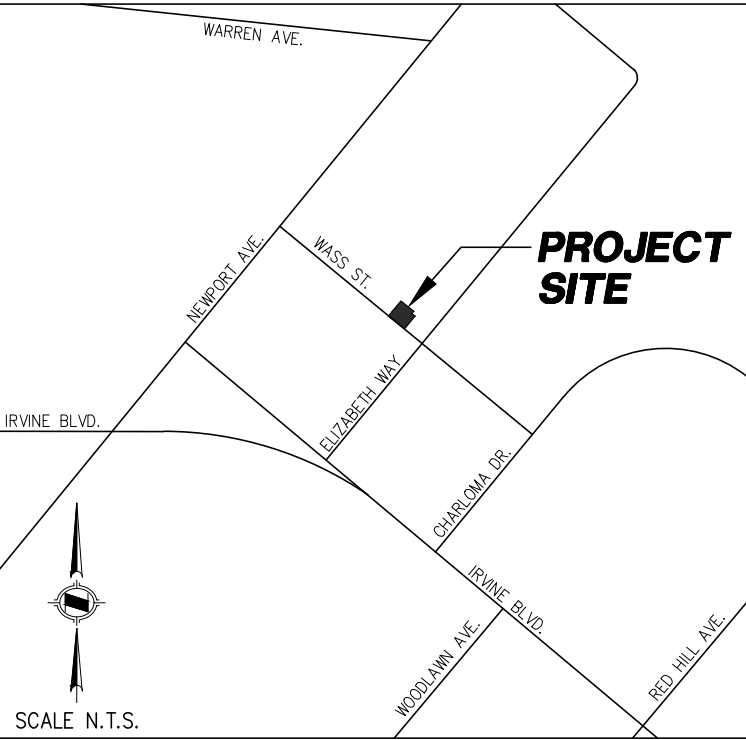


USE PERMIT

PA20-0133



VICINITY MAP



1091,1111, 1121 WASS STREET SINGLE-FAMILY DETACHED CONDOMINIUMS NORTH TUSTIN SPECIFIC PLAN AREA

OCTOBER 2021

SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET
C-1	EXISTING CONDITIONS MAP
C-2	SITE PLAN
C-3	CONCEPTUAL GRADING PLAN
C-4	CONCEPTUAL UTILITY PLAN
C-5	FIRE ACCESS PLAN
C-6	WASTE MANAGEMENT PLAN
L-1	CONCEPTUAL LANDSCAPE PLAN
L-2	CONCEPTUAL IMAGE GALLERY
L-3	FENCE AND WALL CONCEPT PLAN
A.1	SITE RENDERING
A.2	STREET SCENE
A.3	PLAN 1 FLOOR PLANS
A.4	PLAN 1A AXONOMETRICS
A.5	PLAN 1A ELEVATIONS
A.6	PLAN 1B AXONOMETRICS
A.7	PLAN 1B ELEVATIONS
A.8	PLAN 2 FLOOR PLANS
A.9	PLAN 2A AXONOMETRICS
A.10	PLAN 2A ELEVATIONS
A.11	PLAN 2B AXONOMETRICS
A.12	PLAN 2B ELEVATIONS

PROPERTY OWNER/APPLICANT



Reeco®

76 DISCOVERY
IRVINE, CA 92618
CONTACT: CURTIS CUMMINS
PHONE: (877) 967-3326
EMAIL: CURTIS@GOREECO.COM
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LANDSCAPE ARCHITECT



3195-C AIRPORT LOOP DRIVE
COSTA MESA, CA 92626
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ARCHITECT

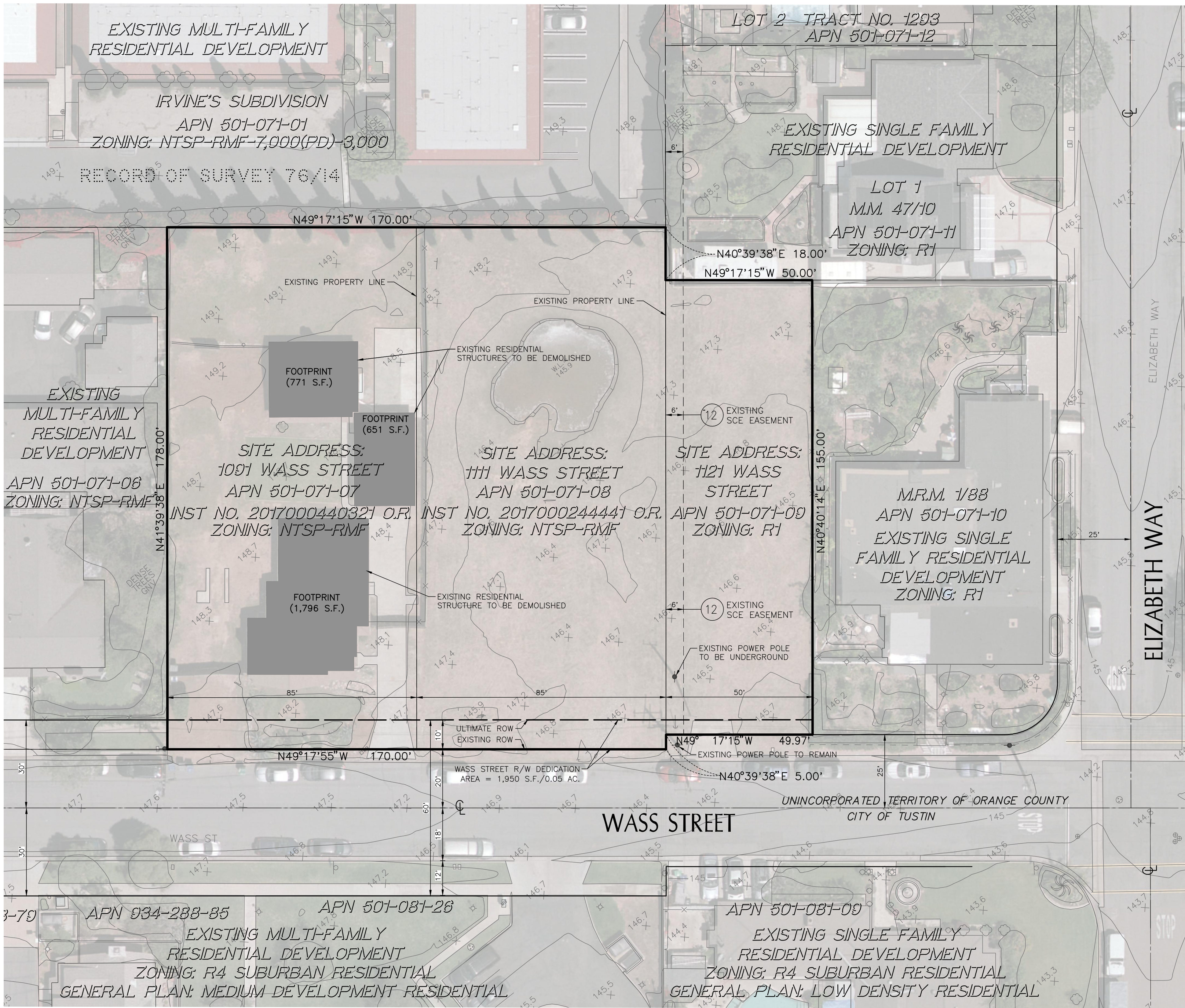


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SITE ADDRESSES:

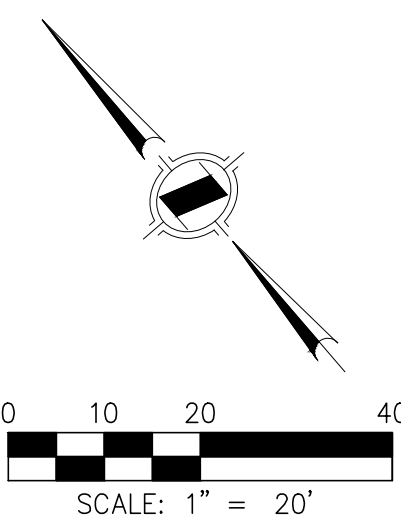
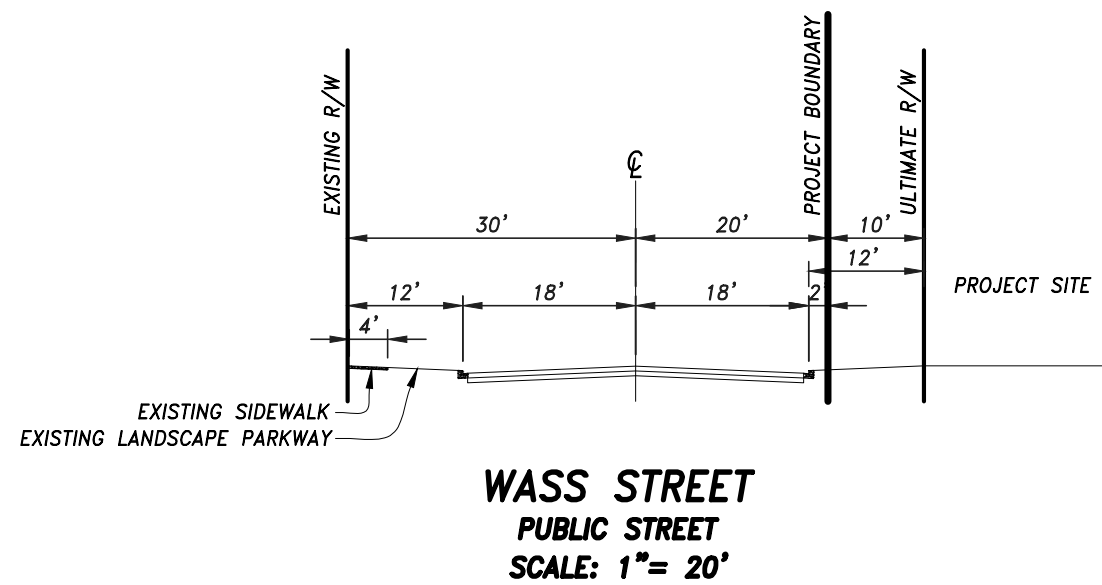
1091 WASS STREET, TUSTIN, CA
1111 WASS STREET, TUSTIN, CA
1121 WASS STREET, TUSTIN, CA

AREA SUMMARY

GROSS AREA: 0.87 AC (38,008 SF)
ROW DEDICATION AREA: 0.04 AC (1,950 SF)
NET AREA (LOT 1): 0.83 AC (36,058 SF)
NET RESIDENTIAL DENSITY: 12.0 (D.U./AC)

LEGEND

- PROJECT BOUNDARY
- EASEMENT LINE
- EXISTING RIGHT OF WAY
- ULTIMATE RIGHT OF WAY
- EXISTING LOT/PARCEL LINES
- STREET CENTERLINE
- INDICATES RECORD DISTANCE PER LEGAL DESCRIPTION



NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	TF

PREPARED FOR:




76 DISCOVERY
IRVINE, CA 92618
PHONE: (877) 967-3326

DRAWN BY: LP

DESIGNED BY: SG

PREPARED BY:



HUNSAKER & ASSOCIATES
IRVINE, INC.
PLANNING ■ ENGINEERING ■ SURVEYING
Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

USE PERMIT PA20-0133
1091, 1111 & 1121 WASS STREET

EXISTING CONDITIONS MAP

UNINCORPORATED TERRITORY OF ORANGE COUNTY

SHEET

C-1

TITLE REPORT:

THIS MAP WAS BASED ON THE FNTG TITLE COMPANY ORDER NO. 00128862-996-SD1-RT4 DATED MARCH 18, 2020

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF ORANGE, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: (APN 501-071-07)

THAT PORTION OF LOT 331 IN BLOCK 13, OF IRVINE SUBDIVISION, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF RECORDED IN BOOK 1, PAGE 88, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CENTERLINE OF WASS STREET AS SAID STREET WAS CONVEYED TO THE COUNTY OF ORANGE WHICH POINT IS DISTANT THEREON 85 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF THE NORTHEASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT AND RUNNING THENCE NORTHEASTERLY PARALLEL TO THE SOUTHEASTERLY LINE OF THE NORTHEASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT 331, 198 FEET; THENCE NORTHWESTERLY PARALLEL WITH THE CENTERLINE OF WASS STREET 85 FEET; THENCE SOUTHWESTERLY IN A DIRECT LINE 198 FEET TO A POINT IN THE CENTERLINE OF WASS STREET WHICH IS A DISTANT THEREON 170 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF THE NORTHEASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE 85 FEET TO A POINT OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHWESTERLY 20 FEET THEREON INCLUDED IN WASS STREET.

PARCEL B:

PARCEL 1: (APN 501-071-08)

THAT PORTION OF LOT THREE HUNDRED THIRTY-ONE (331) IN BLOCK THIRTEEN (13) OF IRVINE SUBDIVISION, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF RECORDED IN BOOK 1 PAGE 88, OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CENTER LINE OF WASS STREET AS SAID STREET WAS CONVEYED TO THE COUNTY OF ORANGE, WHICH POINT IS DISTANT THEREON 85 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF THE NORTHEASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT AND RUNNING THENCE NORTHEASTERLY PARALLEL TO THE SOUTHEASTERLY LINE OF THE NORTHEASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT 331, 198 FEET; THENCE NORTHWESTERLY PARALLEL WITH THE CENTER LINE OF WASS STREET, 85 FEET; THENCE SOUTHWESTERLY IN A DIRECT LINE 198 FEET TO A POINT IN THE CENTER LINE OF WASS STREET WHICH IS DISTANT THEREON 170 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF THE NORTHEASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT; THENCE SOUTHEASTERLY ALONG SAID CENTER LINE 85 FEET TO A POINT OF BEGINNING;

EXCEPTING THEREFROM THE SOUTHWESTERLY 20 FEET THEREOF INCLUDED IN WASS STREET.

PARCEL 2: (APN 501-071-09)

THAT PORTION OF LOT 331 IN BLOCK 13 OF IRVINE'S SUBDIVISION, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT ONE IN TRACT NO. 1293, AS SHOWN ON A MAP RECORDED IN BOOK 47, PAGE 10 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE SOUTH 39°59'20" WEST 136.98 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 18 FEET; THENCE SOUTHERLY AND SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°03', A DISTANCE OF 28.28 FEET TO A LINE TANGENT; THENCE NORTH 49°57'40" WEST ALONG SAID TANGENT LINE 115.5 FEET; THENCE NORTH 39°59'20" EAST 155 FEET THE MOST WESTERLY CORNER OF LOT 1 IN SAID TRACT NO. 1293 AND THENCE SOUTH 49°57'40" EAST ALONG THE SOUTHWESTERLY LINE OF SAID LOT 1,133.5 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE LAND DESCRIBED IN DEED TO WILLIAM WADE COWAN AND MARTHA GERTRUDE COWAN, HUSBAND AND WIFE AS JOINT TENANTS RECORDED APRIL 3, 1957 IN BOOK 3859, PAGE 189 OF OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.

SCHEDULE B EXCEPTIONS:

AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:

- A TAXES
- B TAXES, AFFECTS:PARCEL A
- C TAXES, AFFECTS PARCEL B
- D TAXES, AFFECTS PARCEL B
- E THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES,

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

THE FOLLOWING MATTERS AFFECT PARCEL A:

- 2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT PURPOSE:PUBLIC UTILITIES RECORDING NO: IN BOOK 126 PAGE 114, OF DEEDS (DOCUMENT ILLEGIBLE) THE EFFECT OF A CORPORATION QUITCLAIM DEED, EXECUTED BY THE IRVINE COMPANY, WHICH PURPORTS TO QUITCLAIM CERTAIN RIGHTS, RECORDED JULY 20, 1965 IN BOOK 7599 PAGE 524, OF OFFICIAL RECORDS.

SURVEYORS NOTE: DESCRIPTION IN BK 7599 PG 524 IMPLIES THIS EASEMENT IS FOR ROW TO DITCHES AND PIPELINES. BLANKET OVER ENTIRE AREA

- 3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN DOCUMENT: PURPOSE:ROAD RECORDING NO: IN BOOK 205 PAGE 202, OF DEEDS (DOCUMENT ILLEGIBLE) AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN

- 4 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDING NO:IN BOOK 248 PAGE 63, OF DEEDS (DOCUMENT ILLEGIBLE) AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN

- 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN DOCUMENT. PURPOSE:ROAD AND PIPELINES. RECORDING NO:IN BOOK 358 PAGE 4, OF DEEDS AFFECTS:SAID LAND MORE PARTICULARLY DESCRIBED THEREIN AND RECORDING NO:IN BOOK 398 PAGE 375, OF DEEDS AND RECORDING NO:IN BOOK 496 PAGE 225, OF DEEDS

SURVEYORS NOTE: EASEMENTS ARE IN STREET RIGHT OF WAYS, NOT PLOTTED

- 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY PURPOSE: PUBLIC UTILITIES RECORDING NO: IN BOOK 2872 PAGE 111, OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN

SURVEYORS NOTE: WAITING FOR TITLE CO. TO SUPPLY REFERENCED DOC BK 1140 PG 411

- 7 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY PURPOSE: PUBLIC UTILITIES RECORDING NO: IN BOOK 2872 PAGE 113, OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN

SURVEYORS NOTE: WAITING FOR TITLE CO. TO SUPPLY REFERENCED DOC BK 1140 PG 411

- 8 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON MAP:RECORD OF SURVEYRECORDING NO: IN BOOK 7 PAGE 10, OF RECORD OF SURVEYS

- 9 A DEED OF TRUST

THE FOLLOWING MATTERS AFFECT PARCEL B:

- 10 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON MAP:RECORD OF SURVEY FILED SEPTEMBER 18, 1936 IN BOOK 7, PAGE 10

- 11 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS. RECORDING DATE: SEPTEMBER 2, 1952 RECORDING NO:AS INSTRUMENT NO. 45103 OF OFFICIAL RECORDS

SURVEYOR'S NOTE: NO EASEMENTS DESCRIBED IN THIS DOC

- 12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHT INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO:SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION PURPOSE:PUBLIC UTILITIES RECORDING DATE: SEPTEMBER 10, 1952 RECORDING NO: AS INSTRUMENT NO. 46741 IN BOOK 2381, PAGE 45 OF OFFICIAL RECORDS AFFECTS:A PORTION OF PARCEL 2

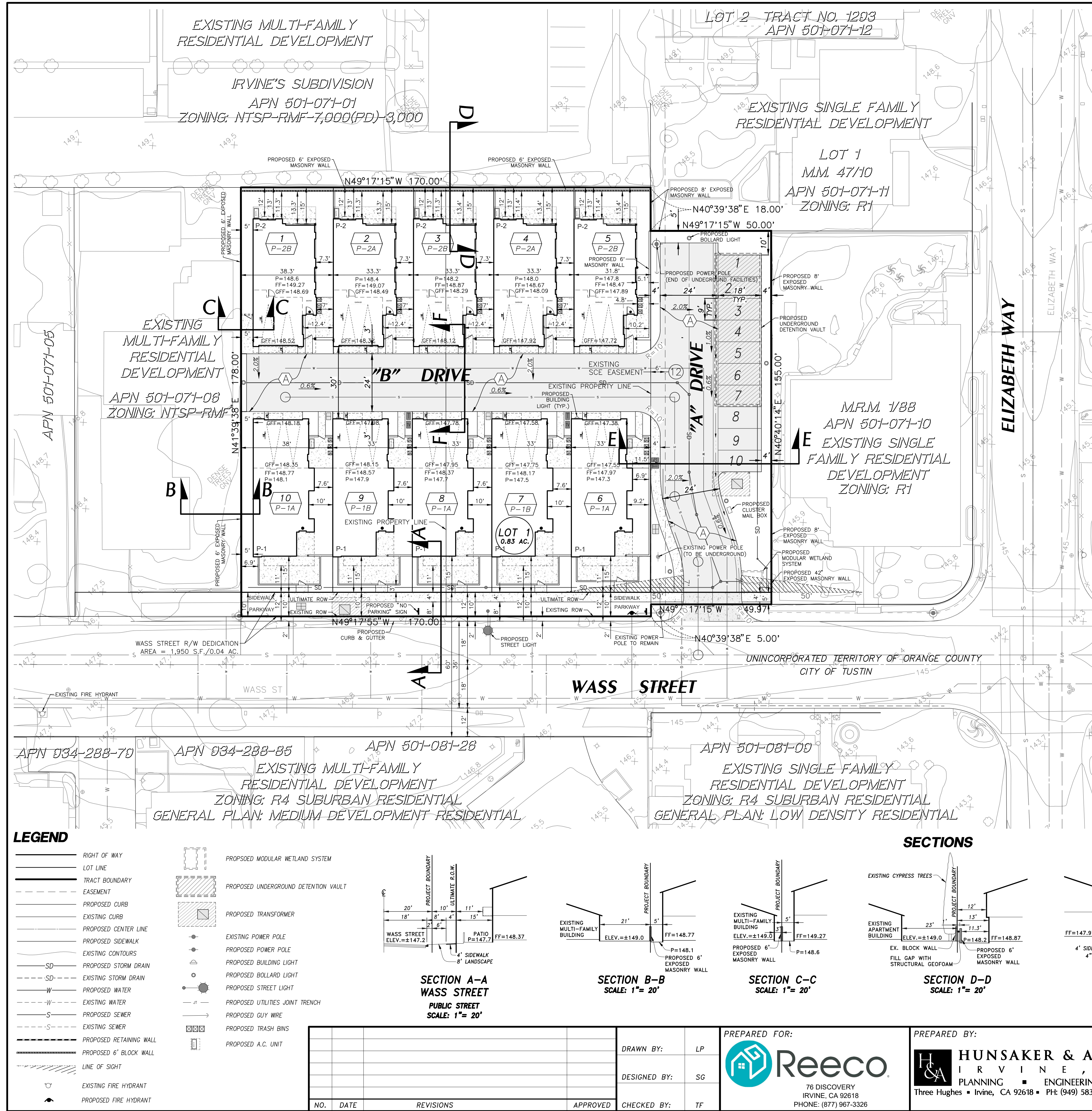
SURVEYOR'S NOTE: PLOTTED HEREON AS 12

- 13 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO:SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION PURPOSE:PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDING DATE:NOVEMBER 17, 1954 RECORDING NO:IN BOOK 2872, PAGE 111 OF OFFICIAL RECORDS AFFECTS PORTION OF SAID LAND (SAME ITEM 6 ABOVE)

- 14 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION PURPOSE: PUBLIC UTILITIES. RECORDING DATE: NOVEMBER 17, 1954, RECORDING NO:IN BOOK 2872, PAGE 113 OF OFFICIAL RECORDS AFFECTS:A PORTION OF SAID LAND (SAME AS ITEM 7 ABOVE)

- 15 DEED OF TRUST

DATE: OCTOBER 21, 2021



NOTES

- EXISTING LAND USE: TWO VACANT LOTS & EXISTING SINGLE-FAMILY HOME
- PROPOSED LAND USE: DETACHED CONDOMINIUMS (10 UNITS)
- EXISTING GENERAL PLAN LAND USE DESIGNATION: 1B SUBURBAN RESIDENTIAL (0.5-18 DWELLING UNITS PER ACRE)
- EXISTING ZONING: 1091 & 1111 WASS STREET - NORTH TUSTIN SPECIFIC PLAN (NTSP), RESIDENTIAL MULTIPLE FAMILY (RMF) DISTRICT & 1121 WASS STREET - SINGLE FAMILY RESIDENCE (R1)
- ASSESSOR PARCEL NUMBER(S): 501-071-07, 501-071-08, 501-071-09
- SITE ADDRESSES: 1091 WASS STREET, 1111 WASS STREET & 1121 WASS STREET.

SITE DEVELOPMENT STANDARDS

THE ESTABLISHMENT, OPERATION AND MAINTENANCE OF USES PERMITTED IN THE RMF DISTRICT (NORTH TUSTIN SPECIFIC PLAN) SHALL BE IN COMPLIANCE WITH THE FOLLOWING:

- BUILDING SITE AREA: TEN THOUSAND (10,000) SQUARE FEET MINIMUM REQUIRED UNLESS OTHERWISE SPECIFIED ON THE LAND USE DISTRICT MAP OF THE NORTH TUSTIN SPECIFIC PLAN.
 - AREA PER UNIT: EIGHTEEN HUNDRED (1,800) SQUARE FEET MINIMUM NET LAND AREA PER DWELLING UNIT UNLESS OTHERWISE SPECIFIED ON THE LAND USE DISTRICT MAP OF THE NORTH TUSTIN SPECIFIC PLAN.
 - BUILDING SITE WIDTH: SEVENTY-FIVE (75) FEET MINIMUM REQUIRED UNLESS OTHERWISE SPECIFIED ON THE LAND USE DISTRICT MAP OF THE NORTH TUSTIN SPECIFIC PLAN.
- OFF-STREET PARKING: PER ZONING CODE SECTION 7-9-70.3, EXCEPT THAT ALL PARKING SHALL BE ON THE REAR HALF OF THE BUILDING SITE.

LANDSCAPING - PLANNED (UNIT) DEVELOPMENTS (NORTH TUSTIN SPECIFIC PLAN)

- A MINIMUM OF FIFTEEN (15) PERCENT (AND TWENTY (20) PERCENT FOR PLANNED DEVELOPMENTS) OF BUILDING SITE OR PROJECT NET AREA SHALL BE LANDSCAPED. A LANDSCAPED AREA SHALL CONSIST OF TREES, SHRUBS, VINES, GROUND COVER, OR ANY COMBINATION THEREOF. LANDSCAPED AREA SHALL NOT INCLUDE BUILDINGS, PAVING, SWIMMING POOLS, GRAVEL OR ANY OTHER ASSEMBLAGE OF BUILDING MATERIALS UPON OR OVER THE LAND.
- EXISTING MATURE TREES SHALL BE PRESERVED AND INTEGRATED INTO THE LANDSCAPE PLAN WHEREVER POSSIBLE. EXISTING MATURE TREES WHICH ARE REMOVED SHALL BE REPLACED AT A MINIMUM RATE OF ONE (1) SPECIMEN OF TWENTY-FOUR (24) INCH BOX SIZE PER ONE (1) MATURE TREE REMOVED.
- BOUNDARY LANDSCAPING ALONG PRIMARY AND MAJOR ARTERIAL HIGHWAYS SHALL CREATE A PARKWAY APPEARANCE WHICH SORTENS/SCREENS UNDESIRABLE VIEWS. STREET TREES SHALL BE RANDOMLY GROUPED TO CREATE AN INFORMAL OR NATURAL CHARACTER AND BE PROVIDED AT A RATE OF NOT LESS THAN ONE (1) TREE PER TWENTY-FIVE (25) FEET OF ROAD FRONTAGE.
- IN THE INTEREST OF PUBLIC SAFETY, STREET TREES SHALL BE PLANTED A MINIMUM OF TWENTY-FIVE (25) FEET FROM THE BEGINNING OF CURB RETURNS AT INTERSECTIONS AND A MINIMUM OF TEN (10) FEET FROM STREET LIGHTS, FIRE HYDRANTS AND DRIVEWAYS.
- OUTDOOR OFF-STREET PARKING AREAS SHALL BE PLANTED AT A RATE OF ONE (1) TREE PER ONE THOUSAND (1,000) SQUARE FEET OF PARKING AREA SURFACE AND AT A MINIMUM OF EVERY FIFTH PARKING SPACE IN PARKING BAYS EXCEEDING TEN (10) SPACES IN LENGTH.
- THE REQUIRED USE PERMIT OR SITE DEVELOPMENT PERMIT SHALL INCLUDE A LANDSCAPE PLAN IN COMPLIANCE WITH THE ABOVE REQUIREMENTS.

PLANNED (UNIT) DEVELOPMENT FOR RESIDENTIAL USES PER ZONING CODE SECTION 7-9-48 AND CHAPTER 5, 6, AND 7 HEREIN WITH 28 FEET MAXIMUM BUILDING HEIGHT.

BUILDING SITE COVERAGE: FOR PLANNED DEVELOPMENTS, THERE SHALL BE NO MAXIMUM BUILDING COVERAGE FOR ANY INDIVIDUAL SITE. HOWEVER, THE PROJECT NET AREA SHALL NOT EXCEED THE FOLLOWING BUILDING COVERAGE:

- FORTY (40) PERCENT FOR RESIDENTIAL PROJECTS.
 - AREA PER UNIT: FOR RESIDENTIAL PLANNED DEVELOPMENTS, THERE SHALL BE NO MINIMUM LAND AREA PER UNIT FOR ANY INDIVIDUAL SITE. HOWEVER, THE PROJECT NET AREA SHALL HAVE AN AVERAGE LAND AREA PER UNIT NO LESS THAN THE MINIMUM AREA PER UNIT REQUIRED BY THE BASE DISTRICT OR PER SECTION 7-9-61.2
- BUILDING SETBACKS: FOR PLANNED DEVELOPMENTS, BUILDING LOCATIONS NEED NOT SATISFY THE BASE DISTRICT SETBACK REGULATIONS BUT SHALL BE DETERMINED BY THE APPROVED USE PERMIT. BUILDING LOCATIONS SHALL BE DIMENSIONED ON THE USE PERMIT PLANS INCLUDING DISTANCES BETWEEN BUILDINGS AND DISTANCES FROM STREETS AND COMMON DRIVEWAYS.

PROJECT SUMMARY

Gross Area	38,008 s.f. / 0.87 ac.		
Net Area	36,058 s.f. / 0.83 ac.		
Wass Street Right of Way Dedication Area	1,950 s.f. / 0.04 ac.		
Site Development Standards	RMF District	Planned Development	Proposed
Building Site Area (net ac)	10,000 s.f. minimum	Project Net Area	36,058 s.f. / 0.83 ac.
Area Per Unit	1,800 s.f./unit	1,800 sq./unit	2,175 s.f./0.05 ac. per unit Min.
Building Site Width	75 ft. Minimum	-	170 ft. Min.
Building Site Coverage	60% Maximum	40% Maximum	31%
Maximum Height	35 Feet/28 Feet (PD)	-	28 Feet
Minimum Front Setback	20 Feet	Per Use Permit	15 Feet*
Minimum Rear Setback	25 Feet	Per Use Permit	13 Feet*
Minimum Side Setback	5 Feet	Per Use Permit	5 Feet
Building to Building	15 Feet	Per Use Permit	7 Feet
Landscaping	20% Minimum	-	20% (7,212 s.f. / 0.16 ac.)

*Architectural features and overhangs may encroach into setback areas as shown on the site plan, for a maximum of 4 feet in the front setback and a maximum of 1 foot in the rear setback.

PARKING SUMMARY

Required Parking						
Use	Number of Dwelling Units	Bedroom Count	Required Parking Ratio	Required Parking	Off-Street Guest Parking Ratio (per Dwelling Unit)	Total Off-Street Guest Total Required Parking
Multifamily (Two (2) or more dwelling units on one (1) building site)	5	3 Bedroom	2.5	12.5	0.2	1
	5	4 Bedroom	3	15	0.2	1
Total	10	-	-	28*	-	2

* Required parking has been rounded up per Zoning Code Section 7-9-70.3

Note: Additional on-street parking is also available on Wass Street.

Provided Parking	
Garage Spaces	20 Spaces
Off-Street Parking Spaces	10 spaces
Total	30 Spaces



VICINITY MAP

EASEMENT NOTES:

SURVEYOR'S NOTE: PLOTTED HEREON AS

12 EXISTING 6' WIDE SOUTHERN CALIFORNIA EDISON COMPANY EASEMENT.

A PROPOSED EASEMENT FOR FOR PUBLIC UTILITIES, EMERGENCY ACCESS AND SOLID WASTE COLLECTION ("A" DRIVE & "B" DRIVE)

UNIT SUMMARY

UNIT TYPE	NO. OF UNITS	NO. OF BEDROOMS	NO. OF STORIES	MAXIMUM BUILDING HEIGHT	NET SQUARE FOOTAGE
PLAN 1 (P-1)	5	3	2	28 FT.	2,033 SQ. FT.
PLAN 2 (P-2)	5	4	2	26 FT.	2,282 SQ. FT.
TOTAL	10	-	-	-	20,575 SQ. FT. (NET LIVABLE)

USE PERMIT PA20-0133
1091, 1111 & 1121 WASS STREET

SITE PLAN

UNINCORPORATED TERRITORY OF ORANGE COUNTY

PLOTTED BY: Luis Pina DATE: Oct. 22, 2021 11:35:31 AM FILE: F:\1137\Planning\SA_TTM_19116\C-2_Site Plan.dwg

SHEET

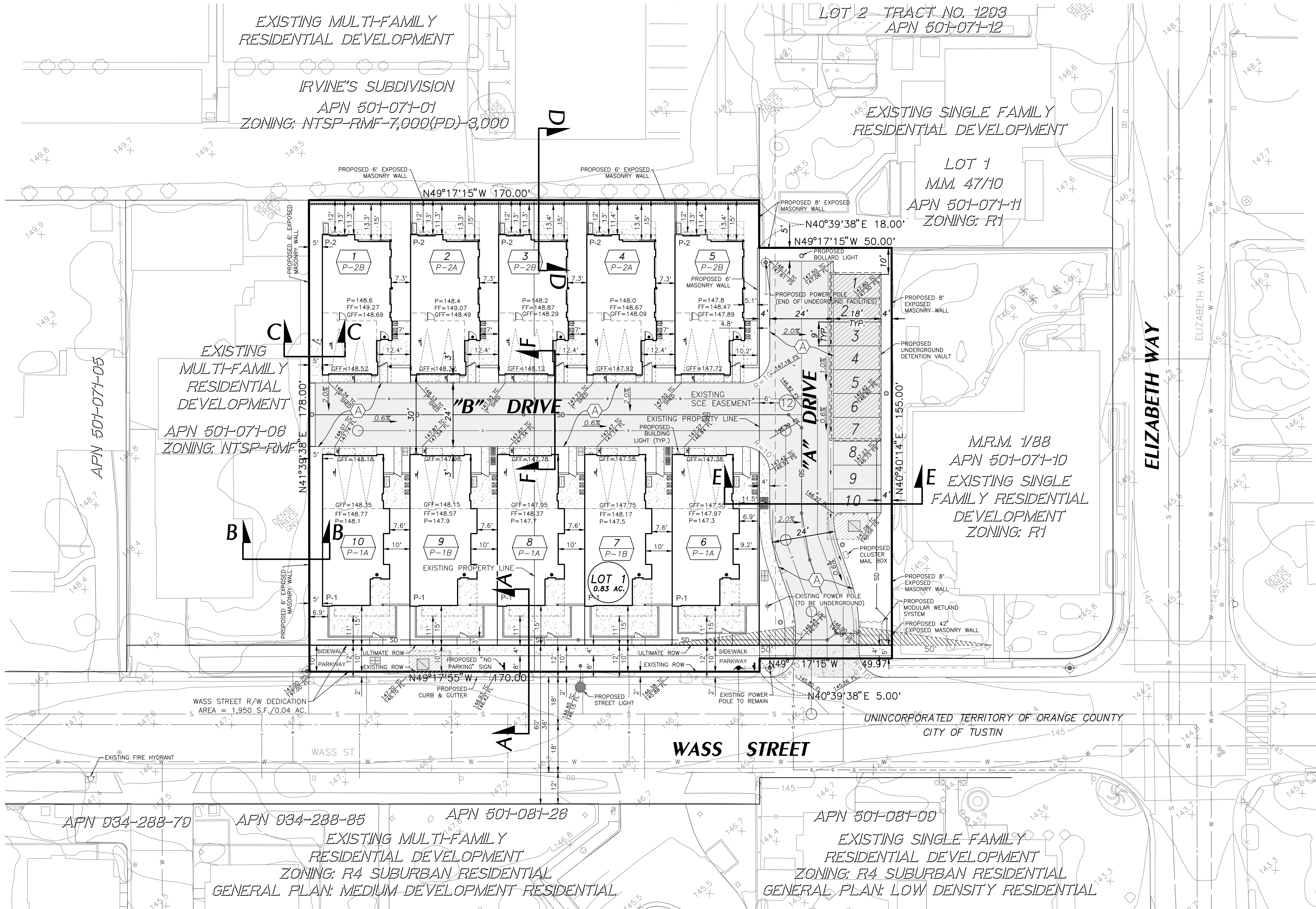
C-2

DATE: OCTOBER 21, 2021

SCALE: 1"= 20'

0 10 20 40

SCALE: 1"= 20'



NOTES

- THE PROPERTY IS LOCATED WITHIN ZONE X OF THE 1% ANNUAL SPECIAL FLOOD HAZARD AREA (100-YEAR FLOOD PLAIN) PER FIRM MAP NUMBER 06059C0281J DATED DECEMBER 3, 2009.
- THE PROPERTY IS LOCATED WITHIN THE SANTA ANA WATERSHED OF SANTA ANA REGIONAL WATER QUALITY CONTROL BOARD.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH ORANGE COUNTY PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS OR AS SPECIFIED ON THIS EXHIBIT.
- PROPOSED GRADING AND DRAINAGE SHALL COMPLY WITH OC GRADING AND EXCAVATION MUNICIPAL CODE.
- ESTIMATED EARTHWORK QUANTITIES ARE APPROXIMATE AND PRELIMINARY AND SUBJECT TO MINOR CHANGES IN FINAL DESIGN.
- EXISTING RESIDENTIAL STRUCTURES ON-SITE SHALL BE DEMOLISHED PRIOR TO CONSTRUCTION PURSUANT TO AN APPROVED DEMOLITION PERMIT.

AREA SUMMARY

GROSS AREA:	0.87 AC (38,008 SF)
ROW DEDICATION AREA:	0.04 AC (1,950 SF)
NET AREA (LOT 1):	0.83 AC (36,058 SF)
DWELLING UNITS:	10 D.U.
NET RESIDENTIAL DENSITY:	12.0 (D.U./AC)

ESTIMATED EARTHWORK QUANTITIES:

	RAW QUANTITIES	REMEDIAL QUANTITIES	TOTAL ESTIMATED EARTHWORK QUANTITIES
CUT	1,000 CUBIC YARDS	4,223 CUBIC YARDS	5,223 CUBIC YARDS
FILL	260 CUBIC YARDS	4,223 CUBIC YARDS	4,483 CUBIC YARDS
EXPORT	740 CUBIC YARDS	-	740 CUBIC YARDS

ASSUMPTIONS

- 3-FOOT OVEREXCAVATION OF ENTIRE PROJECT SITE-REMEDIAL GRADING.
- ACCESS DRIVE UNDERCUT OF 2 FEET DEPTH FROM FINISHED CURB GRADE.
- SURFACE PARKING AREA UNDERCUT OF 1 FEET DEPTH FROM FINISHED CURB GRADE.
- GARAGE UNDERCUT FOR UNITS 1-5 ONLY (REAR UNITS) - 8" DEPTH FROM GARAGE FINISH FLOOR ELEVATION.
- ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKING OR BULKING QUANTITIES.

VICINITY MAP

SCALE N.T.S.

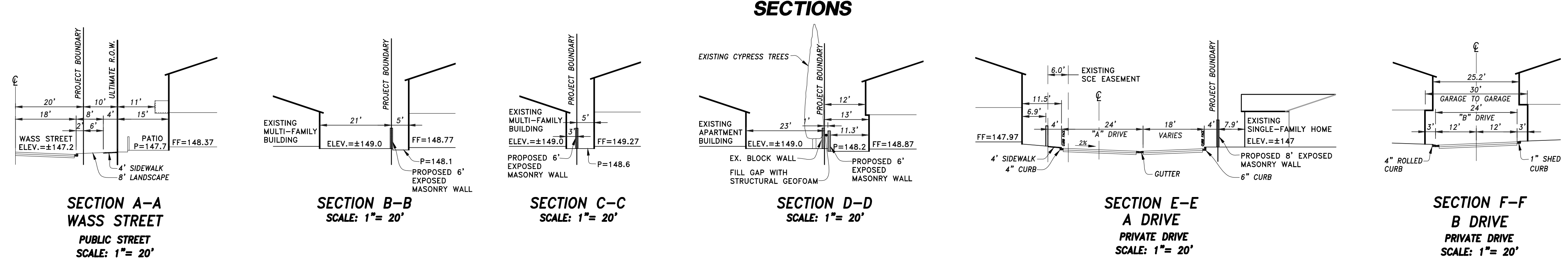
LEGEND

- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- EASEMENT
- PROPOSED CURB
- EXISTING CURB
- PROPOSED CENTER LINE
- PROPOSED SIDEWALK
- EXISTING CONTOURS
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED WATER
- EXISTING WATER
- PROPOSED SEWER
- EXISTING SEWER
- PROPOSED RETAINING WALL
- PROPOSED 6" BLOCK WALL
- LINE OF SIGHT

EASEMENT NOTES:

SURVEYOR'S NOTE: PLOTTED HEREON AS

- EXISTING 6' WIDE SOUTHERN CALIFORNIA EDISON COMPANY EASEMENT.
- PROPOSED EASEMENT FOR FOR PUBLIC UTILITIES, EMERGENCY ACCESS AND SOLID WASTE COLLECTION ("A" DRIVE & "B" DRIVE)



NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	TF

DRAWN BY: LP

DESIGNED BY: SG

PREPARED FOR:

Reeco

76 DISCOVERY
IRVINE, CA 92618
PHONE: (877) 967-3326

PREPARED BY:

HUNSAKER & ASSOCIATES
IRVINE, INC.
PLANNING ■ ENGINEERING ■ SURVEYING
Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

USE PERMIT PA20-0133

1091, 1111 & 1121 WASS STREET

CONCEPTUAL GRADING PLAN

UNINCORPORATED TERRITORY OF ORANGE COUNTY

SHEET

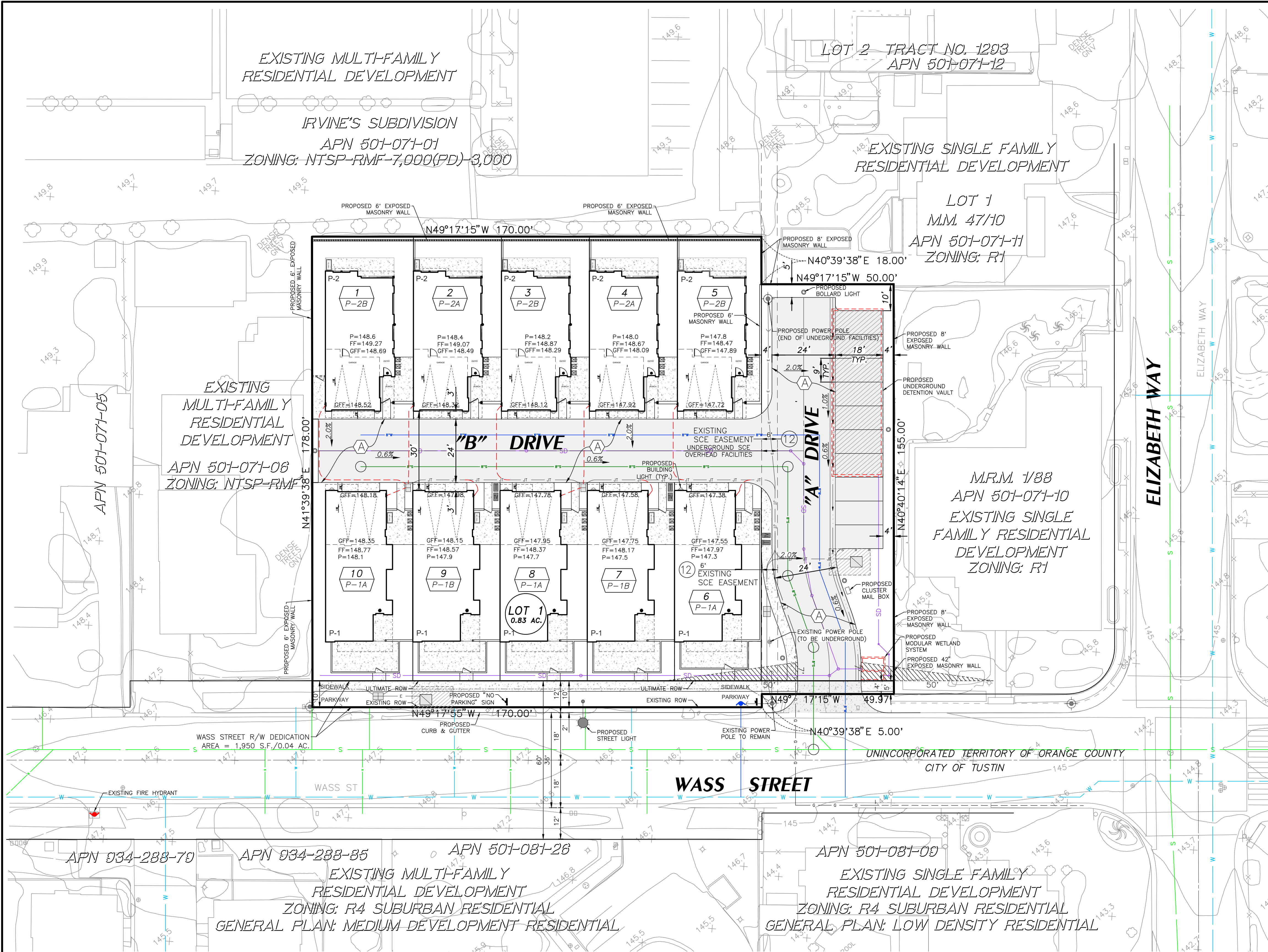
C-3

DATE: OCTOBER 21, 2021

W.O.: 4398-1

WASS STREET

PLOTTED BY: Luis Pina DATE: Oct. 22, 2021 11:35:54 AM FILE: F:\1137\Planning\SA_TTM_19116\C-3_Conceptual Grading Plan.dwg



LEGEND

- TRACT BOUNDARY
- PROPOSED LOT LINE
- GRADING DAYLIGHT LINE
- TOP OF SLOPE
- PROPOSED CONTOUR
- TOE OF SLOPE
- PROPOSED RETAINING WALL
- PROPOSED 6" BLOCK WALL
- PROPOSED CURB
- PROPOSED CENTER LINE
- PROPOSED SIDEWALK
- EXISTING CONTOURS
- EX. EASEMENT LINE
- LINE OF SIGHT
- PROPOSED STORM DRAIN
- PROPOSED WATER
- EXISTING WATER
- PROPOSED SEWER
- EXISTING SEWER
- PROPOSED ELECTRICAL
- PROPOSED GAS LINE
- EXISTING GAS LINE
- PROPOSED JOINT TRENCH
- PROPOSED TRANSFORMER
- PROPOSED MODULAR WETLAND SYSTEM
- PROPOSED UNDERGROUND DETENTION VAULT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- PROPOSED POWER POLE
- PROPOSED BUILDING LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED GAS & ELECTRIC METER
- PROPOSED TELEPHONE BOX
- PROPOSED TV BOX
- PROPOSED STREET LIGHT
- PROPOSED GUY WIRE
- PROPOSED TRASH BINS
- PROPOSED A.C. UNIT

NOTES

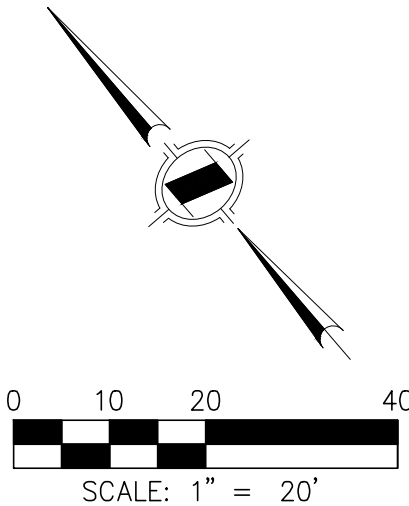
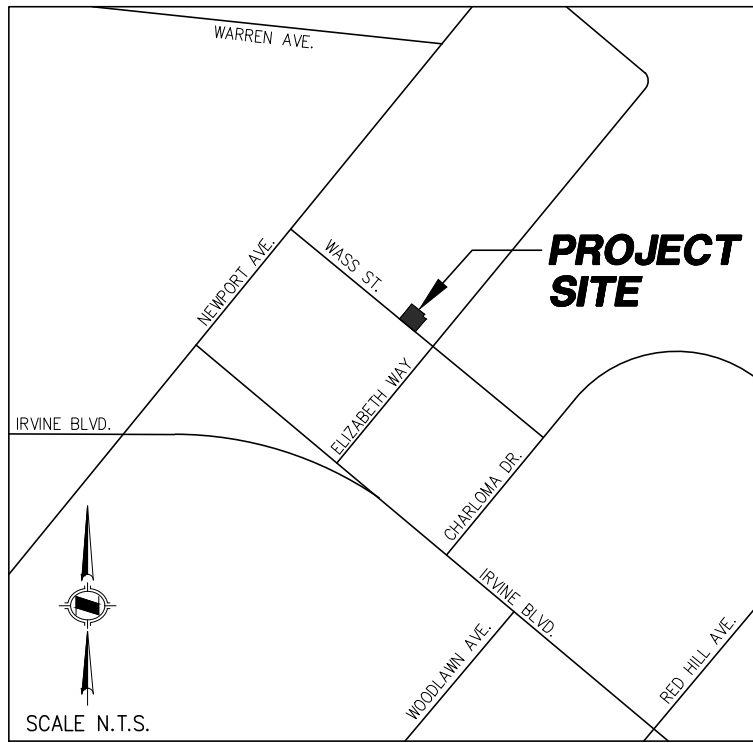
- UTILITY/SERVICE PROVIDERS:
 - GAS - SOUTHERN CALIFORNIA GAS COMPANY
 - ELECTRIC - SOUTHERN CALIFORNIA EDISON (REFER TO SHEET C-1, "EXISTING CONDITIONS MAP", FOR COMPLETE EASEMENT DESCRIPTION)
 - CABLE TELEVISION/INTERNET - AT&T
 - PHONE - AT&T
 - WATER - CITY OF TUSTIN
 - SEWER - EAST ORANGE COUNTY WATER DISTRICT
 - TRASH - WASTE MANAGEMENT OF ORANGE COUNTY
- WATER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED PER CITY OF TUSTIN STANDARD PLANS AND DESIGN STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED PER ECOWD SEWER SYSTEM MANAGEMENT PLAN - APPENDIX M DESIGN, CONSTRUCTION AND REPAIR STANDARDS FOR SANITARY SEWERS.
- DRAINAGE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED PER ORANGE COUNTY PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS.
- UNDERGROUND OF ON-SITE ELECTRIC FACILITIES SHALL BE COORDINATED WITH SOUTHERN CALIFORNIA EDISON COMPANY.

EASEMENT NOTES:

SURVEYOR'S NOTE: PLOTTED HEREON AS

12 EXISTING 6' WIDE SOUTHERN CALIFORNIA EDISON COMPANY EASEMENT.

A PROPOSED EASEMENT FOR FOR PUBLIC UTILITIES, EMERGENCY ACCESS AND SOLID WASTE COLLECTION ("A" DRIVE & "B" DRIVE)



NO.	DATE	REVISIONS	APPROVED

DRAWN BY:	LP
DESIGNED BY:	SG
CHECKED BY:	TF

PREPARED FOR:

Reeco

76 DISCOVERY
IRVINE, CA 92618
PHONE: (877) 967-3326

PREPARED BY:

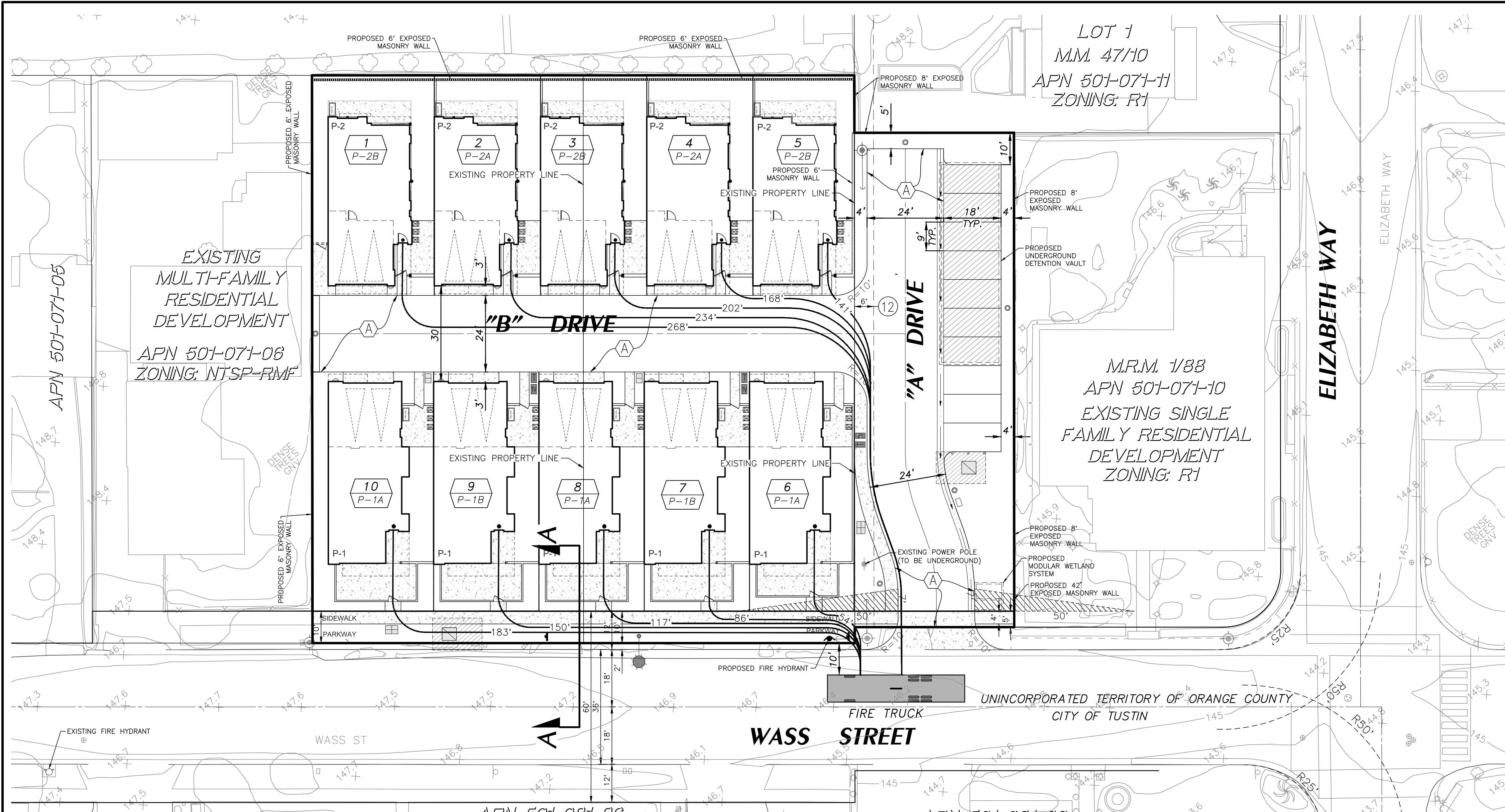
HUNSAKER & ASSOCIATES
IRVINE, INC.
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Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

USE PERMIT PA20-0133
1091, 1111 & 1121 WASS STREET

CONCEPTUAL UTILITY PLAN

UNINCORPORATED TERRITORY OF ORANGE COUNTY

SHEET
C-4



ATTACHMENT 1

OCFA Fire Master Plan Notes (1-1-17)

All of the notes listed in the INSPECTION REQUIREMENTS and GENERAL REQUIREMENTS sections shall be placed, verbatim, on the plan under the heading "FIRE AUTHORITY NOTES." Include individual notes, as applicable, from the PROJECT-SPECIFIC REQUIREMENTS section.

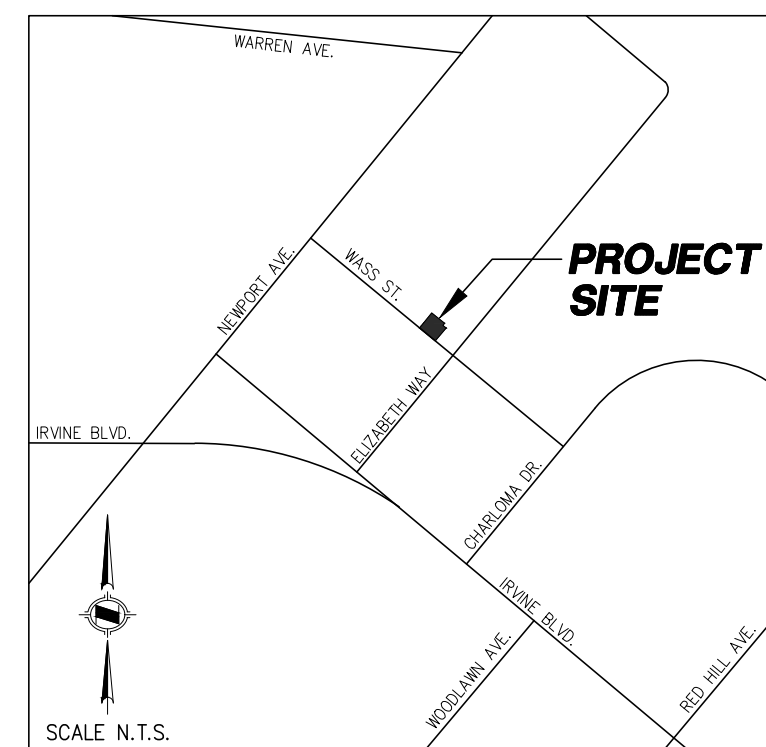
INSPECTION REQUIREMENTS

- OCFA site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a re-inspection fee. Call OCFA Inspection Scheduling at (714) 573-6150.
- A lumber drop inspection shall be performed prior to bringing combustible materials (or combustible fixtures and finishes for structures of non-combustible construction). All-weather access roads capable of supporting 94,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
- For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. Use the fuel modification plan service request number to schedule the vegetation clearance inspection.
- Phased installation of fire access roads requires additional inspections not covered by the fees paid at plan submittal. Contact Inspection Scheduling to arrange for additional inspections that may be needed and any fees that may be due.
- An original approved, signed, wet-stamped OCFA fire master plan shall be available on-site at time of inspection.
- Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections.
- Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the OCFA prior to use.
- The project address shall be clearly posted and visible from the public road during construction.
- All gates in construction fencing shall be equipped with either a Knox or breakaway padlock.
- Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

GENERAL REQUIREMENTS

- Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved OCFA fire master plan and standards identified in OCFA Guideline B-09 for all portions of the fire access roads.
- Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 94,000 lbs. and surfaced to provide all-weather driving capabilities.
- Fire lane signs and red curbs shall meet the specifications shown in OCFA Guideline B-09 and shall be installed as described therein. Additional fire lane markings may be required at the time of inspection depending on field conditions.
- All fire hydrants shall have a "Blue Reflective Pavement Marker" indicating their location per the OCFA standard. On private property markers are to be maintained in good condition by the property owner.
- Address numbers shall be located and be of a color and size so as to be plainly visible and legible from the roadway from which the building is addressed in accordance with OCFA Guideline B-09. Wayfinding signs, when required by the local AHJ, shall comply with the standards of that agency. When wayfinding signs are also required by the OCFA, they may be designed to local AHJ requirements provided that such standards facilitate location of structures, suites, and dwelling units by emergency personnel.
- Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC and OCFA guidelines.
- Approved access walkways shall be provided to all required openings and all rescue windows.
- Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
- Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
- Any future modification to the approved Fire Master Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the OCFA.
- Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in OCFA Guideline B-09 and related portions of the 2016 CFC and CBC. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.

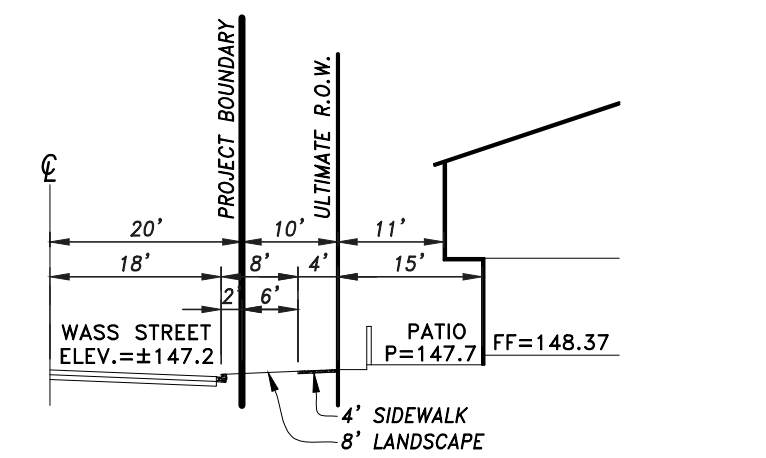
- PROJECT-SPECIFIC REQUIREMENTS (Include only those notes that are applicable to the project as designed; some notes may need to be modified to address specific project conditions)**
- An underground piping plan is required for the installation of an automatic fire sprinkler system or for a private fire hydrant system. A separate plan submittal is required.
 - An architectural plan is required to be submitted to the OCFA for review and approval for projects containing A, C, E, F, H, I, L, and R-4 occupancies. A plan may also be required for R-1 and R-2 occupancies over two stories or those utilizing sprinklers or fire walls to increase the maximum building size allowed—see OCFA Info Bulletin 02-13.
 - A chemical classification and hazardous materials compliance plan shall be approved by the OCFA prior to any hazardous materials being stored or used on site. A separate plan submittal is required.
 - Buildings used for high-piled storage shall comply with CFC requirements. A separate plan submittal is required if materials will be stored higher than 12 feet for lower-hazard commodities, or higher than six feet for high-hazard commodities such as plastics, rubber, flammable/combustible liquids, tires, carpet, etc.
 - An automatic fire sprinkler system shall be installed in accordance with applicable codes and local ordinances, amendments, and guidelines. Sprinkler systems, other than those listed in CFC 903.4, shall be monitored by an approved central station. Separate plan submittals for the sprinkler and monitoring systems are required.
 - Buildings containing industrial refrigeration systems shall comply with CFC requirements. A separate plan submittal is required if refrigerant quantities exceed thresholds.
 - A fire alarm system shall be installed in accordance with applicable codes and local ordinances, amendments, and guidelines. A separate plan submittal is required.
 - Structures located in a Fire Hazard Severity Zone or Wildland-Urban Interface area are subject to the construction requirements prescribed in Chapter 7A of the 2016 CBC and/or Section 337 of the 2016 CFC. Construction materials/methods are reviewed and inspected by the Building Department.
 - One or more structures shown on this plan are located adjacent to a fuel modification area. Changes to the fuel modification zone landscaping, new structures, or addition/alteration to existing structures requires review and approval by the OCFA.
 - Projects located in State Responsibility Areas and in Local Responsibility Area VHFHSZ shall also comply with all applicable requirements from Title 14, Div. 1.5, Ch. 7, SubCh. 2 "SRA Fire Safe Regulations" and Guideline B-09a.
 - Structures meeting the criteria in CFC 510.1 shall be provided with an emergency responder radio system. Refer to CFC 510.2 through 510.6.3 and DAS/BDA guidelines published by OC Sheriff's Communication and Technology Division for technical and submittal information.



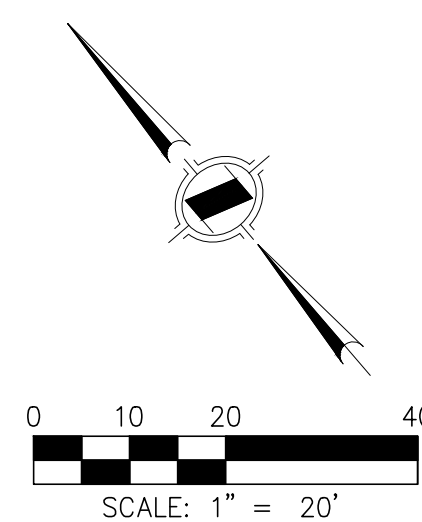
VICINITY MAP

LEGEND

- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- EASEMENT
- PROPOSED CURB
- EXISTING CURB
- PROPOSED CENTER LINE
- PROPOSED SIDEWALK
- EXISTING CONTOURS
- PROPOSED RETAINING WALL
- PROPOSED 6' BLOCK WALL
- LINE OF SIGHT
- DISTANCE TO FRONT DOOR
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED BUILDING LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED GAS & ELECTRIC METER
- PROPOSED TELEPHONE BOX
- PROPOSED TV BOX
- PROPOSED STREET LIGHT
- PROPOSED TRANSFORMER
- PROPOSED MODULAR WETLAND SYSTEM
- PROPOSED UNDERGROUND DETENTION VAULT



SECTION A-A
WASS STREET
PUBLIC STREET
SCALE: 1" = 20'



DATE: OCTOBER 21, 2021



OCFA WATER AVAILABILITY FORM

SECTION A: To be completed by customer

Project Name: _____ OCFA SR #: _____
Project Address: 1091 WASS ST. City: North Tustin
Applicant Phone #: () Fax #: ()
Area of largest building _____ ft². Construction type? (check one) ☐ IA ☐ IIA ☐ IIB ☐ IIC ☐ IID ☐ IIE ☐ IIF ☐ IIG ☐ IIA ☐ IIB ☐ IIC ☐ IID ☐ IIE ☐ IIF ☐ IIG
Is this building sprinklered throughout? (check one) ☒ X ☐ Y

SECTION B: To be completed by local water department/district
Customer to provide results to OCFA

Water Department/District: Tustin Water District
Test location (indicate address or cross-streets & provide reference map): See SoCal Flow Testing report on 8/27/20
Hydrant number(s) (if applicable): Test: N/A Flow: 1368
Elevation of test hydrant: grade feet above sea level
Date of Test: 8/27/20 Time of test: 9:00-9:40
* Test to be performed as close as possible to the time that the lowest flows and pressures are expected (e.g., M-F, 6:00 - 9:00 am and 5:00 - 9:00 pm)

FLOW TEST RESULTS			
TEST INFORMATION IS VALID FOR 6 MONTHS FROM DATE TEST IS PERFORMED			
Static pressure: 63	psi	Residual pressure: 60	psi
Observed flow: 1021 @ 37 psi	gpm	Flow calc'd at 20 psi: 4298	gpm

Based on fluctuations known to exist at the site of the test, provide estimated values for the following:			
Maximum static pressure	psi	Minimum static pressure	psi
Minimum residual pressure	psi	Minimum residual flow	gpm

I have witnessed and/or reviewed this water flow information and by personal knowledge and/or on-site observation certify that the above information is correct.
Name: Randy Medina Company/Agency: City of Tustin
Signature: [Signature] Title: Water Const + Maint. Supervisor
Date: 8/27/2020

Revised 10/16/16

SoCal Flow Testing
3741 Rose Dr, Yorba Linda, CA 92886
714-261-5716 *** 714-393-3877
email: info@socalfloctest.com

Hydrant Flow Test Report

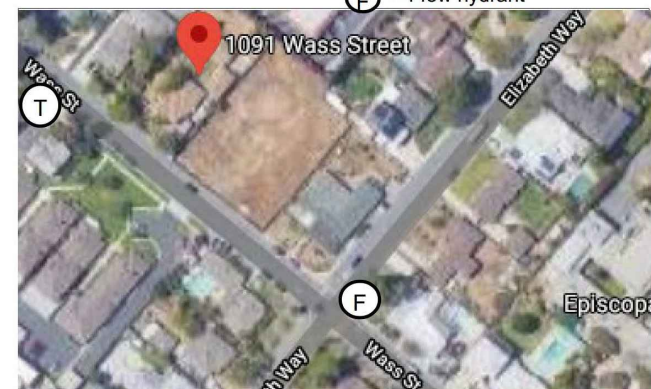
Project Address	1091 - 1121 Wass St		Test date	8/27/20
City	North Tustin		Test time	08:40
		State	CA	File no.
Test hydrant location Hydrant across from 1081 Wass St				
Flow hydrant location Northeast corner of Wass St & Elizabeth Way	Hydr #	N/A	Elev (ft +/-)	Grade
	Hydr #	1368	Elev (ft +/-)	Grade
Static Pressure	63	PSI	Report Date	8/27/20
Outlet	C-value	Diam	Pilot	Volume
A	0.9	2.0	0 PSI	0 GPM
B	0.9	2.5	37 PSI	1021 GPM
C	0.9	3.0	0 PSI	0 GPM
D	0.83	4.0	0 PSI	0 GPM
Residual Pressure	60	PSI	at an observed volume of	1021 GPM
Projected Pressure	20	PSI	calculates to a volume of	4298 GPM

Although the results are accurate for the date and time given, they may not accurately reflect higher or lower readings which vary due to seasonal conditions and time of day.
Per NFPA 24-10, Table C.4.10.1(a), note 1, $Q = 29.84 \times c(d)^2 (p)^{0.5}$
Per NFPA 24-10, Paragraph C.4.10.1.2, $Q_c = Q_c \times (h_1/h_2)^{0.54}$
Test by: Dan Hildebrandt

Witness Dave Wallick
Tustin Water District
dwallick@tustincity.org

Client Quinn Paulin Aguiro
Hunsaker & Associates
(949) 330-0157

cc: rmedina@tustincity.org
qpaulin@hunsaker.com



EASEMENT NOTES:

SURVEYOR'S NOTE: PLOTTED HEREON AS

12 EXISTING 6' WIDE SOUTHERN CALIFORNIA EDISON COMPANY EASEMENT.

A PROPOSED EASEMENT FOR FOR PUBLIC UTILITIES, EMERGENCY ACCESS AND SOLID WASTE COLLECTION ("A" DRIVE & "B" DRIVE)

PREPARED FOR:



PREPARED BY:

HUNSAKER & ASSOCIATES
IRVINE, INC.
PLANNING ■ ENGINEERING ■ SURVEYING
Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

DRAWN BY: LP
DESIGNED BY: SG
CHECKED BY: TF

NO.	DATE	REVISIONS	APPROVED

USE PERMIT PA20-0133

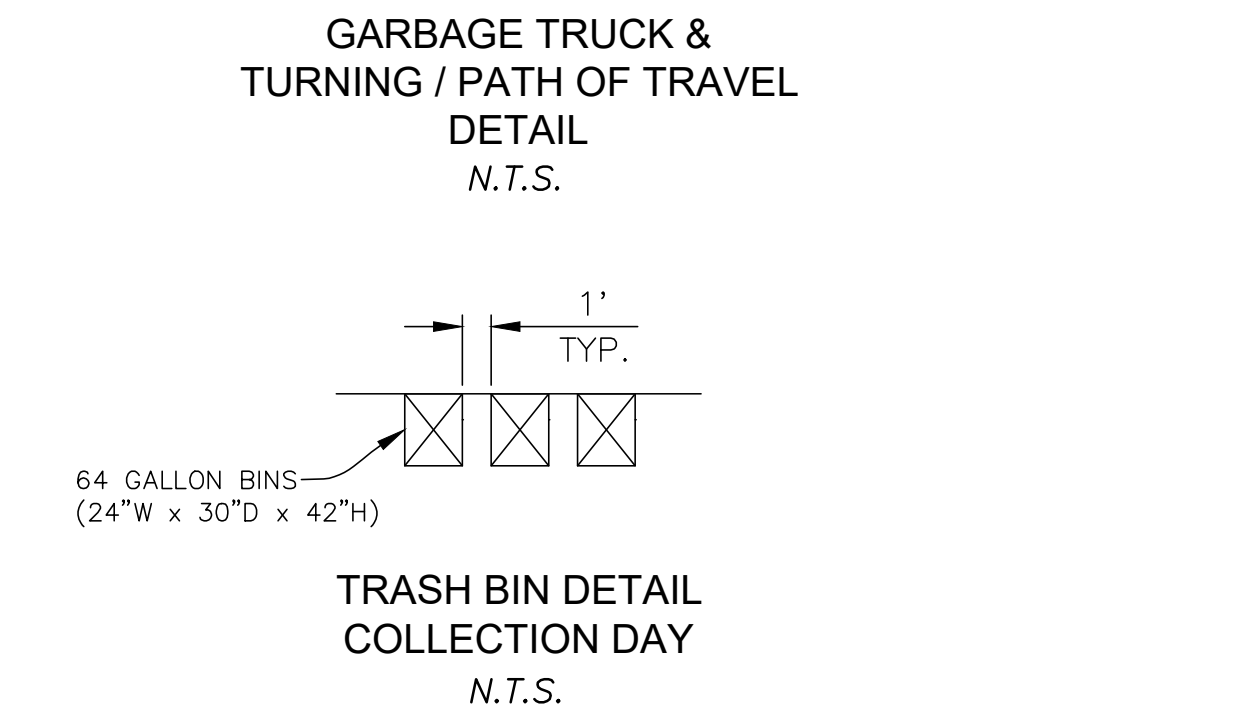
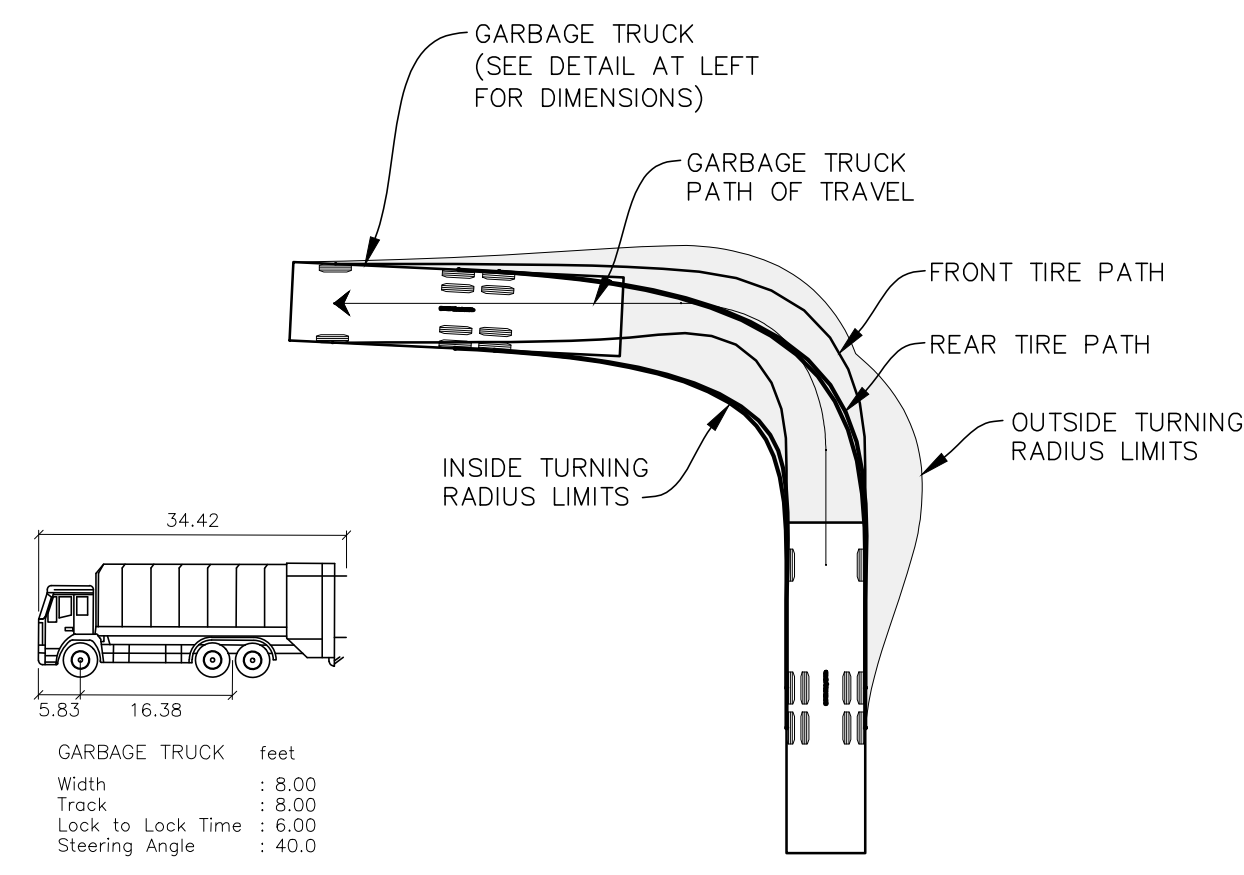
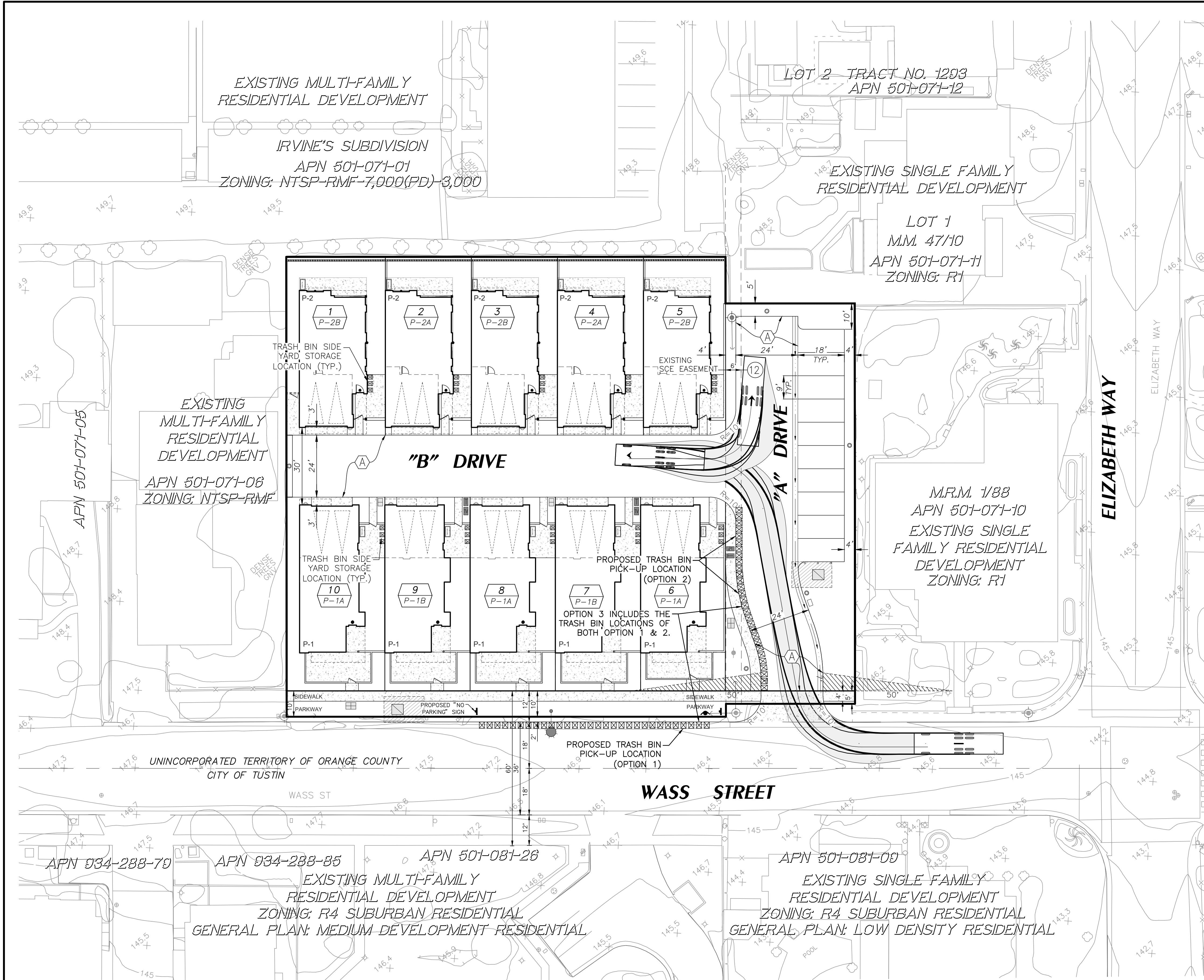
1091, 1111 & 1121 WASS STREET

FIRE ACCESS PLAN

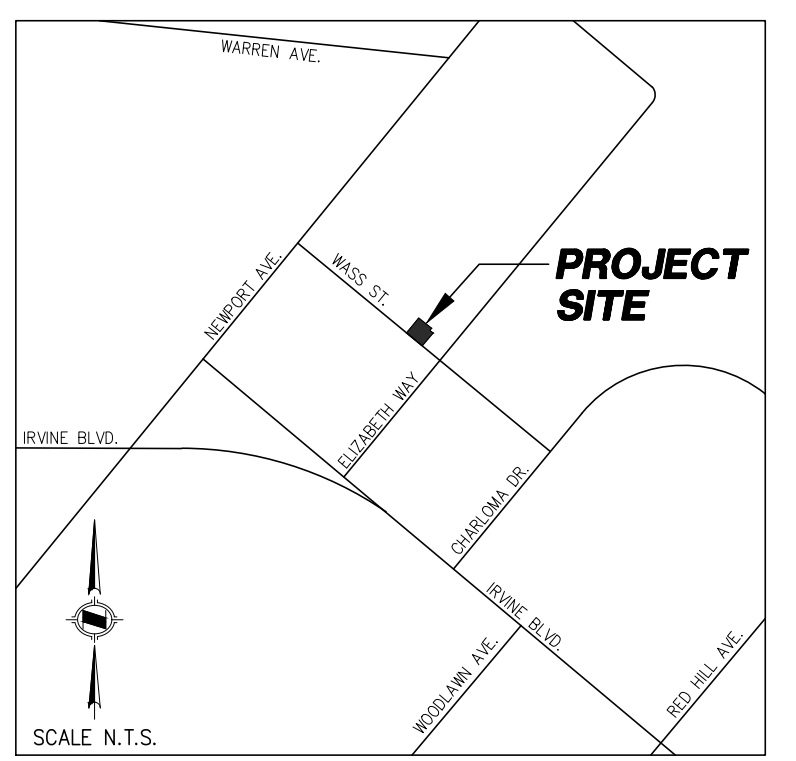
UNINCORPORATED TERRITORY OF ORANGE COUNTY

SHEET

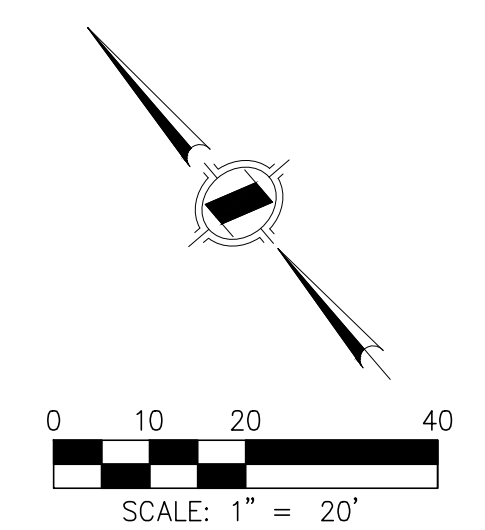
C-5



- EASEMENT NOTES:**
- SURVEYOR'S NOTE: PLOTTED HEREON AS
- 12 EXISTING 6' WIDE SOUTHERN CALIFORNIA EDISON COMPANY EASEMENT.
 - A PROPOSED EASEMENT FOR FOR PUBLIC UTILITIES, EMERGENCY ACCESS AND SOLID WASTE COLLECTION ("A" DRIVE & "B" DRIVE)



- LEGEND**
- RIGHT OF WAY
 - LOT LINE
 - TRACT BOUNDARY
 - EASEMENT
 - PROPOSED CURB
 - EXISTING CURB
 - PROPOSED CENTER LINE
 - PROPOSED SIDEWALK
 - EXISTING CONTOURS
 - PROPOSED RETAINING WALL
 - PROPOSED 6' BLOCK WALL
 - LINE OF SIGHT
 - TRASH BINS (3 PER UNIT)
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - PROPOSED BUILDING LIGHT
 - PROPOSED BOLLARD LIGHT
 - PROPOSED A.C. UNIT
 - PROPOSED STREET LIGHT



NO.	DATE	REVISIONS	APPROVED

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PREPARED FOR:

Reeco

76 DISCOVERY
IRVINE, CA 92618
PHONE: (877) 967-3326

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USE PERMIT PA20-0133
1091, 1111 & 1121 WASS STREET

WASTE MANAGEMENT PLAN

UNINCORPORATED TERRITORY OF ORANGE COUNTY

SHEET

C-6



PLANT PALETTE

Symbol	Botanical Name	Common Name	SIZE	WUCOLS REGION 3
TREES				
	Lagerstroemia l. 'Natchez'	Natchez Crape Myrtle	36" Box	Mod
	Lagerstroemia l. 'Tuscarora'	Tuscarora Crape Myrtle	36" Box	Mod
	Magnolia grandiflora 'St. Mary'	St. Mary Beauty Magnolia	36" Box	Mod
SHRUBS/ GROUNDCOVERS				
	Agave sp. 'Moonshine'	Moonshine Agave	5 Gal.	Low
	Bulbine frutescens 'Hallmark'	Stalked Bulbine	1 Gal.	Low
	Bougainvillea 'Raspberry Ice'	Bougainvillea	5 Gal.	Low
	Cordylina australis	New Zealand Cabbage Tree	5 Gal.	Low
	Dianella revoluta 'Baby Bliss'	Baby Bliss Flax Lily	1 Gal.	Low
	Echeveria derenbergii	Painted Lady	1 Gal.	Low
	Euphorbia c. 'Tasmanian Tiger'	Variegated Spurge	5 Gal.	Low
	Festuca glauca 'Siskiyou Blue'	Siskiyou Blue Fescue	1 Gal.	Low
	Hesperaloe parviflora	Red Yucca	5 Gal.	Low
	Helictotrichon sempervirens	Blue Oak Grass	5 Gal.	Low
	Juncus patens	California Gray Rush	5 Gal.	Low
	Lavandula 'Meerlo'	Meerlo English Lavender	5 Gal.	Low
	Lomandra 'Breeze'	Dwarf Mat Rush	5 Gal.	Low
	Macfadaya unguis-cati	Cat's Claw	5 Gal.	Low
	Salvia gregii 'Flame'	Flame Autumn Sage	5 Gal.	Low
	Santolina chamaecyparissus 'Nana'	Lavender Cotton	5 Gal.	Low
	Sedum dendroideum	Tree Stonecrop	5 Gal.	Low
	Sedum nussbaumerianum	Copperstone Stonecrop	1 Gal.	Low
	Sedum rupestre 'Angelina'	Angelina Stonecrop	1 Gal.	Low
	Senecio serpens	Blue chalcidicks	1 Gal.	Low
	Westringia l. 'Mundli'	Mundli Coast Rosemary	1 Gal.	Low
SCREEN SHRUBS				
	Dodonaea v. 'Purpurea'	Hopseed Bush	5 Gal.	Low
	Westringia 'Blue Gem'	Blue Gem Coast Rosemary	5 Gal.	Low

NOTES:
PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.
ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.
ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.
ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

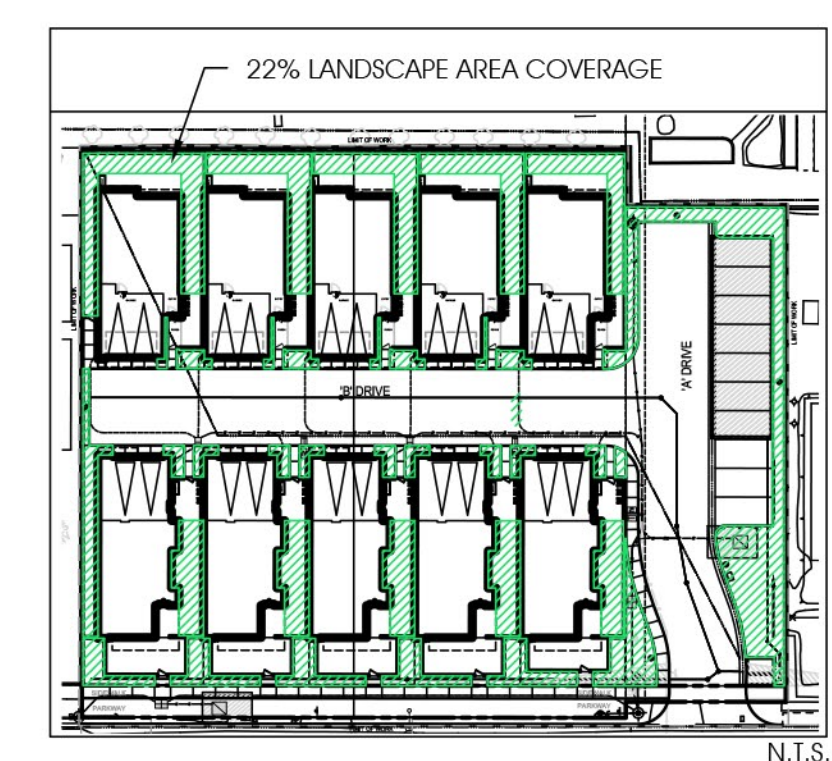
LANDSCAPE AREA TABULATIONS:
GROSS AREA = 0.87 ACRES / 38,008 SQ. FT.
ROW DEDICATION AREA (WASS STREET) = 0.04 ACRES / 1,950 SQ. FT.
NET AREA = 0.83 ACRES / 36,058 SQ. FT.

20% LANDSCAPE AREA REQUIRED= 7,212 S.F.
LANDSCAPE AREA PROVIDED 7,886 S.F. (22%)

LANDSCAPE FRONTAGE 220 L.F.
1 TREE PER 25 FEET OF ROAD FRONTAGE
9 FRONTAGE TREES REQUIRED
10 FRONTAGE TREES PROVIDED

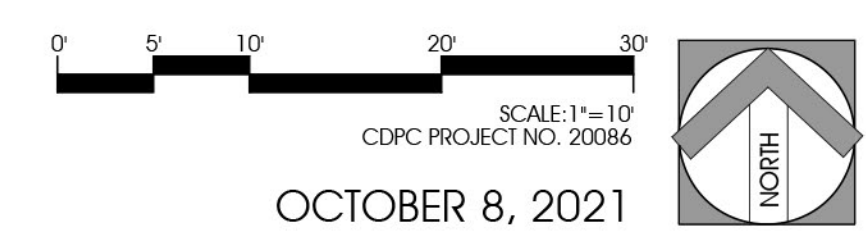
PARKING AREA 1,621 S.F.
1 TREE PER 1000 SF OF PARKING AREA SURFACE
2 REQUIRED PARKING LOT TREES
5 PARKING LOT TREES PROVIDED

ADDITIONAL SHADE TREES PROVIDED=17 TREES



CONCEPTUAL LANDSCAPE PLAN

WASS STREET RESIDENTIAL DEVELOPMENT
TUSTIN, CA



conceptual design & planning company
Corporate Office:
3195-C Airport Loop Drive
Studio One
Costa Mesa, CA 92626
T: 949.399.0870
www.cdpcinc.com
COSTA MESA • ATASCADERO • SAN JOSE • LAS VEGAS



TREES



Lagerstroemia 'Natchez' Natchez Crape Myrtle
Lagerstroemia 'Tuscarora' Tuscarora Crape Myrtle
Magnolia grandiflora 'St. Mary' St. Mary Magnolia

PLANT PALETTE

Symbol	Botanical Name	Common Name	SIZE	WUCOLS REGION 3
TREES				
	Lagerstroemia l. 'Natchez'	Natchez Crape Myrtle	36" Box	Mod
	Lagerstroemia l. 'Tuscarora'	Tuscarora Crape Myrtle	36" Box	Mod
	Magnolia grandiflora 'St. Mary'	St. Mary Beauty Magnolia	36" Box	Mod
Symbol	Botanical Name	Common Name	SIZE	WUCOLS REGION 3
SHRUBS/ GROUNDCOVERS				
	Agave sp. 'Moonshine'	Moonshine Agave	5 Gal.	Low
	Bulbine frutescens 'Hallmark'	Stalked Bulbine	1 Gal.	Low
	Bougainvillea 'Raspberry Ice'	Raspberry Ice Bougainvillea	5 Gal.	Low
	Cordyline australis	New Zealand Cabbage Tree	5 Gal.	Low
	Dianella revoluta 'Baby Bliss'	Baby Bliss Flax Lily	1 Gal.	Low
	Echeveria derenbergii	Painted Lady	1 Gal.	Low
	Euphorbia c. 'Tasmanian Tiger'	Tasmanian Tiger Spurge	5 Gal.	Low
	Festuca glauca 'Siskiyou Blue'	Siskiyou Blue Fescue	1 Gal.	Low
	Hesperaloe parviflora	Red Yucca	5 Gal.	Low
	Helictotrichon sempervirens	Blue Oat Grass	5 Gal.	Low
	Juncus patens	California Gray Rush	5 Gal.	Low
	Lavandula 'Meerlo'	Meerlo English Lavender	5 Gal.	Low
	Lomandra 'Breeze'	Dwarf Mat Rush	5 Gal.	Low
	Macfadyena unguis-cati	Cat's Claw	5 Gal.	Low
	Salvia greggii 'Flame'	Flame Autumn Sage	5 Gal.	Low
	Santolina chamaecyparissus 'Nana'	Lavender Cotton	5 Gal.	Low
	Sedum dendroideum	Tree Stonecrop	1 Gal.	Low
	Sedum nussbaumerianum	Coppertone Stonecrop	1 Gal.	Low
	Sedum rupestre 'Angelina'	Angelina Stonecrop	1 Gal.	Low
	Senecio serpens	Blue Chalksticks	1 Gal.	Low
	Westingia f. 'Mundt'	Mundt Coast Rosemary	1 Gal.	Low

SCREEN SHRUBS

	Dodonaea v. 'Purpurea'	Hopseed Bush	5 Gal.	Low
	Westingia 'Blue Gem'	Blue Gem Coast Rosemary	5 Gal.	Low

NOTES:
PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.
ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.
ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.
ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED.

SHRUBS/ GROUNDCOVERS/ VINES



Agave sp. 'Moonshine' Moonshine Agave
Bulbine frutescens 'Hallmark' Stalked Bulbine
Bougainvillea 'Raspberry Ice' Raspberry Ice Bougainvillea
Cordyline australis New Zealand Cabbage Tree
Dianella revoluta 'Baby Bliss' Baby Bliss Flax Lily



Dodonaea viscosa 'Purpurea' Purple Hopseed Bush
Echeveria derenbergii Painted Lady
Euphorbia c. 'Tasmanian Tiger' Tasmanian Tiger Spurge
Festuca glauca 'Siskiyou Blue' Siskiyou Blue Fescue
Hesperaloe parviflora rubra Red Yucca
Helictotrichon sempervirens Blue Oat Grass



Juncus patens California Gray Rush
Lavandula 'Meerlo' Meerlo English Lavender
Lomandra 'Breeze' Dwarf Mat Rush
Macfadyena unguis-cati Cat's Claw
Salvia greggii 'Flame' Flame Autumn Sage
Santolina chamaecyparissus 'Nana' Lavender Cotton



Sedum dendroideum Tree Stonecrop
Sedum nussbaumerianum Coppertone Stonecrop
Sedum rupestre 'Angelina' Angelina Stonecrop
Senecio serpens Blue Chalksticks
Westingia f. 'Mundt' Mundt Coast Rosemary
Westingia 'Blue Gem' Blue Gem Rosemary



WASS STREET RESIDENTIAL COMMUNITY
NORTH TUSTIN, CALIFORNIA



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A.1

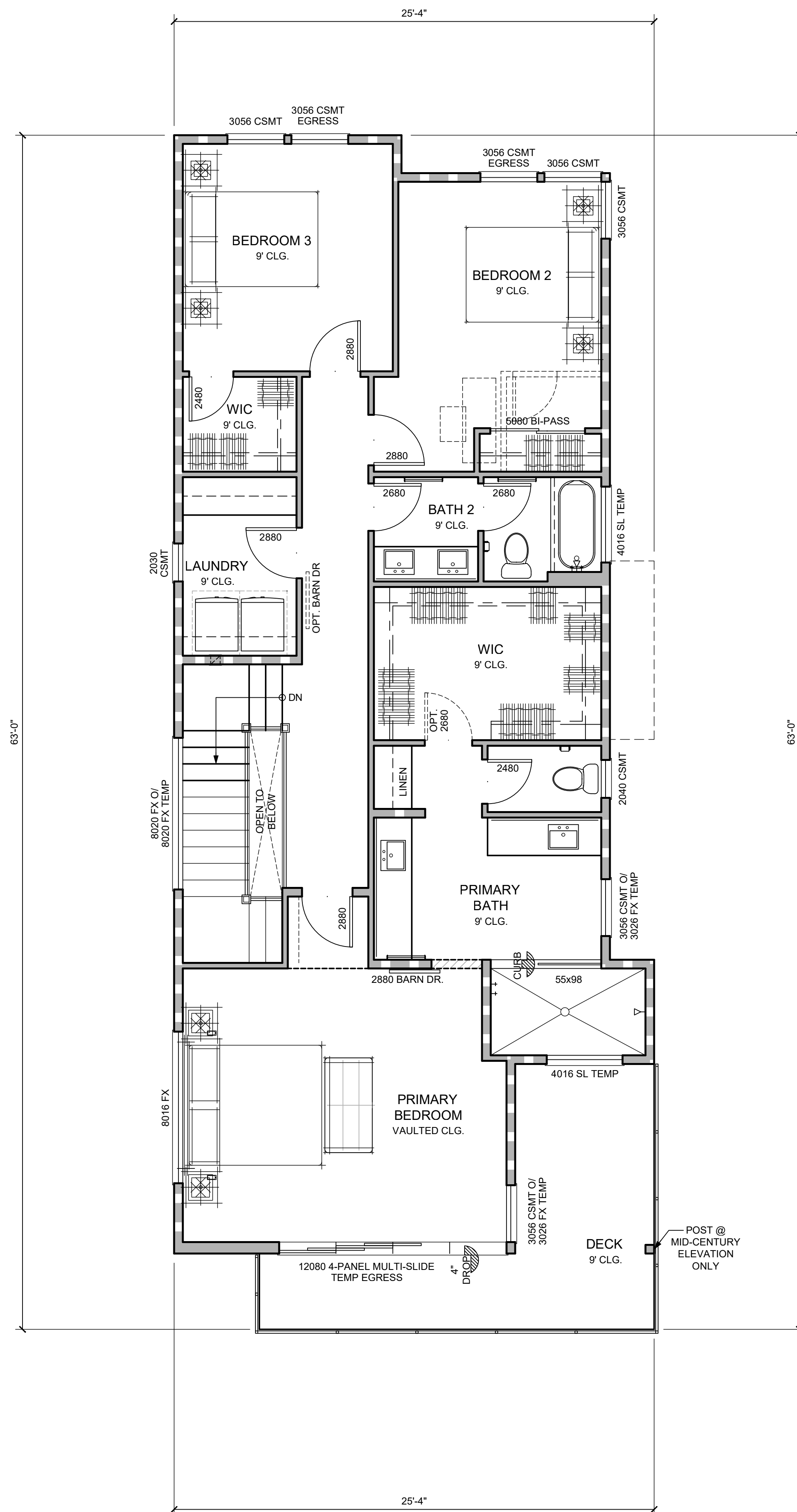


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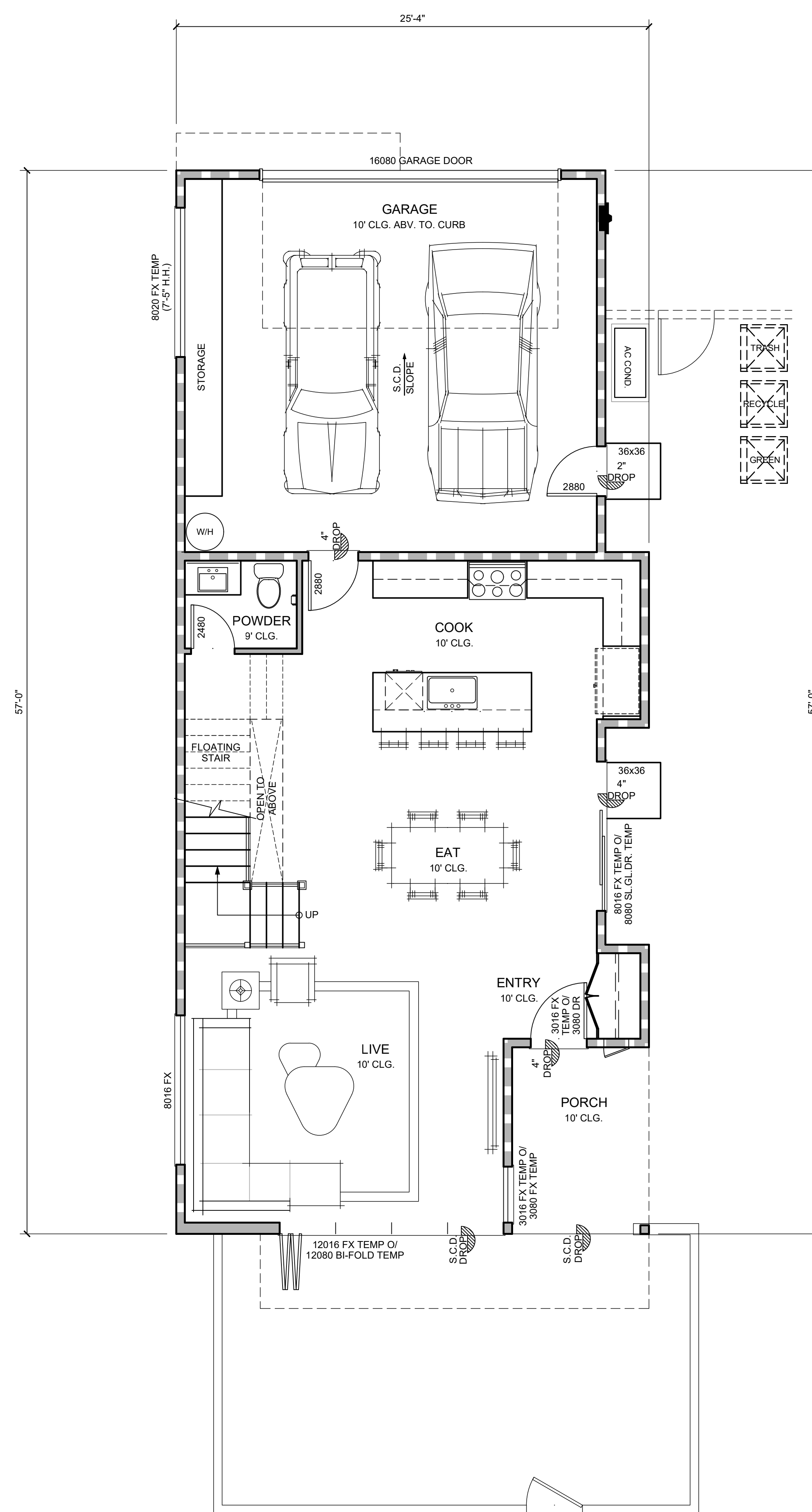


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A.2



PLAN 1 - SECOND FLOOR



PLAN 1 - FIRST FLOOR

FLOOR AREA TABLE - PLAN 1 (2-STORY)		
VB - R3 - SINGLE FAMILY DETACHED - 2019 CRC	NFPA-13D SPRINKLERS MEASURED OUTSIDE STUD	
	SQ. FT.	SQ. FT.
FIRST FLOOR PLAN	825	SQ. FT.
SECOND FLOOR PLAN	1208	SQ. FT.
TOTAL	2033	SQ. FT.
2-CAR GARAGE	471	SQ. FT.
FRONT PORCH	73	SQ. FT.
2ND FLOOR DECK	157	SQ. FT.
3 BEDROOM / 2.5 BATHROOM		

PLAN 1 FLOOR PLANS



PLAN 1A
AXONOMETRICS

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NORTH TUSTIN, CALIFORNIA

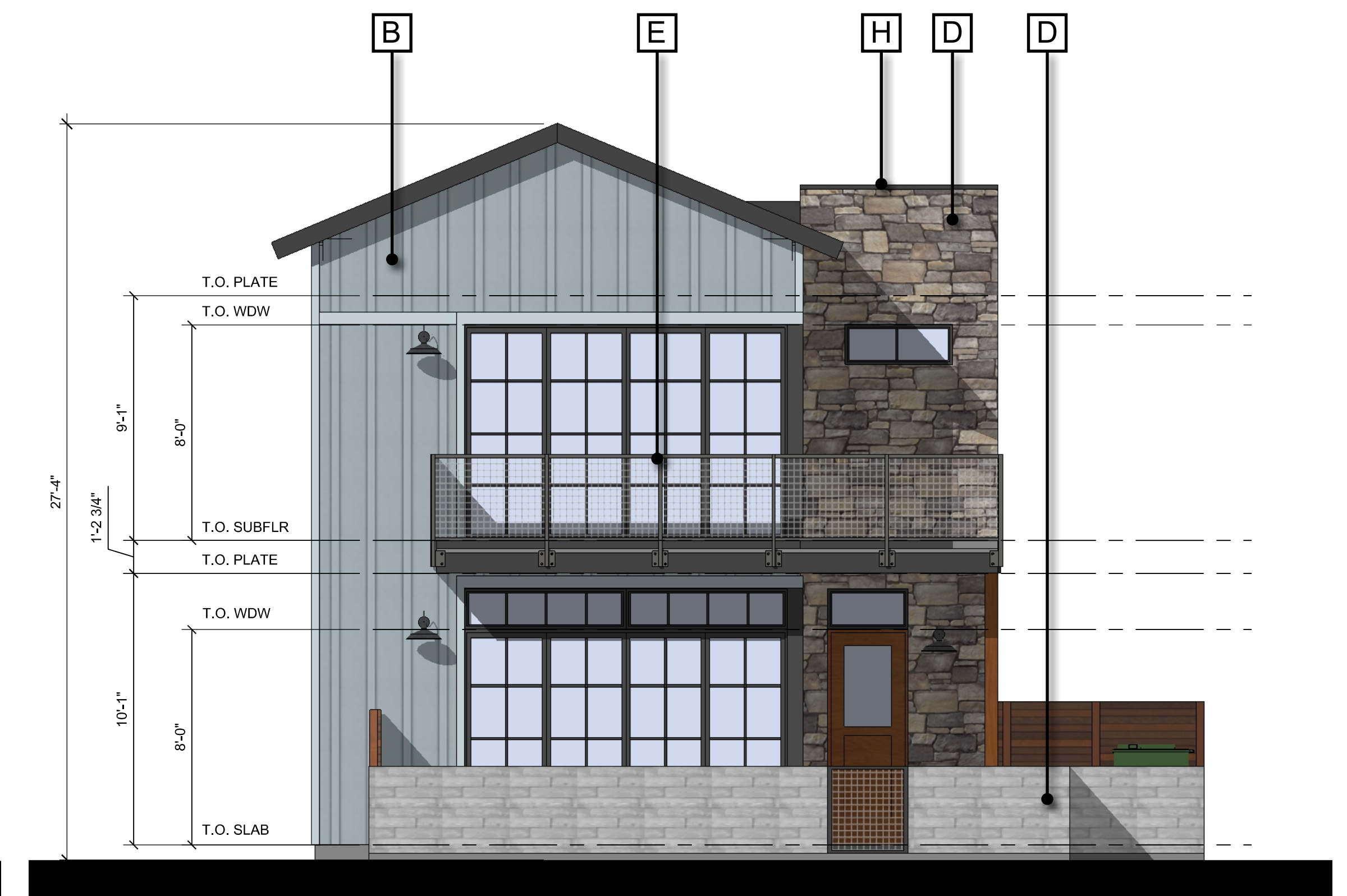


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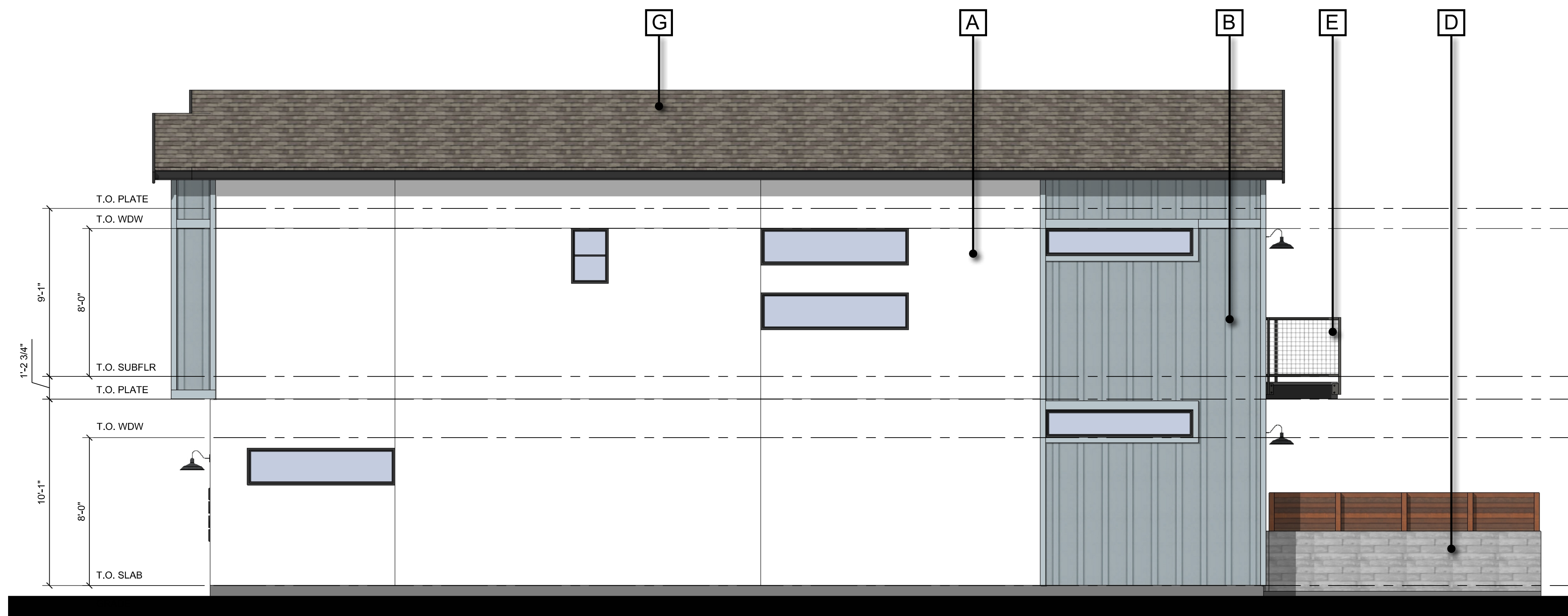
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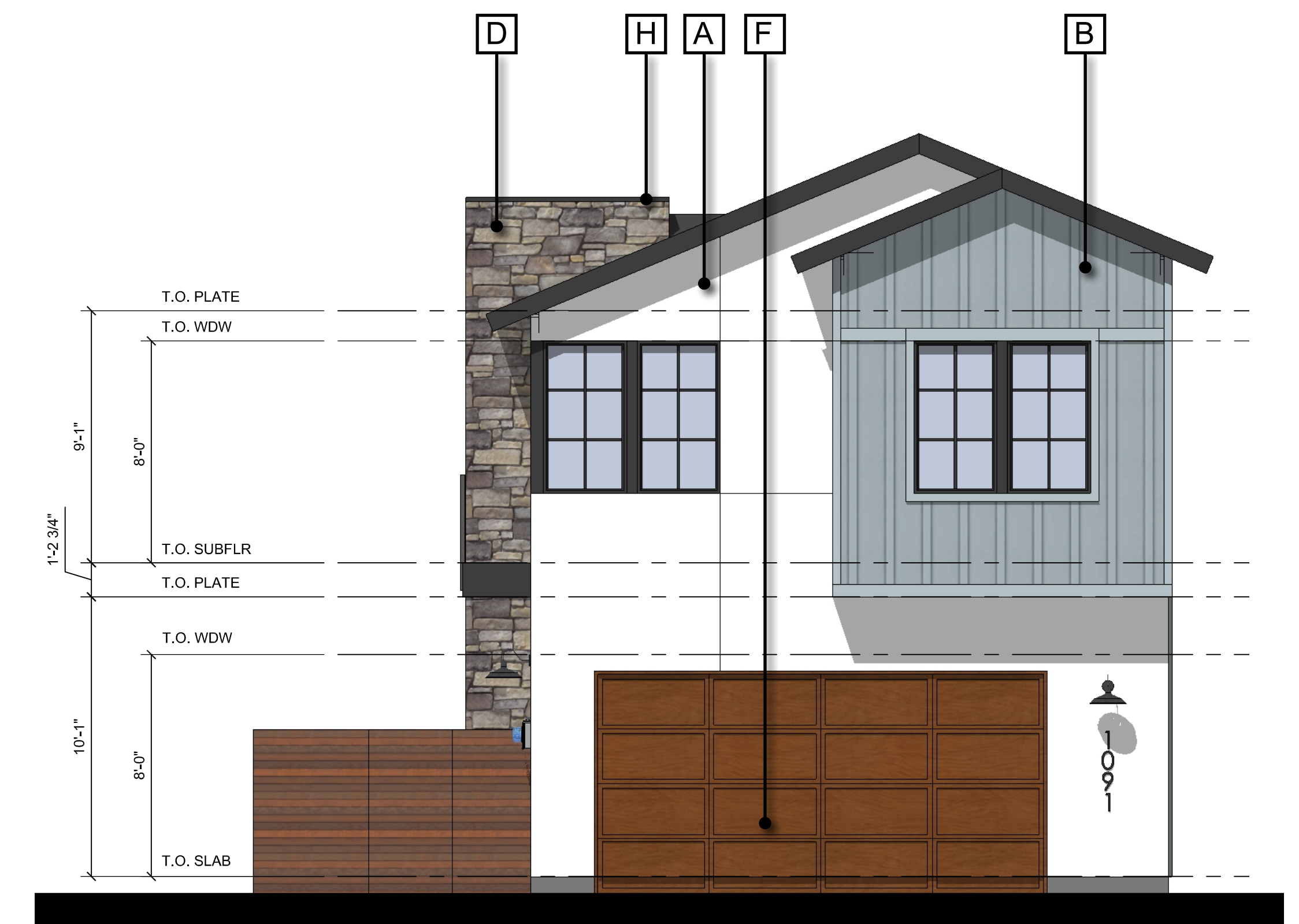
PLAN 1A - RIGHT ELEVATION



PLAN 1A - FRONT ELEVATION



PLAN 1A - LEFT ELEVATION



PLAN 1A - REAR ELEVATION

PLAN 1A ELEVATIONS

WASS STREET RESIDENTIAL COMMUNITY
NORTH TUSTIN, CALIFORNIA

Material Callouts	
A - Stucco	E - Metal Railing
B - Vertical Siding	F - Roll Up Garage Door
C - Horizontal Siding	G - Composite Shingles
D - Masonry	H - TPO Roof



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A.5



WASS STREET RESIDENTIAL COMMUNITY
NORTH TUSTIN, CALIFORNIA



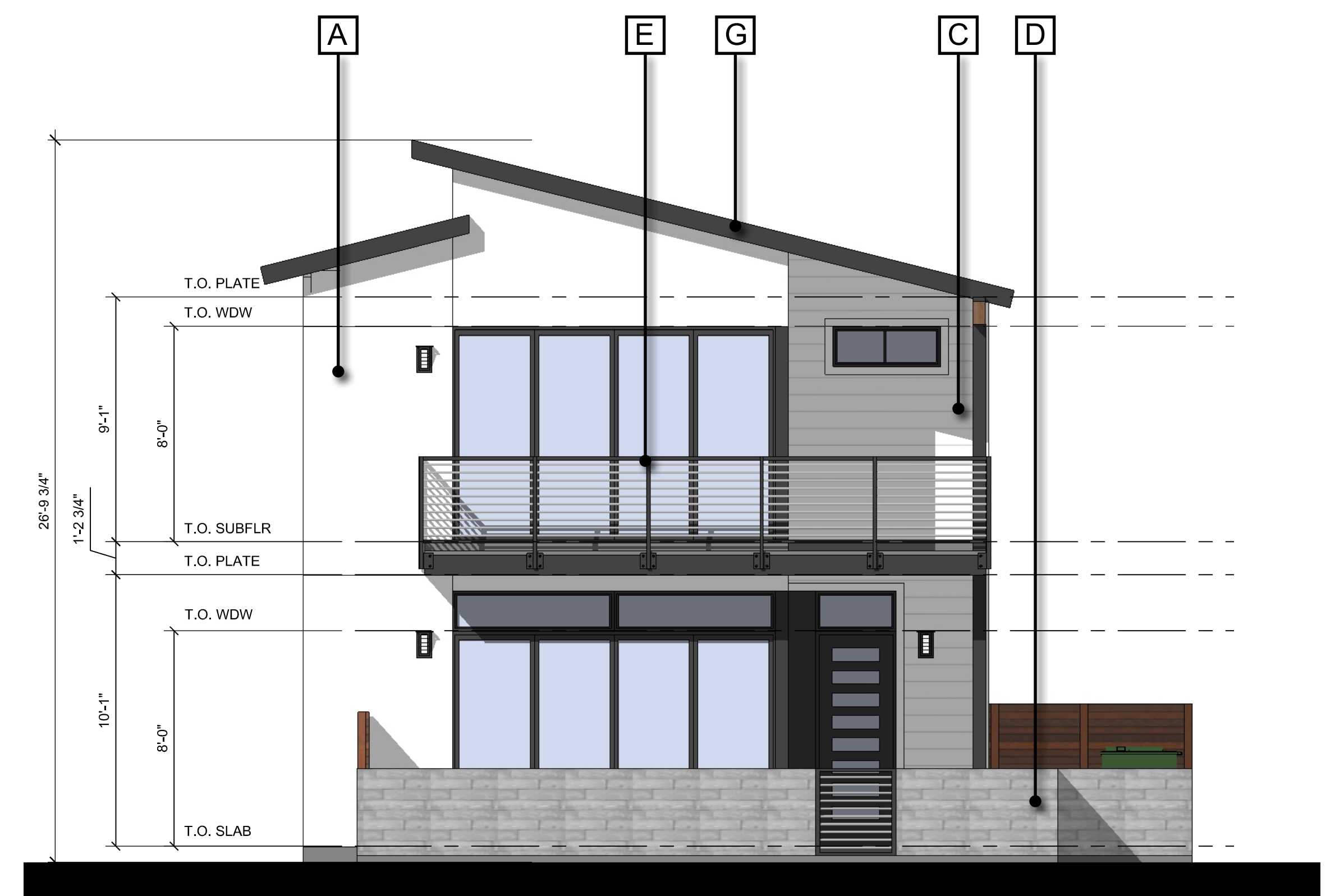
PLAN 1B
AXONOMETRICS

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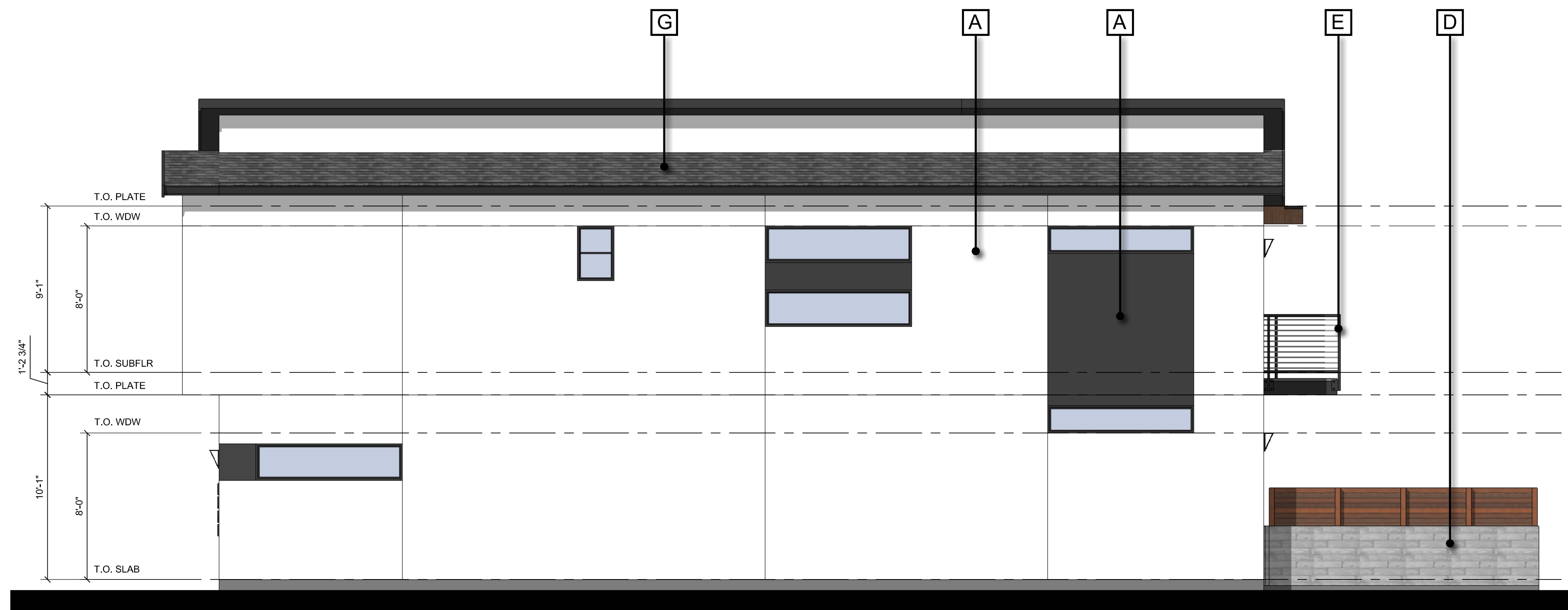
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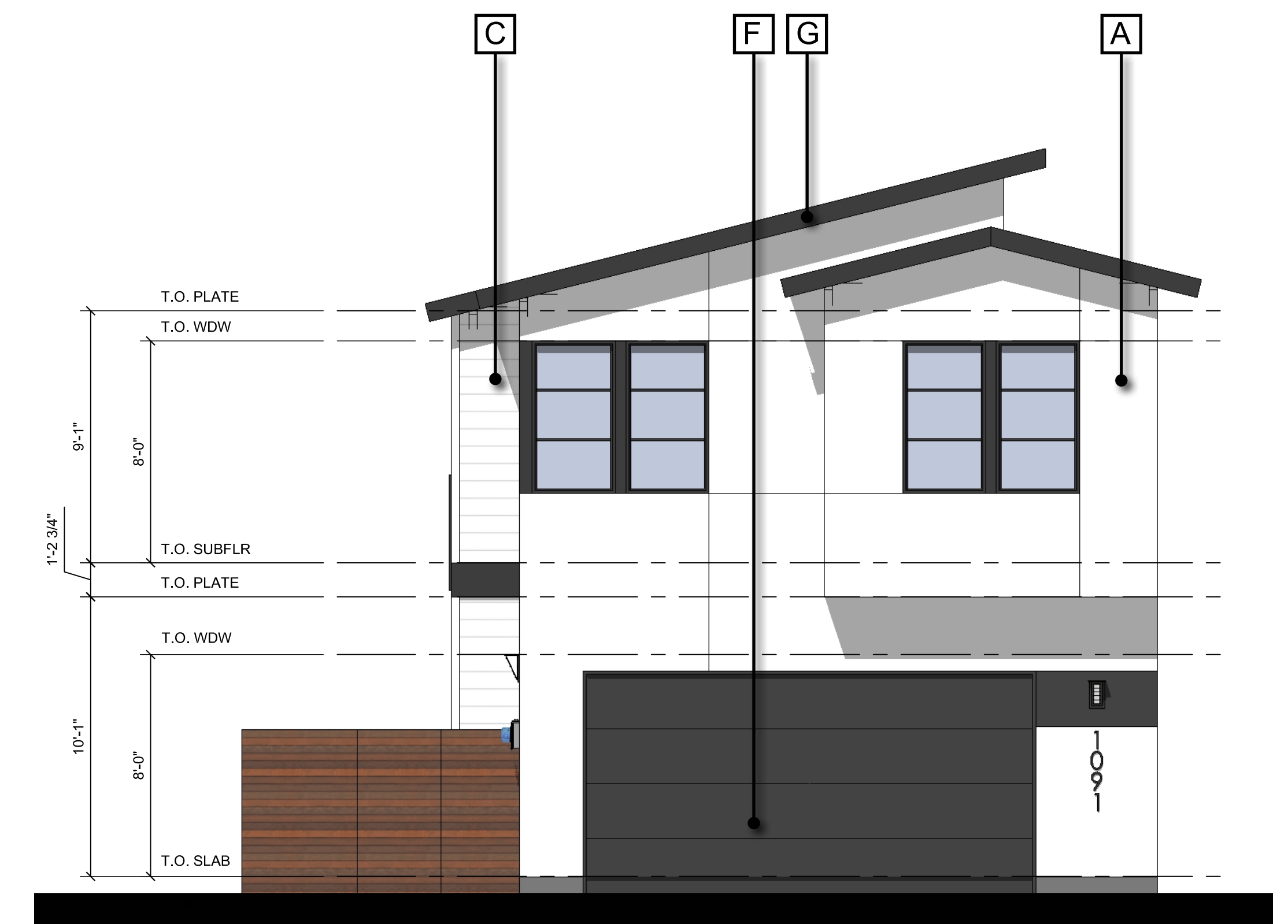
PLAN 1B - RIGHT ELEVATION



PLAN 1B - FRONT ELEVATION



PLAN 1B - LEFT ELEVATION



PLAN 1B - REAR ELEVATION

PLAN 1B ELEVATIONS

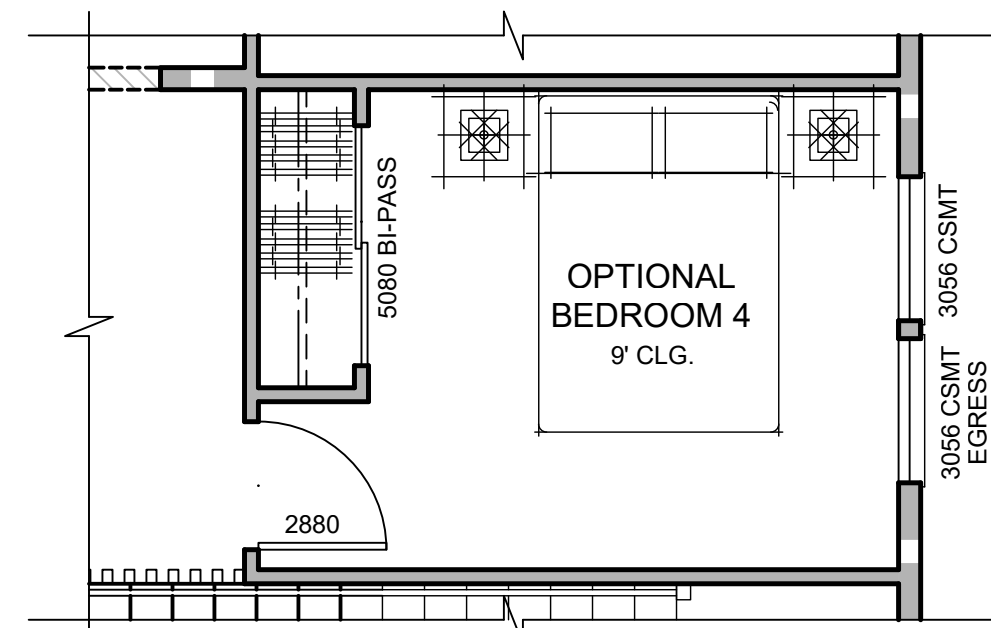
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NORTH TUSTIN, CALIFORNIA

Material Callouts	
A - Stucco	E - Metal Railing
B - Vertical Siding	F - Roll Up Garage Door
C - Horizontal Siding	G - Composite Shingles
D - Masonry	H - TPO Roof

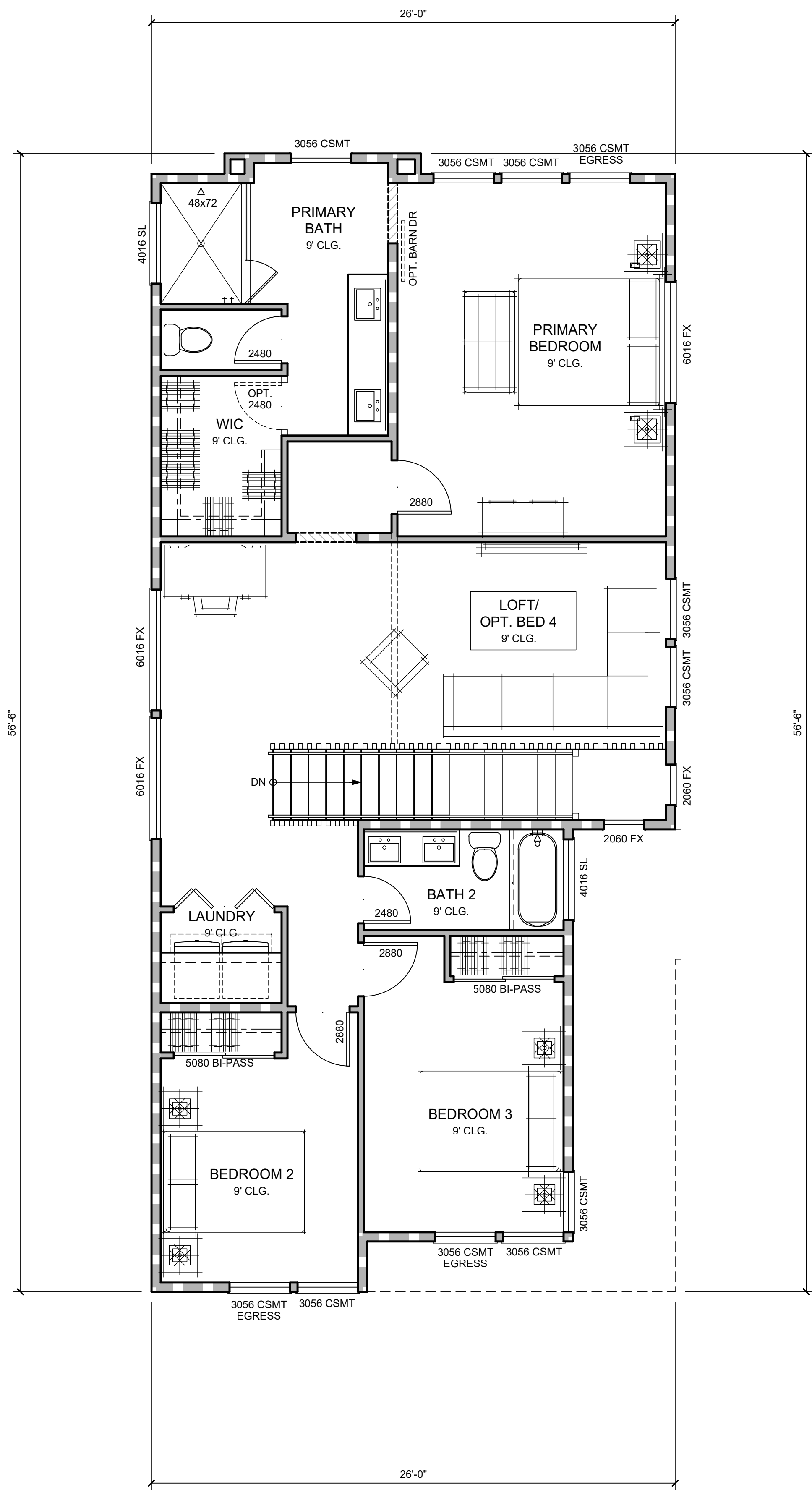


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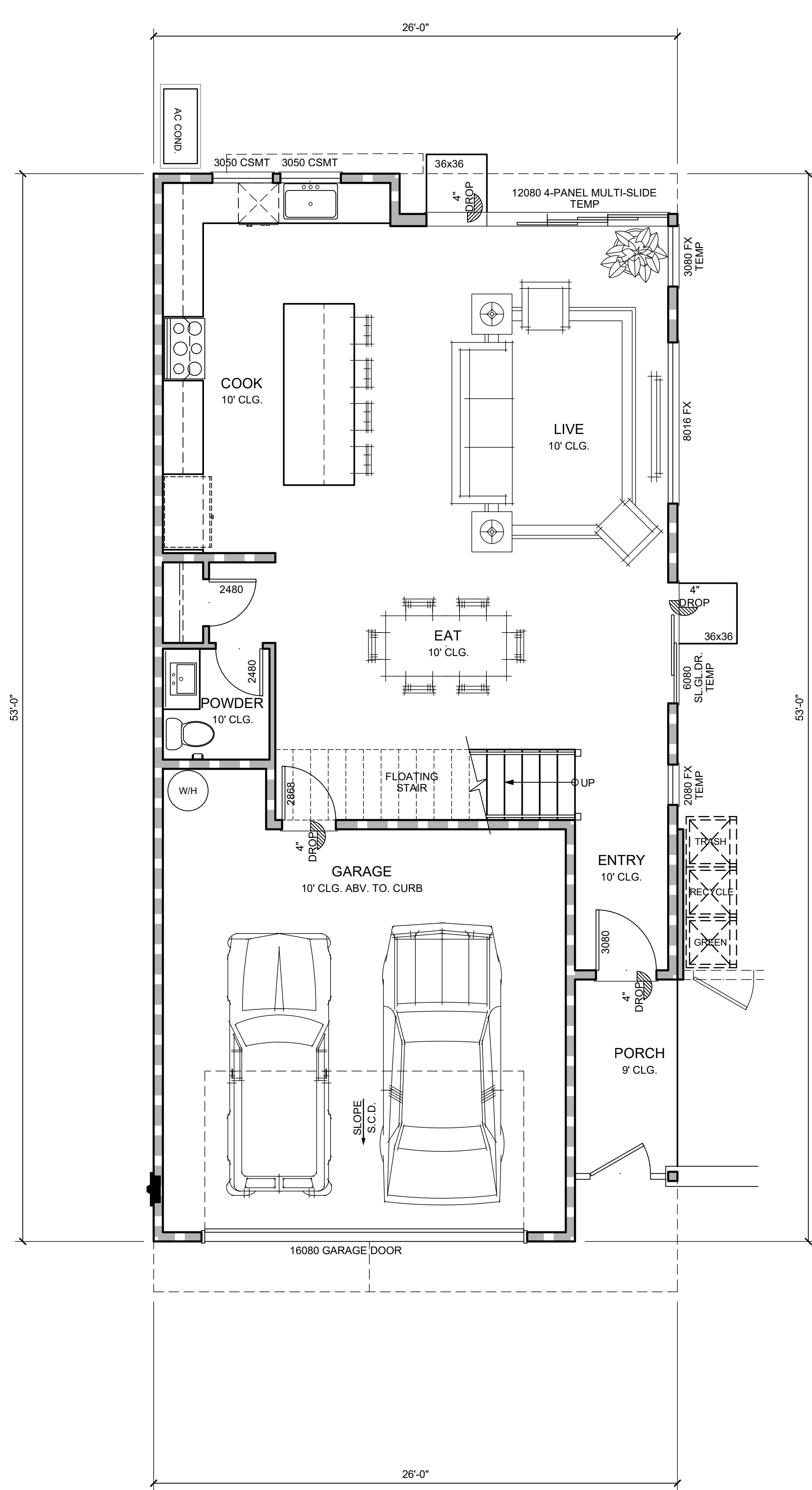
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**PLAN 2 - SECOND FLOOR PLAN
OPTIONAL BEDROOM 4**
SCALE: 1/4" = 1'-0"



PLAN 2 - SECOND FLOOR



PLAN 2 - FIRST FLOOR

FLOOR AREA TABLE - PLAN 2 (2-STORY)		
VB - R3 - SINGLE FAMILY DETACHED - 2019 CRC	NFPA-13D SPRINKLERS MEASURED OUTSIDE STUD	
FIRST FLOOR PLAN	844	SQ. FT.
SECOND FLOOR PLAN	1238	SQ. FT.
TOTAL	2082	SQ. FT.
2-CAR GARAGE	440	SQ. FT.
FRONT PORCH	51	SQ. FT.
3 BEDROOM / 2.5 BATHROOM W/ LOFT (OPT. BEDROOM 4)		

PLAN 2
FLOOR PLANS



WASS STREET RESIDENTIAL COMMUNITY
NORTH TUSTIN, CALIFORNIA



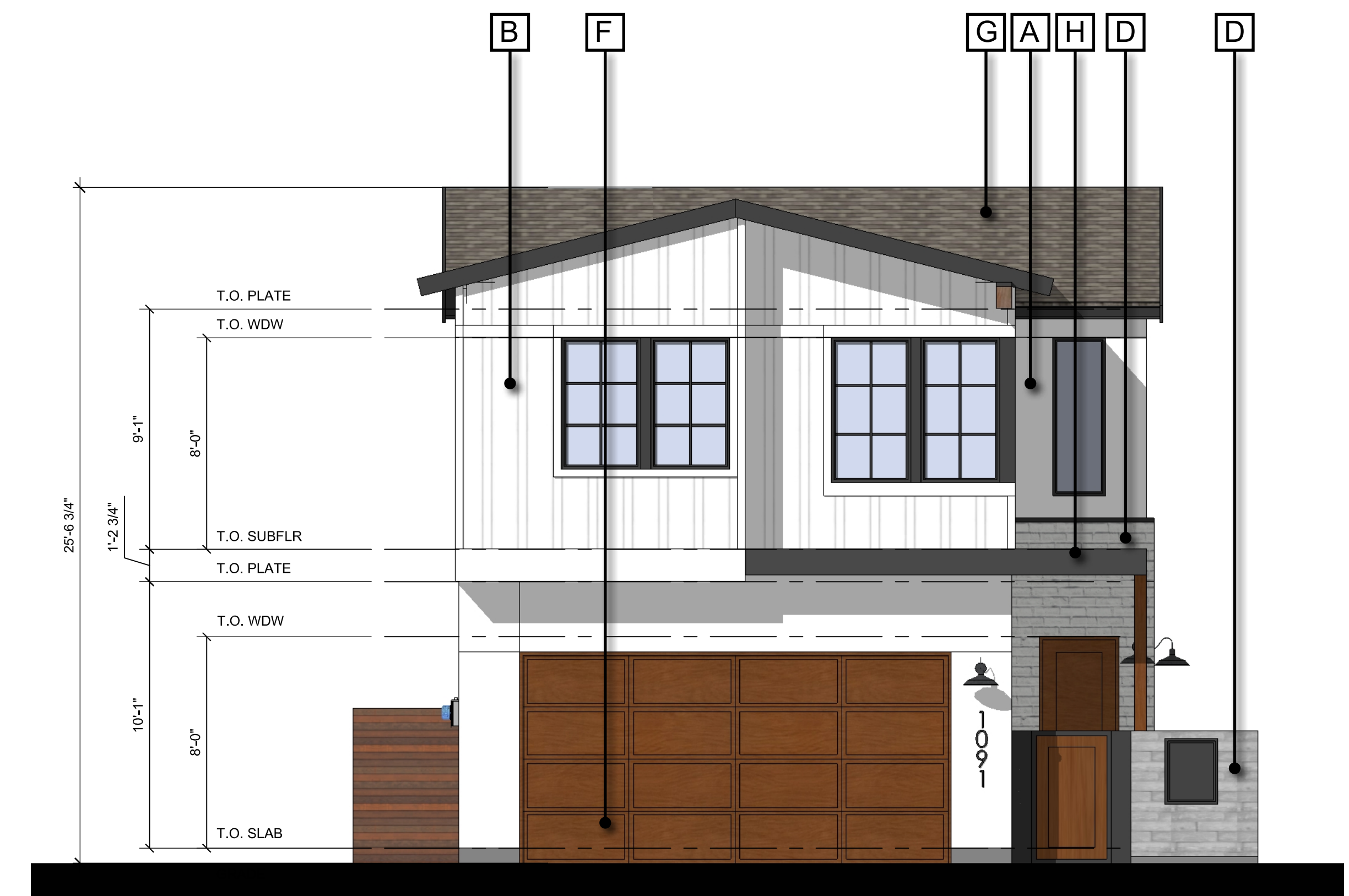
PLAN 2A
AXONOMETRICS

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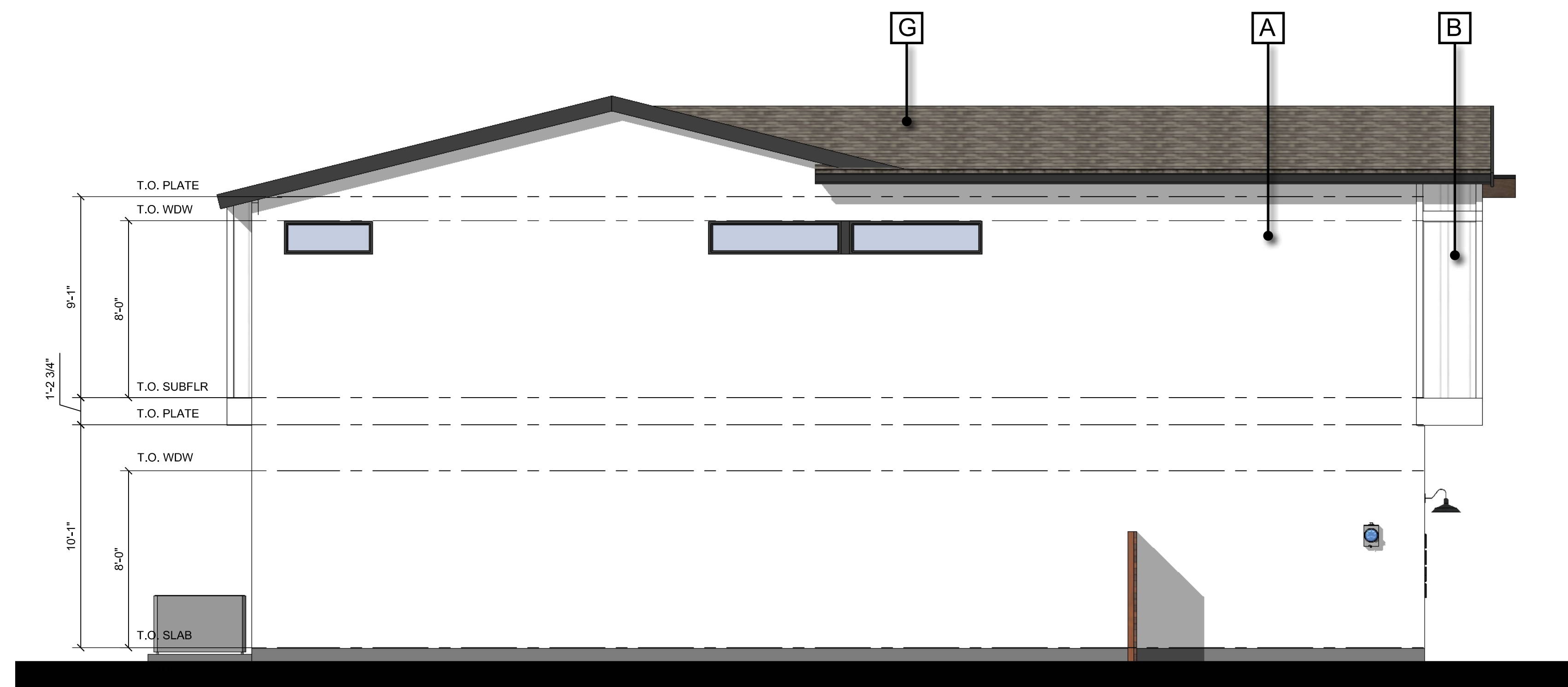
A.9



PLAN 2A - RIGHT ELEVATION



PLAN 2A - FRONT ELEVATION



PLAN 2A - LEFT ELEVATION



PLAN 2A - REAR ELEVATION

PLAN 2A ELEVATIONS

WASS STREET RESIDENTIAL COMMUNITY
NORTH TUSTIN, CALIFORNIA

Material Callouts	
A - Stucco	E - Metal Railing
B - Vertical Siding	F - Roll Up Garage Door
C - Horizontal Siding	G - Composite Shingles
D - Masonry	H - TPO Roof



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A.10



PLAN 2B
AXONOMETRICS

WASS STREET RESIDENTIAL COMMUNITY
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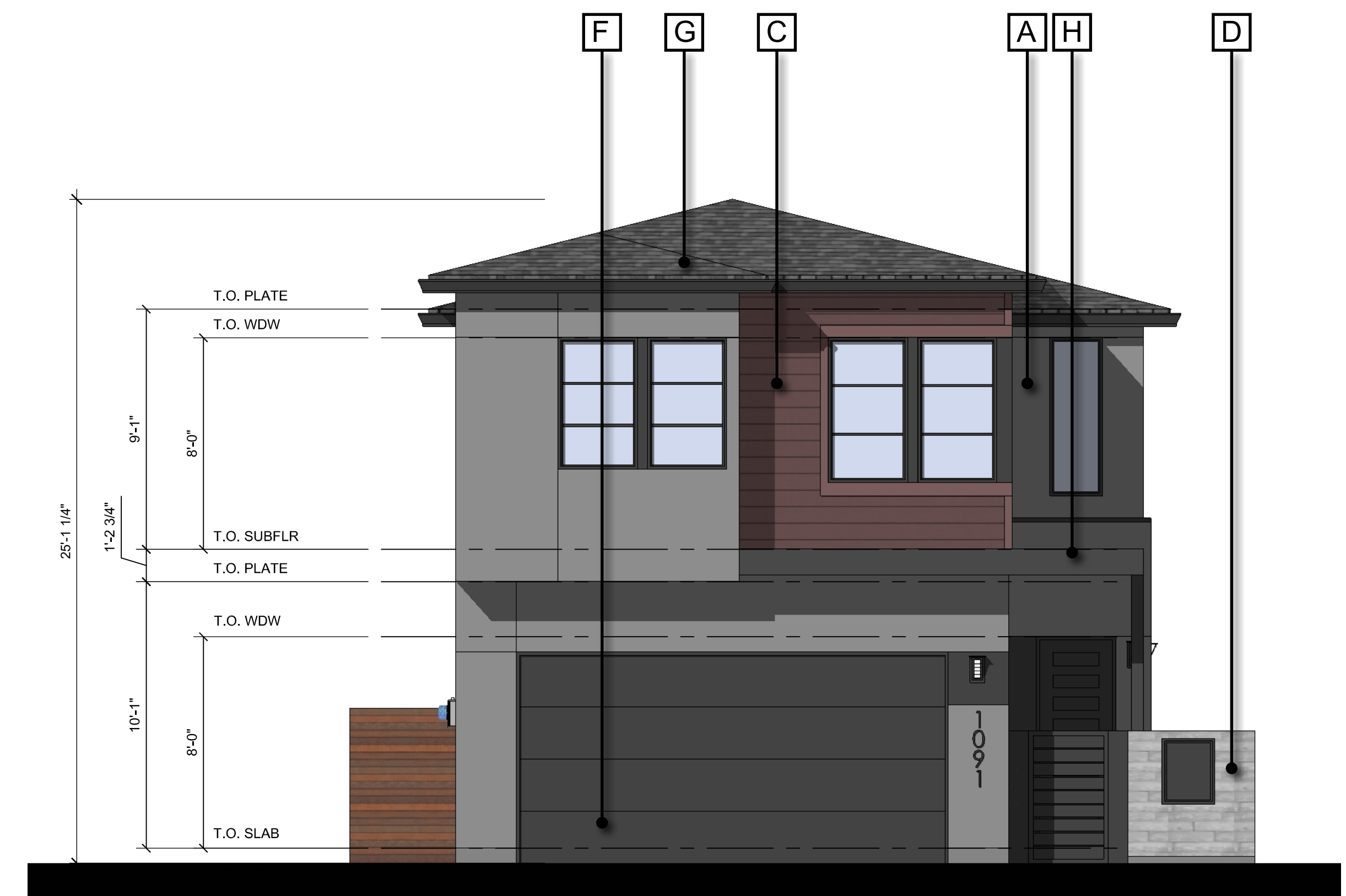


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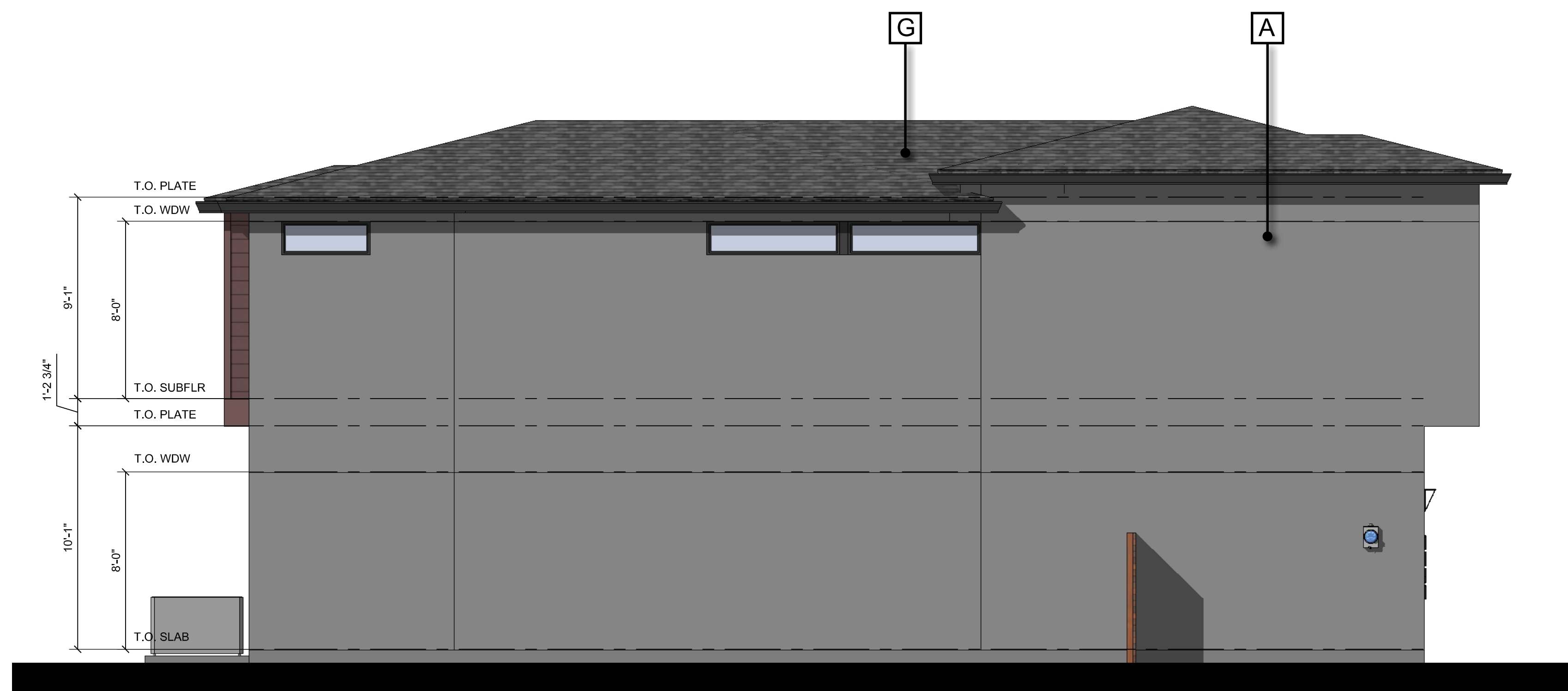
A.11



PLAN 2B - RIGHT ELEVATION



PLAN 2B - FRONT ELEVATION



PLAN 2B - LEFT ELEVATION



PLAN 2B - REAR ELEVATION

PLAN 2B ELEVATIONS

WASS STREET RESIDENTIAL COMMUNITY
NORTH TUSTIN, CALIFORNIA

Material Callouts	
A - Stucco	E - Metal Railing
B - Vertical Siding	F - Roll Up Garage Door
C - Horizontal Siding	G - Composite Shingles
D - Masonry	H - TPO Roof



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A.12