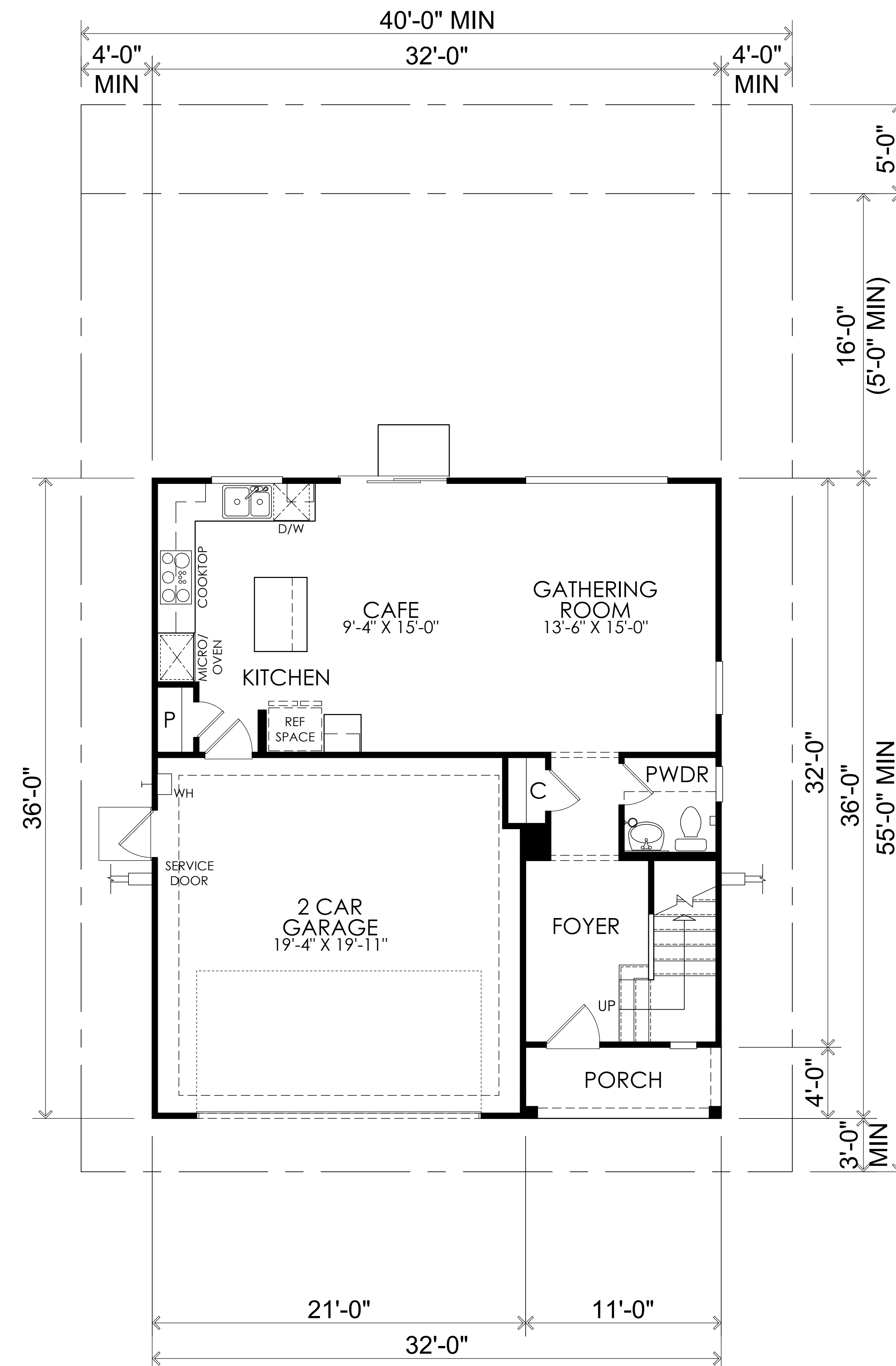
"Per County of Orange memorandum
"Compliance with Mitigation Measure MM
4.7-3, EIR 589" (2-23-21), residential and
non-residential buildings that are
constructed in compliance with Title 24 of
the 2019 California Building Code and that
utilize an SRI of 15 to 27 for all roofing
materials are considered to be in
compliance with, MM 4.7-3 of EIR 589."

ELEVATION 'B'
(LEVEL 2 SHOWN)
ELEVATION/ROOF

Scale = 1/4" = 1'-0"



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	691 SQ. FT.
2nd Floor	1,072 SQ. FT.
Total	1,763 SQ. FT.
2 - Car Garage	417 SQ. FT.
Porch	44 SQ. FT.

3 BEDROOM/ 2.5 BATH

ELEVATION 'C' (FARMHOUSE) FLOOR PLANS

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37



Plan 1 ■ 1,763 SQ FT

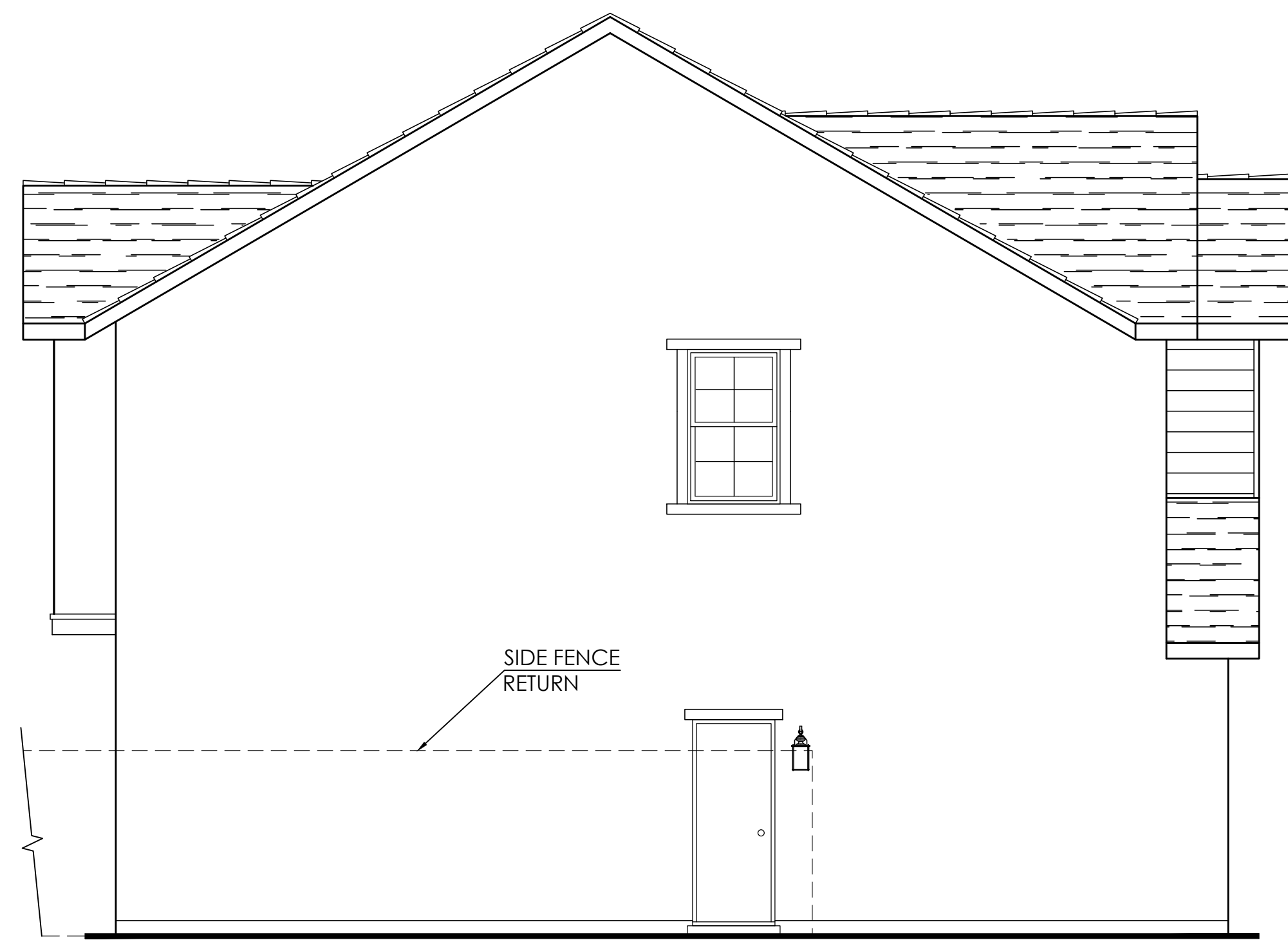
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PA20-0048
Sheet BA-9

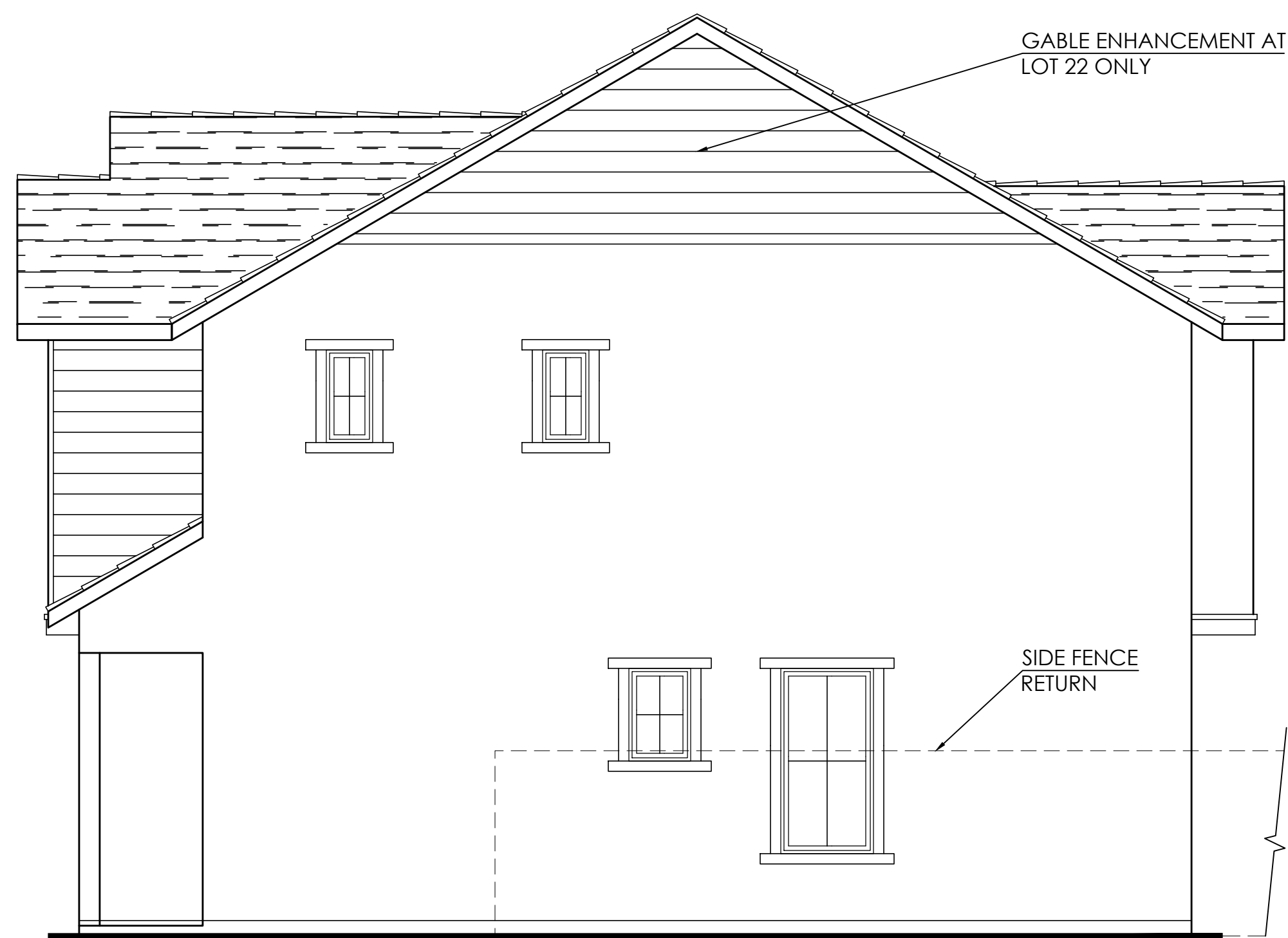
09/23/2020



Rear Elevation



Left Elevation



Right Elevation

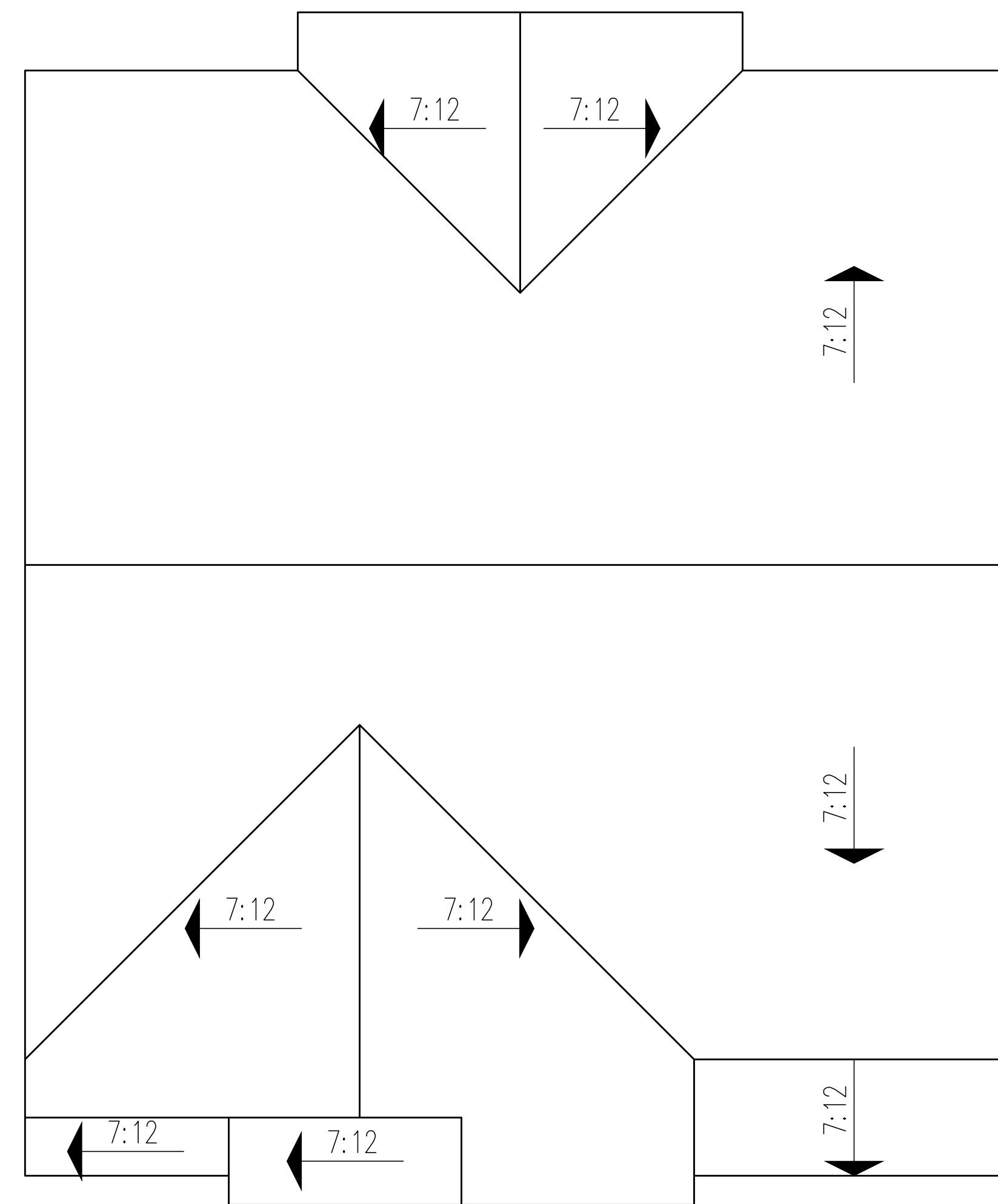
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. HORIZONTAL WOOD SIDING
- D. WINDOWS AT GARAGE DOOR
- E. STANDARD COACH LIGHTS
- F. RECESSED WINDOW LOCATIONS
- G. DISTINCT "C" ELEVATION WINDOW TRIM
- H. DISTINCT "C" ELEVATION WINDOW GRIDS
- I. DISTINCT "C" ELEVATION GARAGE DOOR
- J. DISTINCT "C" ELEVATION FRONT DOOR



Front Elevation

LEVEL (2): HORIZONTAL WOOD SIDING + ACCENT COLOR



Roof Plan

- PITCH: 7:12
- RAKE: 12"
- EAVE: 12"
- ROOF MATERIAL: COMPOSITE SHINGLE
- BORAL ROOFING:
 - 1FACS3184 - MONTE SERENO
 - 1FACS0141 - BUCKSKIN
 - 1FACS5354 - STONE MTN BLEND

"Per County of Orange memorandum "Compliance with Mitigation Measure MM 4.7-3, EIR 589" (2-23-21), residential and non-residential buildings that are constructed in compliance with Title 24 of the 2019 California Building Code and that utilize an SRI of 15 to 27 for all roofing materials are considered to be in compliance with, MM 4.7-3 of EIR 589."

ELEVATION 'C' (LEVEL 2 SHOWN) ELEVATION/ROOF

Scale = 1/4" = 1'-0"



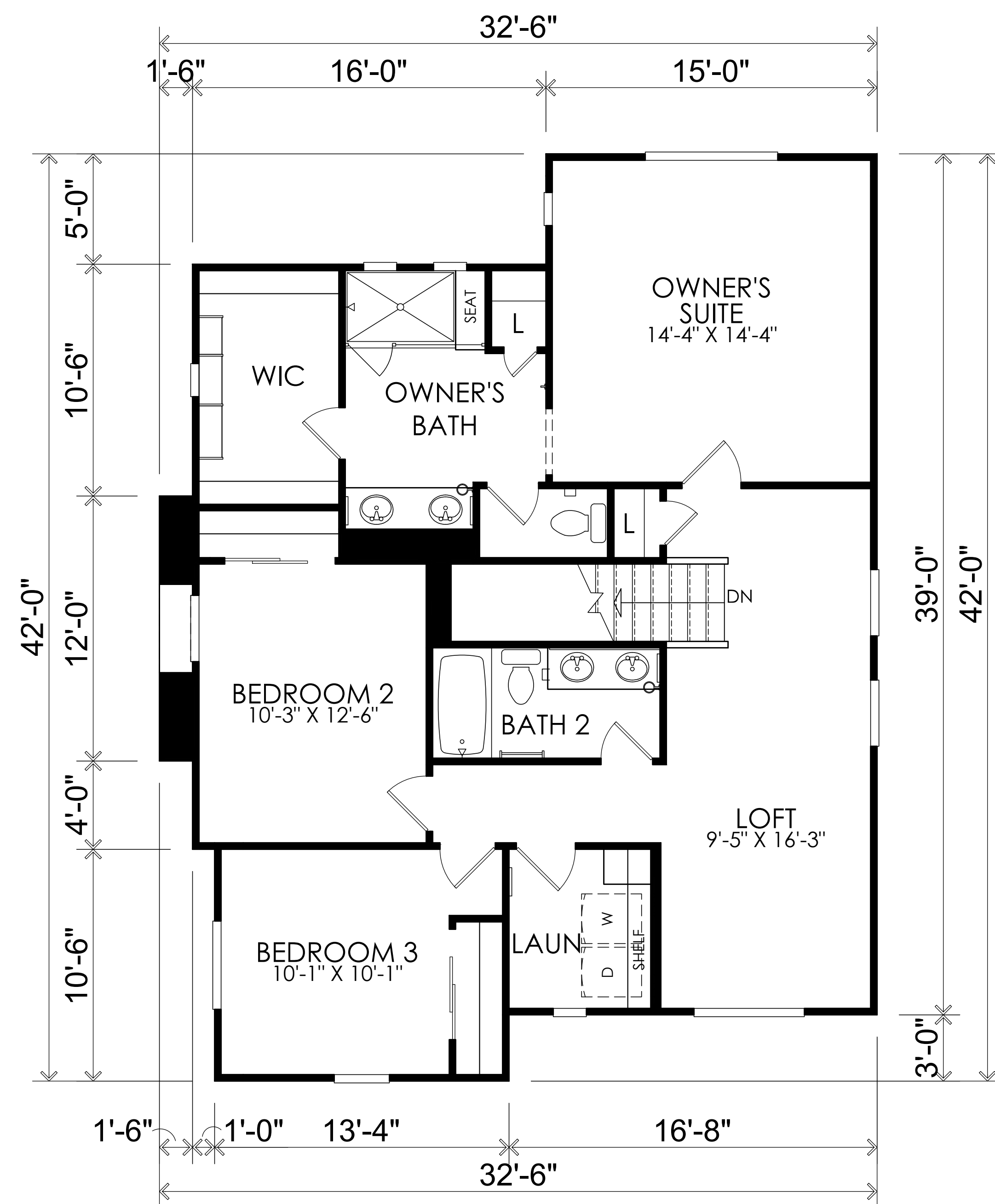
Plan 1 ■ 1,763 SQ FT

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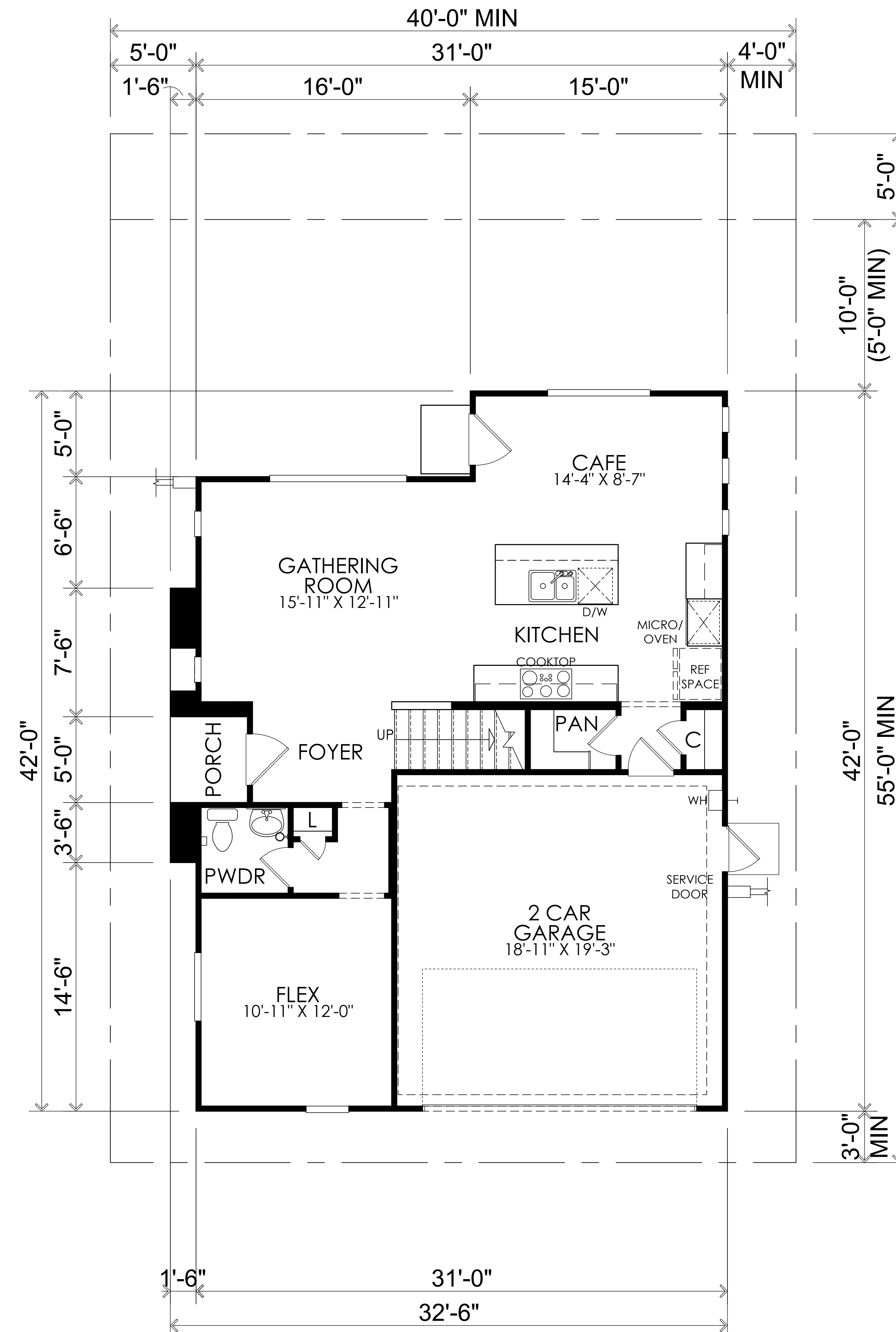
PA20-0048
Sheet BA-10

RANCHO MISSION VIEJO - MR37

09/23/2020



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	828 SQ. FT.
2nd Floor	1,162 SQ. FT.
Total	1,990 SQ. FT.
2 - Car Garage	379 SQ. FT.
Porch (Side Entry)	23 SQ. FT.

3 BEDROOM/ 3 BATH

ELEVATION 'A' (RANCH) FLOOR PLANS

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37



Plan 2 ■ 1,990 SQ FT

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Sheet BA-11

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Front Elevation

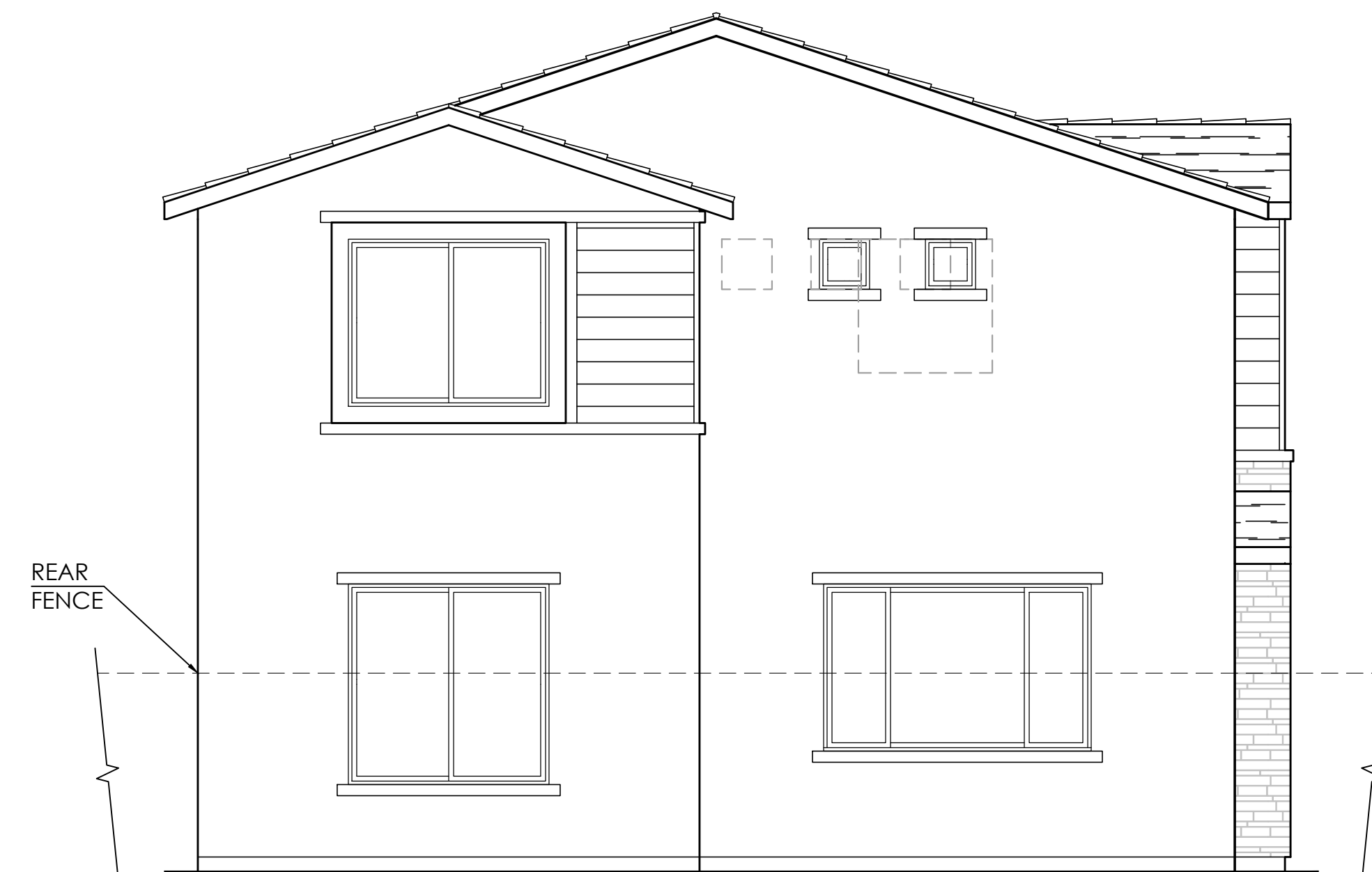
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE GABLE ACCENTS
- D. 8" WOOD SIDING
- E. PAINTED BRICK
- F. WINDOWS AT GARAGE DOOR
- G. STANDARD COACH LIGHTS
- H. RECESSED WINDOW LOCATIONS
- I. DISTINCT "A" ELEVATION WINDOW TRIM
- J. DISTINCT "A" ELEVATION GARAGE DOOR
- K. DISTINCT "A" ELEVATION FRONT DOOR

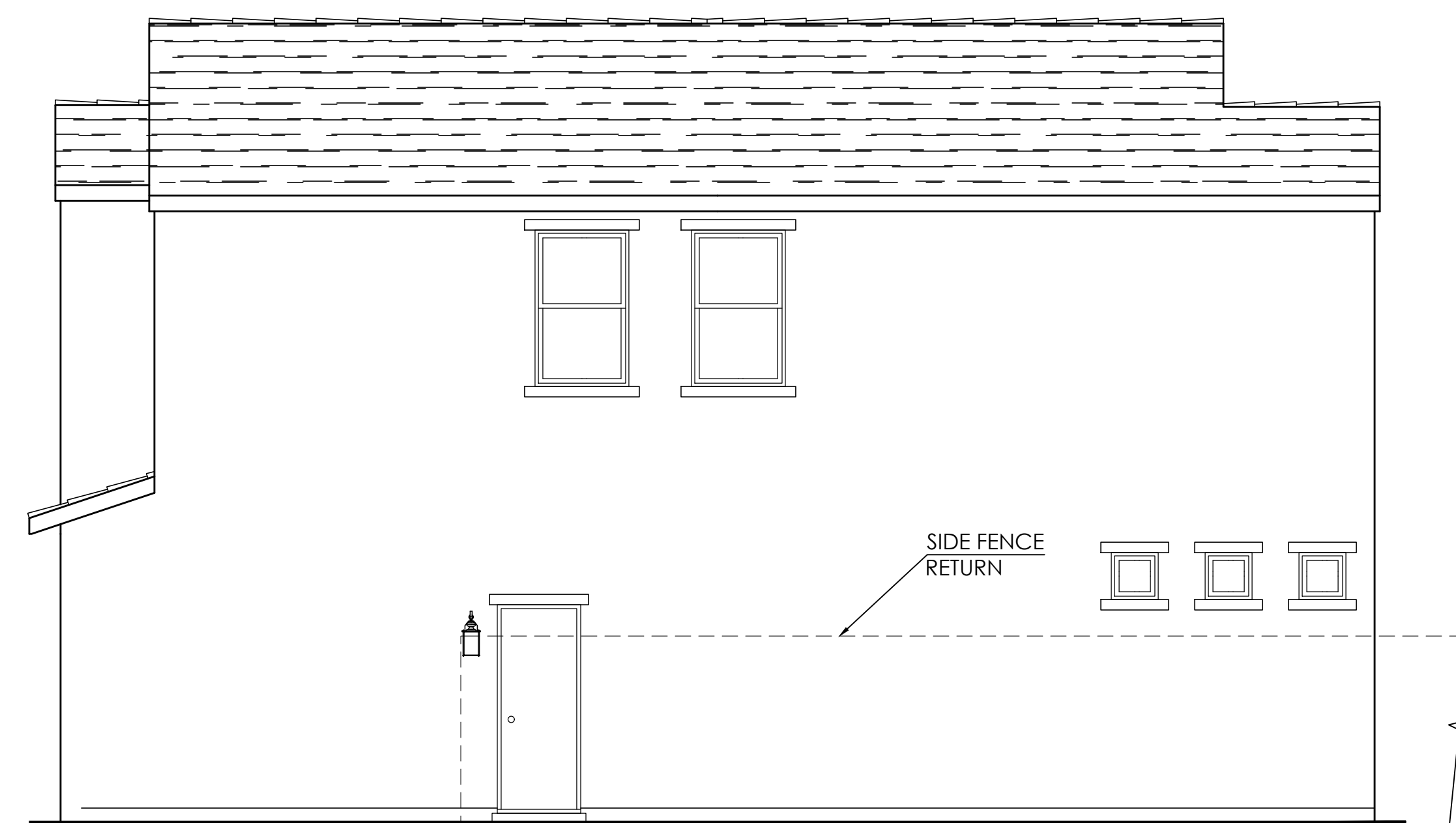


Left Elevation

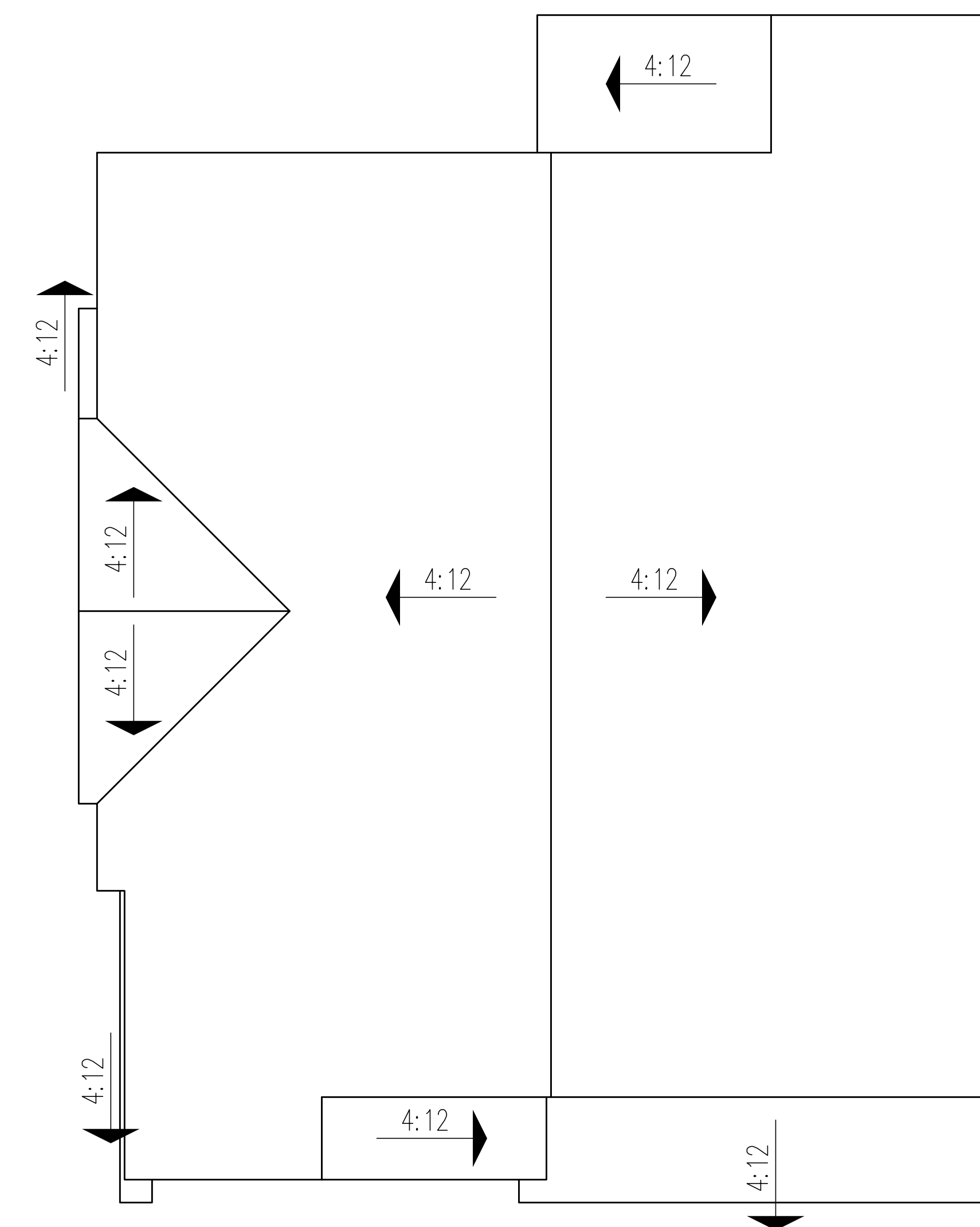
LEVEL (3): HORIZONTAL WOOD SIDING + PAINTED BRICK + ACCENT COLOR



Rear Elevation



Right Elevation



Roof Plan

- PITCH: 4:12
- RAKE: 2"
- EAVE: 12"
- ROOF MATERIAL: COMPOSITE SHINGLE
- BORAL ROOFING:
 - 1FBCJ1132 - CHARCOAL BROWN BLEND
 - 1FBCJ3156 - DESERT BREEZE
 - 1FBCJ3726 - HICKORY

"Per County of Orange memorandum "Compliance with Mitigation Measure MM 4.7-3, EIR 589" (2-23-21), residential and non-residential buildings that are constructed in compliance with Title 24 of the 2019 California Building Code and that utilize an SRI of 15 to 27 for all roofing materials are considered to be in compliance with, MM 4.7-3 of EIR 589."

ELEVATION 'A' (LEVEL 3 SHOWN) ELEVATION/ROOF

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37

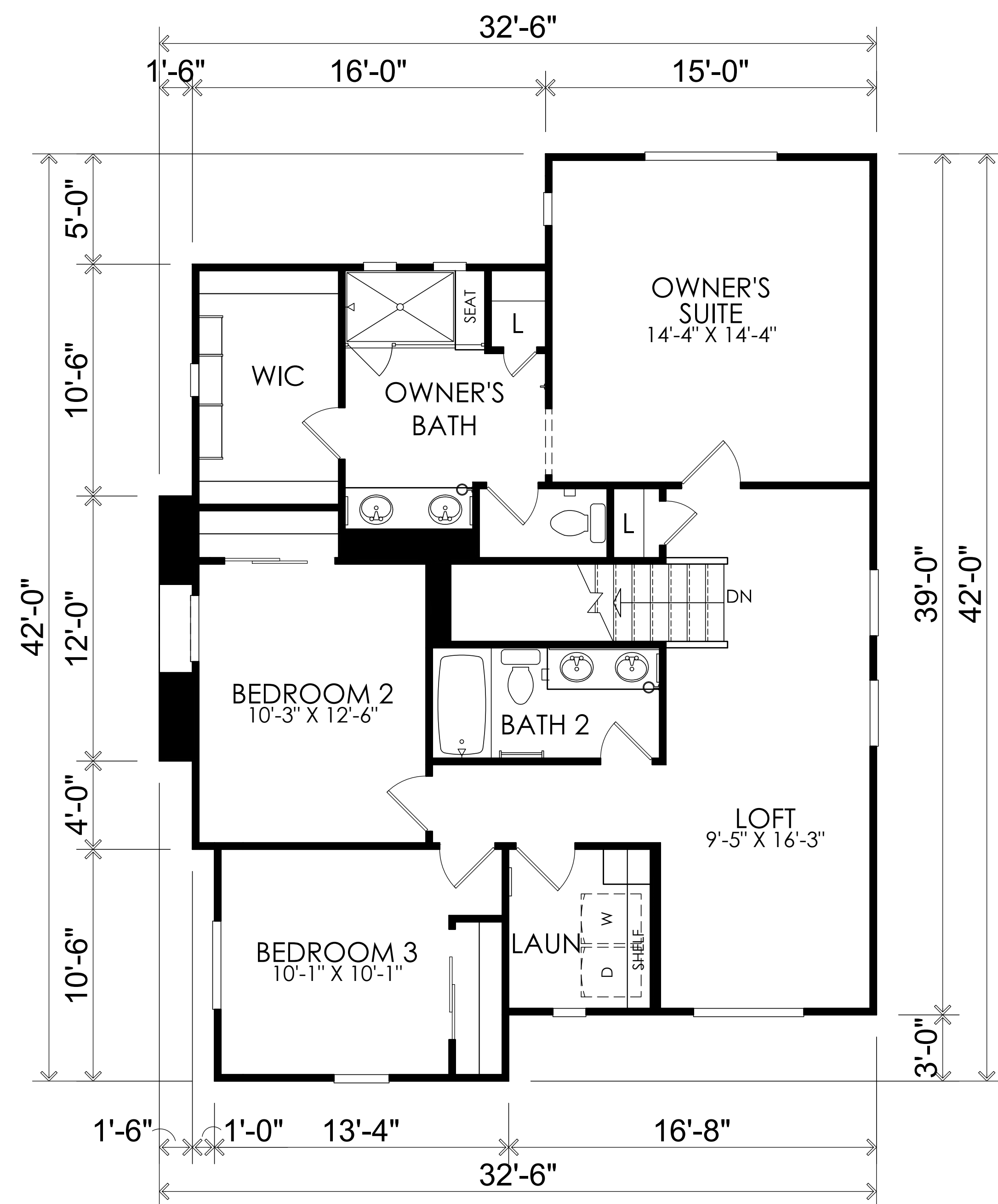


Plan 2 ■ 1,990 SQ FT

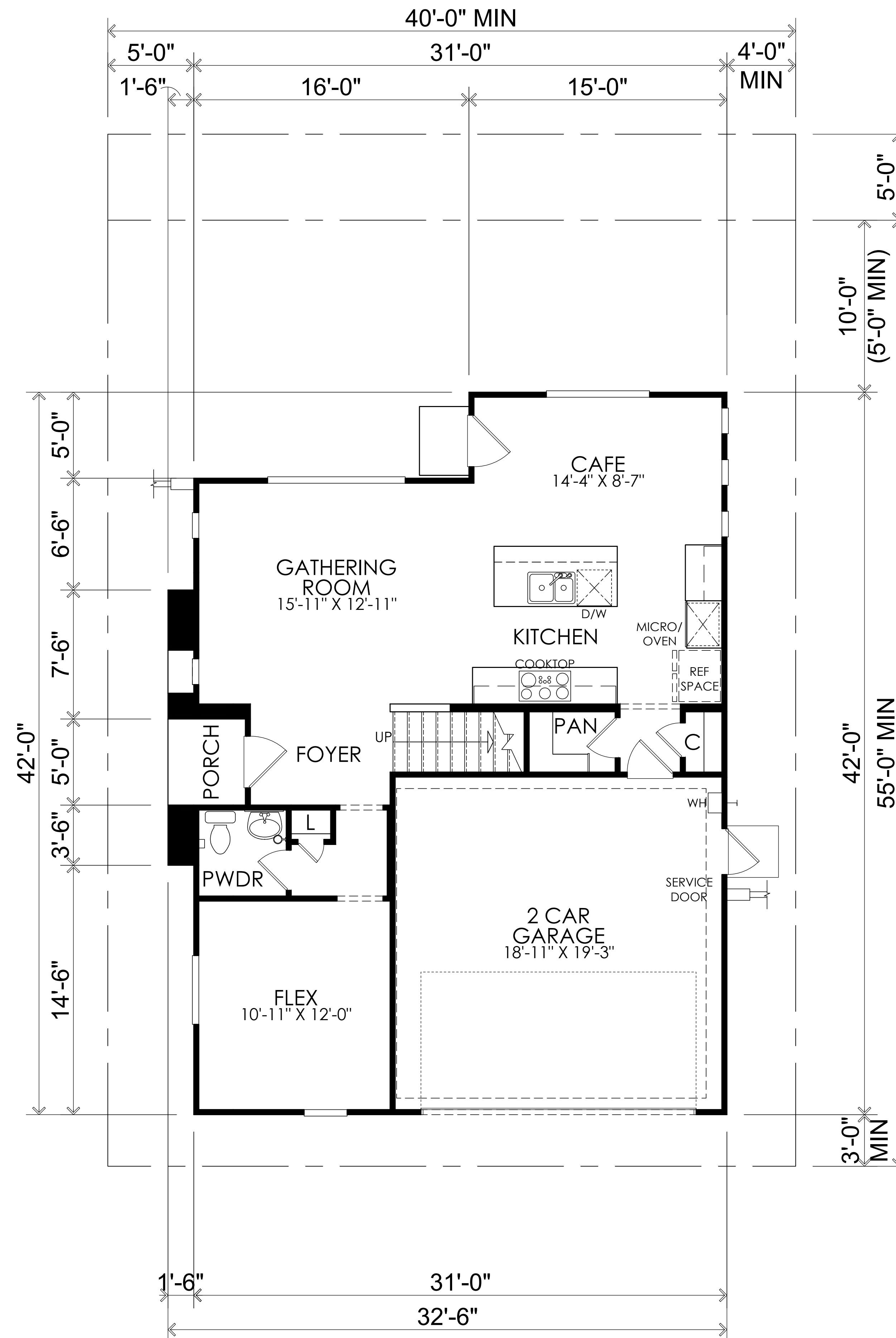
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Sheet BA-12

09/23/2020



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	828 SQ. FT.
2nd Floor	1,162 SQ. FT.
Total	1,990 SQ. FT.
2 - Car Garage	379 SQ. FT.
Porch (Side Entry)	23 SQ. FT.

3 BEDROOM/ 3 BATH

ELEVATION 'A' (RANCH) FLOOR PLANS

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37



Plan 2 ■ 1,990 SQ FT

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Sheet BA-13

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Front Elevation

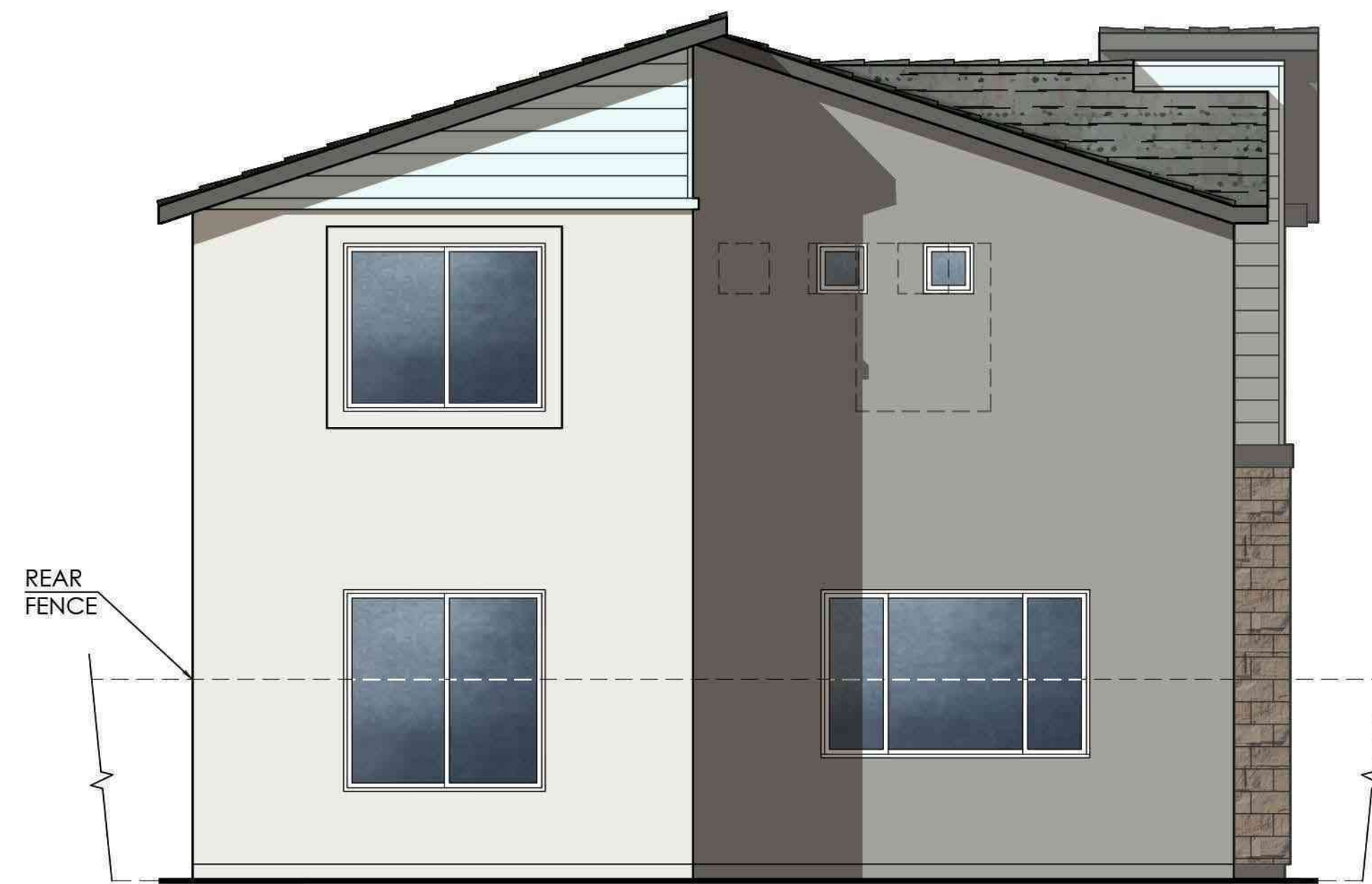
Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. 8" HORIZONTAL WOOD SIDING
- D. STONE/TILE VENEER
- E. WINDOWS AT GARAGE DOOR
- F. STANDARD COACH LIGHTS
- G. RECESSED WINDOW LOCATIONS
- H. DISTINCT "B" ELEVATION WINDOW TRIM
- I. DISTINCT "B" ELEVATION WINDOW GRIDS
- J. DISTINCT "B" ELEVATION GARAGE DOOR
- K. DISTINCT "B" ELEVATION FRONT DOOR



Left Elevation

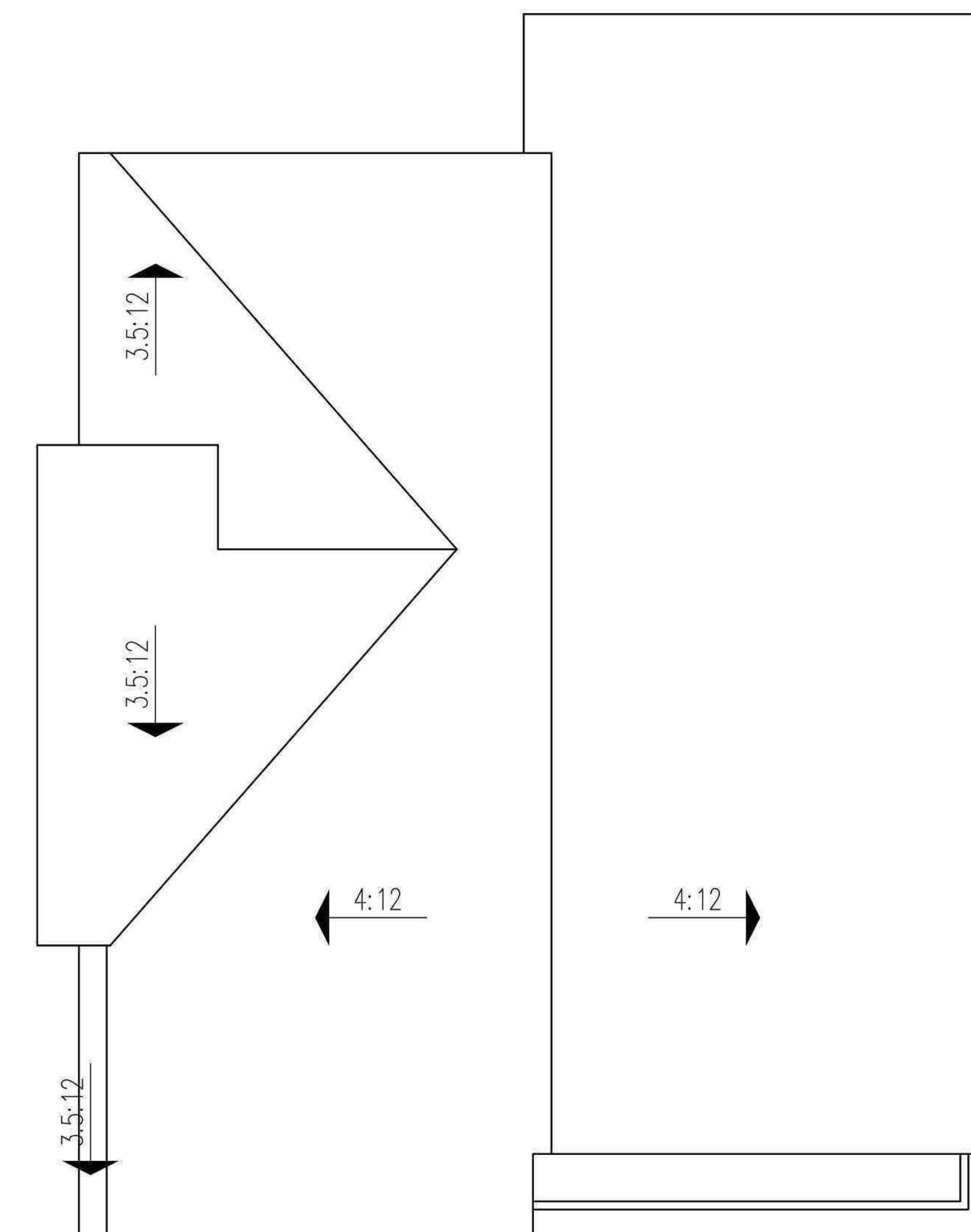
Scheme 4



Rear Elevation



Right Elevation



Roof Plan

- PITCH: Varies from 3.5:12 to 4:12
- RAKE: 12"
- EAVE: 12"
- ROOF MATERIAL: COMPOSITE SHINGLE
- BORAL ROOFING:
 - 1FACS2010 - OCEANA
 - 1FACS3184 - RUSTIC BROWN BLEND
 - 1FACS1430 - CHARCOAL BLEND

"Per County of Orange memorandum
"Compliance with Mitigation Measure MM
4.7-3, EIR 589" (2-23-21), residential and
non-residential buildings that are
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the 2019 California Building Code and that
utilize an SRI of 15 to 27 for all roofing
materials are considered to be in
compliance with, MM 4.7-3 of EIR 589."

**MODEL - LOT 01
ELEVATION 'B
(LEVEL 3 SHOWN)
ELEVATION/ROOF**

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37

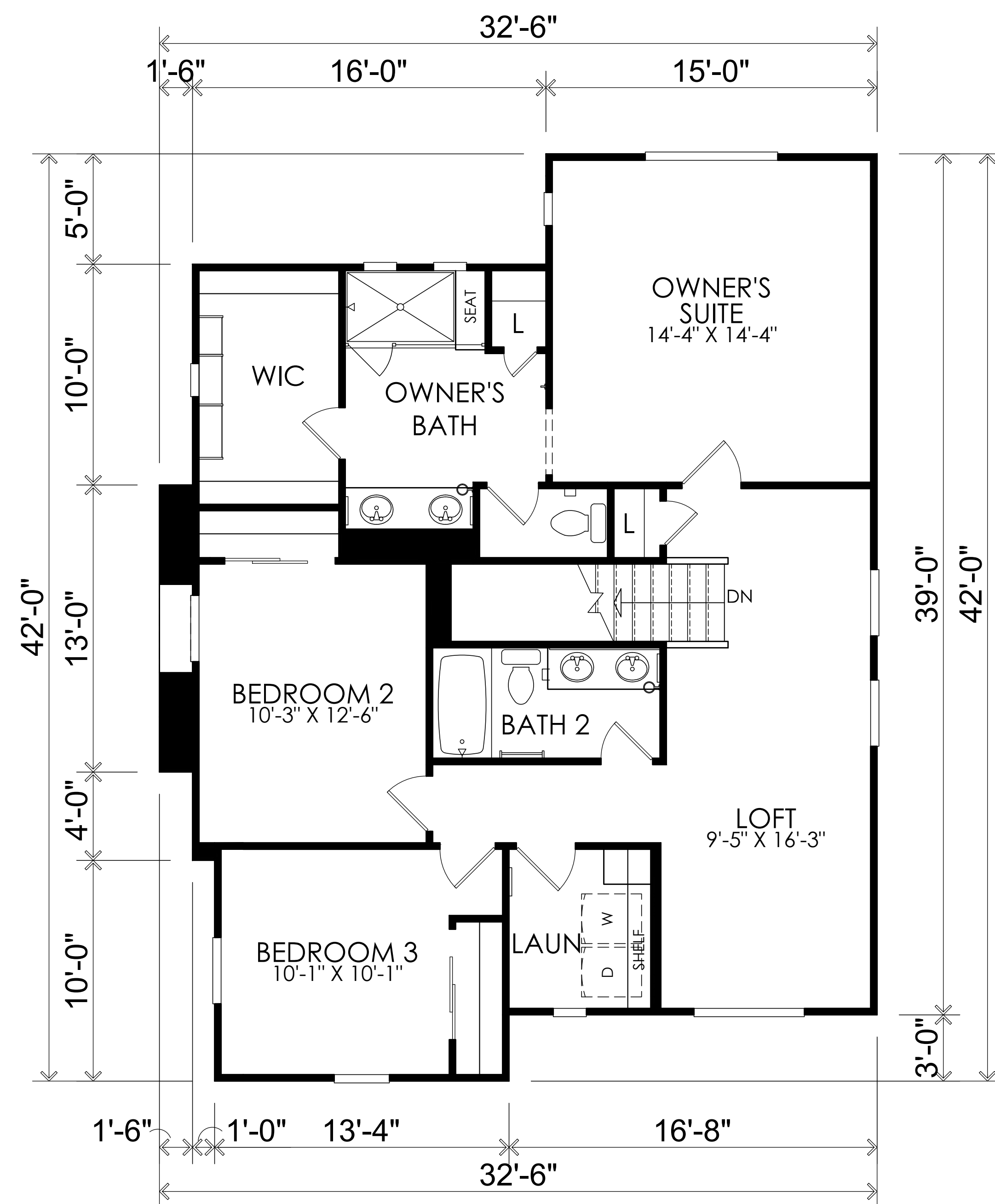


Plan 2 ■ 1,990 SQ FT

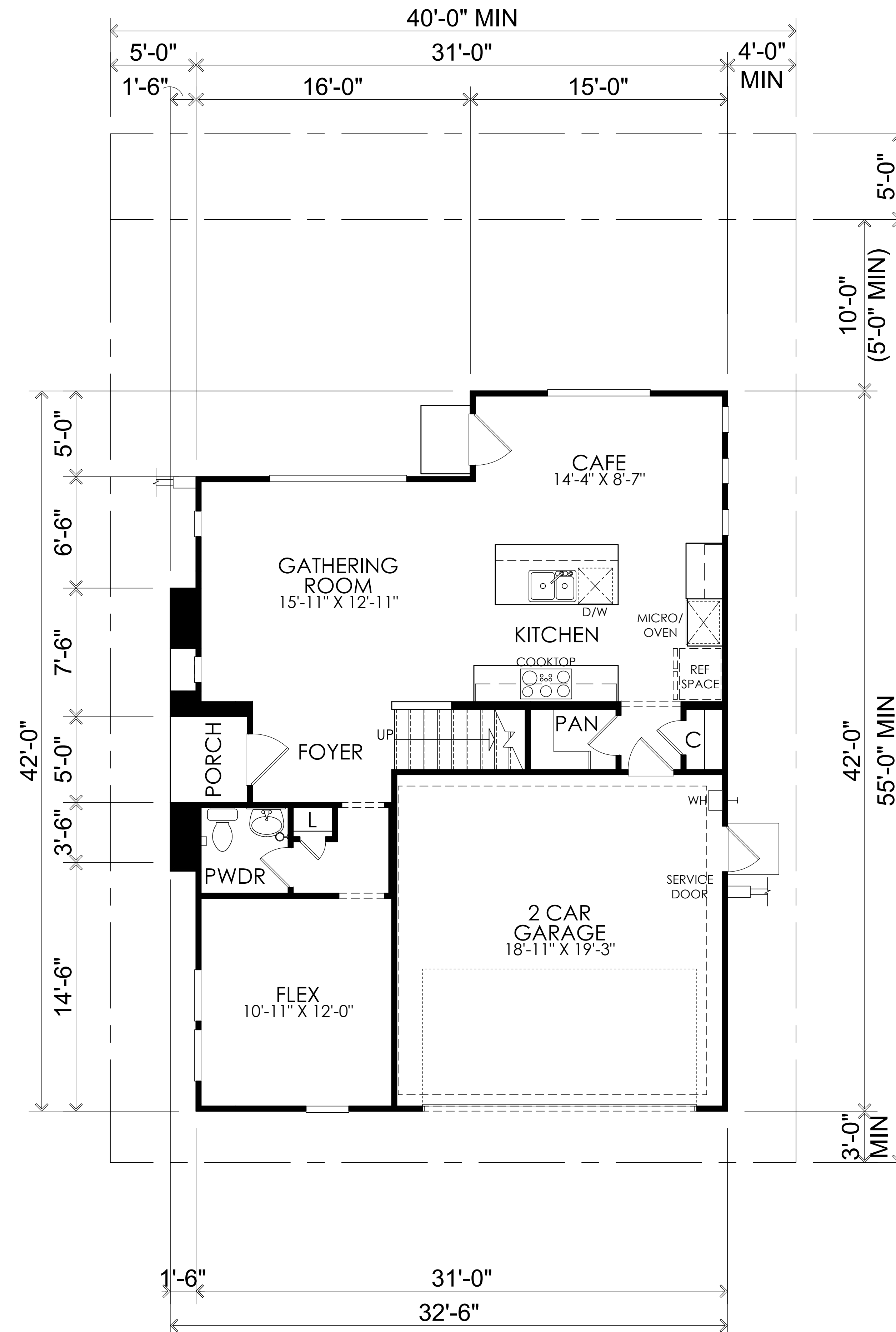
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Sheet BA-14

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Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	828 SQ. FT.
2nd Floor	1,162 SQ. FT.
Total	1,990 SQ. FT.
2 - Car Garage	379 SQ. FT.
Porch (Side Entry)	23 SQ. FT.

3 BEDROOM/ 3 BATH

ELEVATION 'C' (FARMHOUSE) FLOOR PLANS

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37



Plan 2 ■ 1,990 SQ FT

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Sheet BA-15

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Front Elevation

Exterior Materials

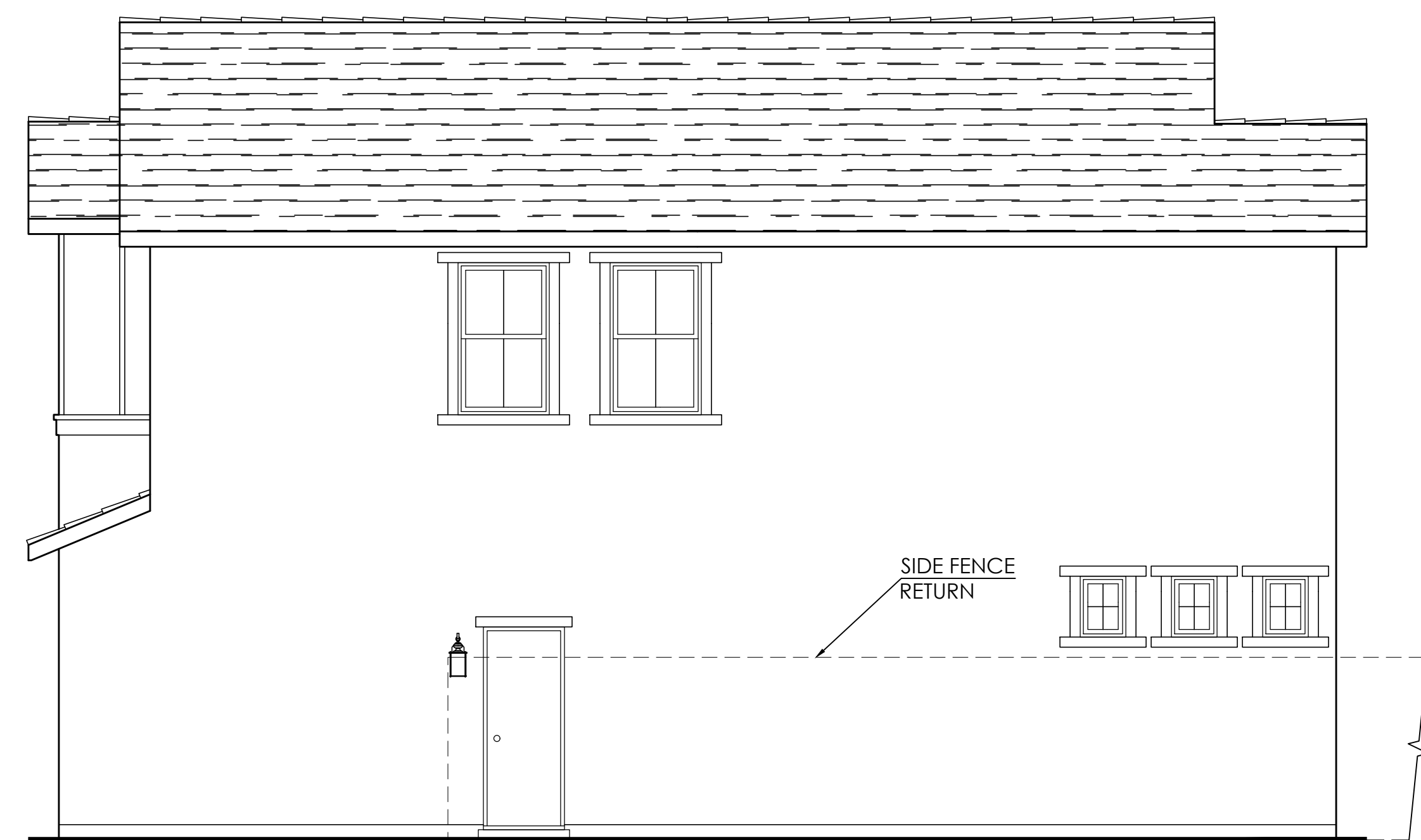
- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. BOARD AND BATT SIDING
- D. STONE/BRICK
- E. STANDING SEAM METAL ROOF
- F. WINDOWS AT GARAGE DOOR
- G. STANDARD COACH LIGHTS
- H. RECESSED WINDOW LOCATIONS
- I. DISTINCT "C" ELEVATION WINDOW TRIM
- J. DISTINCT "C" ELEVATION WINDOW GRIDS
- K. DISTINCT "C" ELEVATION GARAGE DOOR
- L. DISTINCT "C" ELEVATION FRONT DOOR



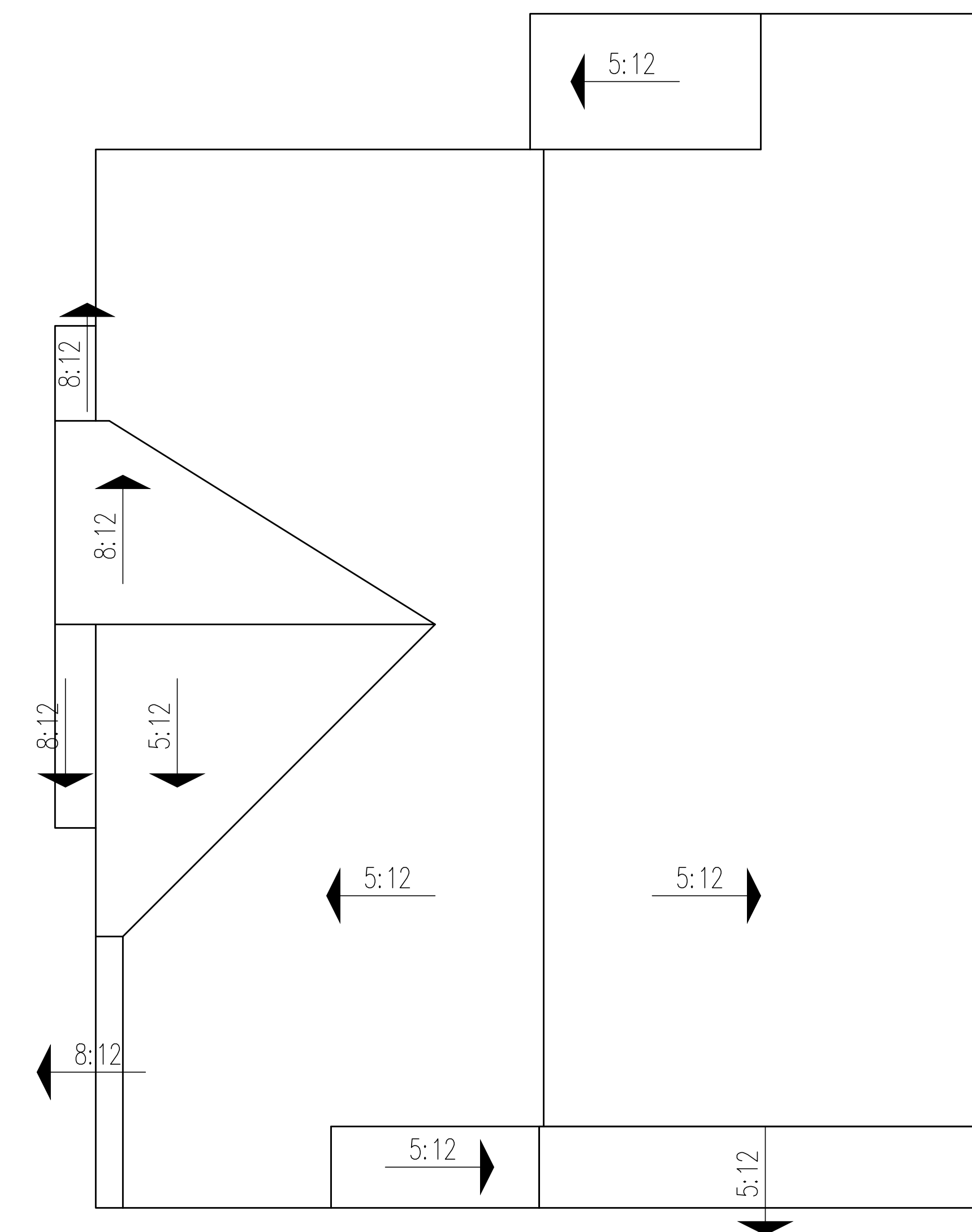
Left Elevation



Rear Elevation



Left Elevation



Roof Plan

- PITCH: Varies from 5:12 to 8:12
- RAKE: 12"
- EAVE: 12"
- ROOF MATERIAL: COMPOSITE SHINGLE
- BORAL ROOFING:
 - 1FACS3184 - MONTE SERENO
 - 1FACS0141 - BUCKSKIN
 - 1FACS5354 - STONE MTN BLEND

"Per County of Orange memorandum
"Compliance with Mitigation Measure MM
4.7-3, EIR 589" (2-23-21), residential and
non-residential buildings that are
constructed in compliance with Title 24 of
the 2019 California Building Code and that
utilize an SRI of 15 to 27 for all roofing
materials are considered to be in
compliance with, MM 4.7-3 of EIR 589."

ELEVATION 'C' (LEVEL 3 SHOWN) ELEVATION/ROOF

Scale = 1/4" = 1'-0"



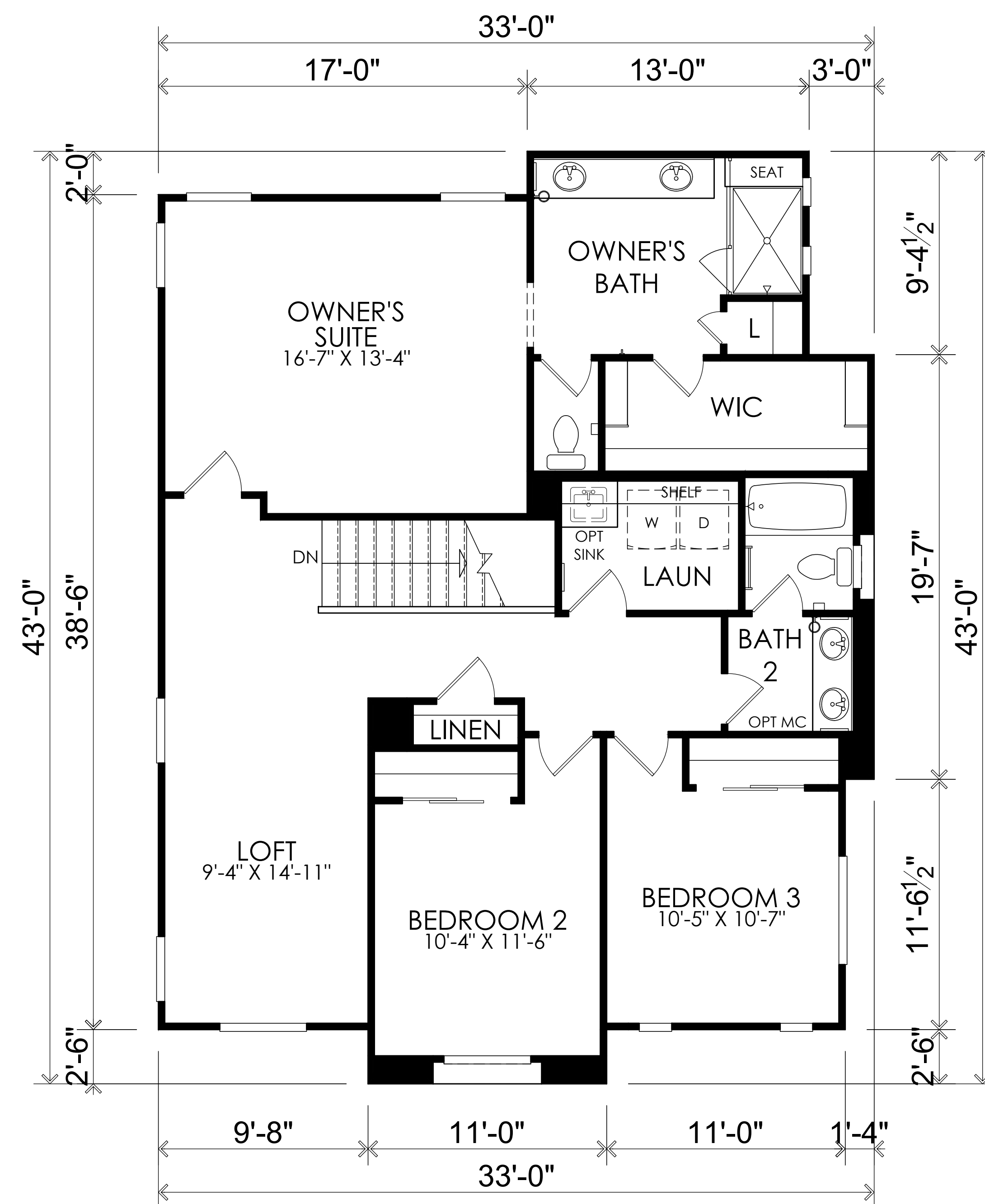
Plan 2 ■ 1,990 SQ FT

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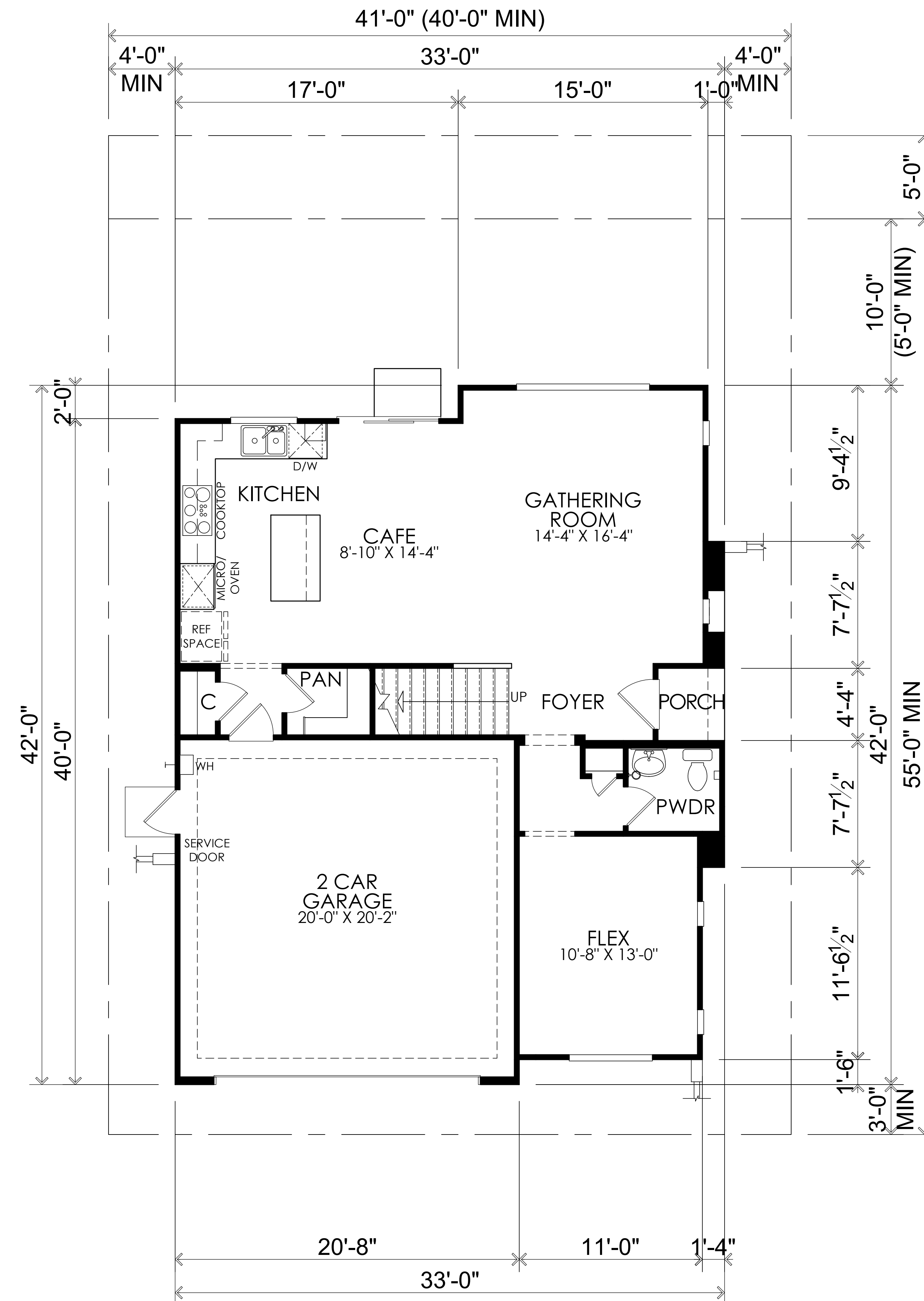
PA20-0048
Sheet BA-16

RANCHO MISSION VIEJO - MR37

09/23/2020



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	859 SQ. FT.
2nd Floor	1,266 SQ. FT.
Total	2,125 SQ. FT.
2 - Car Garage	416 SQ. FT.
Porch (Side Entry)	17 SQ. FT.

4 BEDROOM/ 3 BATH

ELEVATION 'A' (RANCH) FLOOR PLANS

Scale = 1/4" = 1'-0"



Plan 3 ■ 2,125 SQ FT

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PA20-0048
Sheet BA-17

RANCHO MISSION VIEJO - MR37

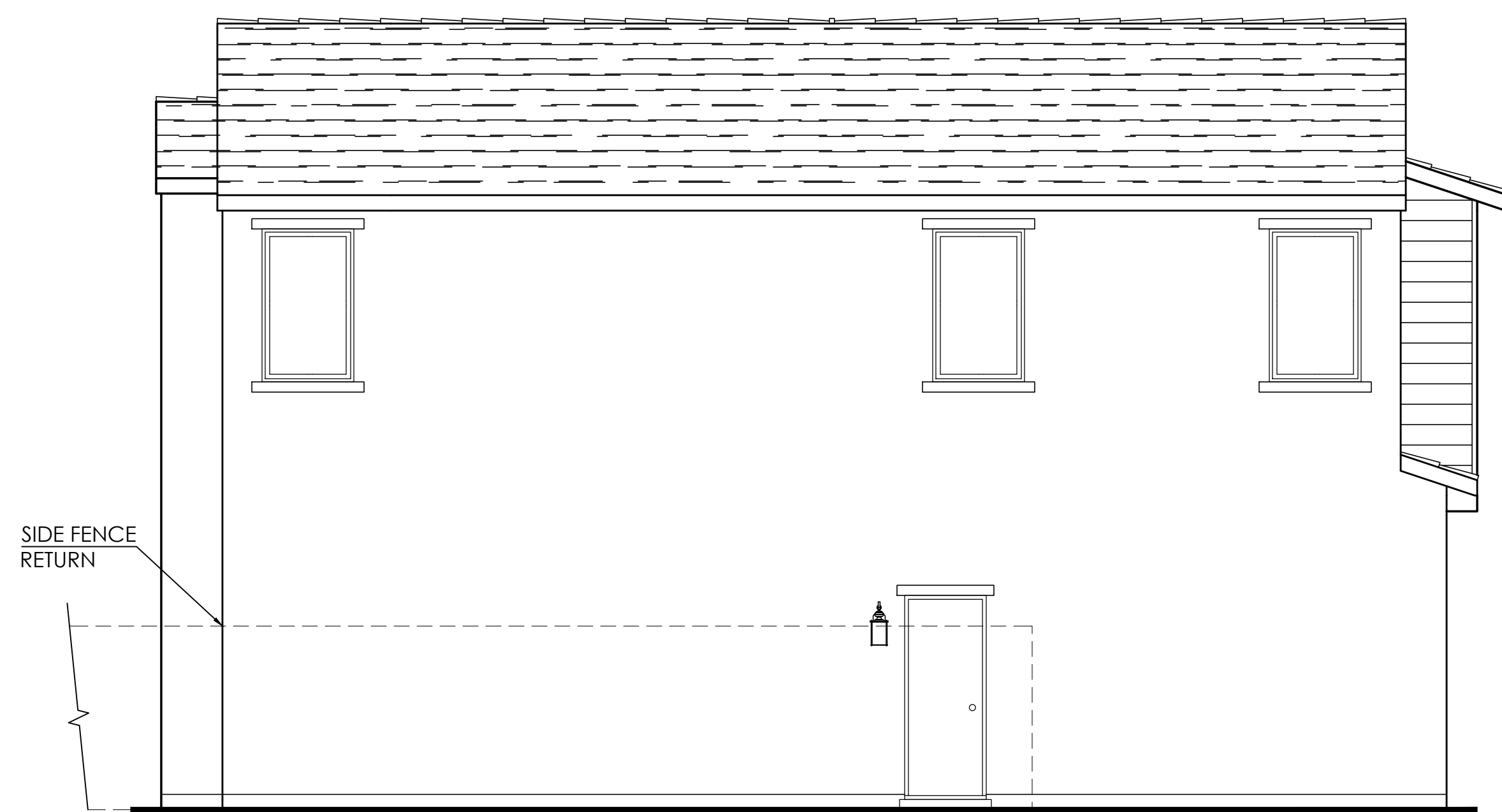
09/23/2020



Front Elevation



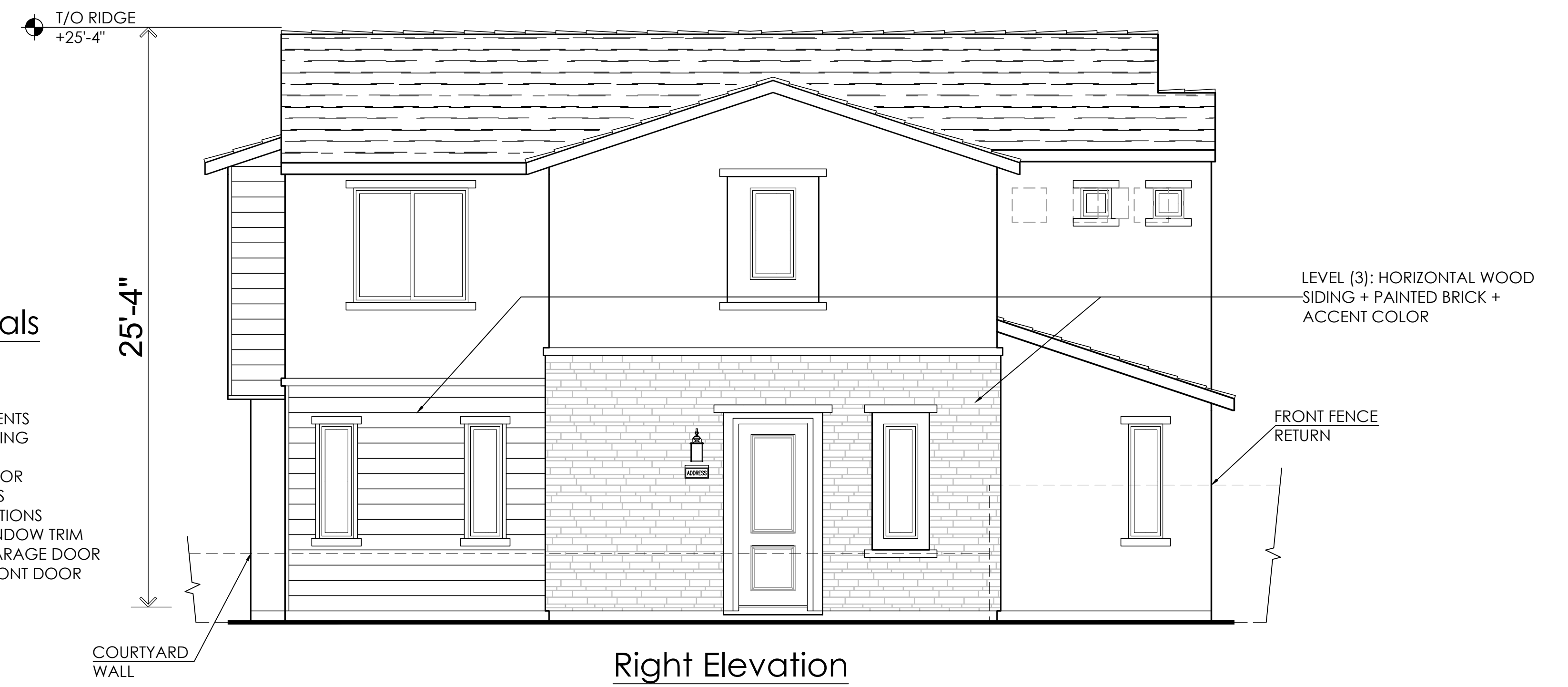
Rear Elevation



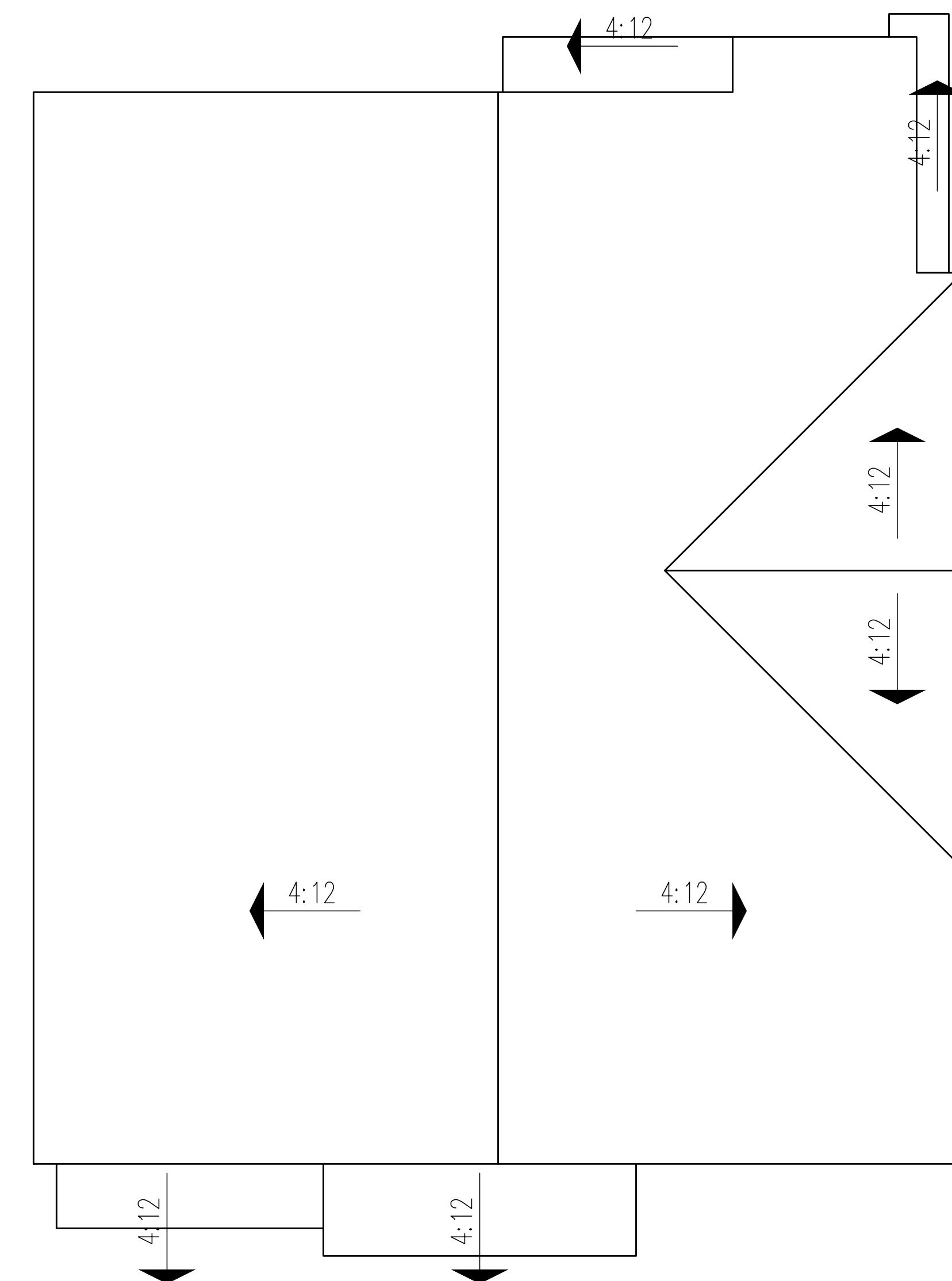
Left Elevation

Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. DECORATIVE GABLE ACCENTS
- D. 8" HORIZONTAL WOOD SIDING
- E. PAINTED BRICK
- F. WINDOWS AT GARAGE DOOR
- G. STANDARD COACH LIGHTS
- H. RECESSED WINDOW LOCATIONS
- I. DISTINCT "A" ELEVATION WINDOW TRIM
- J. DISTINCT "A" ELEVATION GARAGE DOOR
- K. DISTINCT "A" ELEVATION FRONT DOOR



Right Elevation



Roof Plan

- PITCH: 4:12
- RAKE: 2"
- EAVE: 12"
- ROOF MATERIAL: COMPOSITE SHINGLE
- BORAL ROOFING:
- 1FBCJ1132 - CHARCOAL BROWN BLEND
- 1FBCJ3156 - DESERT BREEZE
- 1FBCJ3726 - HICKORY

"Per County of Orange memorandum "Compliance with Mitigation Measure MM 4.7-3, EIR 589" (2-23-21), residential and non-residential buildings that are constructed in compliance with Title 24 of the 2019 California Building Code and that utilize an SRI of 15 to 27 for all roofing materials are considered to be in compliance with, MM 4.7-3 of EIR 589."

ELEVATION 'A' (LEVEL 3 SHOWN) ELEVATION/ROOF

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37

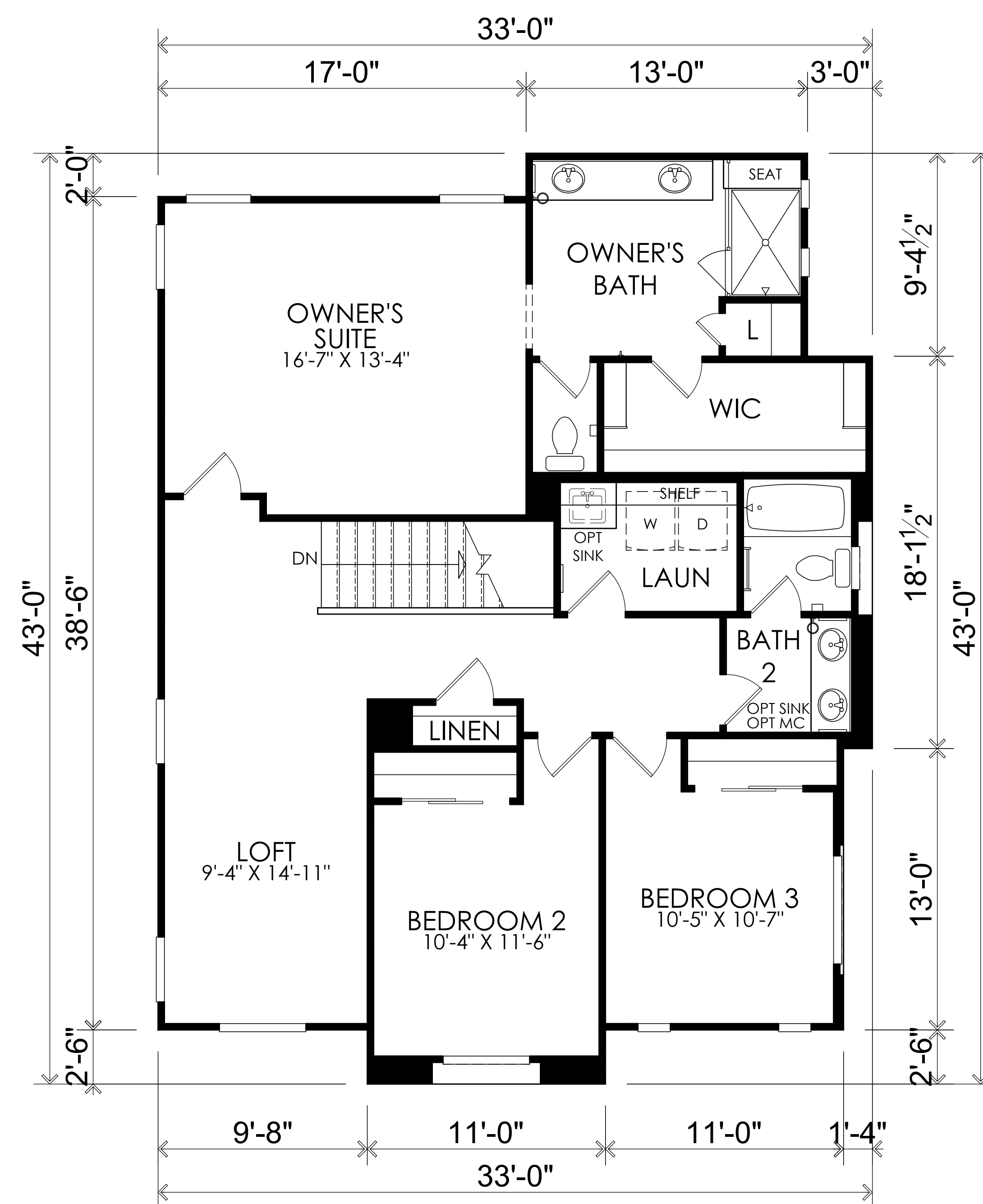


Plan 3 ■ 2,125 SQ FT

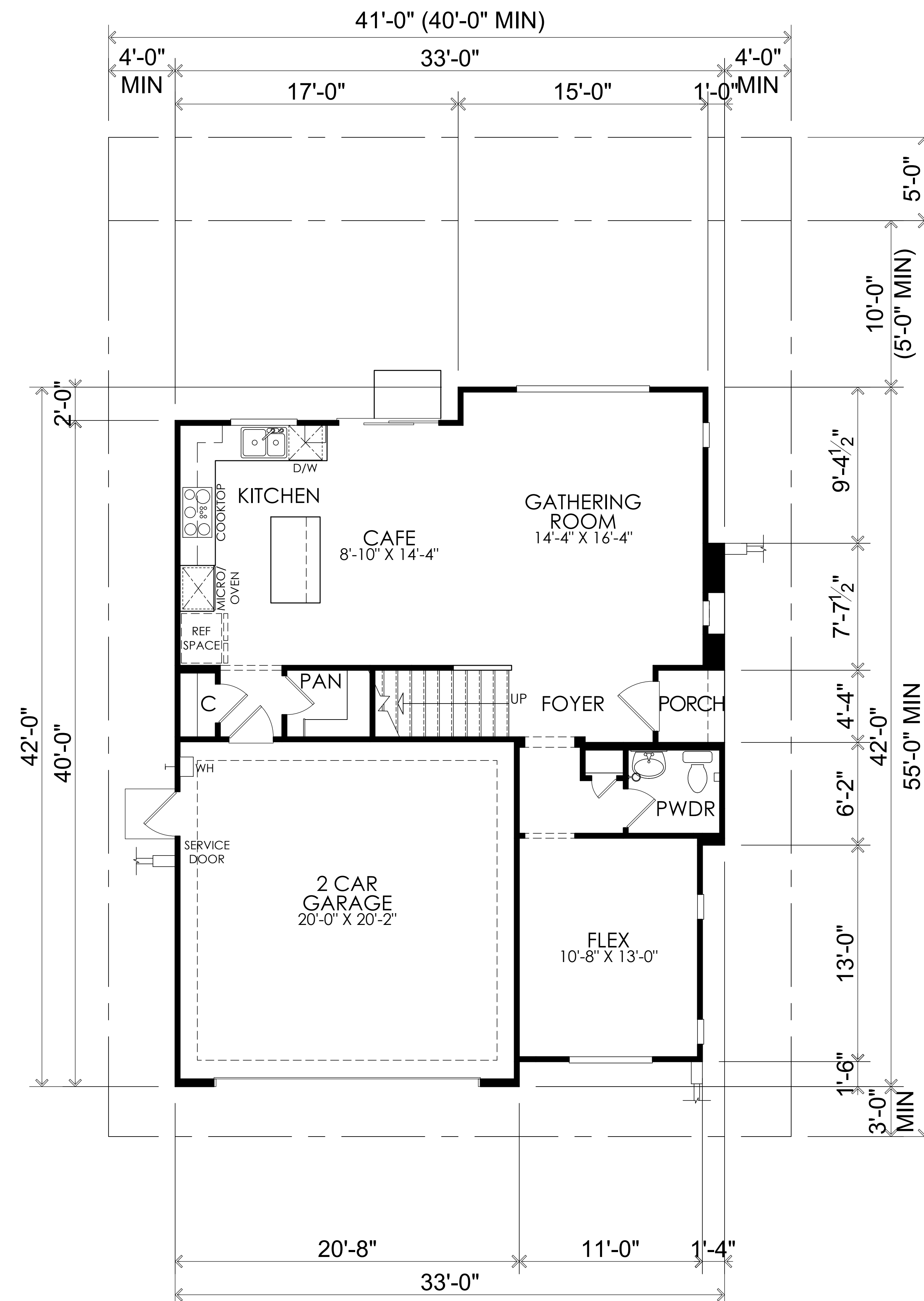
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PA20-0048
Sheet BA-18

09/23/2020



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	859 SQ. FT.
2nd Floor	1,266 SQ. FT.
Total	2,125 SQ. FT.
2 - Car Garage	416 SQ. FT.
Porch (Side Entry)	17 SQ. FT.

4 BEDROOM/ 3 BATH

ELEVATION 'B' (CONTEMPORARY) FLOOR PLANS

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37



Plan 3 ■ 2,125 SQ FT

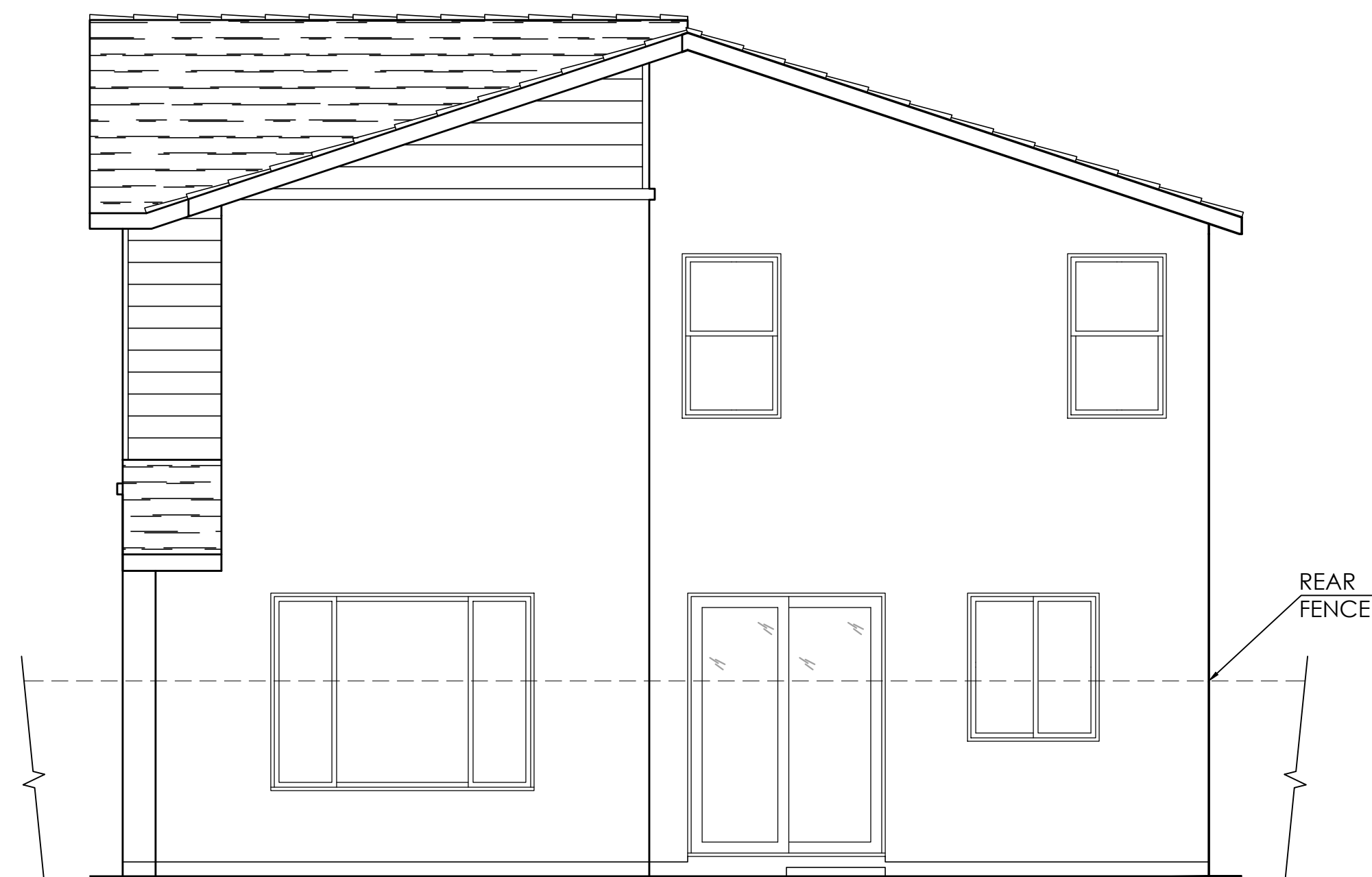
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PA20-0048
Sheet BA-19

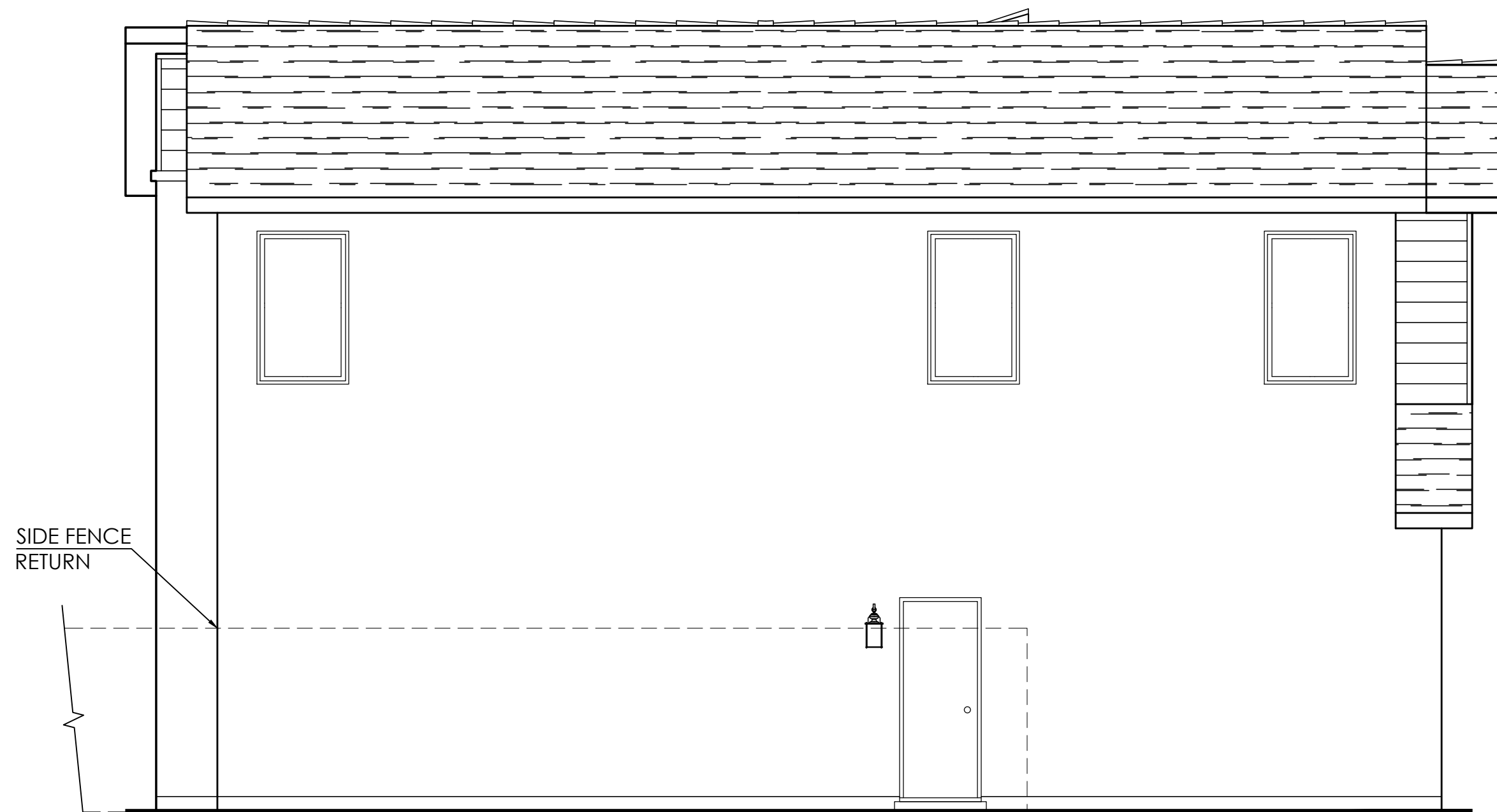
09/23/2020



Front Elevation



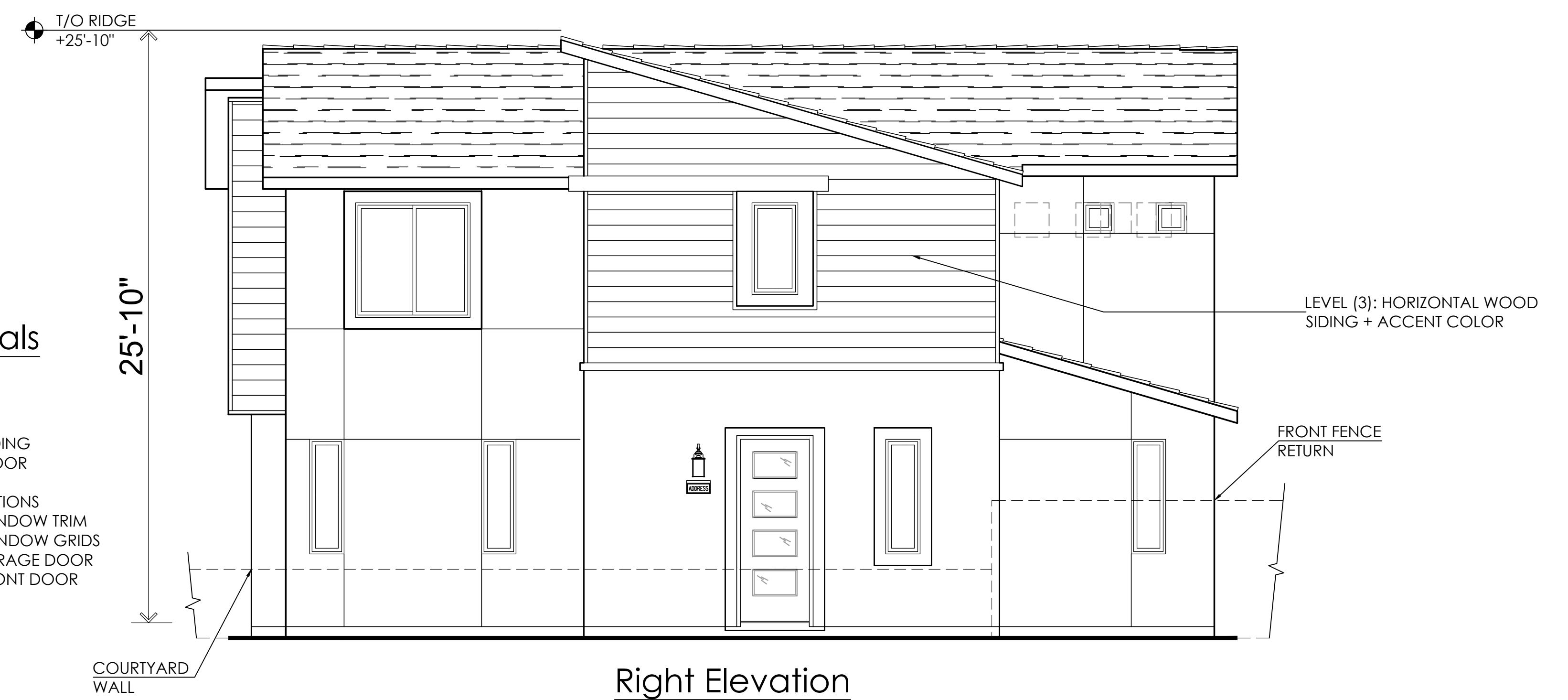
Rear Elevation



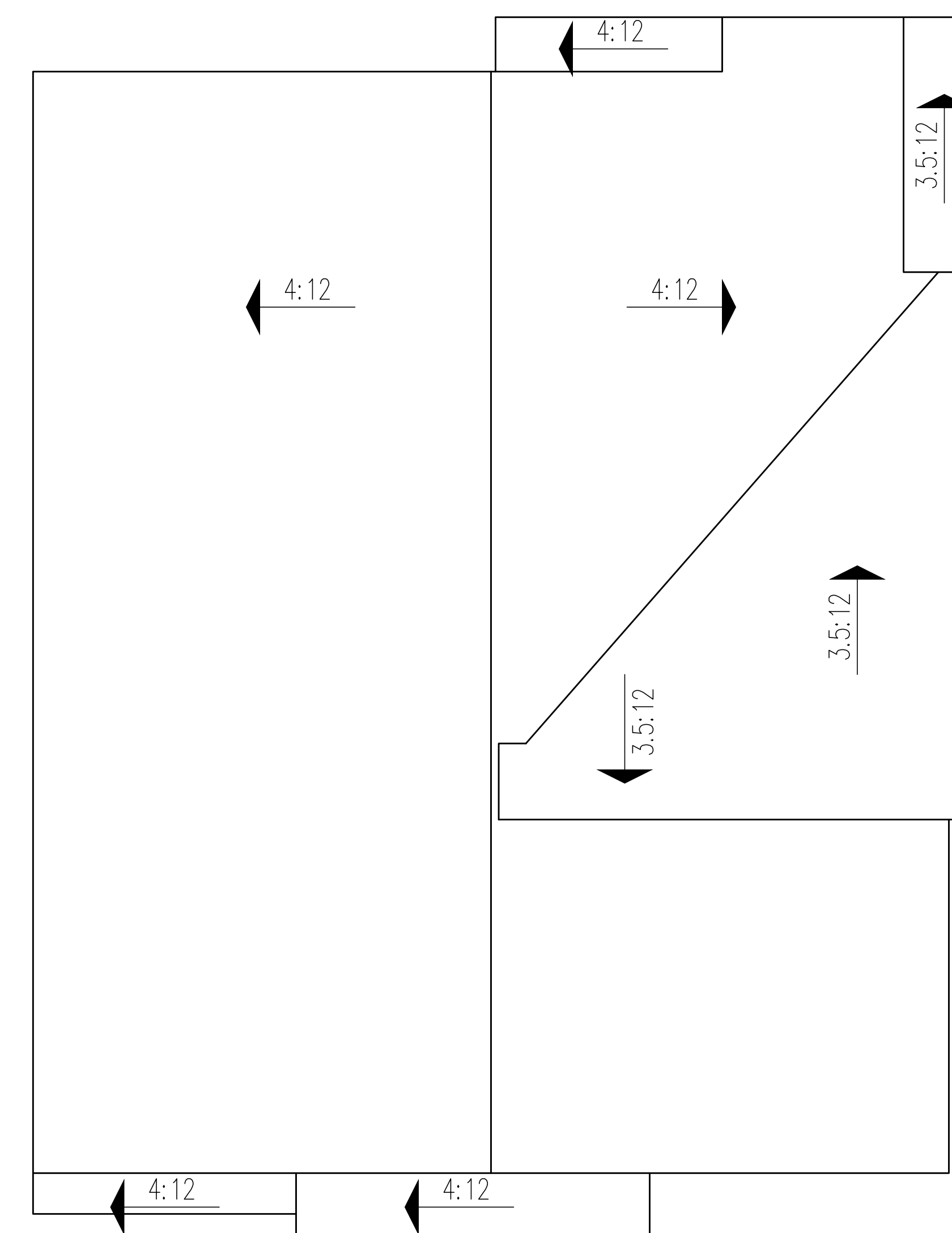
Left Elevation

Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. 8" HORIZONTAL WOOD SIDING
- D. WINDOWS AT GARAGE DOOR
- E. STANDARD COACH LIGHTS
- F. RECESSED WINDOW LOCATIONS
- G. DISTINCT "B" ELEVATION WINDOW TRIM
- H. DISTINCT "B" ELEVATION WINDOW GRIDS
- I. DISTINCT "B" ELEVATION GARAGE DOOR
- J. DISTINCT "B" ELEVATION FRONT DOOR



Right Elevation



Roof Plan

PITCH: Varies from 3.5:12 to 4:12

RAKE: 12"

EAVE: 12"

ROOF MATERIAL: COMPOSITE SHINGLE

BORAL ROOFING:

- 1FACS2010 - OCEANA

- 1FACS3184 - RUSTIC BROWN BLEND

- 1FACS1430 - CHARCOAL BLEND

"Per County of Orange memorandum
"Compliance with Mitigation Measure MM
4.7-3, EIR 589" (2-23-21), residential and
non-residential buildings that are
constructed in compliance with Title 24 of
the 2019 California Building Code and that
utilize an SRI of 15 to 27 for all roofing
materials are considered to be in
compliance with, MM 4.7-3 of EIR 589."

ELEVATION 'B' (LEVEL 2 SHOWN) ELEVATION/ROOF

Scale = 1/4" = 1'-0"

RANCHO MISSION VIEJO - MR37

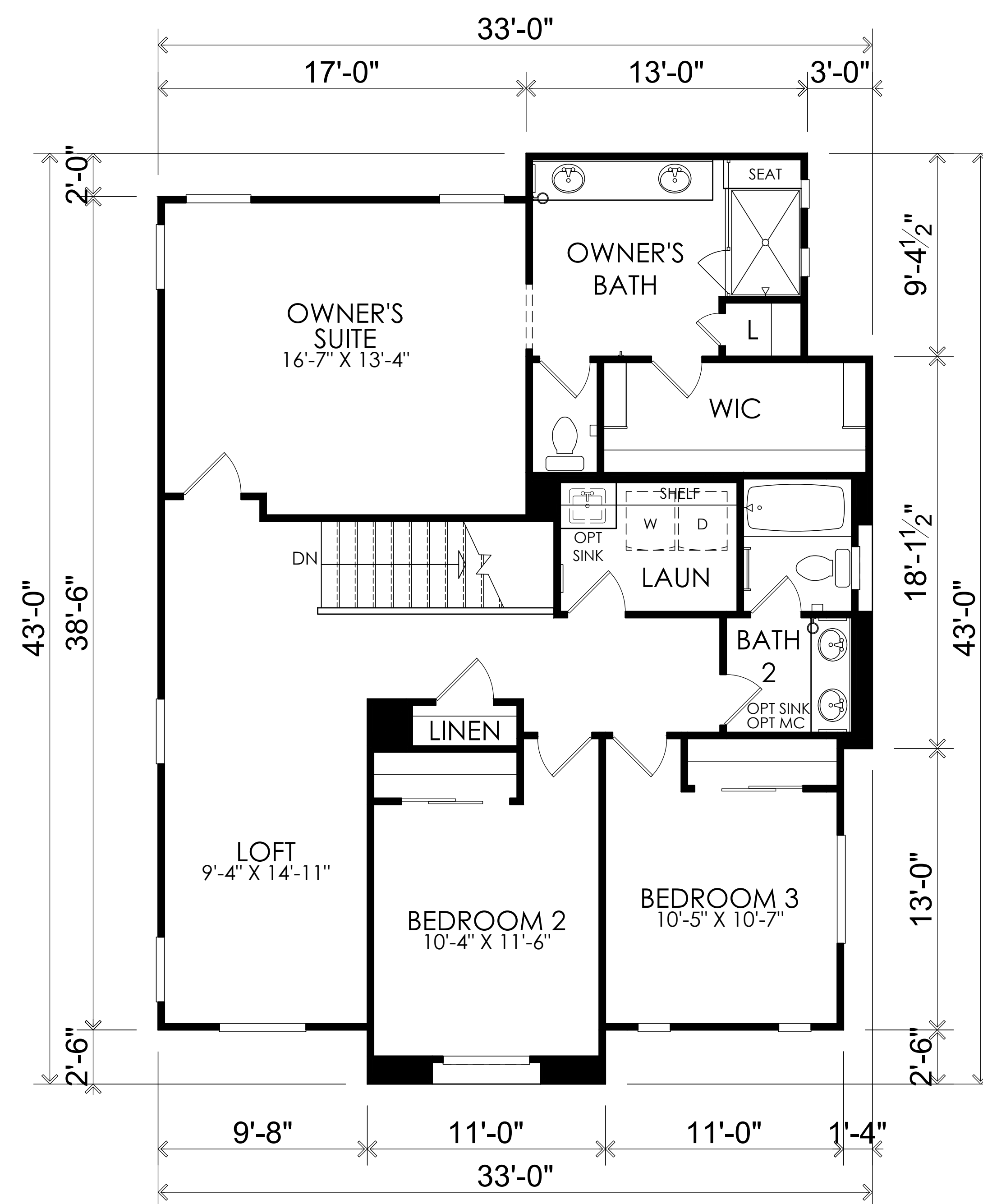


Plan 3 ■ 2,125 SQ FT

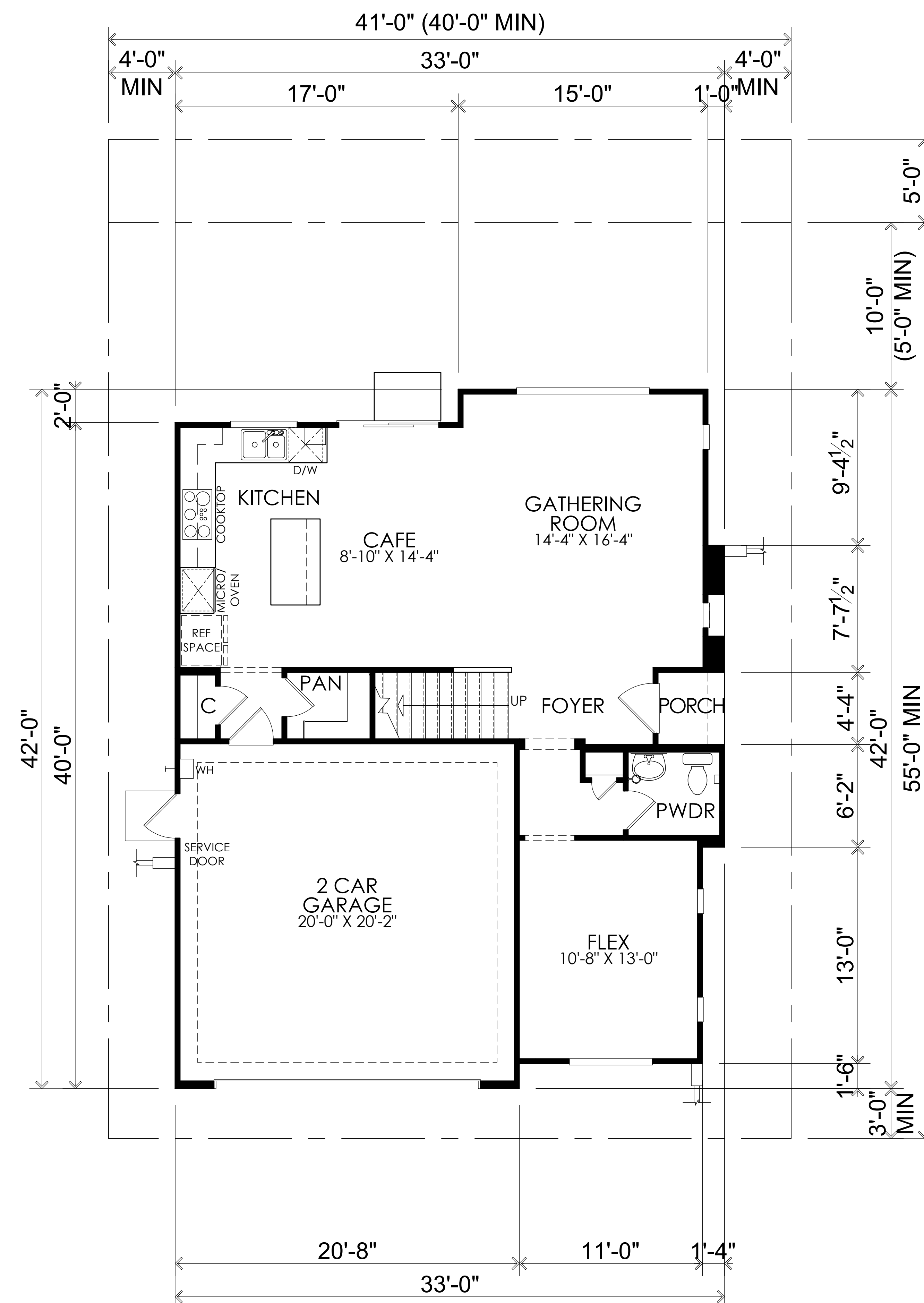
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PA20-0048
Sheet BA-20

09/23/2020



Second Floor Plan



First Floor Plan

Floor Area Table	
1st Floor	859 SQ. FT.
2nd Floor	1,266 SQ. FT.
Total	2,125 SQ. FT.
2 - Car Garage	416 SQ. FT.
Porch (Side Entry)	17 SQ. FT.

4 BEDROOM/ 3 BATH

ELEVATION 'C' (FARMHOUSE) FLOOR PLANS

Scale = 1/4" = 1'-0"



Plan 3 ■ 2,125 SQ FT

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PA20-0048
Sheet BA-21

RANCHO MISSION VIEJO - MR37

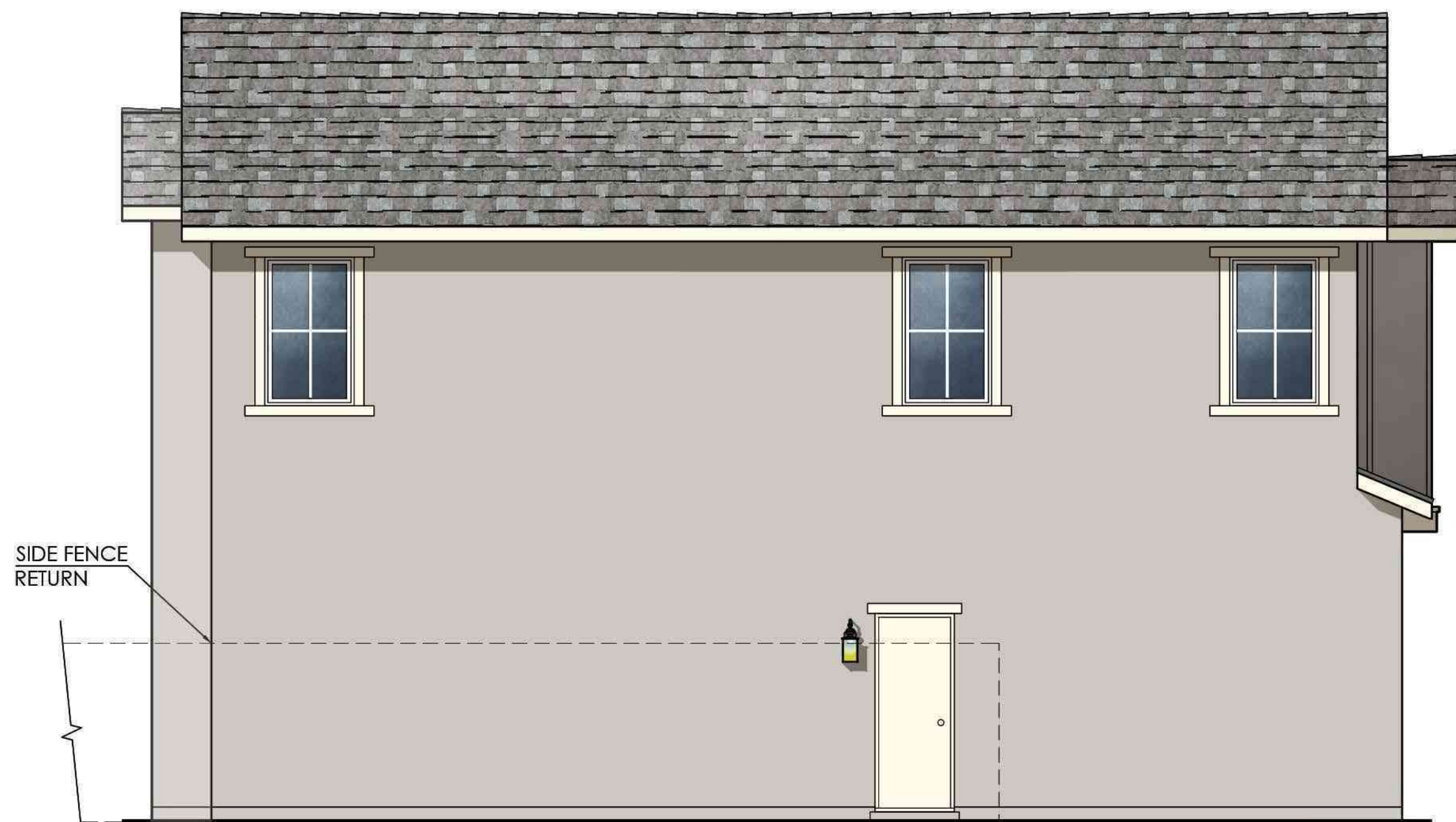
09/23/2020



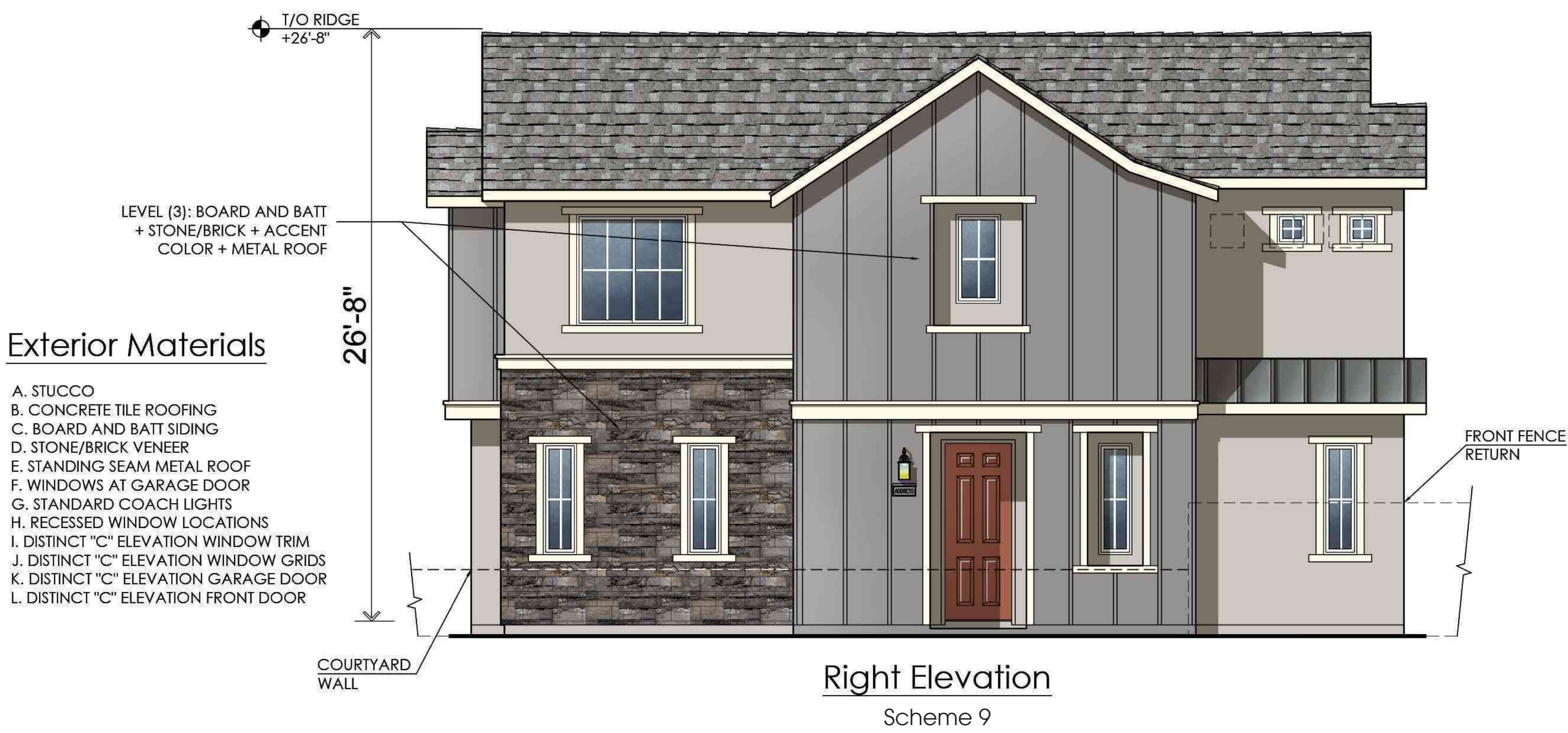
Front Elevation



Rear Elevation

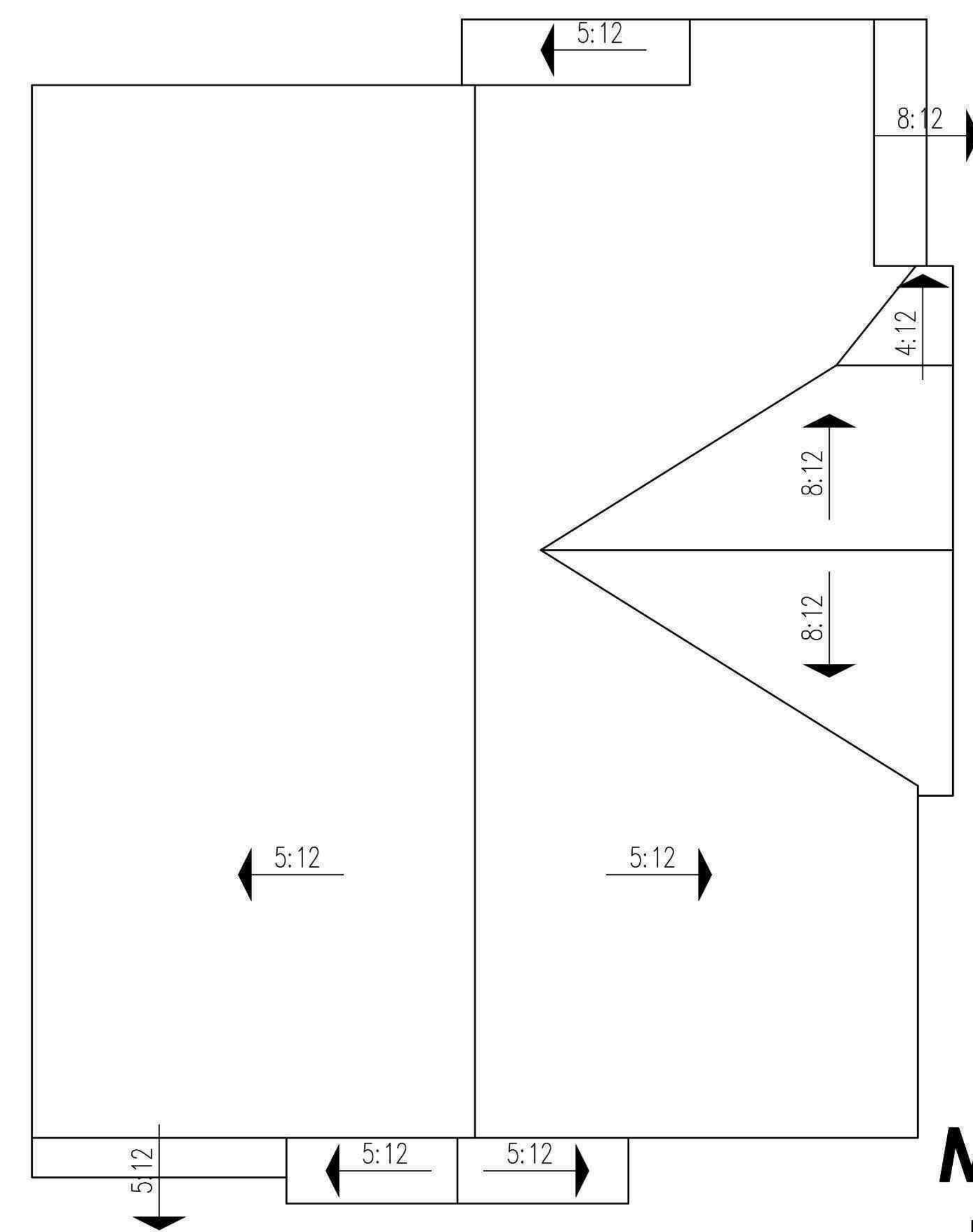


Left Elevation



Exterior Materials

- A. STUCCO
- B. CONCRETE TILE ROOFING
- C. BOARD AND BATT SIDING
- D. STONE/BRICK VENEER
- E. STANDING SEAM METAL ROOF
- F. WINDOWS AT GARAGE DOOR
- G. STANDARD COACH LIGHTS
- H. RECESSED WINDOW LOCATIONS
- I. DISTINCT "C" ELEVATION WINDOW TRIM
- J. DISTINCT "C" ELEVATION WINDOW GRIDS
- K. DISTINCT "C" ELEVATION GARAGE DOOR
- L. DISTINCT "C" ELEVATION FRONT DOOR



Roof Plan

PITCH: Varies from 5:12 to 8:12
 RAKE: 12"
 EAVE: 12"
 ROOF MATERIAL: COMPOSITE SHINGLE
 BORAL ROOFING:
 - 1FACS3184 - MONTE SERENO
 - 1FACS0141 - BUCKSKIN
 - 1FACS5354 - STONE MTN BLEND

"Per County of Orange memorandum
 "Compliance with Mitigation Measure MM
 4.7-3, EIR 589" (2-23-21), residential and
 non-residential buildings that are
 constructed in compliance with Title 24 of
 the 2019 California Building Code and that
 utilize an SRI of 15 to 27 for all roofing
 materials are considered to be in
 compliance with, MM 4.7-3 of EIR 589."

**MODEL - LOT 03
 ELEVATION 'C'
 (LEVEL 3 SHOWN)
 ELEVATION/ROOF**

Scale = 1/4" = 1'-0"



Plan 3 ■ 2,125 SQ FT

PA20-0048
 Sheet BA-22

RANCHO MISSION VIEJO - MR37

GENERAL CONDITIONS SHORT FORM

PROTECTION OF LIFE AND PROPERTY

1. Contractor shall protect all construction and landscaping from damage and, when required, provide guards or covering. Any damage shall be repaired or replaced at the Contractor's expense. Contractors on the job shall carry the following Insurance: (a) Worker's Compensation, (b) Public Comprehensive General Liability, and (c) Property Damage. In an emergency threatening the safety of life, work, or adjoining property, the Contractor is hereby instructed to act at his discretion to prevent such loss or injury and shall maintain the following minimum liability insurance coverage during the contract period.

COVERAGE

Bodily Injury: \$250,000 per Individual, per Occurrence

Property Damage: \$100,000 per Occurrence, aggregate

2. The Contractor shall cause to be named as additional insured in such Contractor's Public Liability, Contractor's Protective Liability and Automobile Liability Insurance policies the following: (a) PULTE HOMES, 27401 LOS ALTOS, SUITE 400 MISSION VIEJO, CALIFORNIA 92691 (b) GMP INC, 4010 SORRENTO VALLEY BLVD, SUITE 200, SAN DIEGO, CA, 92121

3. Contractor shall not cause this policy to be canceled or permit it to lapse, and the insurance policy shall include a clause to the effect that the policy shall not, at any time during the construction period, be canceled or reduced, restricted or limited until fifteen (15) days after all additional insureds have received written notice as evidenced by returned receipts of registered or certified letters.

4. The Contractor agrees to hold the Owner and Landscape Architect harmless from any claims arising out of his operations of any of his sub-contractors, material supplies, or agents.

5. All local, municipal and state laws, rules and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these specifications and their provisions shall be carried out by the contractor.

6. The contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The locations of utilities, structures and services shown in these plans are approximate only. Any discrepancies between these plans and actual field conditions shall be reported to the owner or landscape architect.

7. The contractor shall protect all existing utilities and features to remain on, and adjacent to, the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.

8. The contractor shall obtain the pertinent engineering and/or architectural plans before beginning work.

9. Permits for any construction depicted in these plans shall be obtained by the contractor.

10. Contractor shall have a valid contractors license required for the particular work being done. Contractor shall not allow the license(s) to lapse during the contract period.

CALIFORNIA EXOTIC PEST CERTIFICATION:

NO PLANTS IDENTIFIED BY THE CALIFORNIA EXOTIC PEST PLANT COUNCIL AS AN INVASIVE RISK IN SOUTHERN CALIFORNIA ARE INCLUDED IN THE PLAN.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE:

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

TAKE PRECEDENCE:

THE RANCHO MISSION VIEJO LANDSCAPE STANDARDS REQUIREMENTS SHALL TAKE PRECEDENCE OVER THE APPROVED LANDSCAPE PLANS. SHOULD A DISCREPANCY OCCUR BETWEEN ANY NOTES, SPECIFICATIONS, DETAILS, SITE CONDITIONS, OR OTHER SITUATION REGARDING THE INTERPRETATION OF CONSTRUCTION FROM THESE PLANS, THE APPLICABLE GOVERNING AGENCY'S DECISION SHALL BE FINAL.

- COUNTY OF ORANGE LANDSCAPE PLAN GENERAL NOTES:
- PRIOR TO FINAL INSPECTION, CLOSURE OF A BUILDING OR GRADING PERMIT, AND ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY, THE FOLLOWING SHALL BE SUBMITTED TO DEMONSTRATE COMPLIANCE WITH SECTION 7-9-133.4 OF THE ZONING CODE (COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE).
 - A. CERTIFICATION BY EITHER THE SIGNER OF THE LANDSCAPE DESIGN PLAN, THE SIGNER OF THE IRRIGATION DESIGN PLAN, OR THE LICENSED LANDSCAPE CONTRACTOR THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE.
 - B. DOCUMENTATION OF THE IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER(S)
 - C. DOCUMENTATION OF THE SPECIFIED LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
 - D. PROVISIONS FOR LANDSCAPE MAINTENANCE PRACTICES THAT FOSTER LONG-TERM LANDSCAPE WATER CONSERVATION
 - E. AN IRRIGATION SYSTEM AUDIT REPORT
- ALL TREES PLANTED WITHIN 5' OF HARDSCAPE SHALL BE PLANTED IN DEEP ROOT CONTAINERS/BARRIERS PER COUNTY OF ORANGE STANDARD PLAN NO. 1708 OR EQUAL.
 - THE DEVELOPMENT WILL NOT BE RELEASED BY OC DEVELOPMENT SERVICES FOR USE AND OCCUPANCY UNTIL THE PLANTING ON THE SLOPES HAS GROWN SUFFICIENTLY TO ESTABLISH EROSION CONTROL.
 - WATER CONSERVATION MEASURES SHALL BE UTILIZED ON ALL DEVELOPMENTS IN THE UNINCORPORATED AREA PURSUANT TO THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE.
 - IRRIGATION DESIGN PLANS SHALL INCLUDE A PROVISION FOR AUTOMATIC IRRIGATION SYSTEMS IN COMPLIANCE WITH CALGREEN CODE, SECTIONS 4 (RESIDENTIAL MANDATORY MEASURES) AND 5 (NONRESIDENTIAL MANDATORY MEASURES).
 - APPROVED LANDSCAPE PLANS SHALL NOT RELIEVE THE CONTRACTOR/DEVELOPER FROM THE RESPONSIBILITY TO OBTAIN COUNTY PROPERTY PERMITS WHICH SHALL BE AVAILABLE ON THE JOB AT ALL TIMES WORK IS BEING ACCOMPLISHED IN THE PUBLIC RIGHT-OF-WAY.
 - THE DEVELOPER SHALL TELEPHONE THE PUBLIC FACILITIES & RESOURCES DEPARTMENT (714) 245-4550, AT LEAST 24 HOURS PRIOR TO STARTING.

CERTIFICATION OF LANDSCAPE DESIGN

I HEREBY CERTIFY THAT:

THE DESIGN OF THE PROJECT COMPLIES WITH THE REQUIREMENTS OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE AND THE GUIDELINES FOR IMPLEMENTATION OF THE LANDSCAPE IRRIGATION CODE (INCLUDING ALL ELEMENTS OF SECTION 2).

(1) I AM A PROFESSIONAL APPROPRIATELY LICENSED IN THE STATE OF CALIFORNIA TO PROVIDE PROFESSIONAL LANDSCAPE DESIGN SERVICES.

(2) THE LANDSCAPE DESIGN AND WATER USE CALCULATIONS FOR THE PROPERTY LOCATED AT SADDLE WAY, RANCHO MISSION VIEJO CA WERE PREPARED UNDER MY SUPERVISION.


(3) THE LANDSCAPE DESIGN AND WATER USE CALCULATIONS FOR THE IDENTIFIED PROPERTY COMPLY WITH THE REQUIREMENTS OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE (INCLUDING SECTIONS 7-9-133.1 TO 133.6) AND THE COUNTY OF ORANGE GUIDELINES FOR IMPLEMENTATION OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE.

(4) THE INFORMATION I HAVE PROVIDED IN THIS CERTIFICATE OF LANDSCAPE DESIGN IS TRUE AND CORRECT AND IS HEREBY SUBMITTED IN COMPLIANCE WITH THE COUNTY OF ORANGE GUIDELINES FOR IMPLEMENTATION OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE.

(5) I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTIONS OF MWLO.

JOHN PATTERSON 3/15/21

PRINT NAME DATE

 LLA 3503

SIGNATURE LICENSE NUMBER

4010 SORRENTO VALLEY BLVD, SUITE 200, SAN DIEGO, CA 92121

ADDRESS

858.558.8977 john@gmplandarch.com

TELEPHONE E-MAIL ADDRESS

LANDSCAPE ARCHITECTURE PLANS FOR: RANCHO MISSION VIEJO: MR37 FOR PULTE HOMES PRODUCTION

2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

"THE IRRIGATION PLANS INCLUDED IN THESE PLANS ARE COMPLIANT WITH THE 2013 CALIFORNIA GREEN BUILDING CODE, CHAPTERS 4 AND 5, FOR OUTDOOR WATER USE"

NOTE: THIS PROJECT IS CLASSIFIED AS 'NEW CONSTRUCTION'

SOILS TEST INFORMATION:

SOIL TYPE:
TEXTURE:

INFILTRATION RATE:

TEST PERFORMED BY:

REFERENCE GMU PROJECT NUMBER:

SOILS TEST DATA WILL BE MODIFIED AFTER GRADING OPERATION. A SECOND TEST WILL BE PERFORMED BY SOIL AND PLANT LAB

SHEET INDEX:


SHEET:	TS-01
TITLE SHEET	LC-01 TO LC-04
CONSTRUCTION PLANS	LC-05
CONSTRUCTION ENLARGEMENTS	LC-06
MATRIX & NOTES	LC-07 TO LC-08
CONSTRUCTION DETAILS	LI-01 TO LI-04
IRRIGATION PLANS	LI-05
HYDROZONE DIAGRAM	LI-06 TO LI-10
IRRIGATION DETAILS	LP-01 TO LP-04
PLANTING PLANS	LP-05
PLANTING ENLARGEMENTS	LP-06
TYPICAL FRONT YARDS	LP-07
UTILITY CONFLICT PLAN	LP-08 TO LP-09
PLANTING DETAILS	ES0.1 TO EP1.3
LIGHTING PLANS	

LANDSCAPE ARCHITECT CERTIFICATION:

I HAVE COMPLIED WITH THE CRITERIA OF THE RANCH PLAN PC, OCPW, LANDSCAPE, IRRIGATION CODE, IMPLEMENTATION GUIDELINES AND CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

JOHN PATTERSON 3/15/21

PRINT NAME DATE

 LLA 3503

SIGNATURE LICENSE

SOILS REPORT NOTE:

THE LANDSCAPE CONTRACTOR SHALL PROVIDE FOR AND HAVE PERFORMED A SITE-SPECIFIC AGRONOMIC SOILS TEST REPORT ON SAMPLES TAKEN FROM AT LEAST FOUR (4) SEPARATE AREAS CONTAINED IN THIS PROJECT. THE SOILS TEST SHALL INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO GROUND COVER AREAS, TREE/SHRUB BACKFILL, AND HYDRO-MULCH FORMULA.

THE CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT AND COUNTY WITH ONE (1) COPY EACH OF SAID REPORT FOR REVIEW PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE SOIL ANALYSIS REPORT PER COUNTY OF ORANGE IRRIGATION CODE SECTION 2.3. THIS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE CERTIFICATION OF COMPLETION

THE CONTRACTOR SHALL PROVIDE DOCUMENTATION VERIFYING THE IMPLEMENTATION OF SOIL ANALYSIS AS REQUIRED. THIS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE CERTIFICATION OF COMPLETION.

APPROVED DEVIATIONS OR ALTERNATIVE DEVELOPMENT STANDARDS: NONE

PLANS PREPARED FOR:
PULTE HOMES (OWNER & DEVELOPER)
27401 LOS ALTOS, SUITE 400
MISSION VIEJO, CA 92691
949.330.8537

PLANS PREPARED BY:
GMP, INC.
4010 SORRENTO VALLEY BLVD, SUITE 200
SAN DIEGO, CA 92121
858.558.8977

ASSOCIATED PROJECT NUMBERS:
VTTM: 19025
SDP: PA20-0048
LS:
WQMP:
RGP:
ASSOCIATED PERMIT NUMBERS:

ASSOCIATED CONDITIONS OF APPROVAL:



VICINITY MAP

MAINTENANCE RESPONSIBILITY NOTE

ALL LANDSCAPE PROPOSED ON THESE PLANS SHALL BE MAINTAINED BY RANCHO MISSION VIEJO.

NPDES NOTES:

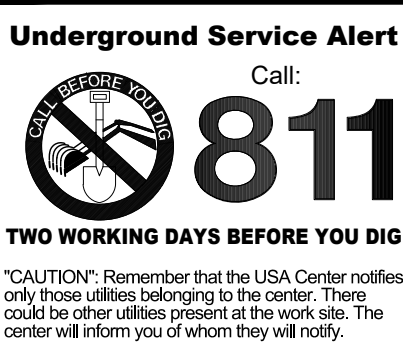
- IN THE CASE OF EMERGENCY, CALL THE SOUTHERN CALIFORNIA FIELD OFFICE: (213) 244-1800
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILES AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

EXOTIC PEST PLANT STATEMENT

THE LANDSCAPE ARCHITECT HEREBY CERTIFIES THAT NO PLANTS IDENTIFIED BY THE CALIFORNIA EXOTIC PEST PLANT COUNCIL AS AN INVASIVE RISK IN SOUTHERN CALIFORNIA ARE INCLUDED IN THIS PROJECT.

ROOT BARRIER NOTE:

ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.



SHEET TITLE:

PROJECT/CLIENT:

RIENDA: MR37
PRODUCTION
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

REVISIONS

STEP 3 SUB.	05-01-2020
STEP 3.1 SUB.	07-14-2020
1ST SDP SUB.	09-30-2020
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4TH SDP SUB.	03-09-2021

DRAWN: KB

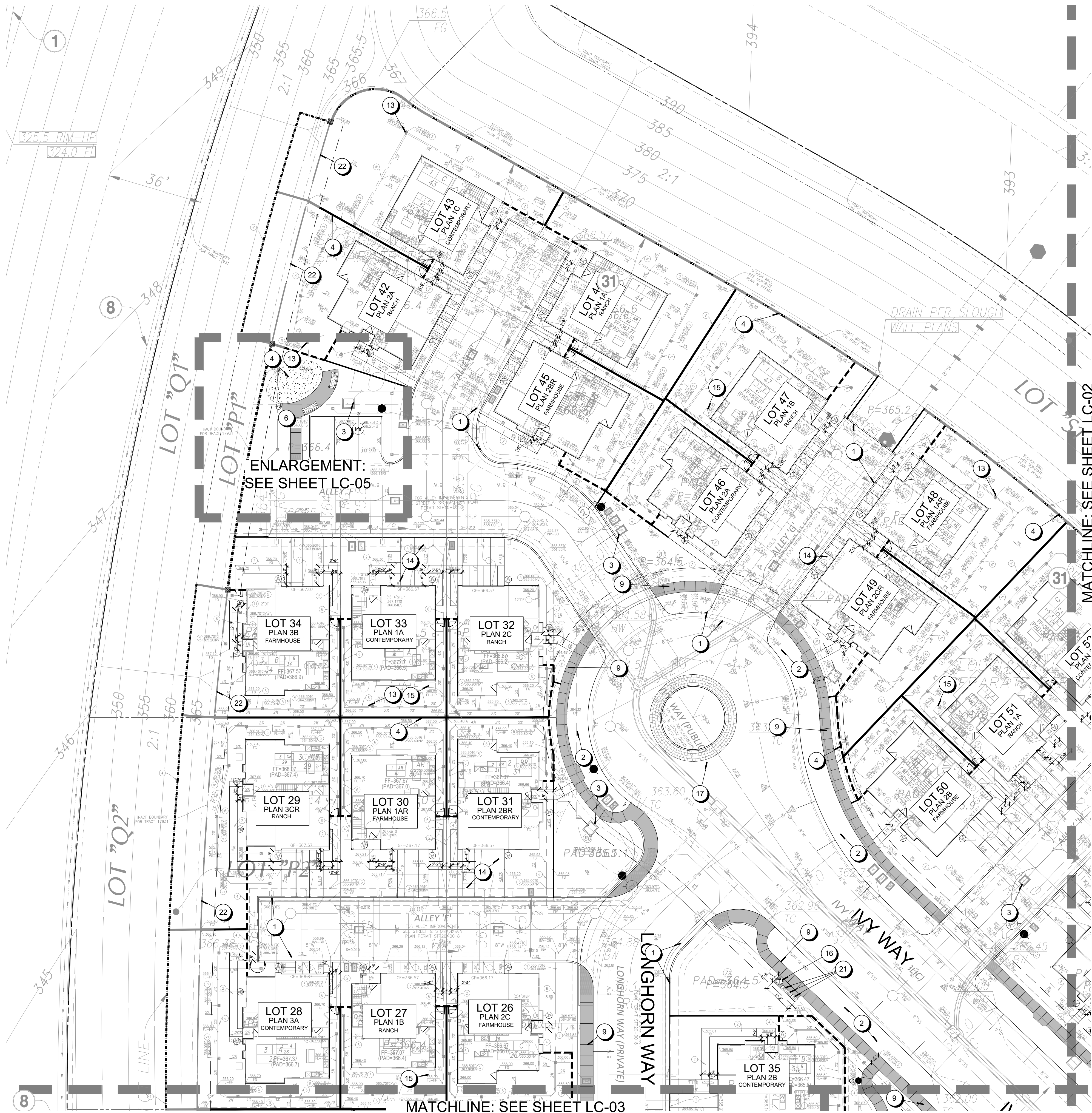
APPROVED: LP

PLOT DATE: 03/15/2021

JOB NO.: 19-058

SCALE: SEE SHEET

TS-01

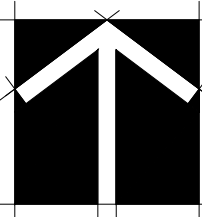


CONSTRUCTION LEGEND

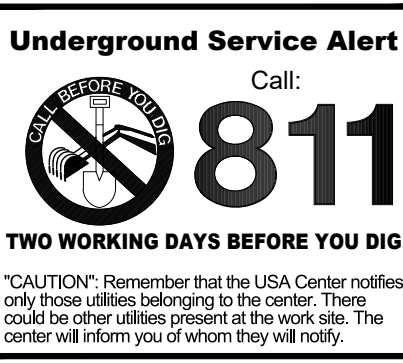
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- 6 TURF AREA: SEE PLANTING PLANS
- 7 HEADER BOARD DETAIL 2/LC-08
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- 9 NATURAL GREY CONCRETE WITH TOP CAST #3 FINISH WITH SCORELINES 4" O.C. CD-14-18 / LC-07, DETAIL 1/LC-08
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- 12 TABLE TO BE 42" DIA. ROUND TABLE WITH COMPANION SPACE, FILE NO. 132478-5, AVAILABLE FROM QUICKCRETE (P. 866-703-3434), COLOR TO BE ARROYO P9-T7, ACID ETCH FINISH WITH MATTE SEALER. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
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SCALE: 1"=20'-0"



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DRAWN KB
APPROVED JP
PLOT DATE 03/15/2021
JOB NO. 19-058
SCALE SEE SHEET

LC-01

SHEET 02 OF 30

CONSTRUCTION
PLANS

SHEET TITLE:

PA20-0048 / TR 17931

4000 Sorrento Valley Blvd.
Suite 200
San Diego, CA 92121
Tel: 619.588.8888
www.gmp.com

LANDSCAPE
ARCHITECTURE
& PLANNING

gmp

LICENSED LANDSCAPE ARCHITECT
J. M. P. Paterson No. 56817
STATE OF CALIFORNIA



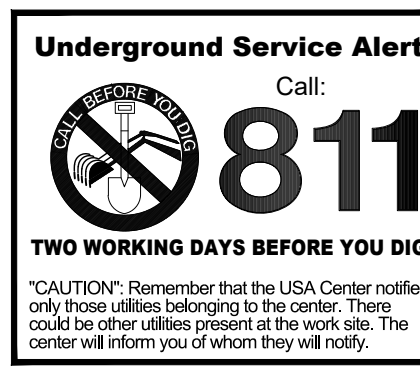
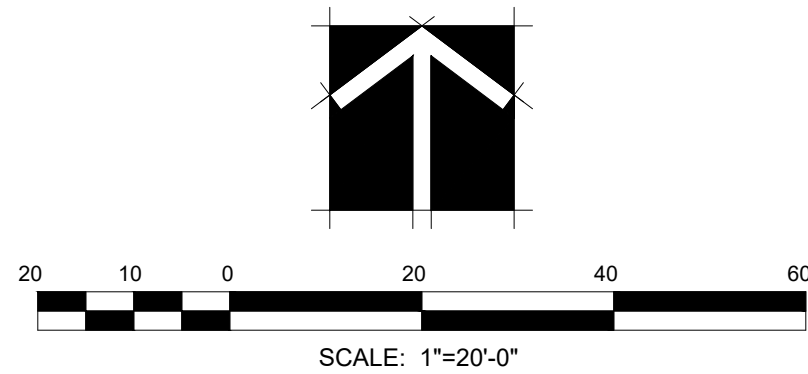
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NOTE: WALLS & PILASTERS
SUBMITTED UNDER
SEPARATE PERMIT

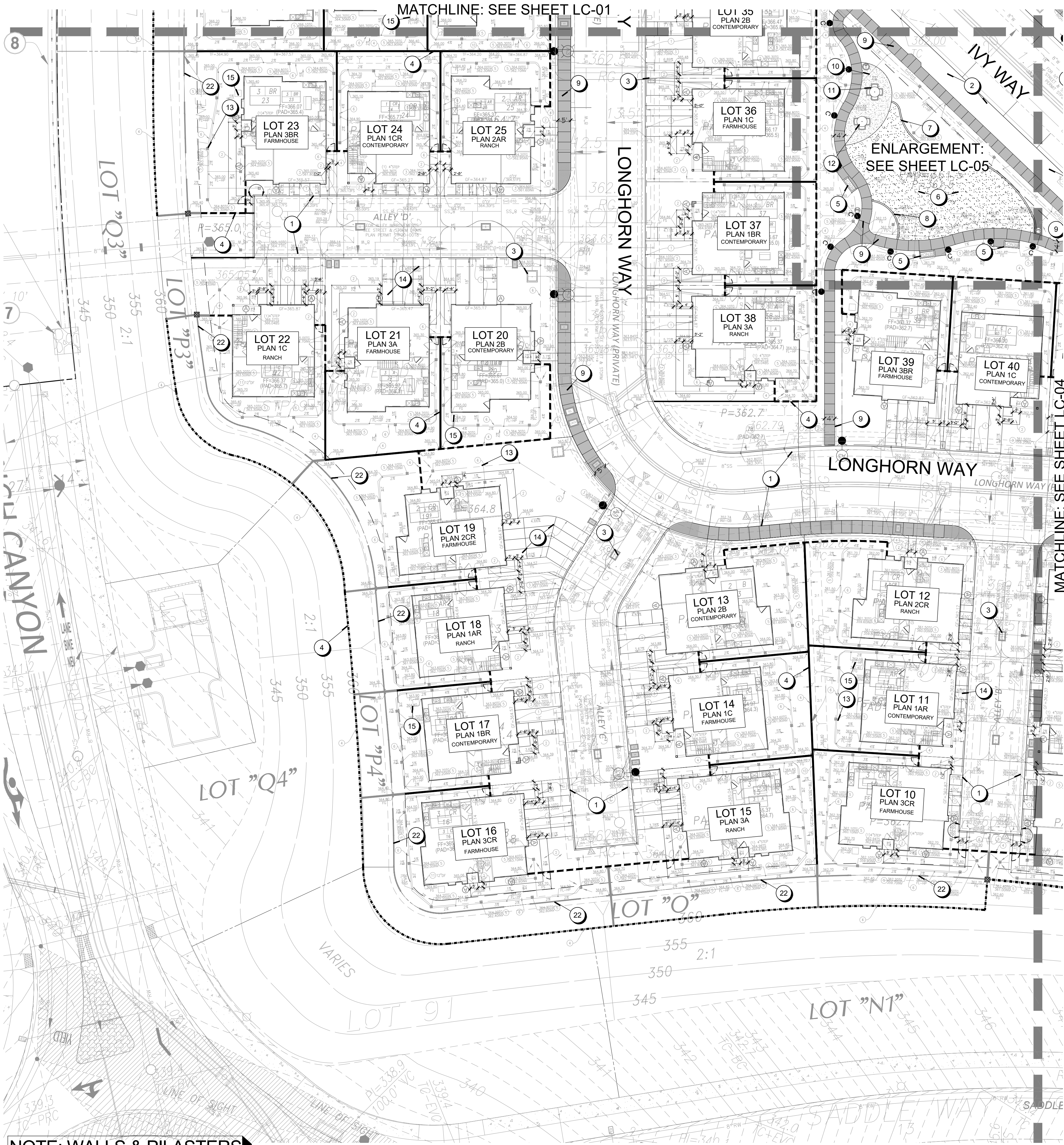
NOTE: SITE LIGHTING
SUBMITTED UNDER
SEPARATE PERMIT

SEE SHEET LC-06 FOR SITE
FURNISHINGS, MATERIALS AND
FINISHES MATRIX

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LC-02



NOTE: WALLS & PILASTERS
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SEPARATE PERMIT

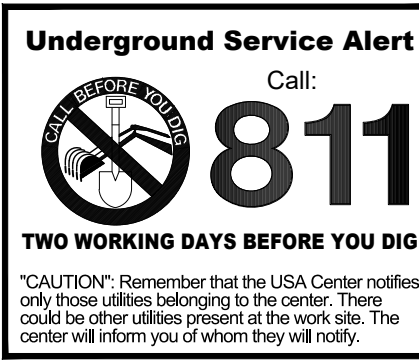
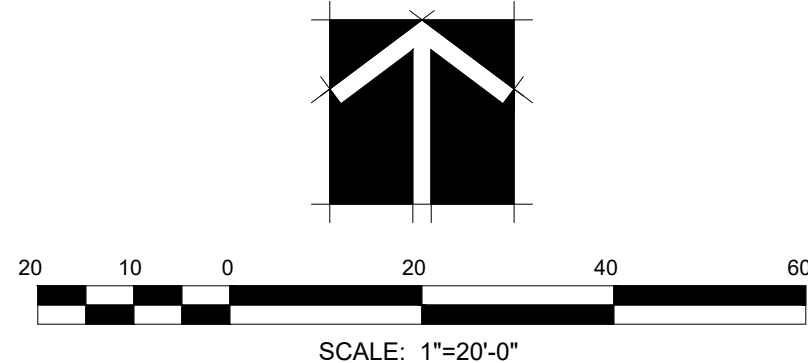
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FURNISHINGS, MATERIALS AND
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LC-03

SHEET 04 OF 30

PROJECT/CLIENT:

RIENDA: MR37
PRODUCTION
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

SHEET TITLE:

**CONSTRUCTION
PLANS**

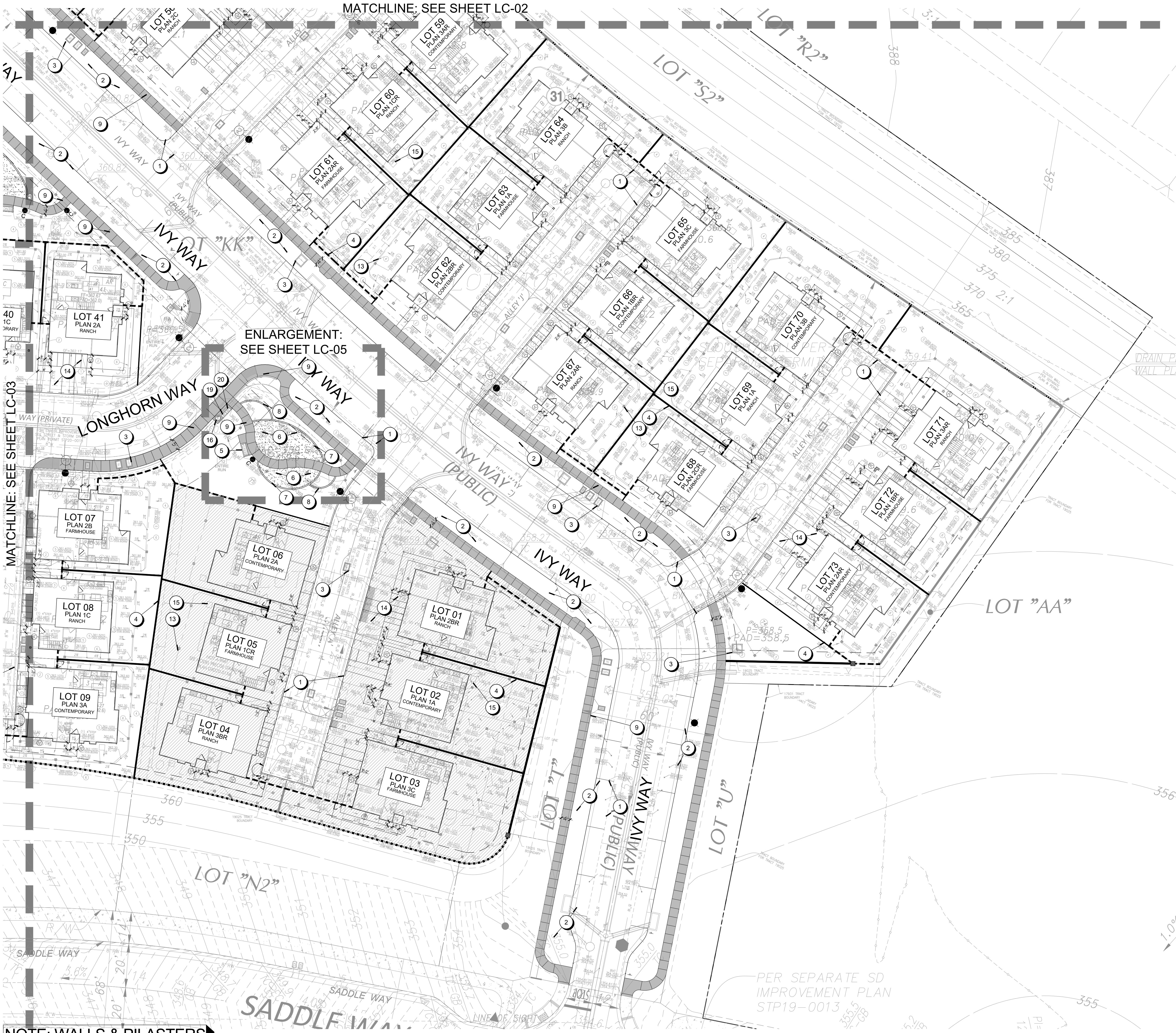


4000 Sorrento Valley Blvd.
Suite 200
San Diego, CA 92121
Phone: 619.588.9977
Email: gmp@gmp.com

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DRAWN: KB
APPROVED: JP
PLOT DATE: 03/15/2021
JOB NO.: 19-058
SCALE: SEE SHEET

PA20-0048 / TR 17931



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 - 21 MAILBOX TO BE JAYCO CBU16, VOGUE CLASSIC WITH CBU DECORATIVE CAP AND LARGE POST WRAP, AVAILABLE FROM JAYCO MAILBOXES (P: 800-587-5257), COLOR TO BE SHERMIN WILLIAMS SW 7020 'BLACK FOX' WITH EGGSHELL FINISH. INSTALL PER MANUFACTURERS SPECIFICATIONS.
 - 22 TOP OF SLOPE GRADE BEAM, PER SEPARATE FENCE AND WALL PLAN PREPARED BY GMP.

4000 Sorrento Valley Blvd.
Suite 200
San Diego, CA 92121
Tel: 619.594.8800
Fax: 619.594.8801
www.gmp.com

**LANDSCAPE
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LICENCED LANDSCAPE ARCHITECT
J. M. Patterson No. 5651
STATE OF CALIFORNIA

SHEET TITLE:

**CONSTRUCTION
PLANS**

PROJECT/CLIENT:

**RIENDA: MR37
PRODUCTION**
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

REVISIONS

STEP 3 SUB.	05-01-2020
STEP 3.1 SUB.	07-14-2020
1ST SDP SUB.	09-30-2020
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4TH SDP SUB.	03-09-2021

DRAWN: KB

APPROVED: JP

PLOT DATE: 03/15/2021

JOB NO.: 19-058

SCALE: SEE SHEET

PA20-0048 / TR 17931

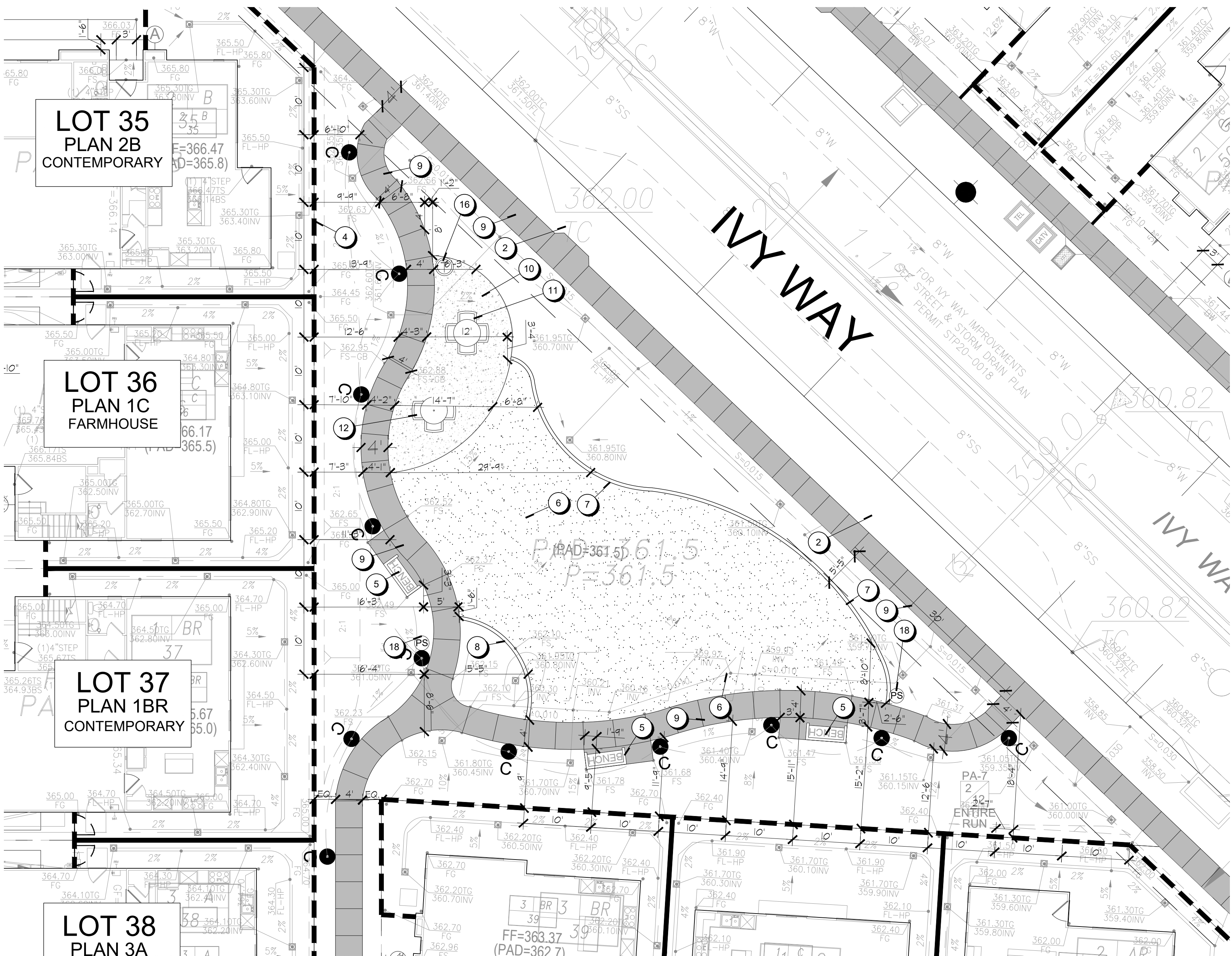
Underground Service Alert
Call
811
TWO WORKING DAYS BEFORE YOU DIG

SCALE: 1"=20'-0"

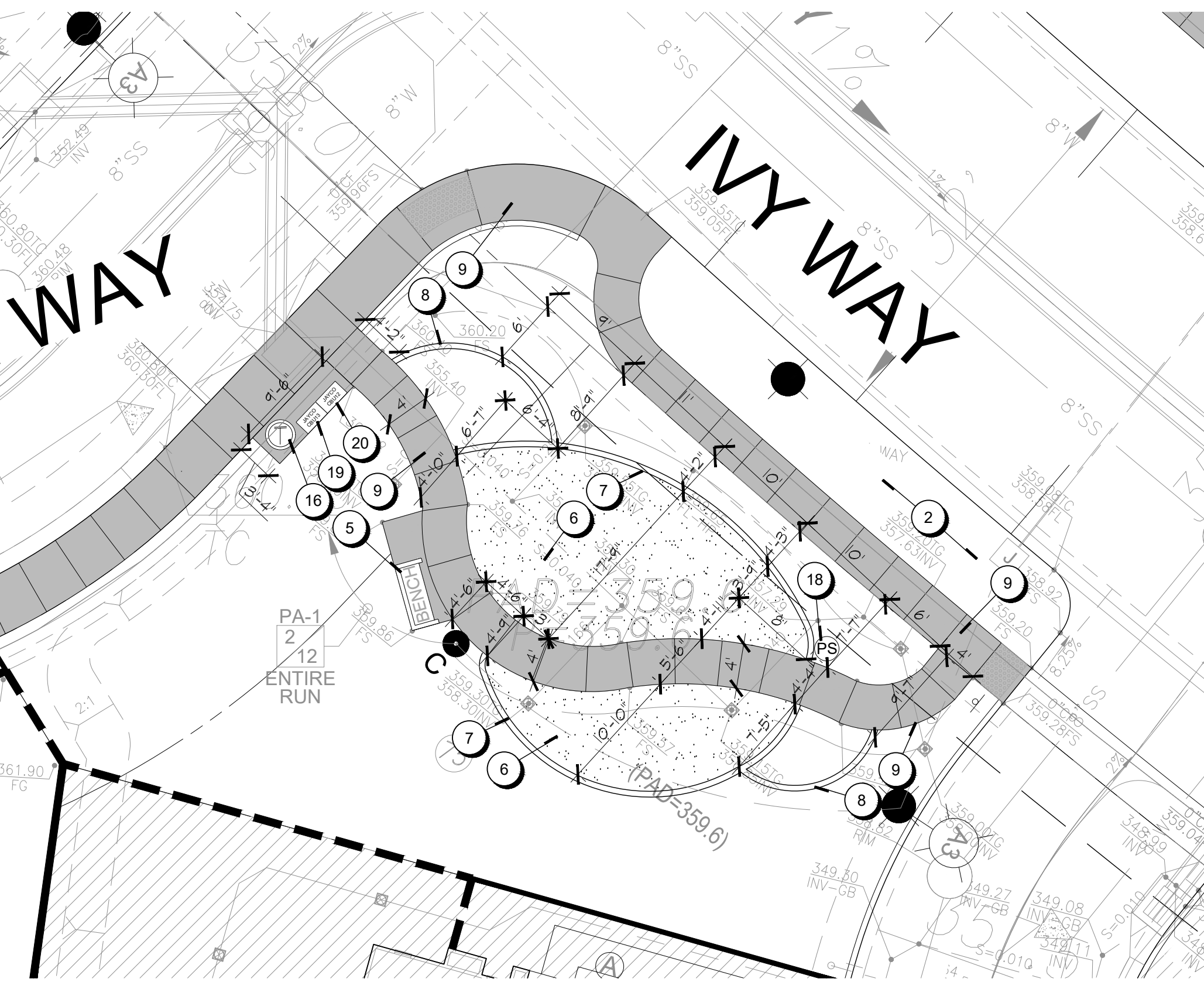
LC-04

SHEET 05 OF 30

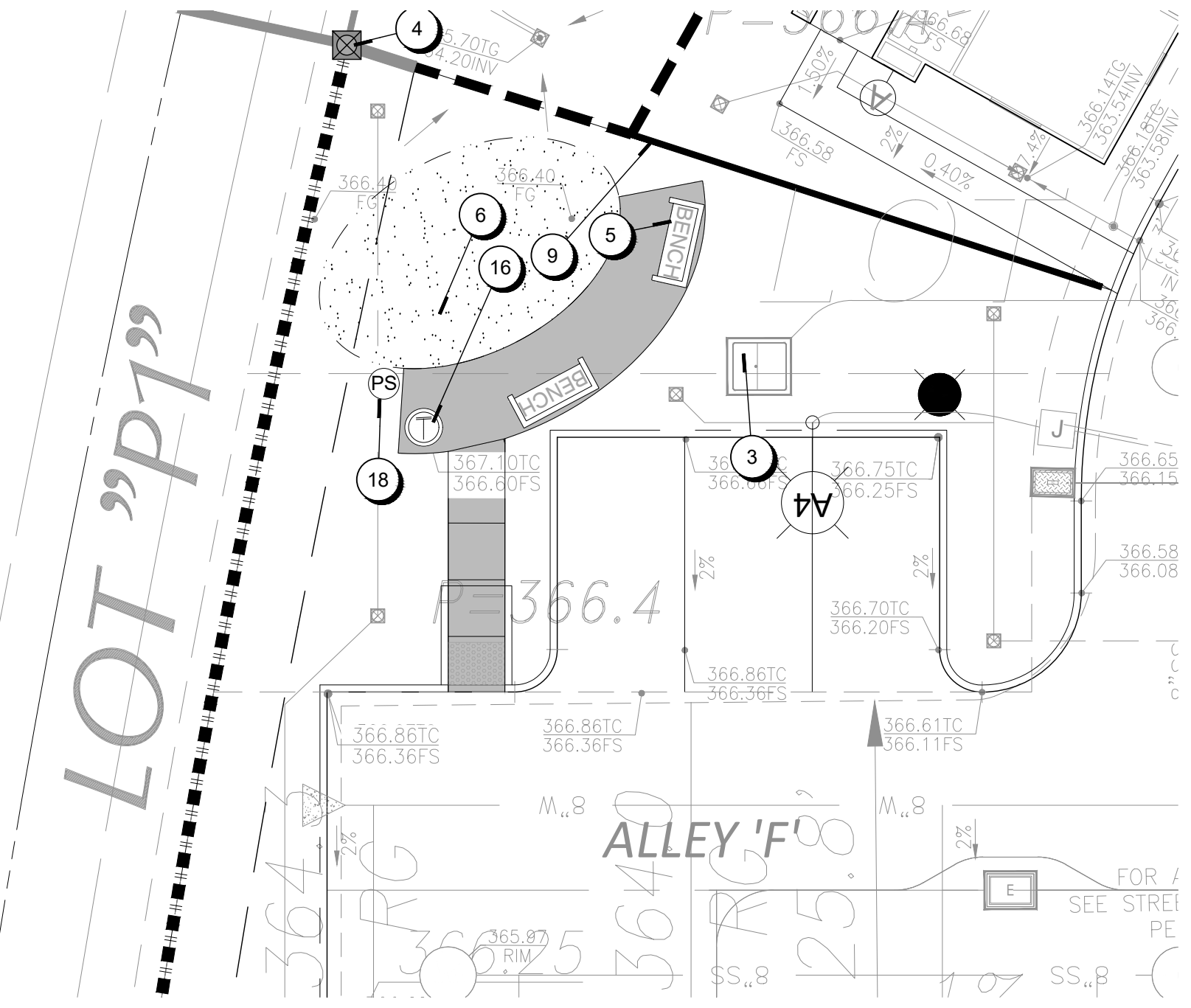
PRIMARY PARK



POCKET PARK



OVERLOOK PARK



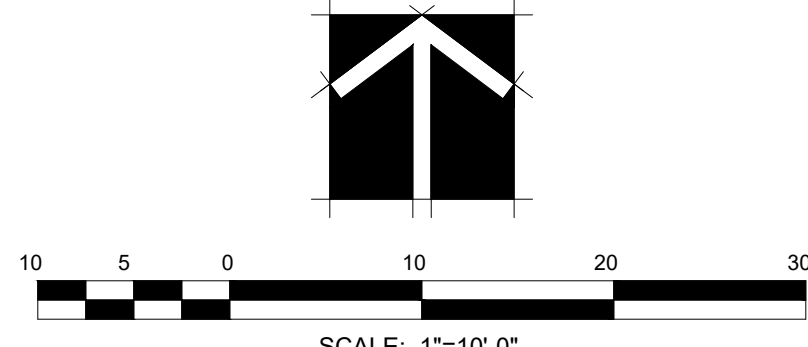
SEE SHEET LC-06 FOR SITE FURNISHINGS, MATERIALS AND FINISHES MATRIX

- CONSTRUCTION LEGEND**
- 1 SITE CURB AND GUTTER PER CIVIL ENGINEER
 - 2 PARKWAY
 - 3 SITE UTILITIES PER UTILITY CONSULTANT
 - 4 NEIGHBORHOOD WALL/FENCE - REFER TO SEPARATE WALL AND FENCE PLAN PREPARED BY GMP
 - 5 BENCH TO BE DEWART BENCH BY URBANSAPES, DE113C, AVAILABLE FROM WABASH VALLEY (P: 260-352-2102) 6' BACKED BENCH WITH ARMS AND SLAT PATTERN, SURFACE ANCHORED WITH MOUNTS 4088. BENCH COLOR TO BE SMOKE. CD-24 & 29 / LC-07
 - 6 TURF AREA: SEE PLANTING PLANS
 - 7 HEADER BOARD DETAIL 2/LC-08
 - 8 MOW CURB DETAIL 3/LC-08
 - 9 NATURAL GREY CONCRETE WITH TOP CAST #3 FINISH WITH SCORELINES 4" O.C. CD-14-18 / LC-07, DETAIL 1/LC-08
 - 10 ENHANCED PEDESTRIAN CONCRETE TO BE INTEGRAL COLOR CONCRETE, COLOR TO BE DAVIS COLOR SIERRA 61078 WITH TOP CAST #5 FINISH. DETAIL 1/LC-08
 - 11 TABLE TO BE 42" DIA. ROUND TABLE, FILE NO. 132478-1, AVAILABLE FROM QUICKCRETE (P: 866-703-3434), COLOR TO BE ARROYO P9-T7, ACID ETCH FINISH WITH MATTE SEALER, INSTALL PER MANUFACTURERS RECOMMENDATIONS. CD-23 / LC-07
 - 12 TABLE TO BE 42" DIA. ROUND TABLE WITH COMPANION SPACE, FILE NO. 132478-5, AVAILABLE FROM QUICKCRETE (P: 866-703-3434), COLOR TO BE ARROYO P9-T7, ACID ETCH FINISH WITH MATTE SEALER, INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - 13 LANDSCAPE AREA DRAINS PER CIVIL ENGINEER DETAIL 4/LC-08
 - 14 DRIVEWAY WITH ACCENT SCORE PATTERN PER PLAN
 - 15 AC UNIT PER ARCHITECT
 - 16 TRASH RECEPTACLE TO BE 32 GALLON, MT3-32 MIDTOWN AVAILABLE FROM KEYSTONE RIDGE (P: 800-284-8208) COLOR TO BE CHARCOAL-RAL 7022. INSTALL PER MANUFACTURERS RECOMMENDATIONS. CD-27 / LC-07
 - 17 ENHANCED VEHICULAR PAVERS (80MM) TO BE INFINITY COBBLE I, II AND III AVAILABLE FROM OLSEN PAVERS (P: 949-728-0415), COLORS TO BE 50% HAZEL AND 50% SKYFALL. TUMBLED WITH SKIFER TEXTURE. INSTALL PER MANUFACTURERS RECOMMENDATIONS. CD-19 / LC-08
 - 18 PET WASTE STATION TO BE SINGLE PULL DISPENSER 10 GALLON RECEPTACLE SQUARE POST, AVAILABLE FROM ZERO WASTE USA (P: 800-789-2583), MODEL S JUB008, SEN-10G-BLACK, JUB-SP9. INSTALL PER MANUFACTURERS SPECIFICATIONS.
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NOTE: WALLS & PILASTERS SUBMITTED UNDER SEPARATE PERMIT

NOTE: SITE LIGHTING SUBMITTED UNDER SEPARATE PERMIT

ROOT BARRIER NOTE:
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Underground Service Alert
Call: **811**
TWO WORKING DAYS BEFORE YOU DIG
CAUTION: Remember that the USA Center notifies only those utilities belonging to the center. There could be other utilities present at the work site. The center will inform you of which lines will notify.

Approved Site Furnishings Matrix - Master and Sub-Association Pocket Parks, Trails & Common Areas

Site Furnishings						
Item	Model	Manufacturer	Color and Finish	Size	Available From	Notes
Pet Waste Station Components	JJ5008-BLACK - Dispenser SEN-LUG-BLACK - Can JJB-SP8 - Post	Zero Waste USA	Black	Single pull dispenser 10 gallon receptacle Square Post	Zero Waste USA	Post to be painted Sherwin Williams SW 6954 "Greenblack". Allow 8 weeks min. lead time for orders and delivery.
Vinyl Vine Trellis	Cottage Wall Trellis HN-DU021	Dura-Trel	White	35"L by 64" H	Hay Needle	Available from hay needle. Contact sales 1-866-530-4155. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Vinyl Vine Trellis	Cottage Wall Trellis HN-DU087	Dura-Trel	Mocha	22"L by 66" H	Hay Needle	Available from hay needle. Contact sales 1-866-530-4155. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Metal Vine Trellis	Danbury Metal Trellis HN-PSM330	Belham Living	Black	39"L by 70" H	Hay Needle	Available from hay needle. Contact sales 1-866-530-4155. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Pedestrian Pole Light (Omega Series)	1A-1521LED-R-3ARC30T(**)-MDL03-SV1/6236UHPM(MOD)/911495/PC/DB (#)# MOD:REMOVE SCORLL AND BALL FROM ARM. **Distribution type as needed ## House side shield as needed	Sternburg Lighting	Dark Bronze	14'-0" Pole	STERNBERG LIGHTING	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Parking Pole Light (Omega Series)	1A-1527LED-R-4ARC30T(**)-MDL03-SV1/6236UHPM(MOD)/911895/PC/DB (#)# MOD:REMOVE SCORLL AND BALL FROM ARM. **Distribution type as needed ## House side shield as needed	Sternburg Lighting	Dark Bronze	18'-0" Pole	STERNBERG LIGHTING	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Recessed Accent Light	T-183 Mini Flat Glass Deck Light	TRAA Lite	Black		TRAA Lite	Required to be used in pocket parks and any HOA common areas. Install and anchor per mfg.'s recommendations.
String Light, Wet Location	CALI Light# ML2000-24"LED2.4K with FILAMENT-WET-HARDWIRE-120V. 2.5W/ bulb 2400K color temp.	CALI Light	Black		CALI Light	LED bulbs to have a filament. Bulb spacing to be 24" strands to be spaced 3'-0" apart. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Tree Up Light	GEM2-LV	Techlight	Black		Techlight	Required to be used in pocket parks and any HOA common areas. Install and anchor per mfg.'s recommendations.
Bollard Light	Fixture# CB24 Source: 15L (IES Type III) 3K Color Temperature UV range from 120V-22V	Kim Lighting	Dark Bronze	24" H by 5" Dia.	Kim Lighting	To be used in HOA common areas only. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Adirondack	4 Slat Flat	Loll Trade	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	35"L by 64" H	Loll Trade	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Adirondack	4 Slat Flat - Tall	Loll Trade	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	35"L by 64" H	Loll Trade	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Mailbox	Jayco 1570 CBU-* Cap:Jayco Vogue Classic Decorative Cap Post:Jayco Vogue Classic Post Wrap Standard Placards *Distribution type as needed	Jayco Industries	Dark Bronze	Varies per CBU configuration	Jayco Industries	Install per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Equal substitutions may be submitted for DRC review and Approval.

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July 16, 2019 - Revised December 15, 2020

Approved Site Furnishings Matrix - Master and Sub-Association Pocket Parks, Trails & Common Areas

Site Furnishings						
Item	Model	Manufacturer	Color and Finish	Size	Available From	Notes
Built-in BBQ (Enclosure by others)	L600 Natural Gass Grill with ADAKIT	Lynx	Standard stainless steel	36"	Lynx	To be installed with Accessible option kit Model ADAKIT. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Pedestal BBQ	#630 In Grade Mounting	L.A. Steelcraft	BBQ to be Black. Post to be black powder coat-factory option post color.	20"W by 15"D	Coast Recreation Inc.	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Winchester Bench	W1112C, Six foot Backed Bench w/ Arms and Slat pattern. Surface anchored with mounts 4088.	Urbanscapes	Bench color to be standard powder-coat color 'Smoke' with faux wood slats 'Weathered'.	72" Long	Wabash Valley	To be ordered with optional surface mounts 4088. Anchor to paving per manufacturer's recommendations. Allow 10-12 weeks min. lead time for orders and delivery.
Dewart Bench	DE113C, Six foot Backed Bench w/ Arms and Slat pattern. Surface anchored with mounts 4088.	Urbanscapes	Bench color to be standard powder-coat color 'Smoke'.	72" Long	Wabash Valley	To be ordered with optional surface mounts 4088. Anchor to paving per manufacturer's recommendations. Allow 10-12 weeks min. lead time for orders and delivery.
Trash Receptacle 32 Gallon	MT3-32 Midtown	Keystone Ridge	Charcoal-RAL 7022	32 Gallon	Keystone Ridge	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Trash Receptacle Wildlife Resistant	BPRT1-36	Pilot Rock	Brown powder coat	36 Gallon	Pilot Rock	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Square Table	Custom Table File No: 132478-7	Quick Crete	Concrete color to be Arroyo P9-17. Acid etch finish with matte sealer.	76"W by 72"L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Square Table with ADA Companion Space	Custom Table File No: 132478-11	Quick Crete	Concrete color to be Arroyo P9-17. Acid etch finish with matte sealer.	76"W by 72"L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Dia. Round Table	Custom Table File No: 132478-1	Quick Crete	Concrete color to be Arroyo P9-17. Acid etch finish with matte sealer.	71" Dia.	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Dia. Round Table with ADA Companion Space	Custom Table File No: 132478-5	Quick Crete	Concrete color to be Arroyo P9-17. Acid etch finish with matte sealer.	71" Dia.	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
66" ADA Picnic Table	Custom Table File No: 131478-4	Quick Crete	Concrete color to be Arroyo P9-17. Acid etch finish with matte sealer.	70"W by 96" L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
72" Picnic Table	Custom Table File No: 131478-3	Quick Crete	Concrete color to be Arroyo P9-17. Acid etch finish with matte sealer.	70"W by 72" L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Fire Pit - Block Quadra	Fuel: Natural Gas Size: Varies To be ordered with electronic ignition system	Hart Concrete Design	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	Size to be selected by Neighborhood Builder	Hart Concrete Design	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Refer to fire pit detail and fire pit control post detail. Reference table of contents for page number.
Fire Pit - Block Plaza	Fuel: Natural Gas Size: Varies To be ordered with electronic ignition system	Hart Concrete Design	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	Size to be selected by Neighborhood Builder	Hart Concrete Design	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Refer to fire pit detail and fire pit control post detail. Reference table of contents for page number.
Fire Pit - Block Infinity	Fuel: Natural Gas Size: Varies To be ordered with electronic ignition system	Hart Concrete Design	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	Size to be selected by Neighborhood Builder	Hart Concrete Design	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Refer to fire pit detail and fire pit control post detail. Reference table of contents for page number.

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July 16, 2019 - Revised December 15, 2020

NOTE: WALLS & PILASTERS
SUBMITTED UNDER
SEPARATE PERMIT

NOTE: SITE LIGHTING
SUBMITTED UNDER
SEPARATE PERMIT

Approved Materials and Finishes Matrix - Master and Sub-Association Pocket Parks, Trails & Common Areas

Materials and Finishes						
Item	Product Type	Model	Manufacturer	Color	Finish	Notes
Concrete Paving	Concrete	n/a	n/a	Natural Grey	Medium Wash	Private residence driveways & front walks: Scorelines to reflect the architectural character of each home. Pocket parks & trails: Scorelines per approved details.
Cul-de-sac Pavers	Concrete Paver 80mm (For Vehicular Traffic)	Infinity Cobble I, II, and III.	Olsen Pavers	Color Mix: 50% Hazelnut 50% Skyfall	Tumbled with Skifer texture	Install and per mfg.'s recommendations. Refer to Civil plans. Allow 8 weeks min. lead time for orders and delivery.
Mortar (Pavers)	Mortar	n/a	n/a	Natural Grey	Flush	
Concrete Mow Curb	Concrete	n/a	n/a	Natural Grey	Light Broom Finish	Concrete mow curb to be scored every 4'-0", at all post locations, and at all changes in direction.
Wall Cap	8x2x12 MW Smooth Solid Precision Block Cap- Medium Weight	n/a	Angelus Block Company	Onyx, medium weight block	Flush	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Perimeter	6x6x24 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be raked. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Radius Wall Condition. From B.C.R. to E.C.R. of Wall.	6x6x16 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be raked. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Retaining Portion of Slough and Retaining Walls.	6x6x16 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be raked. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Plaster Block	16x6x16 Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be raked. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Plaster Cap	6x2x16 MW Smooth Solid Precision Block Cap- Medium Weight	n/a	Angelus Block Company	Onyx, medium weight block	Flush	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Side yard	6x6x24 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be raked. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Mortar	Mortar	Spec Mix IWR Mortar	Angelus Block Company	Spec Mix Color #236	Bed (horizontal) joints shall be raked. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Tubular Steel Fence and Components	Paint	SW 7020 "Black Fox"	Sherwin Williams	SW 7020 "Black Fox"	Eggshell	
Wood/ Vinyl Fence	Paint/ Vinyl Color	n/a	n/a	Color to be submitted to RMV for approval. Color to compliment adjacent architecture	Eggshell	

M-3

July 16, 2019 - Revised December 15, 2020

SHEET TITLE:

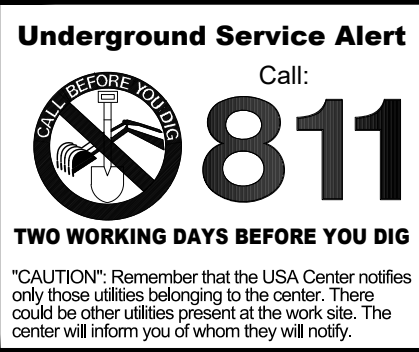
MATRIX & NOTES

PROJECT/CLIENT:

RIENDA: MR37
PRODUCTION
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

REVISIONS
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DRAWN KB
APPROVED JP
PLOT DATE 03/15/2021
JOB NO. 19-058
SCALE SEE SHEET



ROOT BARRIER NOTE:
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LC-06

Village Landscape Design Standards

shall be spotted under the direction of the landscape architect and neighborhood builders' representative.

- All turf and ground cover areas are to be cross ripped to a depth of six inches (6") both ways. Blend all amendments into the tilled soil to a depth of six inches (6").
- All landscape areas are to receive a weed abatement program after the topsoil is graded. Areas are to be watered for 10 days to stimulate weed growth. After this time the areas are to be sprayed with one application of non-selective herbicide per manufacturer's specifications and then plant material may be installed.
- The Neighborhood Builder is responsible to insure that all landscape areas have positive drainage to the street or collection devices. These grades or solutions must be reviewed and accepted by the landscape architect and contractor prior to any work.
- Any tree indicated on a plan should be considered diagrammatic. All local jurisdiction standards and specifications should be reviewed prior to planting.
- All required trees shall be a minimum 24" box size, unless otherwise noted.
- Linear root barriers shall be installed where trees occur within 5'-0" of any concrete flatwork, curb and gutter, utilities, structures, etc.
- Street trees are to be moved to the backside of the walk if a conflict occurs in the parkway. Builder is responsible for this.
- All required trees shall be a minimum 24" box size, unless otherwise noted.
- 15 gallon and 24" box trees are to be staked per details found in the Landscape and Irrigation Specifications Section.
- 36" box and larger trees are subject to review by the project Landscape Architect and installing Contractor to evaluate as to whether staking should occur.
- All trees in turf areas shall have a diameter of mulch the size of the tree box size maintained around the tree with a maximum diameter of 36".
- Turf areas in neighborhood pocket parks and parkways shall be sodded, 100 percent Paspalum unless otherwise noted and approved. Maximum slope ~ 5:1.

L-2

July 16, 2019 - Revised December 15, 2020

Village Landscape Design Standards

- Turf areas in Master HOA parks and parkways shall be sodded Paspalum turf unless otherwise noted and approved. Maximum slope ~ 5:1.
- Shrub spacing shall be 75% of the ultimate growth width unless otherwise noted.
- All shrubs are to be planted one half the diameter of the ultimate size of the shrub away from any concrete flat work or curb.
- All plants shall be set in the center of the pit so that when it settles, the crown will be one inch (1") above the surrounding grade. Backfill with prepared soil, tamp and water thoroughly.
- All 1 gallon and flatted ground cover shall be triangularly spaced at the approved spacing for each species. Approved spacing dimensions can be found on the approved village landscape palette.
- All vines shall be installed with nursery stakes removed and vine runners espallered to the adjacent wall, fence or post per details found in the Landscape and Irrigation Specifications Section.
- Ground cover from flats and no more than 2" Shredded Mulch to be applied between trees and shrubs to cover the ground plane. In Master Association maintained areas "Walk on Bark" mulch is to be used as a ground cover only, at 2" depth. Sample is to be submitted to Master Developer's Landscape Architect for review and approval.
- Mulch shall be "TVI-Sendero Premium Mulch" 2" depth available from:
Terra Verde Industries (TVI)
7982 Irvine Blvd, Irvine, CA 92618
(949) 551-0363
- Upon completion, all extraneous material and debris shall be removed and all areas shall be broomed and washed clean.
- Thirty (30) days after installation, all landscape areas shall be fertilized with a commercial grade fertilizer as recommended per the soils report. Fertilizer application shall be continuous thereafter at monthly intervals.
- During the last 30 days of maintenance, the Neighborhood Builder is responsible for obtaining as-builts, controller charts and watering schedules from his landscape contractor. Three copies are to be submitted to LARMAC or the sub association and the maintenance contractor

L-3

July 16, 2019 - Revised December 15, 2020

Procedures for Landscape Submittals and Transfers of Maintenance

Landscape Plan Submittals

Please refer to the Design Review portion of the Rancho Mission Viejo Design Guidelines for PA3 for all submittal and review requirements.

Transfer of Maintenance (Neighborhood Builder Master Maintenance Corporation Areas)

1. Initial Walk Through

A. The initial walk through is to take place at the end of the landscape and irrigation installation period, prior to the beginning of the maintenance period.

B. The Neighborhood Builder shall contact the Master Maintenance Corporation Management Representative to schedule the date, time and meeting place of the initial walk through. The Neighborhood Builder shall distribute a meeting notice and confirm that all required Attendees will be present.

Attendees:

- Installing Landscape Superintendent
- Neighborhood Builder
- Ultimate Landscape Maintenance Contractor
- Neighborhood Builder's Landscape Architect and Irrigation Designer
- Master Developer's Landscape Architectural consultant
- Master Maintenance Corporation Management Representative
- Master Developer representative (to be notified with option to attend)

C. The Neighborhood Builder's Landscape Architect is responsible to bring County approved landscape and irrigation plans to the initial walk through.

D. The Neighborhood Builder's Landscape Architect is to bring a Letter of Substantial Conformance confirming that the landscape and irrigation of the project have been installed per the original intent of the plans. There are to be no maintenance walks until everything has been installed.

E. A punch list is to be generated by the Neighborhood Builder's Landscape Architect and distributed to all walk through Attendees. The punch list is to

L-4

July 16, 2019 - Revised December 15, 2020

Procedures for Landscape Submittals and Transfers of Maintenance

consist of a list of all items that are to be installed, repaired or replaced that have been agreed upon by the Master Maintenance Corporation Management Representative(s), Master Builder's Landscape Architectural consultant, the Neighborhood Builder's Landscape Architect and the installing Landscape Contractor.

F. In the event that there is any disagreement on the items that need to be installed, repaired or replaced, the Master Developer will act as the final arbitrator. The Master Maintenance Corporation Management Representative(s) is to notify the Master Developer with recommendations and assist them in determining whether or not to pursue those items that are in disagreement.

2. Punch List: Timing for Completion

A. The installing Landscape Contractor is responsible for ensuring that all punch list items are addressed before the next walk through.

B. When all punch list items have been completed, the Neighborhood Builder shall contact the Master Maintenance Corporation Management Representative(s) to schedule the date, time and meeting place of the next walk through. The Neighborhood Builder and/or landscape installation superintendent shall distribute a meeting notice and confirm that all required Attendees will be present. This interim walk is to occur 30 days prior to the end of the maintenance period.

3. Interim Walk Through

A. As noted above, the interim walk through is to take place once all punch list items have been addressed and 30 days prior to end of the maintenance period.

B. If during the interim walk through there are any items that have not been addressed or new items that appear, a new punch list is to be generated by the Master Landscape Architect and distributed to all walk through Attendees.

C. Once it is established that all punch list items have been addressed and completed, the Neighborhood Builder or his Landscape Architect shall prepare a written statement that all items have been completed. This statement is to be stamped and signed by the Neighborhood Builder's Landscape Architect and distributed to all attendees and the Master Developer.

D. If any items on the punch list cannot be corrected in a timely manner, the Master Maintenance Corporation Management Representative(s) must determine with the Neighborhood Builder and installing contractor what an acceptable time table is for the completion of each item.

L-5

July 16, 2019 - Revised December 15, 2020

Procedures for Landscape Submittals and Transfers of Maintenance

4. Final Walk Through

A. This walk through is to take place at the end of the contracted maintenance period on either the 15th or last day of the month.

B. The Neighborhood Builder and shall contact the Master Maintenance Corporation Management Representative(s) to schedule the date, time and meeting place of the final walk through. The Neighborhood Builder shall distribute a meeting notice and confirm that all required Attendees will be present.

C. Attendees:

- Installing Landscape Superintendent
- Neighborhood Builder
- Ultimate Landscape Maintenance Contractor
- Neighborhood Builder's Landscape Architect and Irrigation Designer
- Master Developer's Landscape Architectural consultant
- Master Maintenance Corporation Management Representative(s)
- Master Developer's representative (to be notified with option to attend)

D. The delivery of the following items are to be verified and/or supplied to the RMV Community Development, LLC Representative prior to the final walk through.

L-6

July 16, 2019 - Revised December 15, 2020

Procedures for Landscape Submittals and Transfers of Maintenance

GIS Deliverables Checklist	Builder	
	CAD	PDF
Mapping Information (Post Recordation)		
Tract Numbers / Boundaries	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parcels/Lots and Lot Numbers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Assessor Parcel Numbers for Common Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Right-of-Ways	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Easements (Storm Drain, Utility, Access, Etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Shared Driveway Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Slope SBA and Front Yard SBA	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Master Maintenance Corporation Maintenance areas within r/w	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Grant deeds, Supplemental CC&R's and any other legal documents recorded for that tract/neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Improvement Plan Information (Post County Acceptance)		
Building Footprints, Plan #, Elevation Style, Color Scheme #	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Condominium Unit #	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Medians	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Curb and Gutter	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sidewalk	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lines-of-Sight	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Storm Drain, Catch Basins, Inlets	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewer and Water Improvements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
OCA Fire Master Plan w/ No Parking Sign Locations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Grading, Walls and Fences		
Walls and fences with surface type, height, maintenance responsibility	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Retaining Wall surface and sub-drain points of connection	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Buttress drain and outlet locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
v-ditch locations with inlet size and type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Common Area Landscape/Irrigation		
Irrigation Controller Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Water Meters with size and meter number	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Electric Meter Pedestals with meter number	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscape lighting, type with manufacture spec and warranty	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Street trees with size, type (multi vs standard), variety	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Community Trails, Paseos, Pocket Parks, Common Areas with amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>
All site amenity specifications, warranties and maintenance manuals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Open Space	<input type="checkbox"/>	<input type="checkbox"/>
Fuel Modification Zones, location of marker poles	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of all utilities, above and below ground. Pedestal location and service provided, with carrier name	<input checked="" type="checkbox"/>	<input type="checkbox"/>

L-7

July 16, 2019 - Revised December 15, 2020

Procedures for Landscape Submittals and Transfers of Maintenance

E. Upon completion of the final walk through and completion of the punch list items, the meters will be turned over to the Master Maintenance Corporation Management Representative(s) and the Master Maintenance Corporation Management Representative(s) will assume landscape maintenance for the area walked. The date the landscape maintenance will commence is to be confirmed by the Neighborhood Builder and installing landscape superintendent. Acceptable dates for turnovers are the first or the fifteenth of the month only.

A Maintenance Manual of all installed improvements in pocket parks or otherwise must be provided at this final walk before the area will be accepted for turnover. This should include all manual and warranty information for all products and furnishings.

F. The Master Maintenance Corporation Management Representative(s) is responsible for notifying RMV Community Development, LLC in writing of the date the Master Maintenance Corporation Management Representative assumed landscape maintenance and turnover of the meters. This notice of acceptance of maintenance will be issued after the Rancho MMC Board of Directors has accepted the area under a resolution of the Board at a duly called Open Session Board of Directors Meeting.

L-8

July 16, 2019 - Revised December 15, 2020

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10" LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

Underground Service Alert
Call:
811
TWO WORKING DAYS BEFORE YOU DIG
"CAUTION:" Remember that the USA Center notifies only those utilities belonging to the center. There could be other utilities present at the work site. The center will inform you of which lines will notify.

LC-07

SHEET TITLE:

MATRIX & NOTES

PROJECT/CLIENT:

RIENDA: MR37
PRODUCTION
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

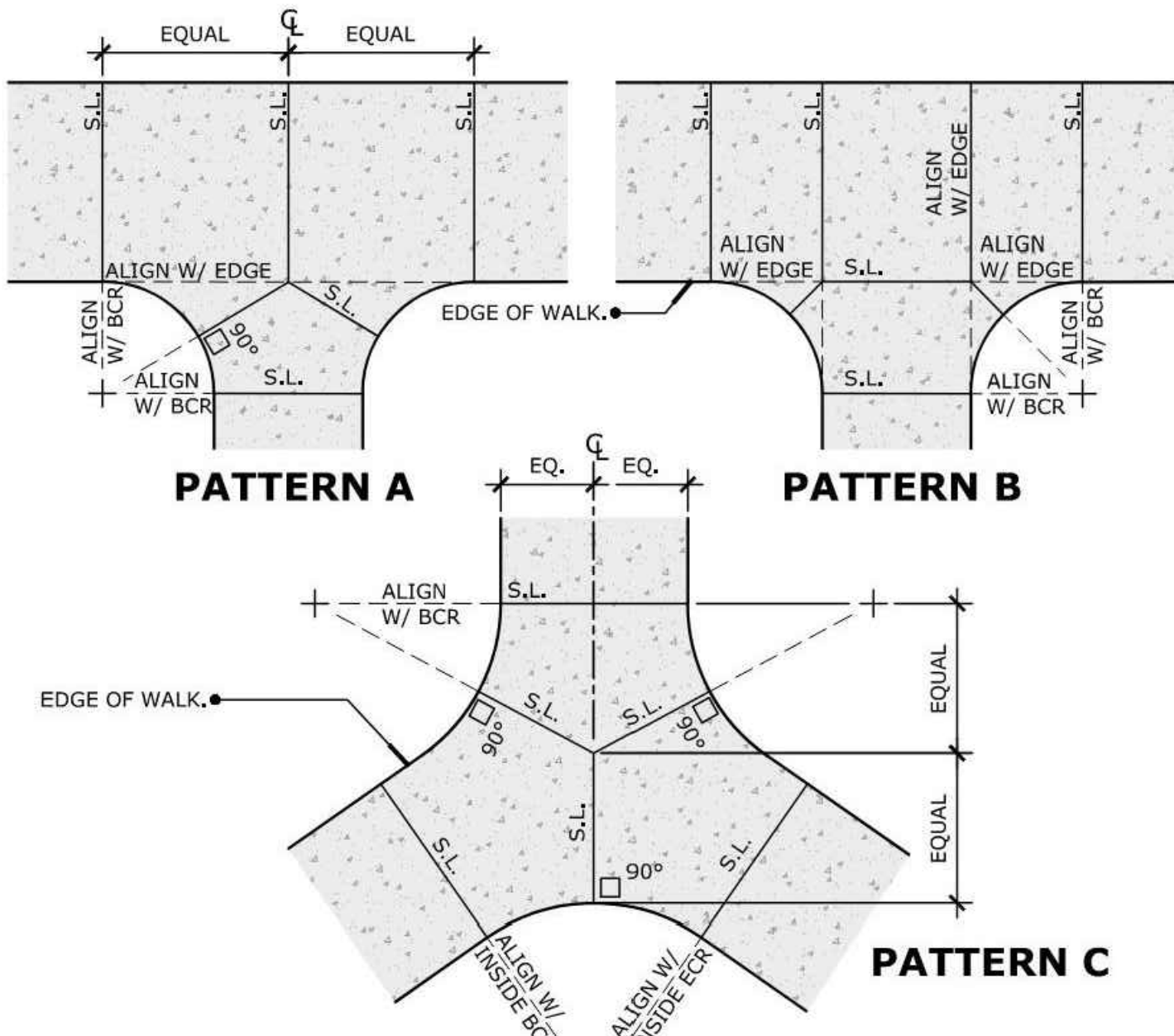
REVISIONS
STEP 3 SUB. 05-01-2020
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4TH SDP SUB. 03-09-2021

DRAWN KB
APPROVED JP
PLOT DATE 03/15/2021
JOB NO. 19-058
SCALE SEE SHEET

PA20-0048 / TR 17931

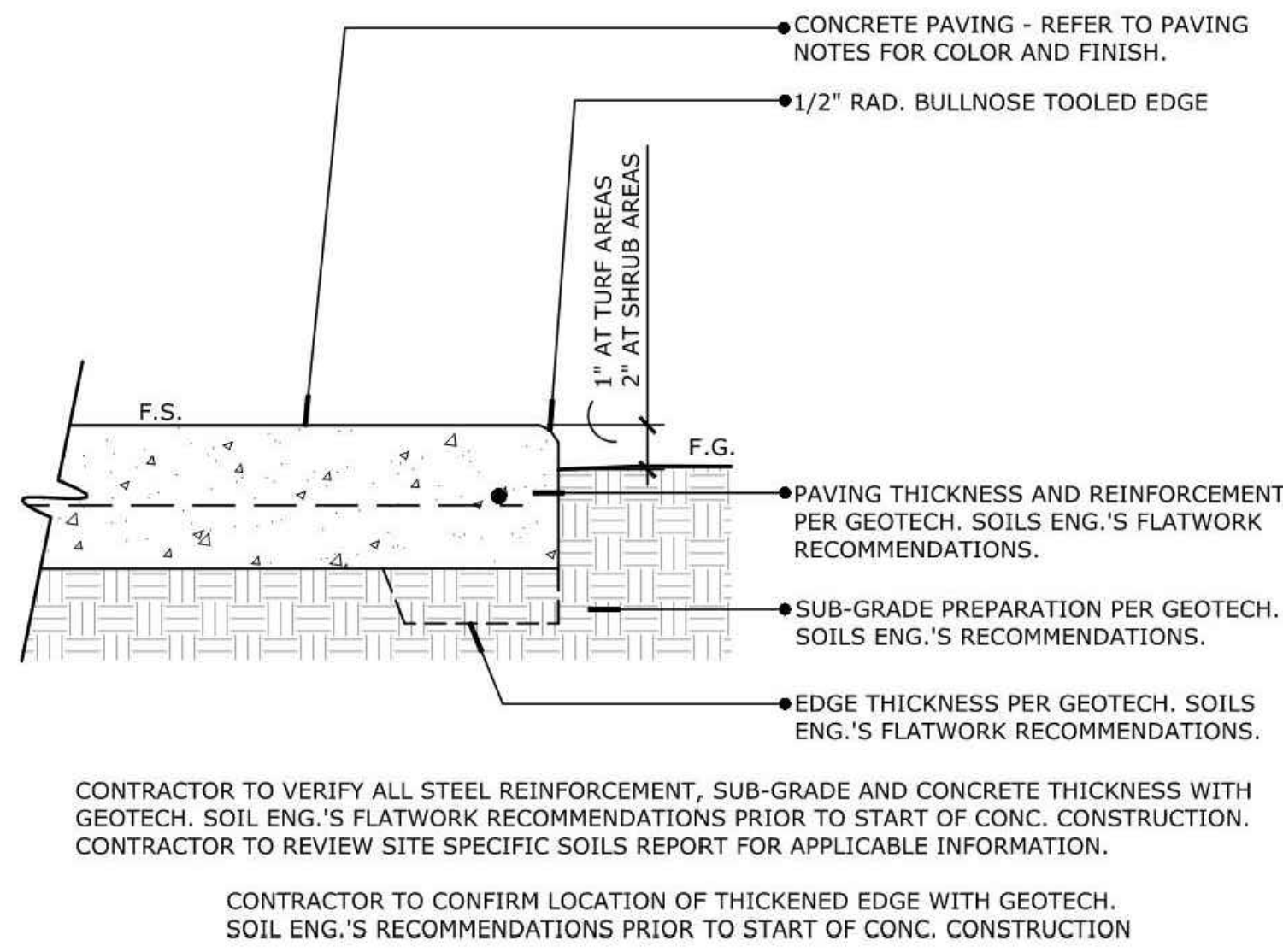
4000 Sorrento Valley Blvd.
Suite 200
San Diego, CA 92121
Tel: 619.444.8888
Fax: 619.444.8877
gmp
LANDSCAPE
ARCHITECTURE
& PLANNING





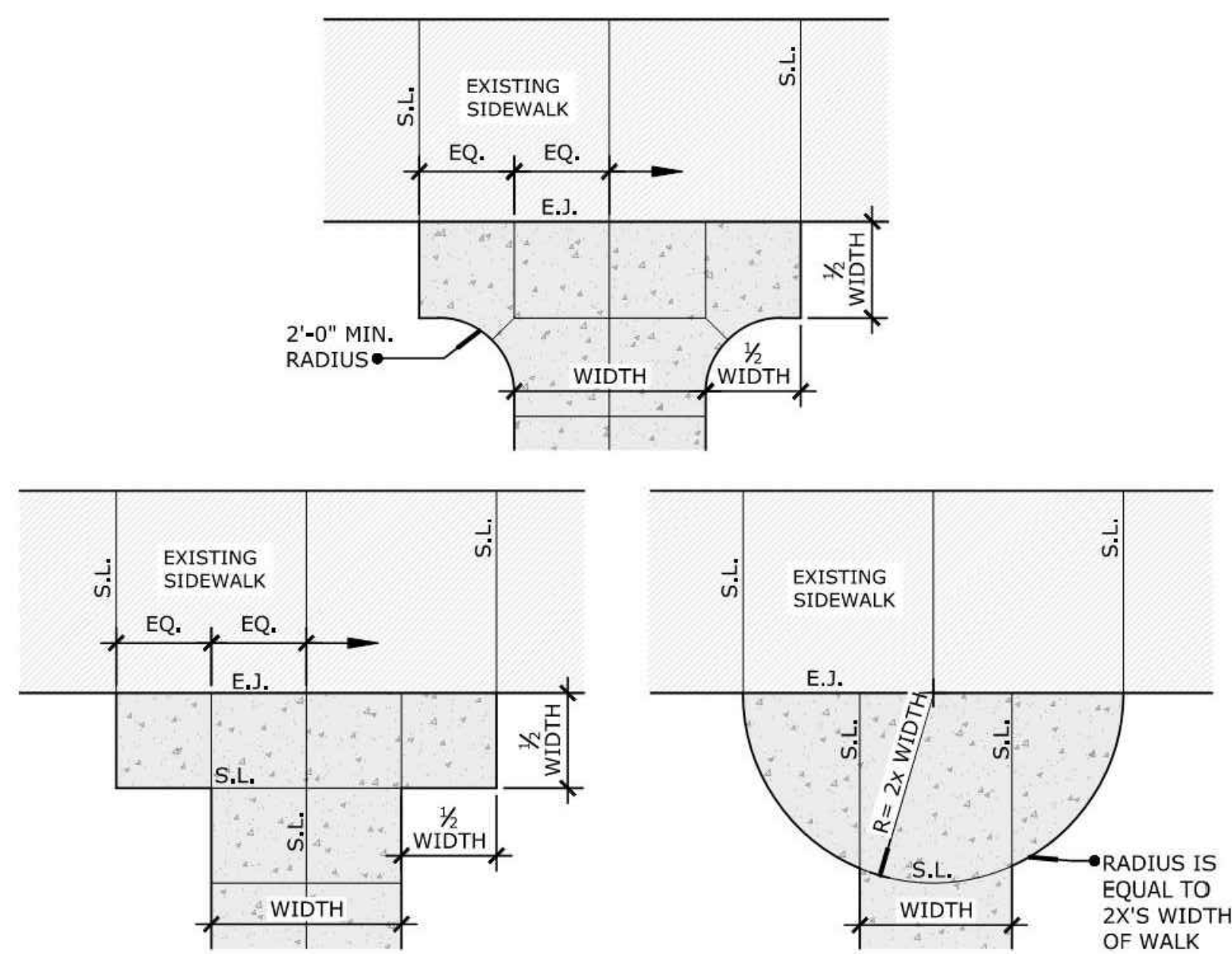
WALK INTERSECTION SCORELINE PATTERNS

SCALE: 1/4" = 1'-0"



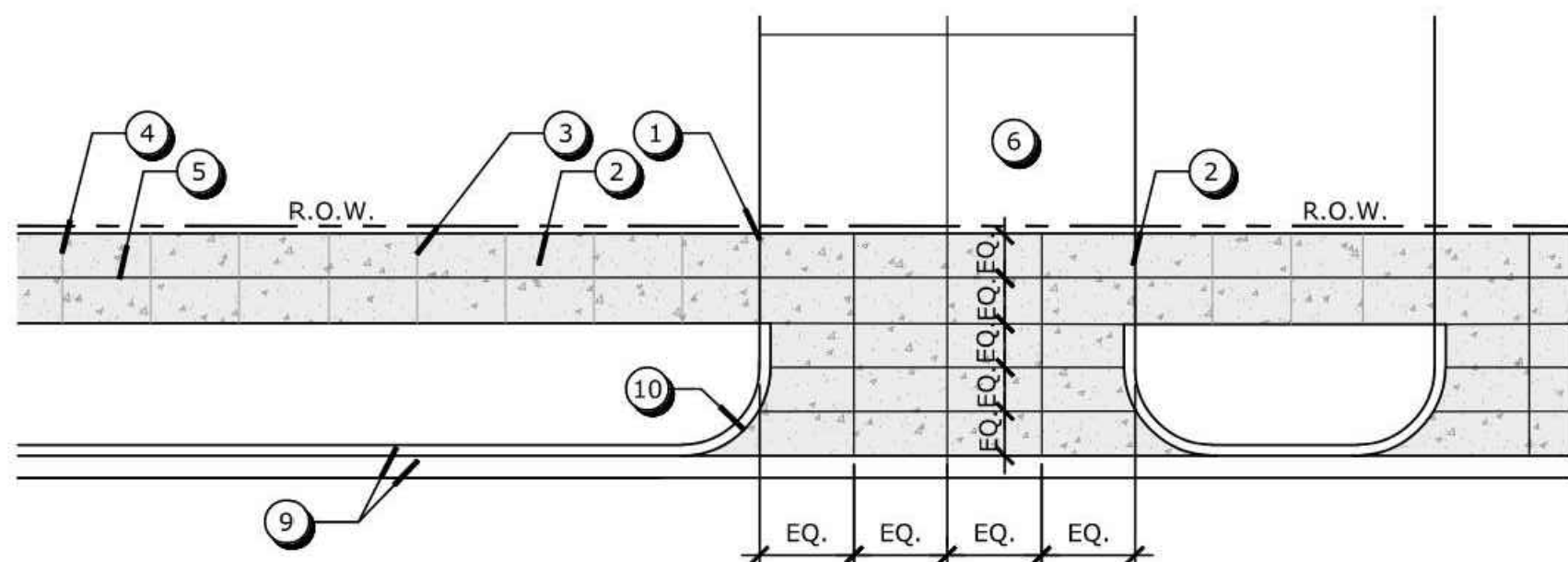
EDGE OF CONCRETE

SCALE: 3/4" = 1'-0"



WALK CONNECTIONS

SCALE: 1/4" = 1'-0"



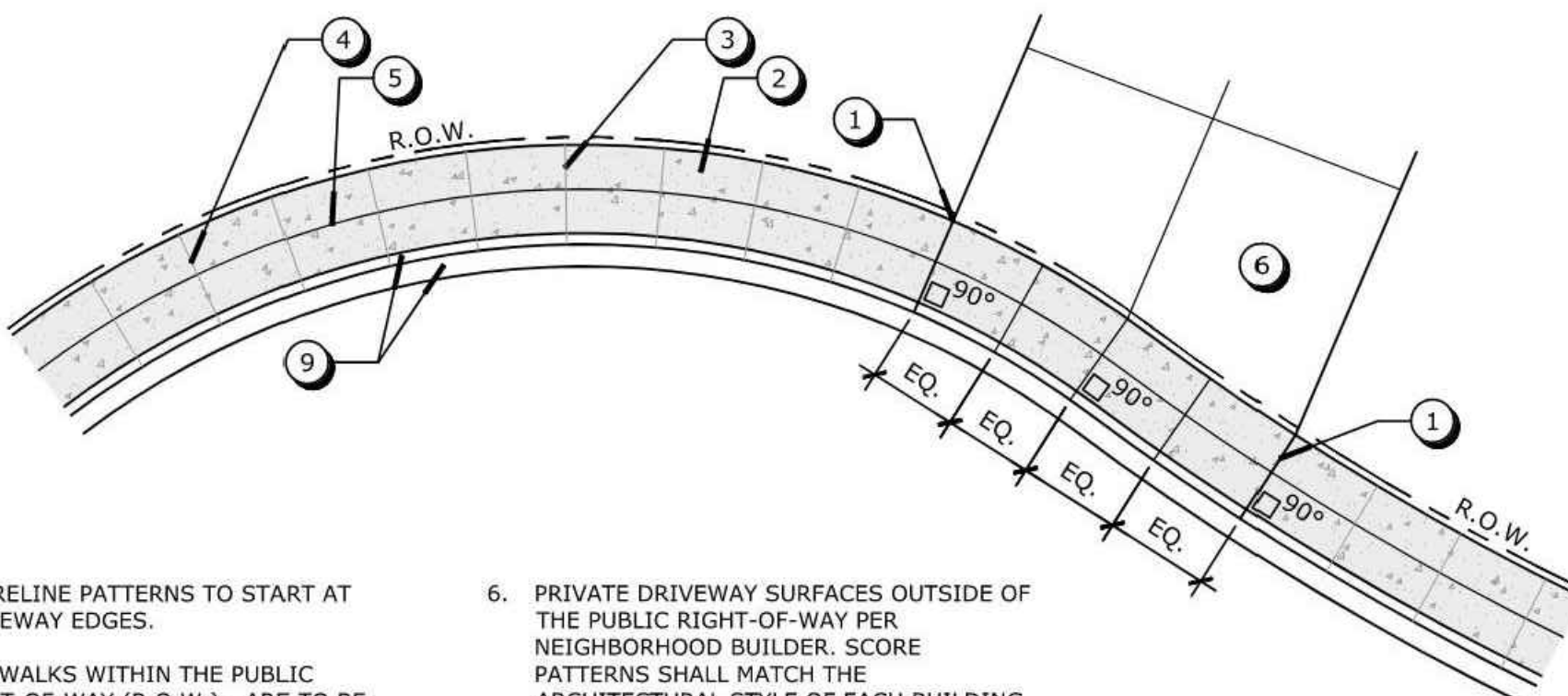
NOTES:

- SCORELINE PATTERNS TO START AT DRIVEWAY EDGES.
- SIDEWALKS WITHIN THE PUBLIC RIGHT-OF-WAY (R.O.W.) - ARE TO BE CONSTRUCTED OFF OF CIVIL ENGINEER'S PLANS; IN ACCORDANCE WITH O.C.P.W. STANDARDS PLANS STD. 1204, STD. 1205, AND GEOTECHNICAL SOILS ENGINEER'S RECOMMENDATIONS.
- SIDEWALK JOINTS TO OCCUR EVENLY SPACED AT 5'-0" MAX. REFER TO O.C.P.W. STANDARDS PLANS STD. 1204, STD. 1205, AND GEOTECHNICAL SOILS ENGINEER'S RECOMMENDATIONS.
- JOINTS TO BE 1" MIN. DEPTH TOOLED WITH 1/8" RADIUS EDGER PER O.C.P.W. STANDARDS PLANS STD. 1205.
- SIDEWALK CENTERLINE SCORE LINE. 1/8" WIDE SAWCUT SCORE LINE. 1" MIN. DEPTH.
- PRIVATE DRIVEWAY SURFACES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY PER NEIGHBORHOOD BUILDER. SCORE PATTERNS SHALL MATCH THE ARCHITECTURAL STYLE OF EACH BUILDING ELEVATION.
- DRIVEWAYS NARROWER THAN 15'-0" IN WIDTH; REDUCE WALK AND DRIVEWAY APPROACH SCORELINE PATTERN TO THREE (3) EQUAL MODULES.
- DRIVEWAYS WIDER THAN 18'-0" IN WIDTH; INCREASE WALK AND DRIVEWAY APPROACH SCORELINE PATTERN TO FIVE (5) EQUAL MODULES. THE MAXIMUM JOINT SPACING SHALL NOT EXCEED 5'-0" PER O.C.P.W. STANDARDS PLANS STD. 1204.
- CURB AND GUTTERS WEAKENED PLAN JOINTS PER O.C.P.W. STANDARDS PLANS STD. 1205.
- CURB RETURN RADIUS PER LADERA RANCH ALTERNATIVE DEVELOPMENT STANDARD #A-11.
- 'ZIPSTRIPS' ARE NOT TO BE USED AT WEAKENED PLANE JOINTS

THIS DETAIL IS FOR SCORE LINE REFERENCE ONLY.

NEIGHBORHOOD SIDEWALK DETAIL

SCALE: 1/8" = 1'-0"



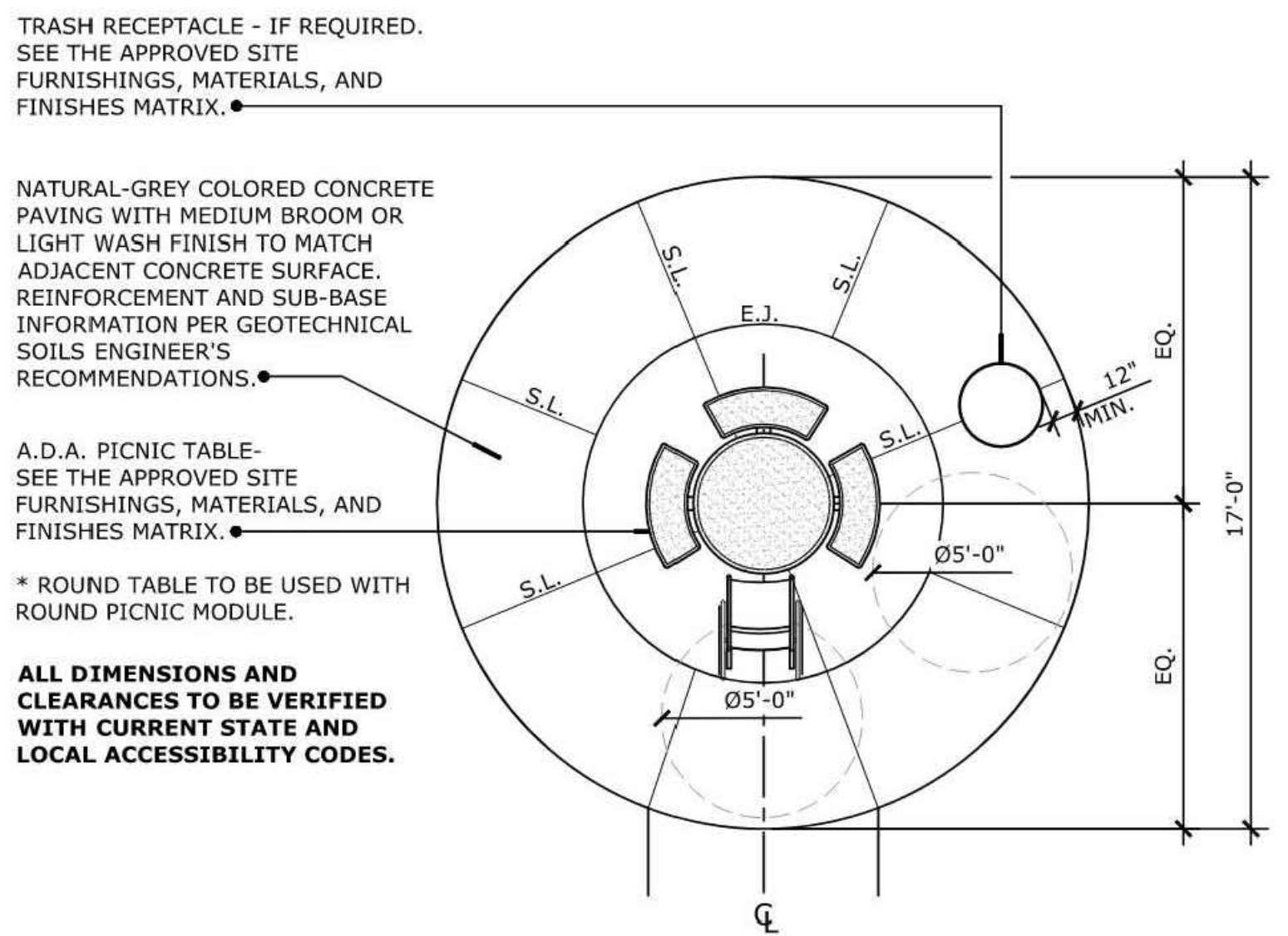
NOTES:

- SCORELINE PATTERNS TO START AT DRIVEWAY EDGES.
- SIDEWALKS WITHIN THE PUBLIC RIGHT-OF-WAY (R.O.W.) - ARE TO BE CONSTRUCTED OFF OF CIVIL ENGINEER'S PLANS; IN ACCORDANCE WITH O.C.P.W. STANDARDS PLANS STD. 1204, STD. 1205, AND GEOTECHNICAL SOILS ENGINEER'S RECOMMENDATIONS.
- SIDEWALK JOINTS TO OCCUR EVENLY SPACED AT 5'-0" MAX. REFER TO O.C.P.W. STANDARDS PLANS STD. 1204, STD. 1205, AND GEOTECHNICAL SOILS ENGINEER'S RECOMMENDATIONS.
- JOINTS TO BE 1" MIN. DEPTH TOOLED WITH 1/8" RADIUS EDGER PER O.C.P.W. STANDARDS PLANS STD. 1205.
- SIDEWALK CENTERLINE SCORE LINE. 1/8" WIDE SAWCUT SCORE LINE. 1" MIN. DEPTH.
- PRIVATE DRIVEWAY SURFACES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY PER NEIGHBORHOOD BUILDER. SCORE PATTERNS SHALL MATCH THE ARCHITECTURAL STYLE OF EACH BUILDING ELEVATION.
- DRIVEWAYS NARROWER THAN 15'-0" IN WIDTH; REDUCE WALK AND DRIVEWAY APPROACH SCORELINE PATTERN TO THREE (3) EQUAL MODULES.
- DRIVEWAYS WIDER THAN 18'-0" IN WIDTH; INCREASE WALK AND DRIVEWAY APPROACH SCORELINE PATTERN TO FIVE (5) EQUAL MODULES. THE MAXIMUM JOINT SPACING SHALL NOT EXCEED 5'-0" PER O.C.P.W. STANDARDS PLANS STD. 1204.
- CURB AND GUTTERS WEAKENED PLAN JOINTS PER O.C.P.W. STANDARDS PLANS STD. 1205.
- CURB ADJACENT WALK TO OCCUR AT END OF CUL-DE-SAC CONDITIONS ONLY WHEN DRIVEWAY APPROACHES AND/OR UTILITIES INTERFERE WITH CURB-SEPARATED WALKS. CURB-ADJACENT WALK LOCATIONS MUST BE APPROVED BY RMV DESIGN REVIEW COMMITTEE. USE COUNTY OF ORANGE STANDARD PLAN STD. 1209, SHEET 2 OF 5 (MODIFIED) FOR ALL CURB-ADJACENT DRIVEWAY APPROACHES.
- 'ZIPSTRIPS' ARE NOT TO BE USED AT WEAKENED PLANE JOINTS

THIS DETAIL IS FOR SCORE LINE REFERENCE ONLY.

NEIGHBORHOOD SIDEWALK DETAIL

SCALE: 1/8" = 1'-0"



TRASH RECEPTACLE - IF REQUIRED. SEE THE APPROVED SITE FURNISHINGS, MATERIALS, AND FINISHES MATRIX.

NATURAL-GREY COLORED CONCRETE PAVING WITH MEDIUM BROOM OR LIGHT WASH FINISH TO MATCH ADJACENT CONCRETE SURFACE. REINFORCEMENT AND SUB-BASE INFORMATION PER GEOTECHNICAL SOILS ENGINEER'S RECOMMENDATIONS.

A.D.A. PICNIC TABLE- SEE THE APPROVED SITE FURNISHINGS, MATERIALS, AND FINISHES MATRIX.

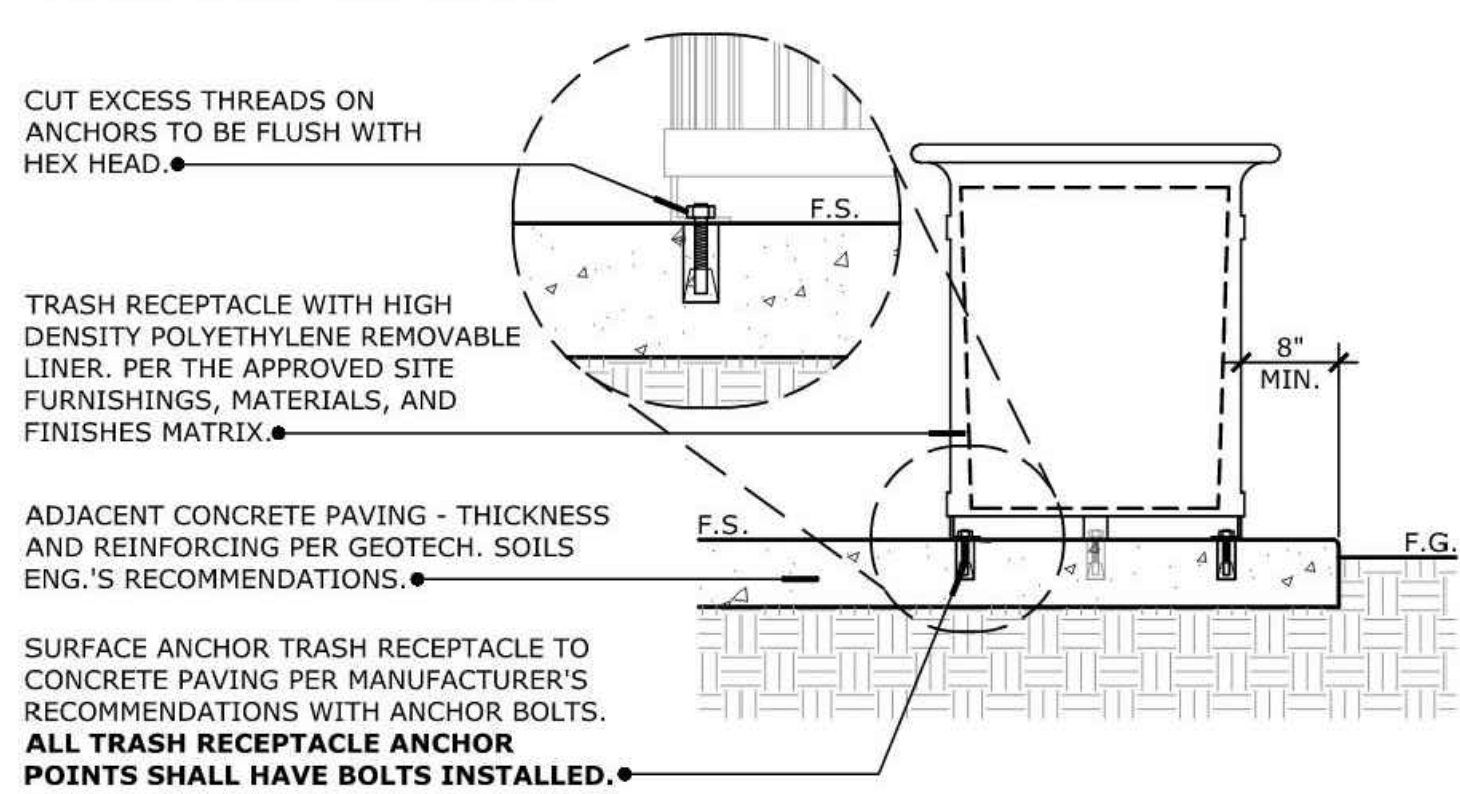
* ROUND TABLE TO BE USED WITH ROUND PICNIC MODULE.

ALL DIMENSIONS AND CLEARANCES TO BE VERIFIED WITH CURRENT STATE AND LOCAL ACCESSIBILITY CODES.

A.D.A. PICNIC MODULE (SMALL TABLE-ROUND)

SCALE: 1/4" = 1'-0"

NOTE: TRASH RECEPTACLE TO BE ORDERED BY GENERAL CONTRACTOR, CONTRACTOR TO ASSEMBLE AND SECURE TRASH RECEPTACLE TO CONCRETE WITH EXPANSION ANCHOR BOLTS PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL VERIFY BOLT SIZES AND LOCATION DIMENSIONS WITH ACTUAL TRASH RECEPTACLE ON-SITE PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE BOLTS IF NOT SUPPLIED BY TRASH RECEPTACLE MANUFACTURER.



CUT EXCESS THREADS ON ANCHORS TO BE FLUSH WITH HEX HEAD.

TRASH RECEPTACLE WITH HIGH DENSITY POLYETHYLENE REMOVABLE LINER. PER THE APPROVED SITE FURNISHINGS, MATERIALS, AND FINISHES MATRIX.

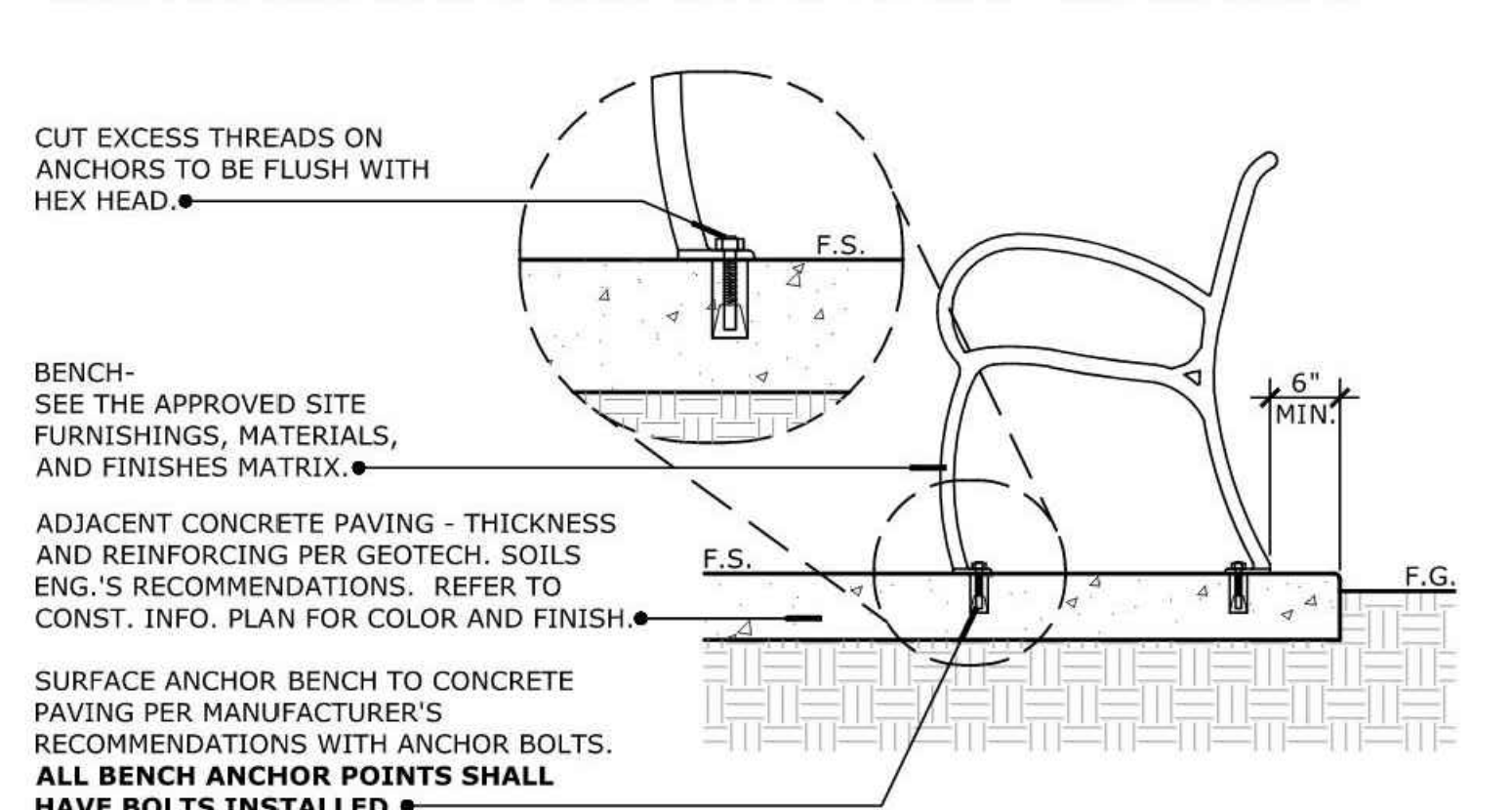
ADJACENT CONCRETE PAVING - THICKNESS AND REINFORCING PER GEOTECH. SOILS ENG.'S RECOMMENDATIONS.

SURFACE ANCHOR TRASH RECEPTACLE TO CONCRETE PAVING PER MANUFACTURER'S RECOMMENDATIONS WITH ANCHOR BOLTS. ALL TRASH RECEPTACLE ANCHOR POINTS SHALL HAVE BOLTS INSTALLED.

TRASH RECEPTACLE

SCALE: 3/4" = 1'-0"

NOTE: BENCH TO BE ORDERED BY GENERAL CONTRACTOR, CONTRACTOR TO ASSEMBLE AND SECURE BENCH TO CONCRETE WITH EXPANSION ANCHOR BOLTS PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL VERIFY BOLT SIZES AND LOCATION DIMENSIONS WITH ACTUAL BENCH ON-SITE PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE BOLTS IF NOT SUPPLIED BY BENCH MANUFACTURER.



CUT EXCESS THREADS ON ANCHORS TO BE FLUSH WITH HEX HEAD.

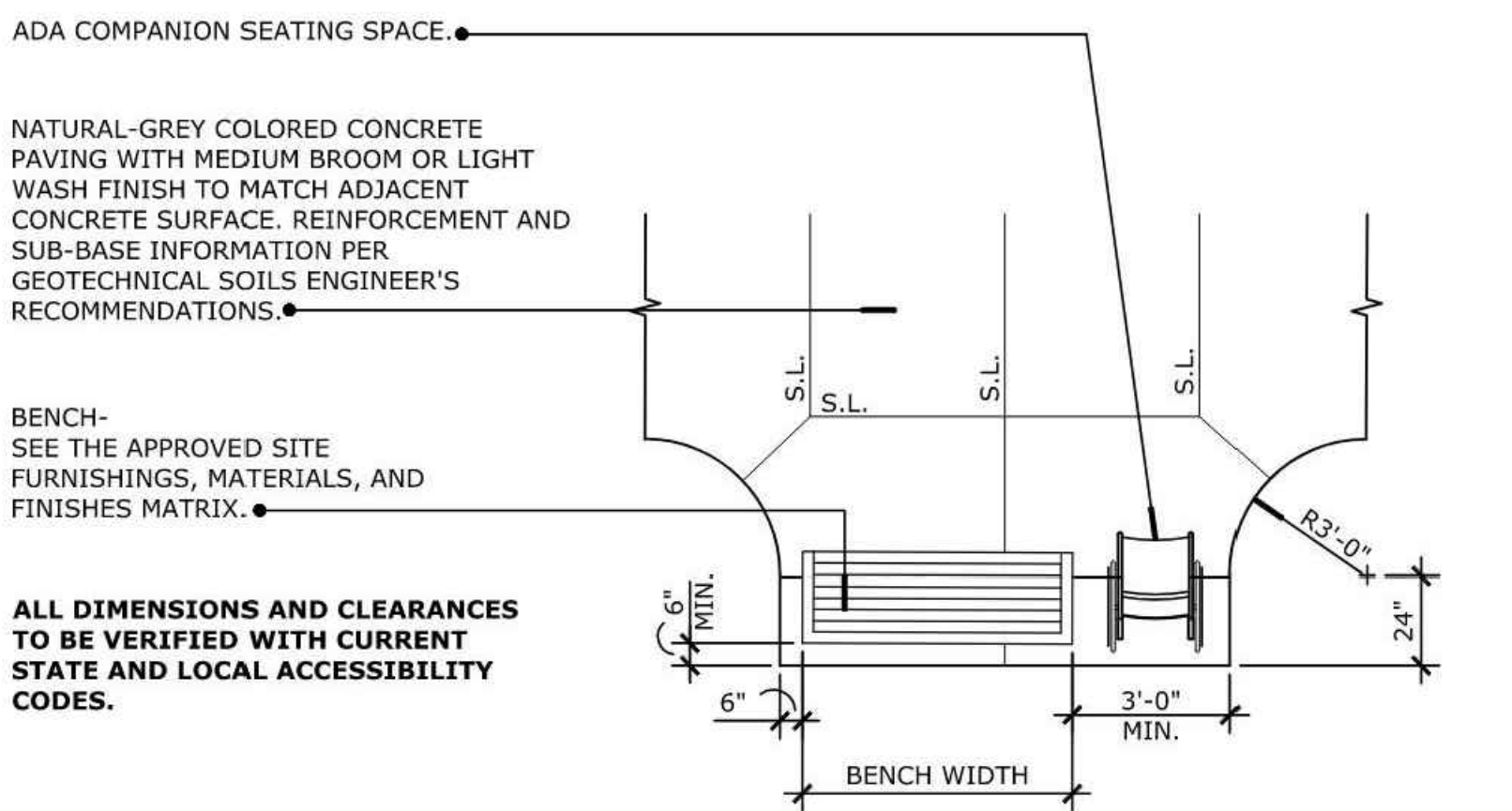
BENCH- SEE THE APPROVED SITE FURNISHINGS, MATERIALS, AND FINISHES MATRIX.

ADJACENT CONCRETE PAVING - THICKNESS AND REINFORCING PER GEOTECH. SOILS ENG.'S RECOMMENDATIONS. REFER TO CONST. INFO. PLAN FOR COLOR AND FINISH.

SURFACE ANCHOR BENCH TO CONCRETE PAVING PER MANUFACTURER'S RECOMMENDATIONS WITH ANCHOR BOLTS. ALL BENCH ANCHOR POINTS SHALL HAVE BOLTS INSTALLED.

BENCH TIE DOWN ON CONCRETE

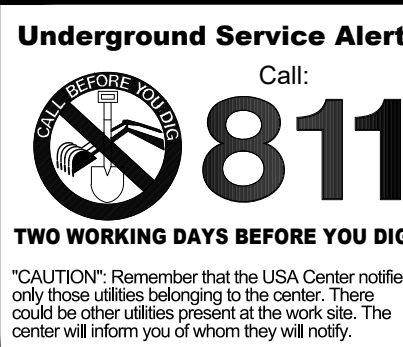
SCALE: 3/4" = 1'-0"



BENCH PAD LAYOUT WITH A.D.A. COMPANION SEATING

SCALE: 1/4" = 1'-0"

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.



CONSTRUCTION DETAILS

SHEET TITLE:

PROJECT CLIENT: RENDIA: MR37 PRODUCTION
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

REVISIONS
STEP 3 SUB. 05-01-2020
STEP 3.1 SUB. 07-14-2020
1ST SDP SUB. 09-30-2020
STEP 4 SUB. 10-09-2020
2ND SDP SUB. 01-06-2021
STEP 5 SUB. 01-15-2021
1ST CTY. SUB. 01-29-2021
3RD SDP SUB. 02-09-2021
4TH SDP SUB. 03-09-2021

DRAWN: KB
APPROVED: JP
PLOT DATE: 03/15/2021
JOB NO.: 19-058
SCALE: SEE SHEET

SHEET 09 OF 30

APPROVED DEVIATIONS OR
ALTERNATIVE DEVELOPMENT
STANDARDS: NONE

PLANS PREPARED BY:
GMP, INC.
4010 SORRENTO VALLEY BLVD, SUITE 200
SAN DIEGO, CA 92121
858.558.8977

ASSOCIATED CONDITIONS OF APPROVAL:

10. Contractor shall have a valid contractors license required for the particular work being done. Contractor shall not allow the license(s) to lapse during the contract period.

NO PLANTS IDENTIFIED BY THE CALIFORNIA EXOTIC PEST PLANT COUNCIL AS AN INVASIVE RISK IN SOUTHERN CALIFORNIA ARE INCLUDED IN THE PLAN.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY/COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION OR THE LANDSCAPE ARCHITECT.

THE RANCHO MISSION VIEJO LANDSCAPE STANDARDS REQUIREMENTS SHALL TAKE PRECEDENCE OVER THE APPROVED LANDSCAPE PLANS. SHOULD A DISCREPANCY OCCUR BETWEEN ANY NOTES, SPECIFICATIONS, DETAILS, SITE CONDITIONS OR OTHER SITUATION REGARDING THE INTERPRETATION OF CONSTRUCTION FROM THESE PLANS, THE APPLICABLE GOVERNING AGENCY'S DECISION SHALL BE FINAL.

7. THE DEVELOPER SHALL TELEPHONE THE PUBLIC FACILITIES & RESOURCES DEPARTMENT (714) 245-4550, AT LEAST 24 HOURS PRIOR TO STARTING.

john@gmplandarch.com

NOTE: THIS PROJECT IS
CLASSIFIED AS 'NEW
CONSTRUCTION'

SOILS TEST INFORMATION:

SOIL TYPE:
TEXTURE:

INFILTRATION RATE:

TEST PERFORMED BY:

REFERENCE GMU PROJECT
NUMBER:

SOILS TEST DATA WILL BE
MODIFIED AFTER GRADING
OPERATION. A SECOND TEST
WILL BE PERFORMED BY SOIL
AND PLANT LAB

SHEET INDEX:

PLANTING DETAILS

21 02

DATE _____

[Signature]

LLA 3503

SOILS REPORT NOTE:

THE LANDSCAPE CONTRACTOR SHALL PROVIDE FOR AND HAVE PERFORMED A SITE-SPECIFIC AGRONOMIC SOILS TEST REPORT ON SAMPLES TAKEN FROM AT LEAST FOUR (4) SEPARATE AREAS CONTAINED IN THIS PROJECT. THE SOILS TEST SHALL INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO GROUND COVER AREAS, TREE/SHRUB BACKFILL, AND HYDRO-MULCH FORMULA.

THE CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT AND COUNTY WITH ONE (1) COPY EACH OF SAID REPORT FOR REVIEW PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE SOIL ANALYSIS REPORT PER COUNTY OF ORANGE IRRIGATION CODE SECTION 2.3. THIS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE CERTIFICATION OF COMPLETION

THE CONTRACTOR SHALL PROVIDE DOCUMENTATION VERIFYING THE IMPLEMENTATION OF SOIL ANALYSIS AS REQUIRED. THIS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE CERTIFICATION OF COMPLETION.

NTS

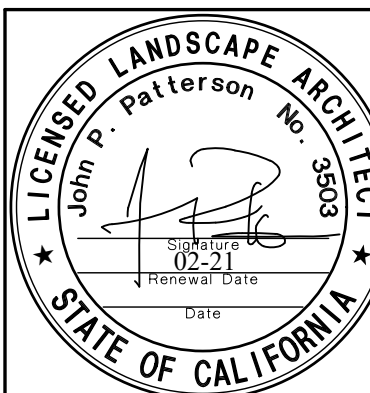


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EXOTIC PEST PLANT STATEMENT

THE LANDSCAPE ARCHITECT HEREBY CERTIFIES THAT NO PLANTS IDENTIFIED BY THE CALIFORNIA EXOTIC PEST PLANT COUNCIL AS AN INVASIVE RISK IN SOUTHERN CALIFORNIA ARE INCLUDED IN THIS PROJECT.

 4010 Sorrento Valley Blvd.
Suite 700
San Diego, CA 92121
gmplandarch.com
T 858 558 8977



SHEET TITLE:

TITLE SHEET

**RIENDA: MR37
MODELS**
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
San Jose, CA 95004

PROJECT/CLIENT:

REVISION:

STEP 3 SUB.	05-01-2020
STEP 3.1 SUB.	07-14-2020
1ST SDP SUB.	09-30-2020
STEP 4 SUB.	10-09-2020
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STEP 5 SUB.	01-15-2021
1ST CTY. SUB.	01-29-2021
3RD SDP SUB.	02-09-2021
4TH SDP SUB.	03-09-2021

DRAWN

APPROVE

PLOT DAT

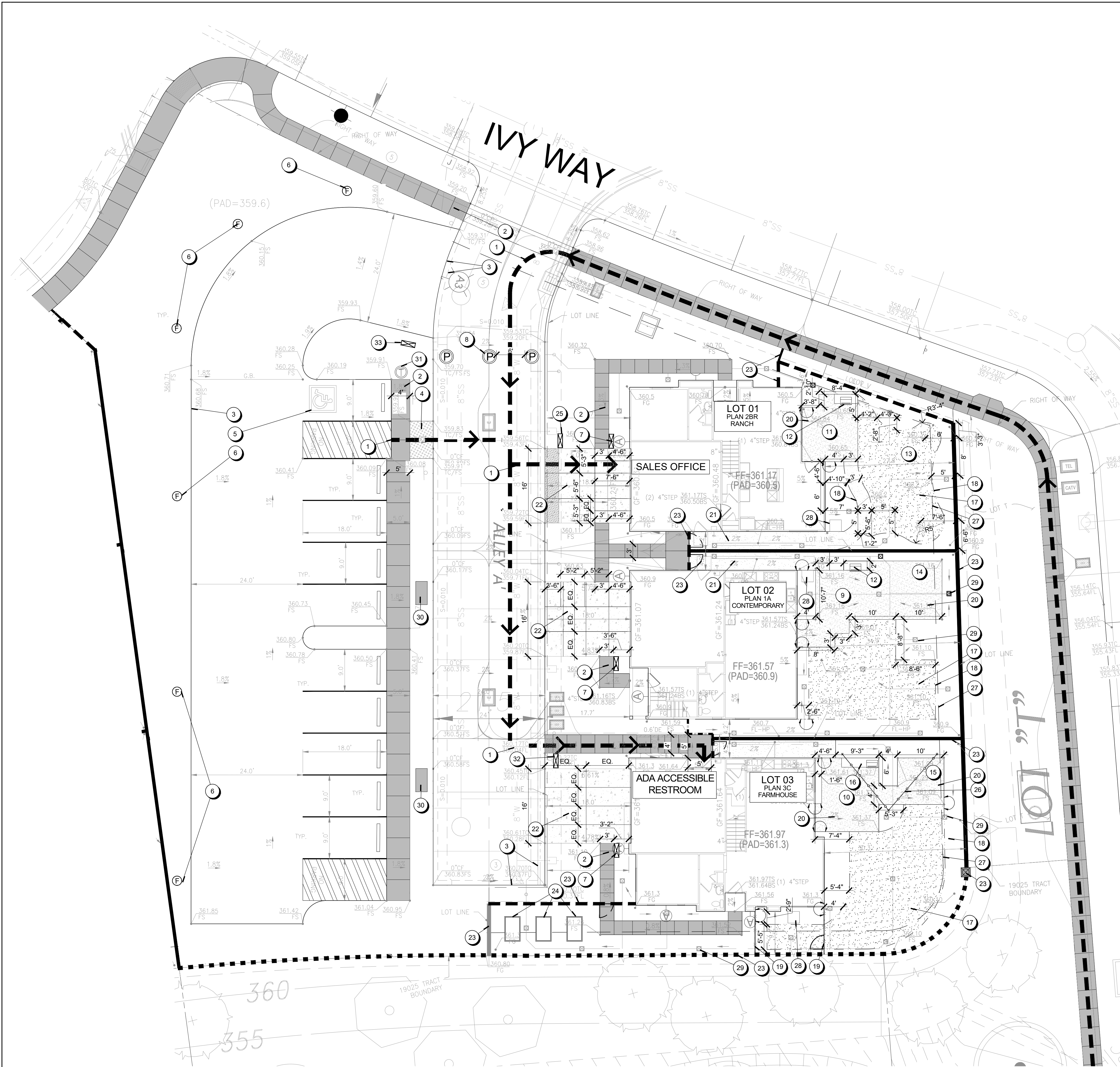
JOB NO.

SCALE

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TS-01

SHEET 01 OF 14



CONSTRUCTION LEGEND

- 1 ADA PATH OF TRAVEL
- 2 NEIGHBORHOOD SIDEWALK TO BE NATURAL GREY CONCRETE WITH TOP CAST #3 FINISH. REFER TO SITE PRODUCTION PLANS BY GMP.
- 3 CURB AND GUTTER PER CIVIL ENGINEER PLANS
- 4 TRUNCATED DOMES PER CIVIL ENGINEER PLANS
- 5 ADA PARKING
- 6 MODEL FLAGS PER SIGNAGE CONSULTANT (NON ILLUMINATED) 144-192 SQ FT
- 7 MODEL HOME SIGNAGE PER SIGNAGE CONSULTANT (NON ILLUMINATED) 15.75 SQ FT
- 8 PLANTER POTS TO BE TOURNESOL SITEWORKS AQUARIAN QCS-3600 GFRC. COLOR TO BE CARAMEL, FINISH TO BE NATURAL SAND. INSTALL MATCHING IRRIGATION INSERT CWC-2100/CWM-1720-2K. REFER TO PLANTING PLANS FOR PLANT MATERIAL. CONTACT JON WILLINGHAM 714-743-2973
- 9 TABLE TO BE MIXX 42" SQ AVAILABLE FROM ANOVA SITE FURNISHINGS (OR EQUAL). ITEM NO MIX2920T, COLOR TO BE FRAME: TEXTURED BRONZE, THERMORY SLAT COLOR: THERMORY HORIZONTAL. ASSOCIATED STOOLS TO BE MIXX THERMORY STOOLS, ITEM NO MIX2927T, COLOR FRAME: TEXTURED BRONZE, SLAT COLOR: THERMORY HORIZONTAL. CONTACT COREY PHILLIPS 949-285-0433
- 10 TABLE TO BE 6FT NATURAL REDWOOD FARMHOUSE TABLE (OR EQUAL), AVAILABLE FROM BEST REDWOOD. SQ CORNERS, 1910 NATURAL FINISH. ASSOCIATED BENCH SEATING MENDOCINO OUTDOOR REDWOOD BENCH 6FT, 1910 NATURAL FINISH. AVAILABLE FROM BEST REDWOOD. best-redwood.com
- 11 TABLE TO BE MIX AND MATCH FARMHOUSE 42 IN. SQUARE GALVANIZED STEEL OUTDOOR DINING TABLE (OR EQUAL) AVAILABLE FROM HAMPTON BAY, WITH ASSOCIATED SEATING. HamptonBay.com
- 12 BBQ CART TO BE DELTA HEAT 32-INCH STAINLESS STEEL GRILL CART WITH FRONT ACCESS DOORS - DHGB32-C (OR EQUAL) AVAILABLE FROM BBQS GALORE (SKU NO Z360183) . bbqgalore.com
- 13 HAMMOCK TO BE 10-1/2 FT. WOVEN MESH ARC HAMMOCK WITH STAND IN BEIGE (OR EQUAL) AVAILABLE FROM LEISURE SEASON. leisureseason.com
- 14 SEATING TO BE POTSDAM PATIO CHAIR WITH SUNBRELLA CUSHIONS (OR EQUAL) AVAILABLE FROM ALL MODERN. allmodern.com
- 15 SEATING TO BE HEATON TEAK WOOD ADIRONDACK CHAIR (OR EQUAL) AVAILABLE FROM CAMBRIDGE CASUAL. cambridge-casual.com
- 16 BBQ COUNTER
- 17 SYNTHETIC TURF TO BE 'PEDIGREE' FROM EASY TURF (GF-PET). INSTALL PER MANUFACTURERS RECOMMENDATIONS. CONTACT NICK JENSEN 714-606-0564
- 18 COMPOSITE WOOD HEADER
- 19 42" TUBE STEEL GATE AND FENCE
- 20 INTEGRAL COLOR CONCRETE, COLOR TO BE xxx WITH TOP CAST #3 FINISH
- 21 NON STABILIZED DECOMPOSED GRANITE, COLOR TO BE DESERT GOLD. AVAILABLE FROM SOUTHWEST BOULDER AND STONE. southwestboulder.com
- 22 DRIVEWAY PER CIVIL ENGINEER PLANS, SCORELINE PATTERNS PER LANDSCAPE PLAN
- 23 NEIGHBORHOOD SIDEYARD WALL AND FENCE PER SEPARATE FENCE AND WALL PLAN BY GMP
- 24 RAISED GARDEN BEDS
- 25 MODELS COMPLEX SALES OFFICE SIGNAGE BY OTHERS (NON ILLUMINATED) 3 SQ DFT
- 26 BISTRO LIGHTS AND POSTS
- 27 PROPERTY SETBACK LINE PER CIVIL ENGINEERS PLANS
- 28 AC UNITS PER ARCHITECT
- 29 LANDSCAPE AREA DRAIN, PER CIVIL ENGINEER
- 30 CONCRETE STEPPER TO BE NATURAL GREY CONCRETE WITH TOP CAST #3 FINISH
- 31 TRASH RECEPCTACLE: REFER TO SITE FURNISHINGS MATRIX FOR SPEC
- 32 MODELS RESTROOM SIGNAGE BY OTHERS (NON ILLUMINATED) 1.83 SQ FT
- 33 MODELS PARKING SIGNAGE BY OTHERS (NON ILLUMINATED) 18 SQ FT

DETAIL

6/LC-03

8/LC-03

7/LC-03

2/LC-03

10/LC-03

4/LC-03

5/LC-03

11/LC-03

9/LC-03

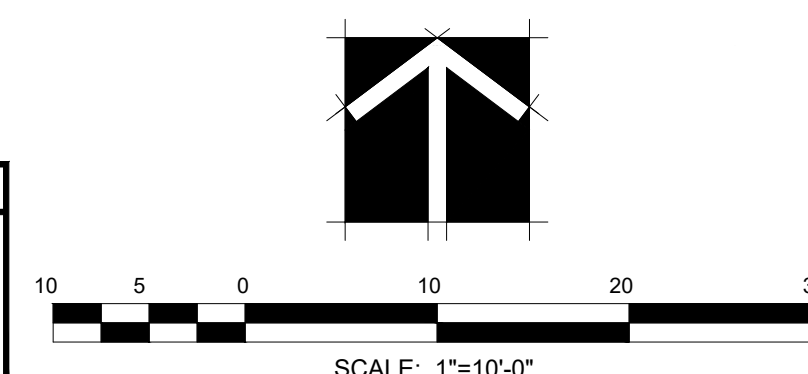
3/LC-03

1/LC-03

CD-27/LC-03

PA20-0048 / TR 17931

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.



Underground Service Alert
Call: **811**
TWO WORKING DAYS BEFORE YOU DIG
CAUTION: Nonmember from the USA Center neither only those utilities belonging to the center. They could be other utilities present at the work site. The center will inform you of whom they will notify.

DRAWN: KS
APPROVED: JH
PLOT DATE: 05/04/2020
JOB NO: 19-048
SCALE: SEE SHEET
LC-01

FILE NAME: G:\19-PROJECTS\19-058-00\LANDARCH\CDs\CD-MODELS\19-058_CSHT.DWG

Approved Site Furnishings Matrix - Master and Sub-Association Pocket Parks, Trails & Common Areas

Site Furnishings						
Item	Model	Manufacturer	Color and Finish	Size	Available From	Notes
Pet Waste Station Components	JB008-BLACK - Dispenser SEN-10G-BLACK - Can JB-SPB - Post	Zero Waste USA	Black	Single pull dispenser 10 gallon receptacle Square Post	Zero Waste USA	Post to be painted Sherwin Williams SW 6994 "Greenblack", Allow 8 weeks min. lead time for orders and delivery.
Vinyl Vine Trellis	Cottage Wall Trellis HN-DU021	Dura-Trel	White	35"L by 64" H	Hay Needle	Available from hay needle. Contact sales 1-866-530-4155. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Vinyl Vine Trellis	Cottage Wall Trellis HN-DU087	Dura-Trel	Mocha	22"L by 66" H	Hay Needle	Available from hay needle. Contact sales 1-866-530-4155. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Metal Vine Trellis	Danbury Metal Trellis HN-PSM330	Belham Living	Black	39"L by 70" H	Hay Needle	Available from hay needle. Contact sales 1-866-530-4155. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Pedestrian Pole Light (Omega Series)	1A-1521LED-R-3ARC30T(**)-MDL03-SV1/6236UHPM(MOD)/9114P5/PC/DB. (##) MOD:REMOVE SCROLL AND BALL FROM ARM. **Distribution type as needed ## House side shield as needed	Sternburg Lighting	Dark Bronze	14'-0" Pole	STERNBERG LIGHTING	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Parking Pole Light (Omega Series)	1A-1527LED-R-4ARC30T(**)-MDL03-SV1/6236UHPM(MOD)/9118P5/PC/DB. (##) MOD:REMOVE SCROLL AND BALL FROM ARM. **Distribution type as needed ## House side shield as needed	Sternburg Lighting	Dark Bronze	18'-0" Pole	STERNBERG LIGHTING	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Recessed Accent Light	T-183 Mini Flat Glass Deck Light	TRAA Lite	Black		TRAA Lite	Required to be used in pocket parks and any HOA common areas. Install and anchor per mfg.'s recommendations.
String Light, Wet Location	CALI Light# ML2000-24"LED2.4K with FILAMENT-WET-HARDWIRE-120V. 2.5W/ bulb 2400K color temp.	CALI Light	Black		CALI Light	LED bulbs to have a filament. Bulb spacing to be 24", strands to be spaced 3'-0" apart. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Tree Up Light	GEMZ-LV	Techlight	Black		Techlight	Required to be used in pocket parks and any HOA common areas. Install and anchor per mfg.'s recommendations.
Bollard Light	Fixture# CB24 Source: 15L (IES Type III) 3k Color Temperature UV range from 120V-22V	Kim Lighting	Dark Bronze	24" H by 5" Dia.	Kim Lighting	To be used in HOA common areas only. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Adirondack	4 Slat Flat	Loll Trade	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	35"L by 64" H	Loll Trade	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Adirondack	4 Slat Flat - Tall	Loll Trade	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	35"L by 64" H	Loll Trade	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Mailbox	Jayco 1570 CBU-* Cap:Jayco Vogue Classic Decorative Cap Post:Jayco Vogue Classic Post Wrap Standard Placards *Distribution type as needed	Jayco Industries	Dark Bronze	Varies per CBU configuration	Jayco Industries	Install per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Equal substitutions may be submitted for DRC review and Approval.

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July 16, 2019 - Revised December 15, 2020

Approved Materials and Finishes Matrix - Master and Sub-Association Pocket Parks, Trails & Common Areas

Materials and Finishes						
Item	Product Type	Model	Manufacturer	Color	Finish	Notes
Concrete Paving	Concrete	n/a	n/a	Natural Grey	Medium Wash	Private residence driveways & front walks: Scorelines to reflect the architectural character of each home. Pocket parks & trails: Scorelines per approved details.
Cul-de-sac Pavers	Concrete Paver 80mm (For Vehicular Traffic)	Infinity Cobble I, II, and III.	Olsen Pavers	Color Mix: 50% Hazelnut 50% Skyfall	Tumbled with Skifer texture	Install and per mfg.'s recommendations. Refer to Civil plans. Allow 8 weeks min. lead time for orders and delivery.
Mortar (Pavers)	Mortar	n/a	n/a	Natural Grey	Flush	
Concrete Mow Curb	Concrete	n/a	n/a	Natural Grey	Light Broom Finish	Concrete mow curb to be scored every 4'-0", at all post locations, and at all changes in direction.
Wall Cap	8x2x12 MW Smooth Solid Precision Block Cap- Medium Weight	n/a	Angelus Block Company	Onyx, medium weight block	Flush	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Perimeter	8x6x24 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be 'raked'. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Radius Wall Condition. From B.C.R. to E.C.R. of Wall.	8x6x16 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be 'raked'. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Retaining Portion of Slough and Retaining Walls.	8x6x16 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be 'raked'. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Pilaster Block	16x6x16 Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be 'raked'. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Pilaster Cap	8x2x16 MW Smooth Solid Precision Block Cap- Medium Weight	n/a	Angelus Block Company	Onyx, medium weight block	Flush	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Block Wall Side yard	6x6x24 MW Smooth Precision Block- Medium Weight	n/a	Angelus Block Company	Greystone, medium weight block	Bed (horizontal) joints shall be 'raked'. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Mortar	Mortar	Spec Mix W/R Mortar	Angelus Block Company	Spec Mix Color #236	Bed (horizontal) joints shall be 'raked'. Head (vertical) joints shall be flush with the block.	Available from: Angelus Block Company, 1705 N. Main Street Orange CA 92865. Contact Stephen Pierret 1-714-637-8594.
Tubular Steel Fence and Components	Paint	SW 7020 "Black Fox"	Sherwin Williams	SW 7020 "Black Fox"	Eggshell	
Wood/ Vinyl Fence	Paint/ Vinyl Color	n/a	n/a	Color to be submitted to RMV for approval. Color to complement adjacent architecture	Eggshell	

M-3

July 16, 2019 - Revised December 15, 2020

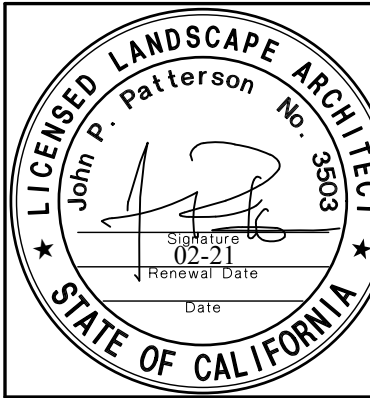
Approved Site Furnishings Matrix - Master and Sub-Association Pocket Parks, Trails & Common Areas

Site Furnishings						
Item	Model	Manufacturer	Color and Finish	Size	Available From	Notes
Built-in BBQ (Enclosure by others)	1500 Natural Gass Grill with ADAKIT	Lynx	Standard stainless steel	36"	Lynx	To be installed with Accessible option kit Model ADAKIT. Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Pedestal BBQ	#630 In Grade Mounting	L.A. Steelcraft	BBQ to be Black. Post to be black powder coat-factory option post color.	20"W by 15"D	Coast Recreation Inc.	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Winchester Bench	W11112C, Six foot Backed Bench w/ Arms and Slat pattern. Surface anchored with mounts 4088.	Urbanscapes	Bench color to be standard powder-coat color 'Smoke' with faux wood slats 'Weathered'.	72" Long	Wabash Valley	To be ordered with optional surface mounts 4088. Anchor to paving per manufacturer's recommendations. Allow 10-12 weeks min. lead time for orders and delivery.
Dewart Bench	DE113C, Six foot Backed Bench w/ Arms and Slat pattern. Surface anchored with mounts 4088.	Urbanscapes	Bench color to be standard powder-coat color 'Smoke'.	72" Long	Wabash Valley	To be ordered with optional surface mounts 4088. Anchor to paving per manufacturer's recommendations. Allow 10-12 weeks min. lead time for orders and delivery.
Trash Receptacle 32 Gallon	MT3-32 Midtown	Keystone Ridge	Charcoal-RAL 7022	32 Gallon	Keystone Ridge	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Trash Receptacle Wildlife Resistant	BPRT1-36	Pilot Rock	Brown powder coat	36 Gallon	Pilot Rock	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Square Table	Custom Table File No: 132478-7	Quick Crete	Concrete color to be Arroyo P9-T7. Acid etch finish with matte sealer.	76"W by 72"L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Square Table with ADA Companion Space	Custom Table File No: 132478-11	Quick Crete	Concrete color to be Arroyo P9-T7. Acid etch finish with matte sealer.	76"W by 72"L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Dia. Round Table	Custom Table File No: 132478-1	Quick Crete	Concrete color to be Arroyo P9-T7. Acid etch finish with matte sealer.	71" Dia.	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
42" Dia. Round Table with ADA Companion Space	Custom Table File No: 132478-5	Quick Crete	Concrete color to be Arroyo P9-T7. Acid etch finish with matte sealer.	71" Dia.	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
96" ADA Picnic Table	Custom Table File No: 131478-4	Quick Crete	Concrete color to be Arroyo P9-T7. Acid etch finish with matte sealer.	70"W by 96" L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
72" Picnic Table	Custom Table File No: 131478-3	Quick Crete	Concrete color to be Arroyo P9-T7. Acid etch finish with matte sealer.	70"W by 72" L	Quick Crete	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery.
Fire Pit - Block Quadra	Fuel: Natural Gas Size: Varies To be ordered with electronic ignition system	Hart Concrete Design	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	Size to be selected by Neighborhood Builder	Hart Concrete Design	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Refer to fire pit detail and fire pit control post detail. Reference table of contents for page number.
Fire Pit - Block Plaza	Fuel: Natural Gas Size: Varies To be ordered with electronic ignition system	Hart Concrete Design	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	Size to be selected by Neighborhood Builder	Hart Concrete Design	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Refer to fire pit detail and fire pit control post detail. Reference table of contents for page number.
Fire Pit - Block Infinity	Fuel: Natural Gas Size: Varies To be ordered with electronic ignition system	Hart Concrete Design	Color to be selected by Neighborhood Builder. Color shall be submitted to DRC for review and approval.	Size to be selected by Neighborhood Builder	Hart Concrete Design	Install and anchor per mfg.'s recommendations. Allow 8 weeks min. lead time for orders and delivery. Refer to fire pit detail and fire pit control post detail. Reference table of contents for page number.

M-1

July 16, 2019 - Revised December 15, 2020

4000, Scenic Valley Blvd.
Suite 300
San Diego, CA 92121
gmp@landarch.com
T 858 558 8977

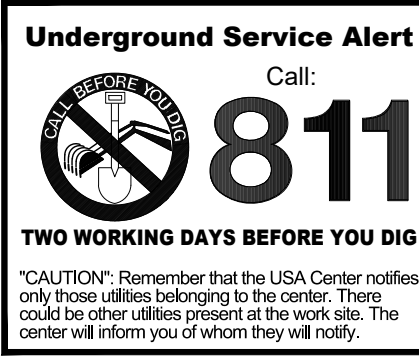


SHEET TITLE:
MATRIX & NOTES

PROJECT/CLIENT:
RIENDA: MR37 MODELS
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

REVISIONS:
STEP 3 SUB. 05-01-2020
STEP 3.1 SUB. 07-14-2020
1ST SDP SUB. 09-30-2020
STEP 4 SUB. 10-09-2020
2ND SDP SUB. 01-06-2021
STEP 5 SUB. 01-15-2021
1ST CTY. SUB. 01-29-2021
3RD SDP SUB. 02-09-2021
4TH SDP SUB. 03-09-2021

DRAWN: KS
APPROVED: JP
PLOT DATE: 05/04/2021
JOB NO: 19-058
SCALE: SEE SHEET



ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

LC-02

PA20-0048 / TR 17931

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Village Landscape Design Standards

shall be spotted under the direction of the landscape architect and neighborhood builders' representative.

- All turf and ground cover areas are to be cross ripped to a depth of six inches (6") both ways. Blend all amendments into the tilled soil to a depth of six inches (6").
- All landscape areas are to receive a weed abatement program after the topsoil is graded. Areas are to be watered for 10 days to stimulate weed growth. After this time the areas are to be sprayed with one application of non-selective herbicide per manufacturer's specifications and then plant material may be installed.
- The Neighborhood Builder is responsible to insure that all landscape areas have positive drainage to the street or collection devices. These grades or solutions must be reviewed and accepted by the landscape architect and contractor prior to any work.
- Any tree indicated on a plan should be considered diagrammatic. All local jurisdiction standards and specifications should be reviewed prior to planting.
- All required trees shall be a minimum 24" box size, unless otherwise noted.
- Linear root barriers shall be installed where trees occur within 5'-0" of any concrete flatwork, curb and gutter, utilities, structures, etc.
- Street trees are to be moved to the backside of the walk if a conflict occurs in the parkway. Builder is responsible for this.
- All required trees shall be a minimum 24" box size, unless otherwise noted.
- 15 gallon and 24" box trees are to be staked per details found in the Landscape and Irrigation Specifications Section.
- 36" box and larger trees are subject to review by the project Landscape Architect and installing Contractor to evaluate as to whether staking should occur.
- All trees in turf areas shall have a diameter of mulch the size of the tree box size maintained around the tree with a maximum diameter of 36".
- Turf areas in neighborhood pocket parks and parkways shall be sodded, 100 percent Paspalum unless otherwise noted and approved. Maximum slope - 5:1.

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Village Landscape Design Standards

- Turf areas in Master HOA parks and parkways shall be sodded Paspalum turf unless otherwise noted and approved. Maximum slope - 5:1.
- Shrub spacing shall be 75% of the ultimate growth width unless otherwise noted.
- All shrubs are to be planted one half the diameter of the ultimate size of the shrub away from any concrete flat work or curb.
- All plants shall be set in the center of the pit so that when it settles, the crown will be one inch (1") above the surrounding grade. Backfill with prepared soil, tamp and water thoroughly.
- All 1 gallon and flatted ground cover shall be triangularly spaced at the approved spacing for each species. Approved spacing dimensions can be found on the approved village landscape palette.
- All vines shall be installed with nursery stakes removed and vine runners espallered to the adjacent wall, fence or post per details found in the Landscape and Irrigation Specifications Section.
- Ground cover from flats and no more than 2" Shredded Mulch to be applied between trees and shrubs to cover the ground plane. In Master Association maintained areas "Walk on Bark" mulch is to be used as a ground cover only, at 2" depth. Sample is to be submitted to Master Developer's Landscape Architect for review and approval.
- Mulch shall be "TVI-Sendero Premium Mulch" 2" depth available from:
Terra Verde Industries (TVI)
7982 Irvine Blvd., Irvine, CA 92618
(949) 551-0363
- Upon completion, all extraneous material and debris shall be removed and all areas shall be broomed and washed clean.
- Thirty (30) days after installation, all landscape areas shall be fertilized with a commercial grade fertilizer as recommended per the soils report. Fertilizer application shall be continuous thereafter at monthly intervals.
- During the last 30 days of maintenance, the Neighborhood Builder is responsible for obtaining as-builts, controller charts and watering schedules from his landscape contractor. Three copies are to be submitted to LARMAC or the sub association and the maintenance contractor

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Procedures for Landscape Submittals and Transfers of Maintenance

Landscape Plan Submittals

Please refer to the Design Review portion of the Rancho Mission Viejo Design Guidelines for PA3 for all submittal and review requirements.

Transfer of Maintenance (Neighborhood Builder Master Maintenance Corporation Areas)

1. Initial Walk Through

A. The initial walk through is to take place at the end of the landscape and irrigation installation period, prior to the beginning of the maintenance period.

B. The Neighborhood Builder shall contact the Master Maintenance Corporation Management Representative to schedule the date, time and meeting place of the initial walk through. The Neighborhood Builder shall distribute a meeting notice and confirm that all required Attendees will be present.

Attendees:

- Installing Landscape Superintendent
- Neighborhood Builder
- Ultimate Landscape Maintenance Contractor
- Neighborhood Builder's Landscape Architect and Irrigation Designer
- Master Developer's Landscape Architectural consultant
- Master Maintenance Corporation Management Representative
- Master Developer representative (to be notified with option to attend)

C. The Neighborhood Builder's Landscape Architect is responsible to bring County approved landscape and irrigation plans to the initial walk through.

D. The Neighborhood Builder's Landscape Architect is to bring a Letter of Substantial Conformance confirming that the landscape and irrigation of the project have been installed per the original intent of the plans. There are to be no maintenance walks until everything has been installed.

E. A punch list is to be generated by the Neighborhood Builder's Landscape Architect and distributed to all walk through Attendees. The punch list is to

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Procedures for Landscape Submittals and Transfers of Maintenance

consist of a list of all items that are to be installed, repaired or replaced that have been agreed upon by the Master Maintenance Corporation Management Representative(s), Master Builder's Landscape Architectural consultant, the Neighborhood Builder's Landscape Architect and the installing Landscape Contractor.

F. In the event that there is any disagreement on the items that need to be installed, repaired or replaced, the Master Developer will act as the final arbitrator. The Master Maintenance Corporation Management Representative(s) is to notify the Master Developer with recommendations and assist them in determining whether or not to pursue those items that are in disagreement.

2. Punch List: Timing for Completion

A. The installing Landscape Contractor is responsible for ensuring that all punch list items are addressed before the next walk through.

B. When all punch list items have been completed, the Neighborhood Builder shall contact the Master Maintenance Corporation Management Representative(s) to schedule the date, time and meeting place of the next walk through. The Neighborhood Builder and/or landscape installation superintendent shall distribute a meeting notice and confirm that all required Attendees will be present. This interim walk is to occur 30 days prior to the end of the maintenance period.

3. Interim Walk Through

A. As noted above, the interim walk through is to take place once all punch list items have been addressed and 30 days prior to end of the maintenance period.

B. If during the interim walk through there are any items that have not been addressed or new items that appear, a new punch list is to be generated by the Master Landscape Architect and distributed to all walk through Attendees.

C. Once it is established that all punch list items have been addressed and completed, the Neighborhood Builder or his Landscape Architect shall prepare a written statement that all items have been completed. This statement is to be stamped and signed by the Neighborhood Builder's Landscape Architect and distributed to all attendees and the Master Developer.

D. If any items on the punch list cannot be corrected in a timely manner, the Master Maintenance Corporation Management Representative(s) must determine with the Neighborhood Builder and installing contractor what an acceptable time table is for the completion of each item.

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Procedures for Landscape Submittals and Transfers of Maintenance

4. Final Walk Through

A. This walk through is to take place at the end of the contracted maintenance period on either the 15th or last day of the month.

B. The Neighborhood Builder and shall contact the Master Maintenance Corporation Management Representative(s) to schedule the date, time and meeting place of the final walk through. The Neighborhood Builder shall distribute a meeting notice and confirm that all required Attendees will be present.

C. Attendees:

- Installing Landscape Superintendent
- Neighborhood Builder
- Ultimate Landscape Maintenance Contractor
- Neighborhood Builder's Landscape Architect and Irrigation Designer
- Master Developer's Landscape Architectural consultant
- Master Maintenance Corporation Management Representative(s)
- Master Developer's representative (to be notified with option to attend)

D. The delivery of the following items are to be verified and/or supplied to the RMV Community Development, LLC Representative prior to the final walk through.

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Procedures for Landscape Submittals and Transfers of Maintenance

GIS Deliverables Checklist	Builder	
	CAD	PDF
Mapping Information (Post Recordation)		
Tract Numbers / Boundaries	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parcels/Lots and Lot Numbers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Assessor Parcel Numbers for Common Areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Right-of-Ways	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Easements (Storm Drain, Utility, Access, Etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Shared Driveway Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Slope SBA and Front Yard SBA	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Master Maintenance Corporation Maintenance areas within r/w	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Grant deeds, Supplemental CC&R's and any other legal documents recorded for that tract/neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Improvement Plan Information (Post County Acceptance)		
Building Footprints, Plan #, Elevation Style, Color Scheme #	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Condominium Unit #	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Medians	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Curb and Gutter	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sidewalk	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lines-of-Sight	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Storm Drain, Catch Basins, Inlets	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewer and Water Improvements	<input checked="" type="checkbox"/>	<input type="checkbox"/>
OCCA Fire Master Plan w/ No Parking Sign Locations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Grading, Walls and Fences		
Walls and fences with surface type, height, maintenance responsibility	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Retaining Wall surface and sub-drain points of connection	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Buttress drain and outlet locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
v-ditch locations with inlet size and type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Common Area Landscape/Irrigation		
Irrigation Controller Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Water Meters with size and meter number	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Electric Meter Pedestals with meter number	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscape lighting, type with manufacture spec and warranty	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Street trees with size, type (multi vs standard), variety	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Community Trails, Paseos, Pocket Parks, Common Areas with amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>
All site amenity specifications, warranties and maintenance manuals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Open Space	<input type="checkbox"/>	<input type="checkbox"/>
Fuel Modification Zones, location of marker poles	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of all utilities, above and below ground. Pedestal location and service provided, with carrier name	<input checked="" type="checkbox"/>	<input type="checkbox"/>

L-7 July 16, 2019 - Revised December 15, 2020

Procedures for Landscape Submittals and Transfers of Maintenance

E. Upon completion of the final walk through and completion of the punch list items, the meters will be turned over to the Master Maintenance Corporation Management Representative(s) and the Master Maintenance Corporation Management Representative(s) will assume landscape maintenance for the area walked. The date the landscape maintenance will commence is to be confirmed by the Neighborhood Builder and installing landscape superintendent. Acceptable dates for turnovers are the first or the fifteenth of the month only.

A Maintenance Manual of all installed improvements in pocket parks or otherwise must be provided at this final walk before the area will be accepted for turnover. This should include all manual and warranty information for all products and furnishings.

F. The Master Maintenance Corporation Management Representative(s) is responsible for notifying RMV Community Development, LLC in writing of the date the Master Maintenance Corporation Management Representative assumed landscape maintenance and turnover of the meters. This notice of acceptance of maintenance will be issued after the Rancho MMC Board of Directors has accepted the area under a resolution of the Board at a duly called Open Session Board of Directors Meeting.

L-8 July 16, 2019 - Revised December 15, 2020

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

Underground Service Alert

Call: **811**

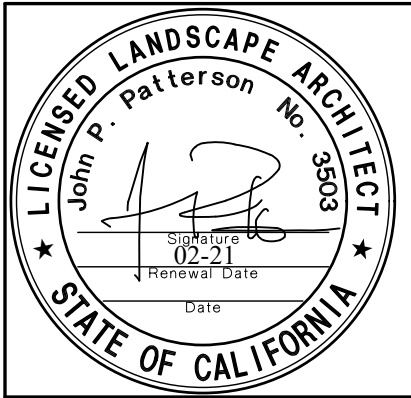
TWO WORKING DAYS BEFORE YOU DIG

CAUTION: Nonmember from the USA Center notifies only those utilities belonging to the center. They could be your utility partner for the work site. The center will inform you of whom they will notify.

4400 Serrano Valley Blvd.
Suite 300
San Diego, CA 92121
gmplandscape.com
T 858 558 8977

**LANDSCAPE
ARCHITECTURE
& PLANNING**

gmp



SHEET TITLE:

MATRIX & NOTES

PROJECT/CLIENT:

**RIENDA: MR37
MODELS**
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

REVISIONS	
STEP 3 SUB.	05-01-2020
STEP 3.1 SUB.	07-14-2020
1ST SDP SUB.	09-30-2020
STEP 4 SUB.	10-09-2020
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STEP 5 SUB.	01-15-2021
1ST CTY. SUB.	01-29-2021
3RD SDP SUB.	02-09-2021
4TH SDP SUB.	03-09-2021

DRAWN	KI
APPROVED	JH
PLOT DATE	05/04/2021
JOB NO.	19-058
SCALE	SEE SHEET

LC-03

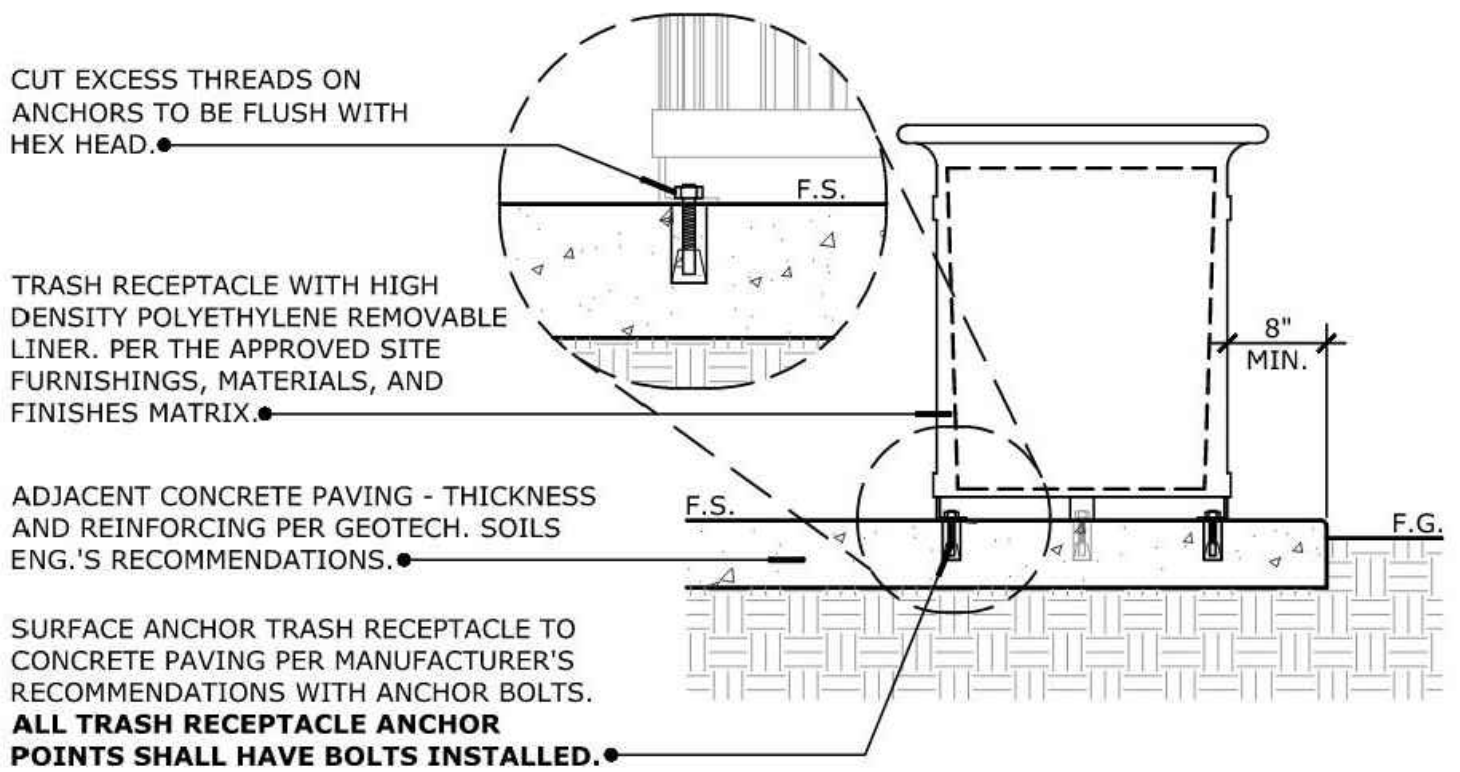
SHEET 04 OF 14

PA20-0048 / TR 17931

TRASH RECEPTACLE

SCALE: 3/4" = 1'-0"

NOTE: TRASH RECEPTACLE TO BE ORDERED BY GENERAL CONTRACTOR, CONTRACTOR TO ASSEMBLE AND SECURE TRASH RECEPTACLE TO CONCRETE WITH EXPANSION ANCHOR BOLTS PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL VERIFY BOLT SIZES AND LOCATION DIMENSIONS WITH ACTUAL TRASH RECEPTACLE ON-SITE PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE BOLTS IF NOT SUPPLIED BY TRASH RECEPTACLE MANUFACTURER.



9 BISTRO LIGHTS

SCALE: 3/8" = 1'-0"

P-1905800-01

DETAIL LEGEND

- 4" SQUARE 5" THICK GALVANIZED TUBULAR STEEL POST
- 7X7 1/4" STAINLESS STEEL AIRCRAFT CABLE
- (3) 1/4" STAINLESS STEEL CABLE CLAMPS PER END
- CATEGORY LIGHT PER LIGHTING PLAN
- 1" x 8" SHOULDER EYEBOLT WITH NUTS & 2" WASHER
- 3/8" x 6" STAINLESS STEEL EYE AND JAW TURNBUCKLE
- RUBBER GASKET AND EPOXY SEALANT AT ALL TUBULAR STEEL PENETRATIONS
- ELECTRICAL CONDUIT PER LIGHTING CONSULTANTS PLANS
- CONCRETE FOOTING PER STRUCTURAL
- COMPACTED SUBGRADE PER SOILS REPORT
- PAVING PER CONSTRUCTION PLAN

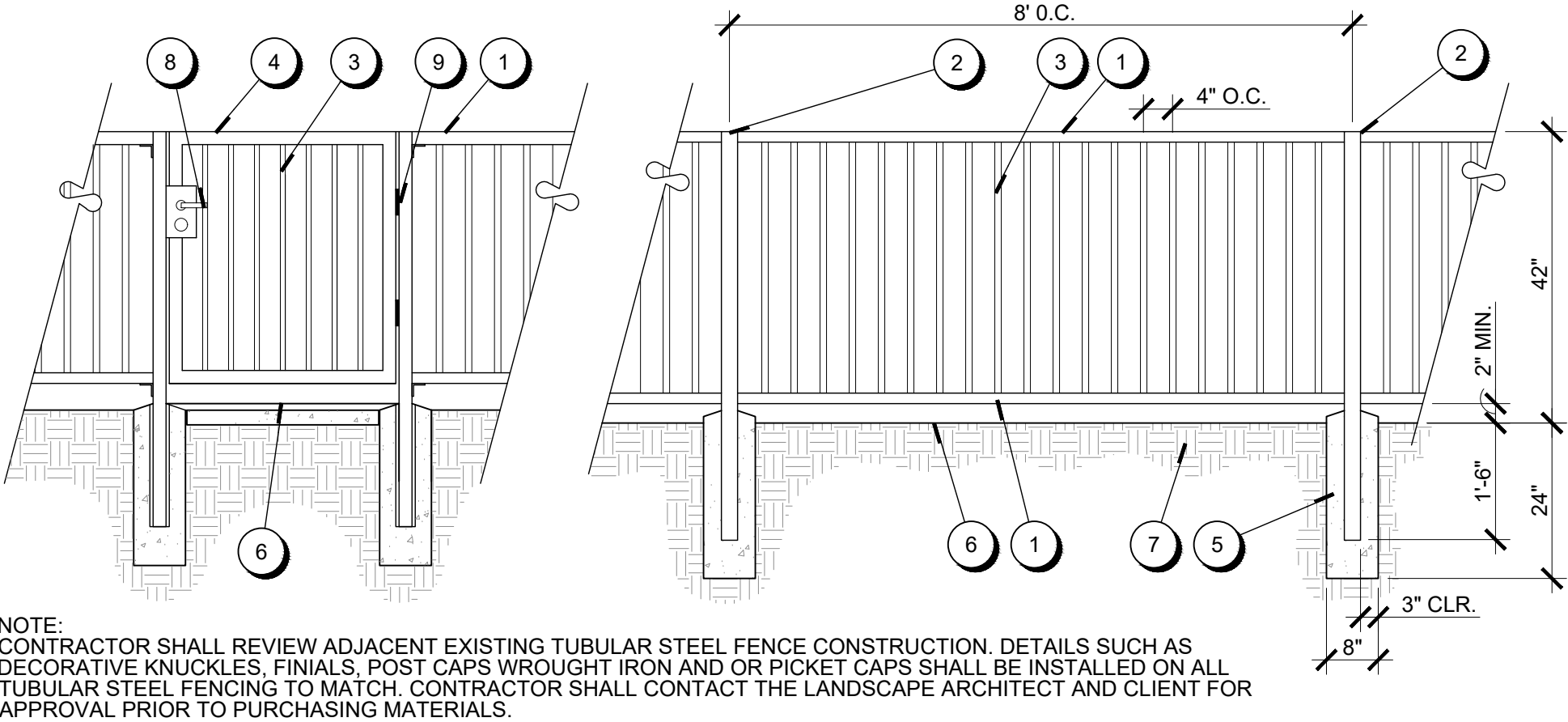
NOTE: ALL METAL FINISH W/ (1) COAT OF EPOXY PRIMER AND (1) COAT OF POLYURETHANE PAINT - COLOR T.B.D.

10 42" TUBE STEEL FENCE AND GATE

SCALE: 1/2" = 1'-0"

P-1905800-05

- ALL METAL FENCING CONNECTIONS SHALL BE CONTINUOUSLY WELDED. THERE SHALL BE NO WELDING OF FENCE MATERIALS IN THE FIELD.
- ALL TUBING SHALL HAVE BOTH ENDS WELDED CLOSED AND GROUND SMOOTH.
- ALL MATERIALS TO BE FULLY GALVANIZED BEFORE INSTALLATION IN FIELD.



DETAIL LEGEND

- 2" SQ. T.S. TOP AND BOTTOM RAILS
- 2" SQ. T.S. POSTS W/ FLAT CAPS AT TOP
- 3" SQ. T.S. PICKETS @ 4" O.C.
- 2" SQ. T.S. FRAME
- CONCRETE FOOTING, SLOPE TO DRAIN AWAY FROM POST
- FINISH GRADE
- COMPACTED SUBGRADE AS PER SOILS REPORT
- HEAVY DUTY SELF CLOSING LATCH W/ LEVER TYPE HANDLE
- SELF CLOSING, SPRING LOADED, HEAVY DUTY HINGES.

NOTES:
ALL STEEL MEMBERS SHALL FINISH W/ (1) COAT OF METAL PRIMER AND (2) COATS METAL EXTERIOR GLOSS, SW 7020 BLACK FOX. CONTRACTOR SHALL CONFIRM COLOR IN WRITING WITH OWNER OR OWNERS REPRESENTATIVE PRIOR TO PURCHASING PAINT.

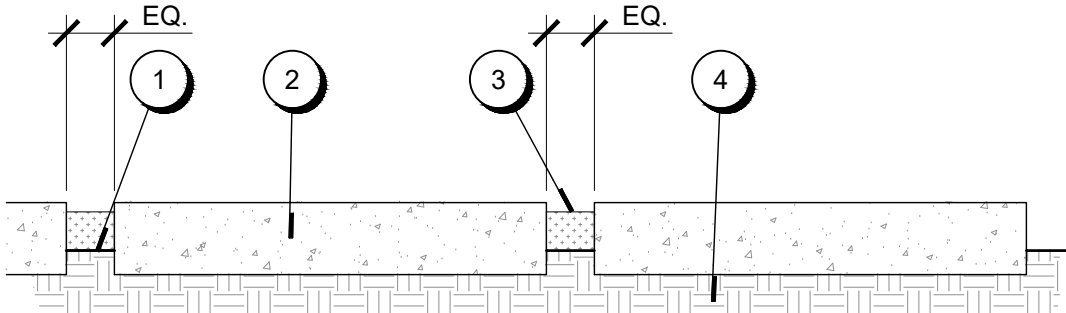
1 CONCRETE STEPPERS

SCALE: 1 1/2" = 1'-0"

P-1905800-10

DETAIL LEGEND

- FINISH GRADE
- PRECAST CONCRETE PAVERS
- DECORATIVE ROCK, TURF OR GROUND COVER PER PLAN
- COMPACTED SUBGRADE



2 COMPOSITE WOOD HEADER

SCALE: 3/4" = 1'-0"

P-1905800-01

DETAIL LEGEND

- FINISHED GRADE, GROUND COVER, PLANTING AREAS
- FINISHED GRADE TURF AREA
- FACTORY CUT THERMAL EXPANSION SLIP JOINT
- 1/8" GALVANIZED STEEL WASHPIN, SEE CHART FOR WIDTH
- 1"x6" BEND-A-BOARD LAMINATING REDWOOD PLASTIC HEADER BOARD
- PLASTIC STAKE @ 3' O.C. MAX. USE PLATED DECK SCREWS FOR ATTACHMENT

INSTALLATION TIPS:
1. USE COARSE WOOD WORKING TOOLS FOR CUTTING AND DRILLINGS.
2. USE PLATED SCREWS OR RING SHANK NAILS TO JOIN BOARDS.
3. ALLOW FOR THERMAL EXPANSION AT THE SLIP BY LEAVING GAPS IN JOINTS OR AT THE END OF THE RUN.
4. DO NOT SCREW THROUGH SLIP JOINT.

HDR. SIZE	ACTUAL DIMENSIONS	MAXIMUM RADIUS POSSIBLE	MAXIMUM CROWN DIMENSIONS	RECOMMENDED GAP AT SLIP JOINT	SLIP JOINT HAIRPIN DIMENSIONS
156"	3 1/2" x 3/4" x 20'	24"	18"	1/4" - 1/2"	3/4" ID x 13"
276"	3 1/2" x 1 1/2" x 20'	36"	28 1/8"	1/2" - 3/4"	1 1/2" ID x 13"
176"	2 1/2" x 3/4" x 20'	24"	18"	1/4" - 1/2"	3/4" ID x 13"
276"	2 1/2" x 1 1/2" x 20'	36"	28 1/8"	1/2" - 3/4"	1 1/2" ID x 13"

MANUFACTURED BY: EPIC PLASTICS, 1886 GARDEN TRACY RD., RICHMOND, CA 94801 PH # (510) 235-9339. www.epicplastics.com

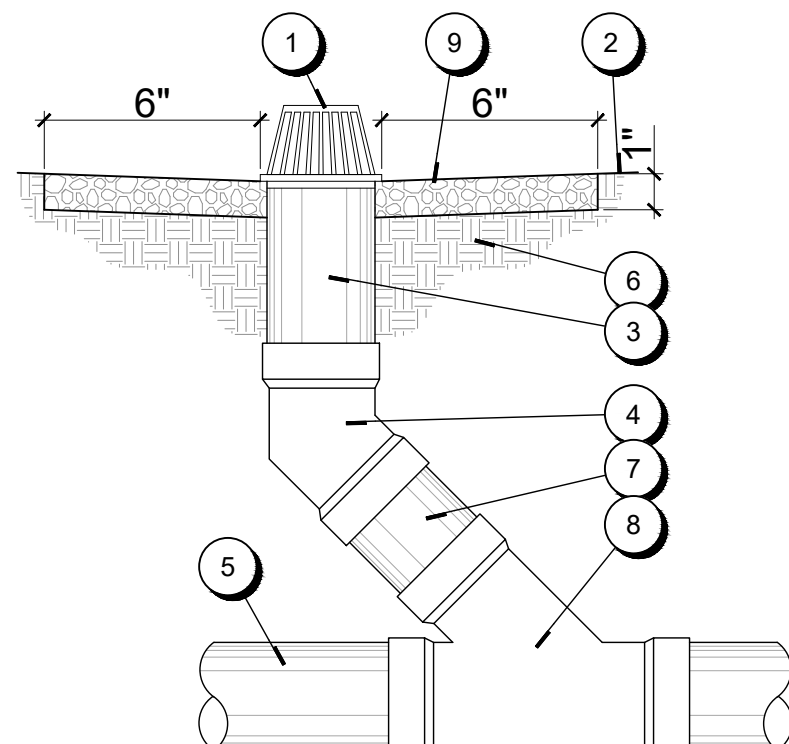
3 LANDSCAPE AREA DRAIN

SCALE: 1 1/2" = 1'-0"

P-1905800-02

DETAIL LEGEND

- NDS, 4" DIA. GREEN ATRIUM GRATE IN SHRUB AREAS OR 6" DIA. GRATE IN LAWN AREAS
- FINISH GRADE - MINIMUM 2% SLOPE TO DRAIN INLET
- 4" DIA. PVC RISER - LENGTH AS REQUIRED
- 45 DEG. ELBOW
- 4" RIGID POLY DRAINPIPE - MIN. 1% FALL
- COMPACTED SUBGRADE PER SOILS REPORT
- 4" RIGID POLY PIPE
- 45 DEG WYE
- 1" DEPTH OF 3/4" GRAVEL AROUND JOINT IN SHRUB AREAS ONLY. MAINTAIN MIN. 6" RADIUS AROUND DRAIN EDGE. GRAVEL COLOR TO BE BROWN TO MATCH MULCH. APACHE BROWN 3/4"-3/8" AVAILABLE FROM KRC ROCK OR SOUTHWEST BROWN 3/4"-3/8" AVAILABLE FROM SOUTHWEST BOULDER



4 PEDESTRIAN CONCRETE

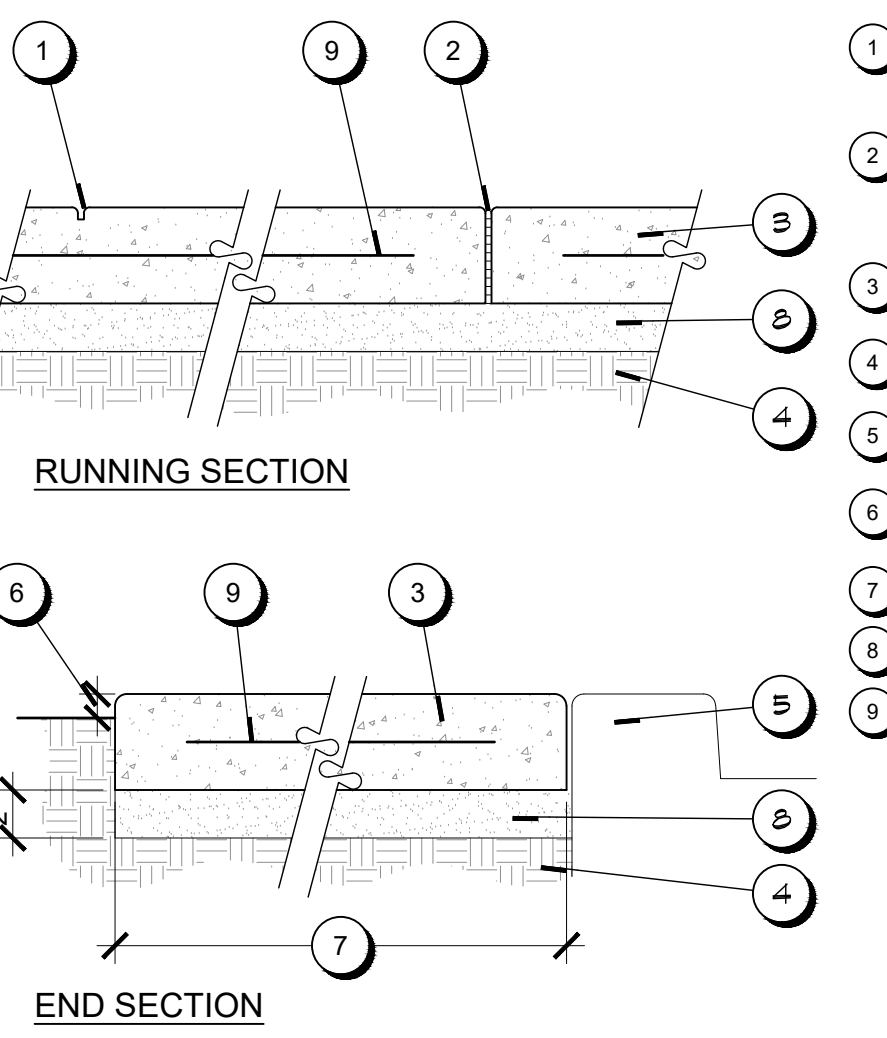
SCALE: 1 1/2" = 1'-0"

P-1905800-03

DETAIL LEGEND

- CONTROL JOINT, 3/4" RAD. TOOLED EDGE, 3/4" DEEP, 5' O.C. UNLESS NOTED
- 3/4" PRE-MOLDED EXP. JOINT, 1/4" RAD. TOOLED EDGE, 20' O.C. UNLESS NOTED, CAULK TO MATCH PAVING
- 4" CONC. PAVING, COLOR AND FINISH PER NOTES
- COMPACTED SUB-GRADE PER SOILS REPORT
- CONCRETE CURB WHERE OCCURS
- FINISH GRADE 1" @ TURF, 2" @ SHRUB AREAS
- WIDTH PER PLANS
- 2" THICK SAND BASE OR AS PER SOILS REPORT
- 6x6/10-10 W.W.M. CENTERED IN PAVING

NOTE: SAND BASE AND AGGREGATE BASE THICKNESS SHALL BE DETERMINED BY SOILS REPORT AND "R" VALUE TESTING



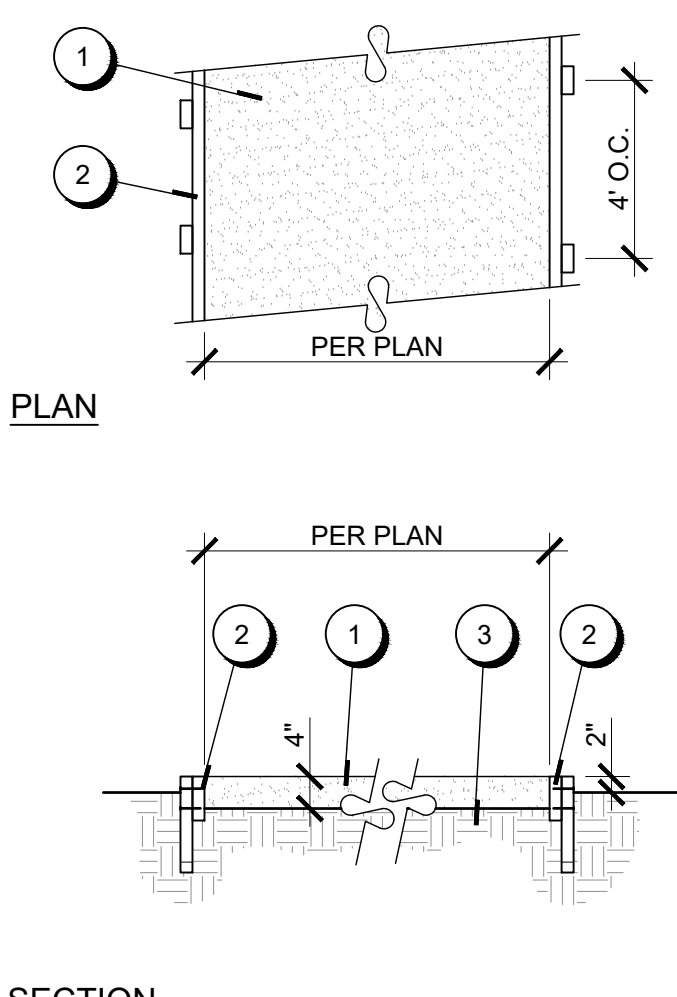
5 DG PATH

SCALE: 1/2" = 1'-0"

P-1905800-04

DETAIL LEGEND

- 4" DEPTH DECOMPOSED GRANITE- SEE CONSTRUCTION PLANS FOR SPEC. 10% MAX. LONGITUDINAL SLOPE, 2% MIN. CROSS SLOPE
- 2X6 REDWOOD HEADER - ATTACH 2X4X12" STAKE 4' O.C. TO 2X6 W/ 2 GALV. NAILS- FINISH GRADE TO BE 2" BELOW TOP OF 2X6
- COMPACTED SUBGRADE- TREAT TOP OF SUBGRADE & FINISHED D.G. SURFACE W/ APPROVED PRE-EMERGENT GRANULAR HERBICIDE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS



8 BBQ COUNTER

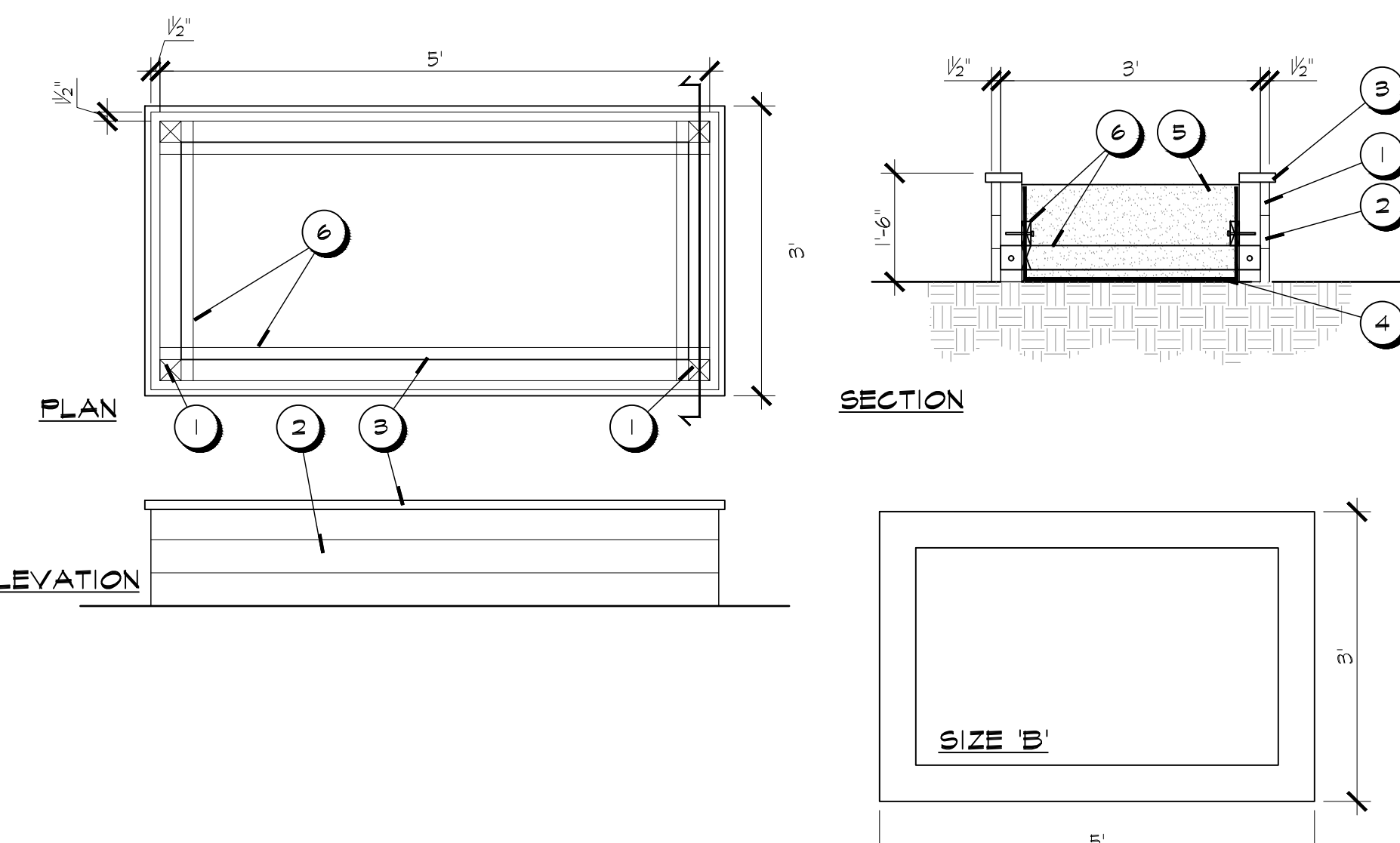
SCALE: 3/8" = 1'-0"

P-1905800-06

DETAIL LEGEND

- 2" SQ. T.S. TOP AND BOTTOM RAILS
- 2" SQ. T.S. POSTS W/ FLAT CAPS AT TOP
- 3" SQ. T.S. PICKETS @ 4" O.C.
- 2" SQ. T.S. FRAME
- CONCRETE FOOTING, SLOPE TO DRAIN AWAY FROM POST
- FINISH GRADE
- COMPACTED SUBGRADE AS PER SOILS REPORT
- HEAVY DUTY SELF CLOSING LATCH W/ LEVER TYPE HANDLE
- SELF CLOSING, SPRING LOADED, HEAVY DUTY HINGES.

NOTES:
ALL STEEL MEMBERS SHALL FINISH W/ (1) COAT OF METAL PRIMER AND (2) COATS METAL EXTERIOR GLOSS, SW 7020 BLACK FOX. CONTRACTOR SHALL CONFIRM COLOR IN WRITING WITH OWNER OR OWNERS REPRESENTATIVE PRIOR TO PURCHASING PAINT.



DETAIL LEGEND

- 4X4 P.T. REDWOOD POSTS
- 2X6 REDWOOD BOARDS, STAIN WITH (2) COATS OF EXTERIOR GRADE STAIN AND (1) COAT U.V. PROTECTANT NON-GLOSS SEALANT
- 2X6 REDWOOD CAP, STAIN WITH (2) COATS OF EXTERIOR GRADE STAIN AND (1) COAT U.V. PROTECTANT NON-GLOSS SEALANT
- GEOSYNTHETIC FILTER FABRIC
- TOP SOIL
- 2X4 P.T. REDWOOD BOARDS, ANCHOR TO POSTS WITH LAG 4" LAG BOLT

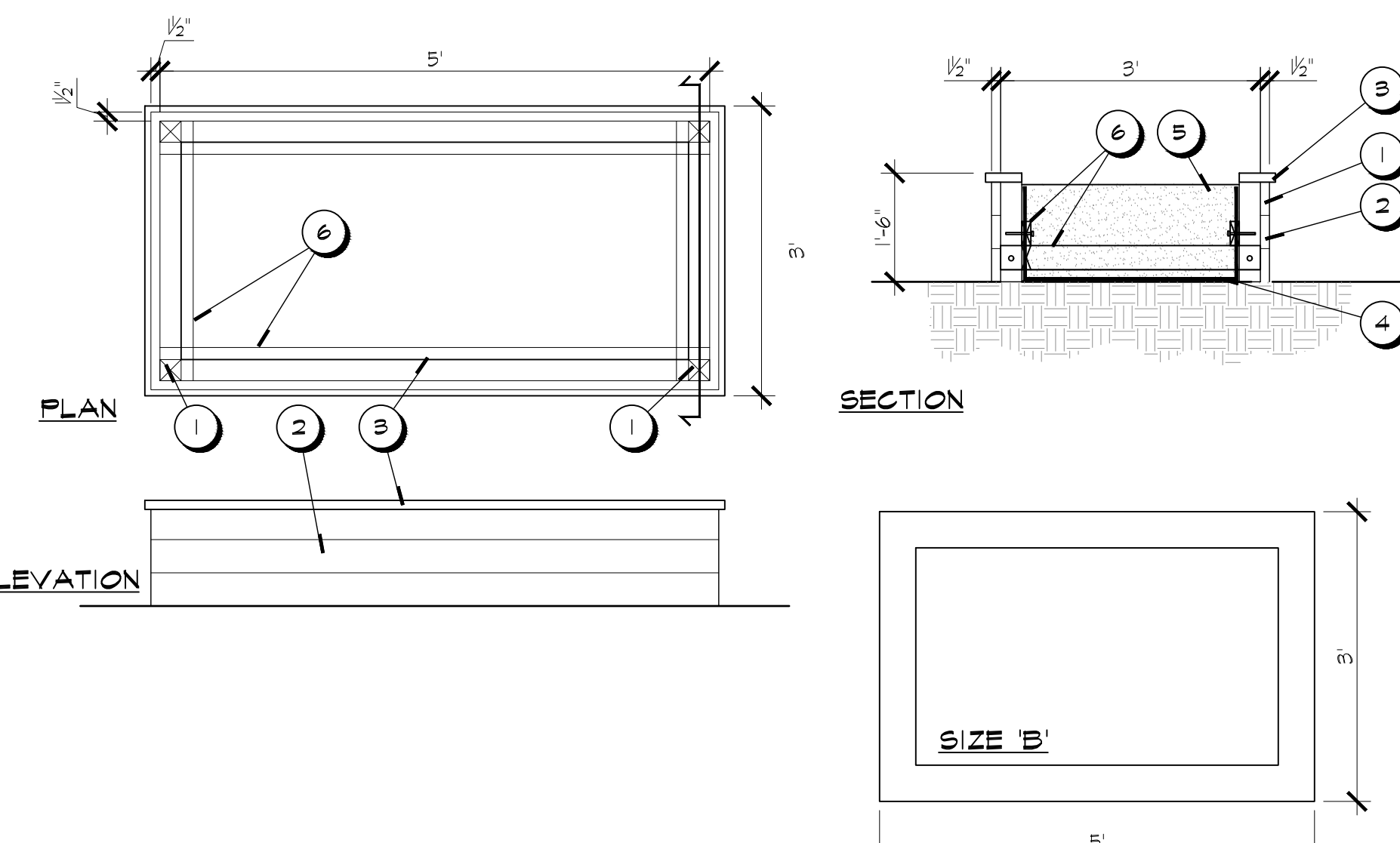
11 RAISED GARDEN BED

SCALE: 1/2" = 1'-0"

P-1905800-11

DETAIL LEGEND

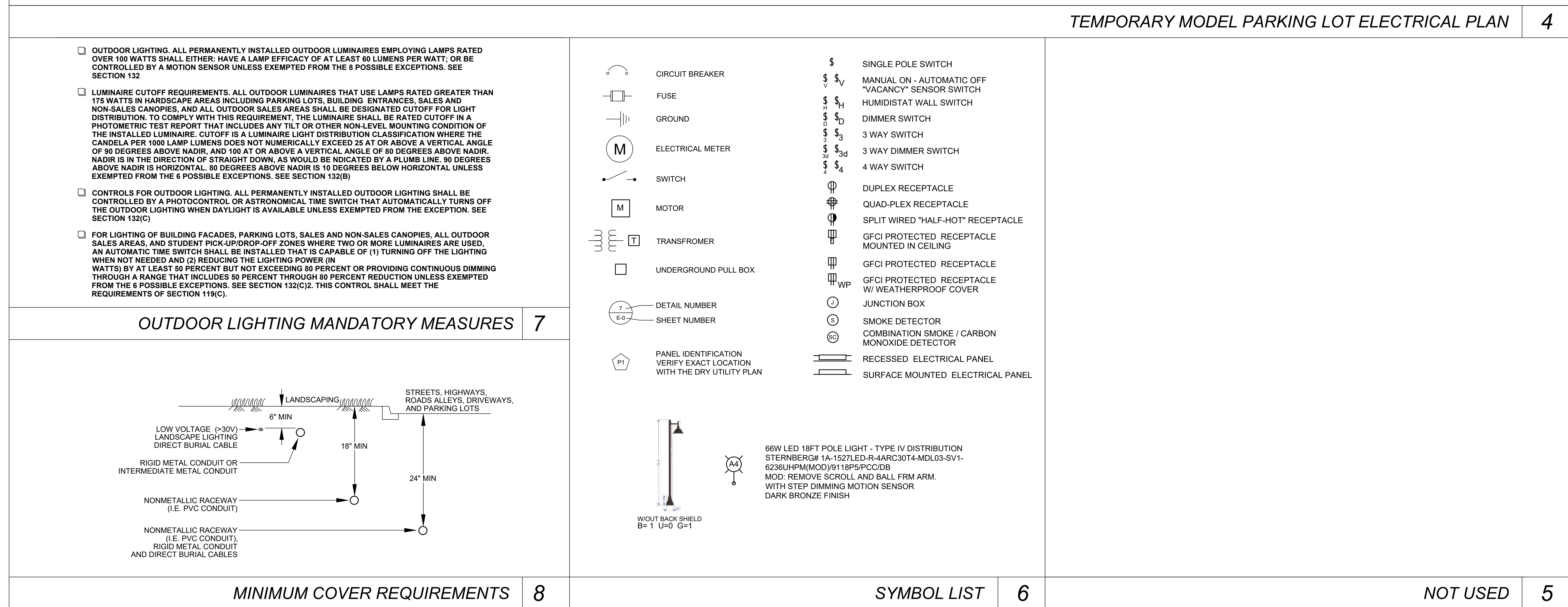
- 4X4 P.T. REDWOOD POSTS
- 2X6 REDWOOD BOARDS, STAIN WITH (2) COATS OF EXTERIOR GRADE STAIN AND (1) COAT U.V. PROTECTANT NON-GLOSS SEALANT
- 2X6 REDWOOD CAP, STAIN WITH (2) COATS OF EXTERIOR GRADE STAIN AND (1) COAT U.V. PROTECTANT NON-GLOSS SEALANT
- GEOSYNTHETIC FILTER FABRIC
- TOP SOIL
- 2X4 P.T. REDWOOD BOARDS, ANCHOR TO POSTS WITH LAG 4" LAG BOLT



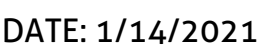
REVISIONS
STEP 3 SUB. 05-01-2020
STEP 3.1 SUB. 07-14-2020
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1ST CTY. SUB. 01-29-2021
3RD SDP SUB. 02-09-2021
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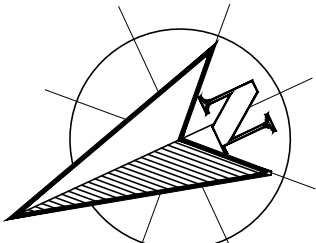
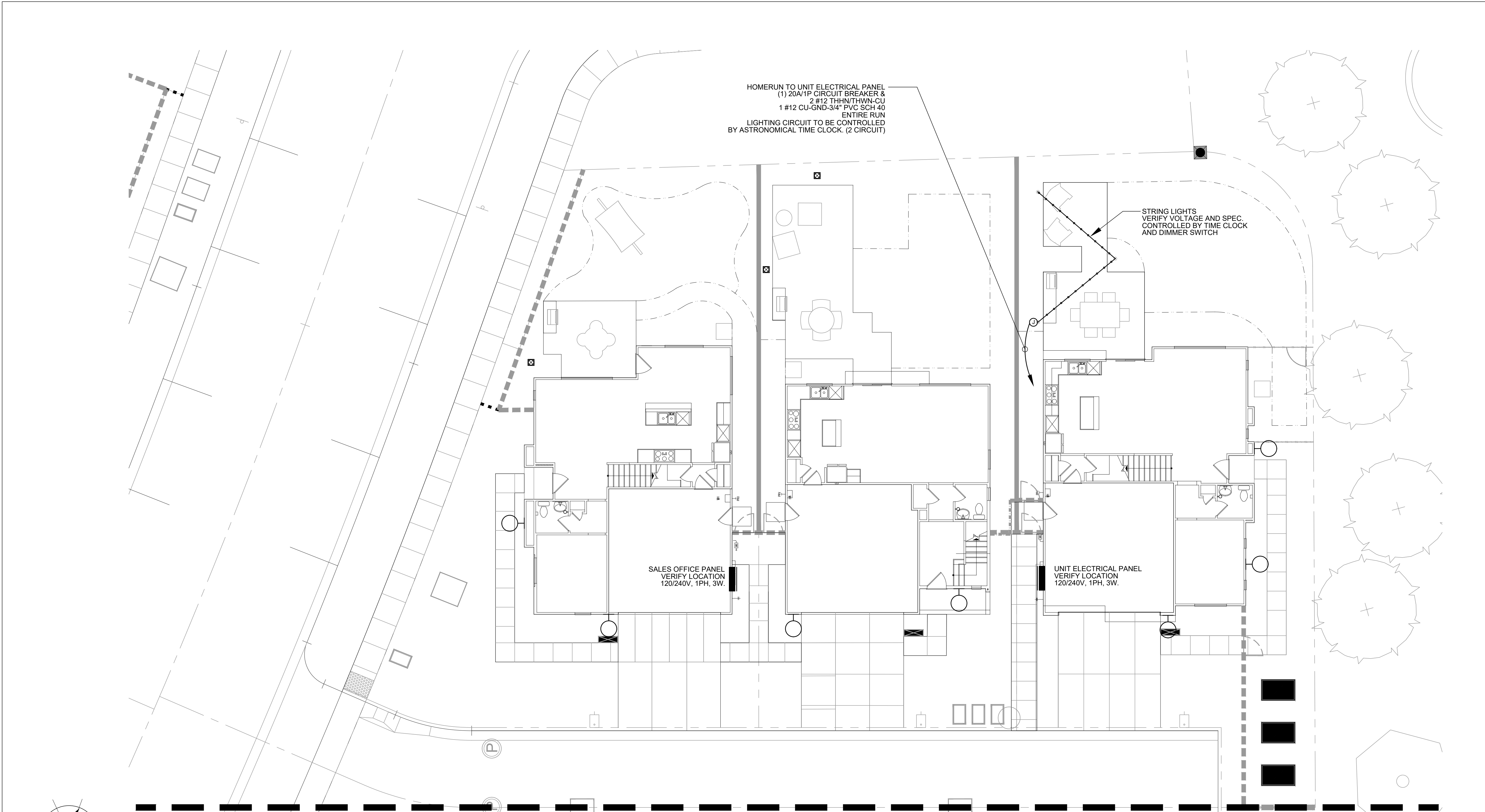
DRAWN: KS
APPROVED: JB
PLOT DATE: 05/04/2020
JOB NO.: 19058
SCALE: SEE SHEET

LC-03



1. INTERIOR WIRING MUST BE TYPE NM-B CABLE IN ACCORDANCE WITH NEC ARTICLE 334 AND LOCAL CODES IN ONE- AND TWO-FAMILY AND MULTIFAMILY DWELLINGS OF TYPE III, IV, AND V CONSTRUCTION, IN OTHER TYPES OF TYPE III, IV, AND V CONSTRUCTION NM-CABLE MAY BE USED. ALL EXPOSED WIRING SHALL BE PROTECTED IN ACCESSIBLE DROPPED OR EXPOSED CEILINGS OR WHERE PROHIBITED IN NEC 334.12 CONTRACTOR TO VERIFY NM-CABLE WIRING METHOD WITH AUTHORITY HAVING JURISDICTION PRIOR TO BIDDING THE JOB. MINIMUM WIRING SIZE PER THE 60 DEGREE C COLUMN OF NEC TABLE 310.15(B)(16) (I.E. #12 CU FOR 20A CIRCUIT BREAKERS).
2. ALL WIRING TO COMPLY WITH NEC ARTICLE 300. CONDUCTORS SHALL BE INSTALLED IN CODE APPROVED RACEWAYS AS REQUIRED.
3. INSTALL THE ELECTRICAL SYSTEM USING CONSTRUCTION MEANS, METHODS, AND, MATERIALS, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS / INSTRUCTIONS, TRADE STANDARDS, AND APPLICABLE NATIONAL AND LOCAL CODES.
4. PROVIDE ALL LABOR, MATERIALS, TOOLS, PERMITS, FEES, TRANSPORTATION, ETC. TO PROVIDE THE OWNER A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM TO THE OWNER'S SATISFACTION.
5. DRAWINGS ARE NECESSARILY DIAGRAMMATIC BY THEIR NATURE AND ARE NOT INTENDED TO SHOW EVERY CONNECTION IN DETAIL OR EVERY PIPE OR CONDUIT IN ITS EXACT LOCATION. CAREFULLY INVESTIGATE ALL STRESS CONDITIONS AND COORDINATE THE SEPARATE TRADES IN ORDER TO AVOID INTERFERENCE BETWEEN THE VARIOUS PHASES OF WORK. ORGANIZE AND LAYOUT WORK SO THAT IT WILL BE CONCEALED IN WALLS, FURRED CHASES, AND CEILINGS, ETC., IN FINISHED AREAS. IF THE BIDDING, UNLESS SPECIALLY DROPPED OR EXPOSED, INSTALL ALL WORK PARALLEL OR PERPENDICULAR TO BUILDING LINES UNLESS OTHERWISE NOTED.
6. HALF SIZED OR TANDDEM CIRCUIT BREAKERS MAY BE USED ONLY IF THE ELECTRICAL EQUIPMENT IS LISTED TO RECEIVE SUCH DEVICES.
7. RECESSED LIGHTING FIXTURES WITH DIRECT CONTACT WITH INSULATION SHALL BE TYPE IC (LISTED BY RECOGNIZED TESTING AGENCY). RECESSED NON-TYPE IC FIXTURES SHALL HAVE A MINIMUM OF 3" CLEAR FROM INSULATION AND 1" FROM COMBUSTIBLE MATERIALS (NON-TYPE IC RECESSED FIXTURES ARE NOT ALLOWED IN THESE AREAS).
8. RECESSED LIGHTING IN RATED ASSEMBLIES SHALL BE EITHER "FIREBOXED" TO MAINTAIN THE RATING OF THE ASSEMBLY OR UTILIZE A LISTED FIXTURE WITH ENCLOSURE THAT MAINTAINS THE ORIGINAL RATING OF THE ASSEMBLY.
9. RECESSED ELECTRICAL PANELS IN RATED ASSEMBLIES SHALL BE "FIREBOXED" TO MAINTAIN THE ORIGINAL RATING OF THE ASSEMBLY.
10. ALL PENETRATIONS (ELECTRICAL BOXES, CABLE, CONDUIT, ETC.) THROUGH RATED ASSEMBLIES SHALL BE SEALED OR FIRE STOPPED TO MAINTAIN THE RATING OF THE ASSEMBLY WITH A LISTED FIRE STOPPING SYSTEM (EITHER FIRE STOPPING GEL OR GEL WITH GEL BARRIER OR EQUAL) IN COMPLIANCE WITH CBC SECTION 712. CONTRACTOR TO INSTALL FIRE STOPPING SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
11. ALL LIGHTING SWITCHES SHALL BE RATED FOR 120-277V, "DECORA" STYLE, AND WHITE UNLESS OTHERWISE NOTED IN THE PLANS OR OWNER'S SPECIFICATIONS.
12. ALL GENERAL USE RECEPTABLES SHALL BE NEMA 5-15R, "DECORA" STYLE, AND WHITE UNLESS OTHERWISE NOTED IN THE PLANS OR OWNER'S SPECIFICATIONS.
13. ALL OUTDOOR RECEPTABLES SHALL BE GFCI PROTECTED AND LISTED AS "WR WEATHER RESISTANT" TYPE PER NEC 400. OUTDOOR RECEPTABLES IN DAMP LOCATIONS SHALL HAVE WEATHERPROOF COVERS. OUTDOOR RECEPTABLES IN WET LOCATIONS SHALL HAVE "IN-USE" TYPE WEATHERPROOF COVERS.
14. ALL EXTERIOR JUNCTION BOXES SHALL BE LISTED AS WEATHERPROOF WITH WEATHERPROOF COVERS.
15. ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE NEW AND SUPPLIED WITH ALL THE NECESSARY FITTINGS, ATTACHMENTS, AND ACCESSORIES FOR A COMPLETE INSTALLATION.
16. HIGH EFFICIENCY LUMINAIRES SHALL BE DEFINED AS FOLLOWS 30 LUMENS PER WATT (FOR LAMPS 5W OR LESS) 40 LUMENS PER WATT (FOR LAMPS 6W-15W) 50 LUMENS PER WATT (FOR LAMPS 16W-40W)
17. MEDIUM AND CANDLEMBA BASED SCREW-IN LAMPS DO NOT QUALIFY AS HIGH EFFICIENCY. GU-24 PIN BASES QUALIFY AS HIGH EFFICIENCY.
18. ALL WALL FIXTURES IN SHALL BE INSTALLED SUCH THAT THE LOWEST PORTION OF THE FIXTURE PROTRUDING + 4" IS 80" ABOVE THE FINISHED GRADE OR HIGHER.
19. REFER TO PLUMBING, HVAC, LOW VOLTAGE, COMMUNICATION, ACCESS CONTROL, INTERIOR DESIGN, AND ARCHITECTURE DRAWINGS AND PROVIDE ALL REQUIRED CONTROL WIRES, RELAYS, TRANSFORMERS, STARTERS, CONDUITS, TIME SWITCHES, AND OUTLETS REQUIRED. ALL WORK AND MATERIALS INDICATED IN THE ABOVE CONSULTANT'S DRAWINGS AS SUPPLIED BY THE ELECTRICIAN SHALL BE PROVIDED UNDER THIS SCOPE OF WORK.
20. ELECTRICAL SYSTEM TO BE GROUNDED PER NEC ARTICLE 250.
21. REFER TO ACOUSTICAL ANALYSIS / SPECIFICATIONS; PROVIDE PUTTY PADS OR OTHER SYSTEMS AS REQUIRED FOR SOUND ATTENUATION.
22. ELECTRICAL DEVICES INSTALLED ON OPPOSITE SIDES OF WALLS SHALL BE SEPARATED BY A MINIMUM OF 24" (I.E. NOT IN THE SAME STUD BAY). IF DEVICES ARE CLOSER THAN 24" OR THE BOX SIZE EXCEEDS 16 SOIN, THEN A PUTTY PAD (OR SIMILAR FIRE BARRIER) ARE REQUIRED FOR THOSE DEVICES. IF THE DENSITY OF OUTLET OPENINGS EXCEEDS 100SQIN FOR ANY 100SQFT OF WALL, THEN PUTTY PADS ARE REQUIRED FOR THE ENTIRE WALL.
23. ALL EQUIPMENT SHALL BE LISTED BY A RECOGNIZED TESTING AGENCY AND SUPPORTED ADDITIONED TO APPLICABLE OSHA REQUIREMENTS.
24. CONTRACTOR TO WARRANTY ALL WORK COMPLETED FOR A PERIOD OF ONE YEAR AFTER THE OWNER'S ACCEPTANCE DATE. ANY LABOR OR MATERIALS REQUIRED TO CORRECT FAULTY OR DEFECTIVE WORK WITHIN THE WARRANTY PERIOD SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
25. CONTRACTOR TO PROVIDE THE OWNER (1) SET OF "AS-BUILT" DRAWINGS FOR THE OWNER'S RECORD AT THE COMPLETION OF THE JOB.
26. CONTRACTOR TO CONFIRM ALL LOW VOLTAGE CABLING REQUIREMENTS PRIOR TO BIDDING THE JOB.
27. PROPERLY LABEL ALL ELECTRICAL ROOMS / CABINETS, ELECTRICAL PANELS, TIME SWITCHES, PANEL SCHEDULES, AND MULTI-GRAM TERMS. PROVIDE ALL LABELING AND PLAQUES SPECIFIED IN THE CONTRACT DOCUMENTS.
28. PROVIDE A MINIMUM OF A 4FTX8FTX3/4" FIRE RATED PLYWOOD BACKBOARD WITH A #6 COPPER (MIN) GROUNDING ROD TO BIDDING GROUNDING SYSTEM AND A DEDICATED DUPLEX RECEPTACLE PROTECTED BY A 20A/1P CIRCUIT AT THE MAIN POINT OF ENTRANCE FOR THE CATV / PHONE PROVIDERS.
29. SWITCHGEAR DIMENSIONS ARE BASED ON THE APPROXIMATE DIMENSIONS OF THE MANUFACTURER SPECIFIED IN THE PLANS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EQUIPMENT WILL FIT INTO THE STRUCTURE.
30. CONTRACTOR SHALL REVIEW THE ELECTRICAL, AND OTHER CONSULTANTS DRAWINGS PRIOR TO STARTING ANY WORK AND INFORM THE ENGINEER OF ANY DISCREPANCIES, OMISSIONS, OR IF CLARIFICATIONS ARE REQUIRED TO COMPLETE THE INSTALLATION PRIOR TO COMMENCING THE WORK.
31. PROVIDE THE OWNER WITH 1 COPY OF ALL OPERATION AND MAINTENANCE MANUALS FOR LIGHTING, LIGHTING CONTROL, AND ELECTRICAL SYSTEMS.
32. LABEL ELECTRICAL SERVICE EQUIPMENT WITH THE MAXIMUM AVAILABLE FAULT CURRENT AT THE INCOMING TERMINALS OF THE EQUIPMENT PER NEC 110.24
33. IT IS PROHIBITED TO SHARE NEUTRAL CONDUCTORS FOR THREE SINGLE PHASE CIRCUITS PER NEC 200.4.
34. ALL CABLE TRAYS CONTAINING TYPE SE, MC, MI, OR IGS SERVICE ENTRANCE CABLES MUST BE LABELED "CABLE TRAY CONTAINS SERVICE ENTRANCE CONDUCTORS".
35. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL ELECTRICAL EQUIPMENT, ELECTRICAL MATERIALS AND LIGHTING FIXTURES FOR APPROVAL PRIOR TO ORDERING.





SCALE: 1/8" = 1'-0"

MATCHLINE SEE SHEET E-1

TEMPORARY MODEL PARKING LOT ELECTRICAL PLAN

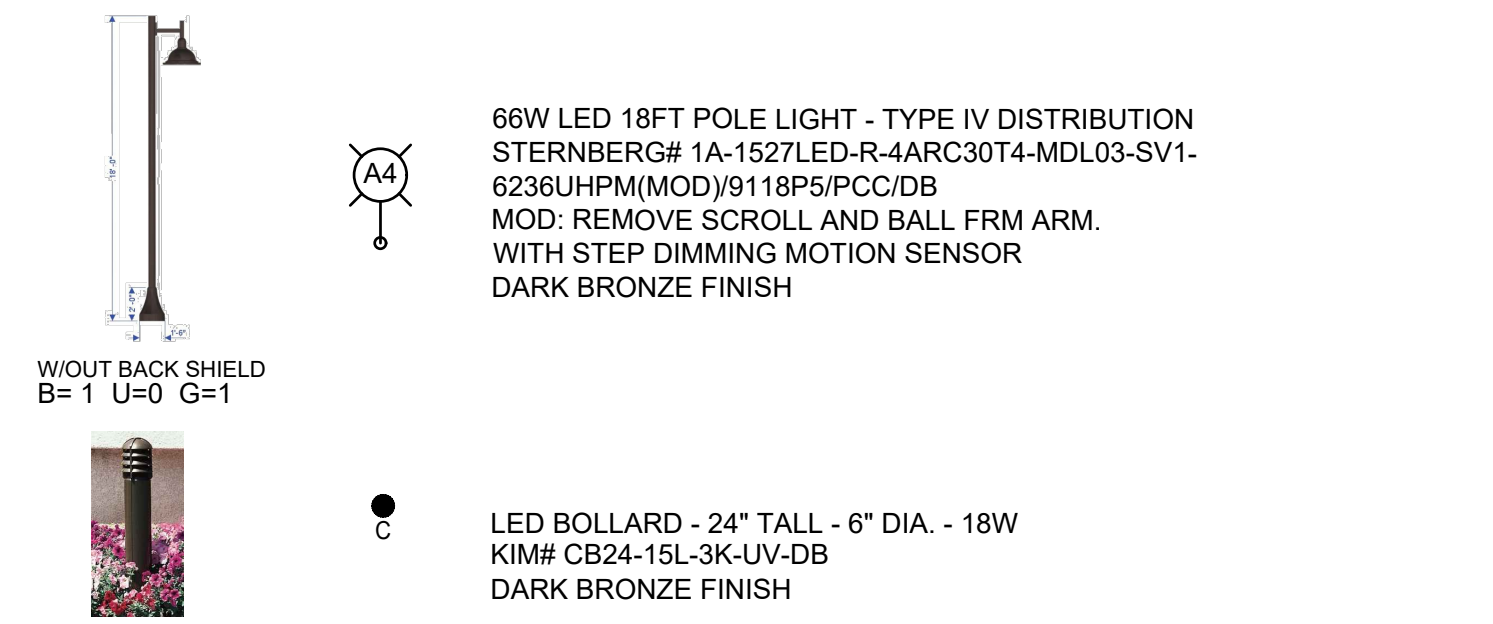
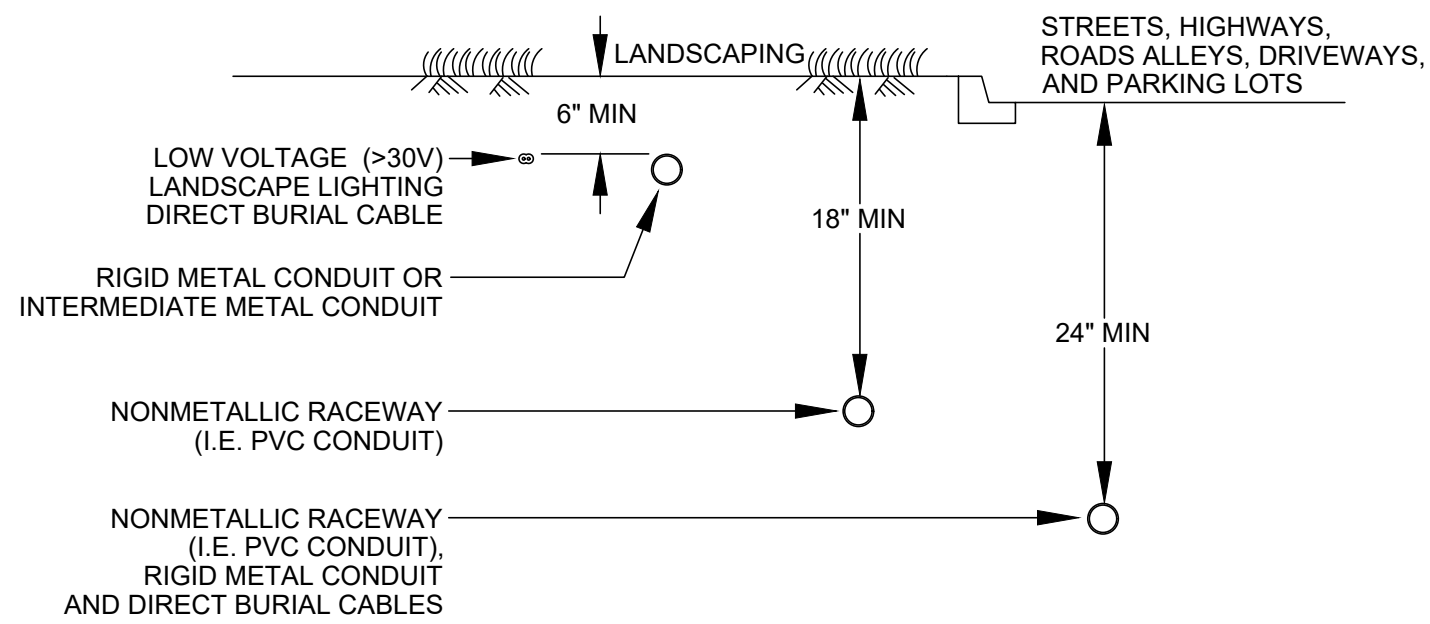
4

- OUTDOOR LIGHTING. ALL PERMANENTLY INSTALLED OUTDOOR LUMINAIRES EMPLOYING LAMPS RATED OVER 100 WATTS SHALL EITHER: HAVE A LAMP EFFICACY OF AT LEAST 60 LUMENS PER WATT; OR BE CONTROLLED BY A MOTION SENSOR UNLESS EXEMPTED FROM THE 8 POSSIBLE EXCEPTIONS. SEE SECTION 132
- LUMINAIRE CUTOFF REQUIREMENTS. ALL OUTDOOR LUMINAIRES THAT USE LAMPS RATED GREATER THAN 175 WATTS IN HARDSCAPE AREAS INCLUDING PARKING LOTS, BUILDING ENTRANCES, SALES AND NON-SALES CANOPIES, AND ALL OUTDOOR SALES AREAS SHALL BE DESIGNATED CUTOFF FOR LIGHT DISTRIBUTION. TO COMPLY WITH THIS REQUIREMENT, THE LUMINAIRE SHALL BE RATED CUTOFF IN A PHOTOMETRIC TEST REPORT THAT INCLUDES ANY TILT OR OTHER NON-LEVEL MOUNTING CONDITION OF THE INSTALLED LUMINAIRE. CUTOFF IS A LUMINAIRE LIGHT DISTRIBUTION CLASSIFICATION WHERE THE CANDELA PER 1000 LAMP LUMENS DOES NOT NUMERICALLY EXCEED 25 AT OR ABOVE A VERTICAL ANGLE OF 90 DEGREES ABOVE NADIR, AND 100 AT OR ABOVE A VERTICAL ANGLE OF 80 DEGREES ABOVE NADIR. NADIR IS IN THE DIRECTION OF STRAIGHT DOWN, AS WOULD BE INDICATED BY A PLUMB LINE. 90 DEGREES ABOVE NADIR IS HORIZONTAL. 90 DEGREES ABOVE NADIR IS 10 DEGREES BELOW HORIZONTAL UNLESS EXEMPTED FROM THE 6 POSSIBLE EXCEPTIONS. SEE SECTION 132(B)
- CONTROLS FOR OUTDOOR LIGHTING. ALL PERMANENTLY INSTALLED OUTDOOR LIGHTING SHALL BE CONTROLLED BY A PHOTOCONTROL OR ASTRONOMICAL TIME SWITCH THAT AUTOMATICALLY TURNS OFF THE OUTDOOR LIGHTING WHEN DAYLIGHT IS AVAILABLE UNLESS EXEMPTED FROM THE EXCEPTION. SEE SECTION 132(C)
- FOR LIGHTING OF BUILDING FACADES, PARKING LOTS, SALES AND NON-SALES CANOPIES, ALL OUTDOOR SALES AREAS, AND STUDENT PICK-UP/DROP-OFF ZONES WHERE TWO OR MORE LUMINAIRES ARE USED, AN AUTOMATIC TIME SWITCH SHALL BE INSTALLED THAT IS CAPABLE OF (1) TURNING OFF THE LIGHTING WHEN NOT NEEDED AND (2) REDUCING THE LIGHTING POWER (IN WATTS) BY AT LEAST 50 PERCENT BUT NOT EXCEEDING 90 PERCENT OR PROVIDING CONTINUOUS DIMMING THROUGH A RANGE THAT INCLUDES 50 PERCENT THROUGH 90 PERCENT REDUCTION UNLESS EXEMPTED FROM THE 6 POSSIBLE EXCEPTIONS. SEE SECTION 132(C)2. THIS CONTROL SHALL MEET THE REQUIREMENTS OF SECTION 119(C).

- | | | | |
|--|--|---------------------|---|
| | CIRCUIT BREAKER | \$ | SINGLE POLE SWITCH |
| | FUSE | \$ \$ _v | MANUAL ON - AUTOMATIC OFF "VACANCY" SENSOR SWITCH |
| | GROUND | \$ \$ _h | HUMIDISTAT WALL SWITCH |
| | | \$ \$ _d | DIMMER SWITCH |
| | | \$ \$ ₃ | 3 WAY SWITCH |
| | | \$ \$ _{3d} | 3 WAY DIMMER SWITCH |
| | | \$ \$ ₄ | 4 WAY SWITCH |
| | | ⌚ | DUPLEX RECEPTACLE |
| | | ⌚ | QUAD-PLEX RECEPTACLE |
| | | ⌚ | SPLIT WIRED "HALF-HOT" RECEPTACLE |
| | | ⌚ | GFCI PROTECTED RECEPTACLE MOUNTED IN CEILING |
| | | ⌚ WP | GFCI PROTECTED RECEPTACLE W/ WEATHERPROOF COVER |
| | | ⌚ | JUNCTION BOX |
| | | ⌚ | SMOKE DETECTOR |
| | | ⌚ | COMBINATION SMOKE / CARBON MONOXIDE DETECTOR |
| | | ⌚ | RECESSED ELECTRICAL PANEL |
| | | ⌚ | SURFACE MOUNTED ELECTRICAL PANEL |
| | DETAIL NUMBER | | |
| | SHEET NUMBER | | |
| | PANEL IDENTIFICATION
VERIFY EXACT LOCATION
WITH THE DRY UTILITY PLAN | | |

OUTDOOR LIGHTING MANDATORY MEASURES

7



MINIMUM COVER REQUIREMENTS

8

SYMBOL LIST

6

NOT USED

5

GENERAL ELECTRICAL NOTES

3

- 2019 CALIFORNIA ELECTRIC CODE (CEC)
- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA ENERGY CODE (TITLE 24)

APPLICABLE CODES

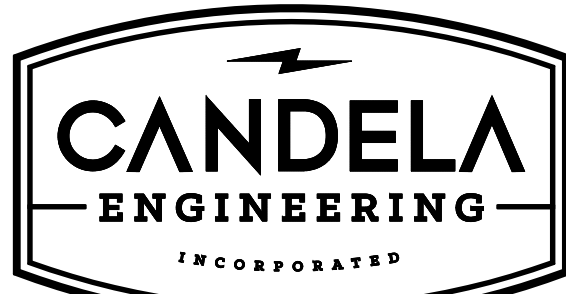
1

2P 3P AFCI AIC AL APF AWG CEC C CO CU EMT GFCI GND F FC FT IESNA	2 POLE 1 POLE ARC-FAULT CIRCUIT INTERRUPTER AMPERE INTERRUPTING CAPACITY ALUMINUM ABOVE FINISHED FLOOR AMERICAN WIRE GAUGE CALIFORNIA ELECTRIC CODE CELSIUS CONDUIT ONLY COPPER ELECTRICAL METALLIC TUBING GROUND FAULT CIRCUIT INTERRUPTER GROUND FAHRENHEIT FOOTCANDLE FEET ILLUMINATION ENGINEERING SOCIETY NORTH AMERICA	IMC K KAIC M NEG NEG NM NTS PB POC PVC RMC TITLE 24 VD WP WR XFMR	INTERMEDIATE METAL CONDUIT KELVIN (DEGREES) 1,000 AIC METERS NATIONAL ELECTRIC CODE NEG NEG NM NTS PUSH BUTTON POINT OF CONNECTION POLYVINYL CHLORIDE (SCHEDULE 40 UNLESS OTHERWISE NOTED) RIGID METALLIC CONDUIT CALIFORNIA BUILDING ENERGY CODE - TITLE 24 VOLTAGE DROP WEATHER PROOF WEATHER RESISTANT TRANSFORMER
---	---	---	---

ABBREVIATIONS

2

- INTERIOR WIRING PERMITTED TO BE TYPE NM CABLE IN ACCORDANCE WITH NEC ARTICLE 334 AND LOCAL CODES IN ONE- AND TWO- FAMILY AND MULTIFAMILY DWELLINGS OF TYPE III, IV, AND V CONSTRUCTION. IN OTHER TYPES OF TYPE III, IV, AND V CONSTRUCTION NM CABLE MAY BE ACCEPTABLE EXCEPT FOR EXPOSED IN ACCESSIBLE DROPPED OR EXPOSED CEILINGS OR WHERE PROHIBITED IN NEC 334.12. CONTRACTOR TO VERIFY NM CABLE WIRING METHOD WITH AUTHORITY HAVING JURISDICTION PRIOR TO BIDDING THE JOB. MINIMUM WIRING SIZE PER THE 60 DEGREE C COLUMN OF NEC TABLE 310.15(B)(16) (I.E. #12 CU FOR 20A CIRCUIT BREAKERS).
- ALL WIRING TO COMPLY WITH NEC ARTICLE 300. CONDUCTORS SHALL BE INSTALLED IN CODE APPROVED RACEWAYS AS REQUIRED.
- INSTALL THE ELECTRICAL SYSTEM USING CONSTRUCTION MEANS, METHODS, AND, MATERIALS, IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS / INSTRUCTIONS, TRADE STANDARDS, AND APPLICABLE NATIONAL AND LOCAL CODES.
- PROVIDE ALL LABOR, MATERIALS, TOOLS, PERMITS, FEES, TRANSPORTATION, ETC TO PROVIDE THE OWNER A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM TO THE OWNER'S SATISFACTION.
- DRAWINGS ARE NECESSARILY DIAGRAMMATIC BY THEIR NATURE AND ARE NOT INTENDED TO SHOW EVERY CONNECTION IN DETAIL OR EVERY PIPE OR CONDUIT IN ITS EXACT LOCATION. CAREFULLY INVESTIGATE STRUCTURAL AND FINISH CONDITIONS AND COORDINATE THE SEPARATE TRADES IN ORDER TO AVOID INTERFERENCE BETWEEN THE VARIOUS PHASES OF WORK. ORGANIZE AND LAYOUT WORK SO THAT IT WILL BE CONCEALED IN WALLS, FURRED CHASES, AND CEILINGS, ETC., IN FINISHED PORTIONS OF THE BUILDING, UNLESS SPECIFICALLY NOTED TO BE EXPOSED. INSTALL ALL WORK PARALLEL OR PERPENDICULAR TO BUILDING LINES UNLESS OTHERWISE NOTED.
- HALF SIZED OR TANDEM CIRCUIT BREAKERS MAY BE USED ONLY IF THE ELECTRICAL EQUIPMENT IS LISTED TO RECEIVE SUCH DEVICES.
- RECESSED LIGHTING FIXTURES WITH DIRECT CONTACT WITH INSULATION SHALL BE TYPE IC (LISTED BY RECOGNIZED TESTING AGENCY). RECESSED NON-TYPE IC FIXTURES SHALL HAVE A MINIMUM OF 3" CLEAR FROM INSULATION AND 1" FROM COMBUSTIBLE MATERIALS (NON-TYPE IC RECESSED FIXTURES ARE NOT PERMITTED IN RESIDENTIAL UNITS).
- RECESSED LIGHTING IN RATED ASSEMBLIES SHALL BE EITHER "FIREBOXED" TO MAINTAIN THE RATING OF THE ASSEMBLY OR UTILIZE A LISTED FIXTURE WITH ENCLOSURE THAT MAINTAINS THE ORIGINAL RATING OF THE ASSEMBLY.
- RECESSED ELECTRICAL PANELS IN RATED ASSEMBLIES SHALL BE "FIREBOXED" TO MAINTAIN THE ORIGINAL RATING OF THE ASSEMBLY.
- ALL PENETRATIONS (ELECTRICAL BOXES, CABLE, CONDUIT, ETC.,) THROUGH RATED ASSEMBLIES SHALL BE SEALED OR FIRE STOPPED TO MAINTAIN THE RATING OF THE ASSEMBLY WITH A LISTED FIRE STOPPING SYSTEM (I.E. 3M FIRE BARRIER OR EQUAL) IN COMPLIANCE WITH CBC SECTION 712. CONTRACTOR TO INSTALL FIRE STOPPING SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL LIGHTING SWITCHES SHALL BE RATED FOR 200-277V, "DECORA" STYLE, AND WHITE UNLESS OTHERWISE NOTED IN THE PLANS OR OWNER'S SPECIFICATIONS.
- ALL GENERAL USE RECEPTACLES SHALL BE NEMA 5-15R, "DECORA" STYLE, AND WHITE UNLESS OTHERWISE NOTED IN THE PLANS OR OWNER'S SPECIFICATIONS.
- ALL OUTDOOR RECEPTACLES SHALL BE GFCI PROTECTED AND LISTED AS "WR" WEATHER RESISTANT TYPE PER NEC 406.9. OUTDOOR RECEPTACLES IN DAMP LOCATIONS SHALL HAVE WEATHERPROOF COVERS. OUTDOOR RECEPTACLES IN WET LOCATIONS SHALL HAVE "IN-USE" TYPE WEATHERPROOF COVERS.
- ALL EXTERIOR JUNCTION BOXES SHALL BE LISTED AS WEATHERPROOF WITH WEATHERPROOF COVERS.
- ALL ELECTRICAL EQUIPMENT AND DEVICES SHALL BE NEW AND SUPPLIED WITH ALL THE NECESSARY FITTINGS, ATTACHMENTS, AND ACCESSORIES FOR A COMPLETE INSTALLATION.
- HIGH EFFICACY LUMINAIRES SHALL BE DEFINED AS FOLLOWS: 30 LUMENS PER WATT (FOR LAMPS 5W OR LESS) 40 LUMENS PER WATT (FOR LAMPS 6W-15W) 50 LUMENS PER WATT (FOR LAMPS 16W-40W)
- MEDIUM AND CANDELABRA BASED SCREW-IN LAMPS DO NOT QUALIFY AS HIGH EFFICACY. GU-24 PIN BASES QUALIFY AS HIGH EFFICACY.
- ALL WALL FIXTURES IN SHALL BE INSTALLED SUCH THAT THE LOWEST PORTION OF THE FIXTURE PROTRUDING > 4" IS 80" ABOVE THE FINISHED GRADE OR HIGHER.
- REFER TO PLUMBING, HVAC, LOW VOLTAGE, COMMUNICATION, ACCESS CONTROL, INTERIOR DESIGN, AND ARCHITECTURE DRAWINGS AND PROVIDE ALL REQUIRED CONTROL WIRES, RELAYS, DISCONNECTS, STARTERS, CONDUITS, TIME SWITCHES, AND OUTLETS REQUIRED. ALL WORK AND MATERIALS INDICATED IN THE ABOVE CONSULTANT'S DRAWINGS AS SUPPLIED BY THE ELECTRICIAN SHALL BE PROVIDED UNDER THIS SCOPE OF WORK.
- ELECTRICAL SYSTEM TO BE GROUNDED PER NEC ARTICLE 250.
- REFER TO ACOUSTICAL ANALYSIS / SPECIFICATIONS; PROVIDE PUTTY PADS OR OTHER SYSTEMS AS REQUIRED FOR SOUND ATTENUATION.
- ELECTRICAL DEVICES INSTALLED ON OPPOSITE SIDES OF WALLS SHALL BE SEPARATED BY A MINIMUM OF 24" (I.E. NOT IN THE SAME STUD BAY). IF DEVICES ARE CLOSER THAN 24" OR THE BOX SIZE EXCEEDS 16 SQIN, THEN A PUTTY PADS (OR SIMILAR FIRE BARRIER) ARE REQUIRED FOR THOSE DEVICES. IF THE DENSITY OF OUTLET OPENINGS EXCEEDS 100SQIN FOR ANY 100SQFT OF WALL, THEN PUTTY PADS ARE REQUIRED FOR THE ENTIRE WALL.
- ALL EQUIPMENT SHALL BE LISTED BY A RECOGNIZED TESTING AGENCY AND SUPPORTED ACCORDING TO APPLICABLE OSHA REQUIREMENTS.
- CONTRACTOR TO WARRANTY ALL WORK COMPLETED FOR A PERIOD OF ONE YEAR AFTER THE OWNER'S ACCEPTANCE DATE. ANY LABOR OR MATERIALS REQUIRED TO CORRECT FAULTY OR DEFECTIVE WORK WITHIN THE WARRANTY PERIOD SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR TO PROVIDE THE OWNER (1) SET OF "AS-BUILT" DRAWINGS FOR THE OWNER'S RECORD AT THE COMPLETION OF THE JOB.
- CONTRACTOR TO CONFIRM ALL LOW VOLTAGE CABLING REQUIREMENTS PRIOR TO BIDDING THE JOB.
- PROPERLY LABEL ALL ELECTRICAL ROOMS / CABINETS, ELECTRICAL PANELS, TIME SWITCHES, PANEL SCHEDULES, AND MULTI-GANG METERS. PROVIDE ALL LABELING AND PLAQUES SPECIFIED IN THE CONTRACT DOCUMENTS.
- PROVIDE A MINIMUM OF A 4FTX8FTX3/4IN FIRE RATED PLYWOOD BACKBOARD WITH A #6 COPPER (MIN) GROUND BONDED TO BUILDING GROUNDING SYSTEM AND A DEDICATED DUPLEX RECEPTACLE PROTECTED BY A 20A/1P CIRCUIT AT THE MAIN POINT OF ENTRANCE FOR THE CATV / PHONE PROVIDERS.
- SWITCHGEAR DIMENSIONS ARE BASED ON THE APPROXIMATE DIMENSIONS OF THE MANUFACTURER SPECIFIED IN THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EQUIPMENT WILL FIT IN THE ACTUAL SPACE PRIOR TO ORDERING THE EQUIPMENT.
- CONTRACTOR SHALL REVIEW THE ELECTRICAL, AND OTHER CONSULTANTS DRAWINGS PRIOR TO STARTING ANY WORK AND INFORM THE ENGINEER OF ANY DISCREPANCIES, OMISSIONS, OR IF CLARIFICATIONS ARE REQUIRED TO COMPLETE THE INSTALLATION PRIOR TO COMMENCING THE WORK.
- PROVIDE THE OWNER WITH 1 COPY OF ALL OPERATION AND MAINTENANCE MANUALS FOR LIGHTING, LIGHTING CONTROL, AND ELECTRICAL SYSTEMS.
- LABEL ELECTRICAL SERVICE EQUIPMENT WITH THE MAXIMUM AVAILABLE FAULT CURRENT AT THE INCOMING TERMINALS OF THE EQUIPMENT PER NEC 110.24
- IT IS PROHIBITED TO SHARE NEUTRAL CONDUCTORS FOR THREE SINGLE PHASE CIRCUITS PER NEC 200.4.
- ALL CABLE TRAYS CONTAINING TYPE SE, MC, MI, OR ICS SERVICE ENTRANCE CABLES MUST BE LABELED "CABLE TRAY CONTAINS SERVICE ENTRANCE CONDUCTORS".
- CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL ELECTRICAL EQUIPMENT, ELECTRICAL MATERIALS AND LIGHTING FIXTURES FOR APPROVAL PRIOR TO ORDERING.

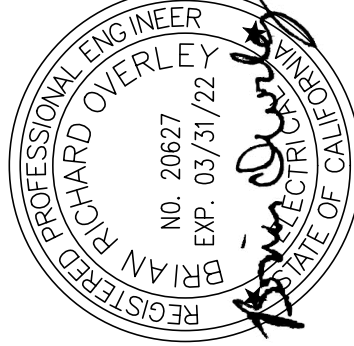


LIGHTING DESIGN | ELECTRICAL ENGINEERING

27201 Calle Juanita
Dana Point, CA 92624
Ph: 949.201.1333
candelaengineering.com

PROJ.#: YO-120

STAMP:



REVISIONS:



RMV MR37
MODEL PARKING SITE LIGHTING PLANS
RANCHO MISSION VIEJO, CA

CLIENT:

PULTE GROUP

27101 PUERTA REAL, SUITE 300
MISSION VIEJO, CA 92691
TEL: 760-775-1806

SHEET TITLE:

MODEL SITE
ELECTRICAL PLAN

SHEET NUMBER:

E-2

DATE: 1/14/2021

- | | |
|---|---|
| <input type="checkbox"/> Fresno
(559) 431-2502 | <input type="checkbox"/> Sacramento
(916) 635-0234 |
| <input type="checkbox"/> Las Vegas
(702) 253-6470 | <input type="checkbox"/> San Diego
(619) 474-8246 |
| <input type="checkbox"/> Livermore
(925) 449-1900 | <input checked="" type="checkbox"/> Southern Ca.
(951) 328-2637 |
| <input type="checkbox"/> Phoenix
(602) 484-8844 | |

PROJECT:
VALENCIA

CLIENT:
PULTE

JDO#/JPO#:
400-69046-030

MO#:
00239581

AE:
DIANA SANCHEZ

DESIGNER:
M. ORTEZ

ORIGINAL DATE:
9/15/20

REVISIONS:

SCALE:
1" = 1'

PC/MAC NAME (SOCAL-016)

FILENAME:

VALENCIA MODEL ID SIGNS

CLIENT APPROVAL

☐ **As is** ☐ **With revision(s)**

Signature

Date

Your signature indicates final approval of this design, releasing MSI from responsibility of incorrect information.

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S/F MODEL IDs

- 1/2" MDO - BOXED - INSTALLED FLUSH W/GRADE
- PAINTED W/VINYL CUTOUTS - PULTE LOGO SECTION IS PHOTOVINYL
- POST: 4X4 WOOD
- 2X4 WOOD BASE PAINTED BLACK
- FOOTING: CONCRETE @ STANDARD DEPTH

COLORS:

- | | |
|--|---|
| <input checked="" type="checkbox"/> PMS 540C | <input checked="" type="checkbox"/> BLACK |
| <input type="checkbox"/> WHITE | <input type="checkbox"/> PMS 141C |

- | | |
|---|---|
| <input type="checkbox"/> Fresno
(559) 431-2502 | <input type="checkbox"/> Sacramento
(916) 635-0234 |
| <input type="checkbox"/> Las Vegas
(702) 253-6470 | <input type="checkbox"/> San Diego
(619) 474-8246 |
| <input type="checkbox"/> Livermore
(925) 449-1900 | <input checked="" type="checkbox"/> Southern Ca.
(951) 328-2637 |
| <input type="checkbox"/> Phoenix
(602) 484-8844 | |

PROJECT:
VALENCIA

CLIENT:
PULTE

JDO#/JPO#:
400-69046-030

MO#:
00239581

AE:
DIANA SANCHEZ

DESIGNER:
M. ORTEZ

ORIGINAL DATE:
9/15/20

REVISIONS:

SCALE:
1" = 1'

PC/MAC NAME (SOCAL-016)

FILENAME:

VALENCIA PARKING SIGN

CLIENT APPROVAL

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D/F SALES GALLERY PARKING SIGN

- 1/2" MDO - BOXED - INSTALLED FLUSH W/GRADE
- PAINTED W/VINYL CUTOUTS - PULTE LOGO SECTION IS PHOTOVINYL
- POST: 4X4 WOOD
- 2X4 WOOD BASE PAINTED BLACK
- FOOTING: CONCRETE @ STANDARD DEPTH

COLORS:

- | | |
|--|---|
| <input checked="" type="checkbox"/> PMS 540C | <input checked="" type="checkbox"/> BLACK |
| <input type="checkbox"/> WHITE | <input type="checkbox"/> PMS 141C |

PROJECT:
VALENCIA

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PULTE

JDO#/JPO#:
400-69046-030

MO#:
00239581

AE:
DIANA SANCHEZ

DESIGNER:
M. ORTEZ

ORIGINAL DATE:
9/15/20

REVISIONS:

SCALE:
1 1/2" = 1'

PC/MAC NAME (SOCAL-016)

FILENAME:

VALENCIA RESTRM DIR

CLIENT APPROVAL

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D/F RESTROOM DIRECTIONAL

- 1/2" MDO
- PAINTED W/VINYL CUTOUTS
- 4X4 PAINTED WOOD POST
- FOOTING: CONCRETE @ STANDARD DEPTH

COLORS:

☒ PMS 540C

☐ WHITE

PROJECT:
VALENCIA

CLIENT:
PULTE

JDO#/JPO#:
400-69046-030

MO#:
00239581

AE:
DIANA SANCHEZ

DESIGNER:
M.ORTEZ

ORIGINAL DATE:
9/15/20

REVISIONS:

SCALE:
1" = 1'

PC/MAC NAME (SOCAL-016)

FILENAME:

VALENCIA SALES GALLERY SIGN

CLIENT APPROVAL

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☐ **With revision(s)**

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D/F SALES GALLERY SIGN

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- PAINTED W/VINYL CUTOUTS - PULTE LOGO SECTION IS PHOTOVINYL
- POST: 4X4 WOOD
- 2X4 WOOD BASE PAINTED BLACK
- FOOTING: CONCRETE @ STANDARD DEPTH

COLORS:

- ☒ PMS 540C
 ☒ BLACK
- ☐ WHITE
 ☐ PMS 141C

CLIENT:

Rancho Mission Viejo

FILE NAME:

1 - Dory Banners & Flag Poles_A

DESIGNER:

Gabe

PROJECT NAME:

Esencia 2.3 - 46736

ACCOUNT MANAGER:

Rachel

DATE:

5/10/17

REVISIONS:

7/20/17

APPROVAL (AS IS) ☐

APPROVAL (WITH CHANGES) ☐

COLORS MAY VARY DEPENDING ON DISPLAYS, PRINT-OUTS, ETC. - THEREFORE THIS CONCEPT IS NOT A TRUSTWORTHY SOURCE FOR COLOR ACCURACY. IF COLORS ARE A CONCERN PLEASE REQUEST COLOR OR MATERIAL SAMPLES FROM YOUR FUSION SALES REPRESENTATIVE BEFORE SIGNING. THIS ORIGINAL CONCEPT HAS BEEN DESIGNED BY FUSION SIGN AND DESIGN. REPRODUCTION IN WHOLE OR IN PART REMAINS THE EXCLUSIVE RIGHT OF FUSION SIGN & DESIGN.

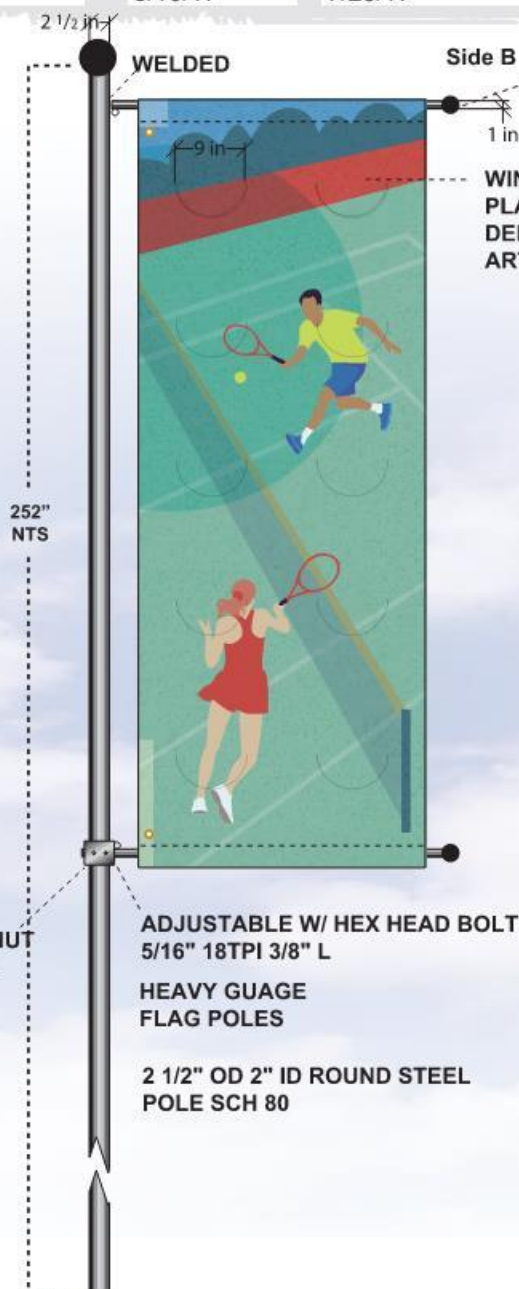
DESIGN ORDER# 46736



■ Pantone 384C

□ White

ONE WELDED NUT
CENTER BACK

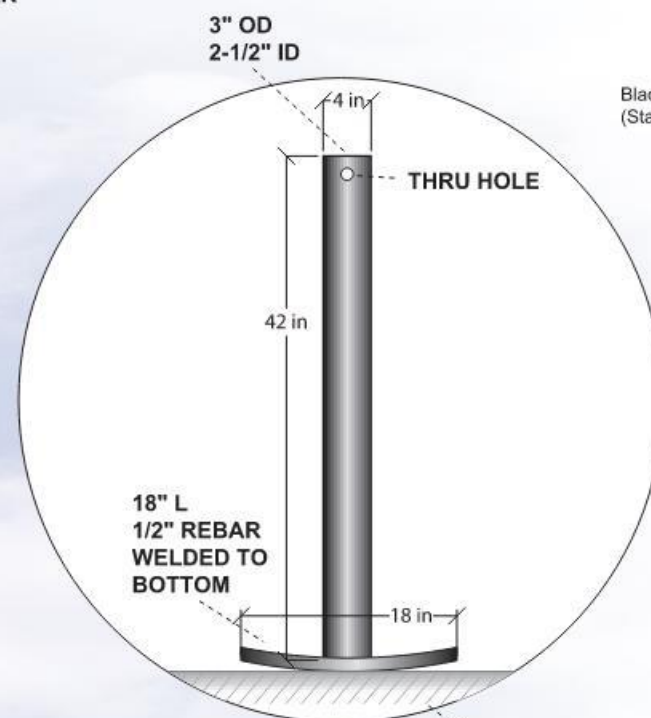


Side B

**BLACK PLASTIC BALL
STANDARD ON
TOP/BOTTOM ARMS**

1" OD 3/4" ID

WINDSLITS
PLACEMENT
DEPENDS ON
ARTWORK



Black Dory Pole
(Standard)

ARTWORK IS LINKED

Print-ready PDFs located in the
46736/CPA directory.

FILENAME:

RMV17037 - Neighborhood Banners Names.pdf

RMV17037 - Neighborhood Banners Final.pdf

Dory Banner

- Double-Faced
- Digital Print
- 13oz Banner Material
- Top/Bottom Sleeves
- Grommets on Pole Side by Sleeves
- Windslits

Flag Poles with Dory Arms

Top and Bottom Arms on Both
Sides Powder Coated Black to
Prevent Rust. Washers Welded
to Pole to Match Grommet
Location on Flag. Schedule 80
Pole Sleeve with Through
Bolt and Nut Welded to Rebar
on Bottom.

Process Color CMYK



PROOF LIST

S	D	P	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	ARTWORK
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SPELLING
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SIZE
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	COLORS
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	MATERIALS

SCALE: NTS

FOR
FUSION
USE
ONLY

DESIGNER	HOURS
	0.25
XXX	0.00
XXX	0.00
XXX	0.00
XXX	0.00
XXX	0.00

ART IS PRODUCTION READY YES ☒ NO ☐

GENERAL CONDITIONS SHORT FORM

PROTECTION OF LIFE AND PROPERTY

1. Contractor shall protect all construction and landscaping from damage and, when required, provide guards or covering. Any damage shall be repaired or replaced at the Contractor's expense. Contractors on the job shall carry the following Insurance: (a) Worker's Compensation; (b) Public Comprehensive General Liability; and (c) Property Damage. In an emergency threatening the safety of life, work or adjoining property, the Contractor is hereby instructed to act at his discretion to prevent such loss or injury and shall maintain the following minimum liability insurance coverage during the contract period.

COVERAGE

Bodily Injury: \$250,000 per individual, per Occurrence

Property Damage: \$100,000 per Occurrence, aggregate

2. The Contractor shall cause to be named as additional insured in such Contractor's Public Liability, Contractor's Protective Liability and Automobile Liability Insurance policies the following: (a) PULTE HOMES, 27401 LOS ALTOS, SUITE 400 MISSION VIEJO, CALIFORNIA 92691 (b) GMP INC., 4010 SORRENTO VALLEY BLVD, SUITE '200', SAN DIEGO, CA, 92121

3. Contractor shall not cause this policy to be canceled or permit it to lapse, and the insurance policy shall include a clause to the effect that the policy shall not, at any time during the construction period, be canceled or reduced, restricted or limited until fifteen (15) days after all additional insureds have received written notice as evidenced by returned receipts of registered or certified letters.

4. The Contractor agrees to hold the Owner and Landscape Architect harmless from any claims arising out of his operations of any of his sub contractors, material supplies, or agents.

5. All local, municipal and state laws, rules and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these specifications and their provisions shall be carried out by the contractor.

6. The contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The locations of utilities, structures and services shown in these plans are approximate only. Any discrepancies between these plans and actual field conditions shall be reported to the owner or landscape architect.

7. The contractor shall protect all existing utilities and features to remain on, and adjacent to, the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.

8. The contractor shall obtain the pertinent engineering and/or architectural plans before beginning work.

9. Permits for any construction depicted in these plans shall be obtained by the contractor.

10. Contractor shall have a valid contractors license required for the particular work being done. Contractor shall not allow the license(s) to lapse during the contract period.

CALIFORNIA EXOTIC PEST CERTIFICATION:

NO PLANTS IDENTIFIED BY THE CALIFORNIA EXOTIC PEST PLANT COUNCIL AS AN INVASIVE RISK IN SOUTHERN CALIFORNIA ARE INCLUDED IN THE PLAN.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE:

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE CITY/COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

TAKE PRECEDENCE:

THE RANCHO MISSION VIEJO LANDSCAPE STANDARDS REQUIREMENTS SHALL TAKE PRECEDENCE OVER THE APPROVED LANDSCAPE PLANS. SHOULD A DISCREPANCY OCCUR BETWEEN ANY NOTES, SPECIFICATIONS, DETAILS, SITE CONDITIONS, OR OTHER SITUATION REGARDING THE INTERPRETATION OF CONSTRUCTION FROM THESE PLANS, THE APPLICABLE GOVERNING AGENCY'S DECISION SHALL BE FINAL.

COUNTY OF ORANGE LANDSCAPE PLAN GENERAL NOTES:

1. PRIOR TO FINAL INSPECTION, CLOSURE OF A BUILDING OR GRADING PERMIT, AND ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY, THE FOLLOWING SHALL BE SUBMITTED TO DEMONSTRATE COMPLIANCE WITH SECTION 7-9-133.4 OF THE ZONING CODE (COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE):

A. CERTIFICATION BY EITHER THE SIGNER OF THE LANDSCAPE DESIGN PLAN, THE SIGNER OF THE IRRIGATION DESIGN PLAN, OR THE LICENSED LANDSCAPE CONTRACTOR THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE.

B. DOCUMENTATION OF THE IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER(S)

C. DOCUMENTATION OF THE SPECIFIED LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE

D. PROVISIONS FOR LANDSCAPE MAINTENANCE PRACTICES THAT FOSTER LONG-TERM LANDSCAPE WATER CONSERVATION

E. AN IRRIGATION SYSTEM AUDIT REPORT

2. ALL TREES PLANTED WITHIN 5' OF HARDSCAPE SHALL BE PLANTED IN DEEP ROOT CONTAINERS/BARRIERS PER COUNTY OF ORANGE STANDARD PLAN NO. 1708 OR EQUAL.

3. THE DEVELOPMENT WILL NOT BE RELEASED BY OC DEVELOPMENT SERVICES FOR USE AND OCCUPANCY UNTIL THE PLANTING ON THE SLOPES HAS GROWN SUFFICIENTLY TO ESTABLISH EROSION CONTROL.

4. WATER CONSERVATION MEASURES SHALL BE UTILIZED ON ALL DEVELOPMENTS IN THE UNINCORPORATED AREA PURSUANT TO THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE.

5. IRRIGATION DESIGN PLANS SHALL INCLUDE A PROVISION FOR AUTOMATIC IRRIGATION SYSTEMS IN COMPLIANCE WITH CALGREEN CODE, SECTIONS 4 (RESIDENTIAL MANDATORY MEASURES) AND 5 (NONRESIDENTIAL MANDATORY MEASURES).

6. APPROVED LANDSCAPE PLANS SHALL NOT RELIEVE THE CONTRACTOR/DEVELOPER FROM THE RESPONSIBILITY TO OBTAIN COUNTY PROPERTY PERMITS WHICH SHALL BE AVAILABLE ON THE JOB AT ALL TIMES WORK IS BEING ACCOMPLISHED IN THE PUBLIC RIGHT-OF-WAY.

7. THE DEVELOPER SHALL TELEPHONE THE PUBLIC FACILITIES & RESOURCES DEPARTMENT (714) 245-4550, AT LEAST 24 HOURS PRIOR TO STARTING.

CERTIFICATION OF LANDSCAPE DESIGN

I HEREBY CERTIFY THAT: THE DESIGN OF THE PROJECT COMPLIES WITH THE REQUIREMENTS OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE AND THE GUIDELINES FOR IMPLEMENTATION OF THE LANDSCAPE IRRIGATION CODE (INCLUDING ALL ELEMENTS OF SECTION 2).

(1) I AM A PROFESSIONAL APPROPRIATELY LICENSED IN THE STATE OF CALIFORNIA TO PROVIDE PROFESSIONAL LANDSCAPE DESIGN SERVICES.

(2) THE LANDSCAPE DESIGN AND WATER USE CALCULATIONS FOR THE PROPERTY LOCATED AT SADDLE WAY, RANCHO MISSION VIEJO CA WERE PREPARED UNDER MY SUPERVISION.

(3) THE LANDSCAPE DESIGN AND WATER USE CALCULATIONS FOR THE IDENTIFIED PROPERTY COMPLY WITH THE REQUIREMENTS OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE (OCCO SECTIONS 7-9-133.1 TO 133.6) AND THE COUNTY OF ORANGE GUIDELINES FOR IMPLEMENTATION OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE.

(4) THE INFORMATION I HAVE PROVIDED IN THIS CERTIFICATE OF LANDSCAPE DESIGN IS TRUE AND CORRECT AND IS HEREBY SUBMITTED IN COMPLIANCE WITH THE COUNTY OF ORANGE GUIDELINES FOR IMPLEMENTATION OF THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE.

(5) I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTIONS OF MWEO.

JOHN PATTERSON	3/9/21
PRINT NAME	DATE
	LLA 3503
SIGNATURE	LICENSE NUMBER

4010 SORRENTO VALLEY BLVD, SUITE 200, SAN DIEGO, CA 92121
ADDRESS

858.558.8977	john@gmplandarch.com
TELEPHONE	E-MAIL ADDRESS

LANDSCAPE ARCHITECTURE PLANS FOR: RANCHO MISSION VIEJO: MR37 FOR PULTE HOMES FENCE AND WALL PLANS

2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
"THE IRRIGATION PLANS INCLUDED IN THESE PLANS ARE COMPLIANT WITH THE 2013 CALIFORNIA GREEN BUILDING CODE, CHAPTERS 4 AND 5, FOR OUTDOOR WATER USE"

NOTE: THIS PROJECT IS CLASSIFIED AS 'NEW CONSTRUCTION'

SOILS TEST INFORMATION:

SOIL TYPE:
TEXTURE:

INFILTRATION RATE:

TEST PERFORMED BY:

REFERENCE GMU PROJECT NUMBER:

SOILS TEST DATA WILL BE MODIFIED AFTER GRADING OPERATION. A SECOND TEST WILL BE PERFORMED BY SOIL AND PLANT LAB

SHEET INDEX:

TITLE SHEET	TS-01
FENCE AND WALL CONSTRUCTION PLANS	LC-01 THRU LC-04
FENCE AND WALL DETAILS	LC-05 THRU LC-06

LANDSCAPE ARCHITECT CERTIFICATION:

I HAVE COMPLIED WITH THE CRITERIA OF THE RANCH PLAN PC, OCPW, LANDSCAPE IRRIGATION CODE, IMPLEMENTATION GUIDELINES AND CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

JOHN PATTERSON	3/9/21
PRINT NAME	DATE
	LLA 3503
SIGNATURE	LICENSE

SOILS REPORT NOTE:

THE LANDSCAPE CONTRACTOR SHALL PROVIDE FOR AND HAVE PERFORMED A SITE-SPECIFIC AGRONOMIC SOILS TEST REPORT ON SAMPLES TAKEN FROM AT LEAST FOUR (4) SEPARATE AREAS CONTAINED IN THIS PROJECT. THE SOILS TEST SHALL INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO GROUND COVER AREAS, TREE/SHRUB BACKFILL, AND HYDRO-MULCH FORMULA.

THE CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT AND COUNTY WITH ONE (1) COPY EACH OF SAID REPORT FOR REVIEW PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE SOIL ANALYSIS REPORT PER COUNTY OF ORANGE IRRIGATION CODE SECTION 2.3. THIS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE CERTIFICATION OF COMPLETION

THE CONTRACTOR SHALL PROVIDE DOCUMENTATION VERIFYING THE IMPLEMENTATION OF SOIL ANALYSIS AS REQUIRED. THIS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE CERTIFICATION OF COMPLETION.

KEY MAP NTS



VICINITY MAP

MAINTENANCE RESPONSIBILITY NOTE

ALL LANDSCAPE PROPOSED ON THESE PLANS SHALL BE MAINTAINED BY RANCHO MISSION VIEJO.

NPDES NOTES:

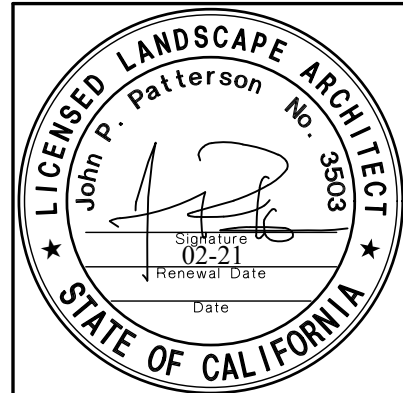
1. IN THE CASE OF EMERGENCY, CALL THE SOUTHERN CALIFORNIA FIELD OFFICE: (213) 244-1800
2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LINES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
18. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

EXOTIC PEST PLANT STATEMENT

THE LANDSCAPE ARCHITECT HEREBY CERTIFIES THAT NO PLANTS IDENTIFIED BY THE CALIFORNIA EXOTIC PEST PLANT COUNCIL AS AN INVASIVE RISK IN SOUTHERN CALIFORNIA ARE INCLUDED IN THIS PROJECT.

ROOT BARRIER NOTE:

ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.



TITLE SHEET

SHEET TITLE:

PROJECT/CLIENT:

RIENDA: MR37
FENCE & WALL
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

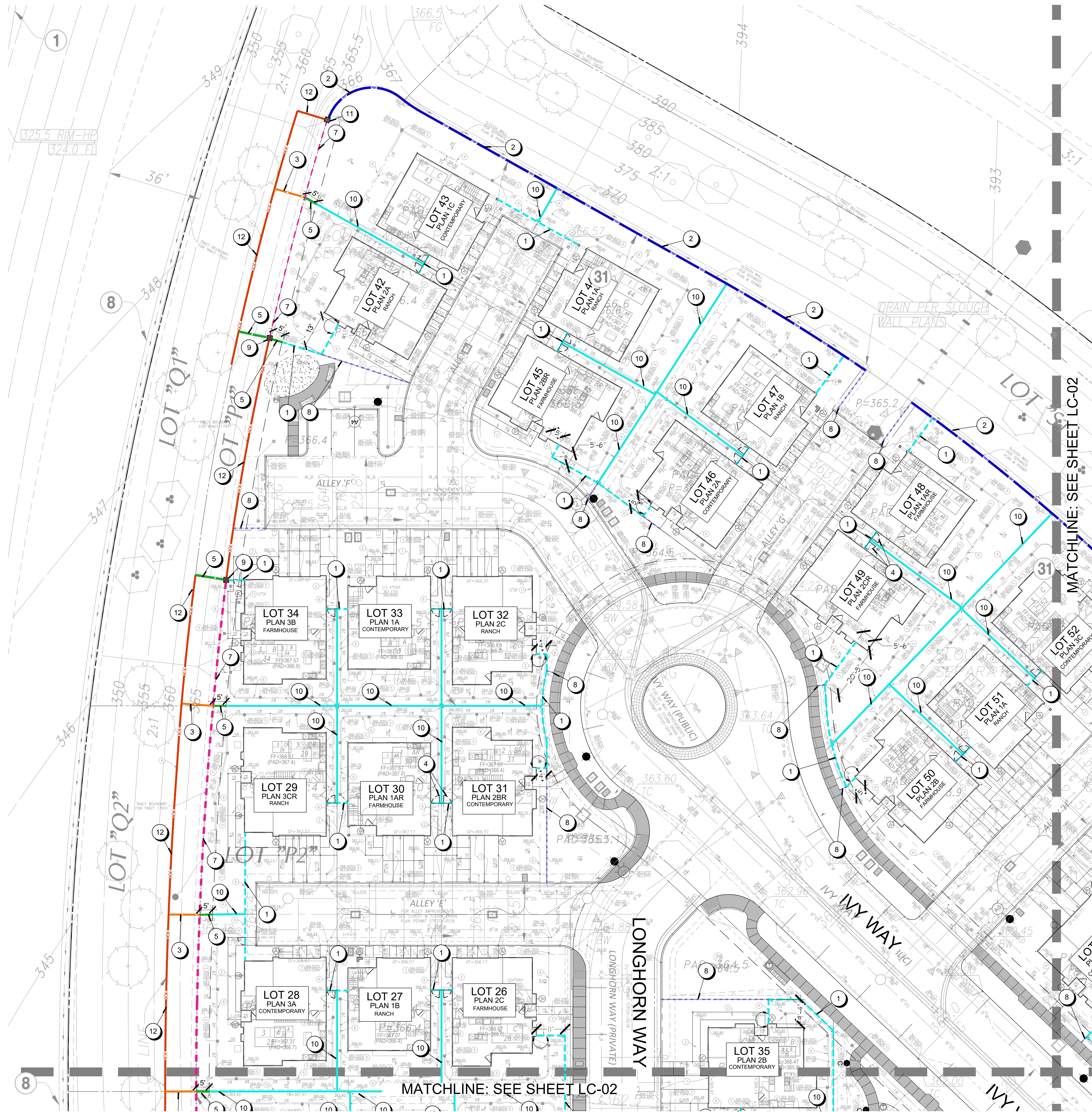
REVISIONS

STEP 3 SUB.	05-01-2020
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3RD SDP SUB.	03-09-2021

DRAWN	KJ
APPROVED	JR
PLOT DATE	05/04/2021
JOB NO.	19-058
SCALE	SEE SHEET

TS-01

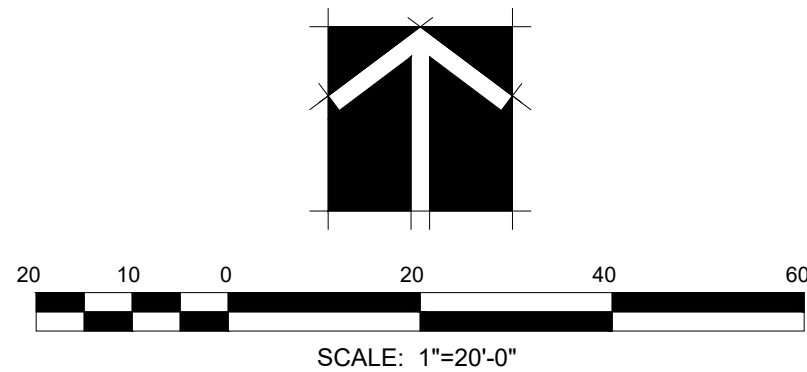
SHEET 01 OF 07



CONSTRUCTION LEGEND

- | | | |
|----|--|--------------------------------------|
| 1 | 5'-6" HIGH NEIGHBORHOOD WALL: STREET/ALLEY FACING (BUILDER RESPONSIBILITY) | DETAIL CD-35, 42, 43, 44, 62 / LC-05 |
| 2 | SLOUGH WALL WITH TUBULAR STEEL FENCE (MASTER RESPONSIBILITY) | DETAIL 80/LC-06 |
| 3 | 6' DOWN SLOPE TUBULAR STEEL FENCE (BUILDER RESPONSIBILITY) | DETAIL CD-85/LC-06 |
| 4 | SIDEYARD GATE (BUILDER RESPONSIBILITY) | DETAIL A/LC-06 |
| 5 | 6' TUBULAR STEEL FENCE WITH MOW CURB (BUILDER RESPONSIBILITY) | DETAIL CD-47/LC-06 |
| 6 | 6' TUBULAR STEEL FENCE WITH GRADE BEAM (BUILDER RESPONSIBILITY) | DETAIL CD-47/LC-06 |
| 7 | TOP OF SLOPE GRADE BEAM (BUILDER RESPONSIBILITY) | DETAIL CD-12/LC-05 |
| 8 | MOW CURB (BUILDER RESPONSIBILITY) | DETAIL CD-105/LC-06 |
| 9 | FULL HEIGHT PRECISION BLOCK PILASTER (BUILDER RESPONSIBILITY) | DETAIL CD-59/LC-05 |
| 10 | 5'-6" HIGH NEIGHBORHOOD WALL: HOMEOWNER SIDEYARD (BUILDER RESPONSIBILITY) | DETAIL CD-35, 42, 43, 44, 69 / LC-05 |
| 11 | FULL HEIGHT PRECISION BLOCK PILASTER (MASTER RESPONSIBILITY) | DETAIL CD-59/LC-05 |
| 12 | 6' TUBULAR STEEL FENCE WITH GRADE BEAM (MASTER RESPONSIBILITY) | DETAIL CD-47/LC-06 |

ROOT BARRIER NOTE:
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Underground Service Alert
Call: **811**
TWO WORKING DAYS BEFORE YOU DIG
Call 811 to report a potential underground utility. Only those utilities belonging to the owner. They could be gas, water, sewer, or other. The owner will inform you of whom they will notify.

PA20-0048 / TR 17931

PROJECT CLIENT:

RIENDA: MR37
FENCE & WALL
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

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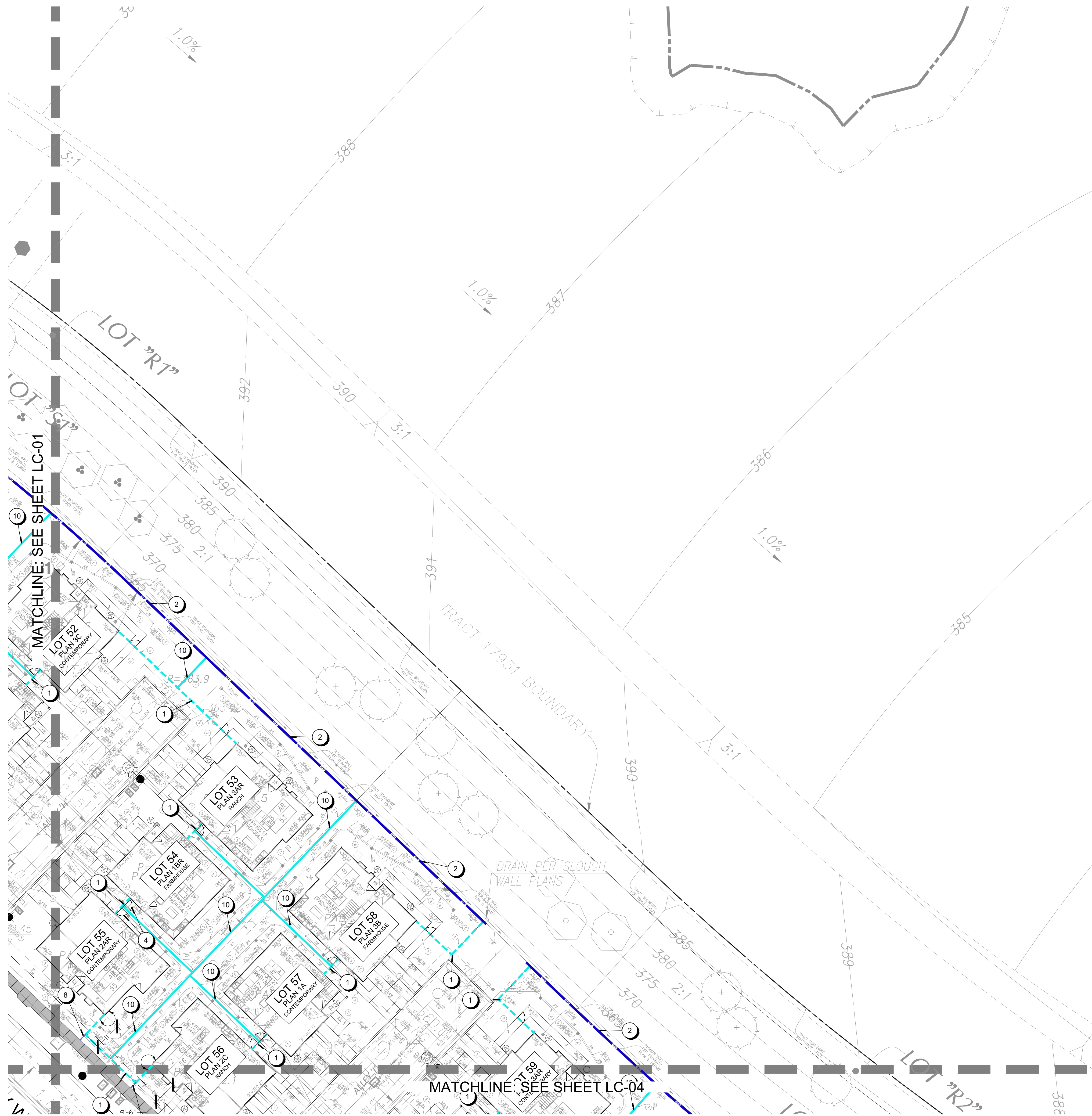
**CONSTRUCTION
PLANS**



4000 Serrano Valley Blvd.
Suite 200
San Diego, CA 92121
gmplandscape.com
T 858 558 8977

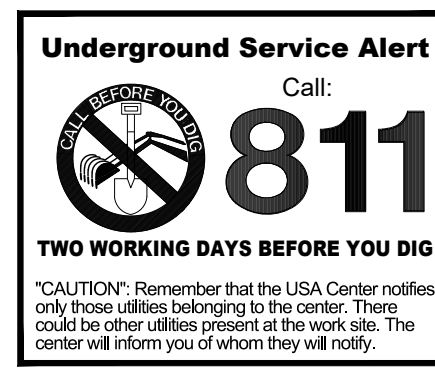
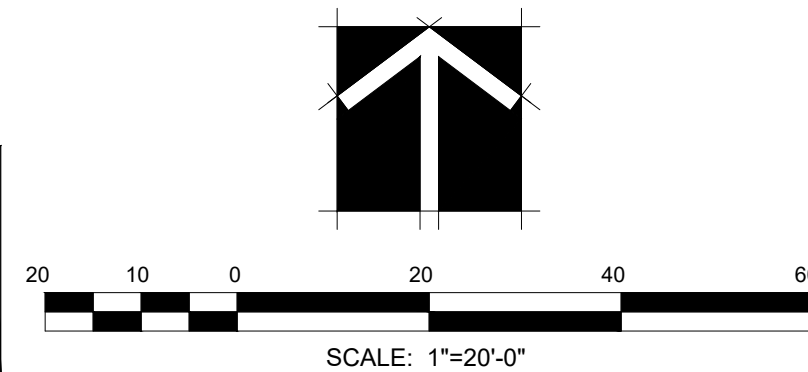
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DRAWN: KS
APPROVED: JB
PLOT DATE: 05/04/2021
JOB NO.: 19-058
SCALE: SEE SHEET



CONSTRUCTION LEGEND		
1	5'-6" HIGH NEIGHBORHOOD WALL: STREET/ALLEY FACING (BUILDER RESPONSIBILITY)	DETAIL CD-35, 42, 43, 44, 62 / LC-05
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PA20-0048 / TR 17931

PROJECT/CLIENT:

RIENDA: MR37
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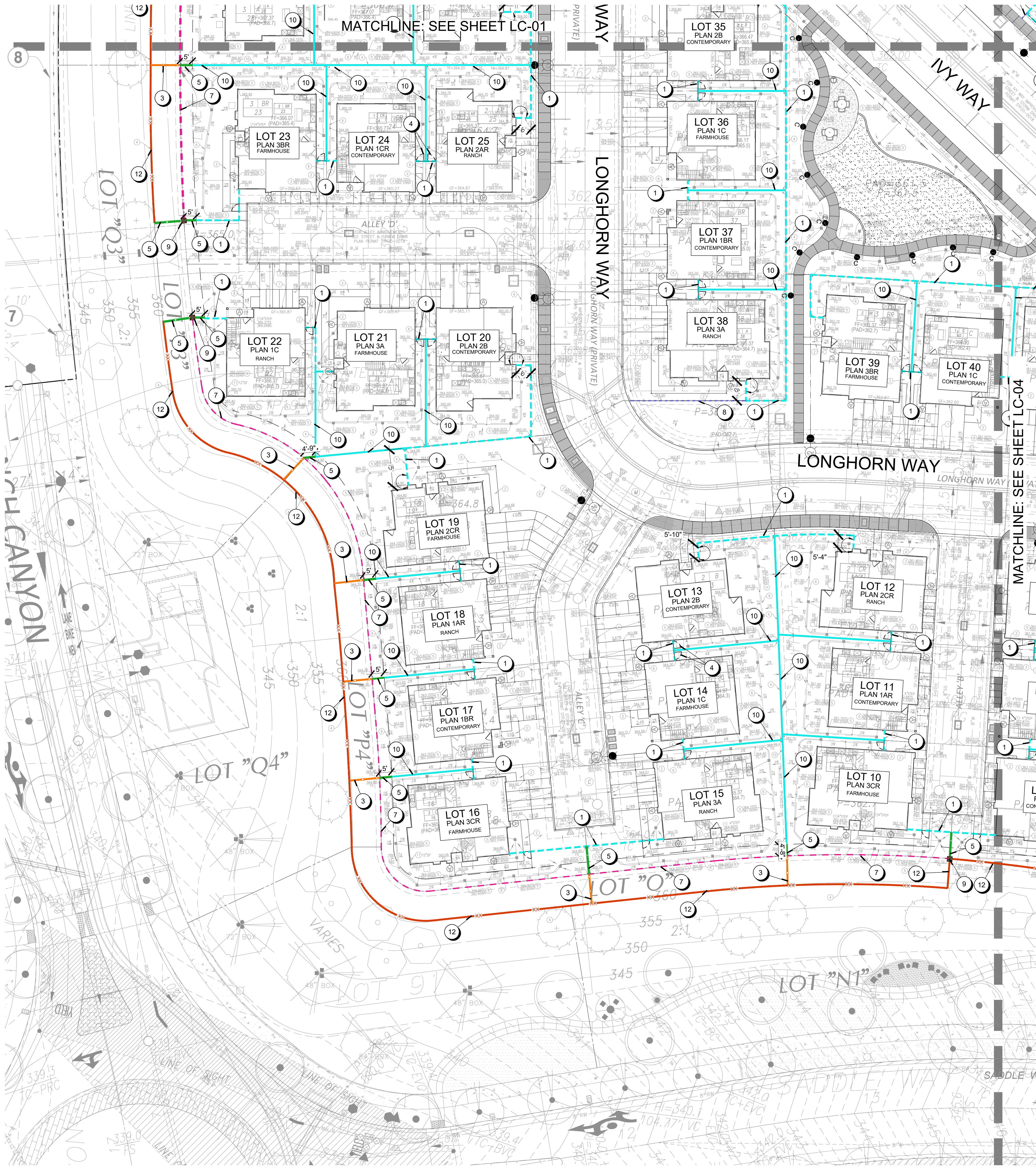
CONSTRUCTION
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gmplandscape.com
T 858 558 8977

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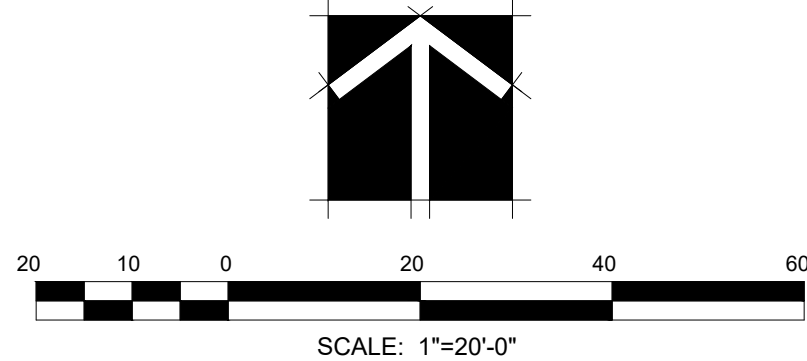
DRAWN	KI
APPROVED	JH
PLOT DATE	05/04/2021
JOB NO.	19-058
SCALE	SEE SHEET



CONSTRUCTION LEGEND

- | | | |
|----|--|--------------------------------------|
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Underground Service Alert
Call: 811
TWO WORKING DAYS BEFORE YOU DIG
Only those utilities belonging to the owner. There could be other utilities present on the work site. The owner will inform you of whom they will notify.

PA20-0048 / TR 17931

PROJECT CLIENT:

RIENDA: MR37
FENCE & WALL
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

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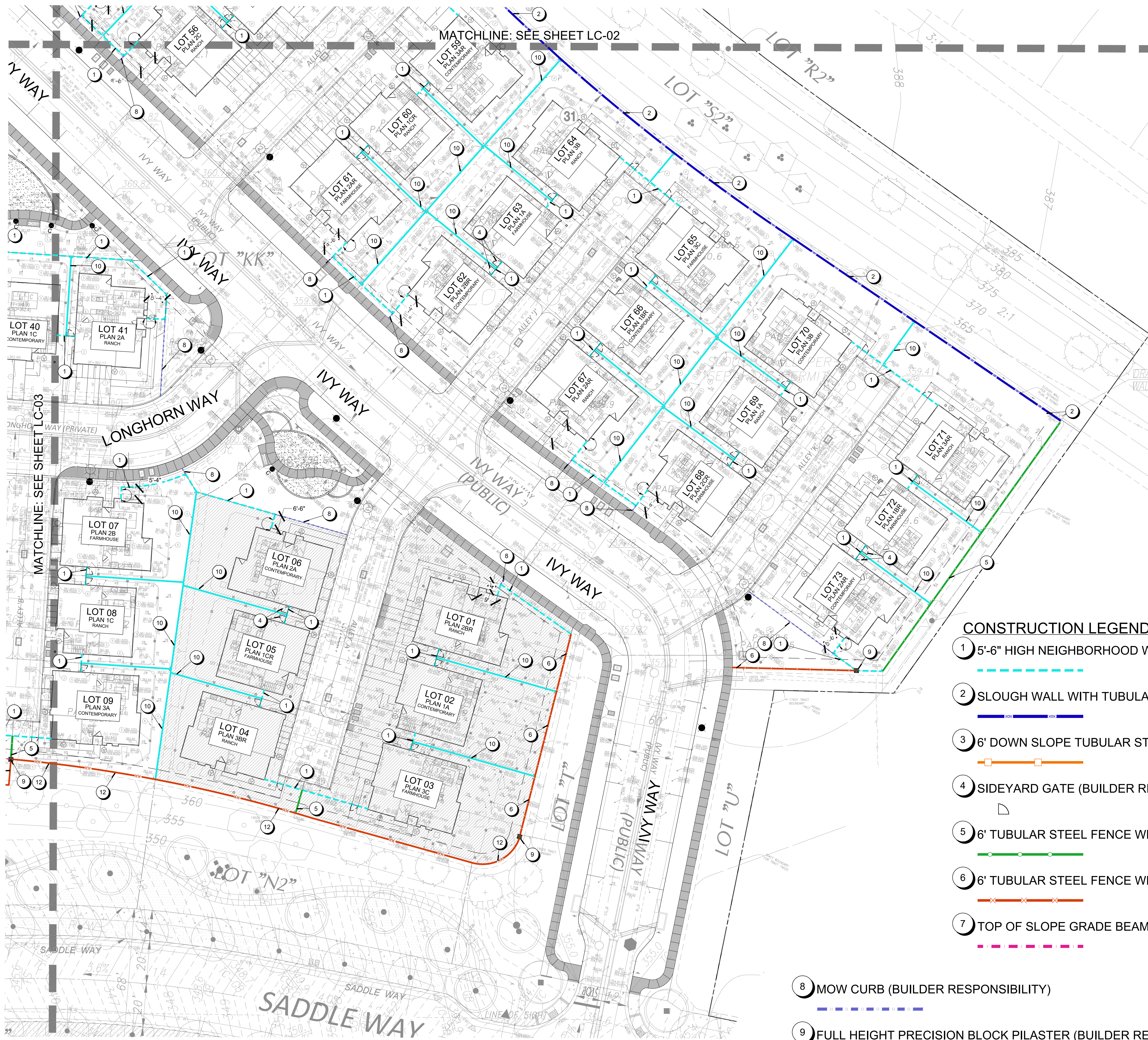
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SHEET TITLE:

CONSTRUCTION
PLANS



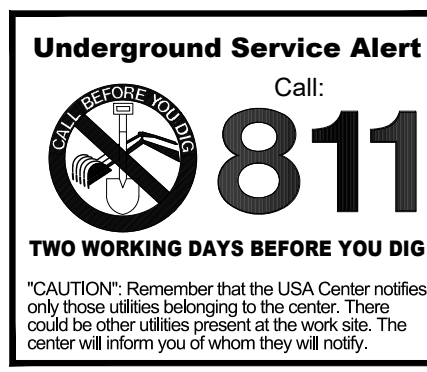
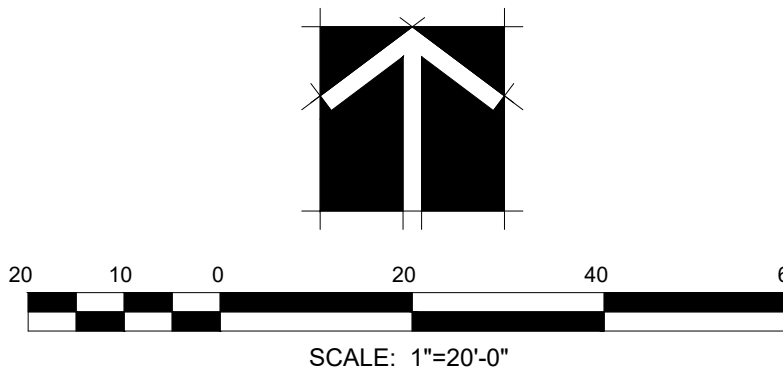
4400 Sacramento Valley Blvd.
Suite 200
San Diego, CA 92121
619.558.8977
619.558.8977
gmp LANDSCAPE ARCHITECTURE & PLANNING



CONSTRUCTION LEGEND

- | | | |
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| 4 | SIDEYARD GATE (BUILDER RESPONSIBILITY) | DETAIL A/LC-06 |
| 5 | 6' TUBULAR STEEL FENCE WITH MOW CURB (BUILDER RESPONSIBILITY) | DETAIL CD-47/LC-06 |
| 6 | 6' TUBULAR STEEL FENCE WITH GRADE BEAM (BUILDER RESPONSIBILITY) | DETAIL CD-47/LC-06 |
| 7 | TOP OF SLOPE GRADE BEAM (BUILDER RESPONSIBILITY) | DETAIL CD-12/LC-05 |
| 8 | MOW CURB (BUILDER RESPONSIBILITY) | DETAIL CD-105/LC-06 |
| 9 | FULL HEIGHT PRECISION BLOCK PILASTER (BUILDER RESPONSIBILITY) | DETAIL CD-59/LC-05 |
| 10 | 5'-6" HIGH NEIGHBORHOOD WALL: HOMEOWNER SIDEYARD (BUILDER RESPONSIBILITY) | DETAIL CD-35, 42, 43, 44, 69 / LC-05 |
| 11 | FULL HEIGHT PRECISION BLOCK PILASTER (MASTER RESPONSIBILITY) | DETAIL CD-59/LC-05 |
| 12 | 6' TUBULAR STEEL FENCE WITH GRADE BEAM (MASTER RESPONSIBILITY) | DETAIL CD-47/LC-06 |

ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL.

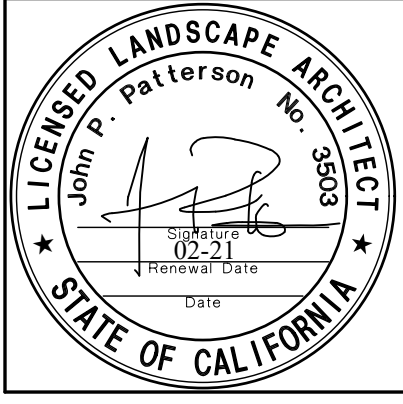


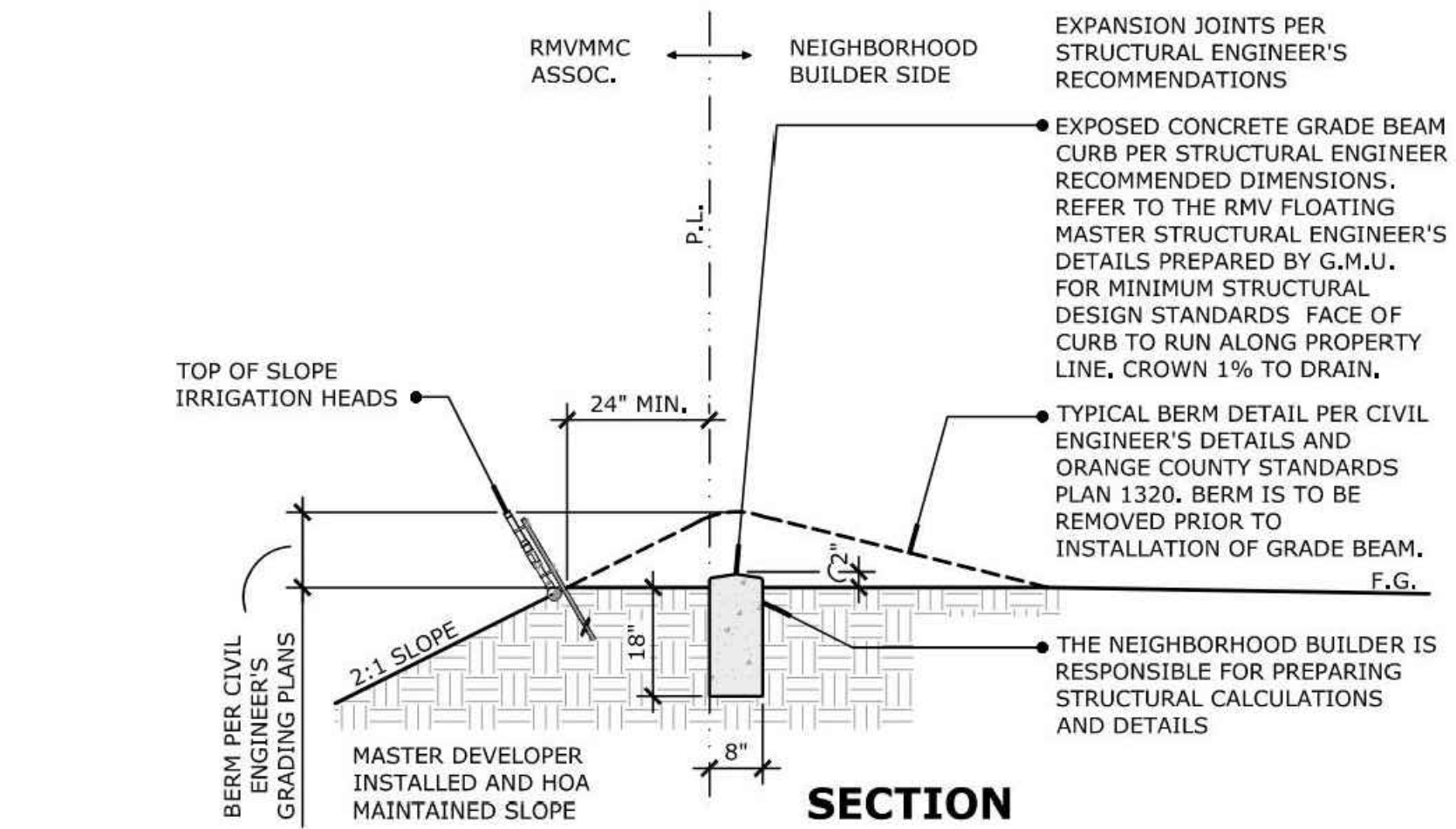
REVISIONS	
STEP 3 SUB.	05-01-2020
STEP 3.1 SUB.	07-14-2020
STEP 4 SUB.	10-09-2020
1ST SDP SUB.	01-06-2021
STEP 5 SUB.	01-15-2021
2ND SDP SUB.	02-09-2021
3RD SDP SUB.	03-09-2021

PROJECT CLIENT:

RIENDA: MR37
FENCE & WALL
RANCHO MISSION VIEJO
PULTE HOMES
27401 Los Altos, Suite 400
Mission Viejo, CA 92691

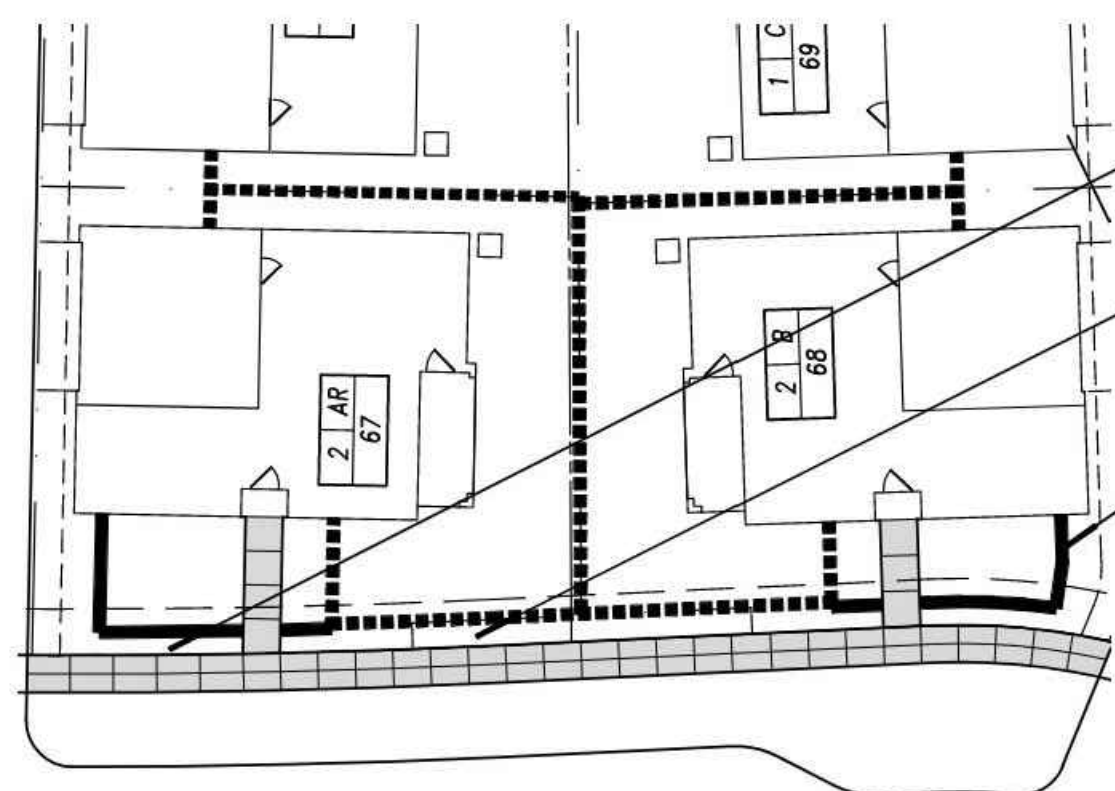
SHEET TITLE:
CONSTRUCTION
PLANS





TOP OF SLOPE EXPOSED GRADE BEAM CURB

SCALE: 1/2" = 1'-0"



- MAXIMIZING PRIVATE YARD SPACE IS ENCOURAGED

- 30' SETBACK FROM BACK OF WALK TO 42" MAXIMUM HIGH FENCE OR WALL WILL BE REQUIRED WHEN ADJACENT TO PUBLIC RIGHT-OF-WAY. THE 30' PLANTER SHALL BE INSTALLED AND MAINTAINED BY THE HOMEOWNER.
- 30' SETBACK FROM BACK OF WALK TO 6' MAXIMUM HIGH FENCE OR WALL. THE 30' PLANTER SHALL BE INSTALLED NEIGHBORHOOD BUILDER AND MAINTAINED BY THE HOA. FENCE OR WALL MUST BE SET BACK A MINIMUM OF 36" FROM THE FRONT DOOR.
- POSSIBLE PRIVATE COURTYARD SPACES AS BUILDER OPTION OR ENHANCEMENT. BARRIERS THAT DEFINE PRIVATE YARD SPACES MAY BE A WALL OR FENCE, BLOCK WALL WITH PILASTERS OR VINYL FENCING CAN BE CONSIDERED. USE ARCHITECTURAL DETAILING FOR INSPIRATION. CONSISTENCY IS IMPORTANT FOR THE WALL/FENCE MATERIALS AND DESIGN THROUGHOUT THE NEIGHBORHOOD. FENCE OR WALLS MUST BE SET BACK A MINIMUM OF 36" FROM THE FRONT CORNER OF THE HOME. GATE DESIGNS MUST BE UNIQUE TO EACH HOME.
- THE PRIVATE YARD MINIMUM IMPROVEMENT INCLUDES A SCORED CONCRETE ENTRY WALK WITH A WASH FINISH. BASIC PLANS FOR HOMEOWNERS THAT WOULD BE EITHER PURCHASED OR OPTIONED WITH THE HOME ARE ENCOURAGED. REFER TO THE DESIGN GUIDELINES FOR LEVELS OF DESIGN BASED ON VISIBILITY AND LOCATION.
- A CONCRETE MOW CURB IS REQUIRED UNDER A FENCE WHEN ADJACENT TO MASTER HOA MAINTAINED AREAS.
- SOUND ATTENUATION MAY REQUIRE GLASS ON TOP OF LOW WALLS, REQUIREMENTS SHALL BE CONFIRMED WITH PROJECT SOUND STUDY.

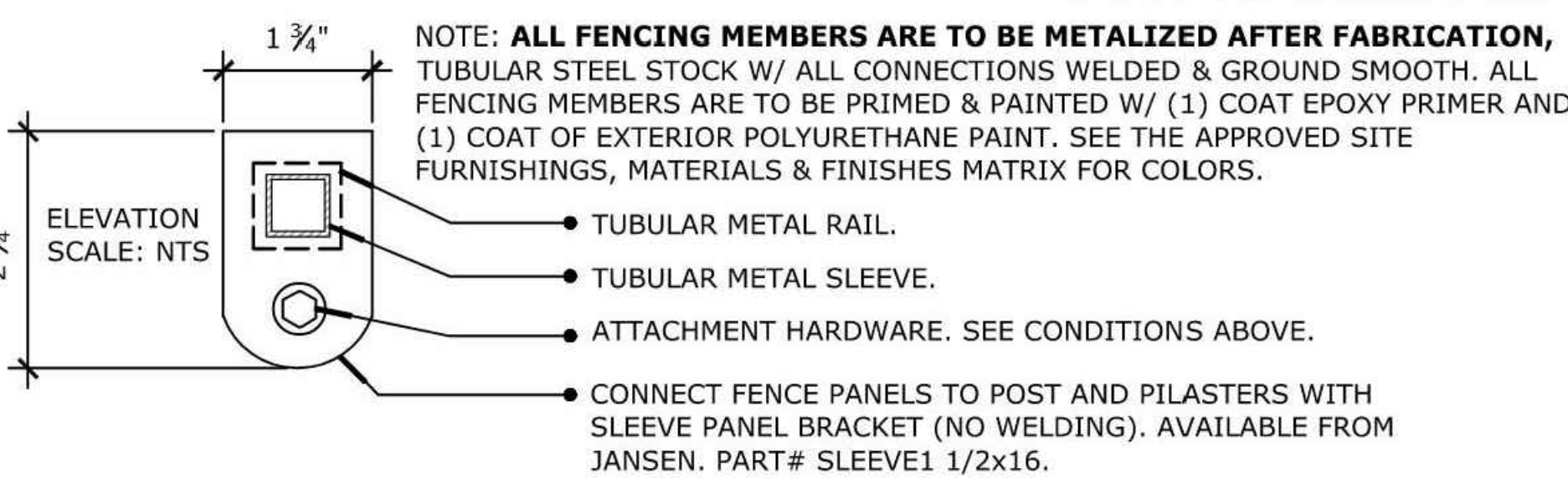
PRIVATE YARD SPACE AND BARRIER REQUIREMENTS - MR 37

SCALE: 1" = 20'

MASONRY ATTACHMENT

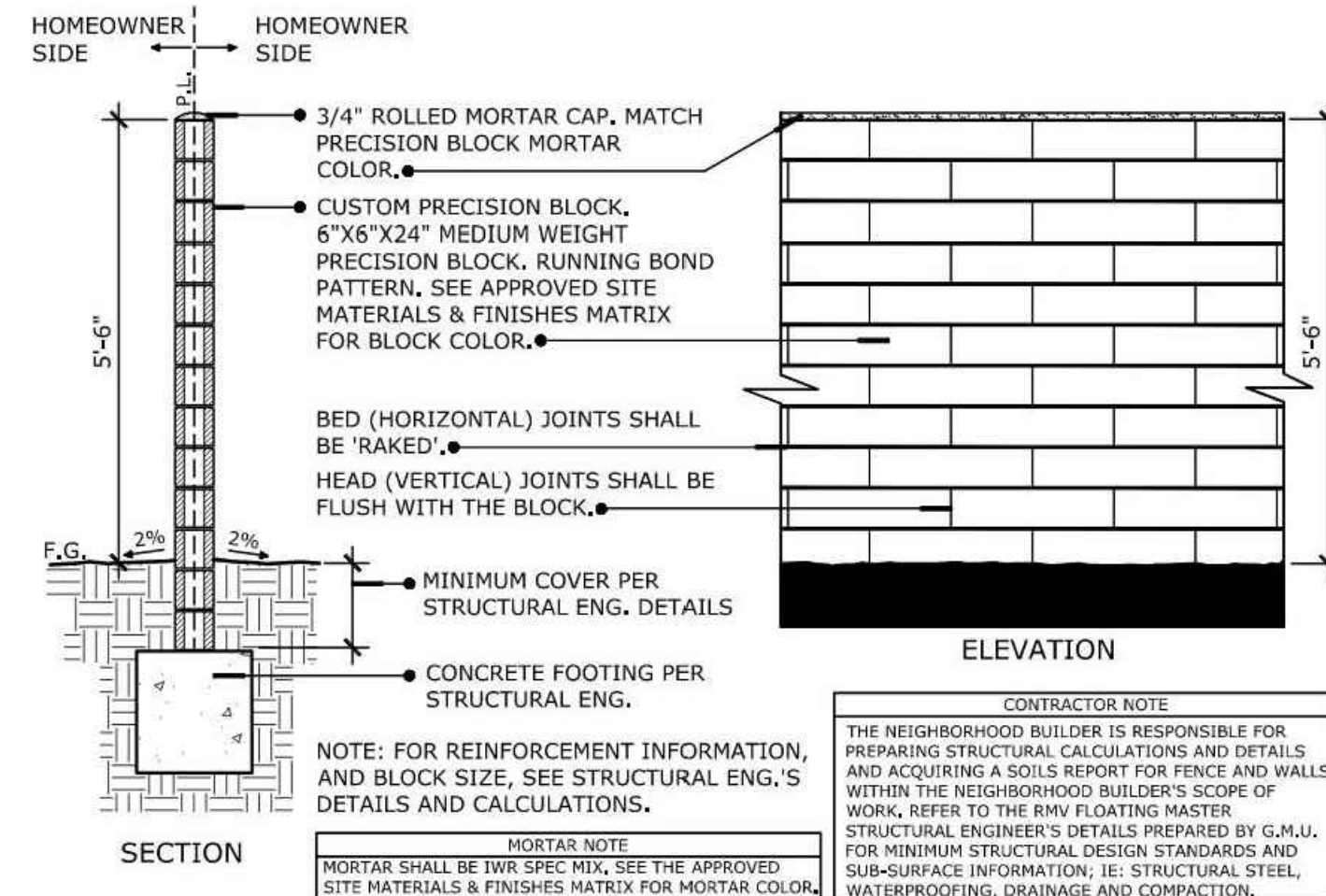
NOTE: METAL BRACKET AND SLEEVE ARE TO OCCUR AT ALL PILASTERS AND TUBULAR METAL POSTS.

ALL COMPONENTS AVAILABLE FROM JANSEN ORNAMENTAL SUPPLY CO. 1(800) 423-4494.



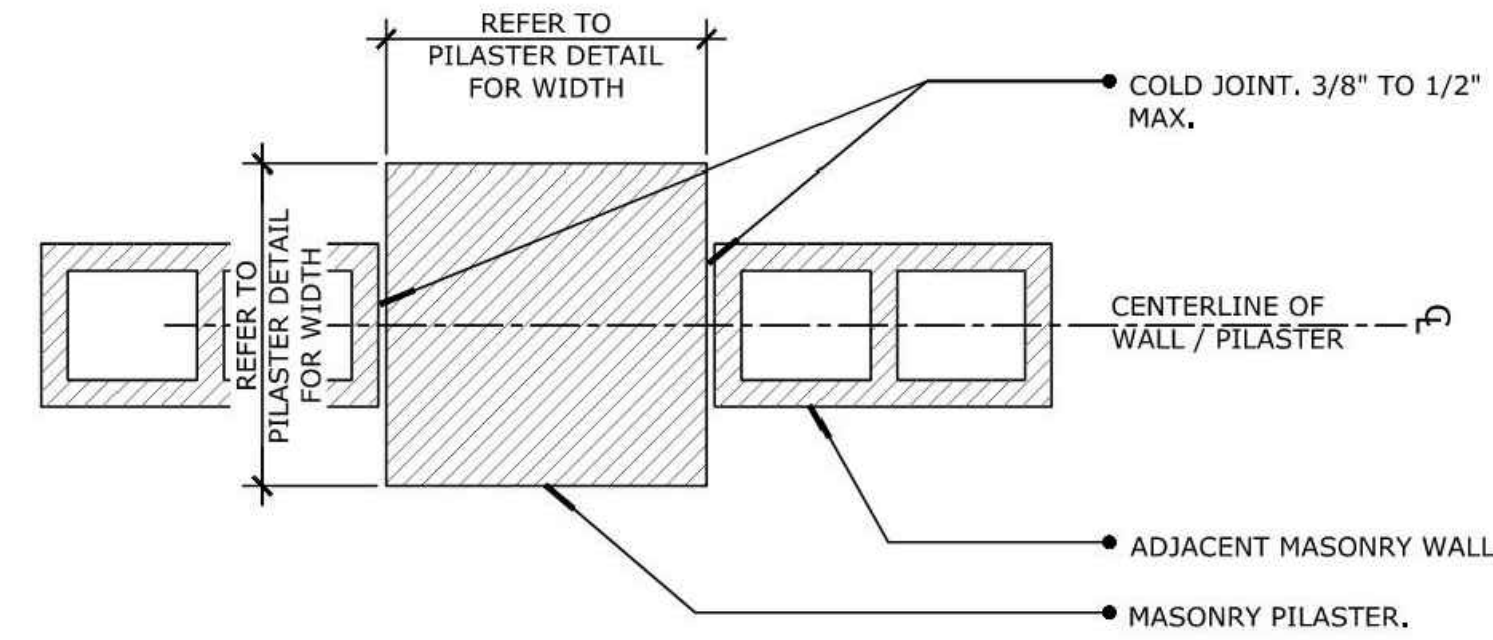
TUBULAR METAL FENCE CONNECTIONS

SCALE: 1-1/2" = 1'-0"



HIGH PRECISION BLOCK SIDE YARD WALL

SCALE: 1/2" = 1'-0"

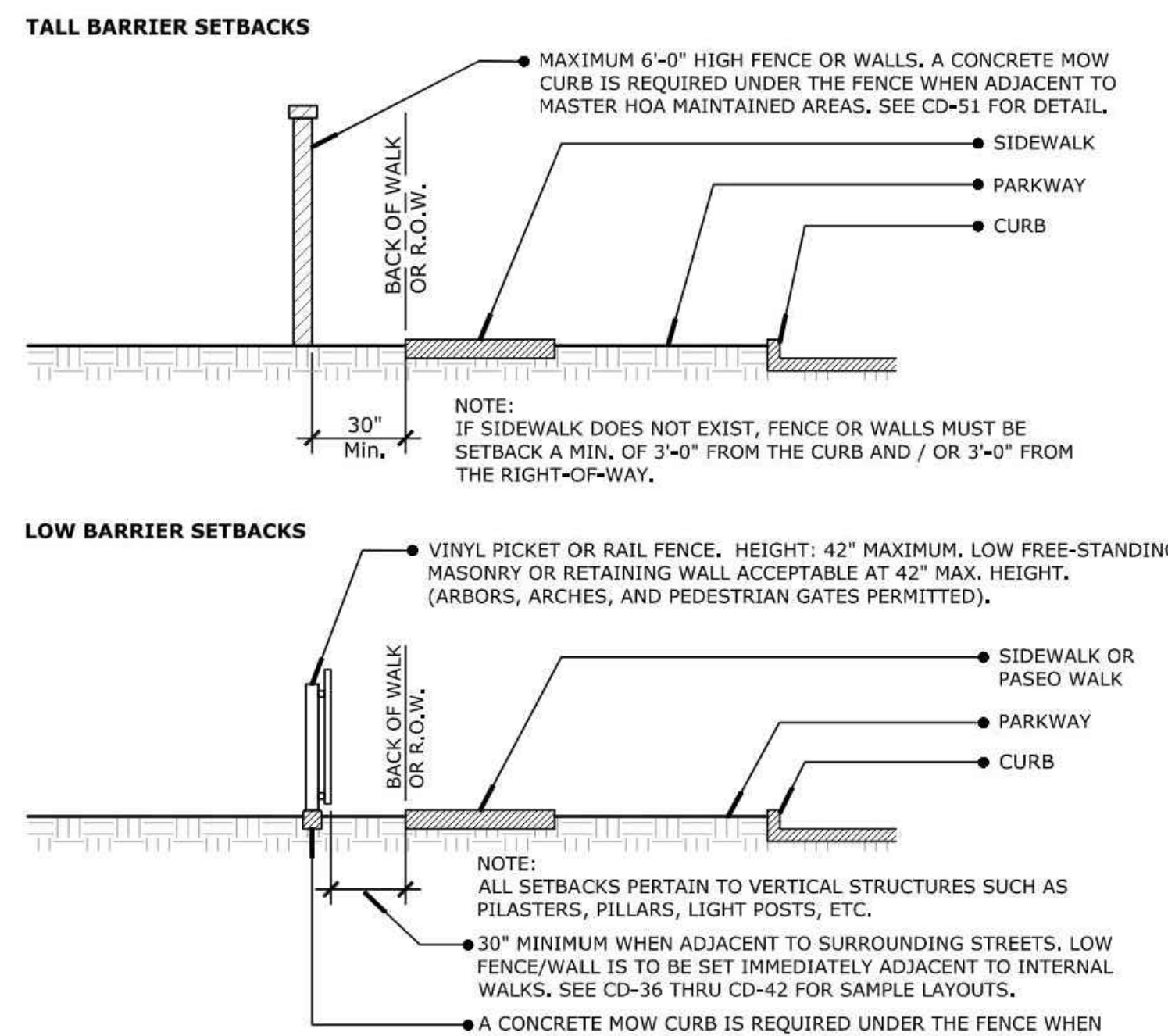


WALL TO PILASTER CONNECTION

SCALE: 1-1/2" = 1'-0"

FRONT YARD, SIDE YARD WALLS, FENCING AND RETAINING WALLS THAT ARE VISIBLE FROM THE STREET, SHALL BE DESIGNED AND CONSTRUCTED OF A MATERIAL AND COLORED TO BE COMPATIBLE WITH THE ADJACENT ARCHITECTURE.

FENCE MATERIAL NOTE	WALL MATERIAL NOTE
SEE APPROVED SITE FURNISHINGS, MATERIALS, AND FINISHES MATRIX.	SEE APPROVED SITE FURNISHINGS, MATERIALS, AND FINISHES MATRIX.

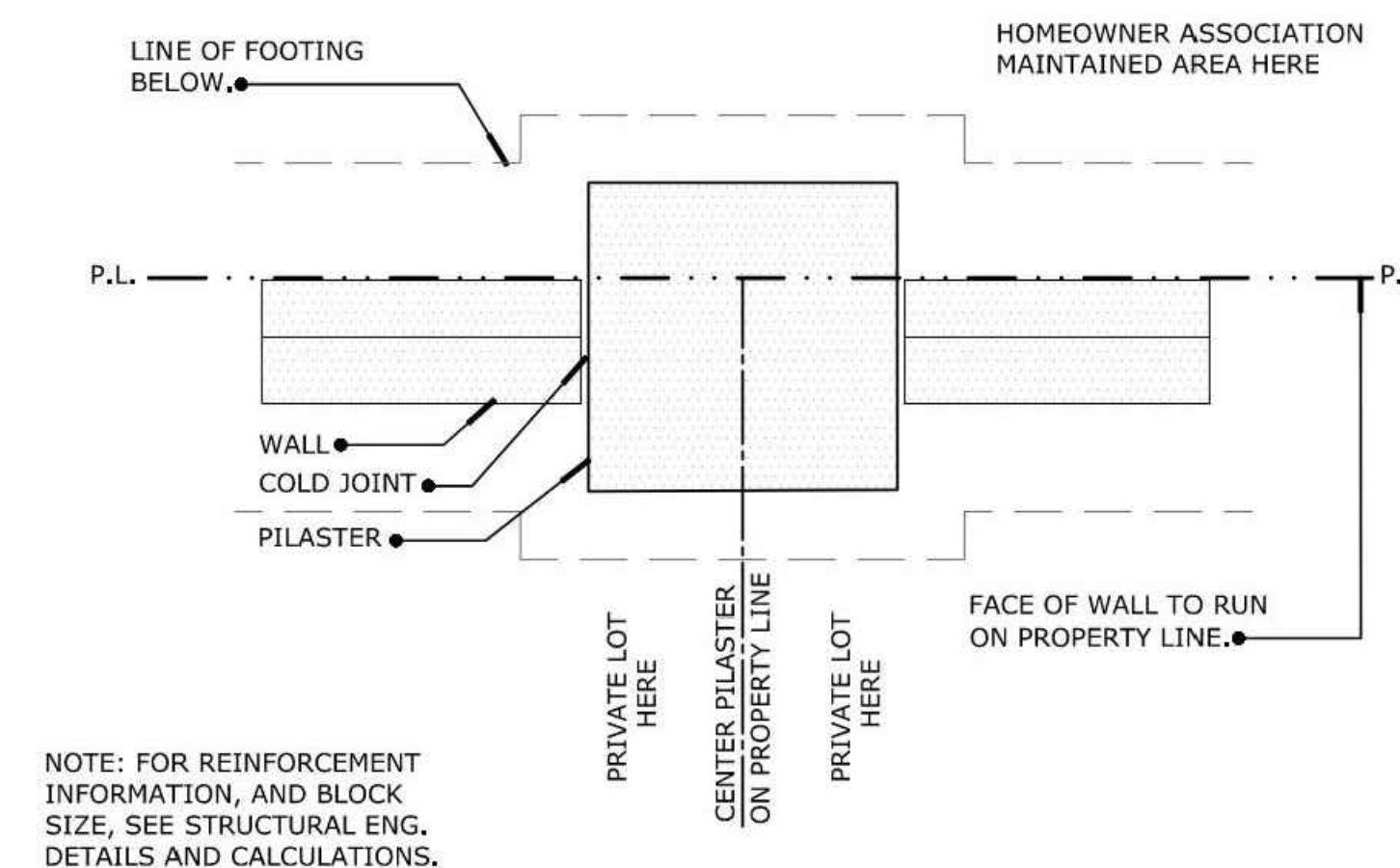


FENCE AND WALL SETBACKS

SCALE: 1/4" = 1'-0"

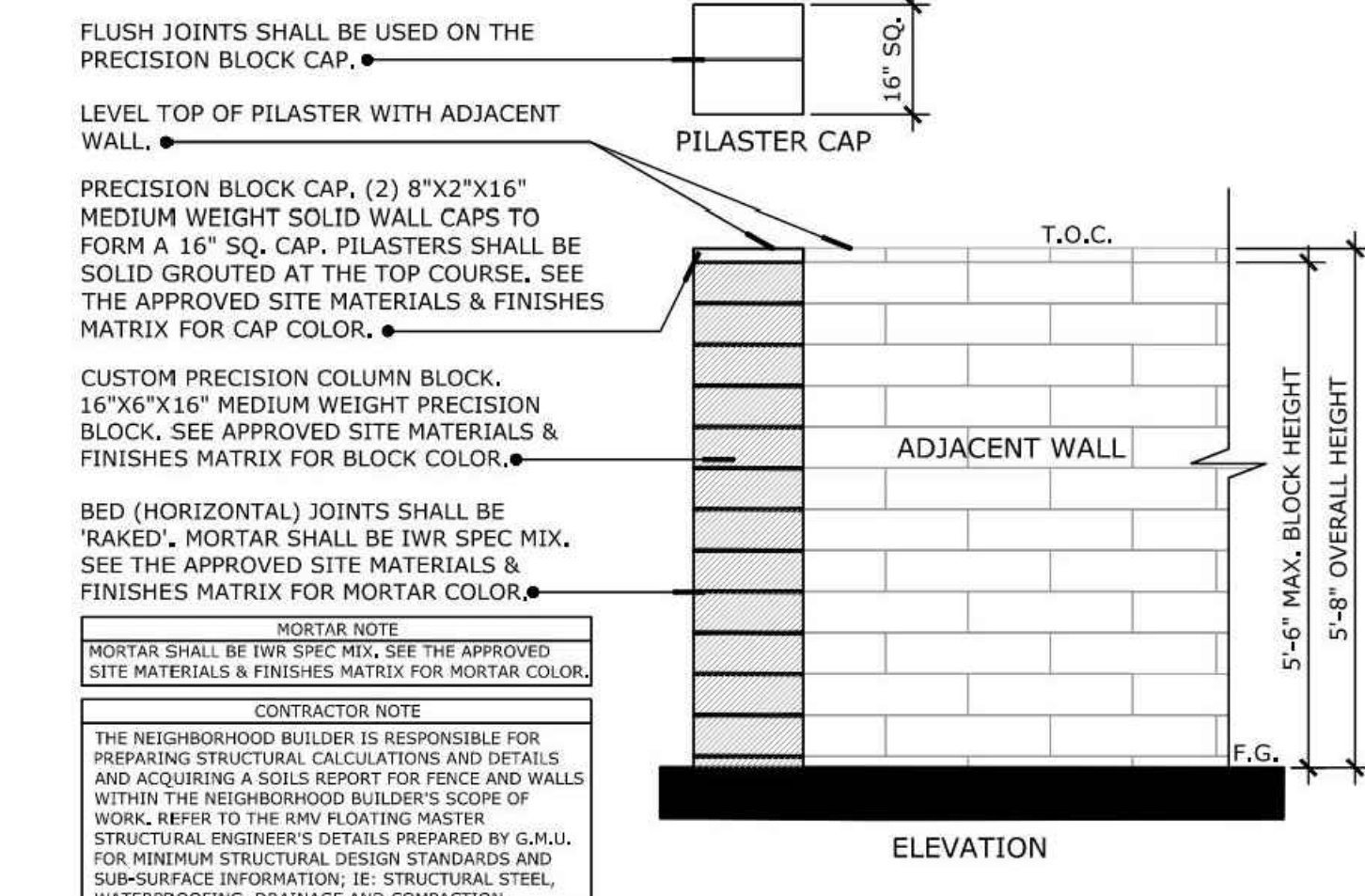
Fence and Wall Setbacks

CD-35 July 16, 2019 - Revised December 15, 2020



PILASTER AND WALL CONNECTION AT P.L.

SCALE: 1" = 1'-0"



HIGH PRECISION BLOCK PILASTER

SCALE: 1/2" = 1'-0"

ROOT BARRIER NOTE:

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