

**NOT APPROVED FOR
COUNTY PERMIT ISSUANCE**

APPLICANT: OFFIELD
ADDRESS: #235
PROJECT: 2976 TRACT: 977 LOT: 19
SCOPE OF WORK: NEW RESIDENCE WITH MAJOR LANDSCAPE/HARDSCAPE
SUBMITTAL: PRELIMINARY
ARCHITECT: Christian Light
Phone: (949) 851-8345 Lic. # C22334
LANDSCAPE ARCHITECT: Nord Eriksson
Phone: (626) 795-2008

Architectural review by Ken Wilkins

Landscape review by James Dockstader

FINAL COMMITTEE RECOMMENDATION: APPROVAL

HISTORY OF SUBMITTALS:

- | | | |
|---------------|-------------|--------------|
| • August 2020 | CONCEPT | ACKNOWLEDGED |
| • March 2021 | PRELIMINARY | DEFERRED |

SUMMARY OF PROPOSED ARCHITECTURAL IMPROVEMENTS:

Submittal application indicates a new residence of 4,425 SF which includes a two-car garage. New construction is indicated to be:

	Concept	Proposed	Change
• Street Level	370 SF	313 SF	-57 SF
• Garage	482 SF	477 SF	-5 SF
• Main Level	1,920 SF	1,990 SF	+70 SF
• Basement Level	1,635 SF	1,645 SF	+10 SF
• Cantilevered Deck	427 SF	427 SF	0 SF
• Anchored Deck		118 SF	0 SF
• Roof Deck		178 SF	0 SF

Changes made since Preliminary Deferred submittal:

Raised ridge over garage approx. 5" along with garage slab to address the downward sloping driveway.

Submitted the updated Architectural sheets from the previous comments and the coordinated Civil and Landscape plans.

Made changes to the rear patio as noted in the Staff Landscape Findings.

SUMMARY OF PROPOSED LANDSCAPE IMPROVEMENTS:

Proposed landscape improvements include: Water feature, BBQ, walls, paving, planting, irrigation.

STAFF ARCHITECTURAL FINDINGS:

1. **ARCHITECT STAMP (Section B.2):** Drawings are stamped and signed. **OK This will be checked at each submittal.**
2. **ARCHITECTURAL REVIEW - SUBMITTAL COMPLETENESS (Section B.5):** Submittal is generally complete enough for review. **OK**
3. **LOT COVERAGE (Section C.1):** "A structure shall not exceed 40% coverage of the Lot or Parcel upon which it is built". Lot coverage is calculated as the total area of the roof less overhang. **The lot coverage stated on the submittal application is $2,790 / 7,108 = 39.25\%$. OK The 1960 Topo was updated to show the Lot Area consistent with the Total 1960 Topo submitted at Concept. OK**
4. **SETBACKS (Section C.2):** The proposed structure appears to respect the 5'-0" minimum setbacks. **At the previous Preliminary submittal, the garage corner was pulled back from the front setback to allow for roof overhangs and finish materials. The 6' high screen wall previously added on the front setback line at the Bath area was removed and replaced with a planter. OK**

The Committee may require greater setbacks.

5. **UTILITY EASEMENTS (Section C.3):** Portions of retaining walls, stairs and planters are allowed within the Utility Easements. **These will be reviewed by the Emerald Bay Service District prior to Final approval.**

As part of the Service District review note: projection of caissons or any below grade structures including shoring structures have recently been limited to project 24" into the utility easements. It has been discussed that a clear zone of 3'x15' is large enough and deep enough for a sewer main, water main, or 30" diameter storm drain. This is only a guideline and will be reviewed on a case by case basis.

6. **PARKING (Section C.4):** The parking area shown on the submittal application is 3,995 SF. The garage area used for required parking (430 SF) does not need to be included in the parking calculations. ($4,425 \text{ SF} - 430 \text{ SF} = 3,995 \text{ SF}$) This requires a two-car garage plus one regular off-street parking space. A two-car garage and one additional off-street parking space are provided. Overlays were provided. **OK**
7. **SERVICE YARD (Section C.5):** Shown in the Southeast side yard. **OK**
8. **BACKFLOW PREVENTION DEVICES (Section C.8):** New residences and renovations/remodels/additions which include the addition of 2 or more plumbing fixtures require a backflow prevention device. **EBSD will review at the Final review. These must be located wholly on the Owner's property.**
9. **NUMBER OF STORIES (Section D.1):** The Submittal application indicates a proposed structure with 2 stories plus a basement. The structure appears to comply. **OK**
10. **BUILDING HEIGHT (Section D.2):** "No portion of the structure disclosed by the lot building plans shall exceed fifteen (15) feet above the highest point of that portion of the Lot or Parcel where the Natural Grade of the Lot or Parcel intersects the exterior wall of the

structure nearest to the highest portion of the Natural Grade of the Lot or Parcel, nor shall any portion of the structure exceed twenty (20) feet in height above the Natural Grade of the Lot or Parcel." **The high point of natural grade adjacent to the structure is noted as 94.0' on sheet 4. $94.0' + 15' = 109.0'$ maximum. The roof ridges at 2 locations are noted as 109'. The chimney height is noted on the roof plan at 106.5 and 104.5 on the left elevation. OK The chimney height must be held to the minimum allowed by code.**

11. COMPATIBILITY (Section D.3): **Materials are noted as wood siding, stone, wood screen, standing seam metal roof, metal clad windows and doors, wood garage door, metal fascia banding, glass guardrails and metal trellis.**

A 6' high screen fence was added at the front yard setback line, outside the bathroom.

See Staking Comments under Initial Committee Comments and comments regarding development of the rear slope.

12. NON-CONFORMING STRUCTURES (Section D.4): A pre-existing, non-conforming Structure or portions of a Structure may be retained where the proposed alteration does not increase the square footage by 25% or more, increase the height of the Structure such that it is above the height envelope for the Tract and there is no change to the existing broad style of architecture. **N/A. All elements must conform with the current Architectural Regulations.**

Existing non-conforming elements:

N/A

New non-conforming elements:

None

13. ROOFS (Section D.5):

Roof pitch: Noted as 3:12 **OK**

Flat roof: Roof slopes less than 3:12 are considered flat. The maximum area of flat roofs is 15% of the roof area. The overlay indicates there is 360 SF of flat roof with a total roof area of 2,500 SF = 14.2%. **Trellis elements are considered to be at least 50% open. In this condition, what is included in the flat roof calculation as shown is acceptable in this location. OK**

Roof Material: **Noted as Zinc. This is to be naturally weathering. OK**

Roof Equipment: None shown. **OK**

Parapet: None shown. **OK**

14. ROOF DECKS (Section D.6): The area adjacent to the Den is considered a Roof Deck. **On the previous Preliminary submittal it was noted that the calculation on the overlay sheet OV2 was used with Roof Deck = 178 SF with EBCA calculation of adjacent habitable area being served = 171.5 SF. Corrected. OK**

15. **MATERIALS AND COLORS (Section D.7): The Committee will review the color and materials at the Final review.**

16. WINDOWS AND DOORS (Section D.8): Metal clad. **OK**
17. ANTENNAS (Section D.9): None indicated. **OK**
18. SOLAR PANELS (Section D.10). None indicated. **OK**
19. SKYLIGHTS (Section D.11): **Noted as non-reflective. OK**
20. ARCHITECTURAL EXTERIOR LIGHTING (Section D.12): Light fixtures must be down lit or shielded to prevent glare or be a nuisance to neighbors. Light fixtures must be complementary to the architectural style of the residence.

Elevations show fixtures locations, cut sheet provided. OK

21. GUTTERS AND DOWNSPOUTS (Section D.13): Detail provided showing concealed. **OK**

22. OTHER COMMENTS:

- An updated signed copy of the 1960 topo plan was submitted.
- Opaque glass added at bathroom window to the left of the street, facing the garage.

STAFF LANDSCAPE FINDINGS:

1. SUBMITTAL COMPLETENESS (Section B.5): Submittal must be generally complete enough for review. **OK, except for items described below.**
2. LANDSCAPE STRUCTURES ARE SET BACK 5' FROM LOT BOUNDARIES (Tract Schedule A Exhibits): Except for fences and walls, structures are 5' from PL. **OK**

UTILITY ELEMENTS / EBSD SUBMITTAL: Evidence of EBSD review and approval will be required at the time of final submittal. **Submit at time of final**

3. LOT COVERAGE (Sec C.1): Landscape features such as raised patios and/or freestanding structures must not create a lot coverage overage. **OK**
4. SITE DRAINAGE (Sec C.6): A conceptual grading and drainage plan must be included, generally showing adequate site drainage. **OK**
5. CURBS AND GUTTERS (Sec C.7): For new residences and major remodels, plans must show complete replacement of curb and gutter along entire street frontage with reference to EBSD requirements. **OK**
6. BACKFLOW PREVENTION (Sec C.8): A backflow prevention device must be installed for proposed irrigation systems and must not be located on Association Property. **Show at time of final submittal.**
7. EXTERIOR MECHANICAL EQUIPMENT (Sec E.1): Mechanical equipment shall not be located in easement areas. **Two AC units are shown in a covered vault just below the lowest patio. OK**

Mechanical spa/AC equipment appears to be screened from view. **Units appear to be screened with a wood fence and metal cover. OK**

Noise impacts on adjacent neighbors must be avoided and/or minimized. **OK**

An acoustical report prepared by a qualified expert is submitted showing that anticipated noise impacts are less than the County maximum at the nearby property lines. **Submittal will not be required due to location on highway slope**

Acoustical report assumptions and recommendations are consistent with submittal drawings. **NA**

8. EXTERIOR LIGHTING (Sec E.2): Landscape lighting proposals must be shown and must appear to limit glare and annoyance. **OK**

9. FENCES, WALLS, AND HEDGES (Sec E.3):

In front yard setback areas fences, hedges, and walls are to be 4' high or less as compared to adjacent top of curb elevations. For corner lots, the maximum height is 3'. **OK**

Between the front yard setback and the house structure fences, walls, hedges, railings or other features are to be 4' high or less compared to finished grade. **OK**

Front yard improvements address issues of visual impact, compatibility, and contributions to common visual streetscape. **OK**

In side yard and rear yard setback areas fences and/or walls must be 6' high or less as compared to existing grade along neighbor's side of property line. **OK, except that service yard is not screened and a required guardrail is not shown. These may be overheight in this location due to elevating the service yard by 4 to 6'.**

Property line fences, walls, and footings must be constructed completely on the subject property. **OK**

Block walls are finished on all sides. **Not shown**

At the street fences, walls, and railings must be held back a minimum of 18 inches from face of curb. **OK**

10. PLAY EQUIPMENT AND PLAY HOUSES (Sec E.5): Issues of noise and visual impact have been adequately addressed. **None proposed. NA**
11. MAILBOXES (Sec E.6): Design and location must be shown. **Location is shown, design or description is not.**
12. OUTDOOR FIREPLACES, FIREPITS, COOKING ELEMENTS (Sec E.7): Outdoor fireplaces, BBQs, and ovens shall be a minimum of 5' clear of any property line and must be gas only. **OK**

The minimum setback for any open firepit shall be a minimum of 10'. **No firepits proposed.**
NA

13. WATER FEATURES, SWIMMING POOLS, SPAS (Sec E.8): Pool and spa structures are located entirely outside the 5' utility easement area. **OK**

Issues of noise and visual impact must be adequately addressed. **OK**

Security/pool fencing is shown. **NA**

14. PARKWAY ACCESS (Sec E.12): Planting and paving within 18-24" of face of curb shall allow for convenience of on-street parking **Proposed Agave appear to be much too close to gravel and curb and would likely grow to at least the face of curb over time.**

15. IMPROVEMENTS ON EBCA PROPERTY Section C, Part 21): Trees, hedges, and structures are not proposed on EBCA property. **OK, except on several site drawings, a low wall is proposed adjacent the driveway on the south side**

16. POTENTIAL OBSTRUCTION OF VIEW (Sec A.5): Trees and shrubs must not unreasonably block a neighbor's view. **OK**

17. PREPARATION BY LANDSCAPE ARCHITECT (Sec B.2): **OK**

18. FUEL MODIFICATION (Sec E.14): Highly flammable target species shall not be proposed. **OK**

Perimeter properties appear to be consistent with Orange County requirements for Zone A. **OK**

19. OTHER:

- **Typically, proposals adjacent PCH are evaluated for impacts to steep planted slope, for compatibility/harmony with respect to adjacent properties, and for consistency with apparent 'lines' of development. Extensive patios and decks are proposed over the existing slope, with patio as much as 5' above existing grade. The planter wall at the south end (TOW 78) appears to be un-necessary and extends development and non-slope planting further downhill than the adjacent neighbor.**
- **A portion of the driveway is downsloping and may require evaluation by EBSD prior to preliminary approval**

FINAL COMMITTEE RECOMMENDATIONS:

1. The Committee initially recommended disapproval of the plans as submitted. The following items were adequately addressed therefore the Committee voted to **Approve** the project as revised.

- a. The Committee reviewed the staking and takes no exceptions.

- b. Show how service yard is screened and show required service yard guardrails, consistent with setback height restrictions. **Corrected**
 - c. Show or describe mailbox design. **Detail Added**
 - d. Delete Agave within 5' of face of curb and propose location or species which will not require significant or periodic pruning to avoid impacting the 18-24" area behind face of curb. **Removed**
 - e. Delete proposed wall on EBCA property shown on some site plans, south side of driveway. **Removed**
 - f. Delete proposed wall (TOW 78) at south end of patio and show plantings consistent with existing slope plantings. Avoid impacts to existing grade and existing slope plantings as much as feasible. **Removed**
 - g. EBSD has provided comments regarding the driveway slope and the backflow preventer located in the driveway. Submit confirmation from Mike Dunbar that these items have been addressed. **OK**
 - h. The Committee notes that the opportunity exists to increase planted area between the south side of the house and the adjacent property and asks the Applicant to study the former AC nook in this regard. **Stairs reconfigured so planting area could be accommodated**
2. At time of FINAL submittal:
- a. An executed Easement Agreement recorded with the County of Orange for improvements on EBCA property will be required. An Encroachment Permit application and exhibits prepared by a licensed civil engineer describing the area of the Easement and legal descriptions are required for EBCA to prepare the Agreement. This is required to be approved by the EBCA Board of Directors prior to the approval of the project.
 - b. A Color and Material board of a size noted in the Architectural Regulations, must be submitted that includes all actual color and material samples, not photographs.
 - c. Cutsheets for exterior architectural light fixtures demonstrating they will not create glare or light nuisance to neighbors and that they are complementary to the architectural style of the residence.
 - d. An acoustical report prepared by a qualified expert must be submitted showing that anticipated noise impacts are less than the County maximum at the closest property line. Submitted plans must be consistent with the recommendations of the report.
3. Note:
- a. If a Member would like to appeal the recommendation of the Architectural Committee or determination of the Board, please to the CC&Rs, ARTICLE VIII, Section 5 – Notice and Hearing Requirements.
 - b. Approvals are valid for one year. See extension request requirements in the Architectural Regulations for additional information.

- c. All future submittals must be accompanied by a detailed scope of work and highlighting revisions to previous scope of work, if any.
- d. If it becomes necessary or desirable for the Association to utilize its easements within private property boundaries, it is the responsibility of the owner of such property to remove improvements (whether previously approved by the Association or not) to provide access and to replace or repair improvements subsequent to Association access at no cost to the Association.
- e. Any changes to the Final approved plans must be submitted for Architectural Committee's review prior to construction.
- f. The Committee reserves the right to reclassify a project at any time before or after construction begins.

No representatives were in attendance to further discuss the submittal.

At their meeting on May 4, 2021 the Board voted to approve the recommendation of the Architectural Committee.

Custom Residence

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Laguna Beach • California • 92651



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Scope of Work

Demolish existing single family residence and 2-car garage. Construct approximate 4,425 SF of total area including a new 2-car garage of approximately 477 SF. New landscape/hardscape/grade design. Construct new site and retaining walls.

Abbreviations

AB	Anchor Bolt	DIM	Dimension	MECH	Mechanical
AC	Air Conditioning	DR	Drinking Fountain	MAX	Maximum
AD	Acoustical	D.F.	Each	MET	Metal
ADJ	Adjustable	ELEC	Electrical	MIN	Minimum
ADJT	Adjacent	ELEV	Elevation	(N)	New
AL	Aluminum	EQUIP	Equipment	NIC	Not In Contract
ALT	Alternate	EX	Existing	N.T.S.	Not To Scale
APPRX	Approximate	EXP. JT.	Expansion Joint	NAT	Natural
ARCH	Architect	EXT	Exterior	OC	On Center
ASB	Asbestos	EQ	Equal	OPG	Opening
ASP	Asphalt	FOF	Face Of Finish	OD	Outside Dim
ASBO	As Selected By Owner	FOC	Face Of Concrete	OH	Overhead
BD	Board	FOS	Face Of Stud	PLAS	Plaster
BUILD	Building	FIN	Finish	PLPG	Plate
BL	Block	FP	Fire Proof	PG	Pair
BLK	Blocking	FS	Finish Surface	PR	Radius
BM	Beam	FT	Foot	RAD	Required
BOT	Bottom	FTG	Footing	REQ	Required
BED	Bedroom	F.D.C.	Fire Department Connection	RD	Roof Drain
BRK	Bracket	GI	Galvanized	RM	Room
CAB	Cabinet	G.I.	Gauge	REV	Revised
CB	Catch Basin	GL	Glass	RWD	Redwood
CM	Cement	GL	Gypsum	RO	Rough Opening
CER	Ceramic	GYP	Gypsum	REG	Register
C. I.	Cast Iron	GC	General Contractor	SCH	Schedule
CLG	Ceiling	HDWR	Hardware	SECT	Section
CA	Calking	HWD	Hardwood	SIM	Similar
CL	Center Line	HT	Height	STD	Standard
CLOS	Clear	HC	Hollow Core	STL	Steel
CLR	Clear	HM	Hollow Metal	STR	Structural
CEM	Concrete Masonry Unit	HORIZ	Horizontal	SUSP	Suspended
CTR	Counter	HB	Hose Bibb	TEL	Telephone
COL	Column	HVAC	Heating Venting Ac	TEMP	Temporary
CONC	Concrete	IN	Inch	T&G	Tongue And Groove
COND	Condition	INSUL	Insulation	TC	Top Of Curb/Concrete
CONN	Connection	INT	Interior	TS	Top Of Slab
CONST	Construction	INV	Invert	TYP	Typical
CONT	Continuous	JT	Joint	TW	Top Of Wall
CONTR	Contractor	KIT	Kitchen	VTR	Vent Thru Roof
COR	Corridor	LAV	Lavatory	VERT	Vertical
CT	Center	LIN. FT.	Linear Foot	WC	Water Closet
CTSK	Countersunk	LINOL	Linoleum	WH	Water Heater
CL	Center Line	LG	Long	WT	Weight
C.T.	Ceramic Tile	LAM	Laminated	WD	Wood
CLR	Clear	LT	Light	WWM	Wrought Iron
DIET	Detail	MB	Machine Bolt	WS	Weather Strip
DIA	Diameter				

Owner / Client

Offield Trust
235 Emerald Bay
Laguna Beach, CA. 92651

Symbols

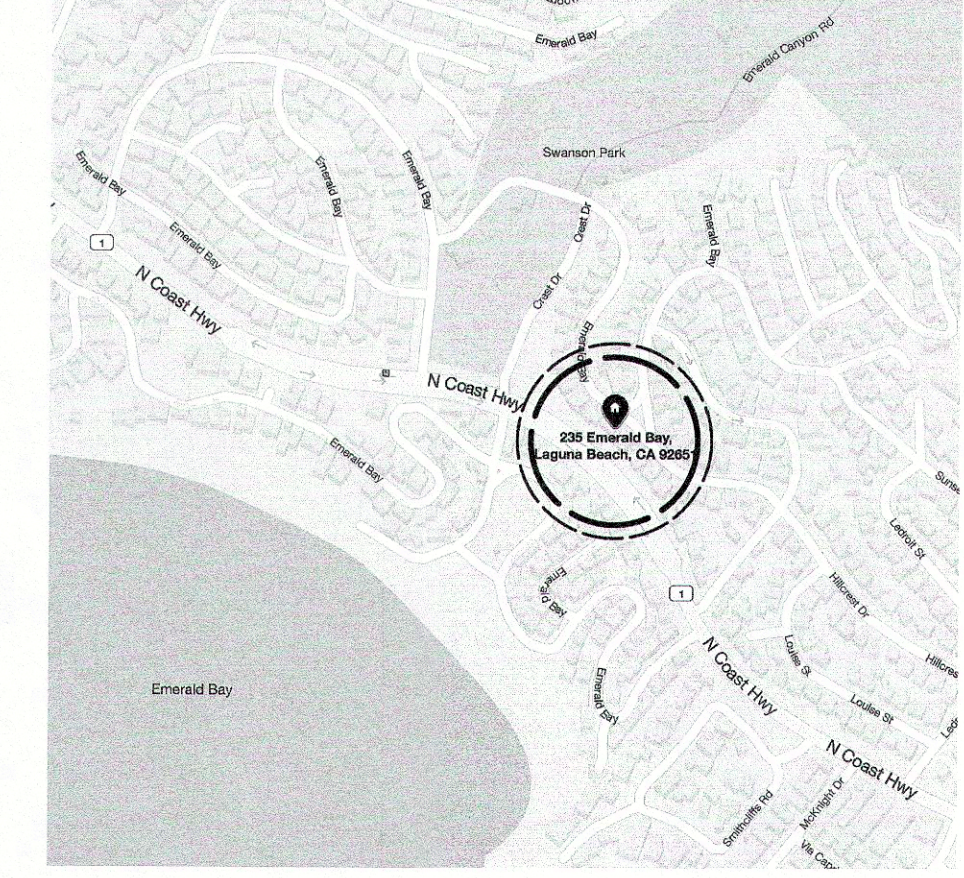
Revision	
Section Line	
Section Designation	
Sheet Number	
Detail Key	
Detail Designation	
Sheet Number	
Datum	

Codes

This Project Shall Comply With The Following Codes:

2019 CBC	2019 CPC	2019 T-24
2019 CEC	2019 CRC	
2019 CMC	2019 CalGreen	

Vicinity Map



Consultants

ARCHITECT: C.J. Light Associates 1401 Quail Street, Suite 120 Newport Beach, CA 92660 (949) 851-8345 Architect: Christian R. Light Contact: Nolan Mead	CIVIL ENGINEER: Toal Engineering, Inc. 139 Avenida Navarro San Clemente, CA 92672 (949) 492-8586 Contact: Caleb Rios
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Project Data

Legal Description	
Lot :	19
Tract :	977
APN :	053-073-36
Site General	
Approximate Site Area:	7,108 sq ft
Max. Allowable Coverage: 40%	2,843 sq ft
Proposed Coverage: 39.29%	2,793 sq ft
Flat Height Limit: 15' above ±94.0' = ±109' flat	
Sloped Height Limit: 20' above 60's topo (varies)	
Areas	
Street Level	313 sq ft
Main Level	1,990 sq ft
Basement Level	1,645 sq ft
Total Habitable Area	3,948 sq ft
2-Car Garage	480 sq ft
Total Project	4,428 sq ft
2-Car Parking Spot	-430 sq ft
Parking Calculation	3,998 sq ft
	3 cars required
Decks & Patios	
Street Level Deck	171 sq ft
Main Level Deck	545 sq ft
	716 sq ft
Basement Patio	975 sq ft

CUSTOM RESIDENCE
235 EMERALD BAY
LAGUNA BEACH • CALIFORNIA • 92651
~~PREVIOUSLY DEFERRED~~
PRELIMINARY

Cover Sheet
Job Number: 2019
Date:
Concept Submittal 1: August 5, 2020
Preliminary Submittal 1: March 4, 2021
Revised Preliminary Submittal 2: April 7, 2021



CS

OFFIELD #235 NEW RES w MUR ISHS
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