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Written dimensions shall take preference over scaled dimensions and shall be verified in the field. Any discrepancy or error shall be brought to the attention of the Architect prior to the commencement of any work.



Revisions	
1	12/10/2020 County PC rev 1
2	07/15/2021 County PC rev 2
Issued	
1	10/30/2020 - Orange County
2	07-15-2021 - Orange County
3	
4	
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Title Sheet	

A0.1

Wong Residence

New Single Family Residence (#001-2019)
1901 Park Skyline Road,
Santa Ana, CA 92705

GENERAL NOTES

NOTE TO GENERAL CONTRACTOR - This set of construction documents is an interrelated and cross-referenced package of information that should not be separated into constituent parts for distribution to sub trades. It is the sole responsibility of the general contractor to ensure that all subtrades received all pertinent and relevant information related to their work as defined within these construction documents.

- The contractor is responsible to make himself familiar with California Building Code as applicable to this project. All construction must meet the **2019 CBC**.
- This project shall comply with the **2019 California Building Code, 2019 California Residential Code and 2019 California Fire Code.** (see Building Code Data below for more information) and City Ordinances.
- New utilities and communication lines to be under grounded to the nearest existing utility location.
- Contractor to stake-out and verify with Architect the building setbacks, floor, pad and roof elevations, and driveway prior to start of construction.
- Surface water shall drain away from building at a minimum of 1/4" per foot.
- All site elements, flat work, and landscape to be coordinated with landscape architect and their documents.
- Contractor shall locate all existing utilities (whether shown herein or not) and protect them from damage. Contractor shall bear all expense of repair or replacement in conjunction with the execution of this work.
- Prior to commencement of construction, all applicable provisions related to brush clearance in the uniform fire code shall be fully complied with, to the satisfaction of City Fire Department.
- Contractor shall sign and post a notice on the building certifying that the installed insulation complies with the California state standards.
- All chimneys shall be equipped with spark arrestors which will permit the passage of objects no greater in size than one-half inch nor obstruct the passage of objects smaller than three-eighths inch.
- Contractor to verify all existing pad and finish floor elevations. If any discrepancies are discovered, Contractor shall notify the Architect before the start of construction.
- All exposed non-finished metal is to be primed and painted including shop or factory primed surfaces. Architect to approve final color.
- Contractor may not change design materials or details without permission of the Architect.
- Written dimensions to take precedence over scaled dimensions.
- Contractor shall verify all details and dimensions prior to the start of construction and shall notify the Architect of any omissions, errors, or discrepancies.
- Residence to be pre-wired for cable television per city policy.
- All grading must comply with City Municipal Code and Appendix Chapter 70 of the CBC.

- Upon completion of grading, an as-built grading plan shall be provided by the civil engineer. The Geologist and Soils Engineer must certify that the site is suitable for the intended use at the completion of grading and prior to building construction.
- Civil Engineer shall certify that the elevation of the graded pad of the future finish floor does not vary by more than 2/10ths of a foot from the approved elevations prior to start of building construction.
- This project shall comply with all provisions of the **2019 California Green Building Standards** as enforced by the municipality in which the project resides.
- Licensed Civil Engineer who prepared the drainage plan shall certify at the completion of the project that the site drainage is in substantial compliance with the approved drainage plan.
- CAL OSHA permit shall be obtained for all excavations deeper than 5 feet. A copy of the permit shall be provided to the city prior to issuance of building permit.
- Deputy Inspector (as required) to obtain Building Department clearance prior to commencement of structural steel field welding.
- Prior to the issuance of a Building Permit, the Contractor shall have a certificate of current workmen's compensation insurance coverage on file with the Building Department.
- House street number shall be visible and legible from street. Minimum 4" height with a stroke width of not less than 0.5" (CRC R319.)
- Separate review and permit(s) is/are required for pools, spas, walls, fences, patio covers and other freestanding structures
- Shower compartments and walls above bathtubs with shower heads installed shall be finished with a smooth, nonabsorbent surface to a height of not less than 72" above the floor. CRC R307.2
- Handrails shall satisfy the following:
 - provide a minimum of one continuous handrail on stairways with 4 or more risers and at all open sides. R311.7.8
 - handrail height shall be 34 to 38 inches above the nosing of treads. R311.7.8.1
 - handrail with circular cross-section shall have a diameter of 1.25 to 2 inches. R311.7.8.3 item 1
 - handrails with other than circular cross-sections shall have a perimeter dimension of 4 to 6.25 inches with a maximum cross-section of 2.25 inches. R311.7.8.3 item 1
 - handrails with a perimeter greater than 6.25 inches shall comply with R311.7.8.3 item 2.
 - handrail shall be continuous without interruption by newel post or other obstruction, except at the landing, volute, or turnout on lowest tread. R311.7.8.2, exception 1&2
 - clear spaces between handrail and wall shall be 1.5 inches minimum R311.7.8.2
- Attic space with ceiling heights greater than 6 feet - " Not to contain any air registers, electrical outlets, or lighting other than is required by Code. Not to contain any insulation, drywall, or similar interior wall finishing material."
- Contractor to provide a detectable warning product sample to the Building Inspector for approval of color contrast with finish surface.

PROJECT SUMMARY TABLE

Use	SFD	Zone	E4	Lot Slope (%)	28.10%
Zoning Standards					
Lot Area		20,095 SF	20,095	no change	Yes
Lot Width (Avg.)		121.83'	121.83'	no change	Yes
Lot Depth (Avg.)		176.73'	176.73'	no change	Yes
Setbacks:					
Front Yard		30'	30'	no change	Yes
Rear Yard		25'	6' 10"	25' to proposed building	Yes
Side Yards (combi each)		12'-2.196'	1'-7" 10'-5"	12'-2 1/4" each	Yes
Lot Coverage (BSC)		35% (7033.25SF)	123.83 SF (0.6%)	5,831 SF (29.02%)	Yes
Project Data					
Description	Existing	Removed	Proposed	Total	
Living Area					
Lower Living Area	0	0	3709	3709	
Total Living Area	0	0	3709	3709	
Carport	0	0	0	0	
Garage	0	0	1102	1102	
Elevated Deck / Terrace	0	0	1004	1004	
Mechanical	0	0	16	16	
Storage	123.83	0	0	123.83	

Side Yard Setback Calculation

Average Site Width : 121.83'
10% of side width : 121.83 x 10% = 12.183'
Side yard setback : 12' - 2.196" at each side

Note: "There shall be no trenches or excavations 5 feet or more in depth into which a person is required to descend, or obtain permit from State of California, Division of Occupation Safety and Health (Cal/OSHA). This permit and any other safety permit shall be obtained prior to commence of any work."

SCOPE OF WORK FOR PLANNING APPLICATION (PA20-0175)

- New site retaining walls
- Site shoring walls
- New driveway access to the house
- 25' minimum unobstructed maneuvering area clearance from garage door
- Soils Report
- See sheet SWN1 to SW5 for Site wall notes, site wall foundation plan, site wall and shoring details
- See floor plans on A2.1 & A2.2
- See Section drawings on sheet A3.3 to A3.7 for reference

SCOPE OF WORK FOR ROAD ENCROACHMENT PERMIT (RE21-0082)

- Make changes to the curb and side walk, driveway access to the house.

OCCA PERMIT (SR291302)

- fire department access through out the house.
- fire sprinkler is a deferred submittal

PLANNING INFORMATION

Zone: 125-E4-20000 "Small Estates"
Lot Area: 20,095 SF
APN: 562-071-12
Legal Description: PARCEL 1:
THAT PORTION OF LOT C OF TRACT NO. 61, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10, PAGE 5 MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE NORTHEASTERLY LINE OF SAID LOT C, NORTH 32°12'30" WEST, 128.05 FEET FROM THE SOUTHEASTERLY TERMINUS OF THAT CERTAIN COURSE ON SAID NORTHEASTERLY LINE SHOWN AS "COURSE 51, NORTH 32°12'30" WEST 102.65 MEAS" ON A MAP OF SURVEY, RECORDED IN BOOK 23, PAGE 50, RECORD OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, THENCE ALONG SAID NORTHEASTERLY LINE, NORTH 32°12'30" WEST, 124.60 FEET, AND NORTH 15°16'18" WEST, 37.40 FEET, THENCE, SOUTH 74°42'45" WEST, 115.00 FEET, THENCE, SOUTH 60°10'30" WEST, 127.36 FEET, THENCE, SOUTH 43°58'30" EAST, 15.46 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1260.00 FEET, THENCE SOUTHEASTERLY, 115.14 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 5°14'09" TO A POINT TO WHICH A RADIAL LINE BEARS, SOUTH 49°47'21" WEST, THENCE NORTH 40°47'21" EAST, 200.84 FEET TO THE POINT OF BEGINNING.
EXCEPT THAT PORTION THEREOF INCLUDED WITHIN THE RIGHT OF WAY OF SKYLINE DRIVE.
PARCEL 2:
AN EASEMENT FOR ROAD PURPOSES AND UTILITY PURPOSES OVER A STRIP OF LAND 20.00 FEET IN WIDTH LYING 20.00 FEET NORTHEASTERLY (MEASURED RADIALY), OF THE FOLLOWING DESCRIBED LINE:
BEGINNING AT THE NORTHEASTERLY TERMINUS OF THE CENTER LINE OF THAT CERTAIN 40.00 FOOT WIDE STRIP OF LAND DESCRIBED IN THE DEED OF THE COUNTY OF ORANGE, RECORDED DECEMBER 8, 1969 IN BOOK 5005, PAGE 300, OFFICIAL RECORDS, SAID POINT BEING ON THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, AND HAVING A RADIUS OF 1260.00 FEET (A RADIAL THROUGH SAID POINT BEARS SOUTH 37°03'30" WEST), THENCE NORTHEASTERLY, 80.22 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 3°38'51" TO A POINT THROUGH WHICH A RADIAL BEARS, SOUTH 40°47'21" WEST, SAID POINT BEING THE MOST SOUTHERLY CORNER OF THE HEREIN ABOVE DESCRIBED PARCEL 1.

BLDG. CODE

Description of Use: Single Family Residence
Occupancy: R3 / U
Number of Stories: 2
Construction Type: V-B
Fire Sprinklers: Yes - The new building will be protected by an automatic sprinkler system.
Codes: 2019 California Building Code (CBC)
2019 California Residential Code (CRC)
2019 California Mechanical Code (CMC)
2019 California Plumbing Code (CPC)
2019 California Electrical Code (CEC)
2019 California Green Building Standards Code (CCES)
2019 California Energy Efficiency Standards (CEES)
2019 California Fire Code (CFC)
County of Orange Regulations & Ordinances

SCOPE OF WORK FOR BUILDING PERMIT (BLD20-2220) & BUILDING PACKAGE (PKG20-0941)

- (N) one-story single family residence w/ attached 4-car garage (1,084 SF)
- House Floor area 3,709 SF
- New Deck area above garage 1,004 SF
- New Mechanical area 16 SF
- New Solar plan E1.1 and electrical plans E0.1 to E4.0 (ELE20-1516)
- New outdoor fireplace
- New attached Trellis to the house
- See Architectural plans from A0.0 to AC2
- See Structural plan from SN1 to SD3.0
- See House Structural calculations
- Soils Report
- Structural site wall sheets are for reference only
- New mechanical plans M0.1 to M4.1 (MEC20-0921)
- New plumbing plans P-0.1 to P5.1 (PLB20-1455)

SCOPE OF WORK FOR GRADING (GRD20-0155) AND LANDSCAPE PACKAGE (PKG20-0943)

- New Landscape area (LND20-0079)
- New Grading plan (GRD20-0155)
- New driveway access to the house
- WQMP (WQ20-0077)
- Hydrology Study
- Soils Report
- See Civil drawings from C1 to C8
- See Landscape drawings from LT1.0 to LW-1

SCOPE OF WORK FOR RETAINING WALLS AND SHORING PACKAGE (BLD21-0527)

- New site retaining walls
- Site shoring walls
- New driveway access to the house
- Soils Report
- See sheet SWN1 to SW5 for Site wall notes, site wall foundation plan, site wall and shoring details
- See sheet SWN1 to SW5 for Site wall notes, site wall foundation plan, site wall and shoring details
- See existing and new site plan on sheet A1.0 and A1.1
- See Section drawings on sheet A3.3 to A3.7 for reference

SCOPE OF WORK FOR OUTDOOR FIREPLACE

- Exterior gas only fireplace

DEFERRED SUBMITTAL

- Fire sprinkler
- Site retaining walls
- Shoring walls
- Wind load calculation for full high glazing
- Portion of existing wall that is to remain unchanged may cross the property line. General Contractor to verify location of existing wall as it relates to the property line and, if possible, remove that portion of the wall that extends beyond the property line. Contractor to obtain a written permission from the adjacent property owner before doing any work that is not in the 1901 Park Skyline Road project for your reference.

SEPARATE PERMIT

- Grading plan
- Landscape & Irrigation
- Exterior gas only fireplace
- Site retaining walls and shoring
- Encroachment permit for the proposed curb and side walk, driveway access to the house.

Below are all the ongoing permits # that related to the 1901 Park Skyline Road project for your reference.

- PKG20-0941
 - Building permit: BLD20-2220
 - Mechanical permit: MEC20-0901
 - Electrical permit: ELE20-1516
 - Plumbing permit: PLB20-1455
 - Solar permit: SLR21-0231

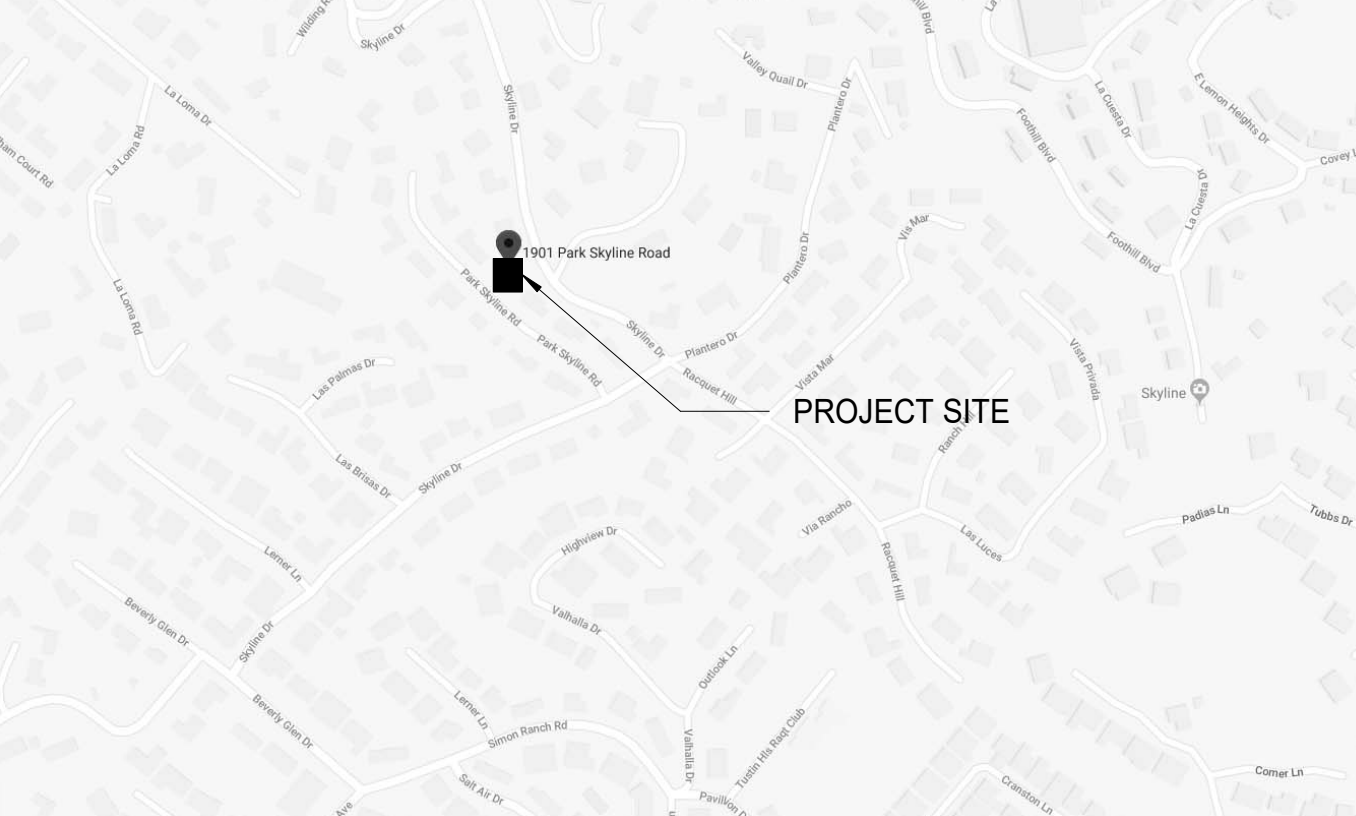
PKG20-0943

- Grading permit: GRD20-0155
- Landscape permit: LND20-0079
- WQ permit: WQ20-0077

Other Individual permits are:

- Planning permit: PA20-0175
- Retaining and shoring wall permit: BLD21-0527
- Road Encroachment permit: RE21-0082
- OCCA permit: SR291302

VICINITY MAP



PROJECT TEAM		T24 REQUIREMENTS	
PROJECT ARCHITECT:	Anders Lasater Architects, Inc. 384 Forest Avenue, Suite 12 Laguna Beach, CA 92651 949 497 1827 Office anders@anderslasaterarchitects.com hnl@anderslasaterarchitects.com	STRUCTURAL ENGINEER:	Burke Structural Engineers P.C. 151 Kalinas Drive, Bldg. E-140, Costa Mesa, CA 92626 657 289 0450 Phone tom@burkse.com christopher@burkse.com
PROJECT OWNER:	Mike & Evelyn Wong 116 Homestead Irvine, CA 92602 949 701 1133 Mike 714 227 1007 Evelyn dmwong@gmail.com evewyong@me.com	LANDSCAPE ARCHITECT:	M.D. Wilkes Design and Consulting 116 Homestead Irvine, CA 92602 949 701 1133 Mike 714 227 1007 Evelyn dmwong@gmail.com evewyong@me.com
SURVEYOR:	G & G Engineering, Inc. Andrew Gredtula 1251 N. Manservosa St., Ste. 402 Anaheim, CA 92807 714 970 1220 info@mygmg.com	SOILS ENGINEER:	Geofirm Kevin Trigg 801 Glenmeyer St., Suite F Laguna Beach, CA 92651 949 494 2122 ktrigg@geofirm.com
CIVIL ENGINEER:	Civilscapes Engineering, INC Viji Raju 28052 Camino Capistrano, Suite 213 Laguna Niguel, CA 92677 949 484 8110 vll@civilscapes.com	TITLE 24 ENGINEER:	Build Smart Group Nick Brown 400 Los Altos Ave Long Beach, CA 90814 714 584 3397 nick@buildsmartgroup.com
MEP ENGINEER:	Riverside Engineering Mark Alexander 17875 Von Karmann Ave. Suite 250 Irvine, CA 92614 888 401 7483 Office 949 538 3940 Cell markalexander@riv-eng.com	CONTRACTOR:	- - -

NPDES NOTES

- In case of emergency, call
Contractor Name: TBD
Cell Phone: -
Email: -
- Sediment from areas disturbed by construction shall be retained on site using structural controls to the maximum extent practicable.
- Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
- Appropriate BMP's for construction-related materials, wastes, spills shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
- Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to reduce or remove sediment and other pollutants.
- All construction contractor and subcontractor personnel are to be made aware or the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
- At the end of each day of construction activity all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
- Construction sites shall be maintained in such a condition that an anticipated storm does not carry wastes or pollutants off the site. Discharges of material other than stormwater only when necessary for performance and completion of construction practices and where they do not cause or contribute to a violation of any water quality standard; cause or threaten to cause pollution, contamination, or nuisance; or contain a hazardous substance in a quantity reportable under Federal Regulations 40 CFR Parts 117 and 302.
- Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, glues, limes, pesticides, herbicides, wood preservatives and solvents; asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; fertilizers, vehicle/equipment wash water and concrete wash water; concrete, detergent or floatable wastes; wastes from any engine/equipment steam cleaning or chemical degreasing and super chlorinated potable water line flushing. During construction, permittee shall dispose of such materials in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Dewatering of contaminated groundwater, or discharging contaminated soils via surface erosion is prohibited. Dewatering of non-contaminated groundwater requires a National Pollutant Discharge Elimination System Permit from the respective State Regional Water Quality Control Board.
- Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage is to be directed toward desilting facilities.
- The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.
- The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plans.
- The permittee shall notify all general contractors, subcontractors, material suppliers, lesses, and property owners: that dumping of chemicals into the storm drain system or the watershed is prohibited.
- Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.
- All removable erosion protective devices shall be in place at the end of each working day when the 5-Day Rain Probability Forecast exceeds 40%.
- Sediments from areas disturbed by construction shall be retained on site using an effective combination of erosion and sediment controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
- Appropriate BMPs for construction-related materials, wastes, spills or residues shall be implemented and retained on site to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff.

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Issued

- 10/30/2020 - Orange County
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8/9/2021 8:52:44 AM

Existing Site Plan

A1.0

Side Yard Setback Calculation

Average Site Width : 121.83'
10% of side width : 121.83' x 10% = 12.183'
Side yard setback : 12' - 2.196' at each side

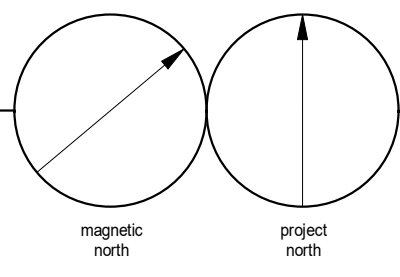
Keynotes

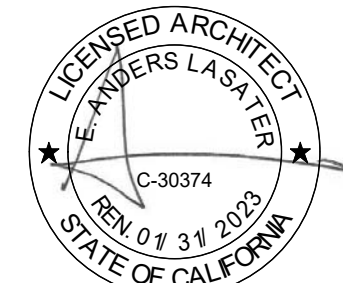
- 3 Existing driveway to remain
- 4 Existing storage to remain
- 5 Existing stair to remodel
- 16 Existing retaining walls to remain
- 20 Portion of existing wall that is to remain unchanged may cross the property line. General Contractor to verify location of wall as it relates to the property line and, if possible, remove that portion of the wall that extends beyond the property line. Contractor to obtain a written permission from the adjacent property owner before doing any work that is not in the 1901 Park Skyline Road property.
- 21 Existing wall on neighbor property to be protected while in construction by General Contractor



1 Existing Site Plan

1/8" = 1'-0"





Side Yard Setback Calculation

Average Site Width : 121.83'
10% of side width: 121.83' x 10% = 12.183'
Side yard setback : 12' - 2.196' at each side

Keynotes

- Existing driveway to remain
- Existing storage to remain
- Existing power pole
- Existing retaining walls to remain
- Existing wall on neighbor property to be protected while in construction by General Contractor
- Composition shingles roof from GAF Timberline Cool Series "Antique Slate" with 0.26 solar reflectance and 0.91 thermal emittance on all the sloped roof area. Provide min. R-30 + R-5 insulation @ all roofs except the roof above the garage. See Title 24 report 724.1 to 724.2 for more information.
- Roof drain with overflow per specs
- Roof gutter painted dark bronze to match roof fascia. Gutter recess into the roof fascia.
- Potential solar panels. Provide SC325 or sim. solar panels by SolarCity. (N) 2x fire retardant treated wood trusses painted dark bronze
- Roofing of flat areas to be TPO roofing system from GAF-DuroGard
- ExtremaA8 TPO (Energy Gray) with 0.66 solar reflectance and 0.89 thermal emittance. Dudsing will be below the structural framing where occurs. Install roofing per manufacturer requirements and specifications.
- (N) metal frame painted dark bronze. Shop metalized and primed prior to erection. See structural drawings for more structural information.
- (N) retaining wall not to exceed 3'-6" above grade within front yard setback
- New retaining wall & foundation design per structural plans. See structural drawings for more information.
- 7/8" Dark smooth troweled Stucco w/ fiber mesh or expanded metal lath of 2 layers Grade 12" building paper. Verify stucco control joint locations and color with owner and architect. Contractor to provide 1"x1" color sample for owner and architect for approval prior to order and install.
- Retaining wall also act as a fence
- (N) Velux skylight w/ non-reflective glass and automatic sun shade (typ.) UL
- 1.5" dia. top rail with 3/8" dia. solid stock parallel railings @ 4" O.C. max. Contractor to provide shop drawings to architect prior to order and installation.
- Steel guardrail @ 42" above F.S., metalized & painted dark bronze.
- Contractor to provide shop drawings to architect prior to order and installation.
- Gate for pedestrian entry not to exceed 3'6" above grade
- Gate for vehicles entry not to exceed 3'6" above grade
- Ortal 170 gas only fireplace. ANSI Z21.88/CSA 2.3-2018 See fireplace reports and specification on sheet A6.12 for more information. Any installed gas fireplace shall be a direct vent-sealed combustion type (CSA 4.303.1)
- V-Ditch, see civil engineering plan for more information.
- Landscape planters - see landscape plan for additional information

Site Plan Notes

- For additional information on grading and drainage, see civil engineering plans and sewer alignment plans prepared by:
Civiscape Engineering, Inc.
28052 Camino Capistrano, Suite 213
Laguna Niguel, CA 92677
949464115
wil@civiscape.com
- See all landscape & hardscape improvement plans prepared by:
M.D. Wilkes Design and Consulting
680 Thalia St.
Laguna Beach, CA 92651
wilkesmd@hotmail.com
949 637 1090
- For additional information on existing site conditions and elevations, see site survey plans prepared by:
O & G Engineering, Inc.
Andrew Grechuta
1251 N. Marinero St., Ste. 402
Anaheim, CA 92807
714 970 7220
info@ogeng.com
- The ground plane elevations, where indicated on this architectural site plan are for general site plan are for general reference only. For detailed elevation and drainage information refer to the grading and drainage plan prepared by civil engineering. The grading and drainage plan supersedes the architectural site plan.
- The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.
- Contractor to verify existing roof height, roof slope, and plate height. Notify architect of any discrepancies. New roof to match existing.
- Show all flatwork within 5' of structure 2" away from structure. All flatwork to have min 1/2" slope.
- Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6" within the first 10' where applicable.
- New utilities and communication lines to be under grounded to the nearest existing utility location
- See Roof Plan for specific information related to roof configuration, slope, material, etc.
- Contractor shall notify adjacent property owners by certified mail 10 days prior to starting the shoring or excavation work.
- Skylights, where occur, shall be installed per manufacturer recommendations and specifications.
- Outdoor barbecues and grills to comply with the following:
 - All exterior flame producing devices, structures or equipment shall be gas burning only.
 - Such devices, structures or equipment shall not be used for the disposal of rubbish, trash or combustible materials.
 - Such devices, structures or equipment shall be located per the manufacturer recommendations relating to the separation from any combustible structure.
- Properties shall not be permitted to have such devices, structures or equipment within 10' of all non-fire-resistive vegetation or undeveloped wildland.

PLANNING INFORMATION

Zone: 125-E4-20000 "Small Estates"
Lot Area: 20,008 SF
APN: 502-071-12
Legal Description:
PARCEL 1:
THAT PORTION OF LOT C OF TRACT NO. 61, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10, PAGE 8 MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE NORTHEASTLY LINE OF SAID LOT C, NORTH 32° 12' 30" WEST, 126.00 FEET FROM THE SOUTHEASTLY TERMINUS OF THAT CERTAIN COURSE ON SAID NORTHEASTLY LINE SHOWN AS COURSE 51, NORTH 32° 12' 30" WEST, 152.65 MEAS. ON A MAP OF SURVEY RECORDED IN BOOK 23 PAGE 50, RECORD OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, THENCE ALONG SAID NORTHEASTLY LINE, NORTH 32° 12' 30" WEST, 24.60 FEET, AND NORTH 15° 16' 15" WEST, 37.40 FEET, THENCE SOUTH 72° 54' 42" WEST, 115.00 FEET, THENCE SOUTH 60° 03' 30" WEST, 127.36 FEET, THENCE SOUTH 43° 56' 30" EAST, 15.46 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 1260.00 FEET, THENCE SOUTHEASTERLY, 115.14 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 5° 14' 09" TO A POINT TO WHICH A RADIAL LINE BEARS, SOUTH 40° 47' 21" WEST, THENCE NORTH 40° 47' 21" EAST, 200.84 FEET TO THE POINT OF BEGINNING.
EXCEPT THAT PORTION THEREOF INCLUDED WITHIN THE RIGHT OF WAY OF SKYLINE DRIVE.

PARCEL 2:
AN EASEMENT FOR ROAD PURPOSES AND UTILITY PURPOSES OVER A STRIP OF LAND 20.00 FEET IN WIDTH LYING 20.00 FEET NORTHEASTERLY (MEASURED RADIALLY), OF THE FOLLOWING DESCRIBED LINE:
BEGINNING AT THE NORTHEASTLY TERMINUS OF THE CENTER LINE OF THAT CERTAIN 40.00 FOOT WIDE STRIP OF LAND DESCRIBED IN THE DEAD OF THE COUNTY OF ORANGE, RECORDED DECEMBER 8, 1999 IN BOOK 3005, PAGE 300, OFFICIAL RECORDS, SAID POINT BEING ON THE ARC OF A CURVE, CONCAVE NORTHEASTERLY, AND HAVING A RADIUS OF 1260.00 FEET (A RADIAL THROUGH SAID POINT BEARS SOUTH 37° 03' 00" WEST), THENCE NORTHEASTERLY, 80.22 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 3° 38' 51" TO A POINT THROUGH WHICH A RADIAL BEARS, SOUTH 40° 47' 21" WEST, SAID POINT BEING THE MOST SOUTHERLY CORNER OF THE HEREIN ABOVE DESCRIBED PARCEL 1.

Legend:

- Area of flat roof
- Area of new roof
- Solar Panel

Wong Residence

1901 Park Skyline Road,
Santa Ana, CA 92705

Revisions

- 12/10/2020 County PC rev 1
- 07/15/2021 County PC rev 2

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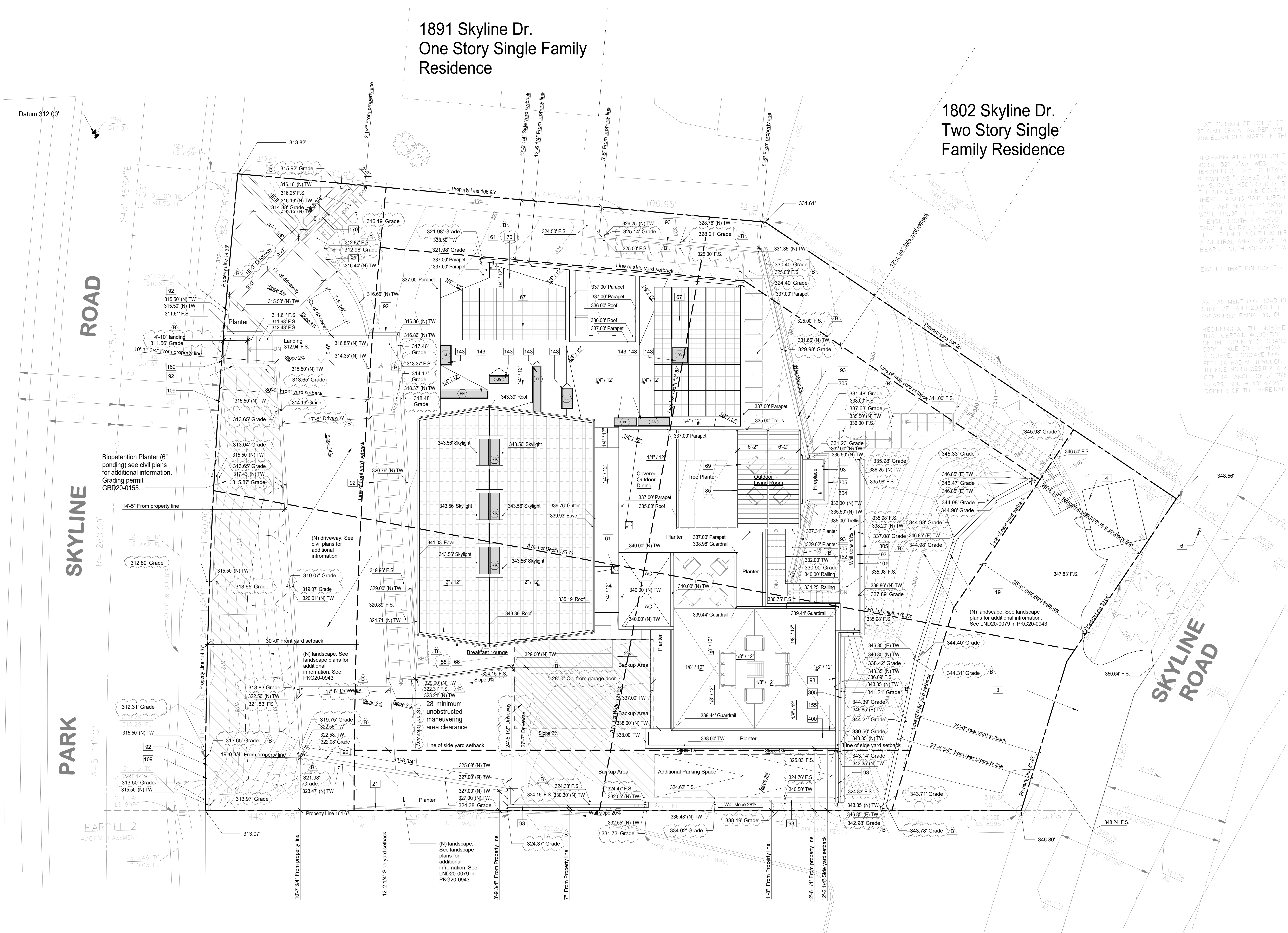
- 10/30/2020 - Orange County
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New Site Plan

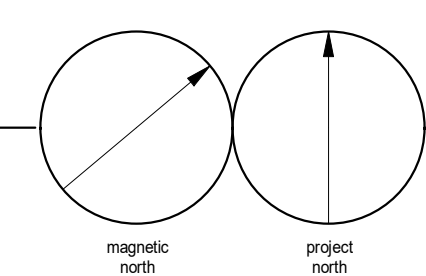
A1.1



1911 Park Skyline Rd.
Single Family Residence

1 New Site Plan

1/8" = 1'-0"





Keynotes

- 81 Provide 5/8" type "X" gyp. bd. over 2x furring at garage retaining walls.
- 82 Fire retardant treated wood siding - verify color & finish with architect
- 86 Decorated wall/ wood wall
- 91 Exterior wall with R-21 wall insulation per T-24 Energy Report see T24-1 to T24-2 for more information.
- 93 New retaining wall & foundation design per structural plans. See structural drawings for more information.
- 95 Garage shall be separated from the dwelling unit by a vertical wall from the slab through the attic to the roof sheathing with 1 layer of 5/8" Type "X" gypsum board on the garage side - min. (Table R302.3)
- 96 Interior wall with R-19 wall insulation per T-24 Energy Report see T24-1 to T24-2 for more information.
- 100 7/8" Light smooth troweled Stucco w/ fiber mesh or expanded metal lath or 2 layers Grade "D" building paper. Verify stucco control joint locations and color with owner and architect. Contractor to provide 1"x1" color sample for owner and architect for approval prior to order and install.
- 101 7/8" Dark smooth troweled Stucco w/ fiber mesh or expanded metal lath or 2 layers Grade "D" building paper. Verify stucco control joint locations and color with owner and architect. Contractor to provide 1"x1" color sample for owner and architect for approval prior to order and install.
- 131 Garage door shall be 1 3/8" solid core or min 20 minute fire rated door and self-closing and self-latching in sprinkler and non-sprinklered dwellings.
- 152 Steel handrail @ 36" above FF, metalized & painted dark bronze. Provide 1 1/2" dia. top rail with 3/8" dia. solid stock parallel railings @ 4" O.C. max. Contractor to provide shop drawings to architect prior to order and installation. Provide power for lighted mirror. See lighting plan for more information.
- 196 FAU - duct path will go within the roof package
- 220 Onal 170 gas only fireplace. ANSI Z21.88/CSA 2.33-2018 See fireplace reports and specification on sheet A6.12 for more information. Any installed gas fireplace shall be a direct vent-sealed combustion type (CGC 4.503.1)
- 323 Any installed gas fireplace shall be a direct vent-sealed combustion type (CGC 4.503.1) Fireplace shall be gas burning, direct vent with sealed combustion chamber. See the fireplace ANSI report and fireplace specification on A6.12. See separate permit submittal for outdoor gas only fireplace.
- 336 Linear shower Drain
- 337 Outbush shower
- 339 Shower bar with hand held Shower head per owner see plumbing notes on A7.1 for additional information.
- 341 Pory wall
- 345 Barn-door with Mirror for safe room
- 500 36" Downdraft hood HDB6051UC from Bosch. See produce specification on sheet A6.16 for more information.

FLOOR PLAN NOTES

1. See Dimension Floor Plans for wall layout dimensions.
2. See Door and Window schedules on A4.1, A4.2 and Title 24 energy report for additional door and window information.
3. See detail 1/A6.6 for additional concrete slab waterproofing information.
4. Provide shadow base detail @ all walls per detail 4/A6.6.
5. Provide screed 2" above F.S. Follow angle of steps where occurs. See detail 3/A6.6 for additional information.
6. Provide min. 5/8" drywall at ceiling between garage and habitable space per table R302.6.
7. See Soil Report Recommendations on A0.7 and A0.8 in this plan set and see full soil report in a separate attachment for additional information.

Floor Legend

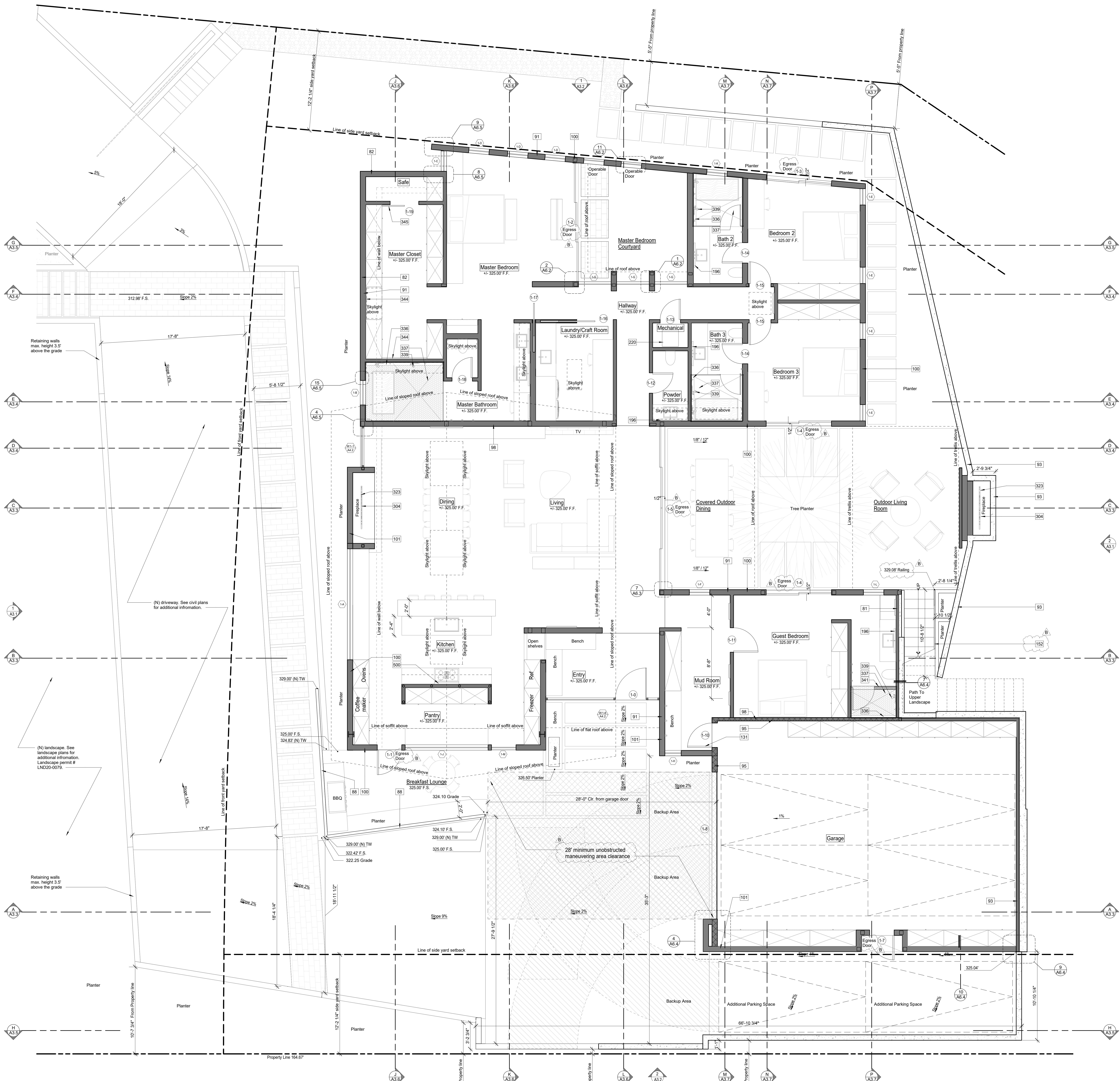
- Stone Floor
- Concrete Floor
- Tile Floor
- Gravel
- Planter Soil
- 28' minimum unobstructed maneuvering area clearance
- Backup areas for automobile from the garage

Wall Legend

- New low wall/ Wall below
- New 2x4 wall. Framing per structural & Insulation per T-24 Energy Report
- New 2x6 wall. Framing per structural & Insulation per T-24 Energy Report
- New furring wall. Framing per structural & Insulation per T-24 Energy Report
- New retaining wall. Framing per structural
- 11hour fire rated wall. Framing per structural & Insulation per T-24 Energy Report

1 Main Floor Plan

1/4" = 1'-0"



Wong Residence

New Single Family Residence (#001-2019)
1901 Park Skyline Road,
Santa Ana, CA 92705

Revisions

- 12/10/2020 County PC rev 1
- 07/15/2021 County PC rev 2

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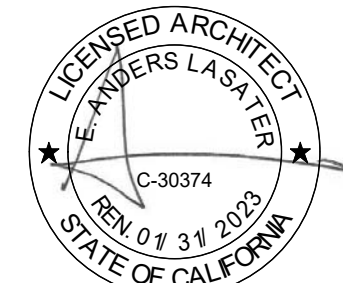
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Main Floor Plan

A2.1



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Clerestory Windows Plan

A2.3

Keynotes

- 61 Roof drain with overflow per specs
- 83 Columns per structural plans. Columns to be metalized, primed and painted dark bronze
- 101 7/8" Dark smooth troweled Stucco w/ fiber mesh or expanded metal lath of 2 layers Grade "3" building paper. Verify stucco control joint locations and color with owner and architect. Contractor to provide 1"x1" color sample for owner and architect for approval prior to order and install.
- 142 Clerestory windows
- 320 AC compressors with 3'-6" high AC enclosure screen on a 3" min. concrete base pad - AC compressors to have 2 forms of sound attenuation: (1) Base isolator and (2) sound attenuation blanket. Means for disconnecting the electrical supply to the air-conditioning appliance shall be provided within sight of and not over 50 feet from the air conditioner. [CMC 903.7]

FLOOR PLAN NOTES

- See Dimension Floor Plans for wall layout dimensions.
- See Door and Window schedules on A4.1, A4.2 and Title 24 energy report for additional door and window information.
- See detail 1/A6.6 for additional concrete slab waterproofing information.
- Provide shadow base detail @ all walls per detail 4/A6.6.
- Provide screed 2" above FS. Follow angle of steps where occurs. See detail 3/A6.6 for additional information.
- Provide min. 5/8" drywall at ceiling between garage and habitable space per table R302.6.
- See Soil Report Recommendations on A0.7 and A0.8 in this plan set and see full soil report in a separate attachment for additional information.

Floor Legend

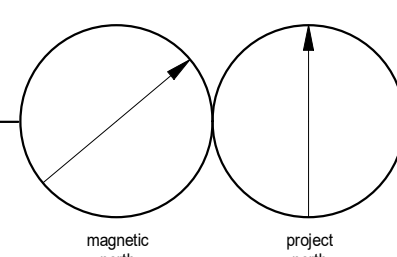
- Stone Floor
- Concrete Floor
- Tile Floor
- Gravel
- Planter Soil
- 28' minimum unobstructed maneuvering area clearance
- Backup areas for automobile from the garage

Wall Legend

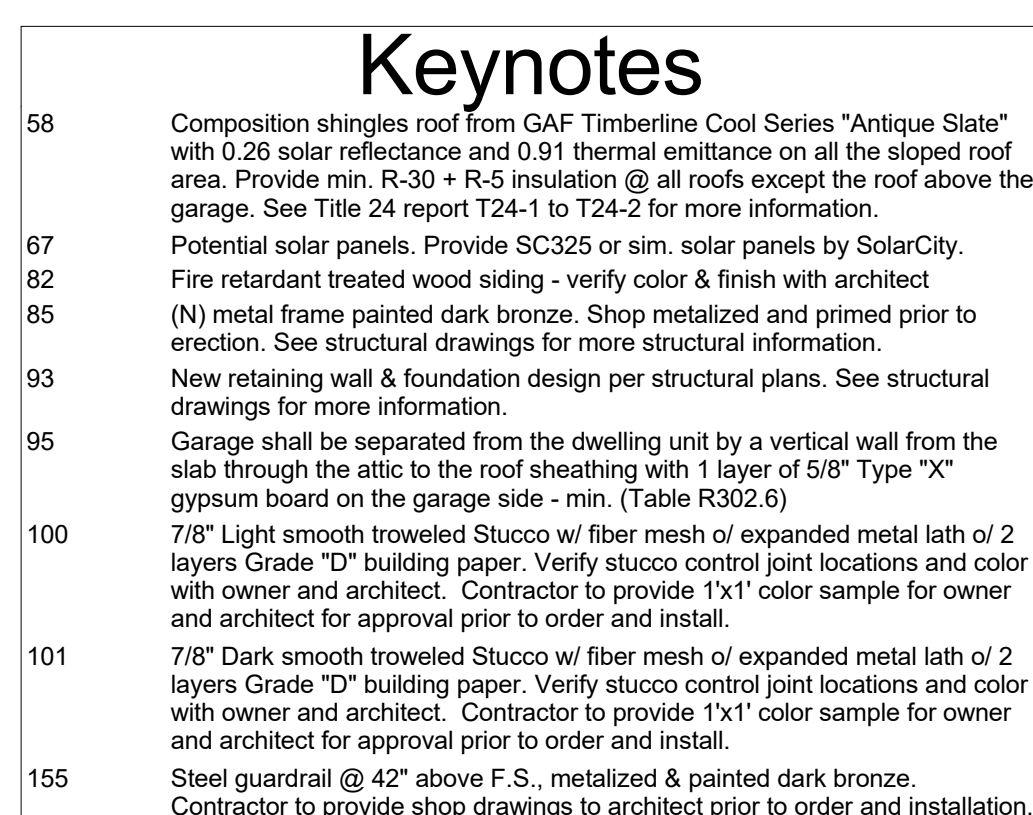
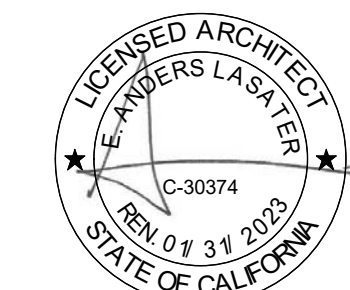
- New low wall/ Wall below
- New 2x4 wall. Framing per structural & Insulation per T-24 Energy Report.
- New 2nd wall. Framing per structural & Insulation per T-24 Energy Report.
- New furring wall. Framing per structural & Insulation per T-24 Energy Report.
- New retaining wall. Framing per structural.
- 11hour fire rated wall. Framing per structural & Insulation per T-24 Energy Report.

1 Clerestory Windows Plan

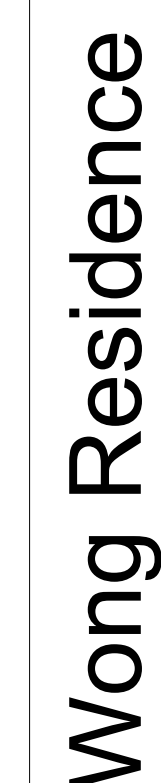
1/4" = 1'-0"



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1 West Elevation



New Single Family Residence (#001-2019)
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Santa Ana, CA 92705

☐ A 12/10/2020 County PC rev 1

☐ B 07/15/2021 County PC rev 2

☐ C

☐ D

☐ E

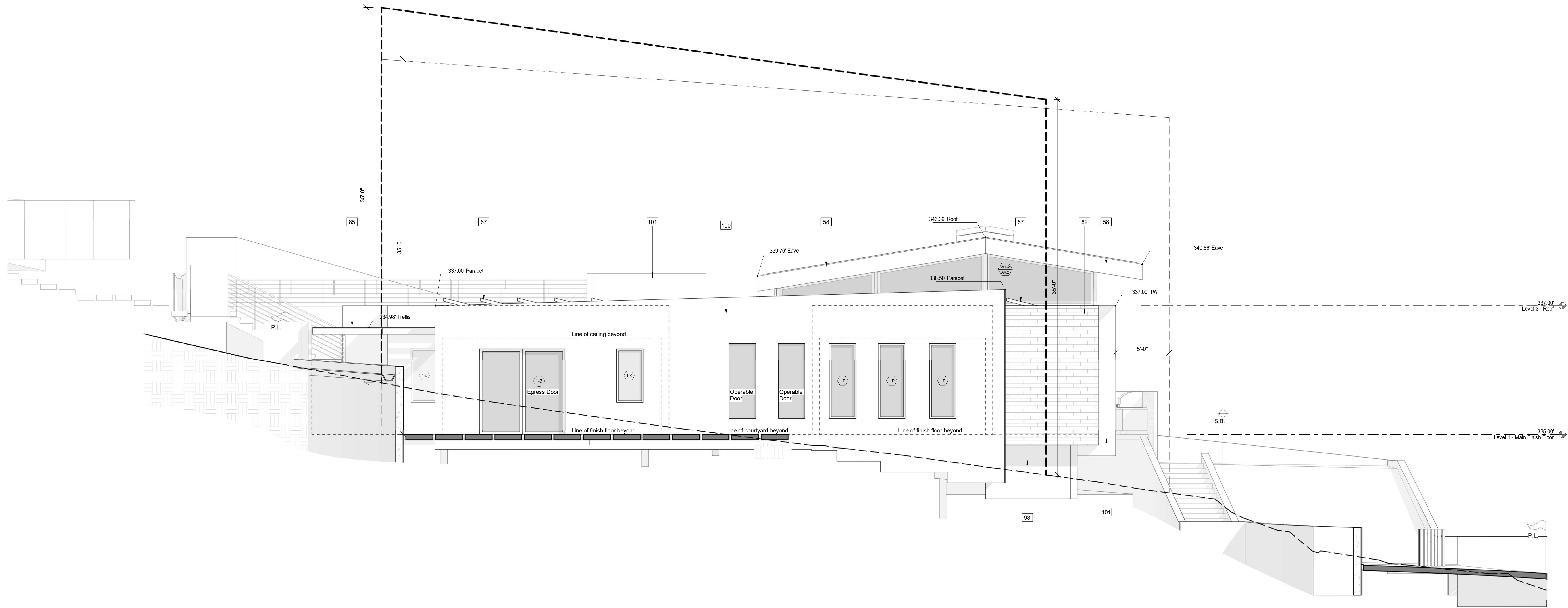
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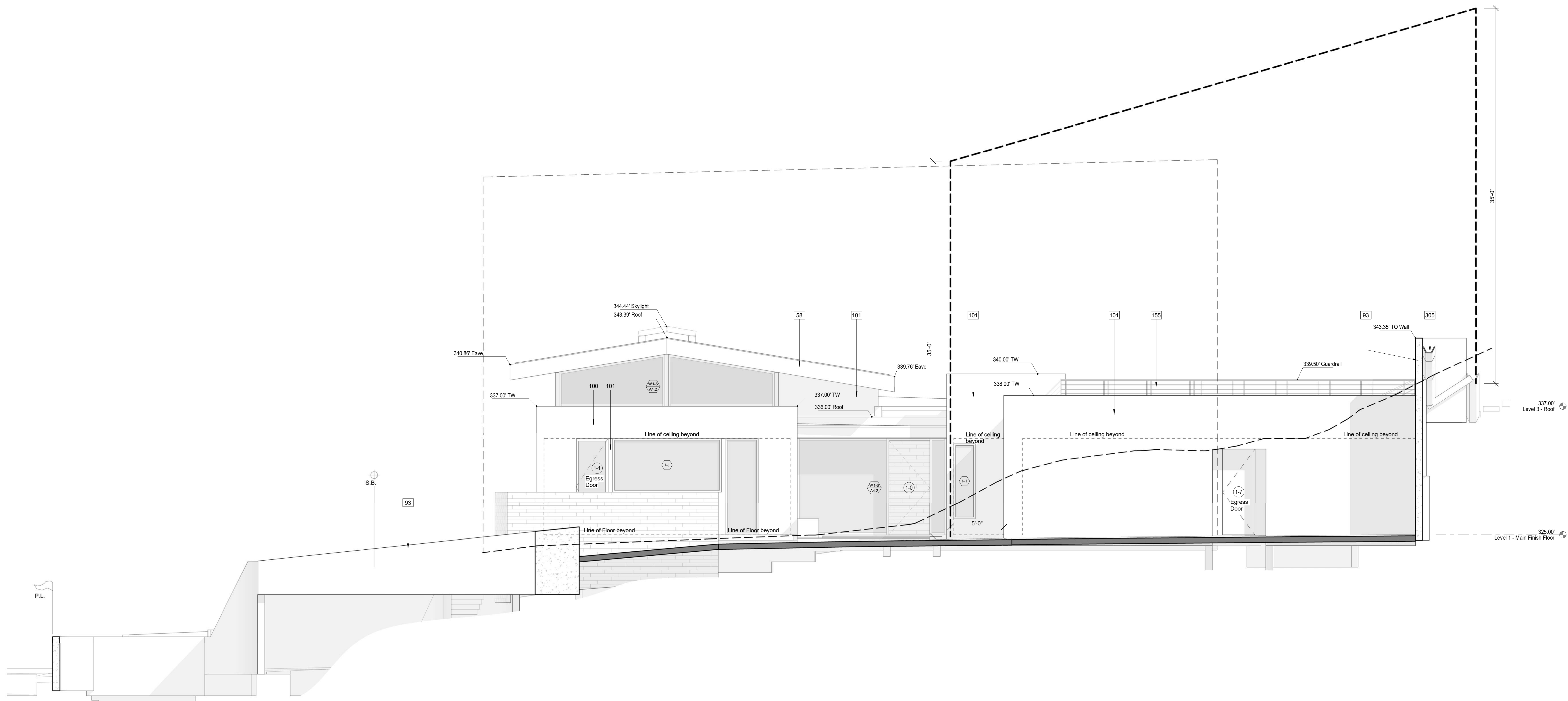
West + East Elevations

A3.1

2 East Elevation



1 North Elevation
1/4" = 1'-0"



2 South Elevation
1/4" = 1'-0"

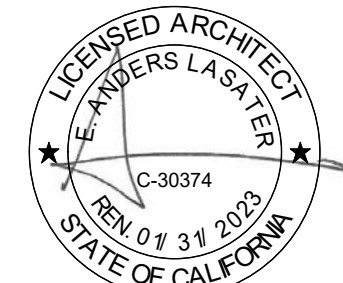
Keynotes

- 58 Composition shingles roof from GAF Timberline Cool Series "Antique Slate" with 0.28 solar reflectance and 0.81 thermal emittance on all the sloped roof area. Provide min. R-30 + R-5 insulation @ all roofs except the roof above the garage. See Title 24 report T24-1 to T24-2 for more information.
- 67 Potential solar panels. Provide SC325 or sim. solar panels by SolarCity.
- 82 Fire retardant treated wood siding - verify color & finish with architect
- 85 (N) metal frame painted dark bronze. Shop metalized and primed prior to erection. See structural drawings for more structural information.
- 93 New retaining wall & foundation design per structural plans. See structural drawings for more information.
- 100 7/8" Light smooth troweled Stucco w/ fiber mesh or expanded metal lath or 2 layers Grade "D" building paper. Verify stucco control joint locations and color with owner and architect. Contractor to provide 1"x1" color sample for owner and architect for approval prior to order and install.
- 101 7/8" Dark smooth troweled Stucco w/ fiber mesh or expanded metal lath or 2 layers Grade "D" building paper. Verify stucco control joint locations and color with owner and architect. Contractor to provide 1"x1" color sample for owner and architect for approval prior to order and install.
- 155 Steel guardrail @ 42" above F.S., metalized & painted dark bronze. Contractor to provide shop drawings to architect prior to order and installation.
- 305 V-Ditch, see civil engineering plan for more information.

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Written dimensions shall take preference over scaled dimensions and shall be verified in the field. Any discrepancy or error shall be brought to the attention of the Architect prior to the commencement of any work.



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North + South Elevations

A3.2