

SYMBOLS & ABBREVIATIONS		
	COLUMN LINES, GRID LINES	<b>ABV.</b> ABOVE
	DOOR SYMBOL	<b>A.C.</b> ASPHALTIC CONCRETE
	WINDOW SYMBOL	<b>ADJ.</b> ADJACENT
	REVISION	<b>A.P.L.</b> ASSUMED PROPERTY LINE
	CLOUD AROUND REVISION	<b>B.C.R.</b> BEGIN CURB RETURN
	MATCH LINE	<b>B.F.</b> BOTTOM OF FOOTING
	SHADED PORTION IS THE SIDE CONSIDERED	<b>B.O.F.</b> BOTTOM OF FASCIA
	WORK POINT CONTROL POINT OR DATUM POINT	<b>BRD</b> BOARD
	SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN	<b>BTWN</b> BETWEEN
	DETAIL NUMBER	<b>C.B.</b> CATCH BASIN
	SHEET NUMBER	<b>C.L.</b> CENTERLINE
	KEYNOTES	<b>C.O.</b> CLEANOUT
	CONCRETE	<b>CLR.</b> CLEAR
	MASONRY VENEER	<b>C.M.U.</b> CONCRETE MASONRY UNIT
	CONCRETE BLOCK	<b>CONC.</b> CONCRETE
	ACOUSTIC TILE OR BOARD	<b>CONT.</b> CONTINUOUS
	GYPSUM BOARD NO DOUBLE LINES AT SMALL SCALE	<b>C.Y.</b> CUBIC YARD
	BATT INSULATION	<b>DET.</b> DETAIL
	PLYWOOD	<b>DN.</b> DOWN
	PROPERTY LINE	<b>DRWG.</b> DRAWING
	NEW FINISH GRADE SHOWN HORIZONTALLY	<b>E.</b> EAST
	EXISTING GRADE NEW OR FINISHED CONTOURS	<b>EA.</b> EACH
	EXISTING CONTOURS	<b>E.G.</b> EXISTING GRADE
	TOP OF WALL	<b>E.L.</b> ELEVATION
	TOP OF CURB	<b>ELEC</b> ELECTRICAL
	TOP OF PAVEMENT	<b>ELEV.</b> ELEVATION
	SIMILAR	<b>EQ.</b> EQUAL
	STANDARD	<b>EXIST.</b> EXISTING
	STRUCTURAL	<b>EXP.</b> EXPANSION
	TOP OF PARAPET	<b>ETC.</b> ETCETERA
	TOP OF FOOTING	<b>FIN.</b> FINISH
	(TOP OF FLUSH CURB) fut.	<b>F.G.</b> FINISH GRADE
	TOP OF PAVING	<b>F.P.</b> FINISH PAVING
	TOP OF WALL	<b>FLR.</b> FLOOR
	TYPICAL	<b>F.H.</b> FIRE HYDRANT
	WEST	<b>F.L.</b> FLOW LINE
	WITH	<b>(F.T.C.)</b> FUTURE TOP OF PAVING OR CONCRETE
	WHERE OCCURS	<b>(F.T.P.)</b> FUTURE TOP OF CURB
	REINFORCEMENT	<b>FTG</b> FOOTING
	RETENTION	<b>G.</b> GUTTER
	SECTION	<b>GA</b> GAUGE
	TOP OF PLATE	<b>GYP. BRD.</b> GYPSUM BOARD
		<b>GALV.</b> GALVANIZED
		<b>H/C</b> HANDICAP
		<b>HT.</b> HEIGHT
		<b>HP.</b> HIGH POINT
		<b>JT.</b> JOINT
		<b>MAX.</b> MAXIMUM
		<b>MIN.</b> MINIMUM
		<b>MTL.</b> METAL
		<b>N.</b> NORTH
		<b>N.G.</b> NATURAL GRADE
		<b>N.I.C.</b> NOT IN CONTRACT
		<b>O.C.</b> ON CENTER
		<b>P.L.</b> PROPERTY LINE
		<b>SCHDL.</b> SCHEDULE
ADDITIONAL NOTES:		
<p>AS THE ARCHITECT / ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.</p>		
YASMARY FLORESARENAS	PROJECT MANAGER	2022.07.22
NAME	POSITION	DATE
<p>I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLE INTERFERE WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE EASEMENT WILL BE PROVIDED.</p>		
SIGNATURE	TITLE	
PRINT NAME	DATE	

[illegible]

MUNICIPAL CODE REQUIREMENTS

1. APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE ON THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION. HEALTH AND SAFETY CODE, SECTION 5416

2. CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS.

3. STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES.

4. ADDRESS NUMERALS SHALL COMPLY WITH CITY OF TRABUCO CANYON ORDINANCES.

REFERENCE CODES

ALL CONSTRUCTION SHALL COMPLY WITH:

2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA ELECTRICAL CODE:

Based on the 2017 National Electrical Code (NEC)

2019 CALIFORNIA MECHANICAL CODE:

Based on the 2018 Uniform Mechanical Code

2019 CALIFORNIA PLUMBING CODE:

Based on the 2018 Uniform Plumbing Code

2019 CALIFORNIA GREEN CODE:

California Building Standards Commission

2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA ENERGY CODE

CITY OF TRABUCO CANYON ORDINANCES.

PROJECT DATA

PROJECT DESCRIPTION:

SITE ADDRESS:

LEGAL DESCRIPTION:

ASSESSORS PARCEL #

SCOPE OF WORK:

OCCUPANCY:

ZONING:

TYPE OF CONSTRUCTION:

NO. OF STORIES:

FIRE SPRINKLERS:

AREA TABULATIONS:

PROPOSED ADDITION FOR:  
ROCHELLE CHACON

20672 MOUNTAIN VIEW  
TRABUCO CANYON, CA 90672

LOT 240  
TRACT NO. 926  
M.M.29/20-21

842-091-44

PROPOSED NEW BALCONY AND DECK ON 2ND STORY, REPAIR OF BALCONY AND DECK ON 1ST. STORY & NEW PRIVATE PATIOS AND NEW BASEMENT SPACES.

R-3/U

R-3

V-B RATED

3

YES

2ND. STORY

EXISTING LIVING SPACE

EXISTING GARAGE

EXISTING DECK #3

EXISTING BALCONY #2

EXISTING DECK TO LIVING CONVERSION

1ST. STORY

EXISTING FLOOR AREA

EXISTING BALCONY

EXISTING DECK

EXISTING PRIVATE PATIO #1

EXISTING PRIVATE PATIO #2

BASEMENT

EXISTING BASEMENT SPACE

EXISTING BASEMENT DECK

TOTAL LIVING SPACE R-3 occ + ADDITION

TOTAL GARAGE U occ

727 SQ. FT.

454 SQ. FT.

148 SQ. FT.

99 SQ. FT.

160 SQ. FT.

1,101 SQ. FT.

116 SQ. FT.

315 SQ. FT.

330 SQ. FT.

188 SQ. FT.

232 SQ. FT.

168 SQ. FT.

2,220 SQ. FT.

454 SQ. FT.

SHEET INDEX	
SHEET NUMBER	SHEET NAME
A100.0	COVER SHEET
A100.1	GENERAL NOTES
A100.2	CAL GREEN NOTES
A100.3	CAL GREEN NOTES
A101.0	SITE PLAN
A102.0	2ND. EXISTING & DEMO PLAN
A103.0	2ND. PROPOSED FLOOR PLAN
A105.0	EXISTING & DEMO ELEVATIONS
A105.1	PROPOSED ELEVATIONS
S100.0	EXISTING FRAMING PLAN
S100.1	PROPOSED FRAMING PLAN

## SITE DRAINAGE (VERIFY IN FIELD)

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10FT (5% SLOPE). WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBITS 6" OF FALL WITHIN 10FT, DRAIN OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. [CRC R401.3]. FOR IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

## DEFERRED SUBMITTALS

1.

P.V. SYSTEM IS UNDER A DEFERRED SUBMITTAL AND IS REQUIRED TO BE APPROVED AND INSTALLED PRIOR TO BUILDING FINAL INSPECTION.

2.

TRUSSES ARE A DEFERRED SUBMITTAL ITEM. TRUSS PLANS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND TO THE BUILDING DEPARTMENT FOR APPROVAL. THE ENGINEER OF RECORD SHALL INDICATE THAT THE DESIGN HAS BEEN REVIEWED BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL BE APPROVED BY THE BUILDING DEPARTMENT BEFORE THE TRUSSES ARE INSTALLED.

## VICINITY MAP

OLIVE LN

TRABUCO OAKS DR

SYCAMORE DR

SHADY LN

MOUNTAIN VIEW ROAD

PROJECT LOCATION

MOUNTAIN VIEW ROAD

FLANAGAN RD

TRABUCO OAKS RD

## PROJECT TEAM

### OWNER REPRESENTATIVE


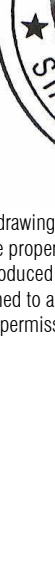
ROCHELLE CHACON  
20672 MOUNTAIN VIEW  
TRABUCO CANYON, CA 90672  
Rochelle@RochelleSellsOC.com  
949-533-1262

### DESIGNER/ ARCHITECTURE

STUDIOS 2007 +  
NARKWEATHER ARCHITECTS INC  
P.O.C. Yasmany Floresarenas  
46-531 Vargas Rd Indio CA, 92201  
PH: 760.984.8764  
Yasmany@studios2007.com

### STRUCTURAL ENGINEER

PACIFIC COAST ENG.  
4001 PACIFIC COAST HIGHWAY  
SUITE 110 TORRANCE, CA 90505  
ATTN: JEFF HASHEMI  
310-375-3636

		
<b>STUDIOS 2007</b>		
<b>NARKWEATHER ARCHITECTS INCORPORATED</b>		
73330 HWY 111 SUITE A PALM DESERT, CA 92260		
		
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No.	Description	Date
<b>PROPOSED ADDITION FOR: ROCHELLE CHACON</b>		
20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672		
APN: 842-091-44		
PRELIMINARY		
COVER SHEET		
Project number	2020-11	
Date	13 SEP 2022	
Drawn by	MRA	
Checked by	AA	
<b>A100.0</b>		
Scale	1/4" = 1'-0"	







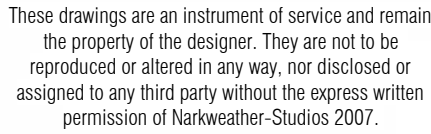


# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

A 5x5 grid of squares. The squares are arranged as follows (row by row):  
 Row 1: Black, White, Black, Black, Black  
 Row 2: White, Black, Black, White, Black  
 Row 3: Black, White, White, Black, Black  
 Row 4: White, White, Black, White, Black  
 Row 5: Black, White, White, White, Black

73330 HWY 111 SUITE A  
PALM DESERT, CA 92260



No.	Description	Date

**PROPOSED ADDITION FOR:**  
**ROCHELLE CHACON**

20672 MOUNTAIN VIEW  
TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

## CAL GREEN NOTES

Project number	2020-11
Date	13 SEP 2022
Drawn by	YAS
Checked by	AA

## A100.2

Scale





# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

[illegible]

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**PROPOSED ADDITION FOR:  
ROCHELLE CHACON**

20672 MOUNTAIN VIEW  
TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

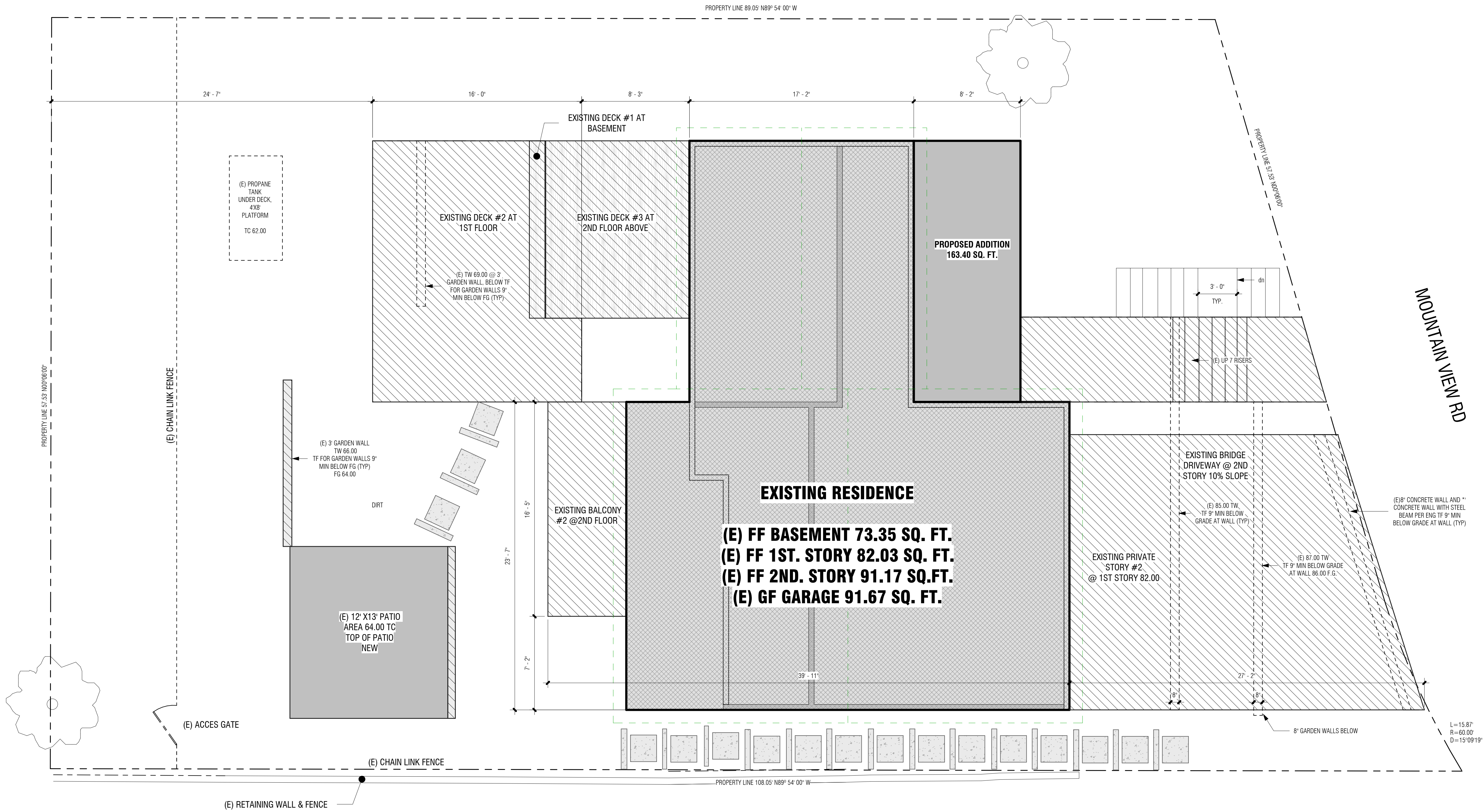
## CAL GREEN NOTES

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Date	13 SEP 2022
Drawn by	YAS
Checked by	AA

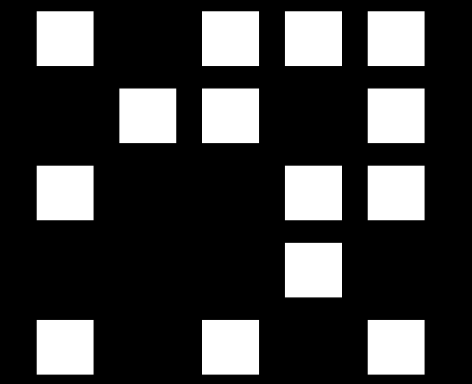
## A100.3

Scale





1 SITE PLAN  
1/4" = 1'-0"



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ROCHELLE CHACON

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TRABUCO CANYON, CA 90672

APN: 842-091-44

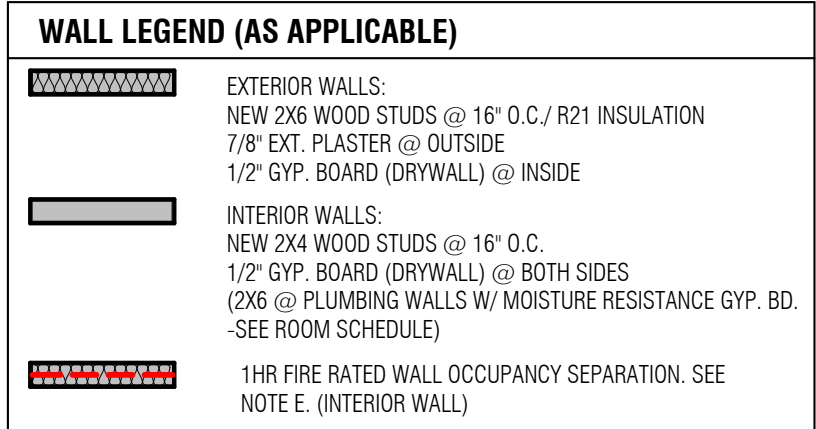
PRELIMINARY

SITE PLAN

Project number	2020-11
Date	13 SEP 2022
Drawn by	YAS
Checked by	AA

A101.0  
Scale 1/4" = 1'-0"





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**PROPOSED ADDITION FOR:  
ROCHELLE CHACON**

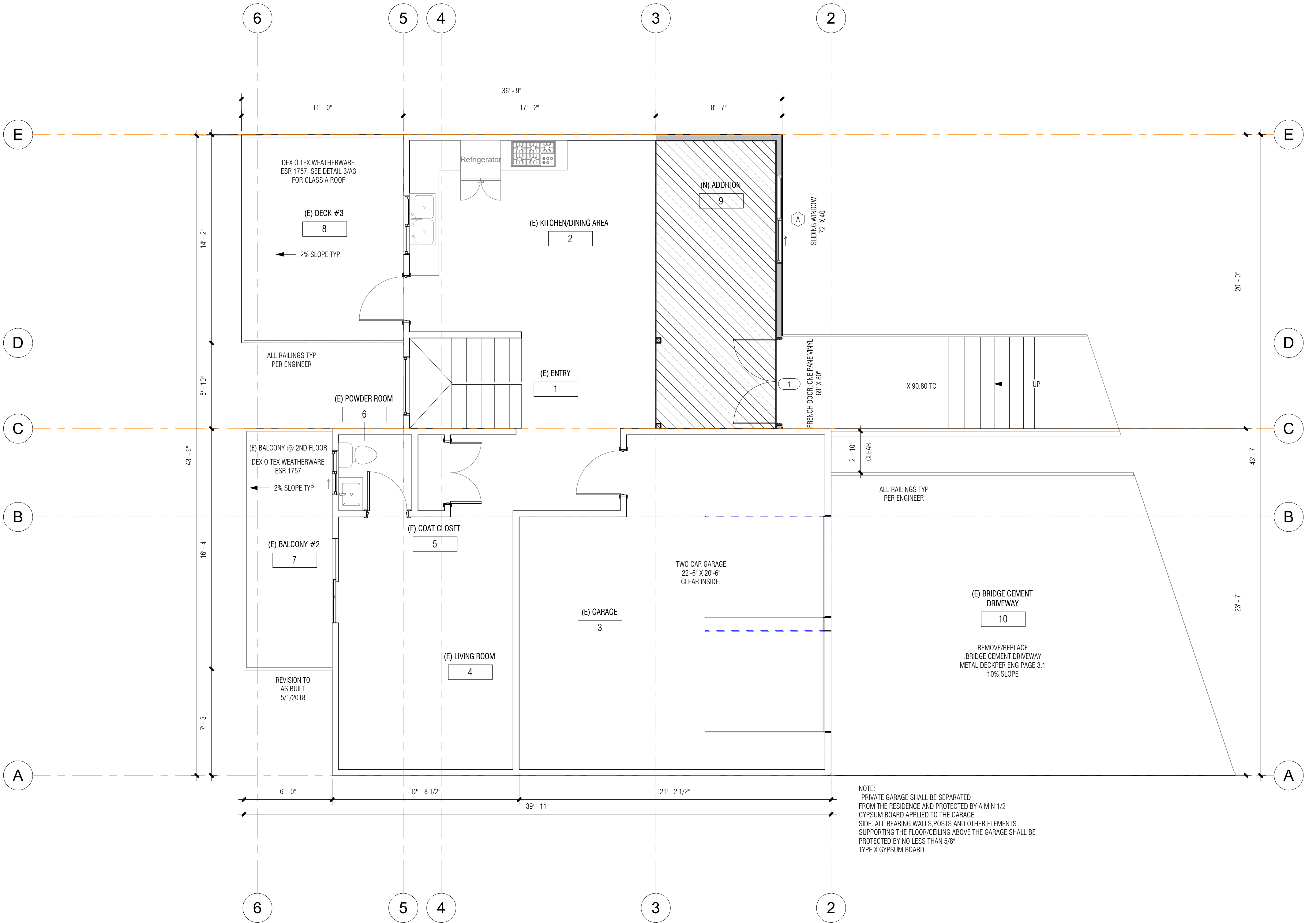
PRELIMINARY

Project number	2020-11
Date	13 SEP 2022
Drawn by	YAS
Checked by	AA

Scale	$1/4" = 1'-0"$
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**1 2ND. EXISTING & DEMO PLAN**  
1/4" = 1'-0"



1 2ND. PROPOSED FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN NOTES:

A. REFER TO THE GENERAL NOTES FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.

B. REFER TO THE TITLE-24 CALCULATIONS SHT. M FOR EQUIPMENT SPECIFICATIONS AND REQUIREMENTS.

C. ALL GLAZING SHALL COMPLY WITH THE UBC AND LOCAL ORDINANCES, REFER TO THE TITLE-24 CALCULATIONS, SHT. T24 FOR THE REQUIRED U-VALUE OF ALL GLAZING.

D. ALL EXTERIOR DOORS OF CONDITIONED SPACE SHALL BE FULLY WEATHER STRIPPED.

E. OCCUPANCY SEPARATION: PROVIDE 5/8" TYP. 2"X GYPSUM BOARD FOR 1 HOUR CONSTRUCTION AS PER CODE 5/8" "TYPE" 2"X GYP. BD. SHALL BE INSTALLED ON THE WALLS AND CEILINGS ADJACENT TO LIVING SPACE AND ALL WALLS AND POSTS SUPPORTING THE HORIZONTAL PORTION OF THE ONE HOUR SEPARATION.

F. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOM(S). NET CLEAR WINDOW OPENING SHALL BE NOT LESS THAN 5.7 SQ. FT. (821 SQ. IN.) MIN NET WINDOW OPENING HEIGHT DIMENSION, 24" CLR. MIN NET WINDOW OPENING WIDTH, 20" CLR. FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.

G. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.

H. VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS, DOORS, AND SKYLIGHTS.

J. REFER TO T-24 SHT M FOR INSULATION REQUIREMENTS IN WALLS, FLOORS AND CEILINGS.

K. ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 75 AND A SMOKE DENSITY NOT TO EXCEED 450.

L. FIXED APPLIANCES ARE REQUIRED TO BE SECURELY FASTENED IN PLACE.

M. ALL EXTERIOR WALLS TO BE 2x6 MINIMUM. SEE THE STRUCTURAL FRAMING PLANS FOR ADDITIONAL INFORMATION.

N. COMBUSTIBLE MATERIALS NOT BE PLACED LESS THAN 6" FROM THE FIREPLACE OPENING.

P. EXCEPT FOR FIREPLACE THAT OPEN TO THE EXTERIOR OF THE BUILDING, THE HEARTH SLAB SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING OR ADJACENT FLOOR.

Q. SEE WINDOW SCHEDULE (X)

R. SEE DOOR SCHEDULE (X)

S. COMBUSTION AIR FROM THE OUTSIDE, COMBUSTION AIR OPENING SHALL BE COVERED WITH CORROSION-RESISTANT SCREEN OF 1/4" MESH.

T. SEE SHEET A104 FOR INTERIOR AND EXTERIOR DOOR DIMENSIONS.

U. PROVIDE ATTIC ACCESS OPENING(S) NOT LESS THAN 22"x30". ACCESS SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ACCESS IS REQUIRED IN ALL ATTIC SPACES THAT EXCEED 30 SQUARE FEET IN AREA AND HAVE A VERTICAL HEIGHT OF 30 INCHES (MEASURED FROM THE TOP OF CEILING FRAMING MEMBERS TO THE UNDERSIDE OF ROOF FRAMING MEMBERS.) THIRTY-INCH MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING. (CRC R807.1) SEE RCP SHEET

V. THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES THICK, OR 20-MINUTE FIRE RATED DOORS, EQUIPPED WITH SELF CLOSING AND SELF-LATCHING DEVICES (CRC SECTION R302.5.1)

W. WALL COVERINGS IN SHOWERS AND TUBS WITH SHOWERHEADS SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 6 FEET (72") ABOVE DRAIN. ENCLOSURES MUST BE OF APPROVED SAFETY GLAZING AND DOORS (22" MIN. WIDTH) MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN." CRC R307.2.

X. PROVIDE 100 SQUARE INCHES OF MAKEUP AIR FOR CLOTHES DRYER CLOSET. (CMC 504.4.1 ITEM (1))

LANDINGS:

PROVIDE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED EXTENDING A MINIMUM DIMENSION OF 36 INCHES. FLOOR ELEVATION SHALL COMPLY WITH THE FOLLOWING:

a) FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD. (CRC R311.3.1)

b) FLOORS AT THE REQUIRED EGRESS DOOR, PROVIDE THE DOOR DOES NOT SWING OVER THE LANDING, SHALL NOT BE MORE THAN 7-3/4" INCHES LOWER THAN THE TOP OF THE THRESHOLD. (CRC R311.3.1, EXCEPTION)

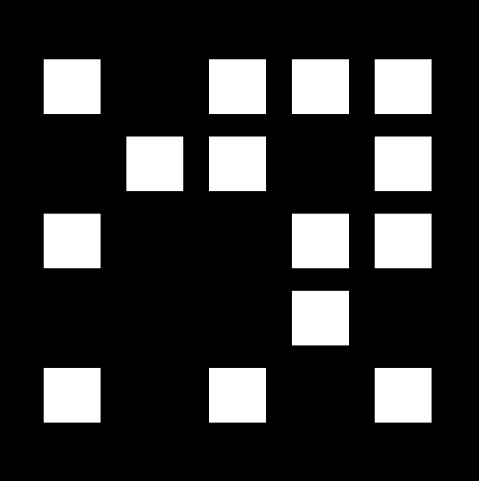
c) DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4" INCHES BELOW THE TOP OF THRESHOLD. (CRC R311.3.2)

d) EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (CRC R311.3)

### FLOOR PLAN KEYNOTES

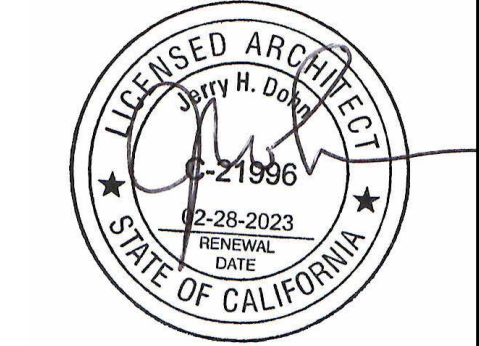
NOTE #	NOTE TEXT
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WALL LEGEND (AS APPLICABLE)	
	EXTERIOR WALLS: NEW 2X6 WOOD STUDS @ 16" O.C./ R21 INSULATION 7/8" EXT. PLASTER @ OUTSIDE 1/2" GYP. BOARD (DRYWALL) @ INSIDE
	INTERIOR WALLS: NEW 2X4 WOOD STUDS @ 16" O.C. 1/2" GYP. BOARD (DRYWALL) @ BOTH SIDES (2X6 @ PLUMBING WALLS W/ MOISTURE RESISTANCE GYP. BD. -SEE ROOM SCHEDULE)
	1HR FIRE RATED WALL OCCUPANCY SEPARATION. SEE NOTE E. (INTERIOR WALL)



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No.	Description	Date

PROPOSED ADDITION FOR:  
ROCHELLE CHACON

20672 MOUNTAIN VIEW  
TRABUCO CANYON, CA 90672

APN: 842-091-44

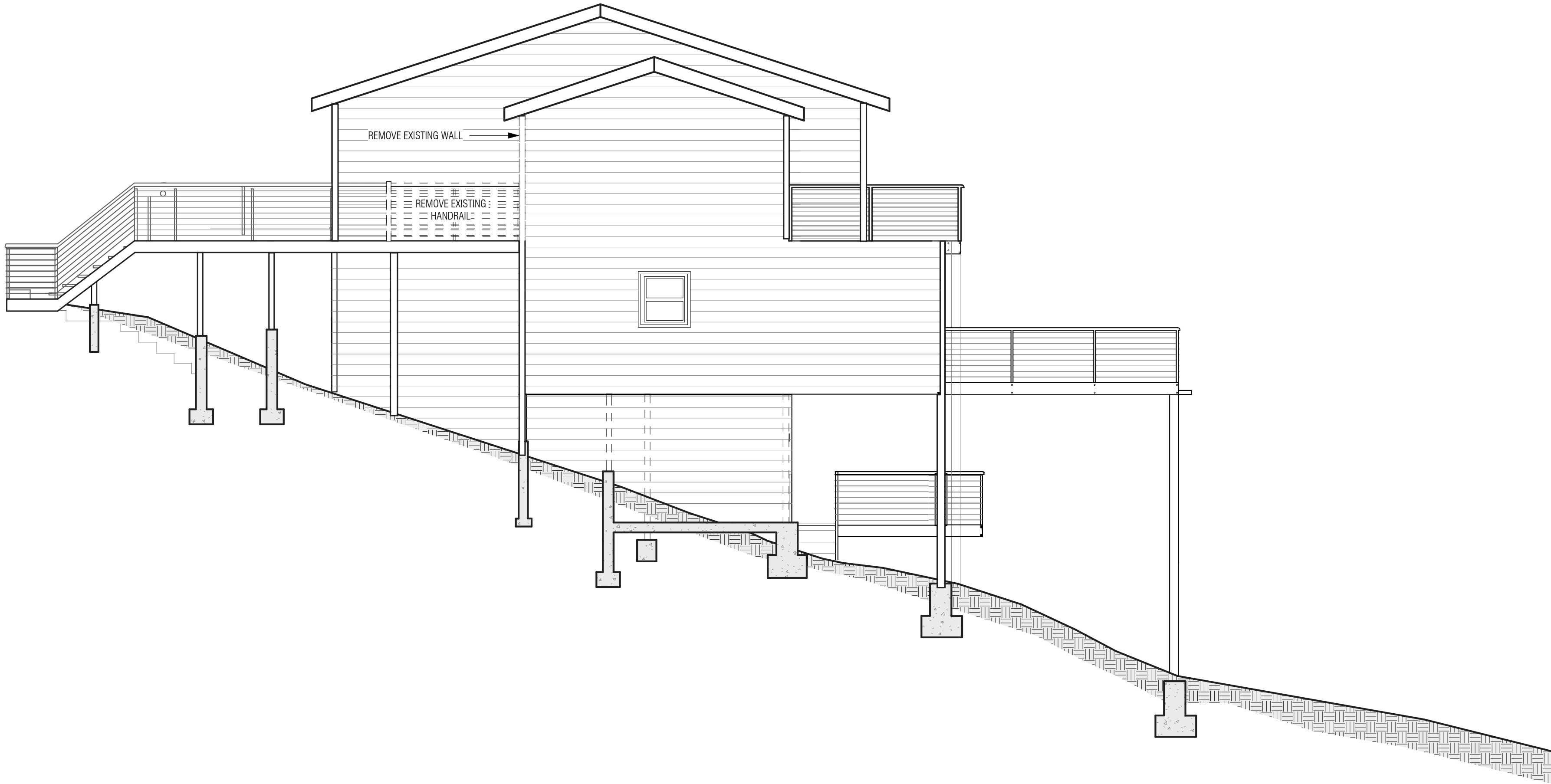
PRELIMINARY

2ND. PROPOSED FLOOR  
PLAN

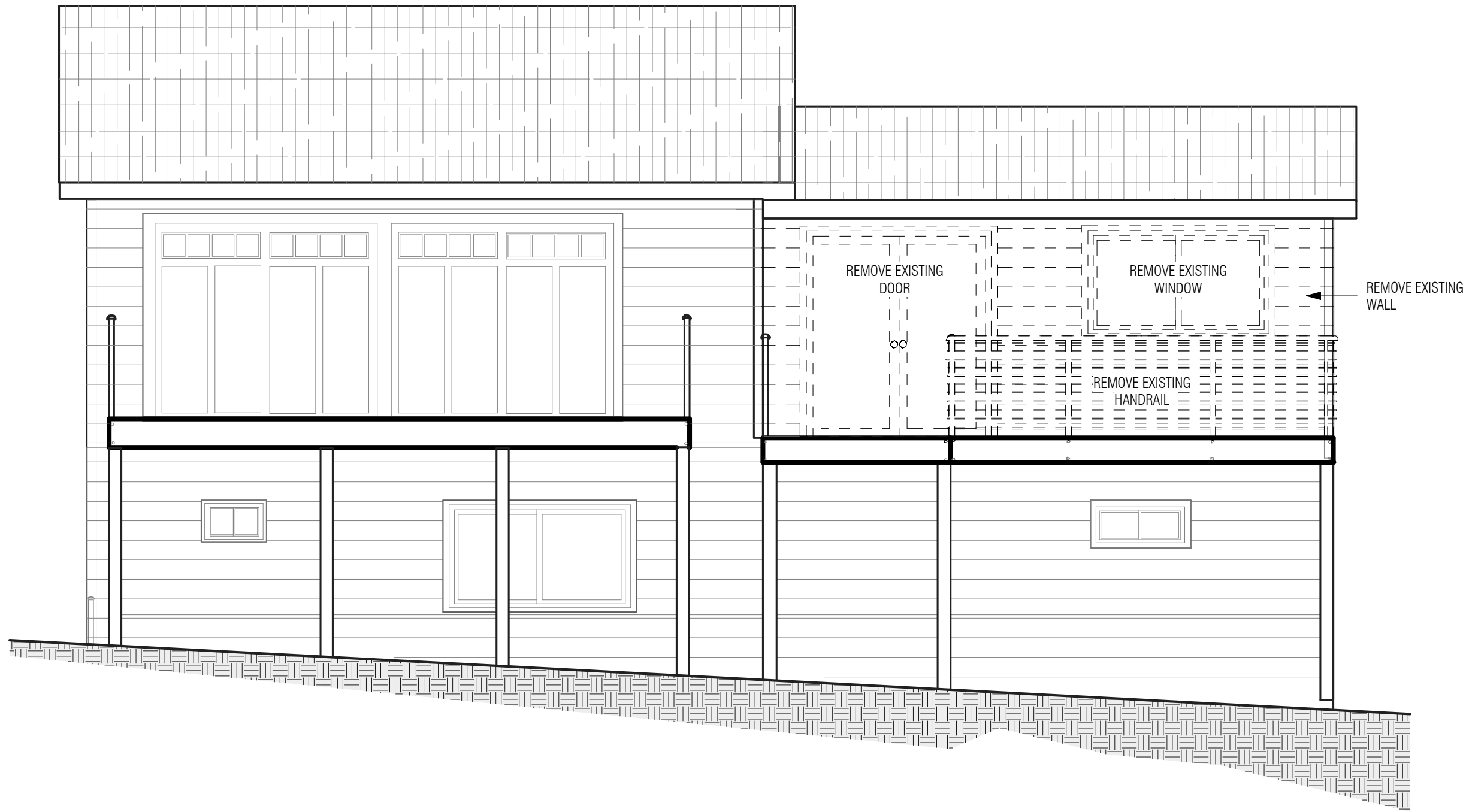
Project number	2020-11
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A103.0	
Scale	1/4" = 1'-0"



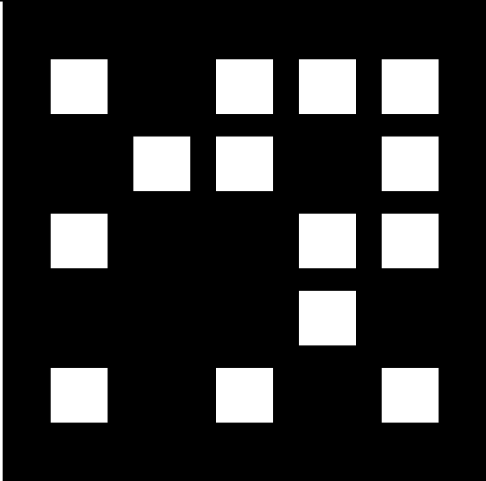


1 EXISTING & DEMO SIDE ELEVATION  
NTS



2 EXISTING & DEMO FRONT ELEVATION  
NTS

- ELEVATION NOTES:
- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. REFER TO OPENING FLASHING DETAILS FOR MINIMUM FLASHING REQUIREMENTS FOR MANUFACTURED WINDOWS AND DOORS ON ARCHITECTURAL DETAILS SHEETS AND PER MANUFACTURER SPECS.
- C. ALL GLAZING SHALL COMPLY WITH THE CALIF. BUILDING CODE AND LOCAL ORDINANCES. REFER TO THE TITLE-24 CALCULATIONS FOR THE REQUIRED 'U' -VALUE OF GLAZING.
- D. ALL EXTERIOR DOORS OF CONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.
- E. REFER TO THE BUILDING SECTIONS AND ROOF PLAN FOR ADDITIONAL INFORMATION ON THE ELEVATIONS.
- F. FINISH GRADE VARIES. REFER TO THE CIVIL DRAWINGS FOR FINAL GRADE AND SITE DRAINAGE.
- G. ALL EXTERIOR DOOR AND WINDOWS HEADS ARE AT 6'-8" UNLESS NOTED ON THE ELEVATIONS OR PLANS.
- H. REFER TO THE COLOR AND MATERIAL BOARD FOR EXTERIOR FINISH COLORS AND SAMPLES.
- J. IF EXPOSED EAVES: 1X8 T&G V-GROOVE STARTER BOARD. -SEE ROOF DETAILS
- K. SPARK ARRESTORS SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.
- L. ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH.
- M. FRAMER SHALL BE RESPONSIBLE FOR COORDINATION WITH TRUSS MANUF. TO ACCOMMODATE ALL ATTIC VENTS.
- N. ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATERPROOF AND WALL MOUNTED LOUVERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOWS INSTALLATION.
- P. ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
- Q. AUTOMATICALLY ILLUMINATED BUILDING ADDRESS NUMBERS, NOT LESS THAN 4 INCHES HIGH, CLEARLY VISIBLE FROM THE STREET OR ACCESS ROAD, (CRC R319, LDMC 9.160.020, TABLE 9-17)
- R. CHIMNEY TERMINATION A MINIMUM OF 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT NOT LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. (CRC R1003.9)
- S. \*SUBMIT – U.L. LISTING OR CURRENT PAPER COPY OF THE ICC EVALUATION REPORT FOR THE PROPOSED CHIMNEY SHROUD TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION. DECORATIVE SHROUDS SHALL BE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY BUILT CHIMNEY SYSTEM. (CMC 802.5.2.4)



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No.	Description	Date

PROPOSED ADDITION FOR:  
ROCHELLE CHACON

20672 MOUNTAIN VIEW  
TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

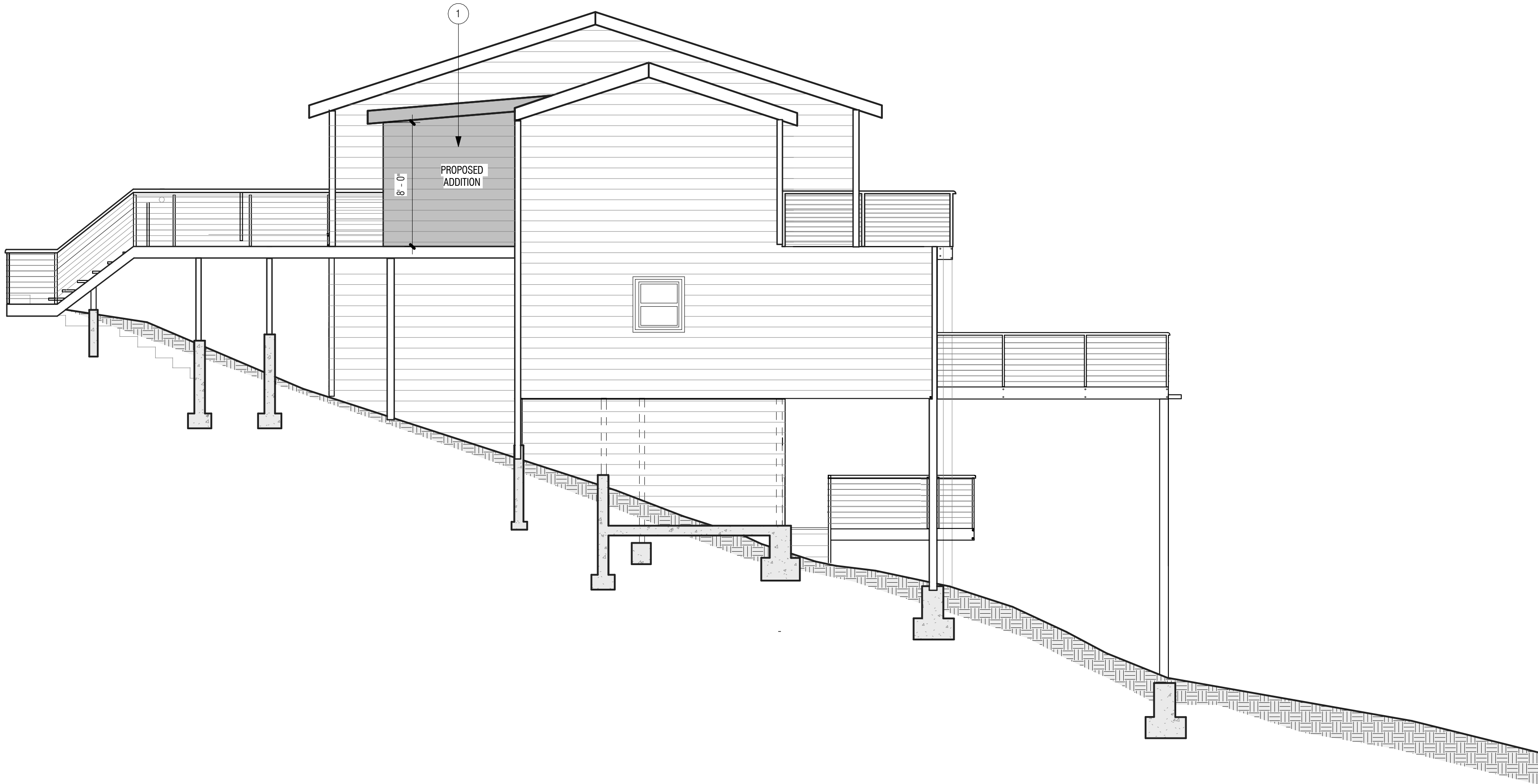
EXISTING & DEMO  
ELEVATIONS

Project number	2020-11
Date	13 SEP 2022
Drawn by	MRA
Checked by	AA

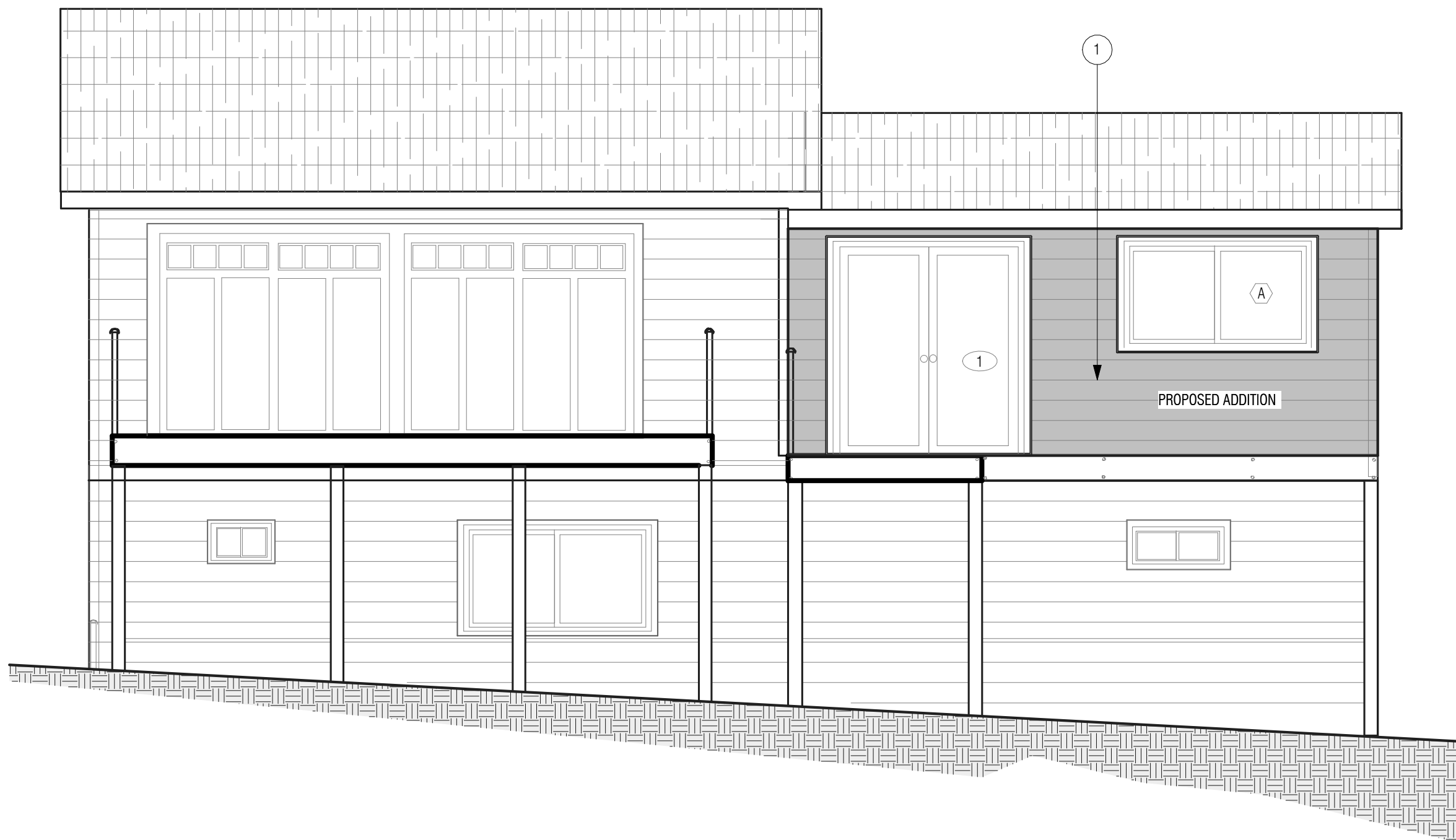
A105.0

Scale      Como se indica





1 PROPOSED SIDE ELEVATION  
NTS

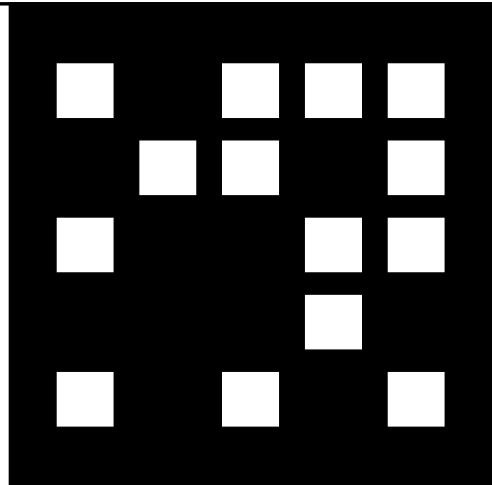


2 PROPOSED FRONT ELEVATION  
NTS

- ELEVATION NOTES:
- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. REFER TO OPENING FLASHING DETAILS FOR MINIMUM FLASHING REQUIREMENTS FOR MANUFACTURED WINDOWS AND DOORS ON ARCHITECTURAL DETAILS SHEETS AND PER MANUFACTURER SPECS.
- C. ALL GLAZING SHALL COMPLY WITH THE CALIF. BUILDING CODE AND LOCAL ORDINANCES. REFER TO THE TITLE-24 CALCULATIONS FOR THE REQUIRED 'U' -VALUE OF GLAZING.
- D. ALL EXTERIOR DOORS OF CONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.
- E. REFER TO THE BUILDING SECTIONS AND ROOF PLAN FOR ADDITIONAL INFORMATION ON THE ELEVATIONS.
- F. FINISH GRADE VARIES. REFER TO THE CIVIL DRAWINGS FOR FINAL GRADE AND SITE DRAINAGE.
- G. ALL EXTERIOR DOOR AND WINDOWS HEADS ARE AT 6'-8" UNLESS NOTED ON THE ELEVATIONS OR PLANS.
- H. REFER TO THE COLOR AND MATERIAL BOARD FOR EXTERIOR FINISH COLORS AND SAMPLES.
- J. IF EXPOSED EAVES: 1X8 T&G V-GROOVE STARTER BOARD. -SEE ROOF DETAILS
- K. SPARK ARRESTORS SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.
- L. ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH.
- M. FRAMER SHALL BE RESPONSIBLE FOR COORDINATION WITH TRUSS MANUF. TO ACCOMMODATE ALL ATTIC VENTS.
- N. ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATERPROOF AND WALL MOUNTED LOUVERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOWS INSTALLATION.
- P. ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
- Q. AUTOMATICALLY ILLUMINATED BUILDING ADDRESS NUMBERS, NOT LESS THAN 4 INCHES HIGH, CLEARLY VISIBLE FROM THE STREET OR ACCESS ROAD, (CRC R319, LDMC 9.160.020, TABLE 9-17)
- R. CHIMNEY TERMINATION A MINIMUM OF 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT NOT LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. (CRC R1003.9)
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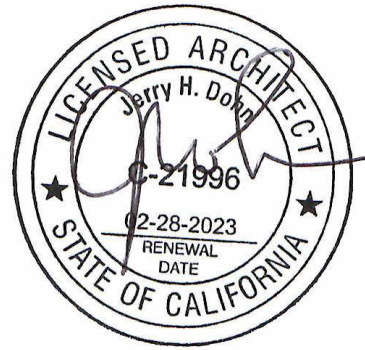
## ELEVATION KEYNOTES

NOTE NUMBER	NOTE TEXT
1	NEW SIDING TO MATCH EXISTING



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ROCHELLE CHACON

20672 MOUNTAIN VIEW  
TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

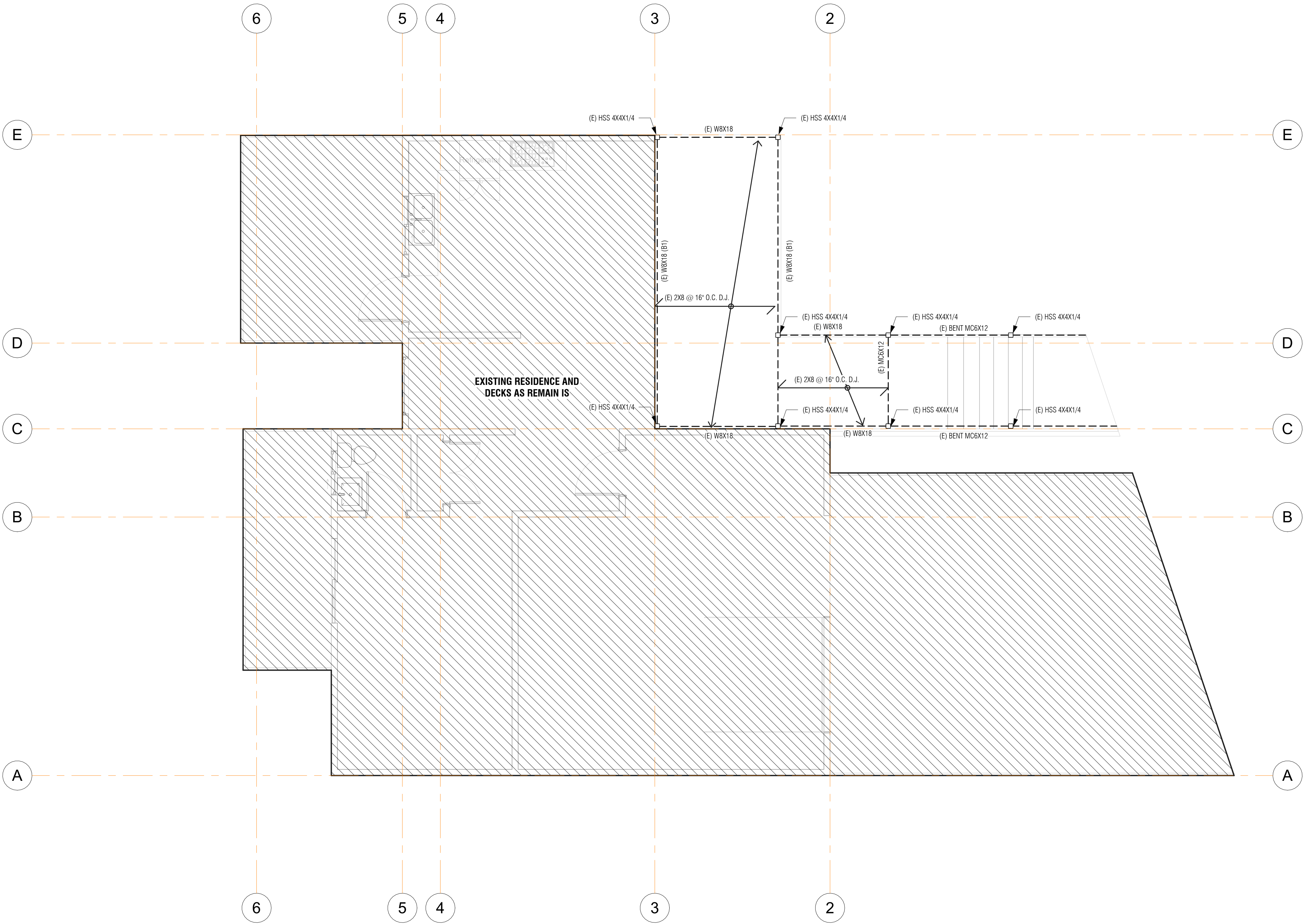
PROPOSED ELEVATIONS

Project number	2020-11
Date	13 SEP 2022
Drawn by	Autor
Checked by	Verificador

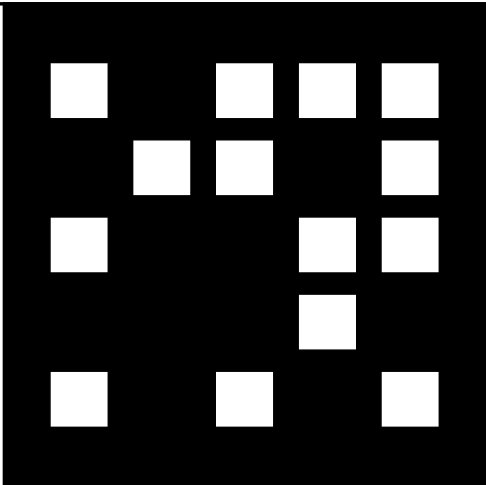
A105.1

Scale	Como se indica
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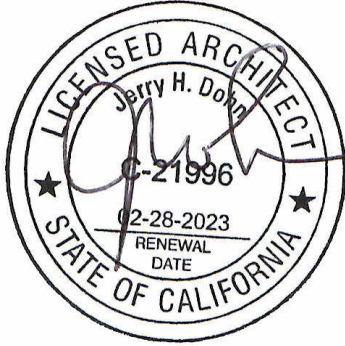


1 2ND. FLOOR EXISTING FRAMING PLAN  
1/4" = 1'-0"



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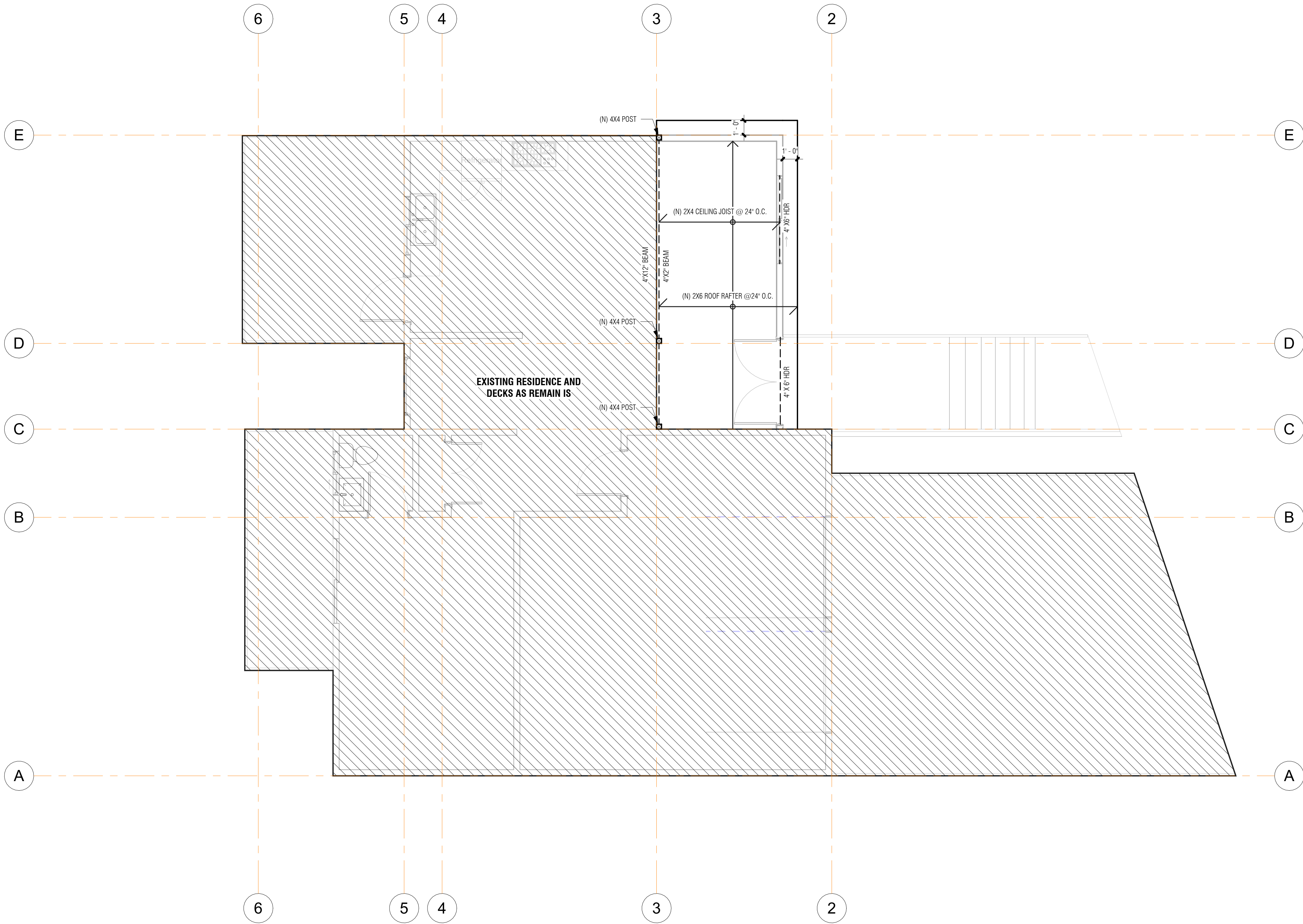
PRELIMINARY

EXISTING FRAMING PLAN

Project number	2020-11
Date	13 SEP 2022
Drawn by	MRA
Checked by	AA

<b>\$100.0</b>
Scale 1/4" = 1'-0"





1 2ND. FLOOR PROPOSED FRAMING PLAN  
1/4" = 1'-0"

FRAMING NOTES

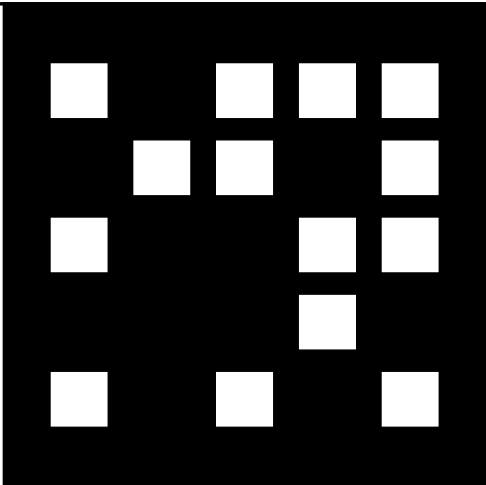
1. DENOTES SHEAR WALL BELOW PER 5/S100.0
2. DENOTES 2-2x IN WALL TYP. U.O.N.
3. DENOTES NEW STRUCTURAL WALL BELOW WITH 2X6 STUDS @ 16" TYP. U.O.N.
4. DENOTES EXSTG. OR NEW NON STRUCTURAL WALL BELOW WITH 2X4 MIN. STUDS @ 16" TYP.
5. DENOTES JOIST OR TRUSS PER PLAN
6. DENOTES HEADER IN WALL BELOW OR FLUSH FLOOR / ROOF BEAM U.O.N. PSL DENOTES 2.0E PARALLAM AND LSL DENOTES 1.5SE TIMBERSTRAND
7. SEE S100.0 FOR TYPICAL FRAMING CONNECTION SCHEDULE.
8. PLYWOOD EDGE NAILING IS REQUIRED AT ALL MEMBERS WITH STRAPS OR HOLDOWS.
9. FOR TYPICAL TRIMMER, KING STUDS AND HEADER CONNECTIONS SEE 6/S100.0
10. SEE WOOD NOTE 15 ON S100.0 FOR TOP PLATE SPLICES
11. PLYWOOD DIAPHRAGM SHALL BE PER WOOD NOTE 4 ON S100.0 & PER 2/S100.0
12. ALL HORIZONTAL DRAG STRAPS SHALL BE CENTERED ON SPLICE.
13. ALL 2x FLOOR JOIST HANGING OFF FLUSH FLOOR BEAMS SHALL HAVE 'LUS' OR 'JB' HANGERS & TJI JOIST SHALL HAVE 'LUS' OR ITS' HANGERS TYPICAL. U.O.N.
14. ALL MEMBERS NOTED 'DRAG' SHALL HAVE 2-ROWS EDGE NAILING FROM FLOOR PLYWOOD.
15. DENOTES BEAM OR JOIST SEAT. USE SIMPSON 'HJ' OR 'HB' HGR. U.O.N.
16. DENOTES AREA OF CALIFORNIA FILL PLYWOOD DIAPHRAGM BELOW FILL SHALL BE FULLY NAILED PRIOR TO INSTALLING FILL FRAMING.

INTERIOR NON BEARING WALL HEADER SCHEDULE

HEADER SIZE	MAX. SPAN < 5'-0" WALL ABOVE.	MAX. SPAN < 10'-0" WALL ABOVE.
12) 2X4 ON EDGE	6'-0"	4'-0"
4X4 STD. & BETTER	8'-6"	4'-6"
4X6 DF #2	10'-0"	9'-6"

CEILING JOIST SCHEDULE

JOIST SIZE	12" SPACING	16" SPACING	24" SPACING
2X4	10'-9"	9'-9"	8'-6"
2X6	16'-11"	15'-4"	13'-5"
2X8	22'-4"	20'-3"	17'-8"



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PROPOSED FRAMING PLAN

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<b>S100.1</b>	
Scale	Como se indica