
ITEM #1

OC DEVELOPMENT SERVICES REPORT

DATE: September 16, 2021

TO: Orange County Zoning Administrator

FROM: OC Development Services/Land Development Division

SUBJECT: Planning Application (PA21-0123) for a Site Development Permit for a Wireless Communications Facility, including a Project-Specific Alternative Site Development Standard

PROPOSAL: Applicant RMV Telecom, LLC requests approval of a Site Development Permit to allow for the continued operation of a temporary wireless communication facility (WCF). The WCF includes a ballast-mounted monopole with associated antenna equipment on a 304 square-foot site. The Project-Specific Alternative Site Development Standard will allow the total height of the WCF to be 79 feet where 60 feet is the maximum height allowed.

ZONING: Ranch Plan Planned Community (PC) – Subarea Plan 2.1 Community Facilities (PC Section III.F)

GENERAL PLAN: 1B “Suburban Residential”

LOCATION: The project site is located south of the intersection of Cow Camp Road and Esencia Drive, Lot G of Tract Map 17561, within Subarea 2.1 of the Ranch Plan Planned Community in unincorporated Orange County, Fifth (5th) Supervisorial District

APPLICANT: RMV Telecom, LLC (a Division of Rancho Mission Viejo)
Jay Bullock, Vice President, Planning & Entitlement

STAFF CONTACT: Cameron Welch, Senior Planner, Land Development Division
Phone: (714) 667-1641
Email: Cameron.Welch@ocpw.ocgov.com

RECOMMENDED ACTION(S):

Land Development recommends the OC Zoning Administrator:

- 1) Receive staff report and public testimony as appropriate;
- 2) Find that Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 2006, Addendum 1.1 (PA110003-06) approved February 24, 2011, and the Planning Area 2 Addendum (PA130001-06) certified March 27, 2013, reflect the independent judgment of the County and are adequate to satisfy the requirements of CEQA for approval of PA21-0123, which is a necessarily included element contemplated as part of the whole of the action considered in Final EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum.
 - a. The circumstances of the project are substantially the same as described in Final EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum which adequately addressed the effects of the project proposed in PA21-0123. No substantial changes have been made in the project that involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes have occurred in the circumstances under which the project is being undertaken, that involve new significant environmental effects or a substantial increase in the severity of previously identified environmental effects; and no new information of substantial importance to the project which was not known or could not have been known when Final EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum were certified and approved has become known; therefore, no further environmental review is required.
 - b. Final EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum are adequate to satisfy the requirements of CEQA for PA21-0123.
 - c. All mitigation measures are fully enforceable pursuant to Public Resources Code section 21081.6(b) and have either been adopted as conditions, incorporated as part of the project design, or included in the procedures of project implementation.
- 3) Approve Planning Application PA21-0123, subject to the attached Findings and Conditions of Approval.

BACKGROUND AND EXISTING CONDITIONS:

In November 2004, the County of Orange approved the Ranch Plan Planned Community, which encompasses approximately 22,815 acres located east of I-5, north and south of Ortega Highway at Antonio Parkway/La Pata Avenue, within the Fifth Supervisorial District (the Ranch Plan Planned Community Exhibit, page 5). The community, known as Rancho Mission Viejo, includes 75 percent permanent open space and allows for the development of 14,000 dwelling units (DUs) and 5,200,000 square feet (SF) of non-residential uses allowed within the remaining 25 percent. It is regulated by the Ranch Plan Planned Community Program Text (PC Text, originally approved in 2004), Master Area Plans, and Subarea Plans, which all serve as the community's plans and regulations for development.

The Planning Area 2 Master Area and Subarea Plans were approved by the Planning Commission in 2013 (PA130001-PA130006) and administrative revisions were approved by the Deputy Director, OC Development Services, in 2017 (PA150047) and 2019 (PA180029). Planning Application PA180029 relocated one Community Facility and identified two new Community Facility locations in Subarea 2.1. The new and relocated Community Facility sites are intended for wireless communication facilities.

This site is located within a graded, landscaped area south of Cow Camp Road, within the Development Boundary of PA2/Subarea 2.1. Per Section 7-9-146.13.(c)(2)c. of the Orange County Zoning Code, an emergency building permit for a temporary WCF may be issued for 30 days and extended on a case-by-case basis for 30 days at a time, so long as the emergency situation continues to exist. As an emergency situation was determined to exist as of March 2020, Building Permit BNR20-0157 was issued for a temporary WCF on May 26, 2020, extended on June 18, 2020 and finalized on September 1, 2020.

PA20-0069, a Site Development Permit that allowed for the temporary, emergency WCF to operate for six months with an option for one (1) six-month extension, was approved on July 16, 2020, extended on December 15, 2020 and expired July 31, 2021.

On August 19, 2021, PA20-0195, a Site Development Permit, was approved that allowed for the installation and operation of a permanent WCF adjacent to the temporary, emergency WCF.

PROPOSED PROJECT

RMV Telecom, LLC is now requesting approval of a Site Development Permit to allow for the continued operation of a temporary WCF that includes a ballast-mounted monopole with associated antenna equipment on a 304 square-foot site surrounded by a 6-foot high chain-link fence on a 2.5-foot raised foundation. The Project-Specific Alternative Site Development Standard will allow for the overall height of the WCF to be 79 feet where 60 feet is required per the existing area-wide Alternative Development Standard (ADS) regulating wireless facility height standards (PC Text Section II.B.1). The request for approval of PA 21-0123 is for the following reasons:

1. The emergency situation that was determined to exist as of March 2020 is still on-going
2. All extension options of the temporary WCF approved via PA20-0069 have been exhausted
3. The WCF approved via PA20-0195 is yet to be fully constructed and operational
4. To continue the use of the temporary WCF initially approved, and now expired, under PA20-0069

Once the permanent WCF approved via PA20-0195 is installed and operational, the temporary WCF will be removed per Condition of Approval 9(f).

SURROUNDING LAND USE:

Land uses immediately surrounding the project site include the following:

- North: Cow Camp Road, Esencia Drive, Residential Development of Subarea 2.1
- East: Vacant land
- South: San Juan Creek
- West: Vacant land

Please refer to The Ranch Plan General Vicinity Map, Exhibit 1, and the Project Location Map, Exhibit 2.

Exhibit 1-General Vicinity Map

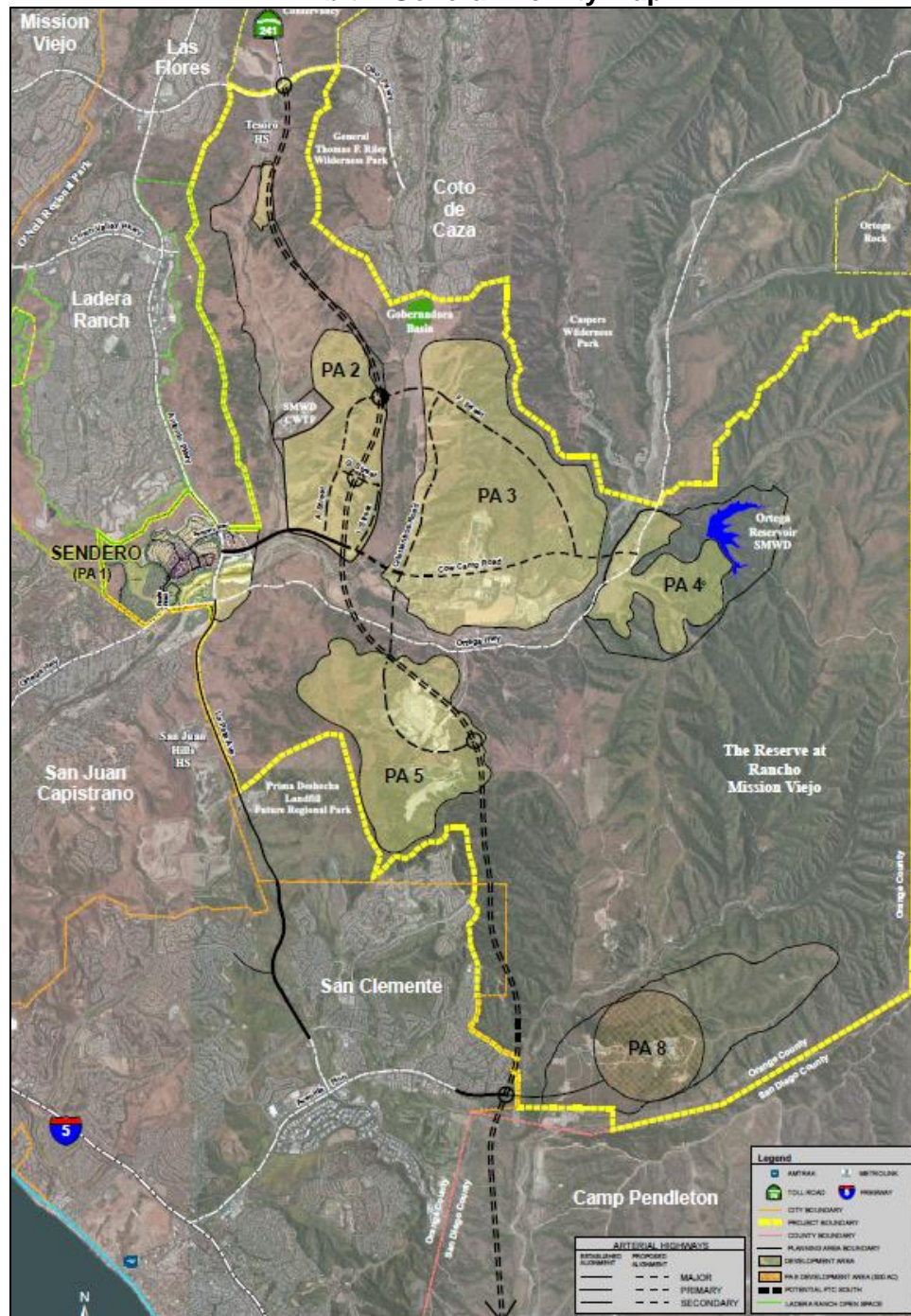
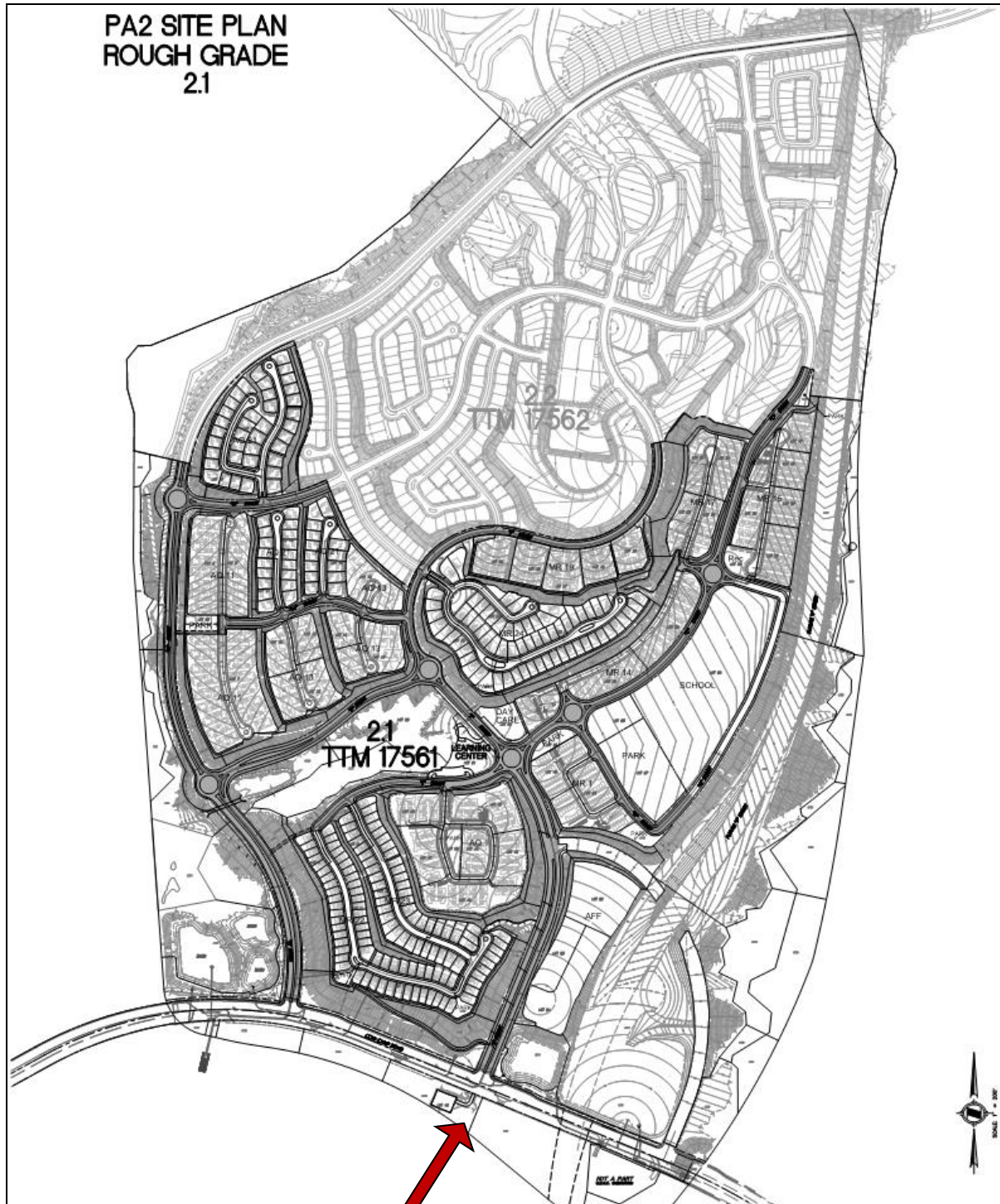


Exhibit 2 - Project Location Map



**Wireless Communication
Facility PA21-0123**

DISCUSSION/ANALYSIS:

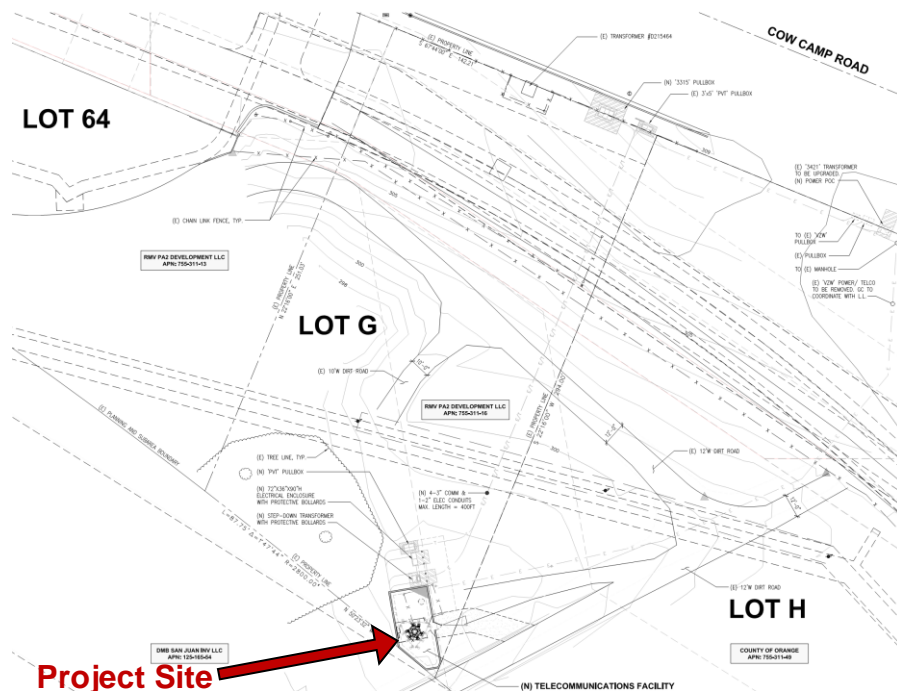
General Description

The project proposes to maintain installation of the following:

1. One (1) above-ground ballast platform
2. Chain link fence
3. One (1) 75-foot tall temporary monopole- Two (2) climate-controlled equipment cabinets
4. One (1) DC diesel generator with 54-gallon tank
5. Six (6) panel antennas
6. One (1) microwave dish antenna
7. One (1) GPS antenna
8. Three (3) dual low band RRUs
9. Three (3) dual high bank RRUs
10. One (1) 6600 ray cap at antenna level
11. Temporary utility poles for overhead power wires
12. Two (2) 6 x 12 hybrid cables
13. One (1) EW90 microwave cable

The installed equipment listed above is located completely within the platform and chain-link fence. Access to the site is provided by an existing dirt road approximately 12 feet in width at its narrowest point and 500 feet long from Cow Camp Road to the project site. As this is a temporary facility, no “stealth” design was incorporated.

Exhibit 3 - Proposed Project Site



Site Development Standards

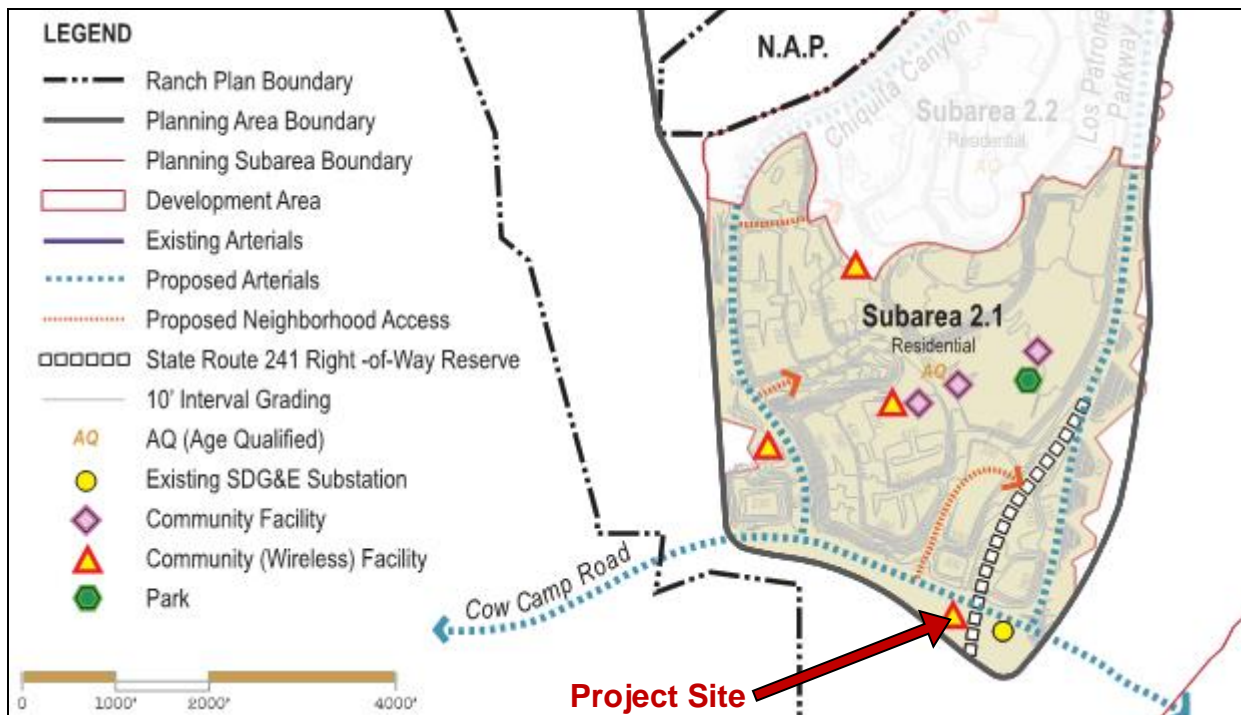
With the exception of the proposed Project Specific Alternative Site Development Standard (PSASDS), the proposed project complies with the standards and requirements set forth in the Ranch Plan Planned Community Program Text and applicable Zoning Code regulations. Telecommunications facilities are listed as a permitted use subject to a Site Development Permit under the “Community Facilities” section of the Ranch Plan PC Text. A comparison of the proposed wireless communications facility with the Ranch Plan PC Program Text Use Regulations & Development Standards for “Community Facilities” (PC Section III.F.1.d.) is as follows:

**Table 1 - Project Comparison with the Community Facilities
Site Development Standards**

Standard	Required/Permitted	Proposed
1) Minimum Site Area	No minimum	Complies; 304 sq. ft.
2) Maximum Bldg. Height	Same as district in which use is established	60 feet allowed per PA1 & 2 Area-Wide ADS; Project-Specific ASDS requested to allow 79 feet.
3) Building setbacks	a) 10' from any front or side property line abutting a street	Complies: 16.93' setback from side property line at nearest point.
	b) 10' from any front, rear or side property line not abutting a street	Not applicable
	c) 20' from any property line abutting residential designated areas	Complies. Nearest residential property line is 700' away,
	d) Setbacks adjacent to parks and open space areas may be reduced	Not Applicable. No parks, open space in vicinity
4) Parking	PC Text § III.K.	Not Applicable. Unmanned facility. See “Maintenance Vehicle Parking” section, Page 10
5) Signs	PC Text § III.L	Not applicable. No signage proposed
6) Trash & Refuse Disposal	Shielded from view by 6'+ wall	Not applicable.
7) Lighting	Direct rays to the premises	Not applicable. No lighting proposed for unmanned facility
8) Screening	a) Abutting Residential: 6' to 7'	Not applicable; not abutting residential
	b) Parking Abutting Hwy: 36" to 42"	Not applicable. No parking proposed
	c) Where finished property elevation is higher/lower than abutting property, changes in elevation may be used in combination with additional screening to satisfy screening requirements	Not applicable; minimal elevation change surrounding the project site

Standard	Required/Permitted	Proposed
	d) Screening shall consist of one or any combination of walls, berms, fences, and landscaping	Complies; Chain-link fence with vinyl slats on top of equipment platform, totaling 8.5 feet high.
	e) Mech. Equipment Screening	Complies; equipment cabinets located within enclosures
11) Landscaping	a) 15' Depth Abutting Arterial Hwy	Complies
	b) 10% landscaping (incl. parking lot)	Not applicable. No public parking/ parking lot proposed. See "Maintenance Vehicle Parking" section, Page 10.
	c) Parking Lot Curb	Not applicable. No public parking/ parking lot proposed. See "Maintenance Vehicle Parking" section, Page 10.
	d) Irrigation	Shall comply with County Landscape Standard Condition 4.10-1.

As reflected in the comparison table, the proposed project complies with the standards and requirements set forth in the Ranch Plan Planned Community Program text and the Orange County Zoning Code. Staff notes that the development standards for Community Facilities typically allow for a maximum height of 35 feet to 45 feet, depending on the zoning district in which the use is established. However, an area-wide ADS was approved for PA 1 and 2 that allows for a maximum height of 60 feet for wireless facility towers.



Project Specific Alternative Site Development Standard (PSASDS)

As noted above, the applicant is requesting a Project-Specific Alternative Site Development Standard (PSASDS) to allow a total height of 79 feet for the WCF where 60 feet is the maximum height allowed. The inclusion of these Project Specific Alternative Site Development Standards requires that the Zoning Administrator, in a public hearing, be the approving authority for this project proposal per Ranch Plan Planned Community Program Text Section II.C.4.b. The Ranch Plan PC Text Section I.C.4.c. states that the Zoning Administrator shall make the findings listed in bold below as part of its approval of a Site Development Permit:

1) General Plan: The use or project proposed is consistent with the General Plan.

The proposed project is consistent with the General Plan which calls for this area to be developed as Suburban Residential.

2) Ranch Plan PC Text and Zoning Code: The use, activity or improvements proposed by the application are consistent with the provisions of the Ranch Plan PC Text and provisions of the Zoning Code.

The applicant is requesting a PSASDS to allow the total height of the WCF to be 79 feet where 60 feet is the maximum height allowed. Per the Ranch Plan PC Text Section II.C.4.b., a Site Development Permit may be approved which establishes alternative site development standards for residential and non-residential projects and uses. If the PSASDS is approved, all other components of the proposed WCF is consistent with the provision of the Ranch Plan PC Text and Zoning Code.

3) CEQA: The approval of the development application is in compliance with the requirements of the California Environmental Quality Act.

The request is in compliance with CEQA as stated on Page 11 of this report under “CEQA Compliance.”

4) Compatibility: the location, size, design and operating characteristics of the proposed use will not create significant noise, traffic or other condition or situations that are objectionable, detrimental or incompatible with other permitted uses in the vicinity of the project area.

The planning application proposes the establishment of a WCF. The project site is on the south side of Cow Camp Road at Esencia Drive. Over 700 feet to the north of the project site is Lot 54 of Tract 17561, an apartment complex. The remaining land surrounding the project site is vacant. Significant noise, traffic or any other situations that are objectionable, detrimental or incompatible will not be generated by this project. Except for the requested PSASDS, the WCF will comply with all other applicable development standards from the Ranch Plan PC Text and the Zoning Code.

5) General Welfare: the application will not result in conditions or circumstances contrary to the public health, safety and general welfare.

The proposed project is for the establishment of a WCF and an PSASDS for additional height. The proposed project will not result in conditions or circumstances contrary to public health, safety and general welfare.

Per Ranch Plan PC Text §II.C.4.c, if a Site Development Permit proposes to modify site development standards, the following finding shall be made in addition to the findings above:

6) Equivalent or better project: The alternative development standard will result in an equivalent or better project in terms of reducing adverse impacts and/or providing additional or superior public benefits to the immediate and surrounding community.

The requested PSASDS is to allow the WCF to be a maximum height of 79 feet where a maximum of 60 feet is allowed. The purpose of the WCF is to alleviate inadequate wireless service in Planning Area 2. Due to an increased number of residents working and attending school from home, the volume of wireless transmissions is overwhelming existing wireless facilities serving the Planning Area 2 neighborhoods. In addition, there is a concern that public safety might be compromised if a 911 call is placed and does not connect, or a 911 call is placed, connects, and then is dropped. Radio Frequency Engineers at Verizon Wireless determined that a 75-foot monopole is required to adequately serve the neighboring community from the WCF site location. Proper installation requires that antenna equipment be installed above the monopole by an additional four feet, bringing the total height to 79 feet.

The requested PSASDS will result in a better project as it will allow for better wireless service and coverage in the surrounding community without any compatibility, health, safety and welfare impacts to the community. As previously discussed, there are no potential adverse effects from the proposed PSASDS.

Staff supports the request for this Project Specific Alternative Site Development Standard based on the discussion above. With the approval of this Project Specific Alternative Site Development Standard, the project will result in an equivalent or better project that will be a benefit to the public and the surrounding community.

Maintenance Vehicle Parking

The proposed unmanned WCF will not have any employees on-site and no vehicles assigned to the facility. Furthermore, the site is over 700 feet away from the nearest residence on the other side of Cow Camp Road and is accessed by existing dirt roads, so it is not anticipated that the WCF will affect parking for area residents. Therefore, no designated parking is required for the project. However, should maintenance be required for the WCF, there is adequate space next to the WCF enclosure to park a maintenance vehicle without impeding any public right-of-way or fire access should maintenance be necessary. Condition of Approval #10 is included to ensure that a space (9 feet by 18 feet) is maintained on the project site at all times to accommodate parking a maintenance vehicle outside any public right-of-way and fire access.

Orange County Fire Authority - Fire Master Plan

The applicant has provided a copy of the plans to the Orange County Fire Authority (OCFA) for review. OCFA reviewed the project and determined the only requirement for the temporary WCF

was to obtain a temporary generator permit. For the permanent WCF yet to be installed and operating, the applicant has provided a copy of the Orange County Fire Authority (OCFA) Fire Master Plan, Service Request (SR) number 292074, approved on July 19, 2021. OCFA reviewed the proposed project and had no additional conditions of approval for the proposed project. OCFA and OC Development Services/Land Development will continue to coordinate during the plan check review, permitting and construction process to ensure establishment of the wireless communication facility is in compliance with associated fire safety and fire protection requirements.

REFERRAL FOR COMMENT:

Copies of the site development permit submittal package were distributed for review and comment to County staff and consultants, including Land Development, Development Support and Building & Safety. Through a collaborative effort with County staff, the applicant adequately addressed all comments. As of the writing of this staff report, no further comments have been received from any County divisions.

A Notice of Public Hearing was mailed to all property owners of record within 300 feet of the subject site on September 2, 2021. Additionally, notices were posted at the site, at the Orange County Hall of Administration, at the County Administrations South (CAS) Building, and on the Orange County Public Works website as required by established public hearing posting procedures. No public comments have been received to date.

CEQA COMPLIANCE:

This project is a necessarily included element of the project considered in Final Program EIR 589, which was certified on November 8, 2004; Addendum 1.0, approved on July 26, 2006; Addendum 1.1, approved on February 24, 2011; and the Planning Area 2 Addendum, approved on March 27, 2013, which adequately addressed the effects of the proposed project. No substantial changes have been made in the project, no substantial changes have occurred in the circumstances under which the project is being undertaken, and no new information of substantial importance to the project which was not known or could not have been known when Final Program EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum were certified and approved has become known; therefore no further environmental review is required for planning application PA21-0123.

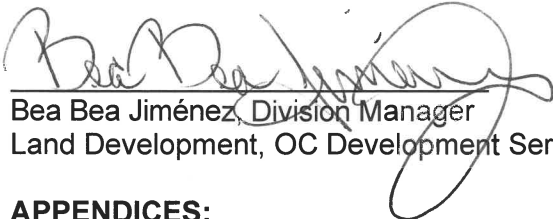
CONCLUSION:

Based upon a review of the subject submittal, staff has determined that the proposed Site Development Permit to allow for the continued usage of a temporary Wireless Communication Facility in Subarea 2.1, including a Project-Specific Alternative Site Development Standard, consists of principle permitted uses, subject to a Site Development Permit, under the Ranch Plan PC Program Text, Sections III.F (Community Facilities). The request to allow an overall height of 79 feet for the WCF where 60 feet is permitted as a Project Specific Alternative Site Development Standard subject to approval of the Zoning Administrator per the Ranch Plan PC Text Section II.C.4.b., Site Development Permit Content, Procedures and Amendments. This project meets the findings in the Ranch Plan PC Text Section I.C.4.c. and is compatible with the surrounding development.

Staff recommends approval of Planning Application PA21-0123 for a Site Development Permit including a Project-Specific Alternative Development Standard to install a Wireless Communication Facility in Subarea 2.1, subject to the attached Findings and Conditions of Approval.

Submitted by:

Concurred by:



Bea Bea Jiménez, Division Manager
Land Development, OC Development Services



Amanda Carr, Deputy Director
OC Public Works, OC Development Services

APPENDICES:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Ranch Plan Regulation Compliance Matrix – Site Development Permit Items

ATTACHMENTS:

- 1. Applicant's Letter of Project Proposal
- 2. Site Plans
- 3. Verizon Wireless Service Determination

APPEAL PROCEDURE:

Any interested person may appeal the decision of the Zoning Administrator on this permit to the Orange County Planning Commission within 15 calendar days of the decision upon submittal of required documents and a filing fee of \$500.00 filed at the Development Processing Center, 601 N. Ross St., Santa Ana. If you challenge the action taken on this proposal in court, you may be limited to raising only those issues you or someone else raised in written correspondence delivered to OC Development Services.

APPENDIX A



Appendix A Findings PA21-0123

1	EIR AND ADDENDUM	PA21-0123
<p>That the decision-maker has considered Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 2006; Addendum 1.1 (PA110002 - PA110006) approved February 24, 2011; the Planning Area 2 Addendum (PA130001-PA130004 and PA130006) approved on March 27, 2013; prior to project approval:</p> <p>a. Together, these documents reflect the independent judgment of the County and satisfy the requirements of CEQA for approval of PA21-0123, which is a necessarily included element contemplated as part of the whole of the action considered in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning area 2 Addendum, and the Administrative Revisions to Planning Areas 1 and 2 Master Area and Subarea Plans;</p> <p>b. The circumstances of the project are substantially the same as described in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and the Administrative Revisions to Planning Areas 1 and 2 Master Area and Subarea Plans which adequately addressed the effects of the project proposed in PA21-0123. No substantial changes have been made in the project that involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes have occurred in the circumstances under which the project is being undertaken, that involve new significant environmental effects or a substantial increase in the severity of previously identified environmental effects; and no new information of substantial importance to the project which was not known or could not have been known when Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and the Administrative Revisions to Planning Areas 1 and 2 Master Area and Subarea Plans were certified and approved has become known; therefore, no further environmental review is required.</p> <p>c. All mitigation measures are fully enforceable pursuant to Public Resources Code section 21081.6(b) and have either been adopted as conditions, incorporated as part of the project design, or included in the procedures of project implementation.</p>		
2	ENVIRONMENTAL MONITORING	PA21-0123
<p>That the monitoring requirements of Public Resources Code Section 21081.6 (AB 3180) will be considered as having been met in that the design of the subject project, the satisfaction of the requirements of the County's building, grading, fire, and other codes and ordinances and the satisfaction of the conditions of approval applied to the project will implement the mitigation measures contained in EIR No. 589, Addendum 1 (PA06-0023), Addendum 1.1 (PA110003-0006), the Planning Area 2 Addendum (PA130001-0004 and PA130006), and the Administrative Revisions to Planning Areas 1 and 2 Master Area and Subarea Plans (PA180029).</p>		
3	GENERAL PLAN	PA21-0123
<p>That the use or project proposed is consistent with the objectives, policies, and general land uses and programs specified in the General Plan adopted pursuant to the State Planning and Zoning Law.</p>		
4	ZONING	PA21-0123
<p>That the use, activity or improvement(s) proposed, subject to the specified conditions, is consistent with the Ranch Plan Planned Community Program Text and provisions of the Zoning Code.</p>		
5	COMPATIBILITY	PA21-0123
<p>That the location, size, design and operating characteristics of the proposed use will not create significant noise, traffic or other conditions or situations that are objectionable, detrimental or incompatible with other permitted uses in the vicinity of the project area.</p>		
6	GENERAL WELFARE	PA21-0123
<p>That the application will not result in conditions or circumstances contrary to the public health and safety and the general welfare.</p>		
7	PUBLIC FACILITIES	PA21-0123
<p>That the approval of the permit application is in compliance with Codified Ordinance Section 7-9-711 regarding public facilities (fire station, library, sheriff, etc.).</p>		
8	ALTERNATIVE DEVELOPMENT STANDARDS	PA21-0123
<p>That the alternative development standards will result in an equivalent or better project in terms of reducing adverse impacts and/or providing additional or superior public benefits to the immediate and surrounding community.</p>		

APPENDIX B



Appendix B Conditions of Approval PA21-0123

1 RANCH PLAN REGULATION COMPLIANCE MATRIX PA21-0123 (Custom)

The applicant shall comply with all applicable requirements of the Ranch Plan Regulation Compliance Matrix: to the satisfaction of the appropriate decision maker listed in each applicable Regulation Compliance Matrix item. The applicable requirements are listed below and attached as Appendix C:

a. Prior to Issuance of Grading Permits

521: EIR 589 Standard Condition 4.4-1 (G01) – Geotechnical report
 522: EIR 589 Standard Condition 4.4-2 (G02) – Conformance with TT Map
 523: EIR 589 Standard Condition 4.4-2 (G02) – Revised TT Map (if necessary)
 524: EIR 589 Stand. Cond. 4.4-3 (G04) – Off-site Letter of Consent (if necessary)
 525: EIR 589 Standard Condition 4.4-4 (G09) – Consistency with Planning Approval
 527 & 527.1: EIR 589 Standard Condition 4.5-1 (D01a) – Drainage Study
 528 & 528.1: EIR 589 Standard Condition 4.5-2 (D02a) – Drainage Improvements
 530 & 530.1: EIR 589 Standard Condition 4.5-3 (D02b) – Drainage Improvements
 537 & 537.1: EIR 589 St. Cond. 4.5-8 (WQ01) – Water Quality Management Plan (WQMP)
 538: EIR 589 St. Cond. 4.5-8 (WQ03) – Water Quality Management Plan (WQMP)
 540: EIR 589 St. Cond. 4.5-10 (WQ04) – Stormwater Pollution Prevention (SWPPP)
 541: EIR 589 St. Cond. 4.5-11 (WQ05) – Erosion and Sediment Control Plan
 548: EIR 589 Standard Condition 4.6-6 (T07) – Sight Distance
 555, 555.1 through 555.5: EIR 589 Standard Condition 4.7-1 – Fugitive Dust
 556, 556.1, 556.2 & 556.3: EIR 589 Standard Condition 4.7-2 – Emission Control
 557: EIR 589 Standard Condition 4.8-1 (N10) – Hours of Construction
 558, 558.1, 558.2, 558.3 & 558.4: EIR 589 St. Condition. 4.8-2 (N10) – Construction Noise
 559 & 559.1: EIR 589 Standard Condition 4.8-3 (N01) – Sound Attenuation
 562: EIR 589 Standard Condition 4.8-6 (N08) – Noise Generating Equipment (Non-Residential)
 567: EIR 589 Standard Condition 4.10-2 (LA02b) – Private Area Landscaping
 571: EIR 589 Standard Condition 4.11-1 (A04) – Archaeology Grading Observation and Salvage
 574: EIR 589 Standard Condition 4.11-2 (A07) – Paleontology Resource Surveillance
 589: EIR 589 Standard Condition 4.14-2 – Hazardous Materials
 616: Ranch Plan Fire Prot. Program Cond. 3.d. – Precise Fuel Modification Plan

b. Prior to Precise Fuel Modification Plans:

138: EIR 589 Mitigation Measure 4.9-27 – Invasive Plants and Fuel Modification

c. Prior to Issuance of Building Permit:

111: EIR 589 Mitigation Measure 4.7-3 – Use of Light-Colored Roof Materials
 140: EIR 589 Mitigation Measure 4.9-28 – Open Space habitat, light shields
 206: EIR 589 Mitigation Measure 4.15-5 – Capistrano Unified School District fees
 526: EIR 589 Standard Condition 4.4-5 – Compliance with Code
 537 & 537.1: EIR 589 St. Cond. 4.5-8 (WQ01) – Water Quality Management Plan (WQMP)
 538: EIR 589 St. Cond. 4.5-8 (WQ03) – Water Quality Management Plan (WQMP)
 540: EIR 589 St. Cond. 4.5-10 (WQ04) – Stormwater Pollution Prevention (SWPPP)
 541: EIR 589 St. Cond. 4.5-11 (WQ05) – Erosion and Sediment Control Plan
 547: EIR 589 Standard Condition 4.6-5 (T05) – Major Thoroughfare & Bridge Fees
 550, 550.1, 550.2 & 550.4: EIR 589 Standard Condition 4.6-8 (T12) – Internal Circulation
 559.2 & 559.3: EIR 589 Standard Condition 4.8-3 (N01) – Sound Attenuation
 561 & 561.1: EIR 589 Standard Condition 4.8-5 (N02) – Non-Residential Development
 562: EIR 589 Standard Condition 4.8-6 (N08) – Noise Generating Equipment (Non-Residential)
 564 & 564.1: EIR 589 Standard Condition 4.10-1 (LA01b) – Public Area Landscaping
 570: EIR 589 Standard Condition 4.10-3 (LG01) – Light and Glare
 589: EIR 589 Standard Condition 4.14-2 – Hazardous Materials
 617: Ranch Plan Fire Prot. Program Cond. 3.e. – Vegetation Clearance

d. Prior to Combustible Construction:

609: Ranch Plan Fire Prot. Program Cond. 2.d. – Emergency Access & Water Supply

e. During Construction:

197: EIR 589 Mitigation Measure 4.14-13 – ESA Remedial Measures

f. Prior to Certificates of Occupancy:

529: EIR 589 Standard Condition 4.5-2 (D02a) – Drainage Improvements
 531: EIR 589 Standard Condition 4.5-3 (D02b) – Drainage Improvements
 539, 539.1 & 539.2: EIR 589 Standard Condition 4.5-9 (WQ03) – Compliance with Water Quality Management Plan (WQMP)
 560: EIR 589 Standard Condition 4.8-4 (N09) – Multi-Family Residential Development
 563: EIR 589 Standard Condition 4.8-7 (N12) – Transportation Corridor Notification
 565 & 566: EIR 589 Standard Condition 4.10-1 (LA01b) – Public Area Landscaping
 568 & 569: EIR 589 Standard Condition 4.10-2 (LA02b) – Private Area Landscaping
 618: Ranch Plan Fire Prot. Program Cond. 3.f. – Fuel Modification Zones

g. Prior to Release of Grading Bond:

572 & 573: EIR 589 Standard Condition 4.11-1 (A04) – Archaeology Grading Observation and Salvage
 575 & 576: EIR 589 Standard Condition 4.11-2 (A07) – Paleontology Resource Surveillance

2 BASIC/ZONING REGULATIONS PA21-0123

This approval constitutes approval of the proposed project only to the extent that the project complies with the Orange County Zoning Code and any other applicable zoning regulations. Approval does not include any action or finding as to compliance or approval of the project regarding any other applicable ordinance, regulation or requirement.

3	BASIC/TIME LIMIT	PA21-0123
This approval is valid for a period of 36 months from the date of final determination. If the use approved by this action is not established within such period of time, this approval shall be terminated and shall thereafter be null and void.		
4	BASIC/PRECISE PLAN	PA21-0123
Except as otherwise provided herein, this permit is approved as a precise plan. If the applicant proposes changes regarding the location or alteration of any use or structure, the applicant shall submit a changed plan to the Director, OC Planning, for approval. If the Director, OC Planning, determines that the proposed change complies with the provisions and the spirit and intent of the original approval action, and that the action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.		
5	BASIC/COMPLIANCE	PA21-0123
Failure to abide by and faithfully comply with any and all conditions attached to this approving action shall constitute grounds for the revocation of said action by the Orange County Planning Commission.		
6	INDEMNIFICATION	PA21-0123
Applicant shall defend with counsel approved by the County of Orange in writing, indemnify and hold harmless the County of Orange, its officers, agents and employees from any claim, action or proceeding against the County, its officers, agents or employees to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental documents, findings or other environmental determination, by the County of Orange, its Board of Supervisors, Planning Commission, Zoning Administrator, Director of OC Public Works, or Director of Planning concerning this application. The County may, at its sole discretion, participate in the defense of any action, but such participation shall not relieve applicant of his/her obligations under this condition. Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required to pay as a result of such action. The County shall promptly notify the applicant of any such claim, action or proceeding.		
7	BASIC/APEAL EXACTIONS	PA21-0123
Pursuant to Government Code Section 66020, the applicant is hereby informed that the 90-day approval period in which the applicant may protest the fees, dedications, reservations or other exactions imposed on this project through the conditions of approval has begun.		
8	FEDERAL AND STATE AGENCIES	PA21-0123
Prior to the issuance of any grading or building permits, the applicant shall provide evidence that all necessary permits and/or authorizations from applicable federal and state agencies have been acquired for the proposed wireless communications facility.		
9	PERIOD OF VALIDITY	PA21-0123 (Custom)
The approval of PA21-0123 allows for the temporary use and installation of the proposed temporary wireless communications facility subject to the following:		
<ul style="list-style-type: none"> (a) Approval of PA21-0123 shall be for one-hundred eighty (180) days. (b) Within one hundred eighty (180) days, at the permittee's sole expense, remove the wireless communications facility approved under PA21-0123 and all its associated equipment in compliance with all applicable health and safety requirements and restore the site to the condition that existed before installation of the wireless communications facility, or as otherwise required by the Deputy Director, OC Development Services. (c) At any time after one hundred eighty (180) days, without further notice to the applicant, the Deputy Director, OC Development Services, may remove and store the wireless communications facility, repair any damage to the premises caused by such removal, and restore the premises as the Deputy Director, OC Development Services deems appropriate. The permittee, and all prior owners and operators of the wireless communications facility, will be jointly and severally liable for the entire cost of such removal, repair, restoration, and storage, and shall remit payment to the County promptly after demand for payment is made. The County may, instead of storing the removed wireless communications facility equipment, convert it to the County's use, sell it, or dispose of it in any manner deemed appropriate by the County. (d) Prior to expiration of the one hundred eighty (180) day approval time frame, the applicant may apply for one (1) 6-month extension. (e) Should the applicant wish to further extend the period of validity of the temporary Wireless Communication Facility, approval of a separate Site Development Permit will be required. (f) The temporary facility, as approved by PA21-0123, shall be removed within thirty (30) days after operational commencement of the permanent facility approved via PA20-0195. 		
10	MAINTENANCE VEHICLE PARKING	PA21-0123
A parking space, measuring no less than 9 feet by 18 feet, to accommodate a maintenance vehicle shall be maintained on the project site at all times. The parking space shall be located outside of the public right-of-way and fire access and shall not be used for any other purpose than maintenance vehicle parking.		

APPENDIX C

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
a. Prior to Issuance of Grading Permits												
521		EIR 589	SC 4.4-1	Prior to the issuance of a grading permit	Geology and Soils:		Geology and Soils:	Prior to the issuance of a grading permit, the applicant shall submit a geotechnical report to the Manager of Subdivision- Manager OC Planned Communities and Grading, for approval. The report shall meet the requirements outlined in the County of Orange Grading Code and Manual. (County Standard Condition G01)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory geotechnical report		Each PA
522		EIR 589	SC 4.4-2	Prior to the issuance of a grading permit	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to the issuance of any grading permits, the Manager of Subdivision and Grading shall review the grading plan for conformance with the grading shown on the approved tentative map. If the applicant submits a grading plan which the Manager of Subdivision and Grading- Manager OC Planned Communities determines to show a significant deviation from the grading shown on the approved tentative map, specifically with regard to slope heights, slope ratios, pad elevations or configurations, the Subdivision Committee shall review the plan for a finding of substantial conformance. (County Standard Condition G02)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approval of grading plan demonstrating submittal conformance with the grading shown on the approved TTM		Each PA
523		EIR 589	SC 4.4-2 (cont.)	Prior to the issuance of a grading permit	Geology and Soils (cont.):		Geology and Soils (cont.):	If the Subdivision Committee fails to make such a finding, the applicant shall process a revised tentative map; or, if a final map has been recorded, the applicant shall process a new tentative map or a site development permit application per Orange County Zoning Code Sections 7-9-139 and 7-9-150. Additionally, the applicant shall process a new environmental assessment for determination by the decision making	Subdivision Committee review for substantial conformance, if required	Process new subdivision, if necessary		Each PA
524		EIR 589	SC 4.4-3	Prior to the recordation of a subdivision map or prior to issuance of a Grading Permit, whichever comes first	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to the recordation of a subdivision map or prior to the issuance of any grading permit, whichever comes first, and if determined necessary by the County of Orange Manager, Subdivision and Grading, the applicant shall record a letter of consent from the affected property owners permitting off-site grading, cross lot drainage, drainage diversions and/or unnatural concentrations. The applicant shall obtain approval of the form of the letter of consent from the Manager, Subdivision and Grading Services before recordation of the letter. (County Standard Condition G04)	County of Orange Director of Planning & Development Services, Director, OC Planning	Recordation of a letter of consent from affected property owners if determined necessary by County of Orange Director of Planning & Development Services		Each PA

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525		EIR 589	SC 4.4-4	Prior to the issuance of grading permits	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to issuance of grading permits, the Manager of Subdivision and Grading- Manager OC Planned Communities shall determine that the proposed grading is consistent with the grading depicted within the approved planning application. (County Standard Condition G09)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approval of grading plan		Each PA
527		EIR 589	SC 4.5-1	Prior to recordation of a Subdivision Map or issuance of a Grading Permit, whichever comes first	Drainage Study:		Drainage Study:	Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading permits, whichever comes first, the following drainage studies shall be submitted to and approved by the Manager, Subdivision and Grading: (County Standard Condition D01a)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory of drainage study		Each PA
527.1		EIR 589	SC 4.5-1 (cont.)	See above	Drainage Study (cont.):		Drainage Study (cont.):	A. A drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; and B. When applicable, a drainage study evidencing that proposed drainage patterns will not overload existing storm drains; and C. Detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood. (County Standard Condition D01a)	See above	See above		Each PA
528		EIR 589	SC 4.5-2	Prior to recordation of a Subdivision Map or Issuance of a Grading Permit, whichever comes first	Drainage Improvements:		Drainage Improvements:	A. Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading permits, whichever comes first, the applicant shall in a manner meeting the approval of the Manager, Subdivision and Grading: (County Standard Condition D02a)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approval of storm drain drainage plans and offer(s) of dedication, if necessary		Each PA
528.1		EIR 589	SC 4.5-2 (cont.)	See above	Drainage Improvements (cont.):		Drainage Improvements (cont.):	1) Design provisions for surface drainage; 2) Design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and 3) Dedicate the associated easements to the County of Orange, if determined necessary. (County Standard Condition D02a)	See above	See above		Each PA

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530		EIR 589	SC 4.5-3	Prior to the issuance of Grading Permits	Drainage Improvements (cont.):		Drainage Improvements (cont.):	A. Prior to the issuance of any grading permits, the applicant shall in a manner meeting the approval of the Manager, Subdivision and Grading: (County Standard Condition D02b)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory drainage plans		Each PA
530.1		EIR 589	SC 4.5-3 (cont.)	See above	Drainage Improvements (cont.):		Drainage Improvements (cont.):	1) Design provisions for surface drainage; and 2) Design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and 3) Dedicate the associated easements to the County of Orange, if determined necessary. (County Standard Condition D02b)	See above	See above		Each PA
537		EIR 589	SC 4.5-8	Prior to the recordation of a Subdivision Map or the issuance of any Grading or Building Permit, whichever comes first	Water Quality Management Plan:		Water Quality Management Plan:	Prior to the recordation of any final subdivision map (except those maps for financing or conveyance purposes only) or the issuance of any grading or building permit (whichever comes first), the applicant shall submit for review and approval by the Manager, Inspection Services Division, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. This WQMP shall identify, at a minimum, the routine structural and non-structural measures specified in the current Drainage Area Management Plan (DAMP). The WQMP may include one or more of the following: (County Standard Condition WQ01)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory Water Quality Management Plan		Each PA
537.1		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	<ul style="list-style-type: none"> Discuss regional water quality and/or watershed programs (if available for the project); Address Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas; Include the applicable Routine Source Control BMPs as defined in the DAMP. (County Standard Condition WQ01)	See above	See above		Each PA

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538		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Demonstrate how surface runoff and subsurface drainage shall be managed and directed to the nearest acceptable drainage facility (as applicable), via sump pumps if necessary. (Standard Condition of Approval, WQ03)	See above	See above		Each PA
540		EIR 589	SC 4.5-10	Prior to the issuance of any Grading or Building Permits	Stormwater Pollution Prevention Plan.		Stormwater Pollution Prevention Plan.	Prior to the issuance of any grading or building permits, the applicant shall demonstrate compliance under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing in a manner meeting the satisfaction of the Manager, Building Permit Services. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ04)	County of Orange Manager of Building Permits Manager, OC Inspection Division (Regional Water Quality Control Board)	Provision of Notice of Intent and verification of a copy of the Storm Water Pollution Prevention Plan (SWPPP); at the project site		Each PA
541		EIR 589	SC 4.5-11	Prior to the issuance of any Grading or Building Permits	Erosion and Sediment Control Plan.		Erosion and Sediment Control Plan.	Prior to the issuance of any grading or building permit, the applicant shall submit a Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Building Permit Services, to demonstrate compliance with local and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. A copy of the current ESCP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ05)	County of Orange Manager of Building Permits Manager, Permit Services (Building Plan Check)	Submittal of satisfactory Erosion and Sediment Control Plan (ESCP); verification of copy of ESCP at project site		Each PA

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548		EIR 589	SC 4.6-6	Prior to the issuance of Grading Permits	Sight Distance:		Sight Distance:	Prior to the issuance of any grading permits, the applicant shall provide adequate sight distance per Standard Plan 1117 at all street intersections, in a manner meeting the approval of the Manager, Subdivision and Grading. The applicant shall make all necessary revisions to the plan to meet the sight distance requirement such as removing slopes or other encroachments from the limited use area in a manner meeting the approval of the Manager, Subdivision and Grading Services. (Standard Condition of Approval T07)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approved grading plans verifying adequate sight distance		Each PA
555		EIR 589	SC 4.7-1	Prior to the issuance of a grading permit	Fugitive Dust:		Fugitive Dust:	All construction contractors shall comply with South Coast Air Quality Management District (SCAQMD) regulations, including Rule 403, Fugitive Dust, and Rule 402, Nuisance. All grading (regardless of acreage) shall apply best available control measures for fugitive dust in accordance with Rule 403. To ensure that the project is in full compliance with applicable SCAQMD dust regulations and that there is no nuisance impact off the site, the contractor would implement each of the following:	County of Orange Director of Planning & Development Services, Director, OC Planning	Verification of compliance with Rule 403 and Rule 402		Each PA
555.1		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	a. Moisten soil not more than 15 minutes prior to moving soil or conduct whatever watering is necessary to prevent visible dust emissions from traveling more than 100 feet in any direction.	See above	See above		Each PA
555.2		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	b. Apply chemical stabilizers to disturbed surface areas (i.e., completed grading areas) within five days of completing grading or apply dust suppressants or vegetation sufficient to maintain a stabilized surface.	See above	See above		Each PA
555.3		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	c. Water excavated soil piles hourly or cover with temporary coverings.	See above	See above		Each PA
555.4		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	d. Water exposed surfaces at least twice a day under calm conditions. Water as often as needed on windy days when winds are less than 25 miles per hour or during very dry weather in order to maintain a surface crust and prevent the release of visible emissions from the construction site.	See above	See above		Each PA
555.5		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	e. Wash mud-covered tires and undercarriages of trucks leaving construction sites.	See above	See above		Each PA
555.5		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	f. Provide for street sweeping, as needed, on adjacent roadways to remove dirt dropped by construction vehicles or mud, which would otherwise be carried off by trucks departing from project sites.	See above	See above		Each PA

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556		EIR 589	SC 4.7-2	Prior to issuance of a grading permit	Construction - ROC and NOX Emissions:		Construction - ROC and NOX Emissions:	The applicant shall comply with the following measures, as feasible, to reduce NO _x and ROC from heavy equipment.	County of Orange Director of Planning & Development Services, Director, OC Planning	Place as general notes on approved grading plan		Each PA
556.1		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions:		Construction Emissions:	a. Turn equipment off when not in use for more than five minutes.	See above	See above		Each PA
556.2		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions (cont.):		Construction Emissions (cont.):	b. Maintain equipment engines in good condition and in proper tune as per manufacturers' specifications.	See above	See above		Each PA
556.3		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions (cont.):		Construction Emissions (cont.):	c. Lengthen the construction period during smog season (May through October) to minimize the number of vehicles and equipment operating at the same time.	See above	See above		Each PA
557		EIR 589	SC 4.8-1	Prior to the issuance of grading permits	Hours of Construction:		Hours of Construction:	During construction, the project applicant shall ensure that all noise generating activities be limited to the hours of 7 a.m. to 8 p.m. on weekdays and Saturdays. No noise generating activities shall occur on Sundays and holidays in accordance with the County of Orange Noise Ordinance.	County of Orange Director of Planning & Development Services, Director, OC Planning	General note on approved grading plan		Each PA
558		EIR 589	SC 4.8-2	Prior to the issuance of grading permits	Construction Noise:		Construction Noise:	A. Prior to the issuance of any grading permits, the project proponent shall produce evidence acceptable to the Manager, Building Permits Services, that: (County Standard Condition N10)	County of Orange Director of Planning & Development Services, Director, OC Planning	General note on approved grading plan		Each PA
558.1		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(1) All construction vehicles or equipment, fixed or mobile, operated within 1,000' of a dwelling shall be equipped with properly operating and maintained mufflers. (County Standard Condition N10)	See above	See above		Each PA
558.2		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(2) All operations shall comply with Orange County Codified Ordinance Division 6 (Noise Control). (County Standard Condition N10)	See above	See above		Each PA
558.3		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(3) Stockpiling and/or vehicle staging areas shall be located as far as practicable from dwellings. (County Standard Condition N10)	See above	See above		Each PA
558.4		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	B. Notations in the above format, appropriately numbered and included with other notations on the front sheet of the project's permitted grading plans, will be considered as adequate evidence of compliance with this condition. (County Standard Condition N10)	See above	See above		Each PA

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559		EIR 589	SC 4.8-3	See below	Sound Attenuation:		Sound Attenuation:	The applicant shall sound attenuate all residential lots and dwellings against present and projected noise (which shall be the sum of all noise impacting the project) so that the composite interior standard of 45 dBA CNEL for habitable rooms and a source specific exterior standard of 65 dBA CNEL for outdoor living areas is not exceeded. The applicant shall provide a report prepared by a County-certified acoustical consultant, which demonstrates that these standards will be satisfied in a manner consistent with Zoning Code Section 7-9-137.5, as follows: (County Standard Condition N01)	County of Orange Director of Planning & Development Services and County of Orange Manager of Building Permits Services, Director, OC Planning and Manager, Permit Services (Building Plan Check)	Submittal of satisfactory acoustical analysis	Staff may determine that no attenuation is necessary, and no action is required (as occurred in PA1). In such a case a "not applicable" memo is to be prepared. Applicant and County staff to address AC units in side yards as soon as possible.	Each PA
559.1		EIR 589	SC 4.8-3 (cont.)	Prior to the recordation of a subdivision map or prior to the issuance of grading permits	Sound Attenuation (cont.):		Sound Attenuation (cont.):	a. Prior to the recordation of a subdivision map or prior to the issuance of grading permits, as determined by the Manager, Building Permits Services, the applicant shall submit an acoustical analysis report to the Manager, Building Permits Services, for approval. The report shall describe in detail the exterior noise environment and preliminary mitigation measures. Acoustical design features to achieve interior noise standards may be included in the report in which case it may also satisfy Condition B below. (County Standard Condition N01)	See above	See above		Each PA
562		EIR 589	SC 4.8-6	Prior to the issuance of building or grading permits	Noise-Generating Equipment (Non-Residential Projects):		Noise-Generating Equipment (Non-Residential Projects):	Prior to the issuance of any building or grading permits, the applicant shall obtain the approval of the Manager, Building Permits Services of an acoustical analysis report and appropriate plans which demonstrate that the noise levels generated by this project during its operation shall be controlled in compliance with Orange County Codified Ordinance, Division 6 (Noise Control). The report shall be prepared under the supervision of a County-certified Acoustical Consultant and shall describe the noise generation potential of the project during its operation and the noise mitigation measures, if needed, which shall be included in the plans and specifications of the project to assure compliance with Orange County Codified Ordinance, Division 6 (Noise Control). (County Standard Condition N08)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Approved acoustical analysis		Each PA

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567		EIR 589	SC 4.10-2	Prior to the issuance of precise grading permits	Private Area Landscaping:		Private Area Landscaping:	a. Prior to the issuance of precise grading permits, the applicant shall prepare a detailed landscape plan for privately maintained common areas which shall be reviewed and approved by the Manager, Subdivision and Grading. The plan shall be certified by a licensed landscape architect or a licensed landscape contractor, as required, as taking into account the approved preliminary landscape plan (if any), County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, Water Conservation Measures contained in Board Resolution 90-487 (Water Conservation Measures), and Board Resolution 90-1341 (Water Conservation Implementation Plan). (County Standard Condition LA02b)	County of Orange Director of Planning & Development Services, Director, OC Planning	Approved detailed landscape plan for privately maintained common areas		Each PA
571	172-176 (MM 4.11-3)	EIR 589	SC 4.11-1	Prior to the issuance of any grading permits	Archaeology Grading Observation and Salvage:		Archaeology Grading Observation and Salvage:	Prior to the issuance of any grading permit, the applicant shall provide written evidence to the County of Orange Manager, Subdivision and Grading, that applicant has retained a County-certified archaeologist to observe grading activities and salvage and catalogue archaeological resources as necessary. The archaeologist shall be present at the pre-grade conference; shall establish procedures for archaeological resource surveillance; and shall establish, in cooperation with the applicant, procedures for temporarily halting or redirecting work to permit the sampling, identification, and evaluation of the artifacts as appropriate. If the archaeological resources are found to be significant, the archaeological observer shall determine appropriate actions, in cooperation with the project applicant, for exploration and/or salvage. (County Standard Condition A04)	County of Orange Manager, Harbors, Beaches & Parks, HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Written evidence that a County-certified archaeologist has been retained to observe grading and salvage, and to catalogue archaeological resources	If prior to rough grade (GA permit) applicant has obtained archaeological clearance, no additional review or clearance required if precise grading (GB) permit is in compliance with GA permit.	Each PA

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574		EIR 589	SC 4.11-2	Prior to the issuance of any grading permits	Paleontology Resource Surveillance:		Paleontology Resource Surveillance:	Prior to the issuance of any grading permit, the project contractor shall provide written evidence to the Manager, Subdivision and Grading, that contractor has retained a County certified paleontologist to observe grading activities and salvage and catalogue fossils as necessary. The paleontologist shall be present at the pre-grade conference, shall establish procedures for paleontological resources surveillance, and shall establish, in cooperation with the contractor, procedures for temporarily halting or redirecting work to permit sampling, identification, and evaluation of the fossils. If the paleontological resources are found to be significant, the paleontologist shall determine appropriate actions, in cooperation with the contractor, which ensure proper exploration and/or salvage. (County Standard Condition A07)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Written evidence that a County-certified archaeologist has been retained to observe grading and salvage, and to catalogue fossils as necessary		Each PA
589		EIR 589	SC 4.14-2	Prior to issuance of a grading and/or building permit	Hazardous Materials:		Hazardous Materials:	Prior to the issuance of a grading or building permit, the contractor shall submit to the Fire Chief a list of all hazardous, flammable and combustible liquids, solids or gases to be stored, used or handled on site. These materials shall be classified according to the Uniform Fire Code and a document submitted to the Fire Chief with a summary sheet listing the totals for storage and use for each hazard class. (County Standard Condition FPC11A)	County of Orange Director of Planning & Development Services Director, OC Planning (OCFA)	Submittal of Hazardous Materials Assessment and Disclosure Statement		Each PA
616		Fire Prot. Prog.	Cond. 3.d.	Prior to the issuance of a GB precise grading permit	Precise Fuel Mod:		Precise Fuel Mod:	d) Prior to the issuance of a GB precise grading permit, the applicant shall provide the Manager, PDS Subdivision and Infrastructure Manager OC Planned Communities , with a clearance from OCFA indicating their review and approval of a Precise Fuel Modification Plan per RPFPP Section C.3.	Director, PDS, Director, OC Planning	Provide the Manager, PDS Subdivision and Infrastructure Manager OC Planned Communities with a clearance from OCFA demonstrating approval of a Conceptual Fuel Modification Plan		

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b. Prior to Precise Fuel Modification Plans												
138	137 and 139 (EIR 589, MM 4.9-27) 514 (ROSA Exhibit G)	EIR 589	MM 4.9-27 (cont.)	Prior to the approval of Precise Fuel Modification Plans	Biological Resources	California Exotic Pest Plant Council, OCFA Fuel Modification Plant List	Invasive Plants and Fuel Modification	a. Prior to issuance of fuel modification plan approvals, the County of Orange shall verify that: 1) plants identified by the California Exotic Pest Plant Council as an invasive risk in Southern California are not included in plans for fuel management zones adjacent to the RMV Open Space and, 2) the plant palette for fuel management zones adjacent to RMV Open Space is limited to those species listed on the Orange County Fire Authority Fuel Modification Plant List.	Director, PDS-Director, OC Planning (OCFA)	Verification of authorized plant materials	Signature of Landscape Architect on approved Precise Fuel Modification Plan certifying plant palette: (a) complies with current OCFA plant list, and (b) does not include plants listed on the current invasive species list	Each PA
c. Prior to Issuance of Building Permit												
111	110 (MM 4.7-3)	EIR 589	MM 4.7-3 (cont.)	Prior to issuance of building permits	Air Quality	Light-colored roof materials	Use Light-Colored Roof Materials to Reflect Heat (Item Nos. 110-111)	Prior to issuance of building permits, the applicant shall identify how the use of light-colored roof materials and paint to reflect heat to the extent feasible has been incorporated into the design plans.	Director, PDS-Director, OC Planning	Issuance of Building Permit (Evidence of reflection of heat through home design)	Sustainability Issue	Each PA
140	141 (MM 4.9-28) 515 (ROSA Exhibit G)	EIR 589	MM 4.9-28	Prior to the issuance of Building permits on streets for tracts with public street lighting adjacent to RMV Open Space habitat areas	Biological Resources	Open Space habitat, light shields	Streetlight Shielding Adjacent to Open Space	Lighting shall be shielded or directed away from RMV Open Space habitat areas through the use of low-sodium or similar intensity lights, light shields, native shrubs, berms or other shielding methods.	Director, PDS-Director, OC Planning	Preparation of a lighting plan	Preparation of street improvement plans for public streets that detail how street lighting is to be directed away from RMV Open Space areas	Each Applicable PA
206		EIR 589	MM 4.15-5	Prior to issuance of residential building permits (excluding age-qualified units)	Public Services and Facilities	California Government Code Section 65995	CUSD Agreement	Prior to issuance of any residential building permit, excluding senior housing, the applicant shall enter into an agreement with CUSD regarding the development of future facilities and payment of costs. The agreement shall, at a minimum, provide for the payment of fees pursuant to California Government Code Section 65995. If fees are paid, the amount of fees to be paid will be determined based on the established State formula for determining construction costs. Applicable fees shall be paid prior to the issuance of each building permit.	Capistrano Unified School District (CUSD)	Negotiate and execute Mitigation Agreement regarding future school facilities and payment of costs		PC-Wide
526		EIR 589	SC 4.4-5	Prior to the issuance of building permits	Geology and Soils (cont.):		Geology and Soils (cont.):	The proposed development shall be designed in compliance with the Uniform Building Code (UBC), accepted industry standards, and the County's earthquake safety Municipal Code requirements.	County of Orange Director of Planning & Development Services, Director, OC Planning	Verification of design development compliance with the UBC and Municipal Code requirements		Each PA

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537		EIR 589	SC 4.5-8	Prior to the recordation of a Subdivision Map or the issuance of any Grading or Building Permit, whichever comes first	Water Quality Management Plan:		Water Quality Management Plan:	Prior to the recordation of any final subdivision map (except those maps for financing or conveyance purposes only) or the issuance of any grading or building permit (whichever comes first), the applicant shall submit for review and approval by the Manager, Inspection Services Division, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. This WQMP shall identify, at a minimum, the routine structural and non-structural measures specified in the current Drainage Area Management Plan (DAMP). The WQMP may include one or more of the following: (County Standard Condition WQ01)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory Water Quality Management Plan		Each PA
537.1		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	<ul style="list-style-type: none"> • Discuss regional water quality and/or watershed programs (if available for the project); • Address Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas; • Include the applicable Routine Source Control BMPs as defined in the DAMP. (County Standard Condition WQ01)	See above	See above		Each PA
538		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Demonstrate how surface runoff and subsurface drainage shall be managed and directed to the nearest acceptable drainage facility (as applicable), via sump pumps if necessary. (Standard Condition of Approval, WQ03)	See above	See above		Each PA
540		EIR 589	SC 4.5-10	Prior to the issuance of any Grading or Building Permits	Stormwater Pollution Prevention Plan.		Stormwater Pollution Prevention Plan.	Prior to the issuance of any grading or building permits, the applicant shall demonstrate compliance under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing in a manner meeting the satisfaction of the Manager, Building Permit Services. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ04)	County of Orange Manager of Building Inspection—Manager, OC Inspection Division (Regional Water Quality Control Board)	Provision of Notice of Intent and verification of a copy of the Storm Water Pollution Prevention Plan (SWPPP); at the project site		Each PA

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541		EIR 589	SC 4.5-11	Prior to the issuance of any Grading or Building Permits	Erosion and Sediment Control Plan.		Erosion and Sediment Control Plan.	Prior to the issuance of any grading or building permit, the applicant shall submit a Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Building Permit Services, to demonstrate compliance with local and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. A copy of the current ESCP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ05)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Submittal of satisfactory Erosion and Sediment Control Plan (ESCP); verification of copy of ESCP at project site		Each PA
547		EIR 589	SC 4.6-5	Prior to the issuance of Building Permits	Major Thoroughfare and Bridge Fee Programs:		Major Thoroughfare and Bridge Fee Programs:	Prior to the issuance of building permits, the applicant shall pay fees for the Major Thoroughfare and Bridge Fee Program for the Foothill/Eastern Transportation Corridor, in a manner meeting the approval of the Manager, Subdivision and Grading. (County Standard Condition T05)	County of Orange Director of Planning & Development Services, Director, OC Planning	Verification of payment of fees for the Major Thoroughfare and Bridge Fee Program		Each PA
550		EIR 589	SC 4.6-8	Prior to the recordation of a Subdivision Map or prior to the issuance of Building Permits, whichever occurs first	Internal Circulation:		Internal Circulation:	A. Prior to the recordation of a subdivision map or the issuance of any building permits, whichever occurs first, the subdivider shall provide plans and specifications meeting the approval of the Manager, Subdivision and Grading, for the design of the following improvements: (County Standard Condition T12)	County of Orange Director of Planning & Development Services,	Submittal of satisfactory street improvement plans		Each PA
550.1		EIR 589	SC 4.6-8 (cont.)	See above	Internal Circulation (cont.):		Internal Circulation (cont.):	1) Internal street common private drive system. (County Standard Condition T12)	See above	See above		Each PA
550.2		EIR 589	SC 4.6-8 (cont.)	See above	Internal Circulation (cont.):		Internal Circulation (cont.):	2) Entrance to the site to emphasize that the development is private by use of signs and other features. (Standard Condition of Approval T12)	See above	See above		Each PA

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550.4		EIR 589	SC 4.6-8 (cont.)	Prior to the issuance of Building Permits	Internal Circulation (cont.):		Internal Circulation (cont.):	C. Prior to the issuance of any building permits, the subdivider shall provide plans meeting the approval of the Manager, Subdivision & Grading, for the design of the internal pedestrian circulation system within the development. (County Standard Condition T12)	County of Orange Director of Planning & Development Services, Director, OC Planning	Submittal of satisfactory internal pedestrians circulation plans		Each PA
559.2		EIR 589	SC 4.8-3 (cont.)	Prior to the issuance of any building permits for residential construction	Sound Attenuation (cont.):		Sound Attenuation (cont.):	b. Prior to the issuance of any building permits for residential construction, the applicant shall submit an acoustical analysis report describing the acoustical design features of the structures required to satisfy the exterior and interior noise standards to the Manager, Building Permits Services, for approval along with satisfactory evidence which indicates that the sound attenuation measures specified in the approved acoustical report have been incorporated into the design of the project. (County Standard Condition N01)	County of Orange Director of Planning & Development Services and County of Orange Manager of Building Permits Services, Director, OC Planning and Manager, Permit Services (Building Plan Check)	Submittal of satisfactory acoustical analysis		Each PA
559.3		EIR 589	SC 4.8-3 (cont.)	See above	Sound Attenuation (cont.):		Sound Attenuation (cont.):	c. Prior to the issuance of any building permits, the applicant shall show all freestanding acoustical barriers on the project's plot plan illustrating height, location and construction in a manner meeting the approval of the Manager, Building Permits Services. (County Standard Condition N01)	See above	See above		Each PA
561		EIR 589	SC 4.8-5	Prior to the issuance of building permits	Non-Residential Development:		Non-Residential Development:	Except when the interior noise level exceeds the exterior noise level, the applicant shall sound attenuate all nonresidential structures against the combined impact of all present and projected noise from exterior noise sources to meet the interior noise criteria as specified in the Noise Element and Land Use/Noise Compatibility Manual. (County Standard Condition N02)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Submittal of satisfactory acoustical analysis		Each PA
561.1		EIR 589	SC 4.8-5 (cont.)	See above	Non-Residential Development:		Non-Residential Development:	Prior to the issuance of any building permits, the applicant shall submit to the Manager, Building Permit Services, an acoustical analysis report prepared under the supervision of a County-certified acoustical consultant which describes in detail the exterior noise environment and the acoustical design features required to achieve the interior noise standard and which indicates that the sound attenuation measures specified have been incorporated into the design of the project. (County Standard Condition N02)	See above	See above		Each PA

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562		EIR 589	SC 4.8-6	Prior to the issuance of building or grading permits	Noise-Generating Equipment (Non-Residential Projects):		Noise-Generating Equipment (Non-Residential Projects):	Prior to the issuance of any building or grading permits, the applicant shall obtain the approval of the Manager, Building Permits Services of an acoustical analysis report and appropriate plans which demonstrate that the noise levels generated by this project during its operation shall be controlled in compliance with Orange County Codified Ordinance, Division 6 (Noise Control). The report shall be prepared under the supervision of a County-certified Acoustical Consultant and shall describe the noise generation potential of the project during its operation and the noise mitigation measures, if needed, which shall be included in the plans and specifications of the project to assure compliance with Orange County Codified Ordinance, Division 6 (Noise Control). (County Standard Condition N08)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Approved acoustical analysis		Each PA
564		EIR 589	SC 4.10-1	Prior to the issuance of building permits	Public Area Landscaping:		Public Area Landscaping:	The applicant shall install landscaping, equip for irrigation, and improvements on lots in accordance with an approved plan as stated below: (County Standard Condition LA01b)	County of Orange Director of Planning & Development Services in consultation with Manager, HBP, Director, OC Planning	Approved landscaping plan and irrigation plan		Each PA
564.1		EIR 589	SC 4.10-1 (cont.)	See above	Public Area Landscaping:		Public Area Landscaping:	a. Detailed Plan—Prior to the issuance of any building permit(s), the applicant shall submit a detailed landscape plan showing the detailed irrigation and landscaping design to the Manager, Subdivision and Grading for approval, in consultation with the Manager HBP/Program Management. Detailed plans shall show the detailed irrigation and landscaping design and shall take into account the previously approved landscape plan for the Ranch Plan project, the County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, Water Conservation Measures contained in Board Resolution 90-487 (Water Conservation Measures), and Board Resolution 90-1341 (Water Conservation Implementation Plan). (County Standard Condition LA01b)	See above	See above		Each PA
570		EIR 589	SC 4.10-3	Prior to the issuance of building permits	Light and Glare:		Light and Glare:	Prior to issuance of any building permit, the applicant shall demonstrate that all exterior lighting has been designed and located so that all direct rays are confined to the property in a manner meeting the approval of the Manager, Building Permit. (County Standard Condition LG01)	County of Orange Manager of Building Permits, Manager, Permit Services (Building Plan Check)	Approved lighting study/plan	Low voltage lighting: landscape architect is the designer can sign off on the lighting. High voltage lighting: electrical engineer stamp required.	Each PA

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589		EIR 589	SC 4.14-2	Prior to issuance of a grading and/or building permit	Hazardous Materials:		Hazardous Materials:	Prior to the issuance of a grading or building permit, the contractor shall submit to the Fire Chief a list of all hazardous, flammable and combustible liquids, solids or gases to be stored, used or handled on site. These materials shall be classified according to the Uniform Fire Code and a document submitted to the Fire Chief with a summary sheet listing the totals for storage and use for each hazard class. (County Standard Condition EPC11A)	County of Orange Director of Planning & Development Services Director, OC Planning (OCFA)	Submittal of Hazardous Materials Assessment and Disclosure Statement		Each PA
617		Fire Prot. Prog.	Cond. 3.e.	Prior to the issuance of a building permit for construction phases of Vesting Tentative Tract Maps adjoining fuel modification areas, and prior to the County of Orange allowing fuel tanks, generators and/or Lumber Drops	Vegetation Clearance:		Vegetation Clearance:	e) Prior to the issuance of a building permit for construction phases of Vesting Tentative Tract Maps adjoining fuel modification areas, and prior to the County of Orange allowing fuel tanks, generators and/or Lumber Drops (see Section E, Definitions) within the project site, the applicant shall provide the Manager, Building & Safety, with a clearance from OCFA indicating that vegetation has been cleared and maintained at a height of 8 inches or less, or that the appropriate fuel modification thinning and removal of plants from the OCFA Undesirable Plant List has been implemented.	Director, PDS, Director, OC Planning	Provide the Manager, Building & Safety, with a clearance from OCFA indicating that vegetation has been cleared and maintained		
COA#3		PA2.3 Builer "B" Map COAs	Cond. #3	Prior to the issuance of a building permit			BEST MANAGEMEN T PRACTICES	Prior to issuance of a building permit, the off-site regional Best Management Practices (BMPs) relied upon by this project (e.g., basins, swales, etc.) must be built and/or installed, and operational. The location and operation of these regional BMPs must be in compliance with the Final Project-Specific WQMP for the regional BMP(s). The location and operation of the regional BMP(s) must be demonstrated to the satisfaction of the Manager, Grading and Building Plan Check.	Director, PDS, Manager, Permit Services (Building Plan Check)			
COA#6		PA2.3 Builer "B" Map COAs	Cond. #6	Prior to the issuance of a building permit			BUYER NOTIFICATION MAP	Prior to the issuance of any building permits for residential construction, the developer RMV Community Development, LLC, shall prepare a map denoting the existing and proposed land uses, arterial highways, and public facilities within the surrounding area for the approval of the Manager, OC Planning. The map content, display, and distribution shall be in accordance with the Buyer Notification Program guidelines listed in Board of Supervisors Resolution 82-1368 and as amended.	Director, PDS, Director, OC Planning			

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d. Prior to Combustible Construction												
609			Cond. 2.d.	Prior to initiation of combustible construction	A Map Fire Master Plan (cont.):		A Map Fire Master Plan (cont.):	d) Prior to initiation of combustible construction the following fire master plan improvements shall be verified by site inspection: • Emergency access • Water Supply	Director, PDS, Director, OC Planning	Site inspection		
e. During Construction												
197	196 (EIR 589, MM 4.14-13)	EIR 589	MM 4.14-13 (cont.)	During construction	Hazards and Hazardous Materials	Remedial measures	ESA Remedial Measures	If soil is encountered during site development that is suspected of being impacted by hazardous materials, work will be halted and site conditions will be evaluated by a qualified environmental professional. If requested by the qualified environmental professional, the results of the evaluation will be submitted to OCHCA and/or RWQCB, and the appropriate remedial measures will be implemented, as directed by OCHCA, RWQCB, or other applicable oversight agency, until all specified requirements of the oversight agencies are satisfied and a no-further-action status is attained.	Director, PDS- Director, OC Planning (Orange County Health Care Agency)	Stop work upon encountering condition; prepare evaluation and submit to OCHCA and/or RWQCB (as directed)		Each PA
f. Prior to Issuance of Certificates of Occupancy												
529		EIR 589	SC 4.5-2 (cont.)	Prior to recordation of a Subdivision Map or Issuance of a Certificate of Use and Occupancy, whichever comes first	Drainage Improvements (cont.):		Drainage Improvements (cont.):	B. Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any certificates of use and occupancy, whichever occurs first, said improvements shall be constructed in a manner meeting the approval of the Manager, Construction. (County Standard Condition D02a)	County of Orange Manager of Inspection, Manager, OC Inspection Division	Verification of construction of drainage improvement		Each PA
531		EIR 589	SC 4.5-3 (cont.)	Prior to the issuance of Certificates of Use and Occupancy	Drainage Improvements (cont.):		Drainage Improvements (cont.):	B. Prior to the issuance of any certificates of use and occupancy, said improvements shall be constructed in a manner meeting the approval of the Manager, Construction. (County Standard Condition D02b)	County of Orange Manager of Inspection, Manager, OC Inspection Division	Verification of installation of drainage improvement		Each PA

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539		EIR 589	SC 4.5-9	Prior to the issuance of a Certificate of Use and Occupancy	Compliance with the WQMP:		Compliance with the WQMP:	Prior to the issuance of a certificate of use and occupancy, the applicant shall demonstrate compliance with the WQMP in a manner meeting the satisfaction of the Manager, Inspection Services Division, including: <ul style="list-style-type: none"> • Demonstrate that all structural Best Management Practices (BMPs) described in the project's WQMP have been implemented, constructed and installed in conformance with approved plans and specifications; • Demonstrate that the applicant has complied with all non-structural BMPs described in the project's WQMP; • Submit for review and approval an Operations and Maintenance (O&M) Plan for all structural BMPs for attachment to the WQMP. 	County of Orange Manager of Building Inspection, Manager, OC Inspection Division	Verification of compliance with Water Quality Management Plan		Each PA
539.1		EIR 589	SC 4.5-9 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	<ul style="list-style-type: none"> • Demonstrate that copies of the project's approved WQMP (with attached O&M Plan) are available for each of the incoming occupants; • Agree to pay for a Special Investigation from the County of Orange for a date (12) twelve months after the issuance of a Certificate of Use and Occupancy for the project to verify compliance with the approved WQMP and O&M Plan; and (County Standard Condition WQ03) 	See above	See above		Each PA
539.2		EIR 589	SC 4.5-9 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	<ul style="list-style-type: none"> • Demonstrate that the applicant has agreed to and recorded one of the following: 1) the CC&R's (that must include the approved WQMP and O&M Plan) for the project Home Owner's Association; 2) a water quality implementation agreement that has the approved WQMP and O&M Plan attached; or 3) the final approved Water Quality Management Plan (WQMP) and Operations and Maintenance (O&M) Plan. (County Standard Condition WQ03) 	See above	See above		Each PA

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560		EIR 589	SC 4.8-4	Prior to the issuance of certificates of use and occupancy	Multi-Family Residential Development:		Multi-Family Residential Development:	Prior to the issuance of any certificates of use and occupancy, the applicant shall perform field testing in accordance with Title 24 Regulations to verify compliance with FSTC and FIIC standards if determined necessary by the Manager, Building Inspection Services. In the event such a test was previously performed, the applicant shall provide satisfactory evidence and a copy of the report to the Manager, Building Inspection Services, as a supplement to the previously required acoustical analysis report. (County Standard Condition N09)	County of Orange Manager of Building Inspection Services, Manager, OC Inspection Division	Verification of field testing in accordance with Title 24 Regulations to verify compliance with FSTC and FIIC standards or a copy of a previous test		Each PA
563		EIR 589	SC 4.8-7	Prior to the issuance of certificates of use and occupancy	Transportation Corridor Notification:		Transportation Corridor Notification:	Prior to the issuance of certificates of use and occupancy, the developer shall produce evidence to the Manager, Building Inspection Services, that the Department of Real Estate has been notified that the project area is adjacent to a regional transportation corridor. The corridor is expected to be a high capacity, high-speed, limited-access facility for motor vehicles, and will have provisions for bus lanes and other mass transit type facilities. (County Standard Condition N12)	County of Orange Manager of Building Inspection Services, Manager, OC Inspection Division	Submission of evidence that County of Orange Dept. of Real Estate has been notified the project area is adjacent to a regional transportation corridor		Each PA
565		EIR 589	SC 4.10-1 (cont.)	Prior to the issuance of final certificates of use and occupancy and the release of financial security	Public Area Landscaping (cont.):		Public Area Landscaping (cont.):	b. Installation Certification: Prior to the issuance of final certificates of use and occupancy and the release of financial security, if any, guaranteeing the landscape improvements, said improvements shall be installed and shall be certified by a licensed landscape architect or licensed landscape contractor, as having been installed in accordance with the approved detailed plans. (County Standard Condition LA01b)	County of Orange Director of Planning & Development Services & Manager HBP, Director, OC Planning	Landscaping and irrigation plan certification from landscape architect		Each PA
566		EIR 589	SC 4.10-1 (cont.)	Prior to the issuance of final certificates of use and occupancy and the release of financial security	Public Area Landscaping (cont.):		Public Area Landscaping (cont.):	b. Installation Certification (cont): The applicant shall furnish said certification, including an irrigation management report for each landscape irrigation system, and any other required implementation report determined applicable, to the Manager, Construction, and the Manager, Building Inspection Services, prior to the issuance of any certificates of use and occupancy. (County Standard Condition LA01b)	County of Orange Manager, Construction and Manager, Building Inspection Services, Manager, OC Inspection Division	Approved irrigation management report		Each PA

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568		EIR 589	SC 4.10-2 (cont.)	Prior to the issuance of certificates of use and occupancy	Private Area Landscaping (cont.):		Private Area Landscaping (cont.):	b. Prior to the issuance of certificates of use and occupancy, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan. (County Standard Condition LA02b)	County of Orange Director of Planning & Development Services, Director, OC Planning	Certification from landscape architect that landscaping and irrigation system in accordance with the approved plan		Each PA
569		EIR 589	SC 4.10-2 (cont.)	Prior to the issuance of certificates of use and occupancy	Private Area Landscaping (cont.):		Private Area Landscaping (cont.):	c. Prior to the issuance of any certificates of use and occupancy, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Building Inspection Services. (County Standard Condition LA02b)	County of Orange Manager, Building Inspection Services, Manager, OC Inspection Division	Approved irrigation management report for each landscape irrigation system		Each PA
618		Fire Prot. Prog.	Cond. 3.f.	Prior to the issuance of any certificate of use and occupancy adjoining fuel modification areas	Occupancy Requirements:		Occupancy Requirements:	f) Prior to the issuance of any certificate of use and occupancy, the applicant shall provide the Manager, Building & Safety, with a clearance from OCFA indicating that: 1. Approved "A" Zone planting has been installed and approved irrigation has been activated. 2. Approved fuel modification zone markers have been installed. 3. Accessways every 500 feet (or as approved) have been installed. 4. Approved thinning of the "B" and "C" Zones and removal of plants from the OCFA Undesirable Plant List have been completed. 5. CC&Rs or other approved documents contain provisions for maintaining the fuel modification zones.	Director, PDS, Director, OC Planning	Provide the Manager, Building & Safety, with a clearance from OCFA indicating installation and thinning		

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g. Prior to Release of Grading Bond												
572		EIR 589	SC 4.11-1 (cont.)	Prior to the release of the grading bond	Archaeology Grading Observation and Salvage (cont.):		Archaeology Grading Observation and Salvage (cont.):	Prior to the release of the grading bond, the applicant shall obtain approval of the archaeologist's follow-up report from the Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities. The report shall include the period of inspection, an analysis of any artifacts found and the present repository of the artifacts. Applicant shall prepare excavated material to the point of identification. Applicant shall offer excavated finds for curatorial purposes to the County of Orange, or its designee, on a first refusal basis. (County Standard Condition A04)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Approval of the archaeologist's follow-up report		Each PA
573		EIR 589	SC 4.11-1 (cont.)	Prior to the release of the grading bond	Archaeology Grading Observation and Salvage (cont.):		Archaeology Grading Observation and Salvage (cont.):	These actions, as well as final mitigation and disposition of the resources shall be subject to the approval of the Manager, HBP/Coastal and Historical Facilities. Applicant shall pay curatorial fees if an applicable fee program has been adopted by the Board of Supervisor, and such fee program is in effect at the time of presentation of the materials to the County of Orange or its designee, all in a manner meeting the approval of the Manager, HBP/Coastal and Historical Facilities. (County Standard Condition A04)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Verification of payment of curatorial fee if an applicable fee program has been adopted by the Board of Supervisor at the time of presentation		Each PA
575		EIR 589	SC 4.11-2 (cont.)	Prior to the release of the grading bond	Paleontology Resource Surveillance (cont.):		Paleontology Resource Surveillance (cont.):	Prior to the release of any grading bond, the contractor shall submit the paleontologist's follow up report for approval by the County Manager, HBP/Coastal and Historical Facilities. The report shall include the period of inspection, a catalogue and analysis of the fossils found, and the present repository of the fossils. The contractor shall prepare excavated material to the point of identification. The contractor shall offer excavated finds for curatorial purposes to the County of Orange, or its designee, on a first-refusal basis. (County Standard Condition A07)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Approval of the paleontologist's follow-up report		Each PA
576		EIR 589	SC 4.11-2 (cont.)	Prior to the release of the grading bond	Paleontology Resource Surveillance (cont.):		Paleontology Resource Surveillance (cont.):	These actions, as well as final mitigation and disposition of the resources, shall be subject to approval by the HBP/Coastal and Historical Facilities. The contractor shall pay curatorial fees if an applicable fee program has been adopted by the Board of Supervisors, and such fee program is in effect at the time of presentation of the materials to the County of Orange or its designee, all in a manner meeting the approval of the County Manager, HBP/Coastal and Historical Facilities. (County Standard Condition A07)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works/OC Planning*	Verification of payment of curatorial fee if an applicable fee program has been adopted by the Board of Supervisor at the time of presentation		Each PA

ATTACHMENT 1



June 28, 2021

Ms. Bea Bea Jiménez
Division Manager, Land Development
OC Public Works / OC Development Services
601 N. Ross Street, 3rd Floor
Santa Ana, CA 92701

Subject: Temporary Facility Site Development Permit to allow continued use of the approved temporary wireless tower in Subarea 2.1

Ms. Carr,

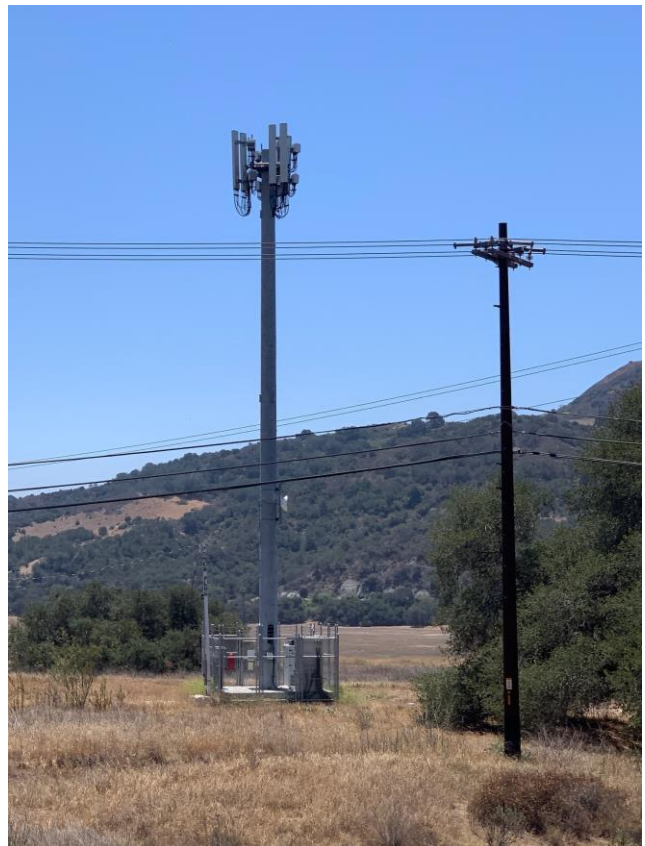
On behalf of Rancho Mission Viejo (RMV Telecom LLC and RMV PA2 Development LLC) and Verizon Wireless, we hereby request a Temporary Facility Site Development Permit to allow continued use of the 79-foot temporary tower in Subarea 2.1 (PA20-0069 and BNR20-0157).

The proposed application is governed by the Wireless Communications Facility on Private Property Ordinance. Per the ordinance, new wireless communications facilities and/or substantial changes to an existing tower or existing structure shall be permitted subject to a Site Development Permit.

In early 2020, when COVID-related stay-at-home orders were first implemented, we truly appreciate the County's support of the wireless needs of families living in our community who were suddenly working and schooling from home and experiencing productivity hampered by overwhelmed wireless coverage in their neighborhoods. Kudos to Cynthia Burgos, Brian Kurnow and Richard Vuong of OC Development Services, and Cameron Welch of OC Land Development, who grasped the urgency and helped us respond by fast-tracking all the necessary emergency permits (MR20-0019 & MR20-0020).

This temporary permit SDP application is accompanied by:

1. Approved BNR20-0157 construction drawings
2. Site photo (also included herein)
3. Letters of Authorization for Tectonic as the agent on behalf of RMV and Verizon



The abovementioned SDP PA20-0069 was approved per a condition of approval which limits the "Period of Validity" to 180-days of temporary operation, with the ability to extend the "Period of Validity" per subsection (d): "Prior to expiration of the 180-day approval time frame, the applicant may apply for one 6-month extension." On December 15, 2020, Interim Deputy Director Vuong approved these 6-month extensions, with the resultant period of validity expiring July 21, 2021 (PA20-0069).

RMV is partnering with Verizon Wireless on the construction of a permanent replacement for this temporary tower. Verizon's goal has been to obtain the SDP approval for a permanent 79-foot wireless tower in Subarea 2.1 south of Cow Camp Road (PA20-0195), along with associated construction (BNR) approvals in order for construction of the permanent wireless facilities to be completed prior to the end of currently approved July temporary expiration period.

In working with OC Land Development, significant progress has been made toward approval of this permanent SDP. But there have been COVID-related delays due to the wireless companies being overwhelmed by similar stay-at-home service needs throughout the country, as well as delays resulting from on-site technical issues. Each of these constraints are in the process of being resolved, but it still has become clear that we need additional time. We are highly optimistic that six months will be sufficient to accomplish SDP and BNR approvals and to allow sufficient time for construction.

If this requested SDP is approved, our understanding is that there would be sufficient time to fully implement this temporary wireless tower, as I'm sure we all agree it would be detrimental to remove this temporary wireless communication facility prior to the replacement permanent facility being up and operational.

We hope this application for a new temporary wireless facility SDP has been adequately explained and justified, but please let me know if you have any questions or concerns with this request or if you, or your staff, need any further information.

Sincerely,




Jay Bullock
Vice President, Planning & Entitlement

Copies: Richard Vuong, Brian Kurnow & Cynthia Burgos, OC Development Services

ATTACHMENT 2



SITE NAME:
COW CAMP
TEMP/COW/COLT
ADDRESS:
30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO, CA 92694
PROJECT: 20191978985
LOCATION CODE: 552086

REVIEWED FOR CODE COMPLIANCE
THESE PLANS AND DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN COMPLIANCE WITH THE APPLICABLE JURISDICTION CODE REQUIREMENTS. ISSUANCE OF A PERMIT IS RECOMMENDED SUBJECT TO APPROVAL BY OTHER DEPARTMENTS AND ANY NOTES OR CONDITIONS. THIS APPROVAL DOES NOT RELIEVE THE ENGINEER OF RECORD OF THEIR RESPONSIBILITY TO PREPARE THE PLANS, SPECIFICATIONS, MAPS AND OTHER RECORD DOCUMENTS PER CURRENT CODES AND APPLICABLE STANDARDS OF PRACTICE.
08/26/2021
RON STEIN, P.E.
WILLDAN ENGINEERING

SIGNATURE

PA21-0123



15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618



Tectonic
PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering Consultants
1420 Bristol Street North Phone: (949) 502-8555
Suite 210 (800) 929-6531
Newport Beach, CA 92660 www.tectonicingineering.com

WORK ORDER NUMBER
9691.037A
DRAWN BY
GJC

NO.	DATE	ISSUE
3	02/20/20	PER REDESIGN
4	03/09/20	PER REDESIGN
5	03/30/20	PER REDESIGN
6	04/08/20	PER UC COMMENTS
7	04/10/20	FOR CONSTRUCTION
8	04/22/20	PER REDESIGN
9	05/13/20	PER JDX COMMENTS
10	05/21/20	PER JDX COMMENTS
11	06/01/20	PER JDX COMMENTS
12	06/23/20	PER JDX COMMENTS
13	08/11/21	PER JDX COMMENTS

RELEASED BY
DATE



COPIES OF THIS DOCUMENT WITHOUT A FACSIMILE OF THE SIGNATURE AND AN ORIGINAL EMBOSSED SEAL OR ORIGINAL STAMP IN BLUE OR RED INK OF THE PROFESSIONAL ENGINEER OR LAND SURVEYOR SHALL NOT BE CONSIDERED VALID COPIES.



SITE INFORMATION
COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS
30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



DIRECTIONS

FROM THE VERIZON WIRELESS IRVINE OFFICE: 3
TURN RIGHT ONTO VALLEY OAK DR AND FOLLOW FOR ±0.2 MILES. TURN RIGHT ONTO IRVINE CENTER DR AND FOLLOW ±0.2 MILES. TURN LEFT ONTO SAND CANYON AVE AND FOLLOW FOR ±0.7 MILES. TURN RIGHT ONTO I-5 S AND FOLLOW FOR ±13.9 MILES. TAKE EXIT 82 FOR CA-74/ORTEGA HWY. TURN LEFT ONTO CA74/ORTEGA AND FOLLOW 2.6 MILES. TURN LEFT ONTO ANTONIO PKWY AND FOLLOW FOR ±0.5 MILES. TURN RIGHT ONTO COW CAMP RD AND FOLLOW FOR ±0.5 MILES. TURN RIGHT ONTO CHIQUITA CANYON DR AND FOLLOW FOR ±0.3 MILES.

PROJECT NUMBER:	20191978985	Legal Description
LOCATION CODE:	552086	Lot G of Tract 17561
SITE NAME:	COW CAMP	
SITE ADDRESS:	30398 TP COW CAMP ROAD RANCHO MISSION VIEJO, CA 92694	
JURISDICTION:	ORANGE COUNTY	
COUNTY:	ORANGE	
APN:	755-311-17	
COORDINATES (NAVD83):	N 33° 31' 37.13" W 117° 36' 06.12"	
ELEVATION (NAVD88):	297.5'± AMSL	
ZONING DATA		
ZONING DESIGNATION:	PC-RANCH PLAN	
EXISTING SITE USE:	TELECOMMUNICATION FACILITY	
AREA:	THE PROJECT SITE HAS BEEN DESIGNATED AS A COMMUNITY (WIRELESS) FACILITY BY THE SUBAREA PLAN 2.1 (APPROVED BY THE OC PLANNING COMMISSION (NOVEMBER 2019), AS DEPICTED ON LAND USE PLAN EXHIBIT 4 OF SUBAREA PLAN 2.1 LISTED IN SECTION 3.1 OF THE TEXT, PAGE 5.	
CONSTRUCTION DATA		
OCCUPANCY GROUP:	U	
TYPE OF CONSTRUCTION:	TYPE V-B	
APPROVED BUILDING PERMIT:	BNR20-0157	
APPLICATION NO.	PA21-0123	
PLANNING AREA:	PLANNING AREA 2 & PLANNING SUBAREA 2.1	

PROPERTY OWNER	ENGINEER
RANCHO MISSION VIEJO, LLC/RMV PA2 DEVELOPMENT, LLC CONTACT: TARA ANN FOREMAN 28811 ORTEGA HIGHWAY, SAN JUAN CAPISTRANO, CA 92675 OFFICE: 949-240-3363 MOBILE: 949-422-4562	TECTONIC ENGINEERING CONSULTANTS 1420 BRISTOL ST. NORTH STE. 210 NEWPORT BEACH, CA 92660 PHONE: (949) 502-8555
APPLICANT	SITE ACQUISITION
VERIZON WIRELESS 15505 SAND CANYON AVENUE BUILDING "D" 1ST FLOOR IRVINE, CA 92618 CONTACT: PROPERTY MANAGEMENT (925) 279-6545	TECTONIC ENGINEERING CONSULTANTS 1420 BRISTOL ST. NORTH STE. 210 NEWPORT BEACH, CA 92660 PHONE: (949) 502-8555

SHT. NO.	DESCRIPTION
T-1	TITLE SHEET
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
REF-1	REFERENCE SHEET
REF-2	REFERENCE SHEET
REF-3	REFERENCE SHEET
C-1	OVERALL SITE PLAN
C-2	ENLARGED SITE PLAN & CABINET MOUNTING DETAILS
C-3	ELEVATIONS
C-4	EQUIPMENT MOUNTING DETAILS
C-5	EQUIPMENT SCHEDULES, ANTENNA ORIENTATION PLAN & DETAILS
C-6	CABINET DETAILS (NOT USED)
C-7	CABINET DETAILS
C-8	SECTOR MOUNT DETAILS
C-9	EQUIPMENT PLATFORM DETAILS
C-10A	GENERATOR DETAILS
C-10B	GENERATOR DETAILS
FD-1	FIRE DEPARTMENT NOTES
E-1	PANEL SCHEDULE, SINGLE LINE DIAGRAM & CABLE ROUTING PLAN
E-2	GROUNDING PLANS
E-3	GROUNDING DETAILS
THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL ITEMS OF CONCERN HAVE BEEN ADDRESSED AND EACH OF THE DRAWINGS HAS BEEN REVISED AND ISSUED "FOR CONSTRUCTION".	

PROJECT DESCRIPTION
INSTALLATION OF A NEW VERIZON WIRELESS UNMANNED TEMPORARY TELECOMMUNICATIONS FACILITY TO CONSIST OF THE FOLLOWING:
1. INSTALL (1) ABOVE GROUND BALLAST PLATFORM
2. INSTALL SITE-LITE CHAIN LINK FENCE
3. INSTALL (1) 75' TALL TEMP. MONOPOLE
4. INSTALL (1) CLIMATE CONTROLLED EQUIPMENT CABINETS AT EQUIPMENT AREA
5. INSTALL (1) DC DIESEL GENERATOR WITH 54 GAL. TANK INSIDE LEASE AREA
6. INSTALL (6) PANEL ANTENNAS
7. INSTALL (1) MICROWAVE DISH ANTENNA
8. INSTALL (1) GPS ANTENNA
9. INSTALL (3) DUAL LOW BAND RRUS (B5 & B13)
10. INSTALL (3) DUAL HIGH BAND RRUS (B2 & B4, B66)
11. INSTALL (1) 6600 RAYCAP @ ANTENNA LEVEL
12. INSTALL TEMP. UTILITY POLES FOR OH POWER WIRES
13. INSTALL (2) 6X12 HYBRID CABLES
14. INSTALL (1) EW90 MW CABLE
15. INSTALL (1) MICROWAVE CABINET
16. INSTALL (1) TELCO CABINET

CODE COMPLIANCE
ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LOCAL CODES.
1. 2019 CALIFORNIA ADMINISTRATIVE CODE (INCL. TITLES 24 & 25)
2. 2019 CALIFORNIA BUILDING CODE
3. 2019 CALIFORNIA ELECTRICAL CODE
4. 2019 CALIFORNIA MECHANICAL CODE
5. 2019 CALIFORNIA PLUMBING CODE
6. 2019 CALIFORNIA FIRE CODE
7. 2019 CALIFORNIA EXISTING BUILDING CODE
8. LOCAL BUILDING CODE(S)
9. CITY AND/OR COUNTY ORDINANCES
10. ANSI/TIA-222-H
ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

ADA COMPLIANCE
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. MACHINERY SPACES ARE EXEMPT FROM ACCESSIBILITY REQUIRED PER THE CBC SECTION 11B-203.5.

DO NOT SCALE DRAWINGS
THESE DRAWINGS ARE FORMATTED FOR 22"x34" FULL SIZE AND 11"x17" HALF SIZE. OTHER SIZED VERSIONS ARE NOT PRINTED TO THE SCALE SHOWN. CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

VERIZON WIRELESS RF DESIGN = APR 1, 2020
--

PROPRIETARY INFORMATION NOT FOR USE OR DISCLOSURE OUTSIDE VERIZON WIRELESS EXCEPT UNDER WRITTEN AGREEMENT.
--

GENERAL CONSTRUCTION NOTES

- THE FACILITY IS AN UNOCCUPIED TELECOMMUNICATION FACILITY.
- PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE IMPLEMENTATION ENGINEER AND ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT (UNDERGROUND SERVICE ALERT 811) BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OF CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES OR REGULATION TAKE PRECEDENCE.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICI PAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS O THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE IMPLEMENTATION ENGINEER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBC REGARDING EARTHQUAKE REQUIREMENTS FOR PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS AND MECHANICAL EQUIPMENT. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- THE CONTRACTOR SHALL MAKE NECESSARY PROMIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, VEGETATION, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTIONS TO THE SATISFACTION OF VERIZON WIRELESS TELECOMMUNICATION.
- KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWING, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWING AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ENGINEER.
- PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED/FLASHED AND MADE WATERTIGHT USING LIKE MATERIALS IN ACCORDANCE WITH NRCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN DETAIL CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM THE ENGINEER, IF NECESSARY, BEFORE PROCEEDING.
- BEFORE ORDERING AND/OR BEFORE FABRICATING/ CONSTRUCTING/INSTALLING ANY ITEMS, VERIFY THE TYPE AND QUANTITIES.

ELECTRICAL INSTALLATION NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CEC AND ALL APPLICABLE LOCAL CODES.
- ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE U.L. APPROVED OR LISTED.
- CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.
- WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
- ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
- ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE USE-3 CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT RHW-2 OR XHHW-2, STRANDED COPPER CABLE RATED FOR 90°C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 90°C.
- RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID METALLIC CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID METALLIC CONDUIT (RMC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- PVC SCHEDULE 40 CONDUIT SHALL BE USED UNDERGROUND EXCEPT IN AREAS OF VEHICULAR TRAFFIC. IN SUCH AREAS, PVC SCHEDULE 80 SHOULD BE USED.
- ALL OUTDOOR EXPOSED CONDUIT SHALL BE PVC SCHEDULE 80 AND SHALL BE SUPPORTED ADEQUATELY.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED. LFMC SHALL CONFORM TO NEC ARTICLE 350.
- CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
- CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND HAND HOLEES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NON-METALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- CONTRACTOR SHALL APPLY FOR ELECTRICAL SERVICE AS SOON AS POSSIBLE AND COORDINATE REQUIREMENTS, SERVICE ROUTING, AND METER SOCKET TYPE WITH LOCAL POWER COMPANY.
- CONTRACTOR SHALL APPLY FOR TELEPHONE SERVICE AS SOON AS POSSIBLE AND COORDINATE REQUIREMENTS AND SERVICE ROUTING WITH TELEPHONE COMPANY.
- CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY PERMIT FEES, AND SCHEDULE INSPECTIONS.
- CONTRACTOR SHALL LABEL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH NEC 110.16 AND 110.24.
- CONTRACTOR SHALL VERIFY THAT THE MAIN BONDING JUMPER AND GROUNDING ELECTRODE CONDUCTOR IS INSTALLED PROPERLY AT SERVICE ENTRANCE.
- CONTRACTOR SHALL SEAL AROUND ALL CONDUIT PENETRATIONS THROUGH WALLS, FLOORS AND ROOFS TO PREVENT MOISTURE PENETRATION OR VERMIN INFESTATIONS.
- WHERE ELECTRICAL POWER IS TO BE SUB-FED FROM AN EXISTING DISTRIBUTION SYSTEM, THE FOLLOWING SHALL APPLY:
A. CONTRACTOR SHALL PERFORM LOAD TESTING TO DETERMINE MAXIMUM FEEDER DEMAND PER N.E.C. ARTICLE 220.
B. CONTRACTOR SHALL VERIFY WHETHER EXISTING FEEDER CAPACITY EXCEEDS VALUE CALCULATED PER N.E.C. ARTICLE 220.
C. EACH BRANCH CIRCUIT PROTECTIVE DEVICE SHALL HAVE SAME INTERRUPTING RATING AS EQUIPMENT SUPPLYING IT.
D. PREFERRED MEANS OF SUPPLY SHALL BE A BRANCH CIRCUIT PROTECTIVE DEVICE LOCATED IN EXISTING PANEL.
- DURING TRENCH BACK-FILLING FOR EACH UNDERGROUND ELECTRICAL, TELEPHONE, SIGNAL AND COMMUNICATIONS LINE, PROVIDE A CONTINUOUS UNDERGROUND WARNING TAPE TWELVE INCHES BELOW FINISHED GRADE.

GENERAL NOTES

- THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
- THIS FACILITY IS AN UNOCCUPIED TELECOMMUNICATIONS FACILITY (NOT ACCESSIBLE TO THE PUBLIC) AND IS EXEMPT FROM ADA ACCESSIBILITY REQUIREMENTS PER CALIFORNIA BUILDING CODE 1103B.1 EXCEPTION 1.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT, WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN, PRIOR TO PROCEEDING WITH SUBMISSIONS OF BIDS & CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR DISCREPANCIES BE FOUND, THE CONTRACTORS SHALL IMMEDIATELY NOTIFY THE PROJECT MANAGER, AND THE ENGINEER IN WRITING. IN THE EVENT OF EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE, IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ENGINEER ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
- EXISTING ELEVATIONS AND LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER, AND THE ENGINEER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND THE ENGINEER IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT WATERPROOFED, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY MINOR MODIFICATIONS THAT MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
- DRAWINGS SHALL NOT BE SCALED. FIGURED DIMENSIONS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE PROJECT MANGER, AND THE ENGINEER SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTION NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK UNDER THE CONTRACT, INCLUDING CONTACT AND COORDINATION WITH THE IMPLEMENTATION ENGINEER AND THE LANDLORD'S AUTHORIZED REPRESENTATIVES.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:

NRCA-NATIONAL ROOFING CONTRACTORS ASSOCIATION
O'HARE INTERNATIONAL CENTER
10255 W. HIGGENS ROAD, SUITE 600
ROSEMONT, IL 60018

SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHATTILY, VA 22021-1209

IILP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
820 TRANSFER ROAD
ST. PAUL, MN 55114-1406

AMA ADHESIVE MANUFACTURERS ASSOCIATION
401 NORTH MICHIGAN AVENUE, SUITE 2400
CHICAGO, IL 60611
- THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTORS SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCE, RULES, REGULATION AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATION. CONTRACTORS SHALL COMPLY WITH SAFETY DEPARTMENT INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
- CONTRACTORS SHALL PROTECT THE OWNER'S PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS, STAIRS, OR EQUIPMENT ETC., SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER, OR HIS REPRESENTATIVE, AND THE CARRIERS' REPRESENTATIVES, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR , AND SHALL REPLACE OR REMEDY, ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP, OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER CONTRACT.
- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FORM DAMAGE. THE CONTRACTORS SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY THE CARRIER.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCE/GATE, WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER AND THE CITY OR GOVERNING AGENCY.
- THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILY BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEANUP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BROOM CLEAN CONDITION AT THE END OF EACH DAY. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
- ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
- ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER CEC ARTICLES 250 AND 810.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A, 10-BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OFT THE PROJECT CONSTRUCTION AREA.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF AND WHERE APPLICABLE TO THIS FACILITY AND PROJECT SITE.
- ALL NEW OPENING IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS AT WALL AND ROOF PENETRATIONS SHALL BE CAULKED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURE.
- THE CONTRACTOR SHALL PROVIDE PLASTIC LABEL, APPROXIMATE 12"x12" ON ENTRY DOOR TO THE PROJECT AREA, WITH APPROPRIATE WORDINGS PER CARRIERS' SPEC. LETTERING SHALL BE MINIMUM 2" HIGH, BOLD BLACK ON WHITE BACKGROUND.
- CONTRACTOR SHALL PROVIDE CLOSE-OUT PACKAGE TO THE CARRIER, WHICH WILL INCLUDE:

A. BUILDING PERMITS/ELECRICAL PERMITS

B. FINAL INSPECTION CARD

C. STAMPED BUILDING PERMIT PLANS

D. GROUNDING TEST

E. SWEEP TEST

F. CONCRETE TEST

G. SPECIAL INSPECTION REPORTS

H. WARRANTIES, MANUAL, EQUIPMENT SPECIFICATIONS

I. SUBCONTRACTOR CONTACT LIST

J. RED LINED ASBUILTS

K. CONSTRUCTION PROCESS PHOTOS

L. SITE COMPLETION PHOTOS

M. A WRITTEN REPORT ON ANTENNA SERIAL NUMBER FOR EACH SECTOR

N. MANUFACTURER'S PERFORMANCE REPORT FOR EACH ANTENNA

GROUNDING NOTES

- AFTER COMPLETION OF CONSTRUCTION OF THE CELL SITE GROUND SYSTEM, A QUALIFIED INDEPENDENT ELECTRICAL TESTING FIRM WITH A QUALIFIED TECHNICIAN USING APPROVED TEST EQUIPMENT, SHALL TEST THE SITE TO ASCERTAIN THE RESISTANCE TO EARTH AS SPECIFIED IN VERIZON WIRELESS NETWORK STANDARDS AND NATIONAL ELECTRIC CODE.
- SOIL RESISTIVITY TESTING METHOD TO BE FOUR-POINT RESISTIVITY TEST WITH A DESIRED RESULT LIMIT OF FIVE (5) OHMS OR LESS.
- NOTE: GROUNDING TEST TO BE TAKEN BEFORE A/C POWER NEUTRAL / GROUND BOND IS CONNECTED.
- A GROUNDING RESISTANCE TEST REPORT SHALL BE PREPARED UPON COMPLETION OF THE TESTING. THE TEST REPORT SHALL SHOW THE RESISTANCE IN OHMS AT 62% SPACING AND WITH AUXILIARY POTENTIAL ELECTRODES READINGS AT 10% INTERVALS WITH A TOTAL DISTANCE OF AT LEAST 250 FT. OR UNTIL THE AVERAGE RESISTANCE STARTS INCREASING. TESTING SHOULD BE COMPLETED IN A MINIMUM OF TWO (2) DIFFERENT DIRECTIONS AT 90 DEGREES APART.
- TEST REPORT SHALL CONTAIN 10 TO 15 PHOTOGRAPHS TAKEN DURING CONSTRUCTION TO PROVIDE PROOF THAT THE ENTIRE EXTERNAL GROUND RING SYSTEM WAS COMPLETE BEFORE BACKFILLING. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION SUPERVISOR NO LESS THAN 48 HOURS IN ADVANCE OF BACKFILL.
- REPORT: CONTRACTOR SHALL PREPARE THREE (3) TEST REPORTS, CERTIFIED BY THE TESTING ORGANIZATION. INCLUDE OBSERVATIONS OF WEATHER, SOIL CONDITIONS, AND OTHER PHENOMENA THAT MAY AFFECT TEST RESULTS. DESCRIBE MEASURES TO IMPROVE TEST RESULTS. REPORTS SHALL BE SUBMITTED TO CLIENT WITHIN ONE WEEK OF TEST COMPLETION FOR SITE.

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123



15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618



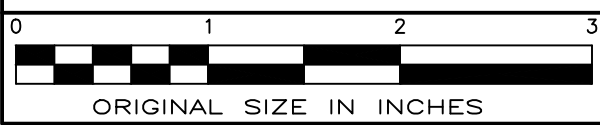
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Newport Beach, CA 92660 www.tectonicengineering.com

WORK ORDER NUMBER	DRAWN BY
9691.037A	GJC

NO.	DATE	ISSUE
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6	04/08/20	PER UC COMMENTS
7	04/10/20	FOR CONSTRUCTION
8	04/22/20	PER REDESIGN
9	05/13/20	PER JDX COMMENTS
10	05/21/20	PER JDX COMMENTS
11	06/01/20	PER JDX COMMENTS
12	06/23/20	PER JDX COMMENTS
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SITE INFORMATION

COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS

30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-1

EARTHWORK NOTES

1. ALL EXCAVATIONS SHALL BE DEWATERED BY PUMPING, PUMPING, ETC. IN A MANNER WHICH WILL NOT LOOSEN FOUNDATION SUBGRADE MATERIAL. SURFACE WATER SHALL BE DIVERTED AWAY FROM EXCAVATIONS BY MEANS OF BERMS, DIVERSION DITCHES, OR OTHER SUITABLE METHODS.
2. CONFINED EXCAVATIONS FOR FOUNDATIONS, UTILITIES, ETC. SHALL BE LIMITED TO 4 FT. IN DEPTH UNLESS SHORING AND BRACING ARE USED. TRENCH EXCAVATION GEOMETRY AND/OR BRACING SHALL CONFORM WITH LATEST OSHA REQUIREMENTS.
3. REMOVE UNSUITABLE MATERIALS AND PROOFROLL OR OTHERWISE COMPACT SUBGRADE PRIOR TO PLACEMENT OF FILL OR CONSTRUCTION OF FOUNDATIONS.
4. ENGINEERED (STRUCTURAL) FILL SHALL BE WELL-GRADED, DURABLE, GRANULAR SOIL, FREE OF ORGANICS AND CONFORMING TO THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT FINER BY WEIGHT
4"	100
1/4"	30-75
No 40	5-40
No 200	0-10

5. ONSITE SOILS MAY BE USED AS ENGINEERED (STRUCTURAL) FILL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND AS APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. FILL AND BACKFILL SHALL BE PLACED IN MAXIMUM LOOSE LIFT THICKNESS OF 8 INCHES IN OPEN AREAS, AND IN MAXIMUM LOOSE LIFT THICKNESS OF 4 INCHES IN CONFINED AREAS. ALL FILL AND BACKFILL SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY PER ASTM D698 "LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT". HAND OPERATED COMPACTION EQUIPMENT SHALL BE UTILIZED WITHIN 4 FEET OF THE WALLS.
7. AGGREGATE SHALL BE CALTRANS CLASS 2 MATERIAL COMPACTED TO NOT LESS THAN 95% RELATIVE COMPACTION AND CONFORMING TO THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT FINER BY WEIGHT
2"	100
1-1/2"	90-100
3/4"	50-85
No 4	25-45
No 30	10-25
No 200	2-9

8. FOR ADDITIONAL INFORMATION SEE GEOTECHNICAL INVESTIGATION PREPARED BY AESCO DATED 3/18/2015.

CONCRETE NOTES

1. DESIGN AND CONSTRUCTION SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" ACI 318, CURRENT EDITION
2. CONCRETE REQUIREMENTS

COMPRESSIVE STRENGTH4000 PSI @ 28 DAYS

CEMENT (ASTM C150)TYPE I/II

COARSE AGGREGATE#67 STONE

FINE AGGREGATEASTM C33

SUMP (ASTM C143)4" ±1"

WATER CEMENT RATION0.52

ENTRAINED AIR2%

CURINGLIQUID MEMBRANE (ASTM C309, TYPE II, CLASS A)

TEST CYLINDERS REQUIRED3 PER 50 CY
3. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, "DEFORMED AND PLAIN BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT", GRADE 60.
4. CONCRETE WORK AND MATERIALS SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE", ACI 301.
5. CONCRETE COVER FOR REINFORCING SHALL BE 3 INCHES FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH. AT ALL OTHER CONCRETE SURFACES, MINIMUM COVER SHALL BE 2 INCHES FOR #6 AND LARGER BARS, AND 1 1/2 INCHES FOR #5 AND SMALLER BARS, UNLESS OTHERWISE NOTED. CONCRETE COVER FOR REINFORCEMENT NOT EXPOSED TO EARTH OR WEATHER SHALL BE 3/4" FOR SLABS, WALLS, AND JOISTS, UNLESS OTHERWISE NOTED.
6. LAP SPLICES FOR REINFORCING SHALL BE MINIMUM 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED. SEE TABLE ON DRAWING S04.02. STANDARD HOOKS SHALL BE 16 BAR DIAMETERS. ALL OTHER REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH ACI 315 "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT".
7. WELDING OF REINFORCING STEEL IS SPECIFICALLY PROHIBITED.
8. CEMENT GROUT SHALL BE A MIXTURE OF PORTLAND CEMENT, SAND, AND WATER WITH A MINIMUM COMPRESSIVE STRENGTH OF 300 PSI AT 28 DAYS.
9. EPOXY BONDING AGENT SHALL BE SIKA ARMATEC 110 EPOCEM AS MANUFACTURED BY SIKA CORPORATION, LYNDHURST, NJ (800) 933-7452. MIXING AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
10. FORMS SHALL BE BUILT TRUE. THEY SHALL BE STRONG, RIGID, MORTAR-TIGHT, AND ADEQUATELY BRACED OR TIED. FORMS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND ALL LOADS AND PRESSURES, INCLUDING THOSE IMPOSED BY PLASTIC CONCRETE TAKING FULL ACCOUNT OF THE STRESSES DUE TO THE RATE OF POUR, EFFECTIVE VIBRATION AND CONDITIONS BROUGHT ABOUT BY CONSTRUCTION METHODS.
11. ALL REINFORCING, EMBEDDED STEEL, ANCHOR BOLTS, INSERTS AND ALL OTHER EMBEDDED ITEMS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT. PROVIDE TEMPLATES FOR SETTING OF ANCHOR BOLTS.
12. REMOVE ALL LOOSE MATERIAL AND DEBRIS FROM EXISTING SURFACE PRIOR TO PLACING CONCRETE.
13. WHEN AMBIENT TEMPERATURE IS BELOW 50 DEGREES F. CONCRETE MATERIALS AND PLACEMENT SHALL CONFORM TO THE RECOMMENDATIONS OF ACI 306R "COLD WEATHER CONCRETING".
14. WHEN AMBIENT TEMPERATURE IS ABOVE 90 DEGREES F. CONCRETE MATERIALS AND PLACEMENT SHALL CONFORM TO THE RECOMMENDATIONS OF ACI 305R "HOT WEATHER CONCRETING".
15. CONCRETE SHALL BE SUFFICIENTLY CONSOLIDATED BY VIBRATION TO REMOVE AIR VOIDS. VIBRATION SHALL BE IN ACORDANCE WITH ACI 309 "STANDARD PRACTICE FOR CONSOLIDATION OF CONCRETE".
16. THE TOP OF ALL CONCRETE SURFACES SHALL BE TRUE AND LEVEL WITH A SMOOTH FLOAT FINISH, UNLESS OTHERWISE NOTED. FLOOR SLAB SHALL RECEIVE A STEEL TROWEL FINISH. ALL DIMENSIONS SHALL BE WITHIN + OR - 1/8 INCH.
17. DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE MOIST CURED.
18. DO NOT REMOVE FORMS, SHORES AND BRACING UNTIL CONCRETE HAS GAINED SUFFICIENT STRENGTH TO CARRY ITS OWN WEIGHT, CONSTRUCTION LOADS, AND DESIGN LOADS WHICH ARE LIABLE TO BE IMPOSED UPON IT. VERIFY STRENGTH OF CONCRETE BY COMPRESSIVE TEST RESULTS.
19. THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT AND FREEZING.
20. PROVIDE 48 HOURS NOTICE TO THE ENGINEER AND SPECIAL INSPECTOR PRIOR TO EACH PLACEMENT OF CONCRETE.

STEEL NOTES

1. DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, 2010".
2. MISCELLANEOUS STEEL, INCLUDING CHANNELS, ANGLES, PLATES, AND BARS SHALL CONFORM TO ASTM A36 "CARBON STRUCTURAL STEEL", UNLESS OTHERWISE INDICATED.
3. STEEL PIPE SHALL CONFORM TO ASTM A53 "PIPE, STEEL, BLACK AND HOT DIPPED, ZINC COATED, WELDED AND SEAMLESS", GRADE B
4. ALL EXTERIOR STEEL SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED.
5. ALL EXTERIOR BOLTS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
6. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780 "REPAIR OF DAMAGED AND UNCOATED AREAS OF HOT-DIP GALVANIZED COATINGS".
7. ADHESIVE ANCHOR ASSEMBLIES SHALL BE AS MANUFACTURED BY HILTI OR ENGINEER APPROVED EQUAL, AS FOLLOWS:

BASE MATERIALANCHOR SYSTEM

CONCRETEHILTI HIT-RE500-SD

HOLLOW & GROUTED CMU OR BRICKHILTI HIT-HY 70

INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

STRUCTURAL NOTES

1. ALL WORK SHALL CONFORM TO ANSI/TIA-222-H-2017 ""STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES, ANTENNAS, AND SMALL WIND TURBINE SUPPORT STRUCTURES", THE CALIFORNIA STATE BUILDING CODE AND ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
2. PROPOSED TOWER AND FOUNDATION TO BE DESIGNED BY OTHERS.

CABLE NOTES

1. THE PROPOSED CABLES SHOULD BE ROUTED INSIDE THE POLE.

ANTENNA MOUNTING NOTES

1. THE DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO ANSI/TIA-222-H-2017 "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES, ANTENNAS, AND SMALL WIND TURBINE SUPPORT STRUCTURES", THE CALIFORNIA STATE BUILDING CODE AND ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
2. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED.
3. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
4. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
5. ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH DOUBLE NUTS AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

6. DESIGN OF THE ANTENNA MOUNTING BRACKETS, SUPPORTS, AND ALL COMPONENTS THEREOF AND ATTACHMENT THERETO SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. MANUFACTURER SHALL PROVIDE THE OWNER WITH DRAWINGS DETAILING ALL COMPONENTS OF THE ASSEMBLY, INCLUDING CONNECTIONS, DESIGN LOADS, AND ALL OTHER PERTINENT DATA. MANUFACTURER SHALL ALSO PROVIDE THE OWNER WITH A STATEMENT OF COMPLIANCE, INDICATING THAT THE ANTENNA SUPPORTS HAVE BEEN DESIGNED IN ACCORDANCE WITH ANSI/TIA-222-H-2017 STANDARDS. ALL SUBMISSIONS SHALL BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CALIFORNIA.

DIG SAFE NOTES

- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA (DIGALERT) BY DIALING 811 PRIOR TO EXCAVATION AT SITE
- CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION
- ALL EXCAVATION WORK WITHIN 36" OF EITHER SIDE OF UNDERGROUND UTILITIES MUST BE DONE BY HAND EXCAVATION METHODS


REVIEWED FOR CODE COMPLIANCE

THESE PLANS AND DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN COMPLIANCE WITH THE APPLICABLE JURISDICTION CODE REQUIREMENTS. ISSUANCE OF A PERMIT IS RECOMMENDED SUBJECT TO APPROVAL BY OTHER DEPARTMENTS AND ANY NOTES OR CONDITIONS. THIS APPROVAL DOES NOT RELIEVE THE ENGINEER OF RECORD OF THEIR RESPONSIBILITY TO PREPARE THE PLANS, SPECIFICATIONS, MAPS AND OTHER RECORD DOCUMENTS PER CURRENT CODES AND APPLICABLE STANDARDS OF PRACTICE.

08/26/2021

RON STEIN, P.E.

WILLDAN ENGINEERING



SIGNATURE



15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618



PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.

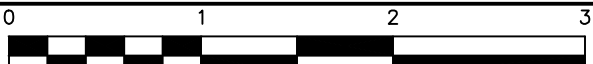
Tectonic Engineering Consultants
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ORIGINAL SIZE IN INCHES

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ORANGE COUNTY
CA 92694

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-2

APPROVED BUILDING PERMIT:	BNR20-0157
APPLICATION NO.	PA21-0123



OC DEVELOPMENT SERVICES REPORT

DATE: June 10, 2020
TO: File/Record/OC Development Services and Applicant
FROM: Richard Vuong, Interim Deputy Director, OC Public Works/Development Services
SUBJECT: Temporary Emergency – Use Permit MP20-0019
LOCATION: 30398 Cow Camp Road, Rancho Mission Viejo, CA 92694
ZONING: The Ranch Plan Planned Community, Subarea 2.1
GEN. PLAN: Urban Activity Center
SUMMARY: The applicant Verizon is requesting a Temporary Emergency - Use Permit to establish a temporary telecommunication facility resulting from the increased wireless telecommunication demand due to the COVID-19 pandemic. The applicant is proposing to install one (1) 75-foot tall monopole, one (1) above ground ballast platform, one (1) equipment cabinets, one (1) diesel generator, six (6) panel antennas, one (1) dish antenna, one (1) GPS antenna, three (3) Dual Low Band Radio Remote Units (RRUs), three (3) Dual High Band RRUs, one (1) raycap, two (2) hybrid cables, one (1) cable, one (1) microwave cabinet, one (1) telco cabinet and one (1) 6-foot tall chain link fence.

SCOPE OF THE PROJECT:

Per application submittal for MP20-0019 with the applicant's letter of request/justification provided as Attachment #1 and the property owner's Letter of Authorization provided as Attachment #2, MP20-0019 is requesting the following additions:

- Add one (1) new 75-foot tall monopole as shown on Plan Sheet C-2, and in elevation view on Sheet C-3, of Attachment #5.
- Add one (1) new above ground ballast platform as shown on Plan Sheet C-2, and in elevation view on Sheet C-3, Sections 2 and 3 of Attachment #4.
- Add one (1) new equipment cabinet as shown on Plan Sheet C-2, and as detailed on Plan Sheet C-7, of Attachment #5.

- Add one (1) new diesel generator as shown on Plan Sheet C-2, and in elevation view on Sheet C-3, of Attachment #5.
- Add six (6) new panel antennas as shown in elevation view on Sheet C-3, Sections 1 and 2, and as detailed on Plan Sheet C-5, Section 2, of Attachment #5.
- Add one (1) new dish antenna as shown in elevation view on Sheet C-3, Sections 1 and 2, of Attachment #5.
- Add one (1) new GPS antenna as shown on Plan Sheet C-2, and in elevation view on Sheet C-3, Section 3 and as detailed on Plan Sheet C-5, Section 8, of Attachment #5.
- Add three (3) new Dual Low Band Radio Remote Units (RRUs) as shown in elevation view on Sheet C-3, Sections 1 and 2, and as detailed on Plan Sheet C-5, Section 8, of Attachment #5.
- Add three (3) new Dual High Band RRUs (RRUs) as shown in elevation view on Sheet C-3, Sections 1 and 2, and as detailed on Plan Sheet C-5, Section 4, of Attachment #5.
- Add one (1) new raycap as shown in elevation view on Sheet C-3, Section 2 and as detailed on Plan Sheet C-5, Section 7, of Attachment #5.
- Add two (2) new hybrid cables as shown in elevation view on Sheet C-3, Sections 1 and 2, of Attachment #5.
- Add one (1) new cable as shown in elevation view on Sheet C-3, Section 2, of Attachment #5.
- Add one (1) new microwave cabinet as shown on Plan Sheet C-2, and in elevation view on Sheet C-3, Sections 1 and 2, of Attachment #5.
- Add one (1) new telco cabinet as shown on Plan Sheet C-2, of Attachment #5.
- Add one (1) new 6-foot tall chain link fence as shown on Plan Sheet C-2, and in elevation view on Sheet C-3, of Attachment #5.

DISCUSSION/ANALYSIS:

The proposed temporary wireless communication facility located at 30398 Cow Camp Road, Rancho Mission Viejo will provide essential communication, emergency services, and improved services to the surrounding area as a result of the COVID-19 pandemic. The facility will help ensure uninterrupted wireless

service in the area. Most of the surrounding area consists primarily of residential uses with small sections of open space with public utilities facilities. The existing nearby Verizon sites have not been able to provide adequate coverage to the neighborhood due to the increased demand resulting from a significant increase of people staying home during the COVID-19 pandemic. Without the emergency temporary facility at the proposed location, there will continue to be a significant gap in coverage that would negatively impact the surrounding community during this national crisis.

Per the Ranch Plan Planned Community Program Text approved on November 8, 2004 telecommunication facilities are a permitted use subject to a Master Area Plan, Subarea Plan approval per Section II.B and a Site Development Permit. Although the Ranch Planned requires the above mentioned approvals for a new telecommunication facility the Wireless Communications Facility on Private Property Ordinance Section 7-9-146.13 allows for the installation of Temporary Emergency Towers. Per the Ordinance any applicant that seeks a permit to install a wireless communications facility necessary to protect public health, safety or welfare during an emergency shall submit an application for a temporary emergency-use permit no later than one (1) calendar day after the installation of such wireless communications facility. The Director may approve such temporary wireless facility without regard for the other provisions in this section for no more than thirty (30) days.

SHERIFF-CORONER REVIEW:

At the request of the County of Orange Sheriff-Coroner Department, all land use planning applications involving telecommunication equipment are reviewed by the Sheriff Department to ensure that the present and future operation of the County's telecommunication system is not compromised by the planning application proposal. Regarding the subject application, the Sheriff-Coroner provided written response to their review, dated April 24, 2020, which is provided as Attachment #3. No further corrections or revisions to the subject Planning Application have been requested by the Sheriff-Coroner as a result of their review.

TELECOMMUNICATION ORDINANCE 15-019:

Applicant shall comply with Orange County Codified Ordinance section 7-9-146.13(2)(c) Temporary Emergency Towers, which states "the owner of any wireless communications facility installed pursuant to this subsection shall immediately remove such facility at the end of the thirty (30) day period or the conclusion of the emergency, whichever occurs first. The County may remove any wireless communications facility installed pursuant to this subsection at the owner's cost immediately at the end of the thirty (30) day period or the

INDEMNIFICATION:

Applicant shall defend with counsel approved by the County of Orange in writing, indemnify and hold harmless the County of Orange, its officers, agents or employees from any claim, action or proceeding against the County, its officers, agents or employees to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental documents, findings, or other environmental determination by the County of Orange, its Board of Supervisors, Planning Commission, Zoning Administrator, or Director of OC Public Works, or Deputy Director of OC Development Services concerning this application. The County may, at its sole discretion, participate in the defense of any action, at the applicant's expense, but such participation shall not relieve the applicant of his/her obligations under this condition. The County may, at its sole discretion, require the Applicant to post a bond, enter into an escrow agreement, obtain an irrevocable letter of credit from a qualified financial institution, or provide other security, to the satisfaction of the County, in anticipation of litigation and possible attorney's fee awards. Applicant shall reimburse the County for any court costs and attorney fees that the County may be required to pay as a result of such action. The County shall promptly notify the applicant of any such claim, action or proceeding.

CONDITIONS OF APPROVAL:

Approval of this Temporary Emergency – Use Permit is conditional, subject to the following:

- THIRTY-DAY TIME LIMIT** – Per OCCO Section 7-9-146.13(2)(c) this permit shall remain valid for a maximum period of thirty (30) days from the date the emergency wireless communication facility is operational.
- REMOVAL OF ABANDONED EQUIPMENT** - Prior to the issuance of any grading or building permit, the applicant shall provide to the Manager, OC Development Services/Planning an agreement signed and notarized by the property owner stating that Verizon will remove all abandoned wireless communication equipment, antennas, support structures, lease area improvements, cabinets, power connections and cable/conduit connections from the project site and restore such site areas to the satisfaction of the property owner and in a manner acceptable to the Manager, OC Development Services/Planning.

REVIEWED FOR CODE COMPLIANCE

THESE PLANS AND DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN COMPLIANCE WITH THE APPLICABLE JURISDICTION CODE REQUIREMENTS. ISSUANCE OF A PERMIT IS RECOMMENDED SUBJECT TO APPROVAL BY OTHER DEPARTMENTS AND ANY NOTES OR CONDITIONS. THIS APPROVAL DOES NOT RELIEVE THE ENGINEER OF RECORD OF THEIR RESPONSIBILITY TO PREPARE THE PLANS, SPECIFICATIONS, MAPS AND OTHER RECORD DOCUMENTS PER CURRENT CODES AND APPLICABLE STANDARDS OF PRACTICE.

08/26/2021

RON STEIN, P.E.
WILLDAN ENGINEERING

Ron Stein
SIGNATURE

NOTE:

This approval applies to MP20-0019 only and its compliance with the Orange County Zoning Code. Approval of this Planning Application does not include other approvals required to comply with other County Ordinances or Procedures.

Respectfully Submitted by:

Brian Kurnow
Brian Kurnow, Land Use Manager
OC Development Services/Planning

Approved by:

Richard Vuong
Richard Vuong, Interim Deputy Director
OC Public Works/Development Services

ATTACHMENTS:

- Applicant Letter of Request/Justification
- Property Owner's Letter of Authorization
- Sheriff-Coroner memo dated April 24, 2020
- Site Photos
- Site Plan

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RE: Emergency Cell Tower Justification Letter
Verizon Site Name: COW CAMP

The proposed emergency temporary Verizon Site wireless communication facility, located at 30298 Cow Camp Road, Rancho Mission Viejo, CA (the "Subject Property") will consists of:

- INSTALL (1) ABOVE GROUND BALLAST PLATFORM
- INSTALL SITE-LITE CHAIN LINK FENCE
- INSTALL (1) 75' TALL TEMP. MONOPOLE
- INSTALL (2) CLIMATE CONTROLLED EQUIPMENT CABINETS AT EQUIPMENT AREA
- INSTALL (1) DIESEL GENERATOR WITH 54 GAL. TANK INSIDE LEASE AREA
- INSTALL (6) PANEL ANTENNAS
- INSTALL (1) MICROWAVE DISH ANTENNA
- INSTALL (1) GPS ANTENNA
- INSTALL (3) DUAL LOW BAND RRUS (B5 & B13)
- INSTALL (3) DUAL HIGH BAND RRUS (B2 & B4, B96)
- INSTALL (1) 6000 RAYCAP @ ANTENNA LEVEL
- INSTALL TEMP. UTILITY POLES FOR OH POWER WIRES
- INSTALL (2) 6102 HYBRID CABLES
- INSTALL (1) EW90 MW CABLE

Coverage Objective: The proposed emergency temporary wireless communication facility located at the Subject Property will provide essential communication, E-911 emergency service, and improved service to the surrounding area. The facility will ensure uninterrupted wireless service in the area. Most of the targeted area consists primarily of residential uses with small sections of open space with public utility facilities, including the subject property in the Rancho Mission Viejo community. Without the emergency temporary facility at the proposed location, there will continue to be a significant gap in coverage that would negatively impact the surrounding community, open spaces and surrounding residential homes during this national crisis. The existing Verizon nearby sites do not provide adequate coverage to the desired Rancho Mission Viejo neighborhoods.

Verizon Wireless after some analysis based on our last modeled propagation maps and traffic data from existing sites around Rancho Mission Viejo (RMV) and along the Ortega 74 Hwy has clearly identified that without the perm sites, (Cow Camp, Esencia, Ortega 74 Loc1 and Ortega 74 Loc2), it will create a major deficiency in its wireless services in the City of Rancho Mission Viejo and surrounding residential neighborhoods and businesses. The poor signal quality serving at the RMV area without these sites, it will degrade the user experience by providing poor voice quality, slow data speeds, unreliable network access and excessive dropped calls. These sites were strategically placed at the RMV area and along Ortega 74

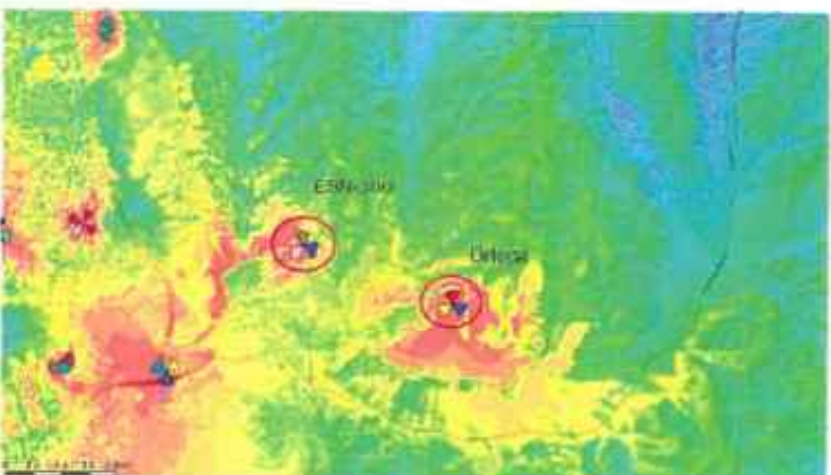
Hwy to resolve these coverage & capacity deficiencies on that neighborhood and improve network reliability to the Verizon Wireless customers that live and drive this area.

Site Selection: In determining the best location within the search ring and nearby areas, co-location was considered but ruled out due to lack of feasible options. Verizon has a few sites within approximately 1.5 miles of the search ring center, but none provides adequate coverage to the target neighborhoods. The existing Ortega site is be decommissioned due to new development and ESN300 will also be decommissioned and placed South of Cow Camp. There are no other co-location opportunity in the search ring area.

Map with the following sites:
Ortega & ESN-300



LTE: RSRP – Current Coverage with ESN-300 and Ortega
Site Ortega and ESN-300 show the current coverage along Ortega 74 Frwy and RMV area.



APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. P21-0123

verizon

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BUILDING "D" 1ST FLOOR
IRVINE, CA 92618

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SITE INFORMATION

COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS

30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE

REFERENCE SHEET

SHEET NUMBER

12

REF-1

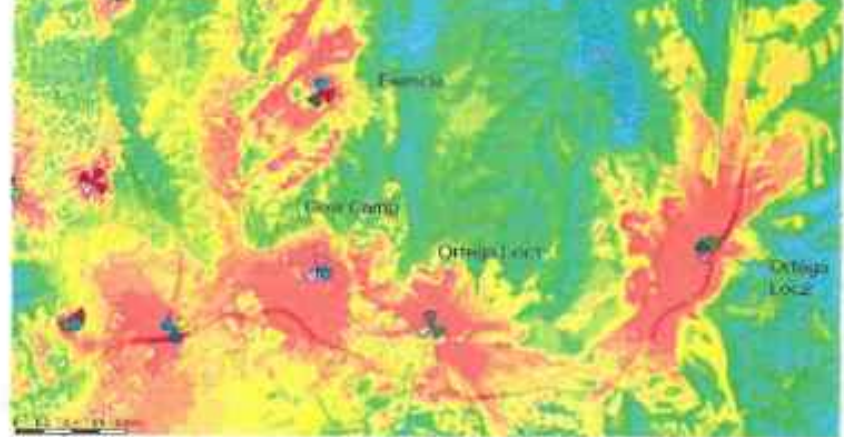
NEWPORT BEACH
1420 Bristol Street North, Suite 210
Newport Beach, CA 92660
T: (949) 502-8555
F: (949) 502-8557

CORPORATE OFFICE
P.O. Box 37
70 Pleasant Hill Road
Mountainville, NY 10953
T: (800) 829-6531
EQUAL OPPORTUNITY EMPLOYER

Attachment #1

LTE: RSRP - Proposed Coverage with Ortega 74 Loc1 & Ortega 74 Loc2 plus Esencia and Cow Camp Perm.

Coverage with Cow Camp, Esencia, Ortega 74 Loc1 & Loc2 Improve customer experience at RMV area.



page 4 of 4

Attachment #2

May 12, 2020

Ms. Cynthia Burgos
OC Public Works - Planning
601 North Ross Street
Santa Ana, CA 92701

SUBJECT: Permit No. MP20-0019 - South of Cow Camp - Temporary Wireless Facility

Dear Ms. Burgos:

This letter is in response to comment number 1.01 of the initial plan check comments provided to Emanuel Higgins (as agent for Verizon Wireless).

This letter confirms that DMB San Juan Investment North, LLC ("Landowner") and RMV Telecom, LLC ("RMVT") have entered into a written lease agreement ("Lease") for the subject location ("Site"); RMVT is an affiliate of Landowner. This letter further confirms that RMVT (with the consent of the Landowner) and Los Angeles SMSA Limited Partnership dba Verizon Wireless ("Verizon") are parties to a written site license agreement ("SLA") for the Site.

Under the SLA, Verizon has the right to occupy and use the Site as a wireless communications facility. The SLA contemplates that Verizon's use of the Site is temporary pending the construction of a permanent facility in the vicinity by RMVT. Accordingly, there is no set term established for the Site, however, Verizon is required to terminate its use and operation of the Site within five (5) days of the permanent site becoming operational. RMVT intends to design, permit and construct the permanent site within the next year.

The term of the SLA for the permanent site will expire in 2025, but is subject to three (3) five (5) year extensions.

Should you have any further questions, please contact me.

Sincerely,

Jay Bullock

Jay Bullock
Vice President, Planning and Entitlement
Rancho Mission Viejo



From: Schull, Erik D <ESchull@ocsd.org>
Sent: Friday, April 24, 2020 12:14 PM
To: Burgos, Cynthia
Subject: RE: MP20-0019 and MP20-0020

Cynthia,
Sheriff/Communications has reviewed MP 200019 and MP20020, Verizon's emergency proposals at Rancho Mission Viejo, and has no concerns with this project. This project will not require a post construction inspection.
Thank you,

Erik Schull
Senior Telecommunications Engineer
Orange County Sheriff-Technology
Emergency Communications Unit
840 North Eckhoff Street
Suite 104
Orange, CA 92668-1021
714-704-7937
ESchull@ocsd.org

From: Burgos, Cynthia <cynthia.burgos@ocpw.ocgov.com>
Sent: Friday, April 24, 2020 8:21 AM
To: Schull, Erik D <ESchull@ocsd.org>
Subject: MP20-0019 and MP20-0020

Good Morning,

We have an applicant in the Ranch that wants to add three new wireless facilities to help with the current overload to the system. According to the applicant since the stay at home order was but in place they have seen an increase in the required wireless capacity and it is negatively affecting a research lab in the vicinity so they are asking for a way to expedite approval of the three new facilities. Because it is an emergency and they want to install the facilities as soon as possible it was decided that the best way to process these applications is over three steps. The applicant will need to apply for three separate applications an emergency application (that will only be for one month), a long term temporary application (that will be for one year) and finally a permanent application. I am telling you all this information because the applicant submitted for an emergency application but soon he will also submit for the temporary application and since it will be the same plans and locations I did not want you to get confuse as to why you would need to review the same project twice.

Attached is MP20-0019 and MP20-0020 for the emergency application that has been submitted for approval to OC Development Services/Planning. Consistent with our on-going policy of involving your department in any planning application for wireless or other communication systems your department's review of the attached material is requested.

Thank You,
Cynthia Burgos
OC Public Works | Development Services
601 N. Ross Street, Santa Ana, CA 92701 | (714) 667-8898



NOTICE: THE COUNTY SERVICE CENTER ON THE FIRST FLOOR WILL BE TEMPORARILY CLOSED TO THE PUBLIC MARCH 17 - 31, 2020. ONLINE SERVICES REMAIN ACCESSIBLE 24/7.

RESPONSE TIMES MAY BE AFFECTED. YOUR PATIENCE IS APPRECIATED.

verizon

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IRVINE, CA 92618

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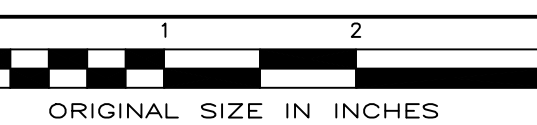
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08/26/2021

RON STEIN, P.E.
WILLDAN ENGINEERING

Ron Stein
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SITE INFORMATION

COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS

30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

12

REF-2

verizon

Photos

Overall Site View:



General location for proposed relocation:



Attachment #4

2

verizon

Access gate from Cow Camp Road:



Looking North inside gate:



3

verizon

Looking North up Los Patrones Parkway:



Looking South:



4

verizon

Looking East:



Looking West:



APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

5



June 12, 2020

Project Close out Letter

Emanuel Higgins
1420 Bristol North, Suite 200
Newport Beach, CA 92660

Subject: Project Close out Letter for Temporary Emergency - Use Permit MP20-0019 for the property located at 30398 Cow Camp Road, CA 92694

Project Description: The applicant Verizon is requesting an Emergency Permit to establish a temporary telecommunication facility. The applicant is proposing to install one (1) 75-foot tall monopole, one (1) above ground ballast platform, one (1) equipment cabinets, one (1) diesel generator, six (6) panel antennas, one (1) dish antenna, one (1) GPS antenna, three (3) Dual Low Band Radio Remote Units (RRUs), three (3) Dual High Band RRUs, one (1) raycap, two (2) hybrid cables, one (1) cable, one (1) microwave cabinet, one (1) telco cabinet and one (1) 6-foot tall chain link fence.

Dear Emanuel Higgins,

On June 12, 2020 Temporary Emergency - Use Permit MP20-0019 was approved. Attached is a copy of the signed staff report and approved plans for your records.

Sincerely,

Cynthia Burgos

Cynthia Burgos
OC Development Services/Planning

Attachments:

- 1. Signed Staff Report
- 2. Approved Plans



County Administration South
601 North Ross Street
Santa Ana, California 92701

P.O. Box 4048
Santa Ana, CA 92702-4048

714.667.8800

(714) 667-8800

OCPublicWorks.com

verizon

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08/26/2021

RON STEIN, P.E.
WILLDAN ENGINEERING

Ron Stein
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ORANGE COUNTY
CA 92694

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

12

REF-3

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA (DIGALERT) BY DIALING 811 PRIOR TO EXCAVATION AT SITE
- CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION
- ALL EXCAVATION WORK WITHIN 36" OF EITHER SIDE OF UNDERGROUND UTILITIES MUST BE DONE BY HAND EXCAVATION METHODS
- ALL INSTALLATIONS SHALL BE PERFORMED IN A FIRST-CLASS MANNER CONSISTENT WITH GENERALLY-ACCEPTED CONSTRUCTION STANDARDS. THIS SHALL INCLUDE MATCHING ADJACENT COLORS AND FINISHES ON ANY EXPOSED CONDUIT OR APPARATUS, WHICH SHALL BE INDIVIDUAL CONTINUOUS PIECES WITH NO SECTIONS OR 'SEAMS' AS MUCH AS POSSIBLE.
- VERIZON SHALL USE ITS BEST EFFORTS TO ENSURE ANY NEW SURFACE CONCRETE TEXTURES MATCH ADJACENT CONCRETE TEXTURE FINISHES AND COLORS.
- VERIZON SHALL USE ITS BEST EFFORTS TO ENSURE THAT ANY GRADE DISTURBANCE SHALL BE COMPACTED TO 98% (PLANTERS TO 95%) AND SHALL MATCH ADJACENT MATERIALS (I.E. ASPHALT, CONCRETE, LANDSCAPING, ETC.), TEXTURES, AND COLORS.

PARENT PARCEL LEGAL DESCRIPTION

PARCEL A:
PARCEL 37 OF CERTIFICATE OF COMPLIANCE NO. CC2011-01, RECORDED DECEMBER 27, 2011 AS INSTRUMENT NO. 201100677171 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, APN: 125-181-73; 125-163-14 AND PORTIONS OF 125-163-13, 19 AND 33

PARCEL B:
LOT H OF TRACT NO. 17561, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 932, PAGES 1 THROUGH 38 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, APN: 755-311-17APN: 755-311-17, 125-181-73, 125-163-14, PORTIONS OF 125-163-13, 19, 330. 901.

FLOOD_ZONE DESIGNATION

THE PROPOSED EASEMENT AREA SHOWN HEREON APPEARS TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 06059C0465J DATED 12/03/09.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

EASEMENTS LEGEND

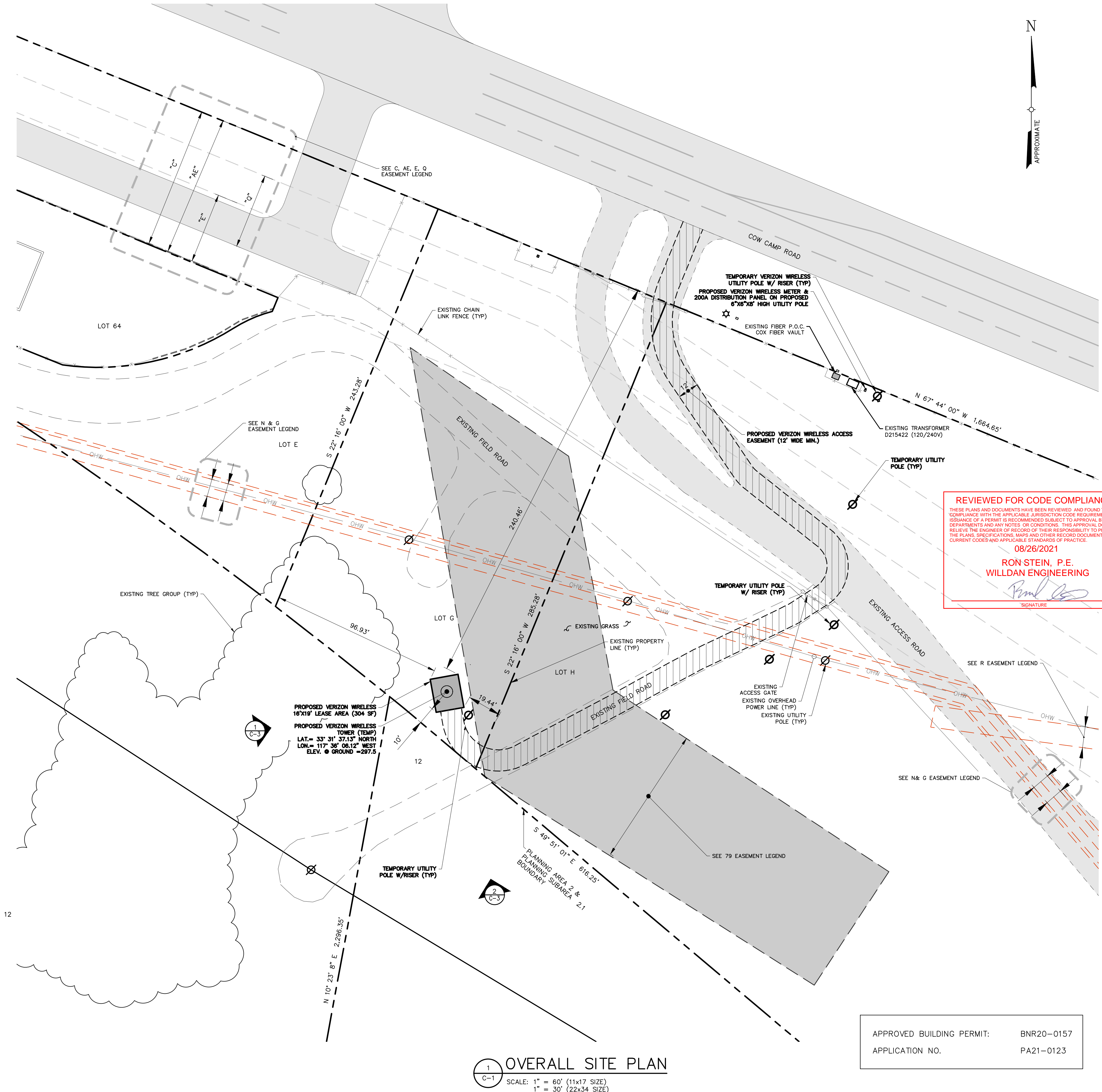
- C. INDICATES EASEMENT TO SANTA MARGARITA WATER DISTRICT FOR PIPELINES GRADING AND ACCESS PURPOSES, RECORDED NOVEMBER 12, 1991 PER INSTRUMENT NO. 91-616009, O.R. SEE SHEETS 6 THROUGH 10.
- E. INDICATES EASEMENT TO SANTA MARGARITA WATER DISTRICT FOR PIPELINES AND ACCESS PURPOSES, RECORDED NOVEMBER 12, 1991 PER INSTRUMENT NO. 91-616013, O.R. SEE SHEETS 8 THROUGH 10.
- G. INDICATES EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR POLE LINES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 19, 1969 PER BOOK 9141, PAGE 668, O.R. SEE SHEETS 8, 9, & 10 AND SURVEYORS NOTE 1.
- N. INDICATES EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, RECORDED DECEMBER 14, 2007 PER INSTRUMENT NO. 2007000733703, O.R. (PARCEL 1) SEE SHEETS 6, 8, 9, & 10 AND SURVEYORS NOTE 1.
- Q. INDICATES EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR TEMPORARY ACCESS PURPOSES, RECORDED DECEMBER 21, 2009 PER INSTRUMENT NO. 2009000681983, O.R. SEE SHEETS 11 & 12.
- R. INDICATES EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR TEMPORARY TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ACCESS PURPOSES, RECORDED DECEMBER 21, 2009 PER INSTRUMENT NO. 2009000681988, O.R. SEE SHEETS 12 AND 13.
- AE. INDICATES EASEMENT FOR PIPELINE AND ACCESS PURPOSES DEDICATED TO SANTA MARGARITA WATER DISTRICT.
79. SANTA MARGARITA WATER DISTRICT UTILITY EASEMENT. INSTRUMENT NO. 2017000399879 OF OFFICIAL RECORDS.

NOTE

1. U/G FIBER CONDUIT TO BE INSTALLED VIA DIRECTIONAL BORE TO MINIMIZE SURFACE DISTURBANCE, NO OPEN TRENCHING

NOTE

1. SECTION III.F.1.d.3) OF THE RANCH PLAN PLANNED COMMUNITY PROGRAM TEXT, AS ADOPTED BY ORDINANCE 04-014:
- 1.1. DITE DEVELOPMENT STANDARDS
- 1.1.1. MINIMUM SITE AREA: NO MINIMUM.
- 1.1.2. MAXIMUM BUILDING HEIGHT: SAME AS DISTRICT WHICH USE IS ESTABLISHED.
- 1.1.3. BUILDING SETBACKS:
- 1.1.3.1. FROM ANY FRONT OR SIDE PROPERTY LINE ABUTTING A STREET: TEN (10) FEET MINIMUM.
- 1.1.3.2. FROM ANY FRONT, REAR OR SIDE PROPERTY LINE NOT ABUTTING A STREET: TEN (10) FEET MINIMUM.
- 1.1.3.3. FROM ANY PROPERTY LINE ABUTTING RESIDENTIAL DESIGNATED AREAS: TWENTY (20) FEET MINIMUM.
- 1.1.3.4. SETBACKS ADJACENT TO PARKS AND OPEN SPACE AREAS MAY BE REDUCED SUBJECT TO APPROVAL BY THE ZONING ADMINISTRATOR.



OVERALL SITE PLAN

SCALE: 1" = 60' (11x17 SIZE)
1" = 30' (22x34 SIZE)

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

verizon

15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618

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WORK ORDER NUMBER

9691.037A

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NO.	DATE	ISSUE
3	02/20/20	PER REDESIGN
4	03/09/20	PER REDESIGN
5	03/30/20	PER REDESIGN
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13	08/11/21	PER JDX COMMENTS

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08/26/2021

RON STEIN, P.E.
WILLDAN ENGINEERING

SIGNATURE

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0 1 2 3
ORIGINAL SIZE IN INCHES

SITE INFORMATION

COW CAMP TEMP

PN #: 20191978985

LC: 552086

PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS

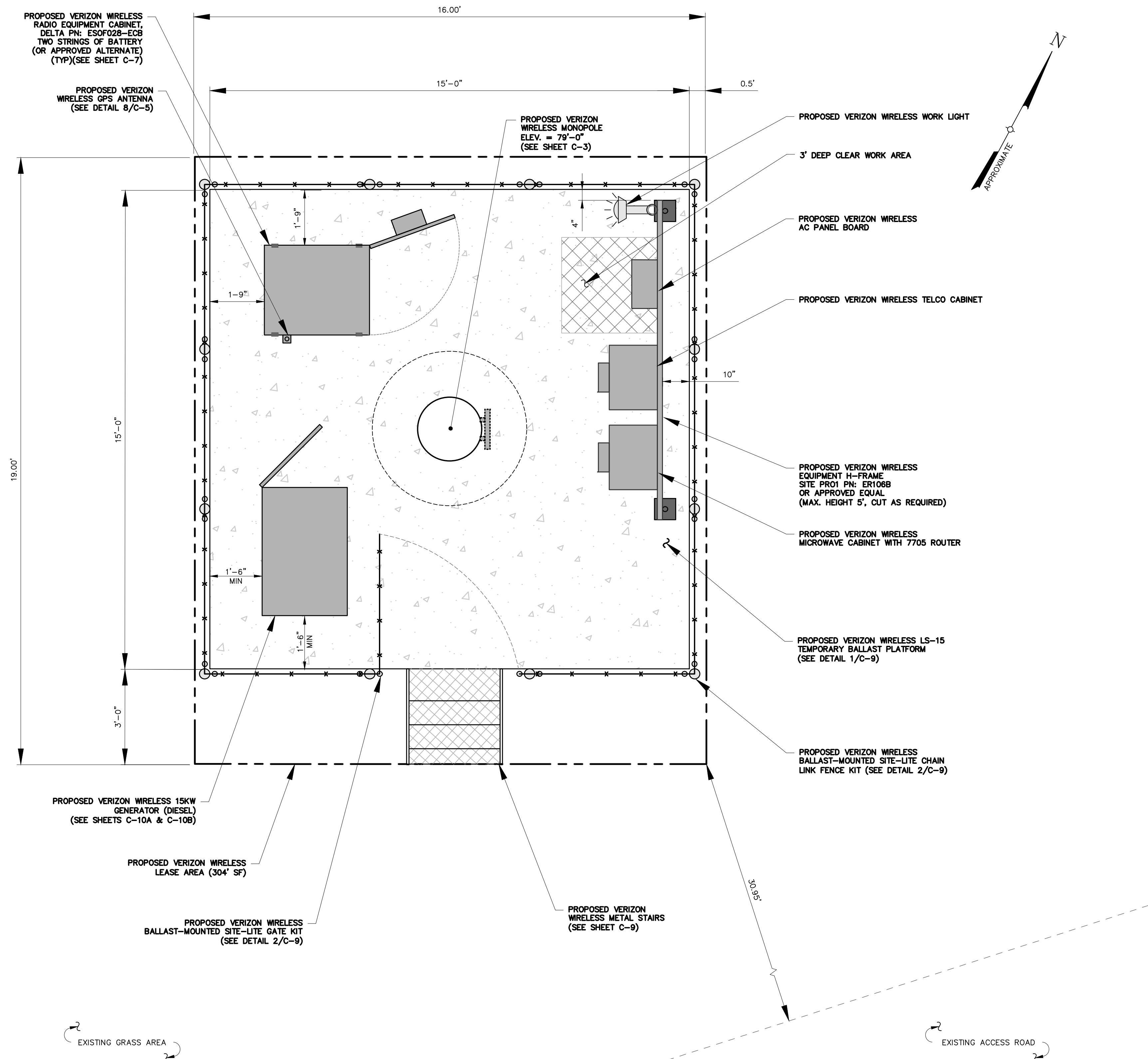
30398 TP COW CAMP ROAD
RANCHO MISSION VILLO
ORANGE COUNTY
CA 92694

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

C-1

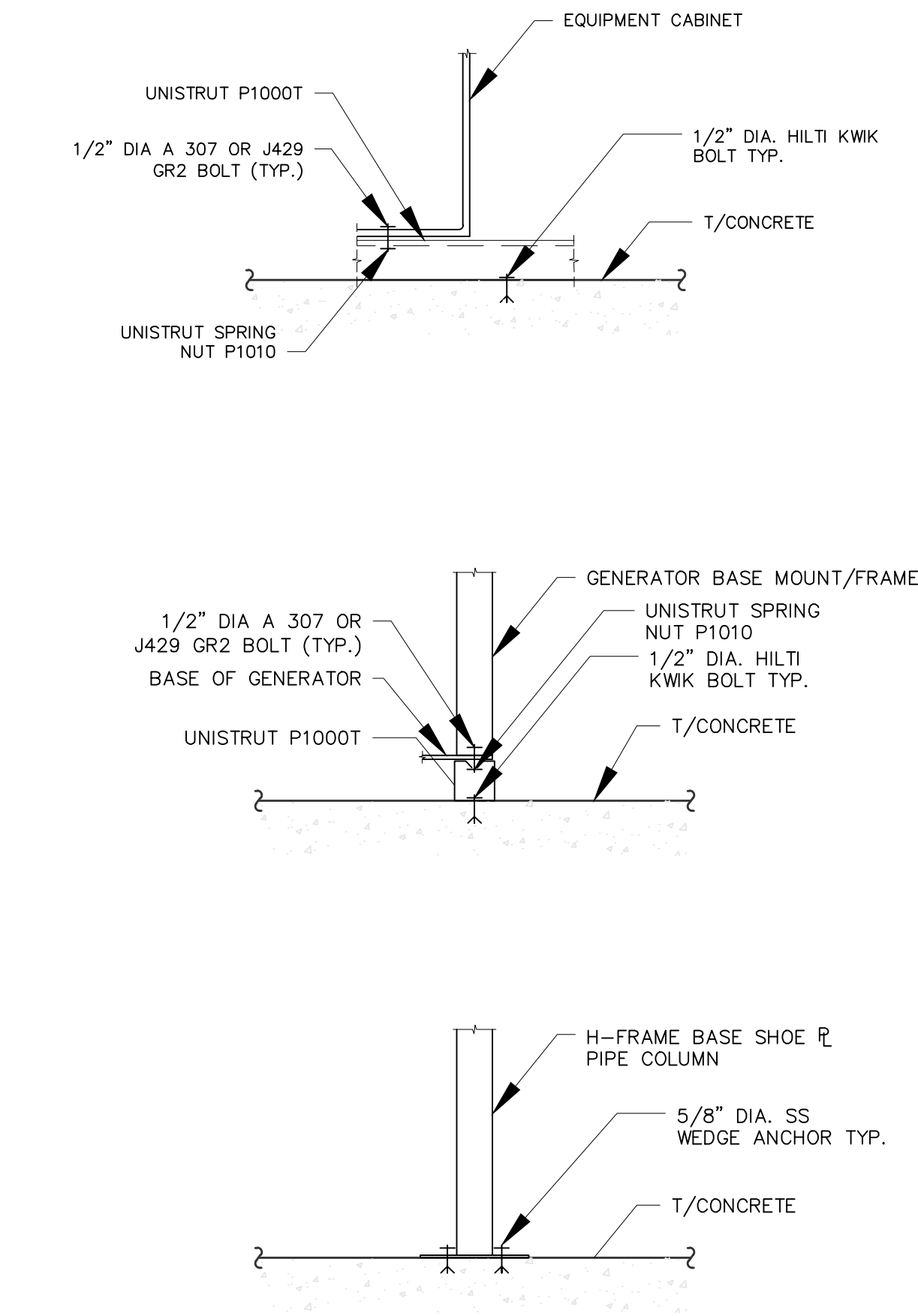


APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

1
C-2 ENLARGED SITE PLAN
SCALE: 1" = 4' (11x17 SIZE)
1" = 2' (22x34 SIZE)

NOTES:
1. CABINET AND RADIO MODELS SHOWN/NOTED AS WELL AS THEIR RELATIVE LOCATIONS ARE SUBJECT TO CHANGE BASED ON TECHNOLOGIES AVAILABLE AT TIME OF CONSTRUCTION. CONFIRM WITH VZW CM PRIOR TO INITIATION OF CONSTRUCTION.
2. BASE OF THE STAIRS SHALL BE INSTALLED ON LEVEL AND FIRM GROUND.

2
C-2 EQUIPMENT MOUNTING DETAILS
SCALE: 1" = 4' (11x17 SIZE)
1" = 2' (22x34 SIZE)



NOTES:
1. CONDUIT ENDS SHALL NOT TERMINATE WITH IN A SWEEP SECTION.
2. ALL METAL COVERS, METAL Z-BAR FRAME, METAL RINGS OR ANY METALLIC COMPONENT OF A HAND HOLE SHALL BE BONDED TO A #8 AWG OR LARGER COPPER EQUIPMENT GROUNDING CONDUCTOR. BONDING JUMPERS SHALL BE BRAIDED COPPER EQUIVALENT TO #8 AWG COPPER AND MINIMUM 36" IN LENGTH AND SHALL BE ATTACHED WITH EXOTHERMIC WELDING. PROCESS IS A MOLECULAR BONDING WITH HIGH COPPER CONTENT ALLOYS (IN EXCESS OF 90%), HIGH CORROSION RESISTANCE AND HIGH CONDUCTIVITY, AND APPROVED GROUNDING.
3. ALL HAND HOLES WITHIN VEHICULAR AREAS SHALL BE H20 RATED.

REVIEWED FOR CODE COMPLIANCE
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08/26/2021
RON STEIN, P.E.
WILLDAN ENGINEERING
SIGNATURE

15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618

Tectonic Engineering Consultants
1420 Bristol Street North Suite 210
Newport Beach, CA 92660 Phone: (949) 502-8555
(800) 929-6531 www.tectonicingineering.com

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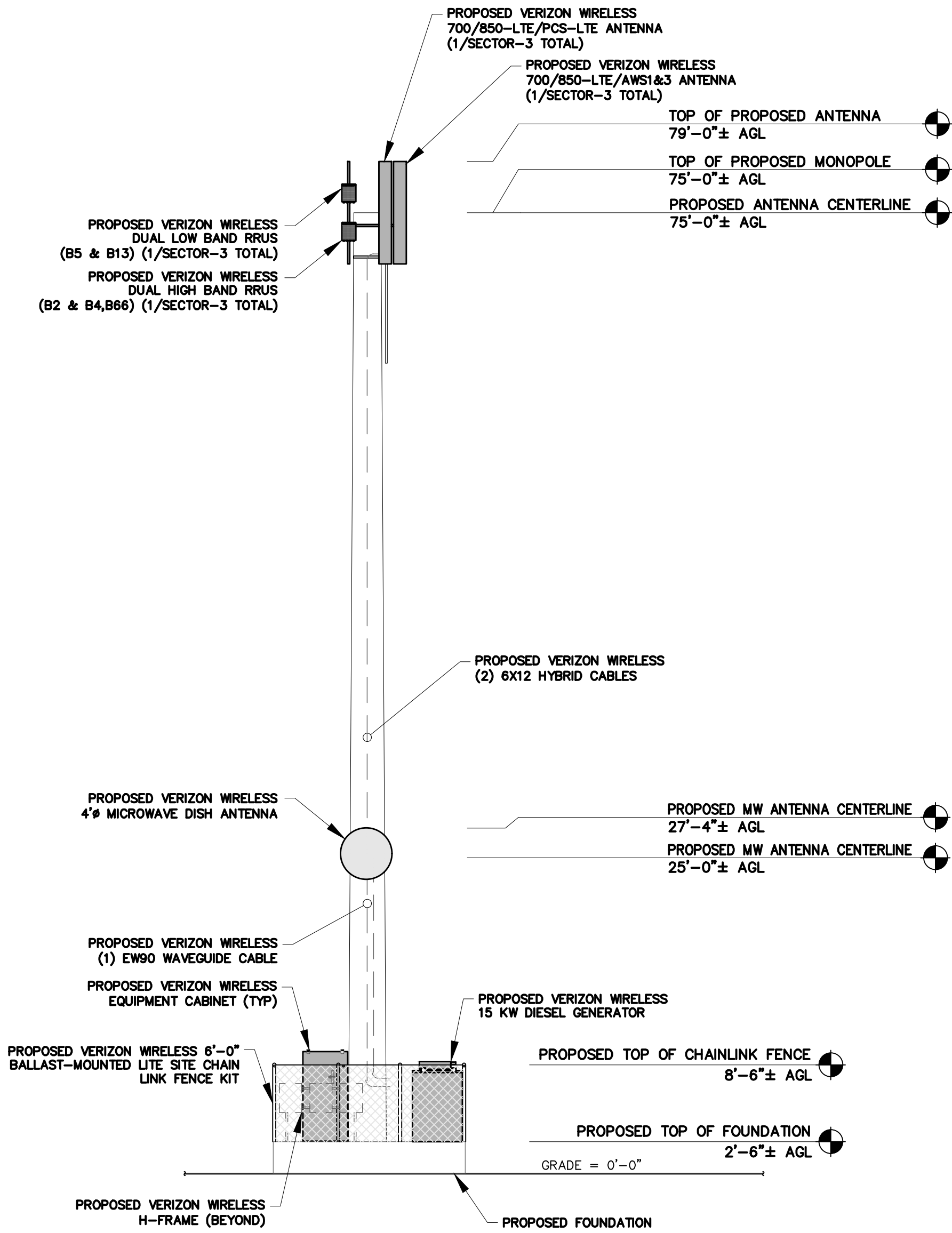
0 1 2 3
ORIGINAL SIZE IN INCHES

SITE INFORMATION
COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

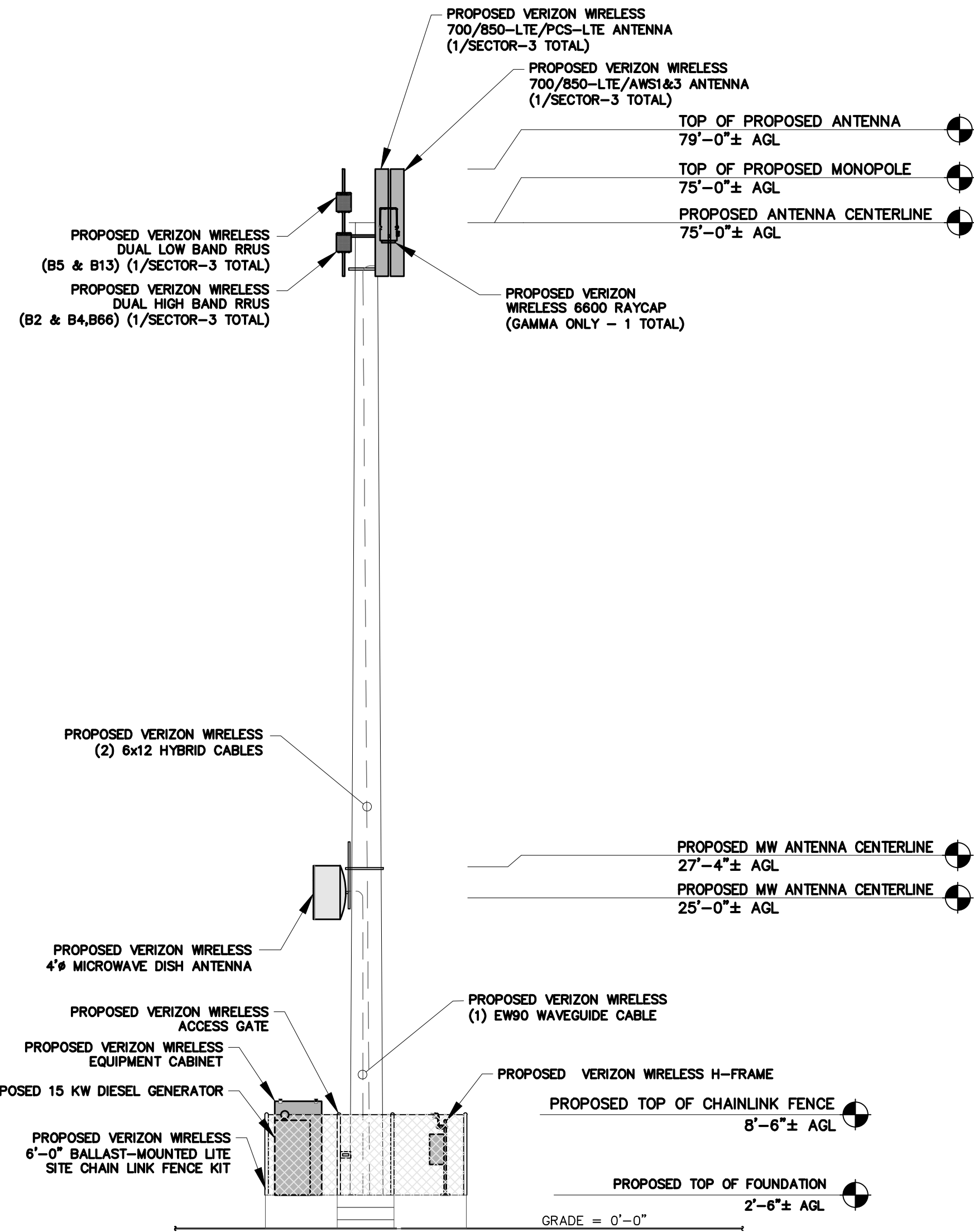
SITE ADDRESS
30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE
ENLARGED SITE PLAN &
CABINET MOUNTING
DETAILS

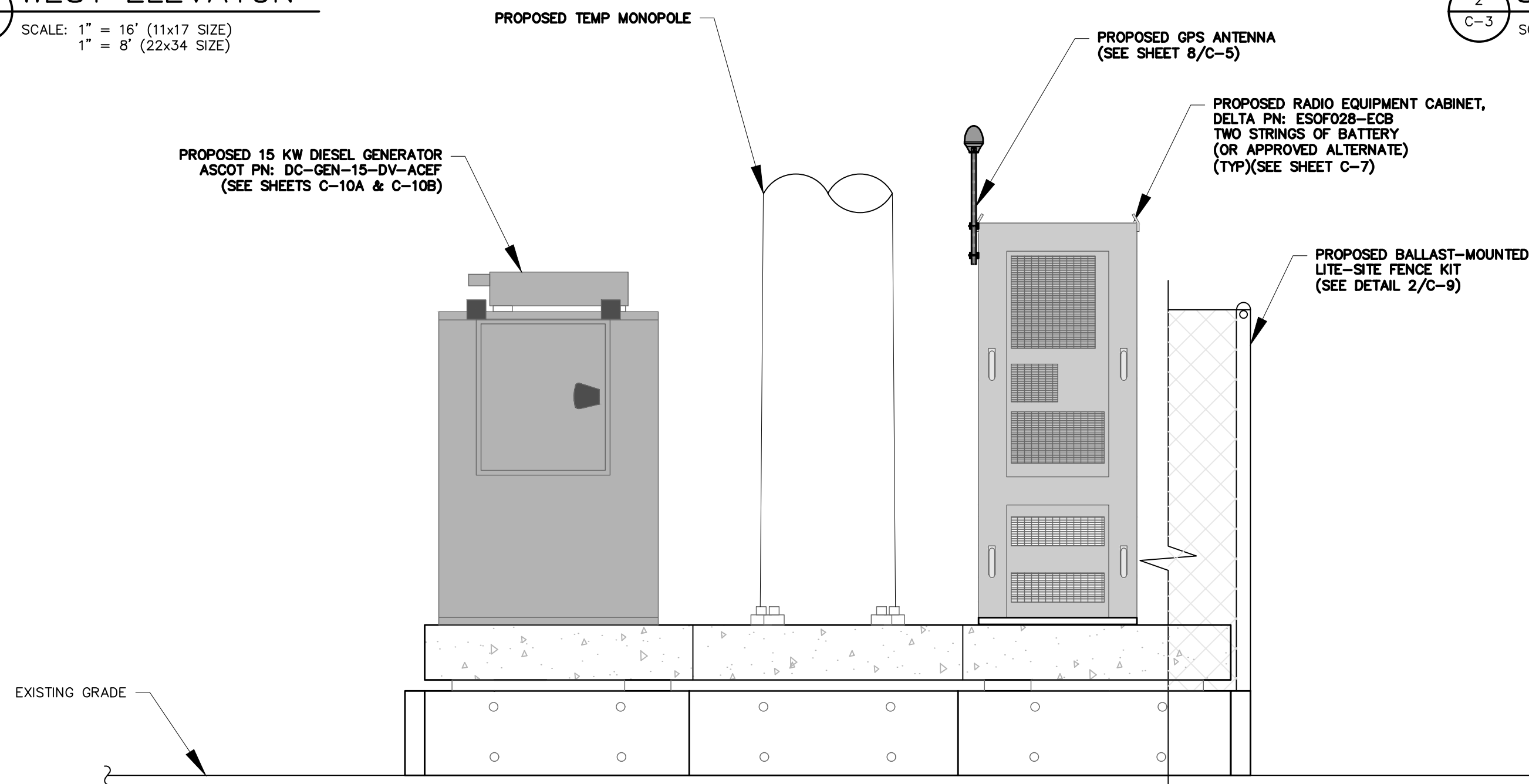
SHEET NUMBER
C-2



1 WEST ELEVATION
C-3
SCALE: 1" = 16' (11x17 SIZE)
1" = 8' (22x34 SIZE)



2 SOUTH ELEVATION
C-3
SCALE: 1" = 16' (11x17 SIZE)
1" = 8' (22x34 SIZE)



3 EQUIPMENT CABINET ELEVATION
C-3
SCALE: 1" = 4' (11x17 SIZE)
1" = 2' (22x34 SIZE)

NOTE: CABINET AND RADIO MODELS SHOWN/NOTED AS WELL AS THEIR RELATIVE LOCATIONS ARE SUBJECT TO CHANGE BASED ON TECHNOLOGIES AVAILABLE AT TIME OF CONSTRUCTION. CONFIRM WITH VZW CM PRIOR TO INITIATION OF CONSTRUCTION.

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

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WILLDAN ENGINEERING
SIGNATURE

verizon

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0 1 2 3
ORIGINAL SIZE IN INCHES

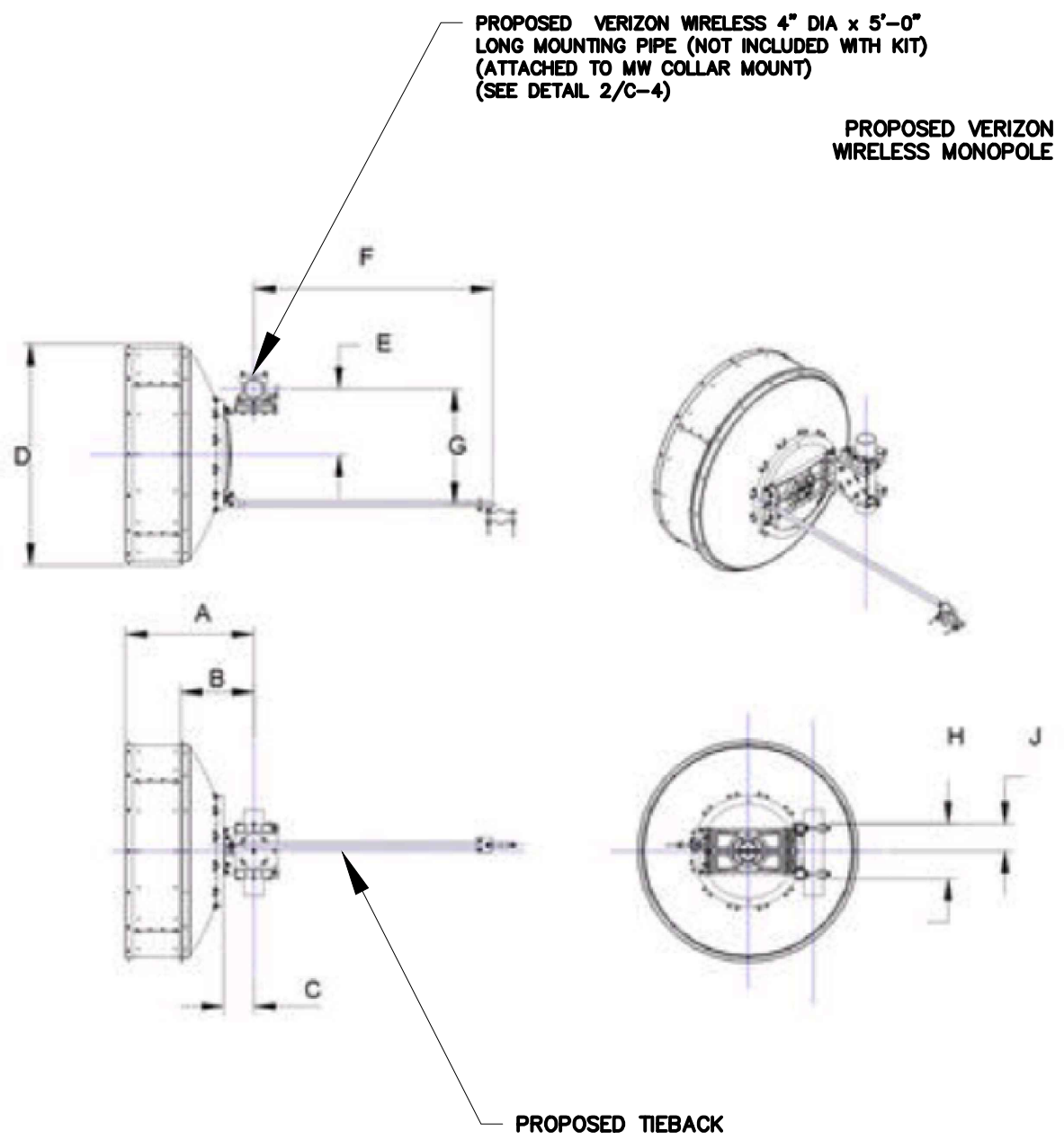
SITE INFORMATION
COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS
30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE
ELEVATIONS

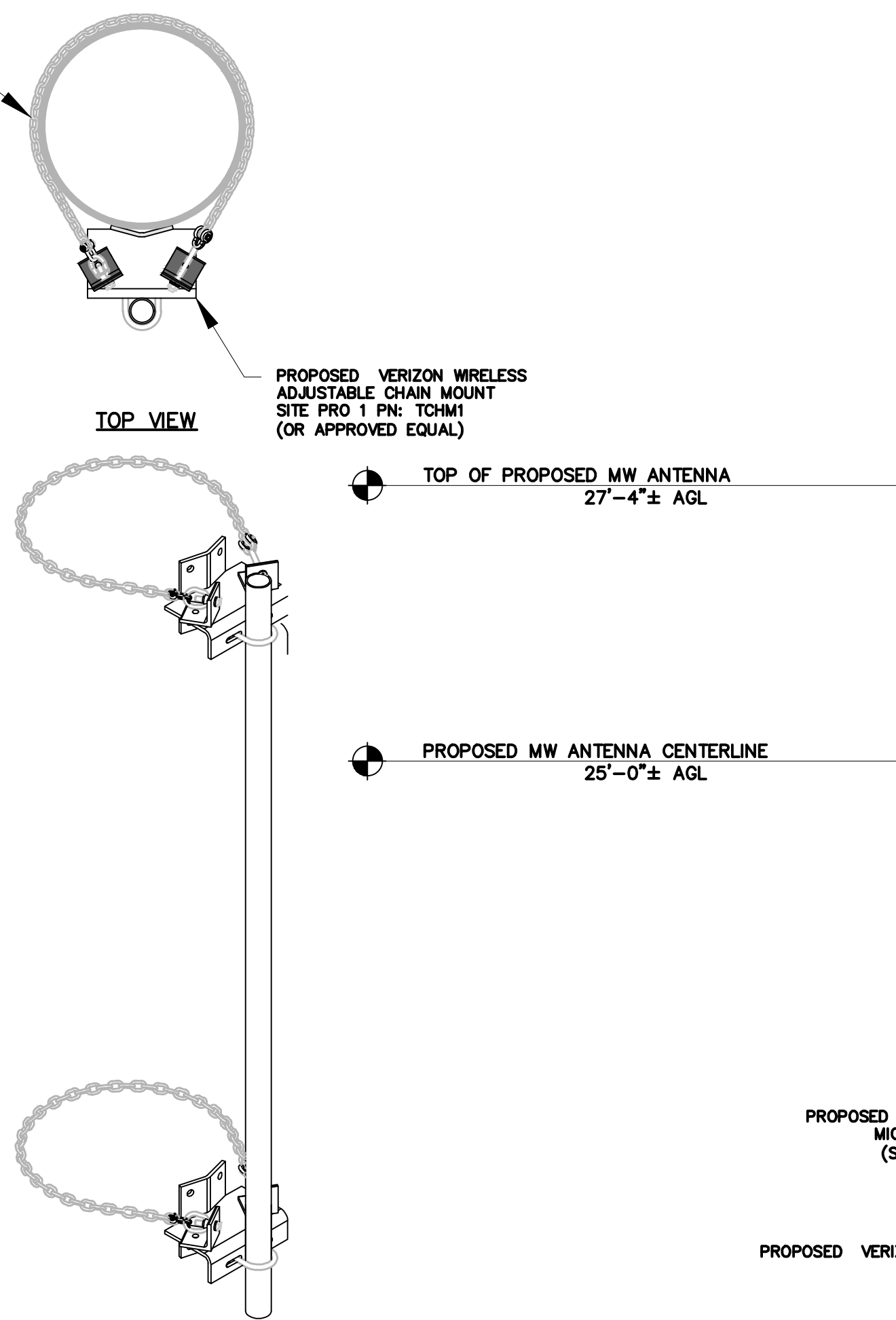
SHEET NUMBER

C-3

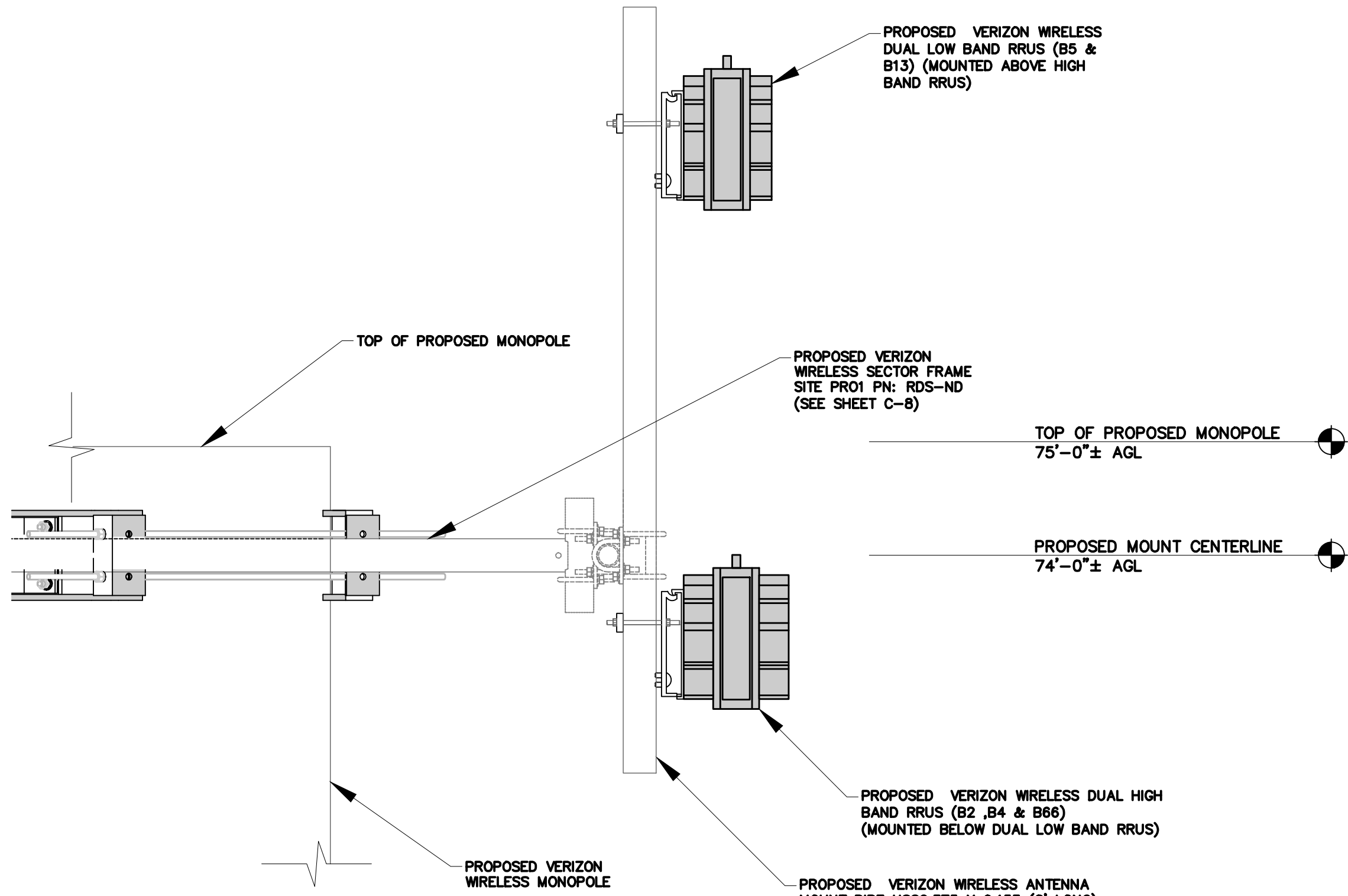


MANUFACTURER:		COMMSCOPE	
MODEL NO.:		VHLPX4-18-1GR	
DIAM:		4" (50.8" ACTUAL)	
DEPTH:		2'-5.5000"	
WEIGHT:		101 LBS	
A	29.5"	F	54.9"
B	16.8"	G	26.4"
C	6.9"	H	6.3"
D	50.8"	J	12.6"
E	15.0"		

1 MW DISH ANTENNA DETAIL
SCALE: NTS

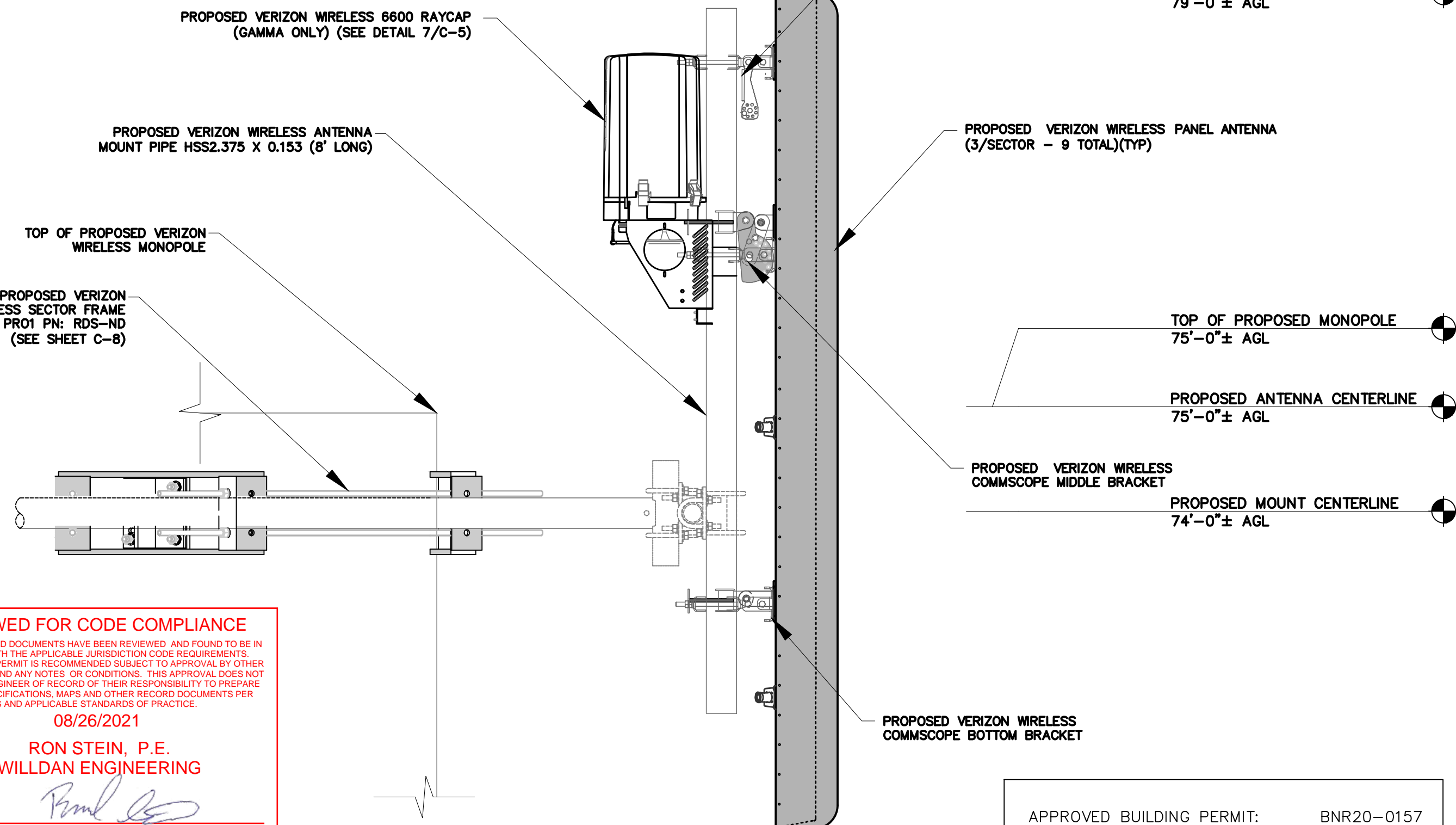


2 MW DISH ANTENNA MOUNTING DETAIL
SCALE: NTS



3 RRUS MOUNTING DETAIL
SCALE: NTS

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08/26/2021
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WILLDAN ENGINEERING
SIGNATURE



4 EQUIPMENT MOUNTING DETAIL
SCALE: NTS

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

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SITE INFORMATION
COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS
30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE
EQUIPMENT MOUNTING
DETAILS

SHEET NUMBER

C-4

ANTENNA AND CABLE SCHEDULE

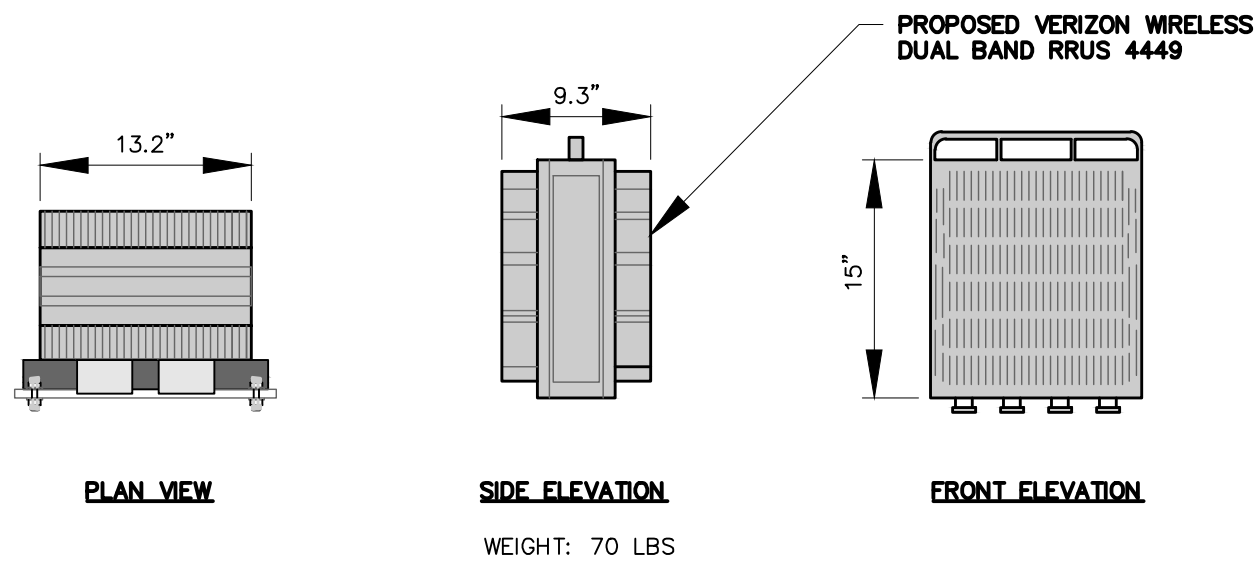
SECTOR	STATUS	FREQUENCY	ANTENNA DATA	AZIMUTH (TRUE NORTH)	# OF ANTENNAS PER SECTOR	ANTENNA C HEIGHT (AGL)	# OF CABLES
ALPHA	PROPOSED	700/850-LTE/PCS-LTE	NHH 65C R2B 96.0" x 11.9" x 7.1, 51.6 LBS	120°	1	75'	JUMPERS FROM RRUS
ALPHA	PROPOSED	700/850-LTE/AWS1&3	NHH 65C R2B 96.0" x 11.9" x 7.1, 51.6 LBS	120°	1	75'	JUMPERS FROM RRUS
BETA	PROPOSED	700/850-LTE/PCS-LTE	NHH 65C R2B 96.0" x 11.9" x 7.1, 51.6 LBS	220°	1	75'	JUMPERS FROM RRUS
BETA	PROPOSED	700/850-LTE/AWS1&3	NHH 65C R2B 96.0" x 11.9" x 7.1, 51.6 LBS	220°	1	75'	JUMPERS FROM RRUS
GAMMA	PROPOSED	700/850-LTE/PCS-LTE	NHH 65C R2B 96.0" x 11.9" x 7.1, 51.6 LBS	20°	1	75'	JUMPERS FROM RRUS
GAMMA	PROPOSED	700/850-LTE/AWS1&3	NHH 65C R2B 96.0" x 11.9" x 7.1, 51.6 LBS	20°	1	75'	JUMPERS FROM RRUS
--	PROPOSED	MW	VHLPX4-18-1GR	285.75°	1	25'	(1) PROPOSED EW90 COAX

NOTES:

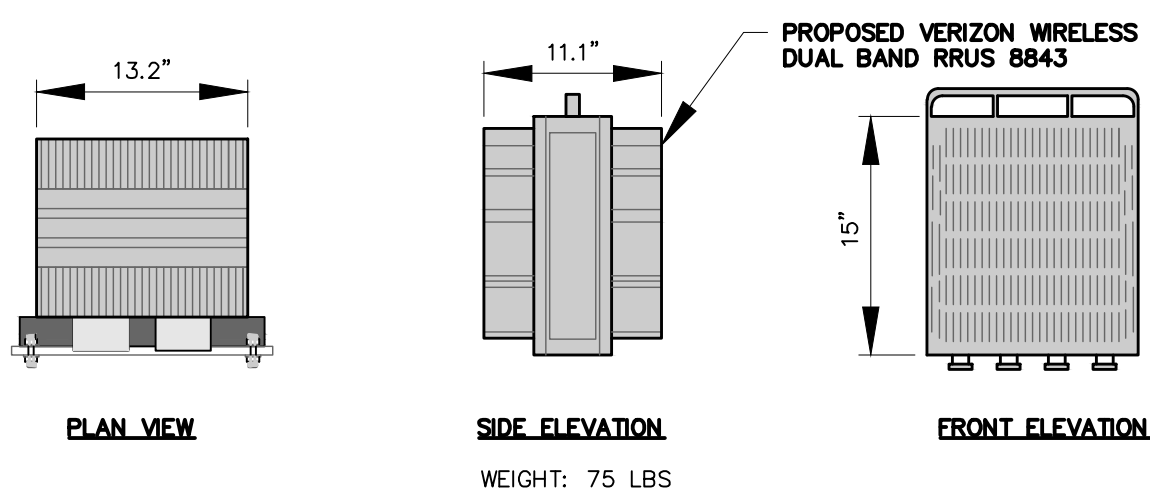
- CONTRACTOR TO TAG COAX CABLE AT BOTH ENDS WITH ANTENNA DESIGNATION AS PER COLOR CODING SHEET PROVIDED BY VERIZON WIRELESS AND AS DIRECTED BY VERIZON WIRELESS EQUIPMENT ENGINEER.
- ANTENNA AND COAXIAL SCHEDULE BASED ON AN RF ANTENNA DESIGN SHEET--DATA RECEIVED FROM THE RF ENGINEER, DATED 4/1/20.
- GC TO GET ALL MECHANICAL AND ELECTRICAL TILTS FROM THAT SHEET.

RRU/RAYCAP AND HYBRID SCHEDULE

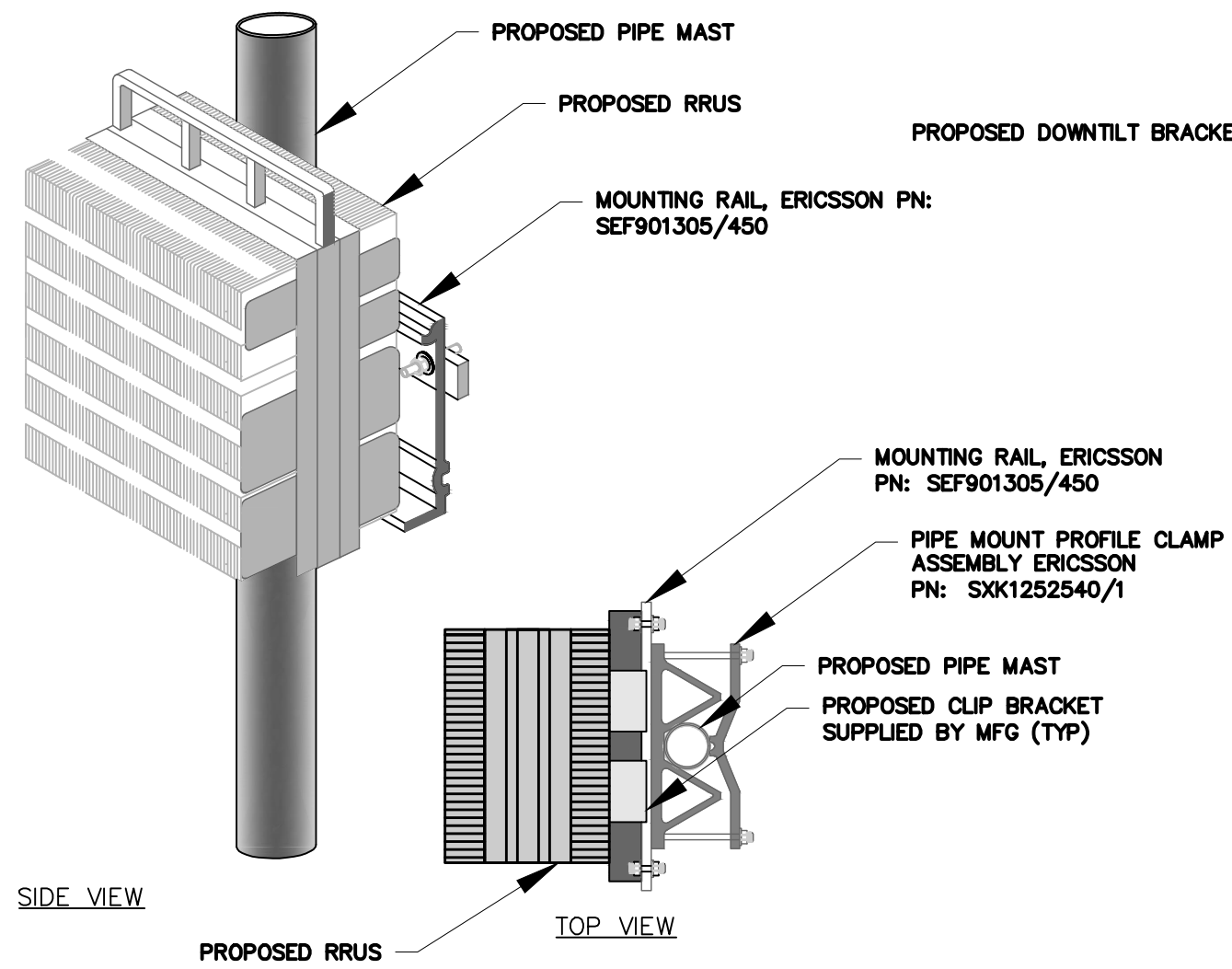
SECTOR	STATUS	UNITS	UNIT DATA	# OF UNITS	CABLE TYPE	# OF CABLES
ALPHA	PROPOSED	DUAL LOW BAND RRUS 4449 (B5 & B13)	15" x 13.2" x 9.3", 70 LBS	1	POWER/FIBER CABLE FROM RAYCAP	2
ALPHA	PROPOSED	DUAL HIGH BAND RRUS 8843 (B2 & B4,B66)	15" x 13.2" x 11.1", 75 LBS	1	POWER/FIBER CABLE FROM RAYCAP	2
BETA	PROPOSED	DUAL LOW BAND RRUS 4449 (B5 & B13)	15" x 13.2" x 9.3", 70 LBS	1	POWER/FIBER CABLE FROM RAYCAP	2
BETA	PROPOSED	DUAL HIGH BAND RRUS 8843 (B2 & B4,B66)	15" x 13.2" x 11.1", 75 LBS	1	POWER/FIBER CABLE FROM RAYCAP	2
GAMMA	PROPOSED	DC-6600 RAYCAP	19.15" x 16.5" x 12.6", 31.5 LBS	1	PROPOSED 6X12 HYBRID	2
GAMMA	PROPOSED	DUAL LOW BAND RRUS 4449 (B5 & B13)	15" x 13.2" x 9.3", 70 LBS	1	POWER/FIBER CABLE FROM RAYCAP	2
GAMMA	PROPOSED	DUAL HIGH BAND RRUS 8843 (B2 & B4,B66)	15" x 13.2" x 11.1", 75 LBS	1	POWER/FIBER CABLE FROM RAYCAP	2



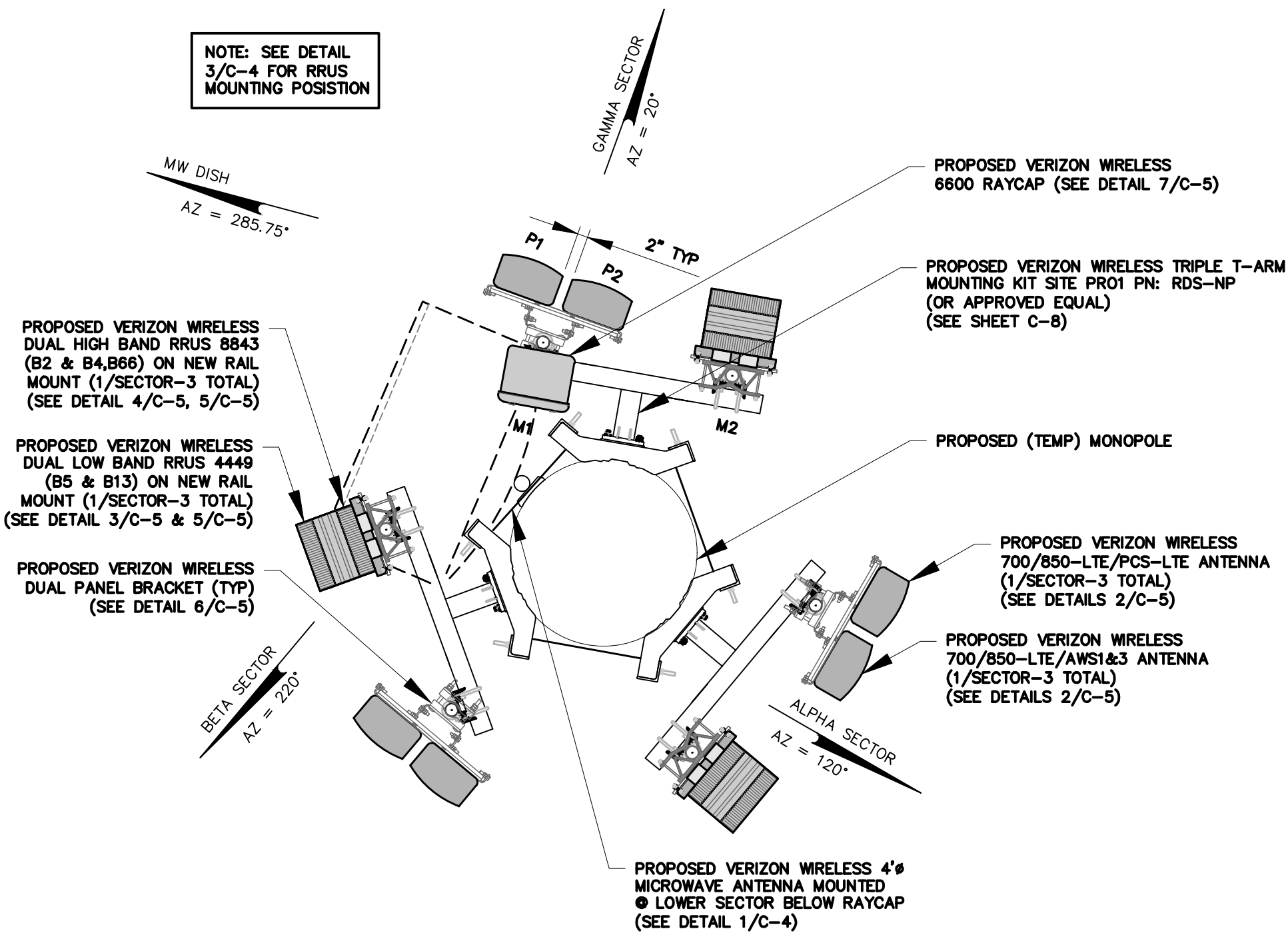
3 DUAL LOW BAND RRUS 4449
SCALE: NTS



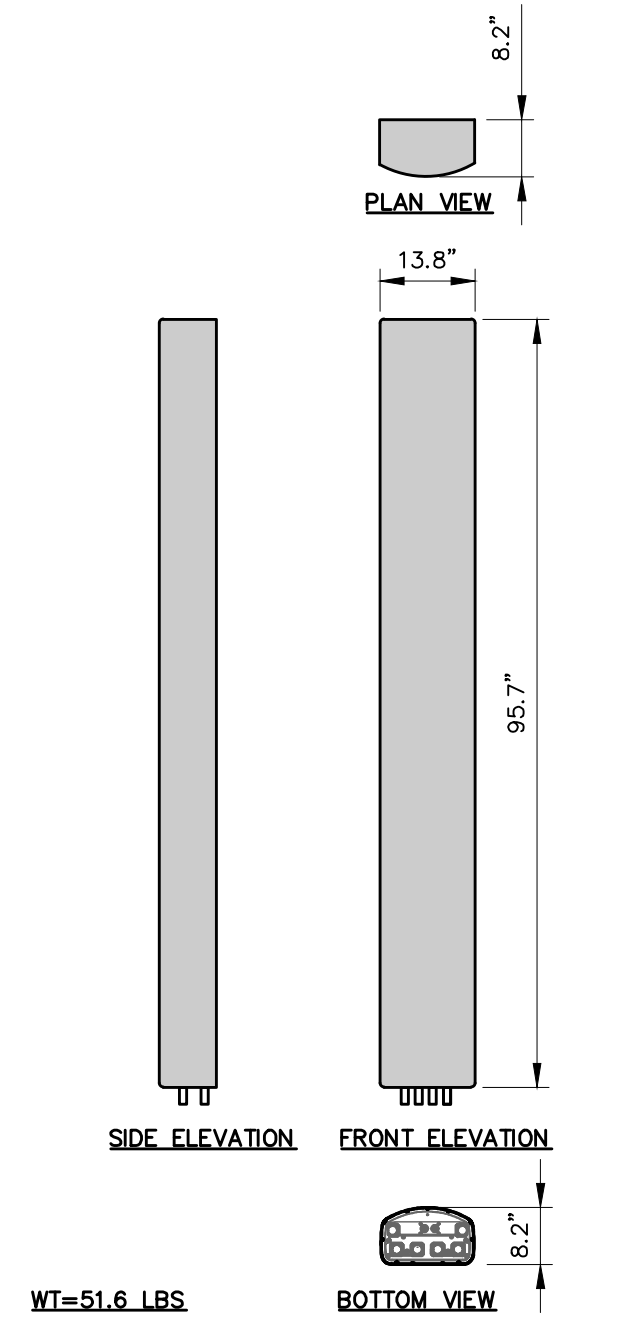
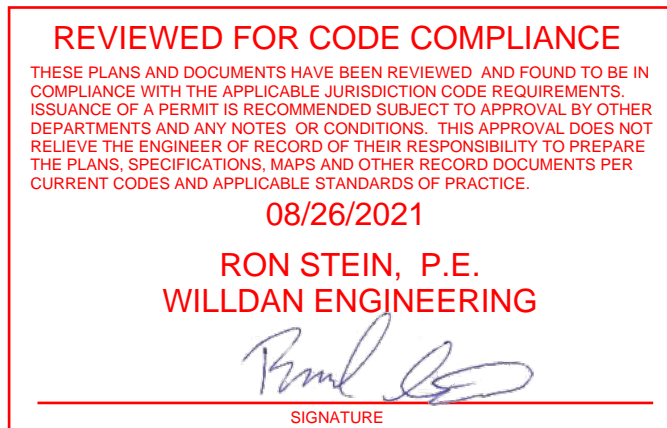
4 DUAL HIGH BAND RRUS 8843
SCALE: NTS



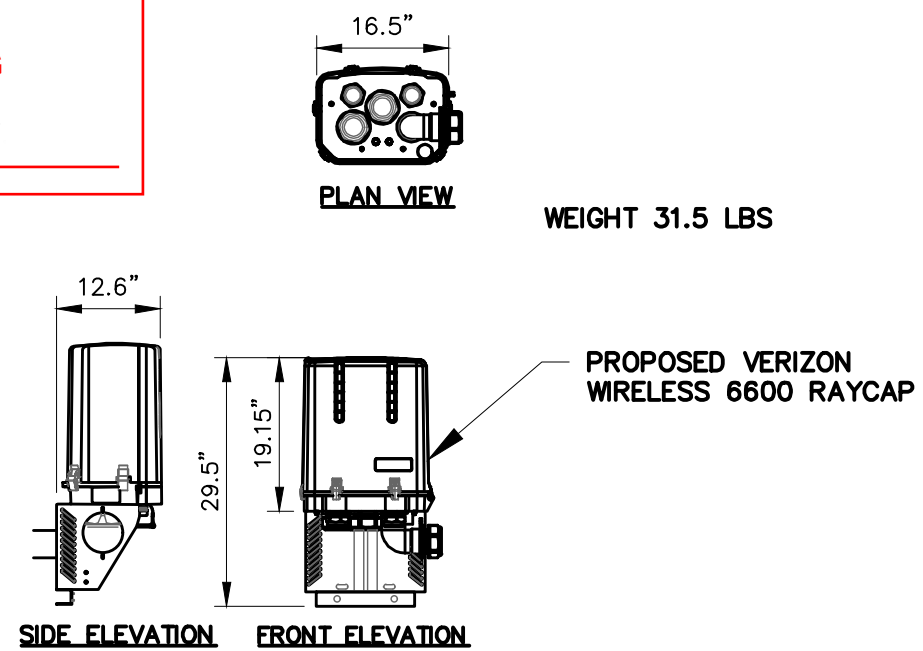
5 RRUS RAIL MOUNT DETAIL
SCALE: NTS



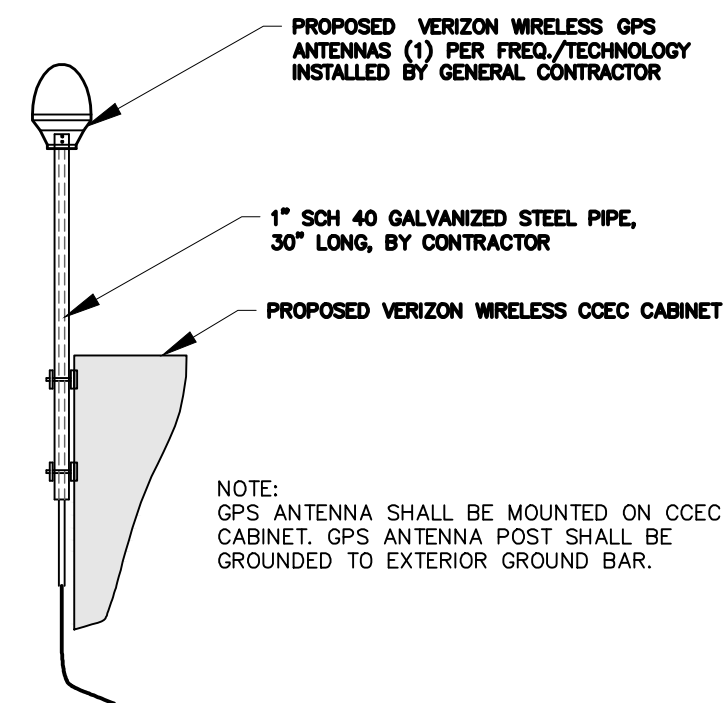
1 ANTENNA ORIENTATION PLAN
SCALE: 1" = 4' (11x17 SIZE)
1" = 2' (22x34 SIZE)



2 ANTENNA DETAIL
SCALE: 1/2" = 1'-0"



7 RAYCAP DETAIL
SCALE: 1/2" = 1'-0"



8 GPS ANTENNA DETAIL
SCALE: NTS

verizon

15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618

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SITE INFORMATION

COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS

30398 TP COW CAMP ROAD
RANCHO MISSION VILLO
ORANGE COUNTY
CA 92694

SHEET TITLE

EQUIPMENT SCHEDULES,
ANTENNA ORIENTAION PLAN
& DETAILS

SHEET NUMBER

C-5



WORK ORDER NUMBER	DRAWN BY
1.037A	GJC

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RON STEIN, P.E.
WILLDAN ENGINEERING


SIGNATURE

1 2

ORIGINAL SIZE IN INCHES

OW CAMP TEMP
N #: 20191978985
C: 552086
LANNING AREA 2 AND
LANNING SUBAREA 2.1

398 TP COW CAMP ROAD
NCHO MISSION VIEJO
RANGE COUNTY
A 92694

CABINET DETAILS
(NOT USED)

C-6

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

1 NOT USED
C-6 SCALE: NTS

ESOF028-ECB Series

INPUT

Voltage (nominal)	Single phase, 2W+N+PE (L1, L2, N, FG); 100 - 120V _{AC} , 12A (Max.)
Frequency	50/60Hz

OUTPUT

Voltage (nominal)	1. 54V _{DC} , 57A (Max.) 2. 54V _{DC} , 46A (Max.)
-------------------	--

MECHANICAL

Dimensions (W x H x D)	856.8 x 2132.8 x 1156.1mm (33.7 x 84.0 x 45.5in)
Weight	approx. 395kg (870.8lb) (empty enclosure)

ENVIRONMENTAL

Operating Temperature	0°C to +46°C (32°F to +115°F)
Storage Temperature	-40°C to +70°C (-40°F to +158°F)
Altitude	0 to +4000m
Related Humidity	95%, non-condensing (Max.)
Acoustic Noise	55dBA
Cooling	1. Power room: EX-E08 C (Air-con and Fan) EX-E08 D (Air-con) 2. Battery room: TEC x2

STANDARDS

Environment	RoHS
-------------	------

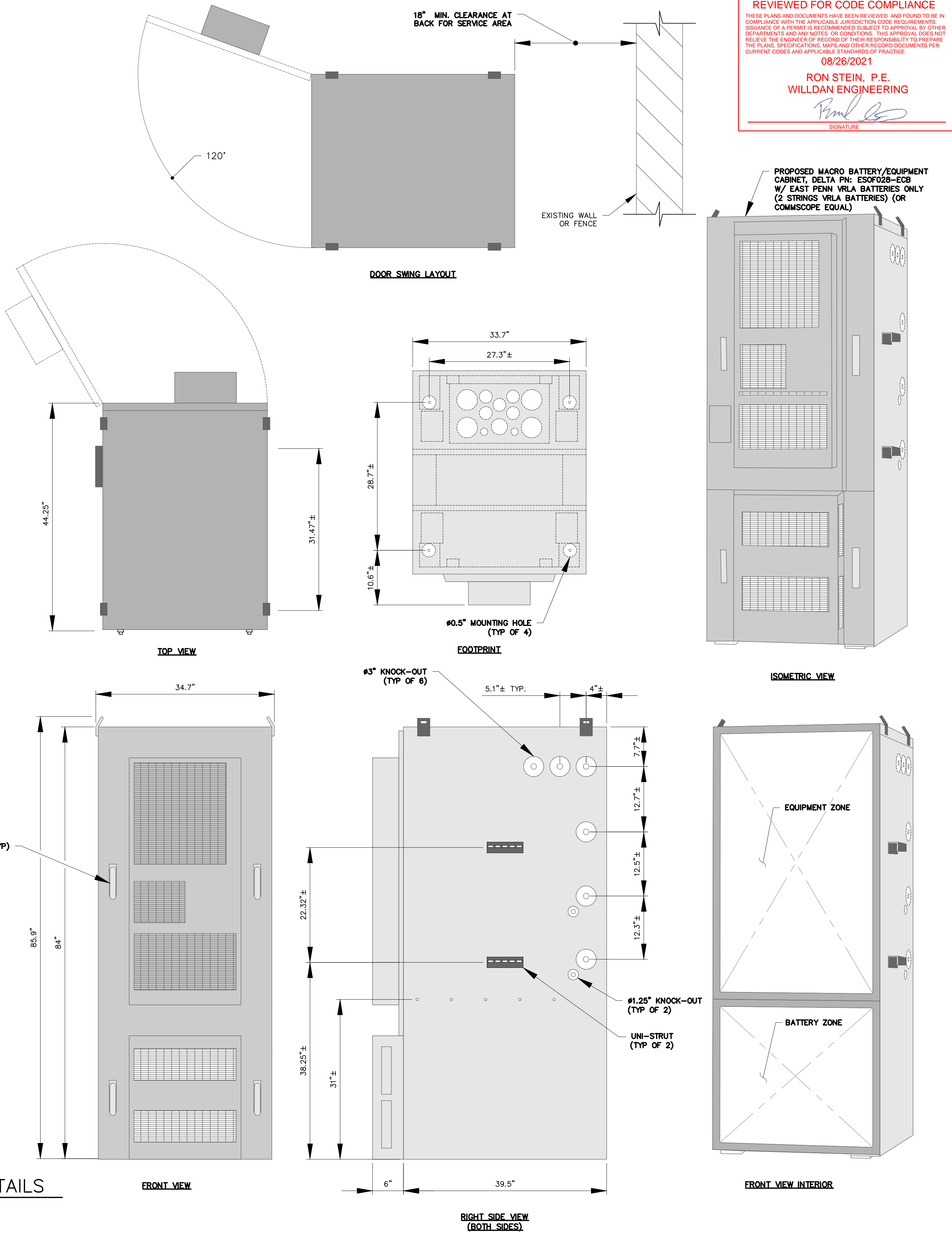
* All specifications are subject to change without prior notice.

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

NOTES

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SEE 2/C-2 FOR ANCHORAGE DETAILS



DELTA ESOFO28-ECB CABINET DETAILS
(BATTERY/EQUIPMENT CABINET)

SCALE: NTS

verizon

15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618

Tectonic

PRACTICAL SOLUTIONS. EXCEPTIONAL SERVICE.
Tectonic Engineering Consultants
1420 Bristol Street North Phone: (949) 502-8555
Suite 210 (800) 529-6531
Newport Beach, CA 92660 www.tectonicingineering.com

WORK ORDER NUMBER 9691.037A
DRAWN BY GJC

NO.	DATE	ISSUE
3	02/20/20	PER REDESIGN
4	03/09/20	PER REDESIGN
5	03/30/20	PER REDESIGN
6	04/08/20	PER UC COMMENTS
7	04/10/20	FOR CONSTRUCTION
8	04/22/20	PER REDESIGN
9	05/13/20	PER JDX COMMENTS
10	05/21/20	PER JDX COMMENTS
11	06/01/20	PER JDX COMMENTS
12	06/23/20	PER JDX COMMENTS
13	08/11/21	PER JDX COMMENTS

RELEASED BY
DATE

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0 1 2 3
ORIGINAL SIZE IN INCHES

SITE INFORMATION
COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS
30398 TP COW CAMP ROAD
RANCHO MISSION VILLO
ORANGE COUNTY
CA 92694

SHEET TITLE
CABINET DETAILS

SHEET NUMBER

C-7



1.037A		GJC
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DATE	ISSUE
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06/01/20	PER JDX COMMENTS
06/23/20	PER JDX COMMENTS
08/11/21	PER JDX COMMENTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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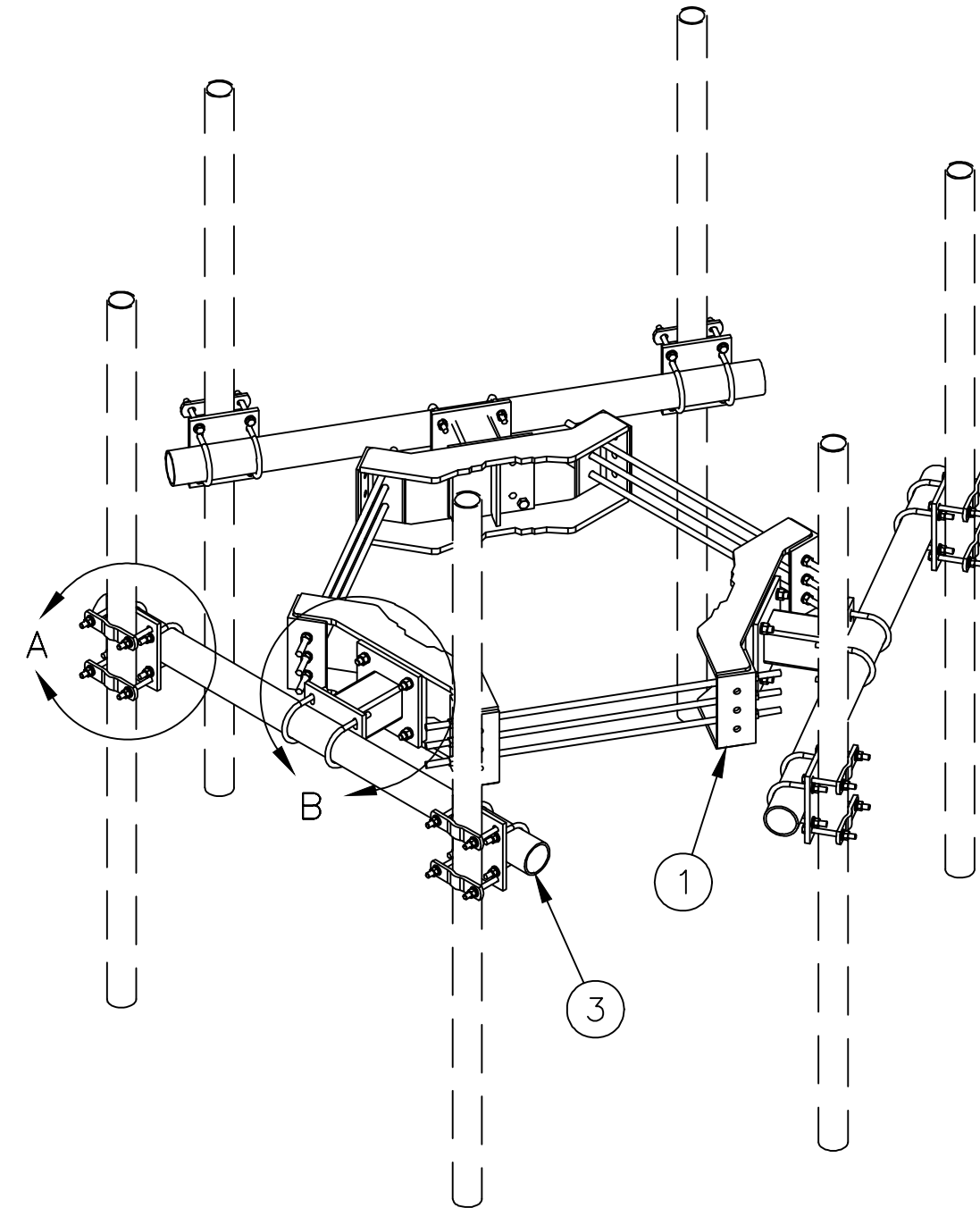
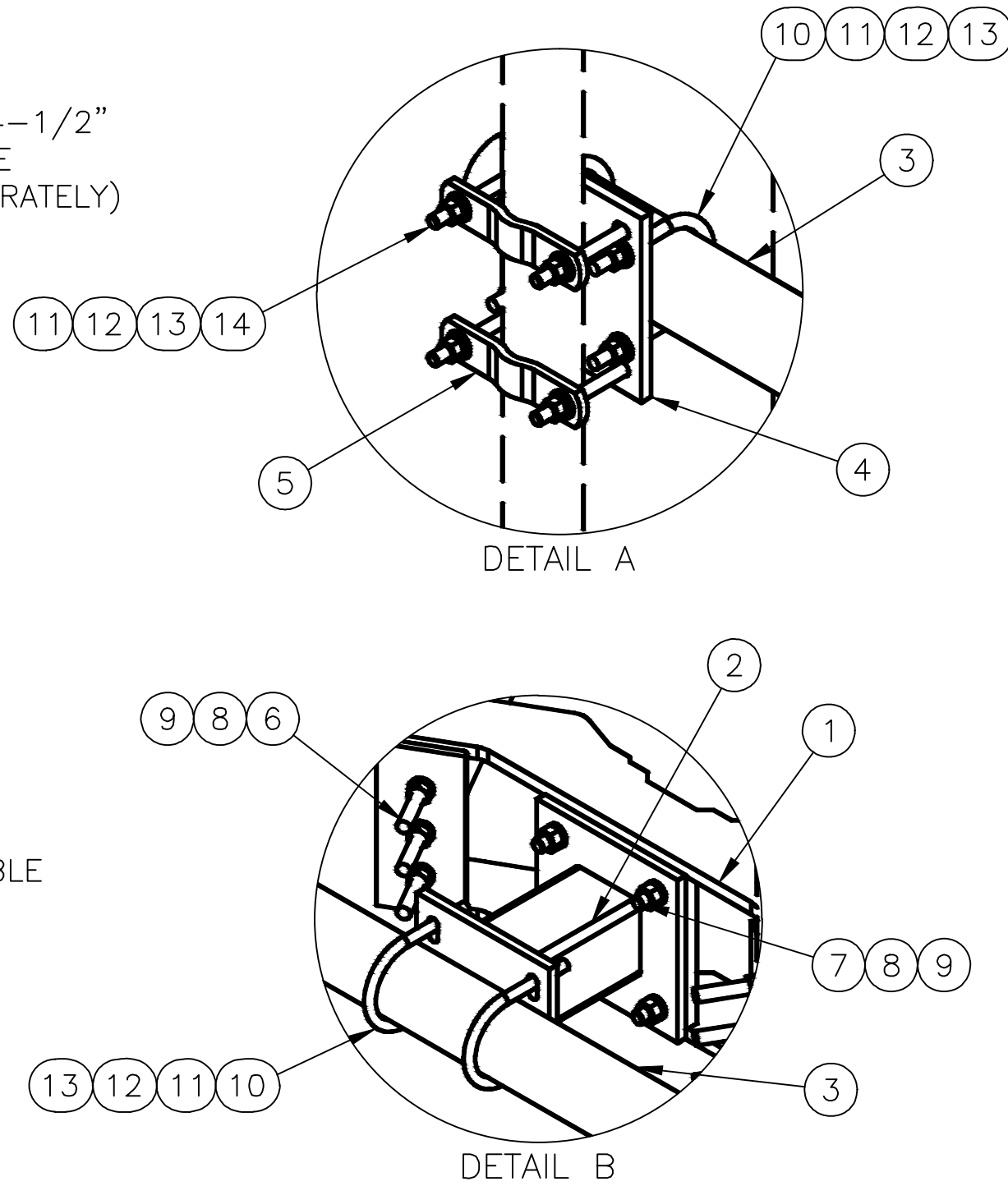


OW CAMP TEMP
N #: 20191978985
C: 552086
LANNING AREA 2 AND
LANNING SUBAREA 2.1

398 TP COW CAMP ROAD
 ANCHO MISSION VIEJO
 RANGE COUNTY
 A 92694

ECTOR MOUNT DETAILS

C-8



ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	3	X-LWRM	RING MOUNT WELDMENT		65.47#	196.41#
2	3	X-WWM01	8" STANDOFF ARM		20.43#	61.29#
3	3	P360	3" SCH. 40 PIPE (3 1/2" O.D.)	60"	37.97#	113.91#
4	6	SCX7	CROSSOVER PLATE		7.55#	45.30#
5	12	X-115765	5" V-CLAMP		1.02#	12.24#
6	9	G58R-24	5/8" THREADED ROD	24"	1.69#	15.21#
6	9	G58R-48	5/8" THREADED ROD	48"	3.38#	30.42#
7	12	A582112	5/8" (A325) HEX BOLT (HDG)	2 1/2"	0.22#	2.64#
8	30	G58LW	5/8" LOCK WASHER		0.02#	0.60#
9	30	A58NUT	5/8" HEX NUT (HDG)		0.12#	3.60#
10	18	X-UB1358	1/2" X 3-5/8" U-BOLT	5 1/2"	0.77#	13.86#
11	84	G12FW	1/2" FLAT WASHER		0.01#	0.84#
12	60	G12LW	1/2" LOCK WASHER		0.01#	0.60#
13	60	G12NUT	1/2" HEX NUT (HDG)		0.05#	3.00#
14	24	G12045	1/2" (GRADE 5) HEX BOLT (HDG)	4 1/2"	0.37#	8.88#
14	24	G12065	1/2" (GRADE 5) HEX BOLT (HDG)	6 1/2"	0.53#	12.72#
					TOTAL WT.	548#

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CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE
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PROHIBITED.

TOLERANCE NOTE:
TOLERANCES ON DIMENSIONS UNLESS OTHERWISE NOTED ARE
(PLUS OR MINUS) MACHINING 0.030" AND STRUCTURAL 0.060".
BENDS ARE (+ OR -) 1/2 DEGREE.

DESCRIPTION
DUAL ANTENNA POLE MOUNT ASSEMBLY
17 3/8" STANDOFF
12" TO 45" MONOPOLE DIAMETER

DR BY BMC 1/25/2010	CPD NO.	DRAWING USAGE CUSTOMER
ENG. APPROVAL	CHECKED BY MVC 01/25/2010	

valmont 

1-877-467-4763 Plymouth, IN
1-888-880-9191 Salem, OR

RDS-NP

RDS-NP

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

SECTOR MOUNT SPECIFICATIONS

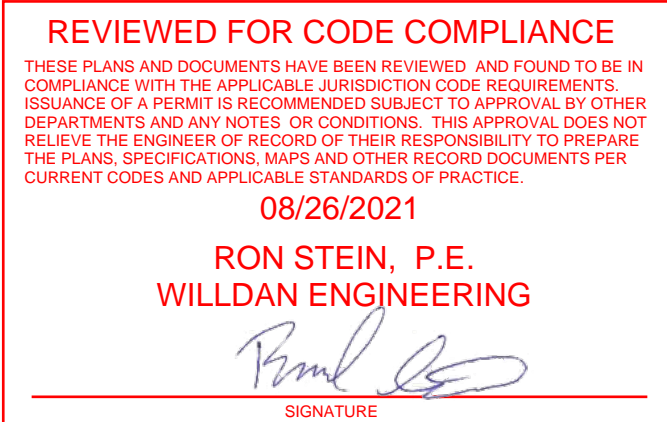
SCALE: NTS

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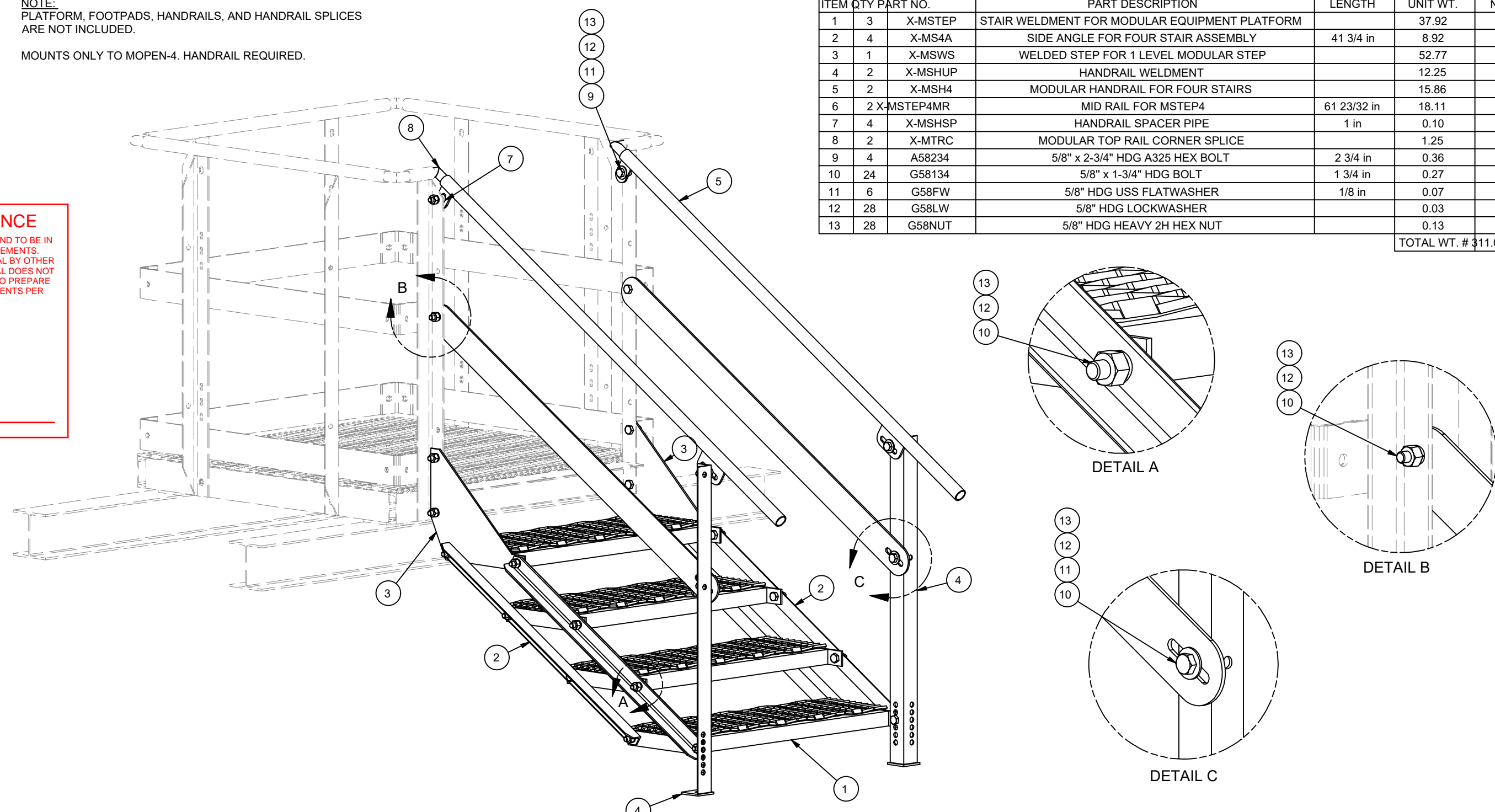
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08/26/2021
RON STEIN, P.E.
WILLDAN ENGINEERING


SIGNATURE



PARTS LIST						
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	3	X-MSTEP	STAIR WELDMENT FOR MODULAR EQUIPMENT PLATFORM		37.92	113.77
2	4	X-MS4A	SIDE ANGLE FOR FOUR STAIR ASSEMBLY	41 3/4 in	8.92	35.67
1	1	X-MSW5	WELDED STEP FOR 1 LEVEL MODULAR STEP		52.77	52.77
1	1	X-MSHJR	HANDRAIL W/FLAT END		12.25	24.49
5	2	X-MS4H	MODULAR HANDRAIL FOR FOUR STAIRS		15.86	31.72
6	2	X-MSTEP4MR	MID RAIL FOR MSTEP4	61 23/32 in	18.11	36.23
7	4	X-MSHSP	HANDRAIL SPACER PIPE	1 in	0.10	0.40
8	2	X-MTRC	MODULAR TOP RAIL CORNER SPLICE		1.25	2.51
9	4	A58234	5/8" x 2-3/4" HDG A325 HEX BOLT	2 3/4 in	0.36	1.42
10	24	G58134	5/8" x 1-3/4" HDG BOLT	1 3/4 in	0.27	6.45
11	6	G58FW	5/8" HDG USS FLAT WASHER	1/8 in	0.07	0.42
12	28	G58LU	5/8" HDG LOCKWASHER		0.03	0.73
13	28	G58NUT	5/8" HDG HEAVY 2H HEX NUT		0.13	3.64
					TOTAL WT.	# 311.08



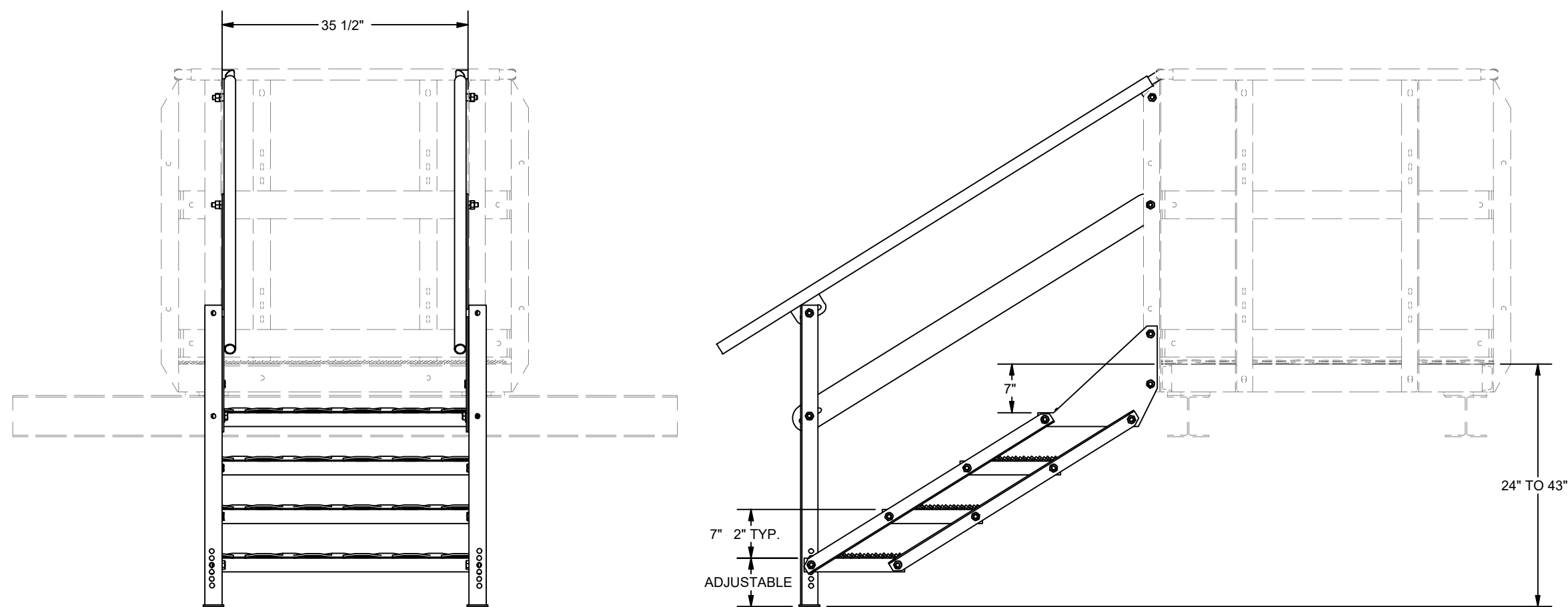
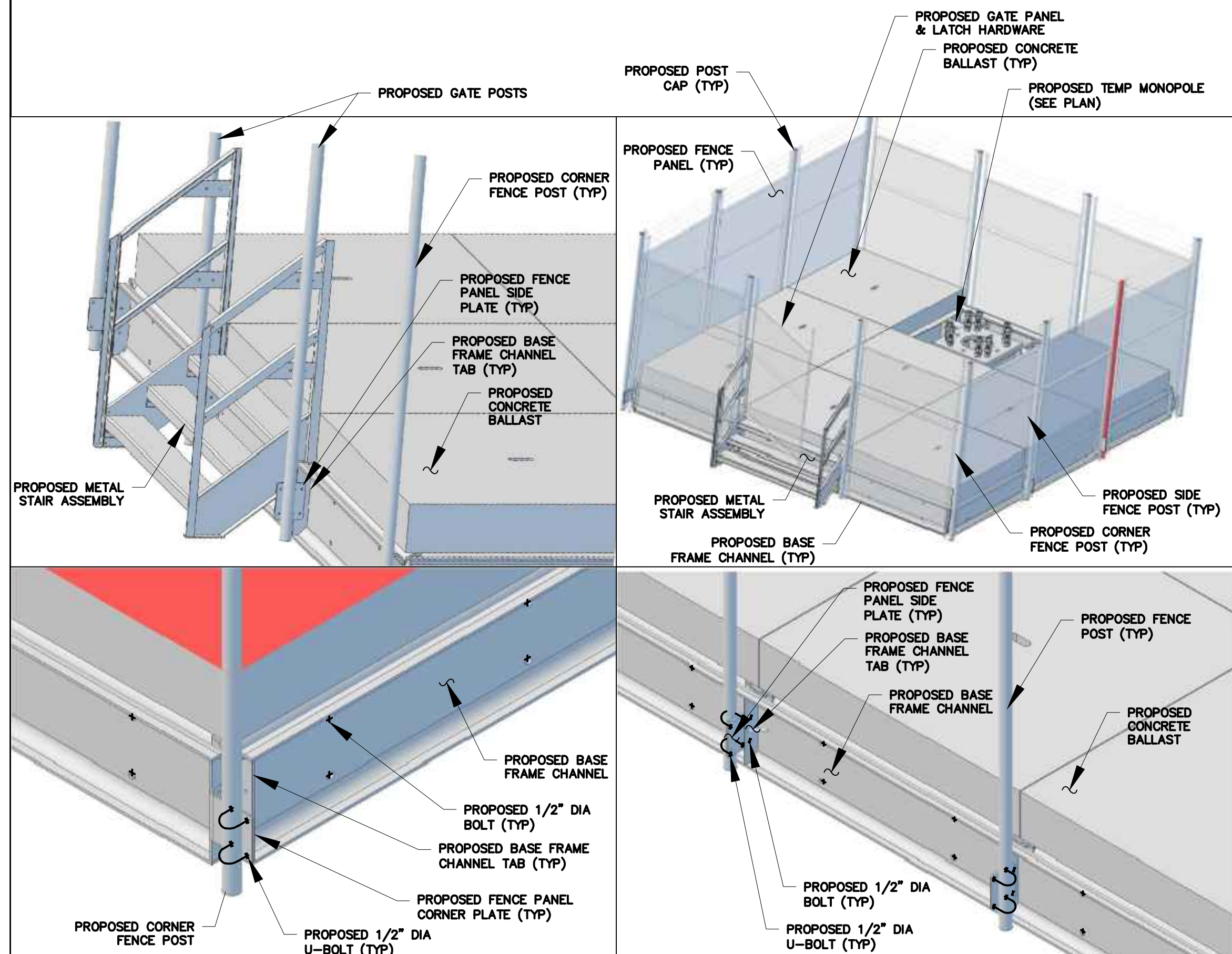
LS15 PLATFORM DIMENSIONS

				TOLERANCE NOTES TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE: SAWED, SHEARED AND GAS CUT EDGES (± 0.030) DRILLED AND GAS CUT HOLES (± 0.030) - NO CONING OF HOLES LASER CUT EDGES AND HOLES (± 0.010) - NO CONING OF HOLES BENDS ARE ± 1/2 DEGREE ALL OTHER MACHINING (± 0.030) ALL OTHER ASSEMBLY (± 0.040)				DESCRIPTION FOUR STAIR ASSEMBLY FOR MODULAR EQUIPMENT PLATFORM				<div><div><div><div><div>SITE</div><div>PRO</div><div>1</div></div></div><div><div>Valmont</div><div>CONWAY</div></div></div><div>Engineering Support Team: 1-866-753-7446</div></div> <div>Locations: New York, NY Atlanta, GA Los Angeles, CA Plymouth, MI Salem, OR Dallas, TX</div>					
A ADDED MID RAIL FOR HANDRAIL				CEK 7/13/2016				CPD NO.		DRAWN BY CEK 9/23/2015		ENG. APPROVAL		PART NO.		MSTEP-4	
REV DESCRIPTION OF REVISIONS REVISION HISTORY				CPD BY DATE				CLASS 81 02		DRAWING USAGE CUSTOMER		CHECKED BY BMC 7/15/2016		DWG NO.		MSTEP-4	
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3. BASE IF THE STAIRS SHALL BE INSTALLED ON LEVEL AND FIRM GROUND.

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123



2
C-9

LITE SITE FENCE KIT DETAILS

SCALE: NTS

[illegible]

15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618



Tectonic Engineering Consultants
1420 Bristol Street North Phone: (949) 502-8555
Suite 210 (800) 829-6531
Newport Beach, CA 92660 www.tectonicengineering.com

WORK ORDER NUMBER DRAWN BY

1691.037A

DRAWN BY

NO.	DATE
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ISSUE

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DATE _____

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SITE INFORMATION

COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AM
PLANNING SUBAREA 2

SITE ADDRESS

30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE

EQUIPMENT PLATFORM DETAILS

SHEET NUMBER

C-9



Model: DC-GEN-15-DV-ACEF

Order Code: 1HV-HC15D

14.5 kW, variable speed, DC Generator with adjustable:
Start and stop voltage

The Ascot H-Cubic is the smallest foot print variable speed DC Genset operating at - 48 V and specifically designed to supply power to cell Sites.

This product is designed to meet the customer's demand of a high quality long life product, engineered keeping in mind space optimization, simplicity in installation and fuel-efficient power generation.

Working principle

The core of the system is the Ascot Hybrid Control Logic that allows the H-Cubic to work as a back-up to a primary power source (Mains / PV array / Wind) or as a primary source generating power with engine running 24/7 (off grid application).

In case of back up application, the embedded Ascot Hybrid Logic starts the engine when the voltage in the DC bus reaches a low set value (primary source failure). The engine automatically stops when the voltage reaches the set value and the primary source is restored.

Serial ports with modbus protocol are available for remote monitor/control that can be connected to existing SCADA system.

An integrated Web based remote control system is available as an option. SNMP is available as well.

All these features make the Ascot H-Cubic the best reliable power solution allowing the supply of telecom sites with the lowest CapEx and OpEx.

1 Order Code Configuration

- DC generating set output rated power	■ 14.5 kW
- DC Output nominal voltage	■ -51.5 Vdc
- Sound and weather proof canopy	■ 66 dB(A) @ 7mt (tolerance ± 3 dB)
- Integrated control panel with Hybrid Logic and DC Output protection for Short circuit /Overload	■
- Remote Control Facilities	■ USB, RS485 or RS232 with Modbus RTU protocol, RJ45 Ethernet, SNMP ■ N.B Voltage free contacts for remote alarm signalling
- Integrated double wall fuel tank	■ 340 U.S. Gallons (204 liters)
- Warranty conditions	■ 18 months /1000 engine running hours whichever comes first
■ Standard	

2 Optional

Order Code

- Web based remote control system with 3G sim card or LAN port, SNMP protocol available	1HA-WEBRMS4-3G-SNMP
---	---------------------

Complete System: ETL/UL Listed to meet UL STD 2200 and NFPA 30-37-54-58-70-70E
Fuel tank is double wall UL 142 listed

Meets EPA Emission Regulations for California & is tested and certified by Kubota

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Tel: +39 0933 91.30.03 | Fax: +39 0933 91.54.48 | www.ascotinternational.com



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08/26/2021
RON STEIN, P.E.
WILLDAN ENGINEERING



H-CUBIC

Order Code: 1HV-HC15D

31/01/2021

1/3

3 Engine specifications

- Engine manufacturer	Kubota Ascot customized
- Engine model	D1305-E4B
- Fuel	Diesel
- Max Gross Engine Power (kW/m)	18.5 kW/m @ 2600 RPM
- Service Interval (hours)	As per Engine manufacturer specification
- Governor type	Electronic
- Displacement (litre)	1.261
- Number of Cylinder	3 vertical
- Intake system	Naturally Aspirated
- Cooling system	Water
- Engine starting battery	12V
- Glow Plug	Included

3.1 Fuel Consumption (fuel density 3.2 kg/gal)

- 25% of load	0.26 gal/h
- 50% of load	0.52 gal/h
- 75% of load	0.78 gal/h
- 100% of load	1.04 gal/h

4 DC Generator Specifications

- Alternator manufacturer	Ascot
- Alternator model	APMG 15/31
- Power (kW) @ ISO 3046 conditions	15 kW
- Design	Brushless no bearing
- Insulation Class	B
- Rotor type	PMG
- Alternator cooling	Direct drive centrifugal blower fan

5 Control Panel composition

- N°1 DSE electronic control card
- N°1 Hybrid Control Logic
- N°1 Load Circuit Breaker (LCB)

5.1 Control Module

- External Interface	Deep Sea card customized for Ascot
- Internal Core Hybrid Control Logic	ASCOT-ASH
- Serial ports	Include USB, RS232 or RS485, RJ45 Ethernet ports
- Display	LCD
- Configurable Inputs	Available
- Configurable Outputs	Available

5.2 Control Module Readings

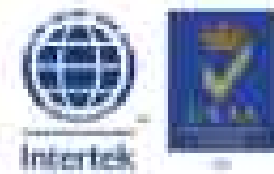
- Firmware version monitoring	- DG energy - Cumulative (kwh)
- DG Status (Auto/Manual)	- DG run time - Cumulative (hrs)
- DG voltage (volt)	- Engine speed (rpm)
- DG current (amp)	- DG battery voltage - Charging voltage
- DG power (kw)	- Fuel level in tank (in %)
- DG energy - Daily (kwh)	- Fuel volume in tank (in liters)

5.3 Control Module Alarms

- Overcrank (fail to start)	- High starting battery voltage above 13 volts
- High engine temperature shutdown	- Low starting battery voltage below 9 volts
- Low oil pressure	- Fan fail
- Over speed	- Fuel level below low fuel level (45%)
- Not in auto mode	- Generator running variable
- E-Stop depressed	- Fuel leak
- High engine temp. pre-alarm temp. above 95°C	- E-Stop depressed or not in auto
- Low fuel below 15%	- Fuel level over 90%
- Low coolant level	- Door open

6 Weights and dimensions

- Total dimensions Length x Width x Height (cm)	45.4x34.2x75.2 in / 123x87x191 cm
- Dry weight (kg)	1065 lb / 485 kg



Ascot Industrial srl | Zona Industriale Terra Strada - 93013 Gela (CL) - ITALY
Tel: +39 0933 91.30.03 | Fax: +39 0933 91.54.48 | www.ascotinternational.com



APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

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15505 SAND CANYON AVENUE
BUILDING "D" 1ST FLOOR
IRVINE, CA 92618



Tectonic Engineering Consultants
1420 Bristol Street North Phone: (949) 502-8555
Suite 210 (800) 929-6531
Newport Beach, CA 92660 www.tectonicengineering.com

WORK ORDER NUMBER	DRAWN BY
9691.037A	GJC

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SITE INFORMATION

COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS

30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

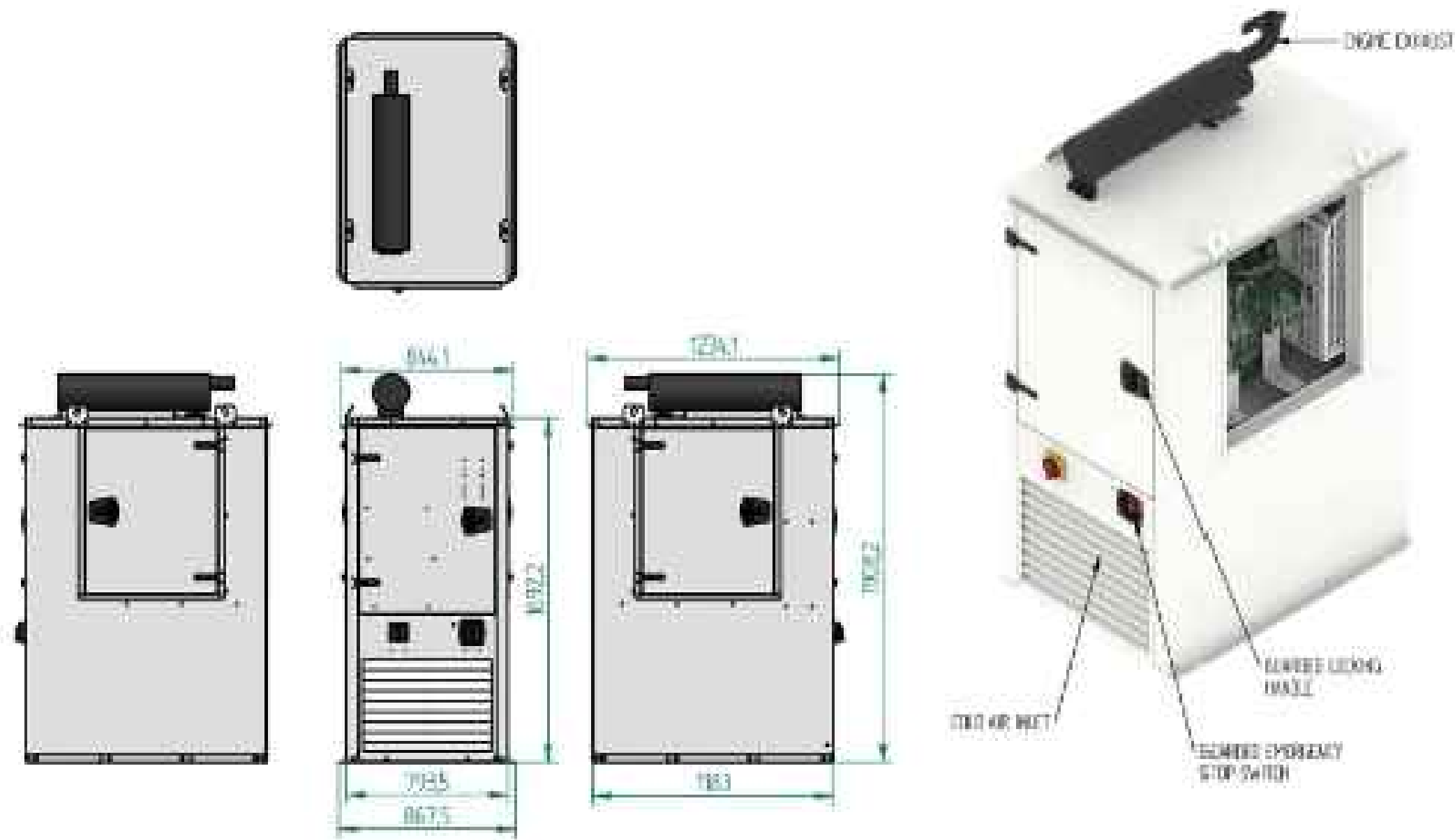
SHEET TITLE

GENERATOR DETAILS

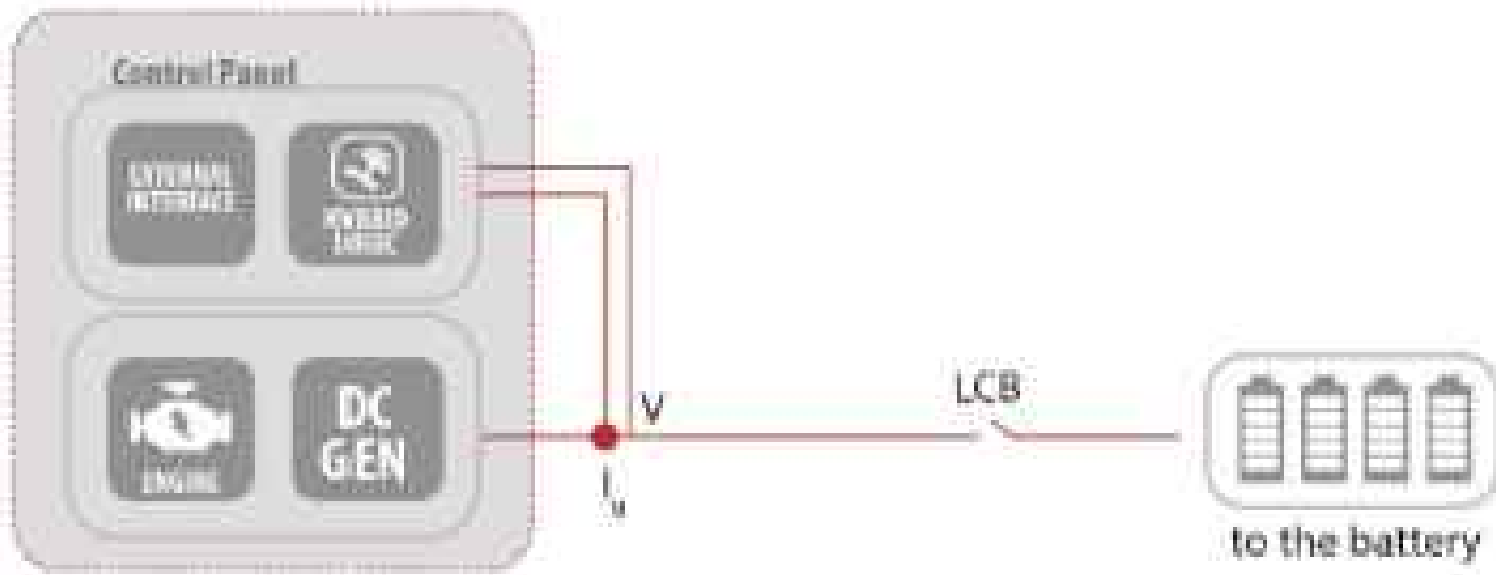
SHEET NUMBER

C-10A

Outline Drawing of the Genset



TYPICAL BLOCK DIAGRAM



Legend:
LCB: Load Circuit Breaker

7.0 Certifications and norms

ISO 9001:2008	The generator set is designed and manufactured in the Ascot factory certified to ISO 9001:2008
ISO 8528	The generator set is designed to comply with ISO 8528 regulation and the sound level pressure of the canopy is tested and certified according to ISO 8528 regulation
CEI EN regulation	The generator set is designed to comply with CEI EN regulations to guarantee the safety of the operator and the correct functionality of whole system
CE	The generator set meets CE certification
INTERTEK ETL UL Listed Component	Conforms to UL STD 2200, NFPA 30-37-54-58-70-70E and is certified by Intertek. Meets EPA Emission Regulations for California & is tested and certified by Kubota



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H-CUBIC

Order Code: 1HW-HC15D

3/20/2021

3/2

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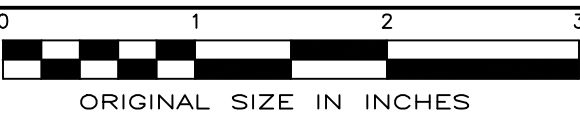
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08/26/2021

RON STEIN, P.E.
WILLDAN ENGINEERING

SIGNATURE

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SHEET TITLE

GENERATOR DETAILS

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CHAPTER 49

REQUIREMENTS FOR WILDLAND-URBAN
INTERFACE FIRE AREAS

SECTION 4901
GENERAL

4901.1 Scope. The mitigation of conditions where a wildfire burning in vegetative fuels may readily transmit fire to buildings and threaten to destroy life, overwhelm fire suppression capabilities, or result in large property losses shall comply with this chapter.

4901.2 Purpose. The purpose of this code is to provide minimum standards to increase the ability of a building to resist the intrusion of flame or burning embers being projected by a vegetation fire and contributes to a systematic reduction in conflagration losses through the use of performance and prescriptive requirements.

SECTION 4902
DEFINITIONS

4902.1 General. For the purpose of this chapter, certain terms are defined as follows:

CDF DIRECTOR. Director of the California Department of Forestry and Fire Protection.

FIRE PROTECTION PLAN. A document prepared for a specific project or development proposed for a Wildland-Urban Interface Fire Area. It describes ways to minimize and mitigate potential for loss from wildfire exposure.

The Fire Protection Plan shall be in accordance with this Article. When required by the enforcing agency for the purposes of granting modifications, a fire protection plan shall be submitted. Only locally adopted ordinances that have been filed with the California Building Standards Commission in accordance with Section 101.14 or the Department of Housing and Community Development in accordance with Section 101.15 shall apply.

FIRE HAZARD SEVERITY ZONES. Geographical areas designated pursuant to California Public Resources Codes, Sections 4201 through 4204 and classified as Very High, High, or Moderate in State Responsibility Areas or as Local Agency Very High Fire Hazard Severity Zones designated pursuant to California Government Code, Sections 51175 through 51189.

The California Code of Regulations, Title 14, Section 1280 entitles the maps of these geographical areas as "Maps of the Fire Hazard Severity Zones in the State Responsibility Area of California."

LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE. An area designated by a local agency upon the

recommendation of the CDF Director pursuant to Government Code, Sections 51177(c), 51178 and 5118, that is not a state responsibility area and where a local agency, city, county, city and county, or district is responsible for fire protection.

STATE RESPONSIBILITY AREA. Lands that are classified by the Board of Forestry pursuant to Public Resources Code Section 4125 where the financial responsibility of preventing and suppressing forest fires is primarily the responsibility of the state.

WILDFIRE. Any uncontrolled fire spreading through vegetative fuels that threatens to destroy life, property, or resources as defined in Public Resources Code, Sections 4103 and 4104.

WILDFIRE EXPOSURE. One or a combination of radiant heat, convective heat, direct flame contact and burning embers being projected by vegetation fire to a structure and its immediate environment.

WILDLAND-URBAN INTERFACE FIRE AREA. A geographical area identified by the state as a "Fire Hazard Severity Zone" in accordance with the Public Resources Code, Sections 4201 through 4204, and Government Code, Sections 51175 through 51189, or other areas designated by the enforcing agency to be at a significant risk from wildfires.

SECTION 4903
PLANS [RESERVED]

SECTION 4904
FIRE HAZARD SEVERITY ZONES

4904.1 General. Lands in the state are classified by the CDF Director in accordance with the severity of wildfire hazard expected to prevail in those areas and the responsibility for fire protection, so that measures may be identified which will reduce the potential for losses to life, property, and resources from wildfire.

4904.2 Classifications. The CDF Director classifies lands into fire hazard severity zones in accordance with California Public Resources Code, Sections 4201 through 4204 for State Responsibility Areas and accordance with Government Code, Sections 51175 through 51189 for areas where a local agency is responsible for fire protection.

SECTION 4905
WILDFIRE PROTECTION
BUILDING CONSTRUCTION

4905.1 General. Materials and construction methods for exterior wildfire exposure protection shall be applied within geographical areas where a wildfire burning in vegetative fuels may readily transmit fire to buildings and threaten to destroy life, overwhelm fire suppression capabilities, or result in large property losses.

4905.2 Construction methods and requirements within established limits. Within the limits established by law, construction methods intended to mitigate wildfire exposure shall comply with the wildfire protection building construction requirements contained in the California Building Standards Code, including the following:

1. California Building Code, Chapter 7A.
2. California Residential Code, Section R327.
3. California Referenced Standards Code, Chapter 12-7A.

4905.3 Establishment of limits. The establishment of limits for the Wildland-Urban Interface Fire Area's required construction methods shall be designated pursuant to the California Public Resources Code for State Responsibility areas or by a local agency following a finding supported by substantial evidence in the record that the requirements of this section are necessary for effective fire protection within the area.

SECTION 4906
HAZARDOUS VEGETATION
AND FUEL MANAGEMENT

4906.1 General. Hazardous vegetation and fuels shall be managed to reduce the severity of potential exterior wildfire exposure to buildings and to reduce the risk of fire spreading to buildings as required by applicable laws and regulations.

4906.2 Application. Buildings and structures located in the following areas shall maintain the required hazardous vegetation and fuel management:

1. All unincorporated lands designated by the State Board of Forestry and Fire Protection as State Responsibility Area (SRA) including:
 - 1.1. Moderate Fire Hazard Severity Zones.
 - 1.2. High Fire Hazard Severity Zones.
 - 1.3. Very-high Fire Hazard Severity Zones.
2. Land designated as Very-high Fire Hazard Severity Zone by cities and other local agencies.

4906.3 Requirements. Hazardous vegetation and fuels around all applicable buildings and structures shall be maintained in accordance with the following laws and regulations:

1. Public Resources Code, Section 4291.
2. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 3, Section 1299 (see guidance

for implementation "General Guideline to Create Defensible Space").

3. California Government Code, Section 51182.
4. California Code of Regulations, Title 19, Division 1, Chapter 7, Subchapter 1, Section 3.07.

SECTION 4907
DEFENSIBLE SPACE

4907.1 General. Defensible space will be maintained around all buildings and structures in State Responsibility Area (SRA) as required in Public Resources Code 4290 and "SRA Fire Safe Regulations" California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Section 1270.

Buildings and structures within the Very-high Fire Hazard Severity Zones of a Local Responsibility Areas (LRA) shall maintain defensible space as outlined in Government Code 51175 – 51189 and any local ordinance of the authority having jurisdiction.

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08/26/2021
RON STEIN, P.E.
WILLDAN ENGINEERING
SIGNATURE

verizon

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IRVINE, CA 92618

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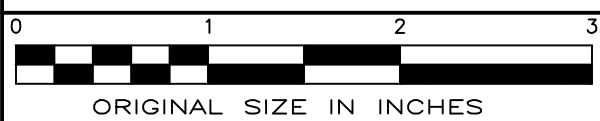
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SITE INFORMATION
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PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

SITE ADDRESS
30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

SHEET TITLE
FIRE DEPARTMENT NOTES

SHEET NUMBER
11

FD-1

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

LOAD CALCULATION

LOAD	AMPS
PROPOSED LOAD:	88.0
TOTAL DEMAND:	88.0
VOLTAGE: 120/240V SINGLE PHASE 3W 200A	

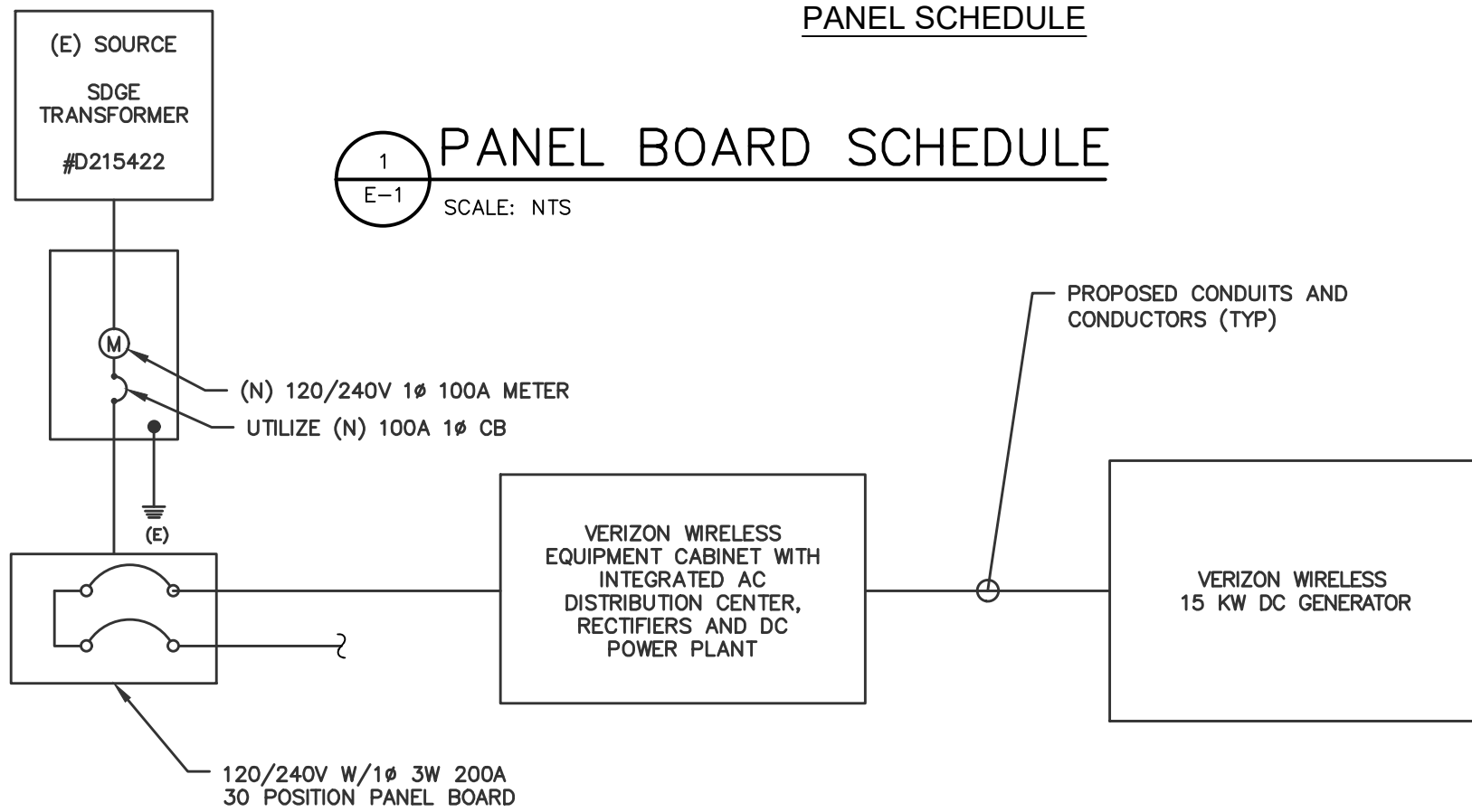
PANEL NAME:		VZW AC PANEL			MODEL NUMBER:		SIEMENS PL SERIES PW3040L1125CU														
RATED VOLTAGE:		240	120	VOLTS		PHASE/WIRE:		1	3												
MAIN BREAKER:		200		AMPS		BUS RATING:		200			KEY DOOR LATCH:		YES								
MOUNT:		SURFACE				NEUTRAL BAR:		YES			HINGED DOOR:		YES								
ENCLOSURE TYPE:		NEMA 3R				AIC:		65K													
POS	USAGE FACTOR	BUS AMPS		LOAD	POLES	AMPS	L1	L2	POLES	AMPS	LOAD	BUS AMPS		USAGE FACTOR	POS						
		L1	L2									L1	L2								
1	1	18		RECTIFIER	2	30A			30A	2	RECTIFIER		18	1	2						
3	1		18												18		1	4			
5	1	18		RECTIFIER	2	30A			30A	2	RECTIFIER		18	1	6						
7	1		18												18		1	8			
9										1	20A	GFI RECEPT. /LIGHT	16	1.25	10						
11																12					
13																	14				
15																		16			
17																			18		
19																				20	
21																					22
23																					
25				26																	
27					28																
29						30															
		52	36				SUB TOTAL AMPS							SUB TOTAL AMPS:		36	36				
												FACTORED TOTAL AMPS:		88	72						

NOTES:
1. ALL CONDUCTORS ARE TYPE THWN (75°C) COPPER.
2. MAXIMUM LENGTH OF RUN FOR RECTIFIER CIRCUITS IS 50FT.
3. ASCO INTEGRATED LOAD CENTER INCLUDES 200 AMP MAIN DISCONNECT AND TRANSFER SWITCH FOR PORTABLE OR PERMANENT GENERATOR.
4. RECTIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.

PANEL SCHEDULE

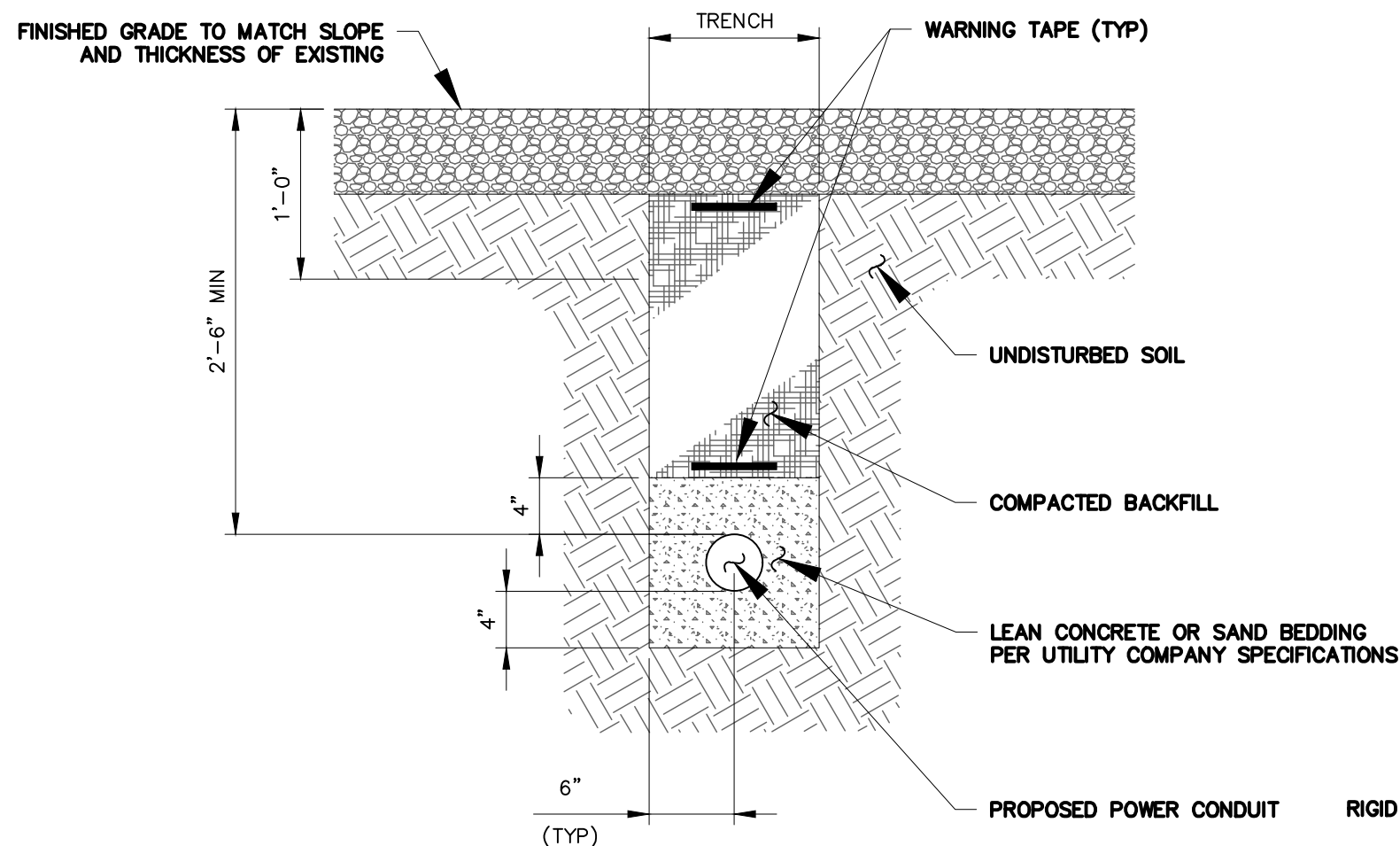
1 PANEL BOARD SCHEDULE

SCALE: NTS



2 SINGLE LINE DIAGRAM

SCALE: NTS



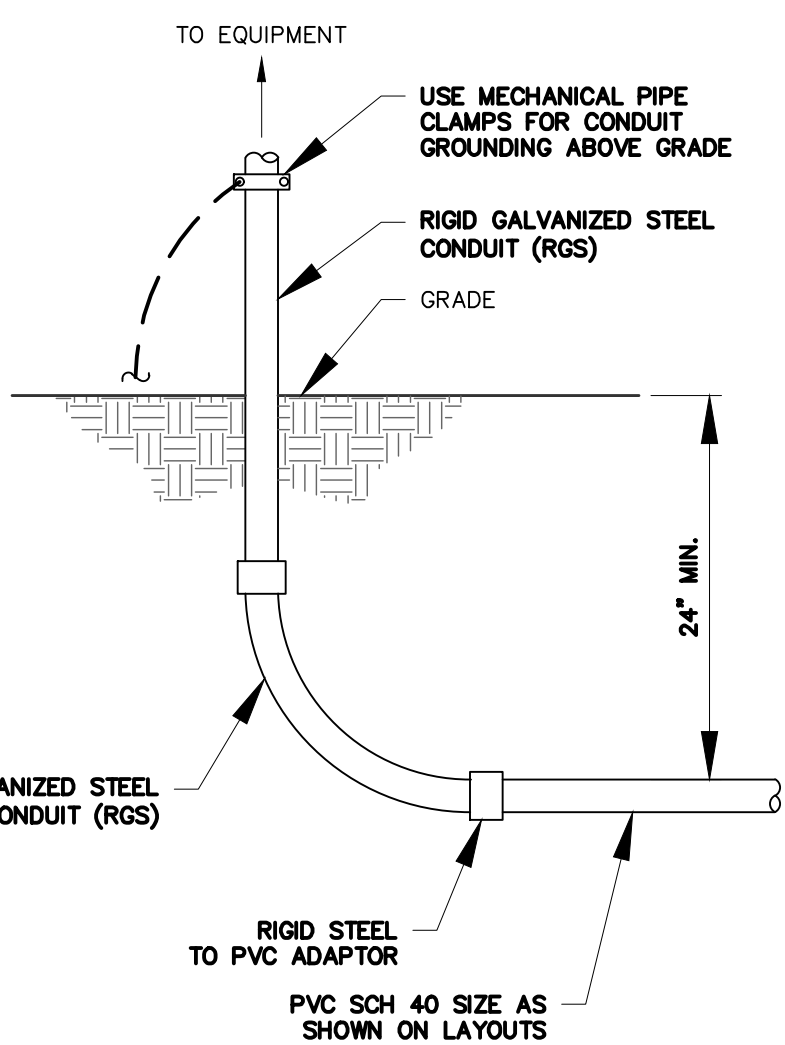
- NOTES:
1. BACKFILL SHALL BE CLEAN FILL WITHOUT STONES AND SHALL BE THOROUGHLY COMPACTED IN 12" LAYERS BY TAMPING OR APPROVED EQUAL METHOD. NO BELLING OF TRENCH SHALL BE ALLOWED.
2. SCH 40 PVC CONDUIT SHALL BE USED BELOW GRADE.

3 CONDUIT TRENCH DETAILS

SCALE: N.T.S.

4 UNDERGROUND CONDUIT STUB-UP

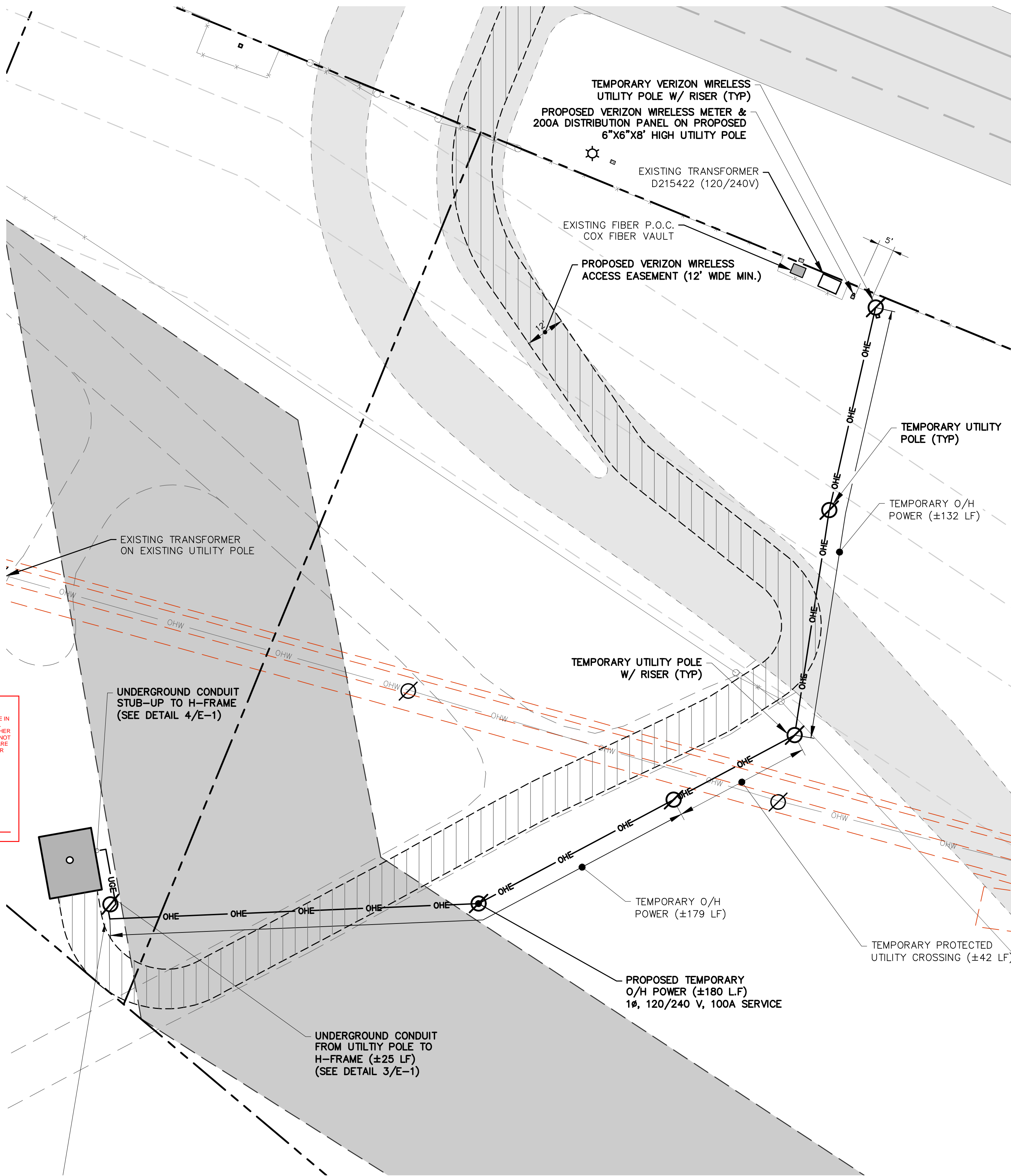
SCALE: NTS



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08/26/2021

RON STEIN, P.E.
WILLDAN ENGINEERING
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5 POWER ROUTING PLAN

SCALE: 1" = 40' (11x17 SIZE)
1" = 20' (22x34 SIZE)

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verizon

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0 1 2 3
ORIGINAL SIZE IN INCHES

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ORANGE COUNTY
CA 92694

SHEET TITLE

PANEL BOARD SCHEDULE,
SINGLE LINE DIAGRAM
& CABLE ROUTING PLAN

SHEET NUMBER

E-1



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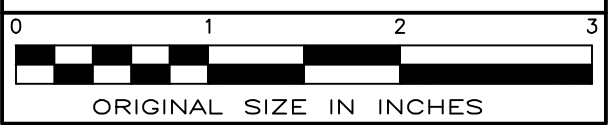
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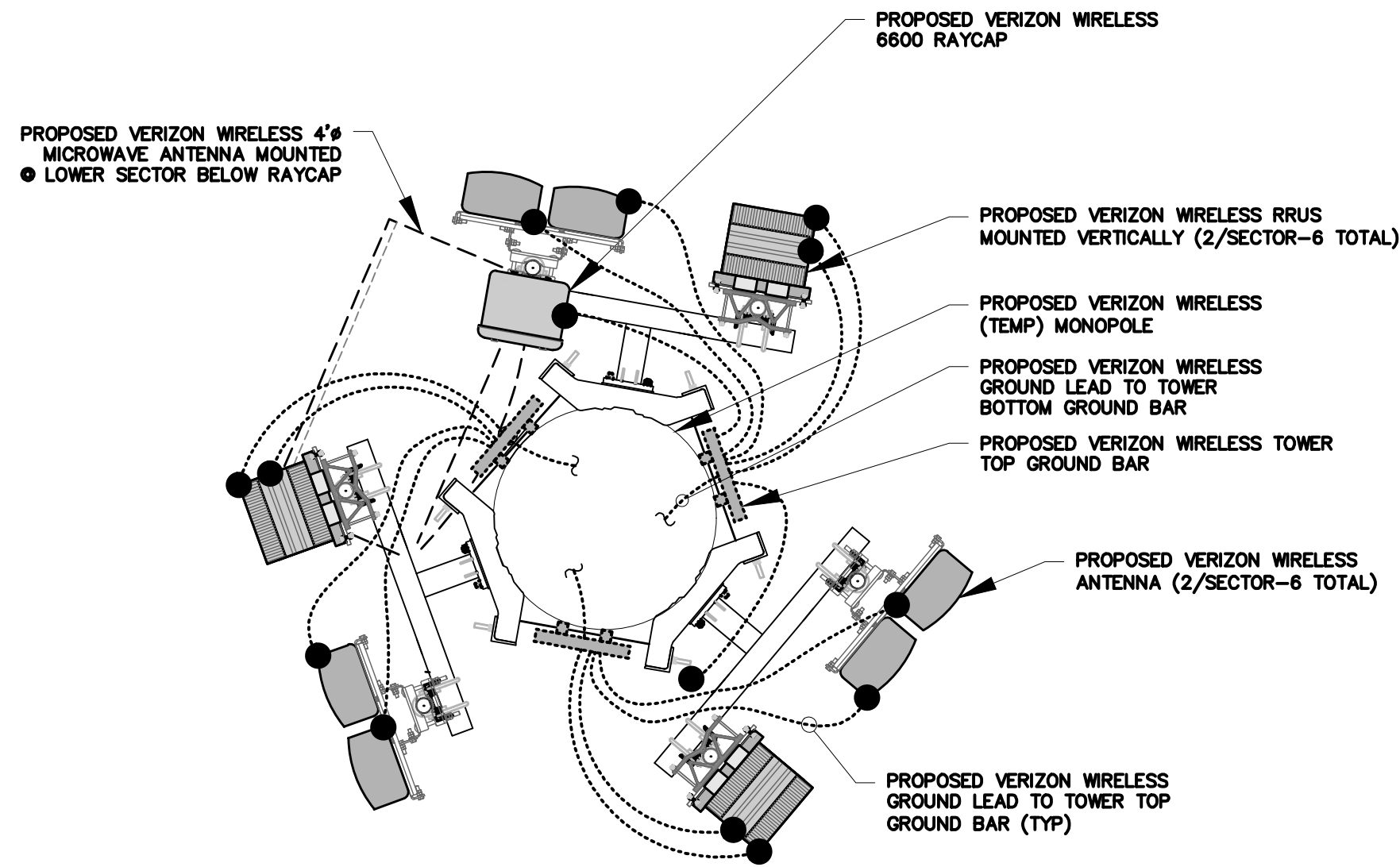
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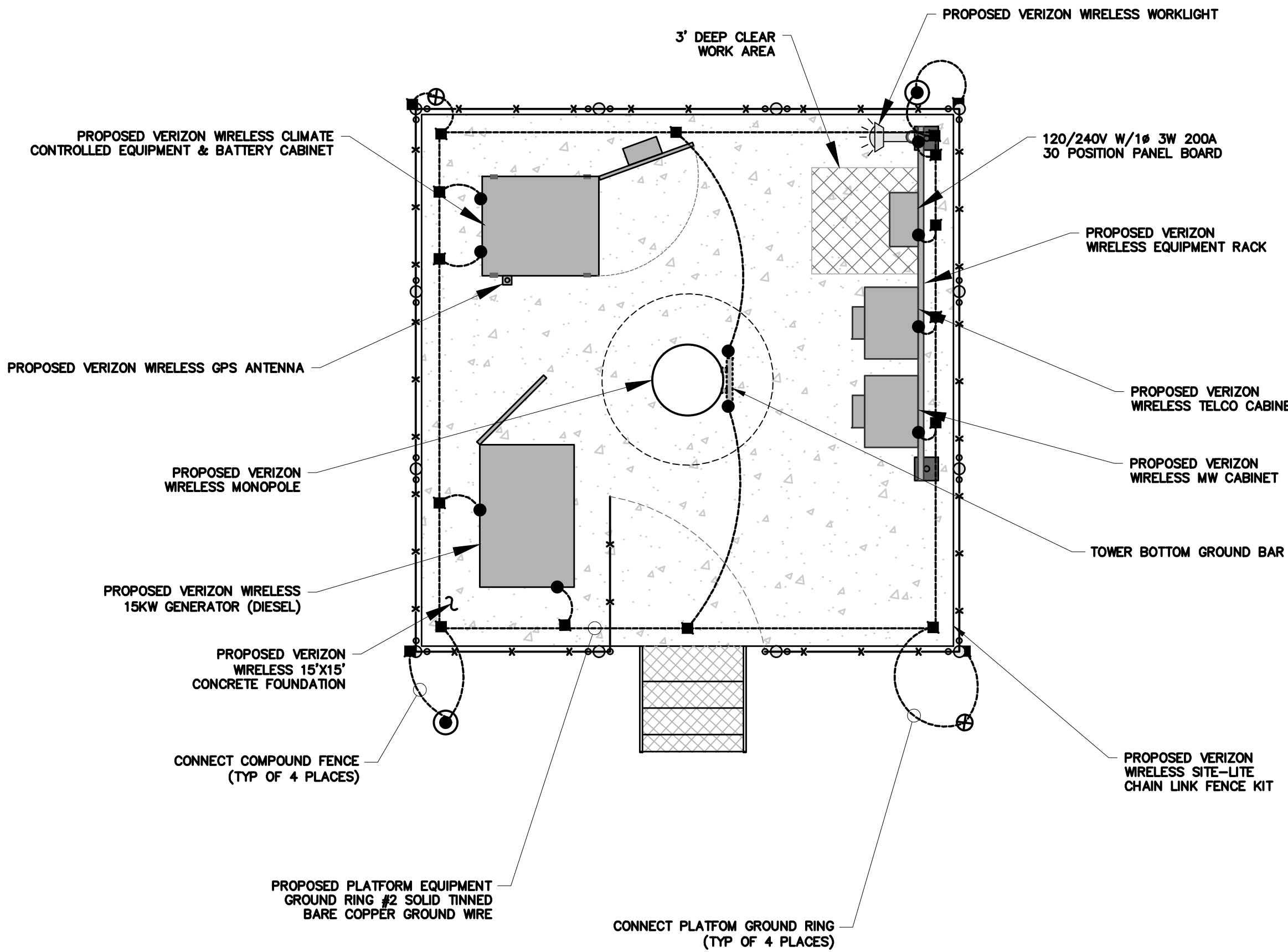
GROUNDING PLANS

SHEET NUMBER

E-2



1
E-2
SECTOR GROUNDING PLAN
SCALE: 1" = 4' (11x17 SIZE)
1" = 2' (22x34 SIZE)



2
E-2
EQUIPMENT LEVEL GROUNDING PLAN
SCALE: 1" = 6' (11x17 SIZE)
1" = 3' (22x34 SIZE)

LEGEND			
	METER		COPPER GROUND BAR
	CIRCUIT BREAKER		GROUND CONDUCTOR BY CONTRACTOR
	CADWELD TYPE CONNECTION BY CONTRACTOR		GROUND RING BY CONTRACTOR
	COAXIAL CABLE SHIELD GROUND KIT CONNECTION		GROUND ROD
	COMPRESSION FITTING GROUND CONNECTION		GROUND ROD WITH TEST WELL

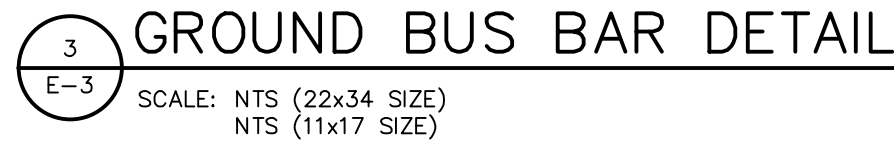
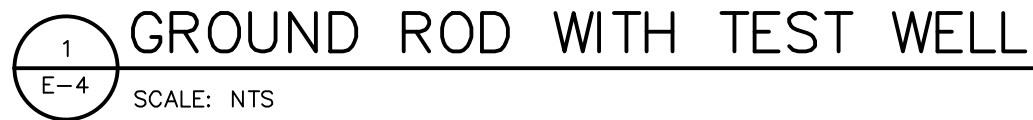
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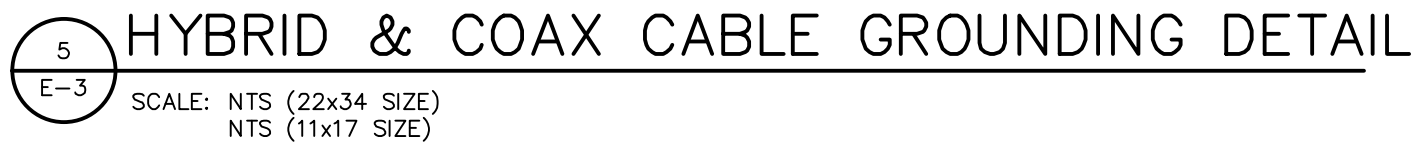
1. COMPRESSION CONNECTIONS SHALL BE #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUNDING BAR. ROUTE CONDUCTORS TO BURIED GROUNDING RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. EC SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "1") WITH 1" HIGH LETTERS.
3. ALL HARDWARE 18-8 STAINLESS STEEL, INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8" INCH DIAMETER OR LARGER.
4. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH ANTI-OXIDANT COMPOUND BEFORE MATING.
5. NUT AND WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUNDING BAR AND BOLTED ON THE BACK SIDE.
6. NUMBER OF GROUNDING BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATION, AND CONNECTION ORIENTATION, PROVIDE AS REQUIRED.
7. WHEN THE SCOPE OF WORK REQUIRES THE ADDITION OF A GROUNDING BAR TO AN EXISTING TOWER, THE SUBCONTRACTOR SHALL OBTAIN APPROVAL FROM THE TOWER OWNER PRIOR TO MOUNTING THE GROUNDING BAR TO THE TOWER.
8. ALL ELECTRICAL AND GROUNDING AT THE CELL SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.

COW CAMP TEMP
PN #: 20191978985
LC: 552086
PLANNING AREA 2 AND
PLANNING SUBAREA 2.1

30398 TP COW CAMP ROAD
RANCHO MISSION VIEJO
ORANGE COUNTY
CA 92694

GROUNDING DETAILS

E-3



200


SIGNATURE

APPROVED BUILDING PERMIT: BNR20-0157
APPLICATION NO. PA21-0123

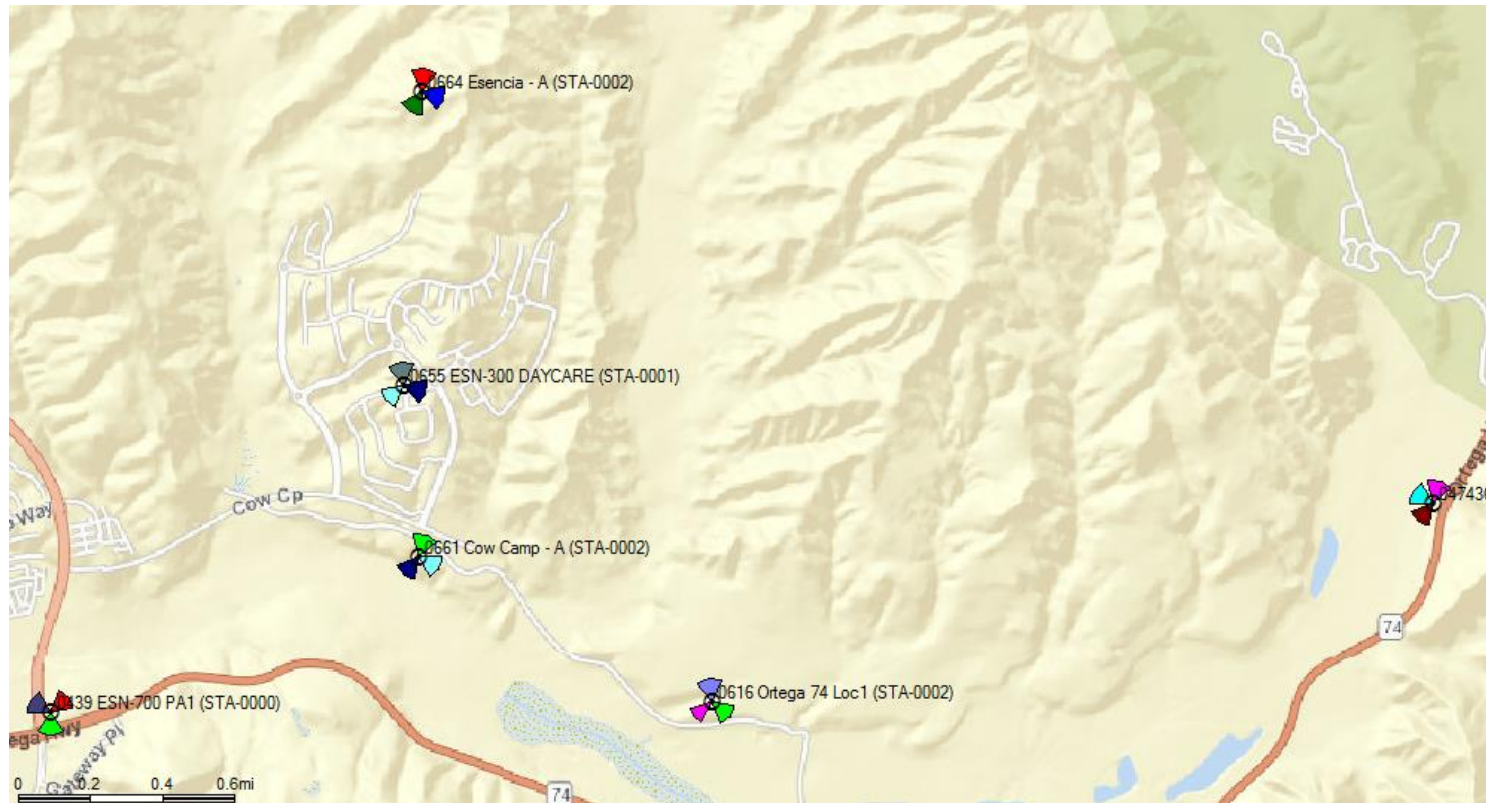
ATTACHMENT 3

COW CAMP 75 vs 65 feet RC

Propagation Maps

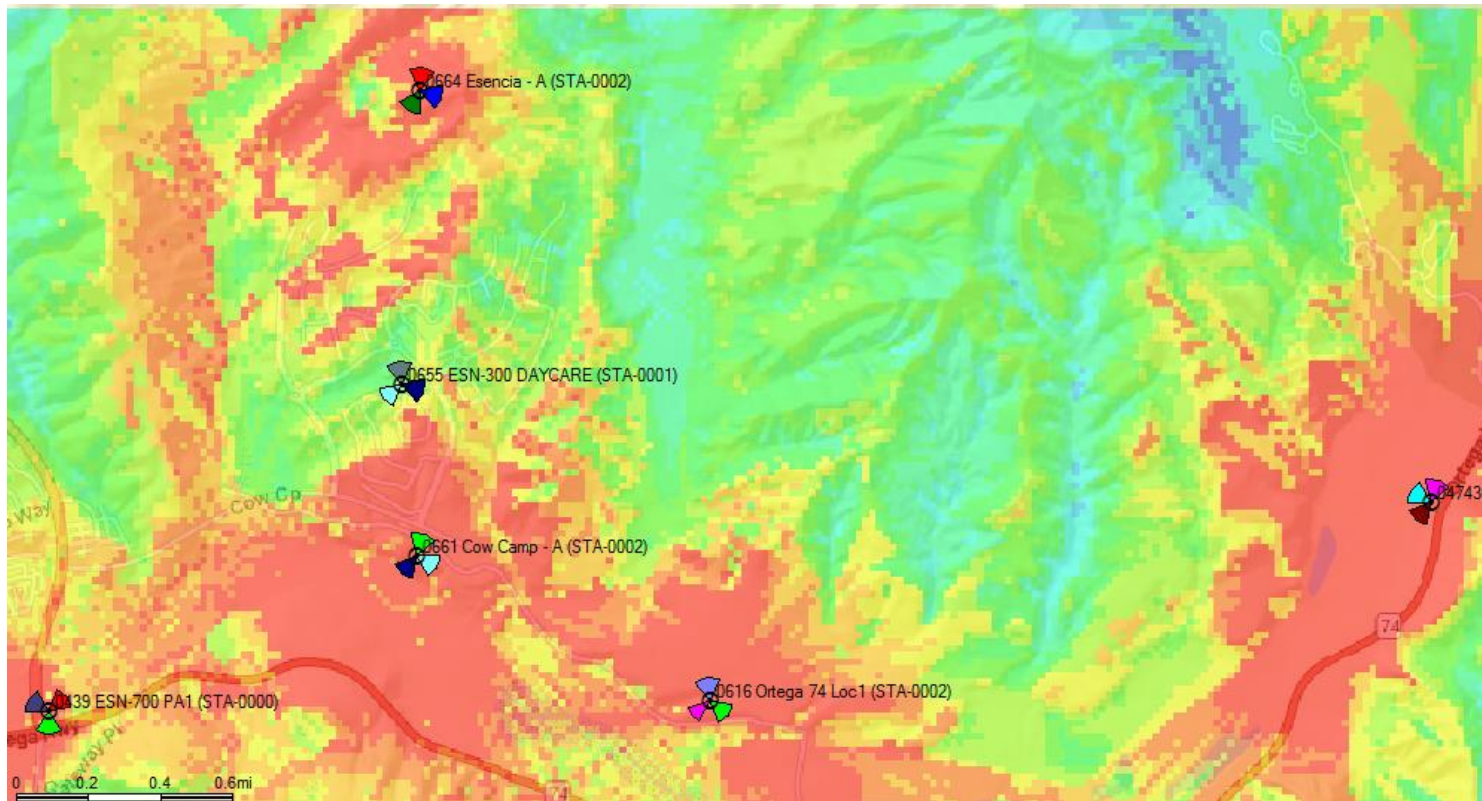
June 5th 2020

LTE:-Map with COW CAMP 75 RC



LTE: RSRP –Coverage with COW CAMP 75 RC without ESN 300

1		-65		RSRP Level (DL) (dBm) >= -65
2		-70		RSRP Level (DL) (dBm) >= -70
3		-75		RSRP Level (DL) (dBm) >= -75
4		-80		RSRP Level (DL) (dBm) >= -80
5		-85		RSRP Level (DL) (dBm) >= -85
6		-90		RSRP Level (DL) (dBm) >= -90
7		-95		RSRP Level (DL) (dBm) >= -95
8		-100		RSRP Level (DL) (dBm) >= -100
9		-105		RSRP Level (DL) (dBm) >= -105
10		-110		RSRP Level (DL) (dBm) >= -110
11		-115		RSRP Level (DL) (dBm) >= -115
12		-120		RSRP Level (DL) (dBm) >= -120



LTE: RSRP –Coverage with COW CAMP 65 RC without ESN 300

1		-65		RSRP Level (DL) (dBm) >= -65
2		-70		RSRP Level (DL) (dBm) >= -70
3		-75		RSRP Level (DL) (dBm) >= -75
4		-80		RSRP Level (DL) (dBm) >= -80
5		-85		RSRP Level (DL) (dBm) >= -85
6		-90		RSRP Level (DL) (dBm) >= -90
7		-95		RSRP Level (DL) (dBm) >= -95
8		-100		RSRP Level (DL) (dBm) >= -100
9		-105		RSRP Level (DL) (dBm) >= -105
10		-110		RSRP Level (DL) (dBm) >= -110
11		-115		RSRP Level (DL) (dBm) >= -115
12		-120		RSRP Level (DL) (dBm) >= -120

