

Front Setback is average of the setbacks of the 2 adjoining buildings from PL to Cantilevered Deck

Neighboring Residence #1 Setback: 10'-11"
 Neighboring Residence #2 Setback: 18'-0"
 Avg. Setbacks of #1 & #2: $\frac{[10'-11" + 18'-0"]}{2} = 14'-6"$

Total Cut: 1,160 cu. yd.
Total Fill: 190 cu. yd.

Project Address:	1008 Emerald Bay, Laguna Beach, CA 92651
Legal Description:	Tract 3125, Lot 3 APN: 053-320-04
Project Description:	Existing Single Family Residence to be demolished. New (2) 3 story Single Family Residence with detached (3) Car Garage, Site Walls, and Landscaping
Owner:	Glenn and Dylan Ochal
Design Professional in Responsible Charge:	Scott Laidlaw - Laidlaw Schultz Architects 3111 Second Ave Corona Del Mar, CA 92625 Phone: 949.645.9982 Fax: 949.645.9554 E-mail: SLaidlaw@LSarchitects.com
Occupancy:	Group R-3/U
Zoning District:	R-3
Construction:	Type V-B
Area of structure:	New
First floor	2534.67 sf
Second floor	2749.38 sf
Total Living:	5284.25 sf
Garage	871.75 sf
Total Structure:	6156.00 sf
Deck	1240.41 sf
Number of Stories:	2
Lot Area:	9180 sf
Lot Coverage:	$3556.99/9180 = 38.7\%$
Roof Area:	$3545.55 \text{ sf total roof area} / 766.05 \text{ sf flat} = 21.6\%$ $\text{"Area of Roof under 3:12 Slope} = 330 \text{ sf}"$
Parking:	6 Total: 3 Covered, 3 Off-Street (one space not required)

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1. Provide approved backwater drainage valve for fixtures located below the elevation of next upstream manhole cover. Fixtures above this elevation shall not discharge through valve.
2. Provide 6" house street number visible and legible from street. Numbers shall be of non-combustible materials in Special Fire Protection Areas. O.C. Bldg. Ord. No. 03-003.
3. All roofs to have gutters and downspouts
4. All downspouts, area drains and planter drains to be connected to solid drainlines and conveyed to street or to sump and pumped back to street.
5. Provide 2% slope grade away from structures within 5'-0" of structure.
6. Refer to landscape plan for planting and hardscape.
7. 5% drainage around/away from building for a minimum distance of 10ft. Alternately, swales with slope of 2% shall be located within 10 ft. of building foundation. Refer to Grading plan.
8. Retaining wall, temporary shoring, & grading plan under separate permit.

PROJECT

Ochal Residence
1008 Emerald Bay
Laguna Beach CA, 92651

DRAWING DESCRIPTION

Site Plan

DATE	ISSUE/REVISION	REVIEW
11.03.21	EB Concept Submittal	
01.05.22	EB Prelim Submittal	
02.03.22	EB Rev Prelim Submittal	
03.21.22	OC Planning Submittal	

A.100
SHEET NO.

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4	Fire Hydrant Map	● Denotes Fire Hydrant Location	Scale: 1:100
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5	Site/Roof Plan
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Scale: 1/8" = 1'-0"

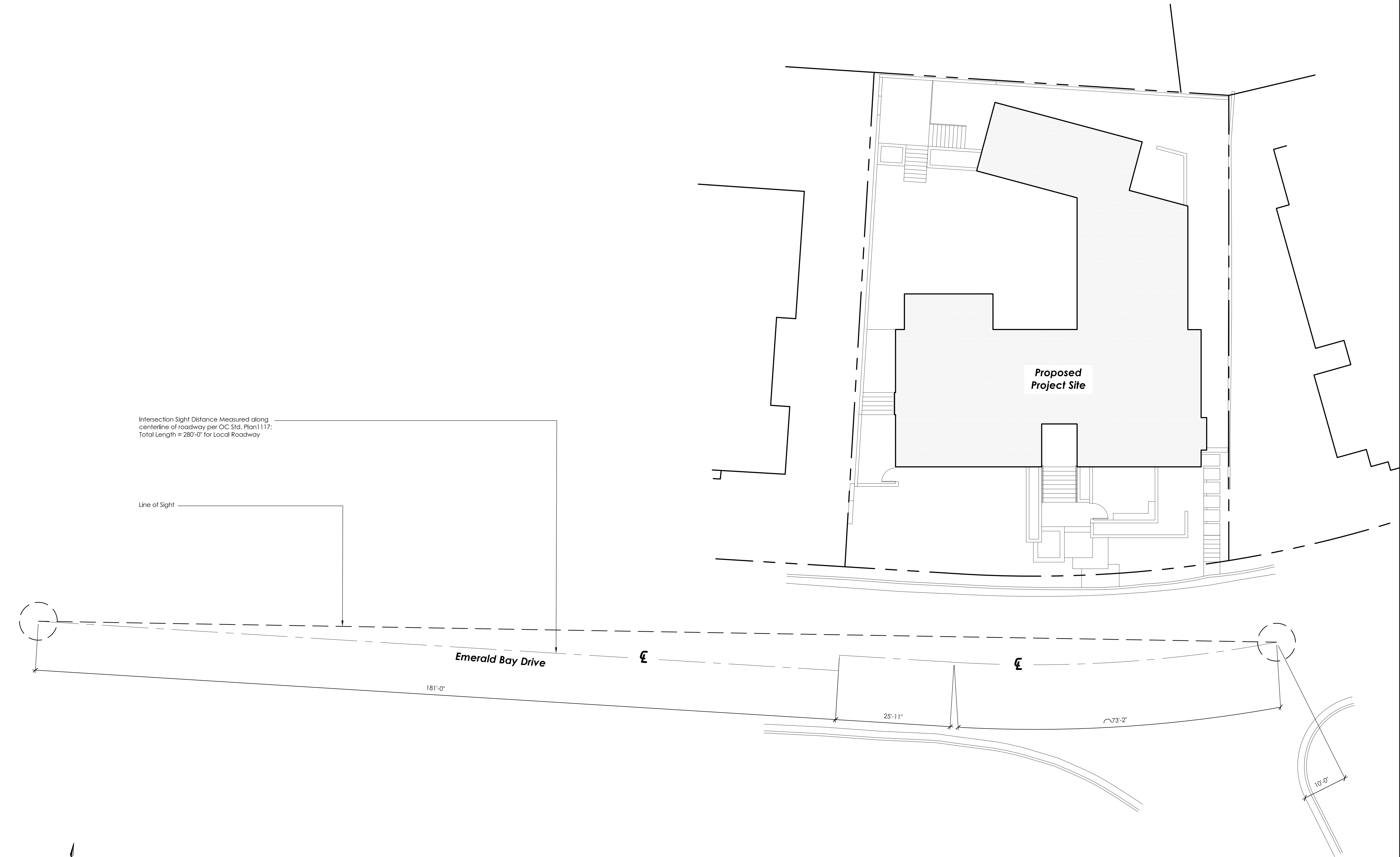
PROJECT		
Ochal Residence		
1008 Emerald Bay		
Laguna Beach CA, 92651		
DRAWING DESCRIPTION		
Site Plan		
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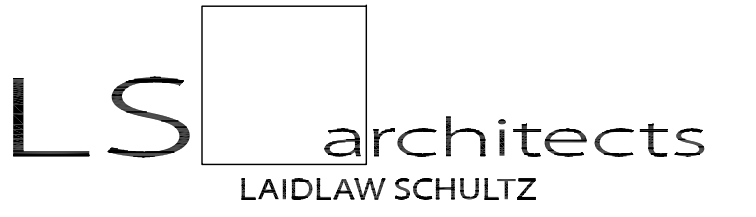
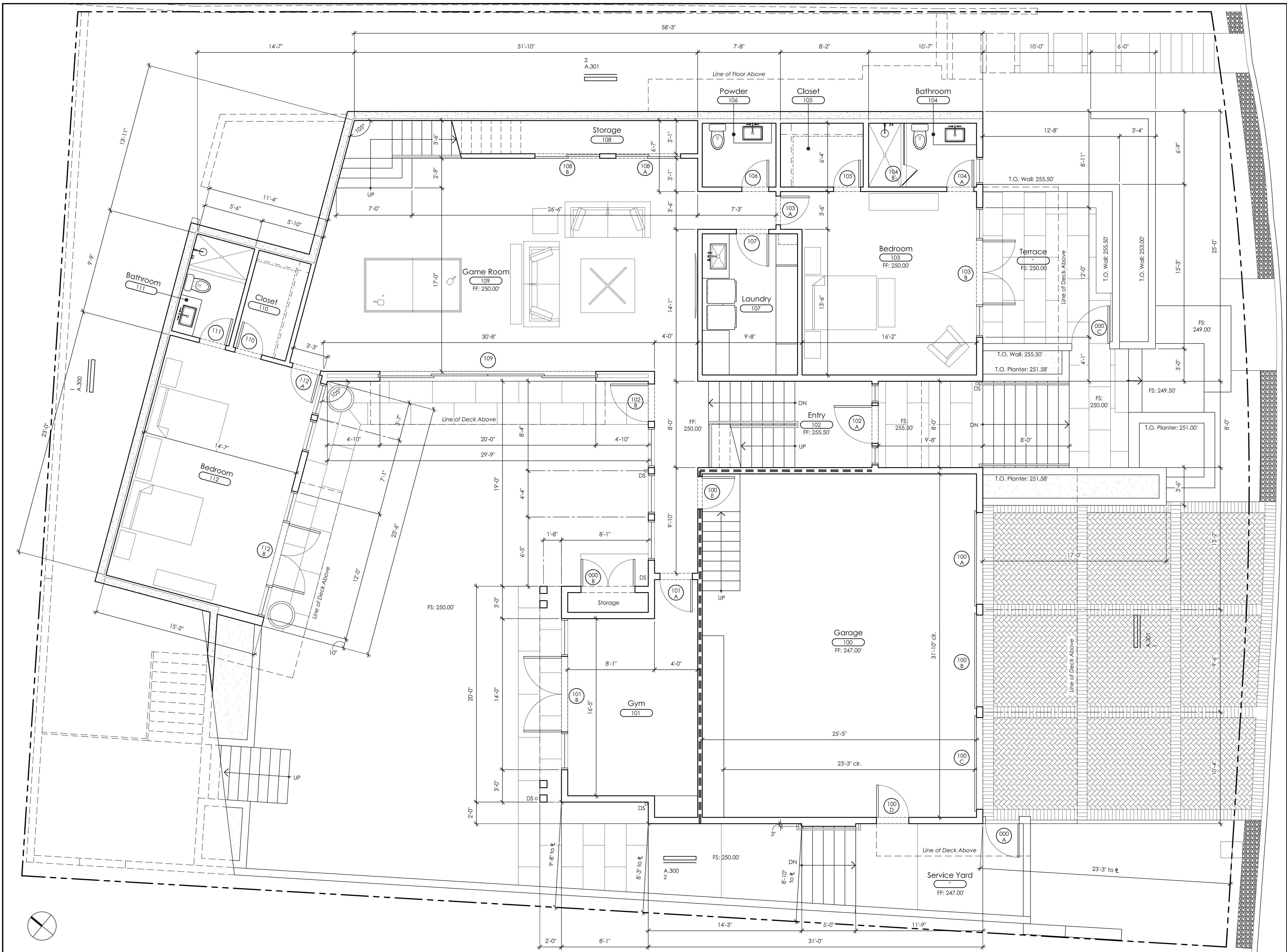


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PROJECT
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1008 Emerald Bay
Laguna Beach CA, 92651

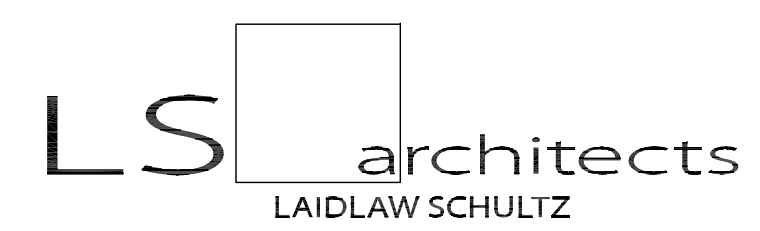
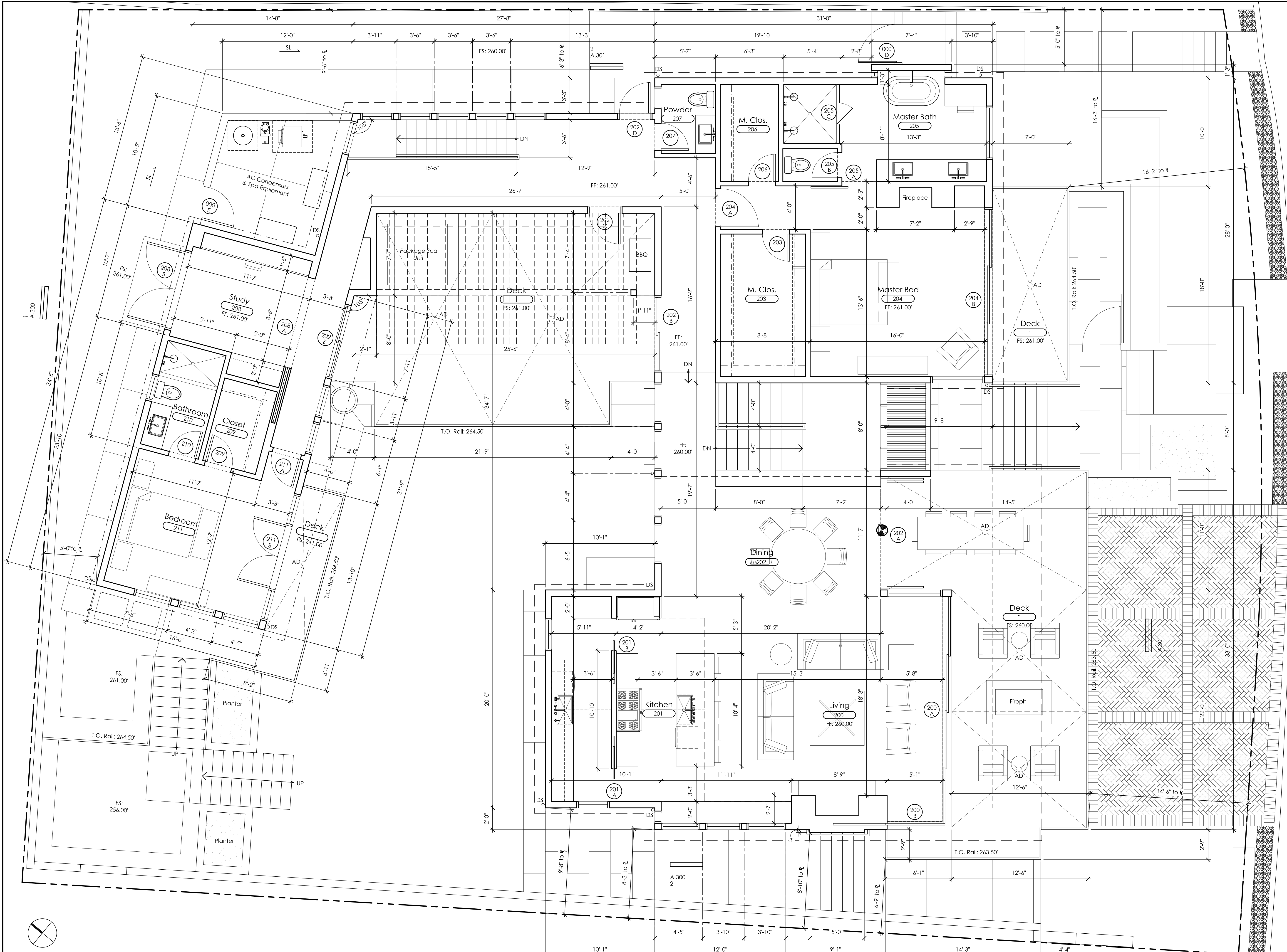
DRAWING DESCRIPTION
Floor Plans

DATE	ISSUE/REVISION	REVIEW
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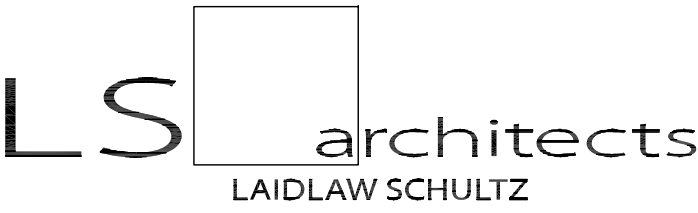
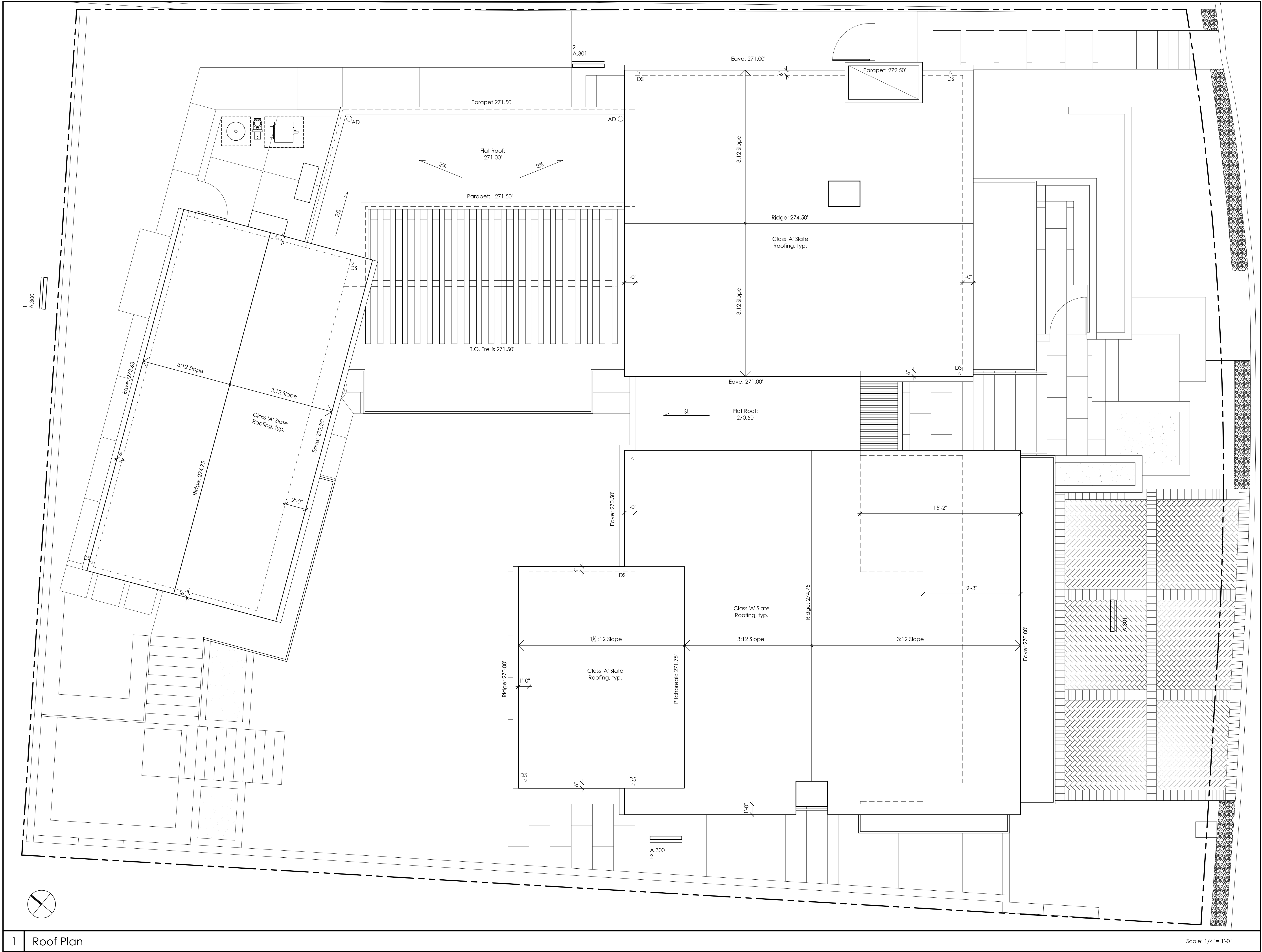
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Floor Plans

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PROJECT		
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1008 Emerald Bay		
Laguna Beach CA, 92651		
DRAWING DESCRIPTION		
Roof Plan		
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03.21.22	OC Planning Submittal	
ISSUE/REVISION		
REVIEW		



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2 West Elevation

Scale: 1/4" = 1'-0"



1 North Elevation

Scale: 1/4" = 1'-0"

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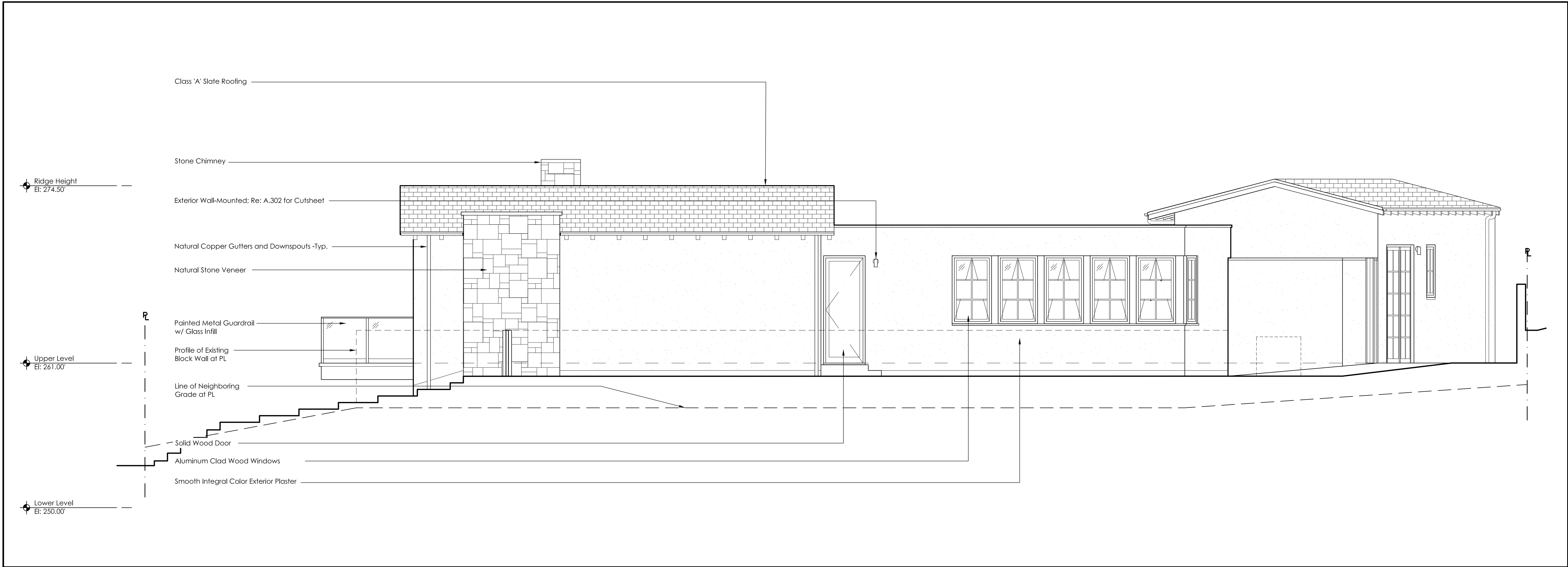
PROJECT		
Ochal Residence		
1008 Emerald Bay		
Laguna Beach CA, 92651		
DRAWING DESCRIPTION		
Elevations		
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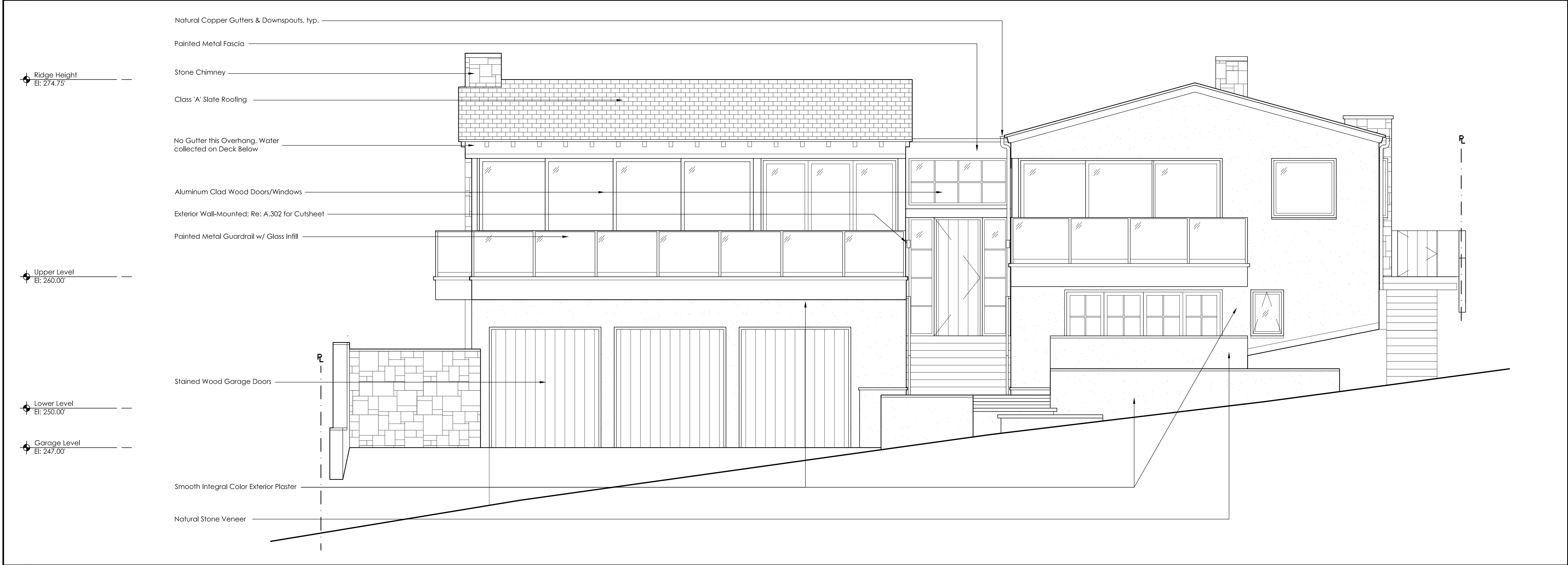
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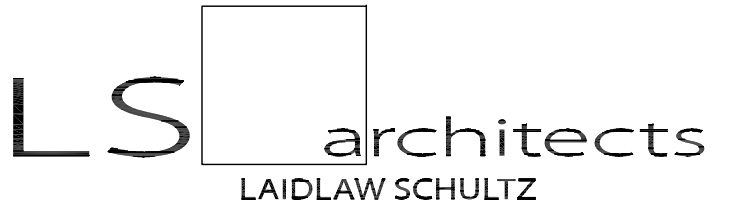
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2 | East Elevation Scale: 1/4" = 1'-0"



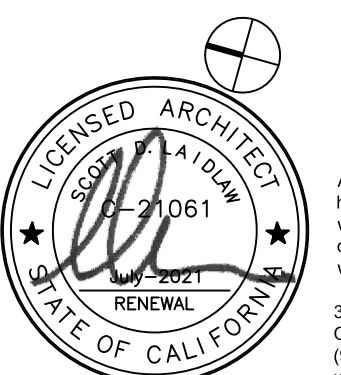
1 | South Elevation Scale: 1/4" = 1'-0"



PROJECT
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Laguna Beach CA, 92651

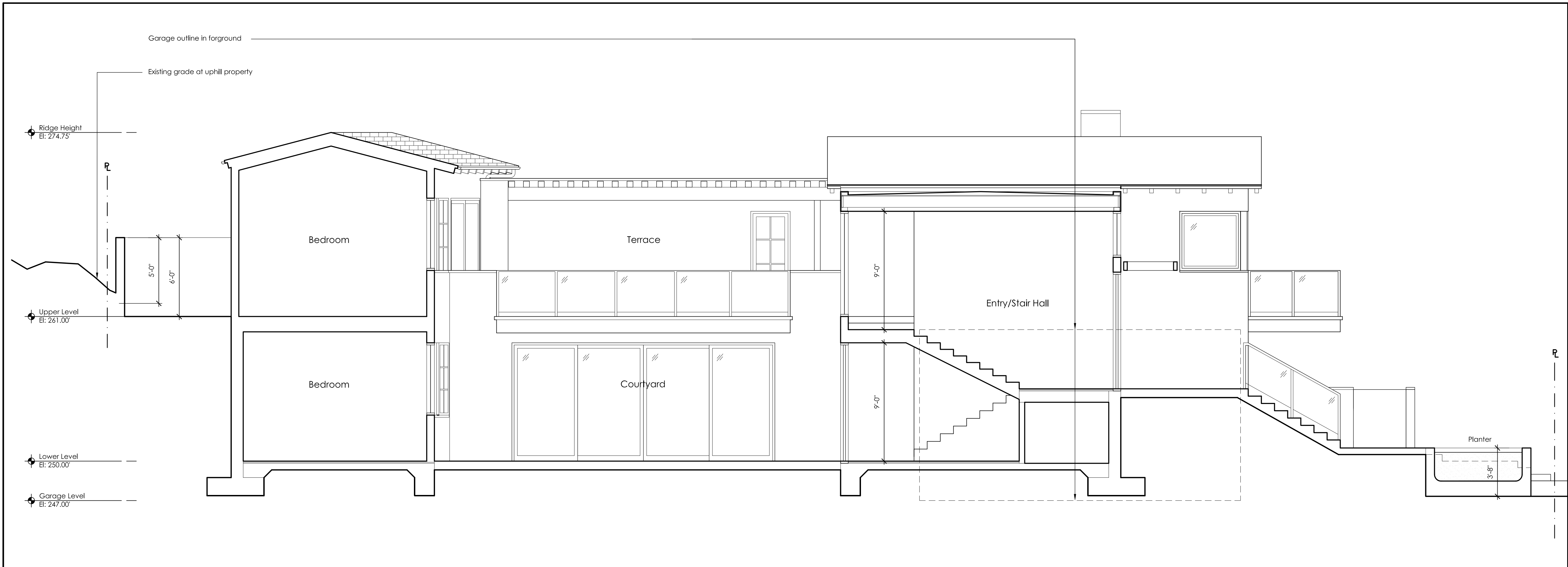
DRAWING DESCRIPTION
Elevations

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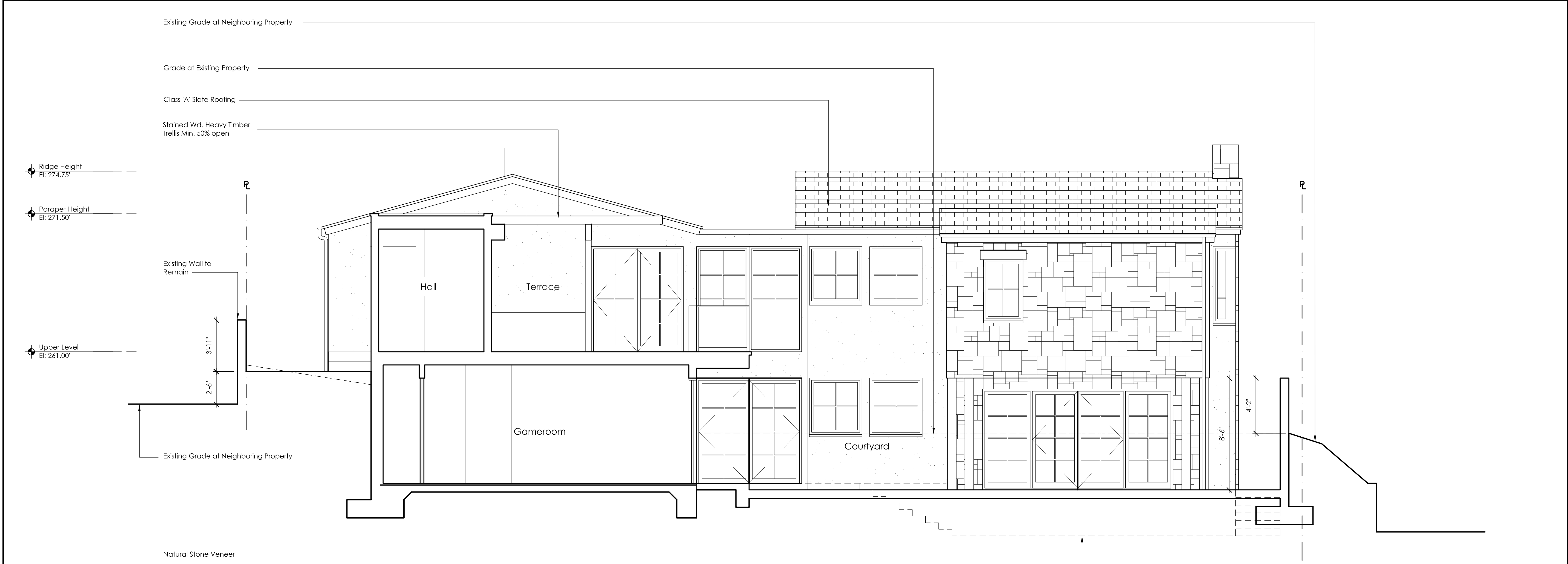
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2 North/South Section Scale: 1/4" = 1'-0"



PROJECT
Ochal Residence
1008 Emerald Bay
Laguna Beach CA, 92651

DRAWING DESCRIPTION
Sections

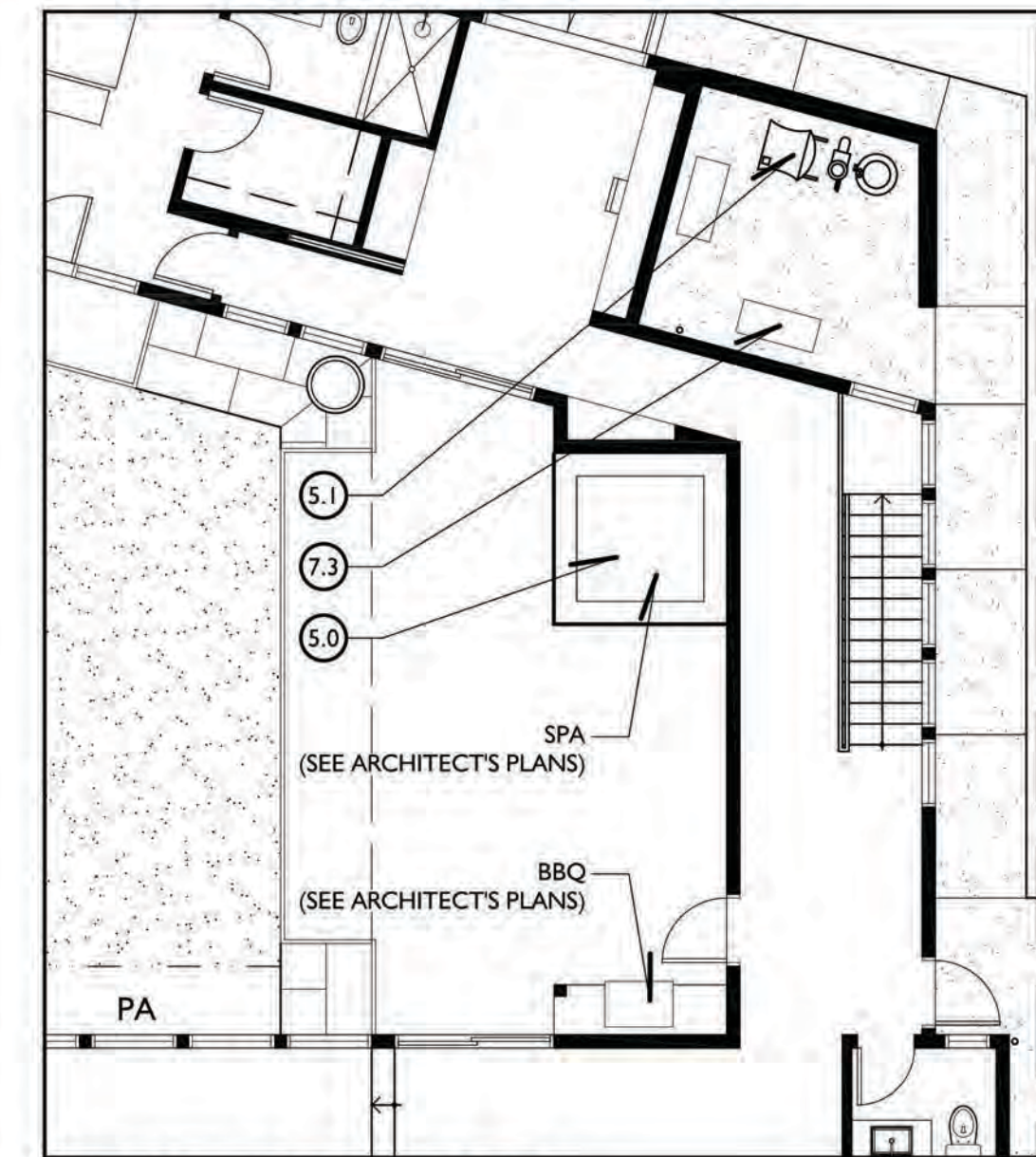
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A.400
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1 East/West Section Scale: 1/4" = 1'-0"



LEGEND:

	CONSTRUCTION CALLOUT
	STAIR RISER LOCATION
	ALN
	CLR
	CL
	EQ
	F.O.C.
	F.O.W.
	MIN.
	MAX.
	PA
	R=
	TYP.

CONSTRUCTION CALLOUTS:		DETAIL/SHEET
<u>FLATWORK</u> (1.0) PEDESTRIAN COLORED CONCRETE PAVING with SAWCUTS as SHOWN (1.1) PEDESTRIAN TILE PAVING OVER CONCRETE SUBBASE (1.2) VEHICULAR BRICK PAVING and BANDING OVER CONCRETE SUBBASE (1.3) COLORED CONCRETE STEPPING PADS (1.4) COLORED CONCRETE STEPS (1.5) FLOATING COLORED CONCRETE STEPS with UNDERLIGHTING (1.6) TILE/STONE STEPS OVER CONCRETE SUBBASE	_ LC _	
<u>MASONRY</u> (2.0) PROPERTY LINE and/or FREESTANDING WALL with PLASTER FINISH/CAP. To be FINISHED ALL SIDES (2.1) WALL with STONE VENEER and CUT STONE CAP (2.2) PLANTER/RETAINING WALL with PLASTER FINISH/CAP (2.3) PLANTER/RETAINING WALL with PLASTER FINISH and CUT STONE CAP (2.4) MAILBOX with STONE VENEER and CUT STONE CAP	_ LC _	
<u>METAL</u> (3.0) METAL HANDRAIL- PER ARCHITECT / to MATCH HANDRAILS in HOUSE		
<u>WOOD/CARPENTRY</u> (4.0) WOOD PEDESTRIAN GATES	_ LC _	
<u>POOL/WATER FEATURES</u> (5.0) SPA (UNDER SEPARATE PERMIT). SEE ARCHITECT'S PLANS (5.1) SPA EQUIPMENT		
<u>SITE FURNISHING/POTTERY</u> (6.0) DECORATIVE POTTERY. TO BE SELECTED BY LANDSCAPE ARCHITECT		
<u>GENERAL SITE IMPROVEMENTS</u> (7.0) DECOMPOSED GRANITE PAVING (7.1) STEEL HEADER at DECOMPOSED GRANITE PAVING (7.2) DECORATIVE STONES at BACK of CURBS / BLACK MEXICAN RIVER ROCK (7.3) A/C UNITS. BY OTHERS (SEE ARCHITECT'S PLANS) (7.4) SYNTHETIC TURF. BY BOONE ACTION TURF (7.5) NEW CURB and GUTTER PER EBSD REQUIREMENTS - BY OTHERS (7.6) GUARDRAIL - SEE ARCHITECT'S PLANS	_ LC _	
<u>EXISTING SITE FEATURES</u> (8.0) EXISTING WALL - TO REMAIN		

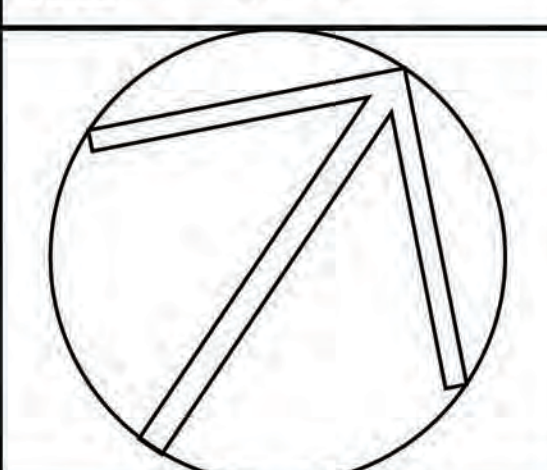
SYMBOL	ITEM	MANUFACTURER/SUPPLIER	COLOR	FINISH	COMMENTS
(1.0) (1.3) (1.4) (1.5)	COLORED CONCRETE PAVING, and STEPS	L.M. SCOFIELD CO. 800-800-9900	C-12 MESA BEIGE	MEDIUM RELEASE FINISH	with SAWCUTS as SHOWN in LARGE FIELD AREAS
(1.1)	TILE PAVING	AVAILABLE THRU: CONCEPT STUDIO 3195 RED HILL AVE. SUITE G COSTA MESA, CA 92626 ATTN: RICHARD GODDARD - 949.759.0606	BEIGE TONES - TO BE SELECTED		
(1.2)	BRICK PAVING at DRIVEWAY	AVAILABLE THRU: MODERN BUILDERS SUPPLY - (949) 254-4692 CONTACT: GREG DRAZIL	TO BE SELECTED		
(1.6)	TILE/STONE STEPS	AVAILABLE THRU: CONCEPT STUDIO 3195 RED HILL AVE. SUITE G COSTA MESA, CA 92626 ATTN: RICHARD GODDARD - 949.759.0606	TO MATCH TILE PAVING		
(2.0) (2.2) (2.3)	PLASTER / STUCCO FINISH		TO MATCH HOUSE	TO MATCH HOUSE	
(2.1) (2.2) (2.4)	CUT STONE CAP	AVAILABLE THRU: MODERN BUILDERS SUPPLY - (949) 254-4692 CONTACT: GREG DRAZIL	TO MATCH STONE ON HOUSE	TO MATCH STONE ON HOUSE	
(2.1) (2.4)	STONE VENEER	AVAILABLE THRU: MODERN BUILDERS SUPPLY - (949) 254-4692 CONTACT: GREG DRAZIL	TO MATCH STONE ON HOUSE	TO MATCH STONE ON HOUSE	
(4.0)	WOOD GATES		TO MATCH GARAGE DOORS	TO MATCH GARAGE DOORS	
(7.1)	STEEL HEADER at DG PAVING	AVAILABLE THRU: EWING IRRIGATION & LANDSCAPE SUPPLY	BLACK	POWDERCOAT	½" THICK
(7.4)	SYNTHETIC TURF	AVAILABLE THRU: BOONE ACTION TURF CONTACT: MATT BOONE (888) 528-8873 - www.booneactionturf.com	IRVINE FESCUE II		INSTALL PER MANUFACTURER'S SPECIFICATIONS



REGISTERED LANDSCAPE ARCHITECT
 CERTIFICATE NO. 2976
 MICHAEL C. DILLEY
 Michael C. Dilley
 SIGNATURE
 DATE
 CALIFORNIA, USA

PROJECT
Ochal Residence
1008 Emerald Bay
Laguna Beach, CA 92651

REVISIONS	
△	
△	
△	
△	
△	
JOB NO.:	
DRAWN BY:	SH
CHECKED BY:	MD
DATE:	February 22, 2022
SCALE:	1/8" = 1'-0"



TITLE :
LANDSCAPE
CONSTRUCTION
PLAN

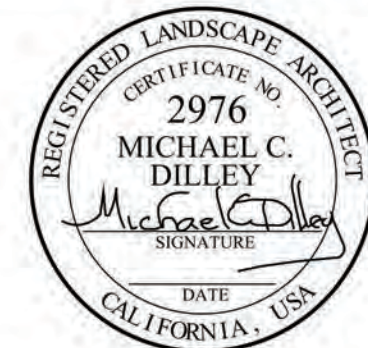
SHEET NO.:

LC-1



LANDSCAPE ARCHITECTURE
PLANNING DESIGN

2320 SECOND AVENUE CORONA DEL MAR, CA 92625
LIC# 2976 PHONE: 949.673.0800
FAX: 949.673.0806



Ochal Residence
1008 Emerald Bay
Laguna Beach, CA 92651

PROJECT

REVISIONS

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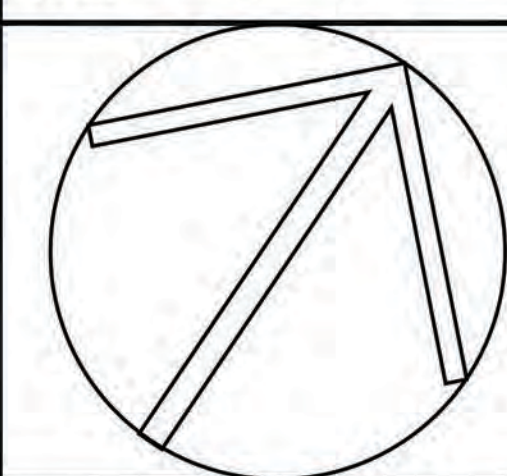
JOB NO.:

DRAWN BY: SH

CHECKED BY: MD

DATE: February 22, 2022

SCALE: 1/8" = 1'-0"



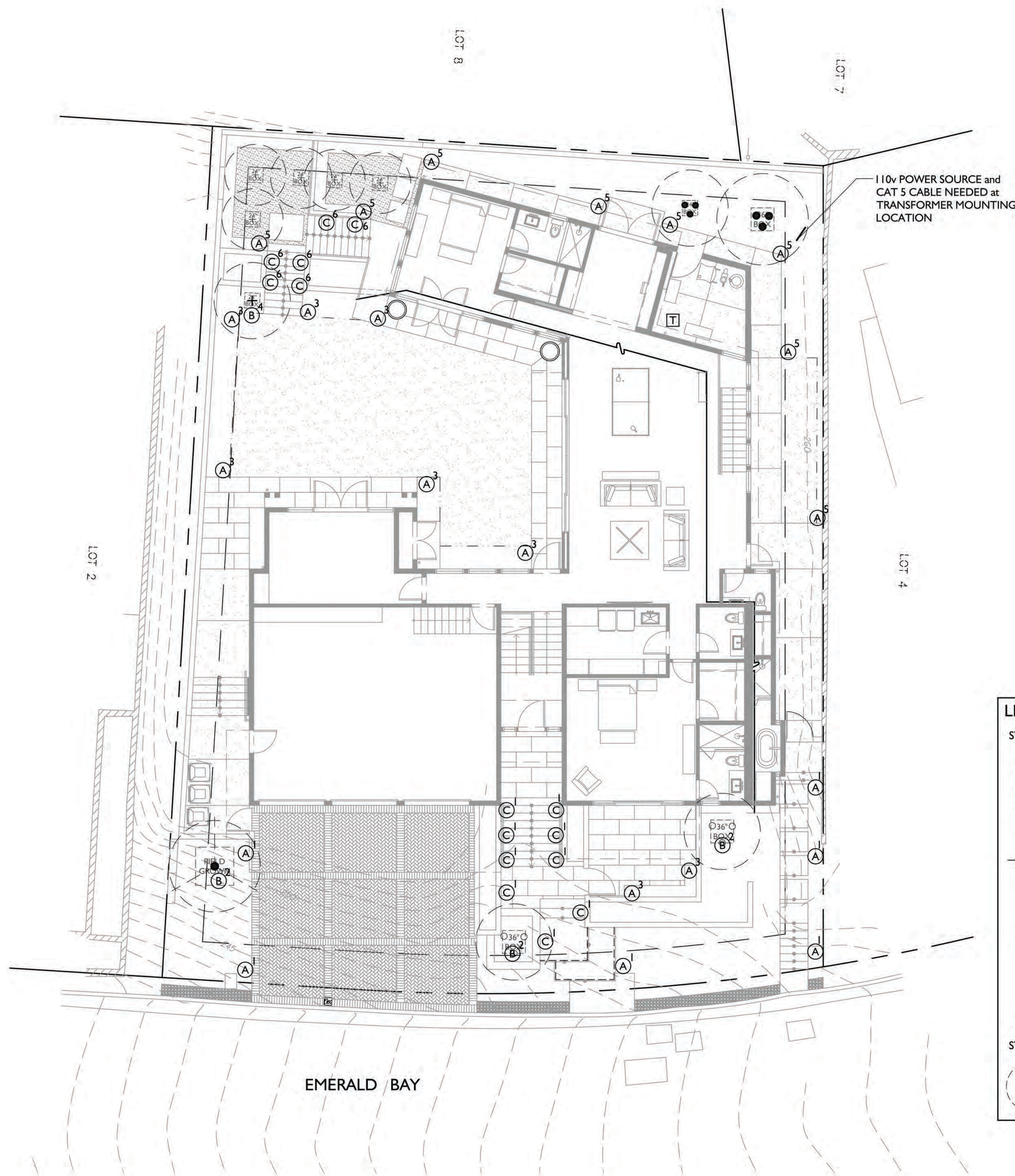
TITLE:

LANDSCAPE
LIGHTING
PLAN

SHEET NO.:

LL-1

OCHAL RESIDENCE - EMERALD BAY - LANDSCAPE ARCHITECTURE



FXLuminaire



DM: Path Light

NUMBER OF LEGS	1	2
MINIMUM LUMEN OUTPUT EQUIVALENT	75 Watt	20 Watt
MINIMUM LUMEN (lm)	10,000 lm eq	10,000 lm eq
MINIMUM WATTAGE	30 Watt	10 Watt
MAX TOTAL (See Manufacturer's data sheet)	2.4	4.5
WATT/FOOT	2.0	4.2
LUMENS PER WATT EFFICIENCY	65.4	25
MAX LUMENS	24	10
CEC Data	36	36.6

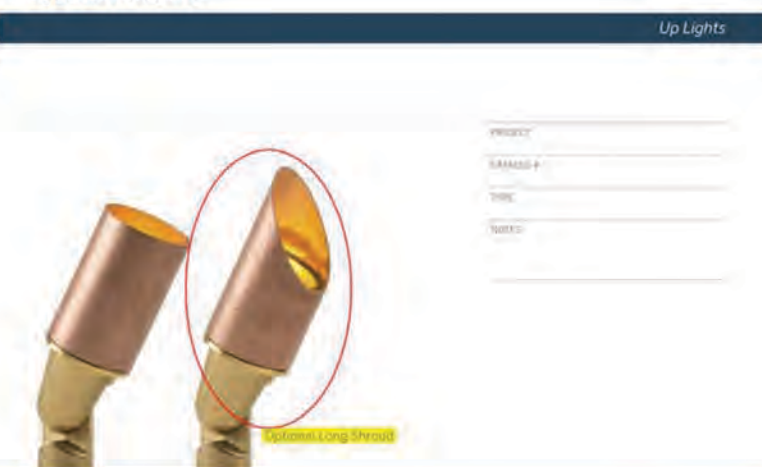
FXLuminaire



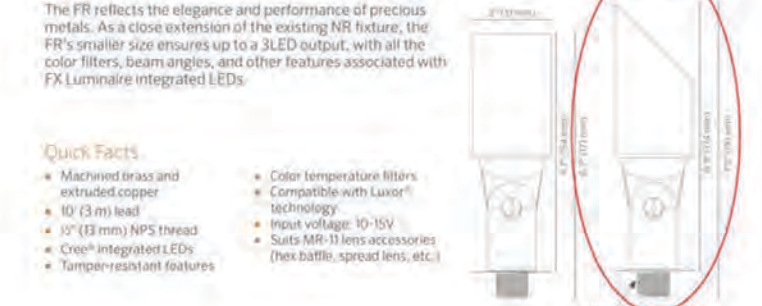
PO: Wall Lights

NUMBER OF LIGHTS	1
MINIMUM SPACING (OUTPUT EQUIVALENT)	2' apart
MINIMUM LIGHT LUMENS	50,000 (140 lux)
INPUT WATTAGE	150 w (10 lux)
2X TOTAL (2000 lux) (2000 lux) (2000 lux)	2.4
WATTAGE	2.4
LUMENS PER WATT EFFICIENCY (based on 100 w)	20
MAX LUMENS (based on 100 w)	20
CEC (100 w) (based on 100 w)	20

FXLuminaire



FR Up Light



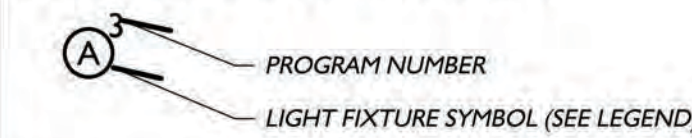
STRIP LIGHT



LIGHTING LEGEND:

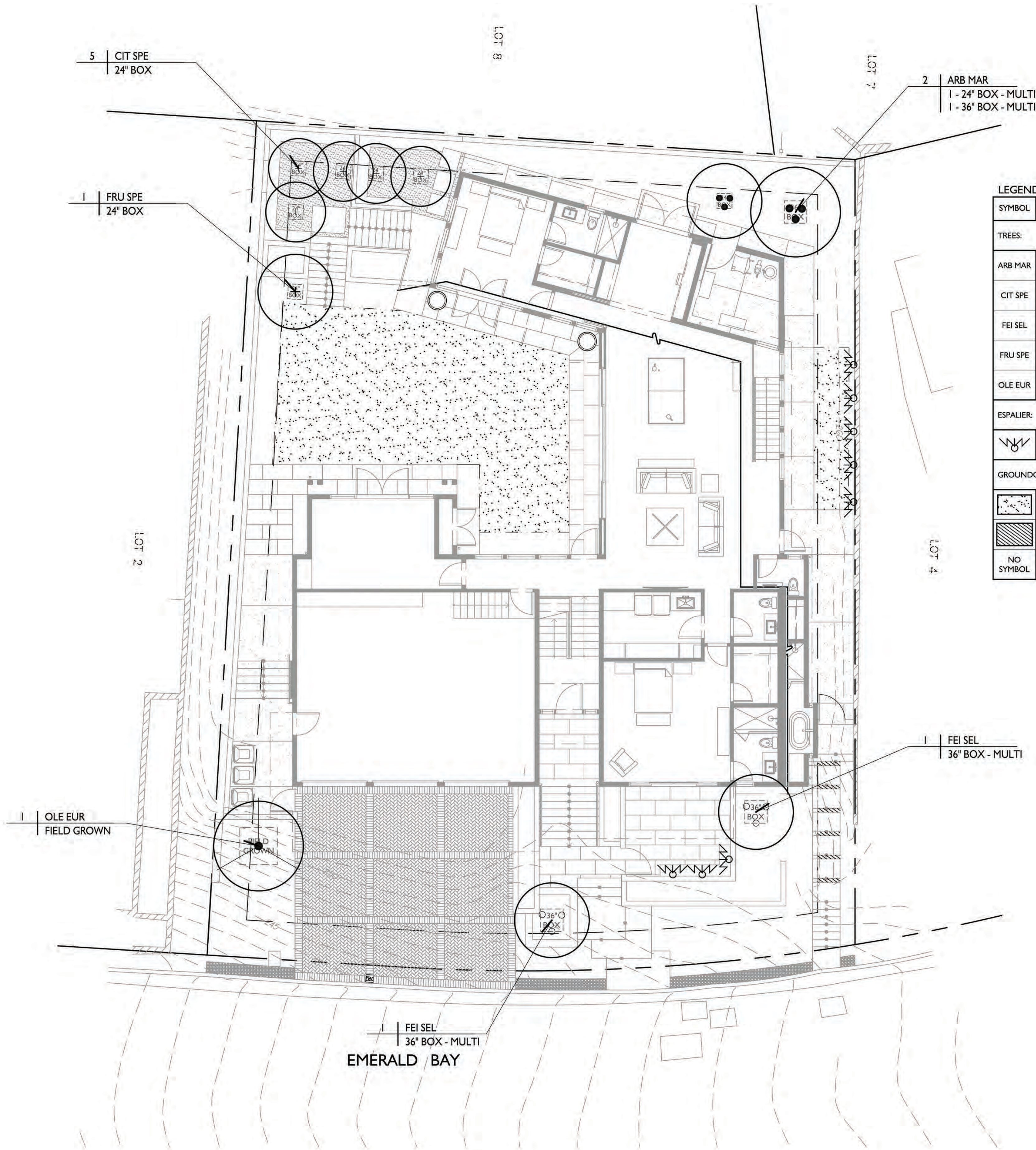
SYMBOL	TYPE:	MANUFACTURER:	MODEL:	FINISH:	WATTAGE:
Ⓐ	L.V. LED PATH LIGHT	FX LUMINAIRE	DMLEDTA-CU & G-ZD-3LED-18RA-CU	COPPER	4.2
Ⓑ	L.V. LED SPOT UPLIGHT	FX LUMINAIRE	FR-ZD-3LED-LS-CU	COPPER	4.2
Ⓒ	L.V. LED WALL MOUNT	FX LUMINAIRE	PO-ZD-1LED-SQ-AB	ANTIQUE BRONZE	2
---	LED STRIP LIGHT	BRILLIANCE LED	STRIP LIGHT	N/A	1.8 (per meter)
	*NOTES: 2700 KELVIN TEMP/COLOR. FX "LUXOR CUBE" REQUIRED FOR DIMMING CAPABILITIES - SEE BELOW. CONTRACTOR TO DETERMINE REQUIRED PARTS FOR POWER CONNECTION AND LED ATTACHMENT. POWER FEED KIT REQUIRED, JUMPER/CONNECTOR KIT POSSIBLY REQUIRED. MOUNT IN "STRIP LIGHT CHANNEL (GEN 2) #0351274775 10" SEE "STRIP LIGHT ACCESSORIES" PAGE at www.brillianceled.com/strip-light FOR ALL PARTS and MOUNTING OPTIONS FX "LUXOR CUBE" FX LUMINAIRE LCM-LV (FX CONTROL ADAPTER)				
Ⓓ	OUTDOOR MOUNTED 12V TRANSFORMER *With TIMER SYSTEM or CONNECT to HOUSE CONTROL SYSTEM	FX LUMINAIRE	LUX-300-SS & LAM & LANMOD or WIFIMOD. LUXOR 300W TRANSFORMER with WIFIMOD (WIFI MODULE) IF NO CAT5/ ETHERNET CABLE RUN TO TRANSFORMER LOCATION LAM (LIGHT ASSIGN MODULE) ALSO NEEDED for INITIAL SETUP	STAINLESS STEEL	
NO SYMBOL	12/2 DIRECT BURIAL SINGLE CIRCUIT CABLE. ALL CABLE TO BE SLEEVED UNDER ALL PAVING AREAS.				
●	PROPOSED TREE, PALM OR SPECIMEN SHRUB LOCATION				

LIGHTING SYMBOL KEY:



LIGHTING NOTES:

- CONTRACTOR TO USE 12/2 DIRECT BURIAL SINGLE CIRCUIT CABLE. ALL CABLE TO BE SLEEVED UNDER ALL PAVING AREAS.
- CONTRACTOR SHALL INSTALL LIGHTS PER MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE AGENCY CODES.
- INGROUND UPLIGHTS ARE TO BE LOCATED TO ILLUMINATE SELECTED TREES. SEE PLANTING PLAN
- POOL/SPA LIGHTING UNDER SEPARATE PERMIT.



LEGEND:				
SYMBOL	NAME	SIZE	COMMENTS	HEIGHT x SPREAD at 20 YRS. / MATURITY
TREES:				
ARB MAR	ARBUTUS MARINA ARBUTUS	PER PLAN	MULTI TRUNK	18' x 18'
CIT SPE	CITRUS SPECIES CITRUS	24" BOX	TO BE SELECTED BY OWNER / LANDSCAPE ARCHITECT	10' x 10'
FEI SEL	FEIJOA SELLOWIANA PINEAPPLE GUAVA	36" BOX	MULTI	18' x 18'
FRU SPE	FRUIT TREE (DWARF)	24" BOX	TO BE SELECTED BY OWNER / LANDSCAPE ARCHITECT	10' x 10'
OLE EUR	OLEA EUROPAEA OLIVE	FIELD GROWN	APPROX. (15' X 15')	25' x 25'
ESPALIER:				
	CAMELLIA JAPONICA 'SILVER WAVES' CAMELLIA	7 GAL.	FROM MONROVIA NURSERIES	MAINTAINED FORMAL ESPALIER
GROUNDCOVERS:				
	SYNTHETIC TURF - 'IRVINE FESCUE II' (OR APPROVED EQUAL)	-	BOONE ACTION TURF 1392 McGAW, IRVINE, CA 92614 (888) 528-8873	-
	DYMONDIA MARGARETAE DYMONDIA	FROM FLATS	PLANTED @ 12" O.C.	3" x 18"
NO	WALK-ON BARK MULCH (IN ALL SHRUB AREAS)	-	2" THICK LAYER MIN. SUBMIT SAMPLE FOR APPROVAL	-

FOR PLANTING DETAILS SEE SHEET LP-3
FOR PLANTING SPECIFICATIONS SEE SHEET LP-4

GENERAL PLANTING NOTES:

- PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN AN AGRONOMIC SOIL REPORT AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ALL PLANTER FILL, NECESSARY TO BRING SOIL LEVEL TO 2" BELOW TOP OF PLANTER WALLS.
- LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ENOUGH WALK-ON BARK MULCH TO PROVIDE A 2" COVERING OF ALL SHRUB PLANTING AREAS. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PURCHASING.
- LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED PLANTING DATE.
- CONTRACTOR TO COORDINATE APPROVALS. CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER 'START OF MAINTENANCE' PERIOD.
- CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE/PALM MATERIAL FOR 12 MONTHS (1 YEAR).
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.

THE FOLLOWING MINIMUM CRITERIA SHALL BE OBSERVED BY THE LANDSCAPE CONTRACTOR:

NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS.

TREES OR PALMS SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.

NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.

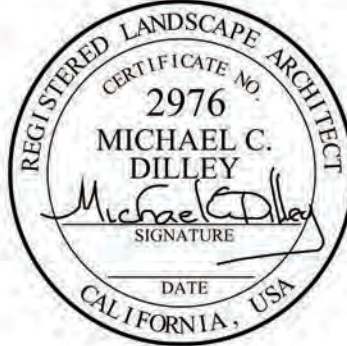
TREES OR PALMS PLANTED IN LANDSCAPE AREAS OF LESS THAN 4' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.

ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.



LANDSCAPE ARCHITECTURE
PLANNING DESIGN

2320 SECOND AVENUE CORONA DEL MAR, CA 92625
LIC# 2976 PHONE: 949.673.0800
FAX: 949.673.0806



Ochal Residence
1008 Emerald Bay
Laguna Beach, CA 92651

REVISIONS

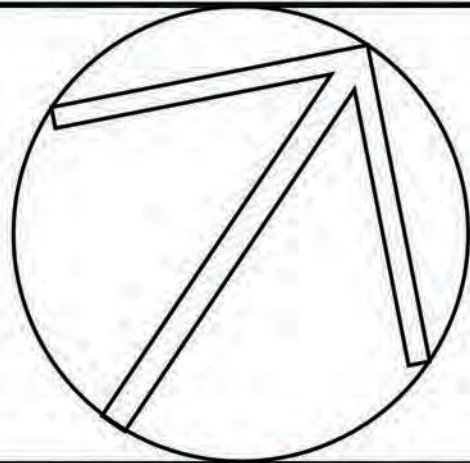
JOB NO.:

DRAWN BY: SH

CHECKED BY: MD

DATE: February 22, 2022

SCALE: 1/8" = 1'-0"

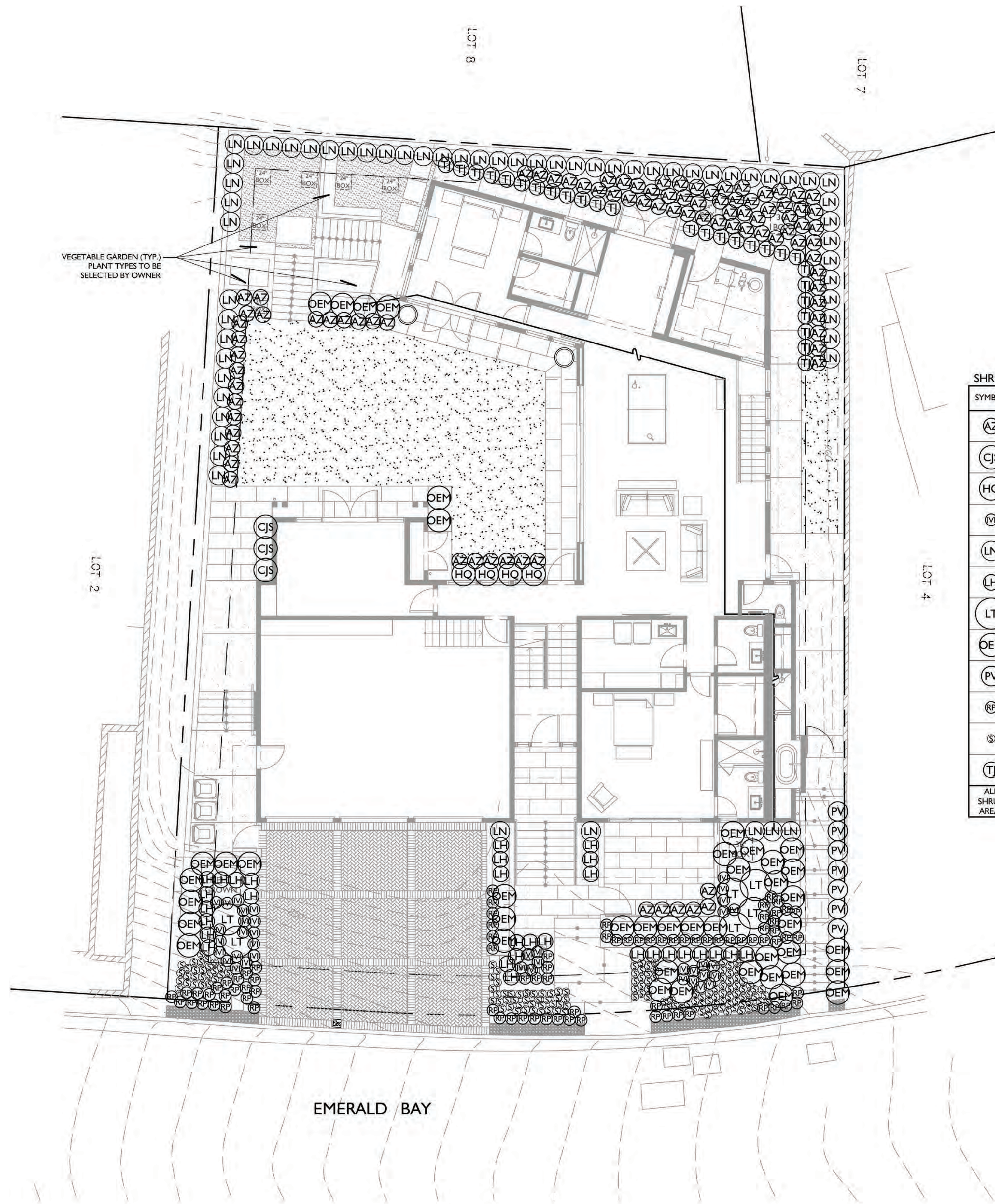


TITLE:

TREE, VINE &
GROUND COVER
PLANTING PLAN

SHEET NO.:

LP-1



SHRUB LEGEND:

SYMBOL	NAME	SIZE	COMMENTS	HEIGHT x SPREAD at 5 YRS. / MATURITY
AZ	AZALEA 'ALASKA' SOUTHERN INDICA AZALEA	5 GAL.	-	4' x 4'
CJS	CAMELLIA JAPONICA 'SILVER WAVES' CAMELLIA	7 GAL.	FROM MONROVIA NURSERIES	5' x 5'
HQ	HYDRANGEA QUERCIFOLIA OAK LEAF HYDRANGEA	5 GAL.	-	4' x 7'
IV	IRIS 'VICTORIA FALLS' IRIS	1 GAL.	-	18" x 2'
LN	LAURUS NOBILIS SWEET BAY	15 GAL.	HEDGE	MAINTAINED as 6' HIGH FORMAL HEDGE
LH	LAVANDULA HETEROPHYLLA SWEET LAVENDER	5 GAL.	-	3' x 3'
LT	LEUCOSPERMUM 'TANGO' TANGO PINCUSHION	5 GAL.	-	7' x 5'
OEM	OLEA EUROPAEA 'MONTRA' 'LITTLE OLLIE' DWARF OLIVE	15 GAL.	-	5' x 5'
PV	PITTOSPORUM TOBIRA 'VARIEGATA' VARIEGATED MOCK ORANGE	5 GAL.	-	5' x 5'
RP	ROSEMARINUS OFFICINALIS 'PROSTRATUS' DWARF ROSEMARY	1 GAL.	-	18" x 4'
S	SESLERIA AUTUMNALIS AUTUMN MOOR GRASS	1 GAL.	@ 8" O.C.	PLANT = 12" x 12" & FLOWER = 18" x 18"
TJ	TRACHELOSPERMUM JASMINIODES STAR JASMINE	1 GAL.	-	2' x 4'
ALL SHRUB AREAS	2" THICK WALK-ON BARK MULCH SUBMIT SAMPLE FOR APPROVAL			

FOR PLANTING NOTES SEE SHEET LP-1
FOR PLANTING DETAILS SEE SHEET LP-3
FOR PLANTING SPECIFICATIONS SEE SHEET LP-4



LANDSCAPE ARCHITECTURE
PLANNING DESIGN

2320 SECOND AVENUE CORONA DEL MAR, CA 92623
LIC# 2976 PHONE: 949.673.0800
FAX: 949.673.0806



Ochal Residence
1008 Emerald Bay
Laguna Beach, CA 92651

PROJECT

REVISIONS

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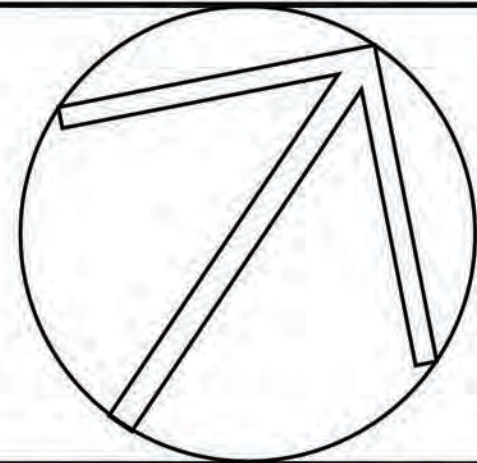
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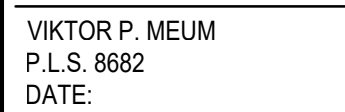


TITLE:

SHRUB
PLANTING
PLAN

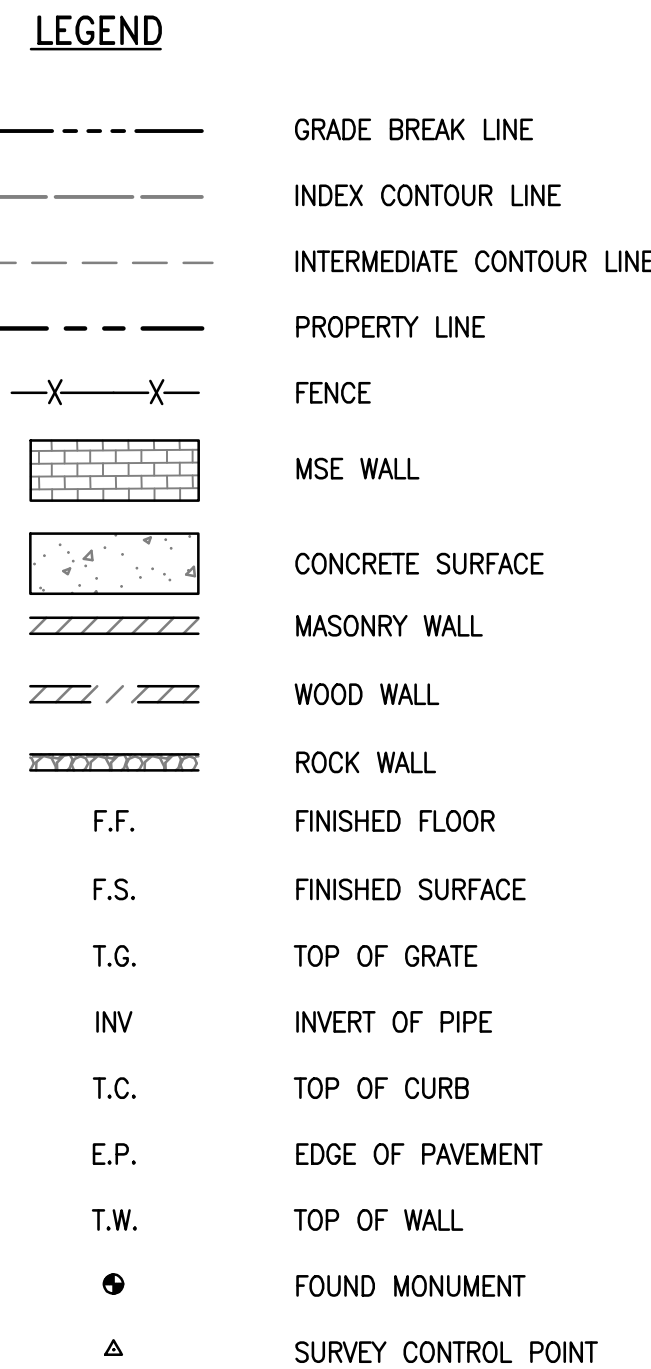
SHEET NO.:

LP-2



LOT 3, TRACT 3125, APN 053-320-04
1008 EMERALD BAY, LAGUNA BEACH, CALIFORNIA

DATE: 12-1-21	H. SCALE: 1/8"=1'	
SURVEY DATE: 11-10-21	V. SCALE: -	
DRN.: MCH	DWG. NO.	
CHD.: MSF	TP-01	
APPD.: VM		
JOB NO. 21230	SHEET 1	OF 1



BASIS OF BEARINGS NOTE:
THE BASIS OF BEARINGS FOR THIS TOPOGRAPHIC AND BOUNDARY SURVEY IS THE BEARING OF A LINE BETWEEN POINT A AND POINT B AS SHOWN ON IN PROGRESS RECORD OF SURVEY 2021-1157, N 79°17'59" E.