

**SYMBOLS & ABBREVIATIONS** 

AS THE ARCHITECT / ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

YASMANY FLORESARENAS	PROJECT MANAGER	2022.07.22
NAME	POSITION	DATE

EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY. BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(s) SATISFACTORY TO THE HOLDER(s) OF

SIGNATURE	TITLE
PRINT NAME	DATE

# PROPOSED ADDITION FOR:

# ROCHELLE CHACON

# 20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

# **MUNICIPAL CODE REQUIREMENTS**

 APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE ON THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION. HEALTH AND SAFETY CODE,

2. CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS

3. STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES

4. ADDRESS NUMERALS SHALL COMPLY WITH CITY OF TRABUCO CANYON ORDINANCES.

SHEET NUMBER	SHEET NAME			
0.0	COVER SHEET			
).1	GENERAL NOTES			
1.2	CAL GREEN NOTES			
1.3	CAL GREEN NOTES			
.0	SITE PLAN			
2.0	2ND. EXISTING & DEMO PLAN			
3.0	2ND. PROPOSED FLOOR PLAN			
0.0	EXISTING & DEMO ELEVATIONS			
i.1	PROPOSED ELEVATIONS			
0.0	EXISTING FRAMING PLAN			

STUDIOS 200 NARKWEATHER ARCHITECTS INCORPORATED

73330 HWY 111 SUITE A PALM DESERT, CA 92260



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#### **ENGINEERING NOTES:** REFERENCE CODES

**SPECIAL NOTES** 

At the time of final inspection, a manual, compact disc, web-based

reference or other media acceptable to the enforcing agency which

a. Directions to the owner or occupant that the manual shall remain

systems, HVAC systems, water-heating systems and other major

with the building throughout the life cycle of the structure.

i) Equipment and appliances, including water-saving devices and

iii) Space conditioning systems, including condensers and air filters.

c. Information from local utility, water and waste recovery providers

d. Public transportation and/or carpool options available in the area.

e. Educational material on the positive impacts of an interior relative

may use to maintain the relative humidity level in that range.

g. Instructions for maintaining gutters and downspouts and the

importance of diverting water at least 5 feet away from the

Information about state solar energy and incentive programs

A copy of all special inspection verifications required by the

humidity between 30-60 percent and what methods an occupant

Informant about water-conserving landscape and irrigation design

on methods to further reduce resource consumption, including

b. Operation and maintenance instructions for the following:

ii) Roof and yard drainage, including gutters and downspouts.

includes all of the following shall be placed in the building:

appliances and equipment.

recycle programs and locations.

and controllers which conserve water.

iv) Landscape irrigation systems.

v) Water reuse systems.

foundation.

DIG ALERT (811) IS TO BE CONTACTED BEFORE ANY EXCAVATION IS DONE, ANY EXCAVATION MUST BE DONE IN COMPLIANE WITH EXCAVATION SAFETY IN ACCORDANCE WITH GOVERNMENT CODE 4216 AND FOLLOWED PRIOR TO ANY EXCAVATION TAKING PLACE.

YOUR SIGNATURE BELOW SIGNIFY ACKNOWLEDGE OF THE STATEMENT ABOVE

TITLE

DATE

**SIGNATURE** 

**DIG ALERT** 

ONWER OR CONTRACTOR NAME

**CITY NOTES** 

"A"), 1991)

CITY OF TRABUCO CANYON ORDINANCES.

9.06.047 CONSTRUCTION OR LANDSCAPE MAINTENANCE NOISE.

MAINTENANCE, AND SIMILAR ACTIVITIES SHALL BE LIMITED TO THE

FOLLOWING HOURS UNLESS A TEMPORARY WAIVER IS GRANTED

BY THE PLANNING DIRECTOR OR HIS/HER AUTHORIZED DESIGNEE:

\*NATIONAL HOLIDAYS: NEW YEAR'S DAY, MARTIN LUTHER KING

OF JULY), LABOR DAY, VETERAN'S DAY, THANKSGIVING DAY,

PER CITY POLICY, A COMPACTION CERTIFICATION AND

THIS PROJECT SHALL CONFORM WITH CALBO SB407.

CONSERVING PLUMBING FIXTURES.

APPLYING FOR BUILDING PERMIT.

THANKSGIVING DAY AFTER, AND CHRISTMAS DAY. (ORD. 438

SEC.3, 1998; ORD. 392 SEC 1-2, 1996; ORD. 366 (EXHIBIT "A"),

1995; ORD. 362 (EXHIBIT "A"), 1995; ORD. 359 SEC 1, 1995; ORD

330 SEC 1, 1993; ORD 300 SEC 1-3, 1992; ORD 277 SEC 3 (EXHIBIT

ACCEPTANCE OF THE FOUNDATION EXCAVATION TO BE PROVIDED

AT THE TIME OF FOUNDATION INSPECTION. THE INSPECTOR HAS

NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER

GENERAL CONTRACTOR SHALL PROVIDE CALGREEN COMPLIANCE

FORMS FROM LOCAL WASTE DISPOSAL COMPANY WHEN

THE PREROGATIVE TO REQUIRE THIS FOR ANY CONCRETE WORK.

DAY, PRESIDENT'S DAY, MEMORIAL DAY, INDEPENDENCE DAY (4TH

CONSTRUCTION, LANDSCAPE MAINTENANCE, PROPERTY

7:00am-5:00pm MONDAY-FRIDAY

NO USAGE ON SUNDAYS OR NATIONAL HOLIDAYS.\*

8:00am-5:00pm SATURDAY

THE ENGINEER OF RECORD OR SOIL ENGINEER SHALL CERTIFY THE PAD. FORM AND COMPACTION PRIOR TO FOUNDATION INSPECTION

ALL CONSTRUCTION SHALL COMPLY WITH:

2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA ELECTRICAL CODE: Based on the 2017 National Electrical Code (NEC)

2019 CALIFORNIA MECHANICAL CODE:

Based on the 2018 Uniform Mechanical Code 2019 CALIFORNIA PLUMBING CODE:

Based on the 2018 Uniform Plumbing Code 2019 CALIFORNIA GREEN CODE; California Building Standards Commission

2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA ENERGY CODE

CITY OF TRABUCO CANYON ORDINANCES

SITE DRAINAGE (VERIFY IN FIELD)

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10FT (5% SLOPE). WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBITS 6" OF FALL WITHIN 10FT, DRAIN OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. [CRC R401.3]. FOR IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

# DEFERRED SUBMITTALS

P.V. SYSTEM IS UNDER A DEFERRED SUBMITTAL AND IS REQUIRED TO BE

TRUSSES ARE A DEFERRED SUBMITTAL ITEM. TRUSS PLANS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND TO THE BUILDING DEPARTMENT FOR APPROVAL. THE ENGINEER OF RECORD SHALL INDICATE THAT THE DESIGN HAS BEEN REVIEWED BEFORE SUBMITTING TO THE BUILDING DEPARTMENT. THE TRUSS DESIGN SHALL BE APPROVED BY THE BUILDING DEPARTMNET

PROPOSED FRAMING PLAN

APPROVED AND INSTALLED PRIOR TO BUILDING FINAL INSPECTION

BEFORE THE TRUSSES ARE INSTALLED.

# **VICINITY MAP**

**PROJECT TEAM** 

ROCHELLE CHACON

949-533-1262

20672 MOUNTAIN VIEW

TRABUCO CANYON, CA 90672

Rochelle@RochelleSellsOC.com

OWNER REPRESENTATIVE

OLIVE LN

842-091-44

2ND. STORY Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building,

enforcing agency of this code. (CALGreen

ALL 'OR EQUAL' SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION OF THE ITEM.

**PROJECT DATA** PROPOSED ADDITION FOR: PROJECT DESCRIPTION: ROCHELLE CHACON

SITE ADDRESS: 20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

LEGAL DESCRIPTION: LOT 240 **TRACT NO. 926** M.M.29/20-21

ASSESSORS PARCEL #

SCOPE OF WORK: PROPOSED NEW BALCONY AND DECK ON 2ND STORY, REPAIR OF BALCONY AND DECK ON

1ST. STORY & NEW PRIVATE PATIOS AND NEW BASEMENT SPACES.

OCCUPANCY: R-3/U

R-3

TYPE OF CONSTRUCTION: V-B RATED

NO. OF STORIES:

FIRE SPRINKLERS: AREA TABULATIONS:

EXISTING LIVING SPACE 727 SQ. FT. EXISTING GARAGE 454 SQ. FT. 148 SQ. FT. EXISTING DECK #3 99 SQ. FT. EXISTING BALCONY #2 EXISTING DECK TO LIVING CONVERSION 160 SQ. FT.

1ST. STORY EXISTING FLOOR AREA 1,101 SQ. FT. EXISTING BALCONY

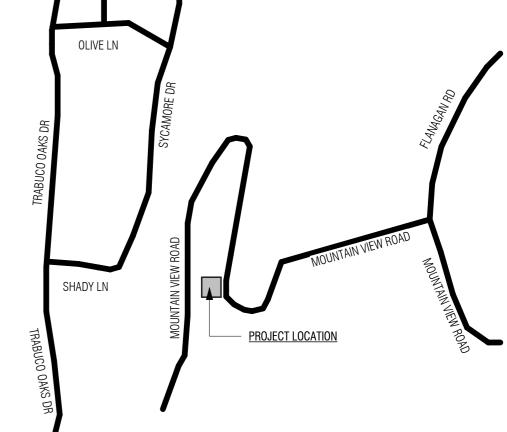
116 SQ. FT. EXISTING DECK 315 SQ. FT. EXISTING PRIVATE PATIO #1 330 SQ. FT. EXISTING PRIVATE PATIO #2 188 SQ. FT. BASEMENT

232 SQ. FT.

168 SQ. FT.

EXISTING BASEMENT SPACE EXISTING BASEMENT DECK TOTAL LIVING SPACE R-3 occ + ADDITION

2,220 SQ. FT. TOTAL GARAGE U occ 454 SQ. FT.



20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

**COVER SHEET** 

STRUCTURAL ENGINEER PACIFIC COAST ENG.

DESIGNER/ ARCHITECTURE

P.O.C. Yasmany Floresarenas

Yasmany@studios2007.com

NARKWEATHER ARCHITECTS INC

46-531 Vargas Rd Indio CA, 92201

STUDIOS 2007 +

PH: 760.984.8764

4001 PACIFIC COAST HIGHWAY SUITE 110 TORRANCE, CA 90505 ATTN: JEFF HASHEMI 310-375-3636

2020-11 Project number 13 SEP 2022 Drawn by MRA Checked by

A100.0

AA

1/4" = 1'-0"

YASMANY FLORESARENAS	PROJECT MANAGER	2022.07.22
NAME	POSITION	DATE

I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLE INTERFERE WITH ANY ACCESS OR UTILITY THE EASEMENT WILL BE PROVIDED

SIGNATURE	TITLE
PRINT NAME	DATE

ALL ROOFS AND CEILINGS SHALL BE BLOCKED WITH 2X SOLID BLOCKING. MAXIMUM SPACING BETWEEN BLOCKING SHALL BE 8'-0", OFFSET IN ROWS.

USE SISALKRAFT PAPER FOR MINIMUM OF SIX INCHES AT PERIPHERIES OF ALL EXTERIOR OPENINGS.

USE SIMPSON "STRONG TIE" OR EQUAL FRAMING CONNECTORS AT ALL FLUSH FRAMING CONDITIONS.

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF THE DESIGNER. THEY ARE NOT TO BE REPRODUCED OR

ALTERED IN ANY WAY, NOR DISCLOSED OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF STUDIOS 2007

CONCRETE, SCUM AND GROUT STAINS SHALL BE IMMEDIATELY REMOVED FROM ALL WALLS.

SURPLUS MATERIALS, SACK, ETC., FROM THE JOB SITE

AT THE CONCLUSION OF THE MASONRY WORK THE MASONRY CONTRACTOR SHALL CLEAN ALL MASONRY, REMOVE ALL DEBRIS REFUSE

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THE HEATING AND AIR CONDITIONING CONTRACTOR SHALL PAY FOR ALL CITY PERMITS AND LICENSES REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.
        BEFORE BEGINNING THE HEATING OR AND CONDITIONING WORK, ALL PHASES THAT PERTAIN TO THE WORK IN THE PLANS AND SPECIFICATIONS, INCLUDING MECHANICAL
         ROOM SIZES SHALL BE STUDIED. ANY LIMITATIONS, REPORTED TO THE ARCHITECT AND ANY EXTRA WORK RESULTING FROM FAILURE TO DO SO WILL BE CAUSE FOR
         MAKING THE HEATING AND AIR CONDITIONING CONTRACTOR LIABLE FOR SUCH CHANGES.
        ALL PARTS OF THE HEATING AND AIR CONDITIONING EQUIPMENT SHALL BE THOROUGHLY CLEANED AFTER INSTALLATION. EXPOSED PARTS WHICH ARE TO BE PAINTED
         SHALL BE CLEANED OF ALL PLASTER OF FOREIGN MATERIALS, AND ALL GREASE OR OIL SPOTS ARE TO BE REMOVED WITH A PROPER CLEANING SOLVENT.
         PRIOR TO CHARGING THE SYSTEM. COMPLETELY EVACUATE THE REFRIGERANT LINES AND REPAIR ANY LEAKS THAT ARE PRESENT, PRIOR TO STARTING THE BLOWER FANS.
         THOROUGHLY CLEAN OUT ALL SUPPLY AND RETURN DUCTS, REGISTERS AND PLENUM BOXES.
         ADJUST AND REGULATE ALL EQUIPMENT TO INSURE PROPER OPERATION OF THE SAME. BALANCE THE ENTIRE SYSTEM TO PROVIDE AIR DELIVERIES AS DETAILED IN THE
         PLANS. REGISTERS ATE TO BE ADJUSTED TO MINIMIZE OBJECTIONABLE DRAFTS OR NOISES.
         THE EQUIPMENT SHALL BE INSTALLED SO THAT THE OPERATION OF ALL PARTS OF THE SYSTEM SHALL BE AS NOISELESS AS POSSIBLE SO THAT NO OBJECTIONABLE
         SOUND OF OPERATION WILL BE HEARD OUTSIDE OF THE ROOMS HOUSING THE EQUIPMENT
         PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, THE AIR CONDITIONING AND HEATING CONTRACTOR SHALL FURNISH TO THE OWNER COMPLETE WRITTEN OPERATION S
         AND MAINTENANCE INSTRUCTIONS FOR ALL OF THE EQUIPMENT UNDER HIS CONTRACT.
         REFRIGERANT PIPING SHALL BE TYPE L COPPER WITH SILVER SOLDIER JOINTS. CONDENSATE PIPING SHALL BE 384" SCHEDULE 40 PVC. GAS HOOKUP SHALL BE FLEXIBLE
         BASS CONNECTORS.
        ALL UNDERGROUND REFERENT LINES SHALL BE BURIED A MINIMUM OF 18" BELOW GRADE.
        AT THE COMPLETION OF EACH PHASE OF HIS WORK, THE AIR CONDITIONING AND HEATING CONTRACTOR SHALL CLEAN UP HIS WORK AND REMOVE FROM THE JOB SITE
         ALL RUBBISH, DEBRIS, CARTOONS, ETC., RESULTING FROM HIS WORK
        SET ALL FURNACES ON 1" ASPHALT IMPREGNATED CELOTEX PADS AND PROVIDE CANVAS CONNECTORS BETWEEN ALL UNITS AND DUCT WORK.
         THE AIR CONDITIONING AND HEATING CONTRACTOR SHALL FURNISH TO THE OWNER A WRITTEN GUARANTEE FOR ONE YEAR PERIOD FROM THE DATE OF ACCEPTANCE OF
         THE WORK, INCLUDING A STATEMENT THAT ANY RESULTING REPAIR SERVICE REQUIRED UNDER THIS GUARANTEE WILL BE PROVIDED WITH TWELVE HOURS OF
         NOTIFICATION OF THE PROBLEMS.
        FURNACE FLUES SHALL BE TYPE 3 TRANSITE.
        ALL RECTANGULAR DUCT WORK SHALL BE GALVANIZED IRON. ROUND DUCT WORK SHALL BE GUSTIN-BACON FIBERGLASS. UNDERGROUND UCT WORK SHALL BE TRANSIT
         ROUND DUCT PRIALOC CLASS 1 CORRUGATED METAL DUCT. EXHAUST FAN DUCT SHALL BE 26 GAUGE GALVANIZED IRON.
        THE ELECTRICAL CONTRACTOR SHALL COMPLETE ALL WORK ACCORDING TO THE NATIONAL ELECTRIC CODE AND APPLIANCES CITY- OR COUNTRY- ADOPTED CODES AND
         ORDINANCES.
         THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES NECESSARY IN THE COMPLETION OF THIS CONTRACT.
         THE ELECTRICAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING NECESSARY FOR THE PROPER INSTALLATION OF TERMS IN HIS CONTRACT.
        THE ELECTRICAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF PAVEMENTS, CURB AND SIDEWALKS AND DO ALL TRENCHING AND BACK FILING AS REQUIRED
         TO EXECUTE HIS WORK.
         IDENTIFY ALL CIRCUITS AND BREAKERS CONTROLLING SUCH CIRCUITS ON THE BACK OF THE PANEL BOARD DOORS
         UPON COMPLETION OF ALL ELECTRICAL WORK, THE ELECTRICAL CONTRACTOR SHALL TEST ALL CIRCUITS, OUTLETS, SWITCHES, LIGHTS, MOTORS, ETC., FOR CORRECT
         OPERATION AND ALL INSTALLATIONS. REPAIR OR REPLACE ANY DEFECTS IMMEDIATELY.
         THE ENTIRE ELECTRICAL INSTALLATION, INCLUDING MATERIALS FURNISHED AND INSTALLED MUST BE FREE FROM DEFECT AND SHALL BE GUARANTEED IN WRITING TO
         THE OWNER FOR A PERIOD OF ONE YEAR FROM FINAL COMPLETION OF THE PROJECT.
         THE ELECTRICAL CONTRACTOR SHALL AT THE COMPLETION OF EACH PHASE OF HIS WORK, REMOVE ALL DEBRIS, CARTOONS, IMPLEMENTS OF SERVICE, ETC., RESULTING
         FROM HIS WORK FROM THE JOB SITE
         PROVIDE COMPLETE CONDUIT SYSTEM FOR TELEVISION AND TELEPHONE SERVICE TO THE BUILDING TERMINAL BOXES AS REQUIRED BY THE RESPECTIVE COMPANIES.
         PROVIDE AND INSTALL A COMPLETE EXHAUST FAN SYSTEM AS SHOWN IN THE PLANS INCLUDING DUCTS, ROOF JACKS, AND CAPS.
         PROVIDE STUB OUT ON TIME CIRCUIT FOR LANDSCAPE LIGHTING.
         UNDERGROUND SECONDARY SERVICE CONDUIT SYSTEM COMPLETE WITH PULL CORD, JOINTS, SWEEPS, POLE RISE, ETC. FROM SITE STUB TO METER.
         PROVIDE PROPER STUB OUTS AND DISCONNECTS TO ALL AIR CONDITIONING CONDENSING UNITS WHEN INSTALLED, CONNECT UNITS.
         PROVIDE AND INSTALL COMPLETE METERING-DEVICE WITH DISCONNECT.
         PROVIDE STUB OUT AS CALLED FOR IN PLANS FOR POOL LIGHT AND POOL EQUIPMENT.
         PROVIDE TEMPORARY SERVICE, INCLUDING TEMPORARY POLE.
         CONNECT ALL APPLIANCES.
         ALL EXPOSED CONDUIT SHALL BE RIGID CONDUIT EQUAL TO REPUBLIC STEEL RIGID HOT DIPPED GALVANIZED CONDUIT
         FLEXIBLE METAL CONDUIT MAY BE INSTALLED FOR CONNECTION OF EQUIPMENT IN DRY LOCATION.
         CONDUCTORS IN DRY LOCATIONS SHALL BE TYPE TW THERMOPLASTIC WIRE UL APPROVED FOR 600V IN SIZES UP TO 2/0. USE TYPE RHW ABOVE 2/0
         NONMETALLIC CONDUIT SHALL BE POLY VINYL CHLORIDE SCHEDULE 40 RIGID CONDUIT WITH #8 OR LARGER GROUND INSTALLED THEREIN.
         EMT SHALL BE INSTALLED IN CONCEALED DRY LOCATIONS OR EXPOSED LOCATIONS WHICH ARE FREE FROM MECHANICAL INJURY AND SHALL BE EQUAL TO REPUBLIC
        ALL CONDUCTORS IN CONDUIT LOCATED IN CONCRETE OR MASONRY, OUR UNDERGROUND, SHALL BE TYPE RGW-N OR NEOPRENE JACKED WIRE APPROVED FOR 600V
GREEN BUILDING CODE WASTE REDUCTION (NON-RESIDENTIAL)
INCLUDED WITH THE BUILDING PLAN SUBMITTAL DOCUMENTS TO THE BUILDING DEPARTMENT FOR PLAN REVIEW, THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVAL
CONSTRUCTION WASTE MANAGEMENT PLAN BY THE RIVERSIDE COUNTY WASTE MANAGEMENT DEPARTMENT THAT IDENTIFIES THE FOLLOWING:
        IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE, ON THE PROJECT, OR SALVAGE FOR FUTURE
         SPECIFY CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM)
         IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND WASTE WILL BE TAKEN.
         IDENTIFY THE CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION WASTE GENERATED
         SPECIFY THAT AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BOTH. FOR
         INFORMATION REGARDING COMPLIANCE WITH THE ABOVE PROVISION AND REQUIREMENTS, PLEASE CONTACT THE WASTE MANAGEMENT DEPARTMENT AT 951-486-3200.
"GENERAL CONTRACTOR/SUB CONTRACTORS RESPONSIBILITIES
        IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT ALL SUB-CONTRACTORS STUDY THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT
         BEING SERVED. THE HVAC CONTRACTOR SHALL MEET WIT THE FRAMING PRIOR TO COMMENCEMENT OF FRAMING.
         WORK COMPLETED TO PRIOR TO THE SUB CONTRACTOR COMMENCING HIS WORK SHALL BE INSPECTED AND ACCEPTED BY THE SUB CONTRACTOR. ANY SUB STANDARD
         WORK SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTRACTOR OR JOB SUPERINTENDENT.
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THE CONCRETE AND FRAMING CONTRACTORS SHALL WORK TOGETHER TO CONFIRM ALL SLAB, STRUCTURAL HARDWARE AND FRAMING REQUIREMENTS PRIOR TO PLACEMENT OF FOOTING STEEL, CONCRETE FOOTINGS OR SLAB. THE FRAMING CONTRACTOR SHALL STUDY THE TRUSS CALCULATIONS TO CONFIRM DIMENSIONS, SPANS AND APPLICATIONS PRIOR TO TRUSS FABRICATION. ANY DISCREPANCIES MUST BE BROUGHT TO OUR IMMEDIATE ATTENTION PRIOR TO COMMENCEMENT OF THAT WORK. THE HVAC CONTRACTOR SHALL REVIEW THE DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION TO CONFIRM DUCT SIZING AND ACCESSIBILITY TO ALL AREAS EVERY SUB CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS FOR ACCURACY IN ADVANCE PRIOR TO COMMENCEMENT OF THEIR WORK. ALL PREVIOUS

IF NO CORRESPONDENCE IS RECEIVED PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROCESS THEN IT WILL BE ASSUMED THAT THE CONTRACTOR AND THE SUB CONTRACTORS HAVE REVIEWED THE CONSTRUCTION DOCUMENTS THOROUGHLY AND HAVE ACCEPTED THEM AS ACCURATE WITH NO DISCREPANCIES.

CONTRACTORS SHALL REVIEW ALL EXISTING SITE CONDITIONS AND COORDINATE WITH SUB CONTRACTORS. AS A TEAM OF EXPERIENCED PROFESSIONALS WORKING TOGETHER. ANY DISCREPANCIES THAT MIGHT BE FOUND IN THESE CONSTRUCTION DOCUMENTS SHOULD BE IDENTIFIED AND RESOLVED WITH A MINIMUM IMPACT ON THE CONSTRUCTION SCHEDULE AND COSTS.

TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE OWNER'S AND OR BUILDER'S SPECIFICATIONS. ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DOWN AT THE OWNER'S AND OR BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, PLANS AND DETAILS ON THE ENCLOSED DRAWINGS. STUDIOS 2007 + NARKWEATHER ARCHITECTS IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSION AND OTHERS DETAILS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.

THANKS FOR YOUR COOPERATION, "TOGETHER EVERYONE ACHIEVES MORE"

"ALL" OR "EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.

PROVIDE STRUCTURAL ENGINEER VERIFICATION FOR FOUNDATION, STEEL VERIFICATION AND HOLD DOWN AB (WHERE APPLICABLE) SPECIAL INSPECTIONS REPORT(S) @HOLD DOWNS LOCATIONS- WHERE APPLICABLE. GENERAL CONTRACTOR OR OWNER TO SUBMIT VERIFICATION OF DISPOSAL REPORT @ FINAL.

DELETED

THE GENERAL CONTRACTOR SHALL FURNISH HYDRAULICALLY CALCULATED AUTOMATIC FIRE SPRINKLED SYSTEM. CONTRACTOR SHALL PREPARE SHOP DWGS AND OBTAIN APPROVALS FROM THE INSURANCE SERVICE OFFICE (ISO) BLDGS, FIRE DEPARTMENT AND OTHER REQUIRED GOVERNING AGENCIES PRIOR TO SUBMITTAL TO THE ARCHITECT FOR HIS APPROVAL. PRIOR TO ANY INSTALLATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A COMPLETE SYSTEM FORM CONNECTION TO SITE WATER MAIN TO INTERIOR OF BLDG... REFER TO SPECIFICATION AND TO PLAN OF BLDG. TO BE SPRINKLED.

THE INSTALLATION INSTALLER SHALL POST IN A CONSPICUOUS PLACE IN THE BLDG. A STATE INSULATION CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSULATION IS CONSISTENT WITH THE PLANS AND CONFORMS TO THE STATE ENERGY REGULATIONS NOTE ON PLANS TITLE 24 PART 1, SECTION 10-103 (A) (3) (B).

THE BUILDER SHALL PROVIDE THE BLDG. OWNER MANAGER AND ORIGINAL OCCUPANTS WITH A LIST OF THE FEATURE, MATERIALS, COMPONENTS AND MECHANICAL DEVICES INSTALLED IN THE BUILDING; INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY AND,

MAINTENANCE FOR EFFICIENT OPERATION NOTE ON THE PLANS TITLE 24 PART 1, SECTION. ALL PARKING SPACES, AISLES, ENTRANCES AND EXISTS SHALL BE STRIPPED PER CITY STANDARDS. PAINT HIGHWAY WHITE (2 COATS). DFI FTFD DELETED

THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION AMONG HIS VARIOUS SUBCONTRACTORS. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING, FROM THE ARCHITECT. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND ITEMS WITH THE PLUMBING, ELECTRICAL, GAS, TELEPHONE, AND CABLE

CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT MANUFACTURERS. GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNING, AUTHORITIES AND UTILITIES PRIOR TO COVERING UP ANY WORK REQUIRING INSPECTION.

THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ADDRESS NUMBERS PER CITY REQUIREMENTS AT TRANSOMS OF ENTRANCE

GLASS ENTRY DOORS SHALL HAVE A 10" BOTTOM KICK PLATE PER HANDICAP STANDARDS

ADDRESS NUMERALS SHALL BE A MINIMUM OF 7" HIGH ON A CONTRASTING BACKGROUND. THE CONTRACTOR SHALL FIELD VERIFY THE SITE CONDITIONS AS REPRESENTED IN THE PLANS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION AND DETAILS SHALL COMPLY WITH THE COUNTY OF RIVERSIDE BUILDING CODE AND ITS ADOPTIONS, AND WITH ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES. WRITTEN DIMENSIONS GOVERN, DO NOT SCALE DRAWINGS. ANY QUESTIONS REGARDING SAME SHALL BE REFERRED TO THE ARCHITECT. DOORS INDICATED AS EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE WITH

HANDICAPPED ACCESS AS REQUIRED BY TITLE 24. ANY/ALL LUMBER IN CONTACT WITH CONCRETE FLOOR OR FOOTINGS SHALL BE F.G. REDWOOD OR PRESSURE TREATED, "WOLMANIZED"

UNLESS NOTED OTHERWISE AS INDICATED, DIMENSIONS ARE TO CENTER LINES OF COLUMNS, AND TO FACE OF WALLS.

ALL FRAMING LUMBER SHALL BE GRADE MARKED WITH QUALITY PER CALIFORNIA RESIDENTIAL CODE 2019 REQUIREMENTS. USE APPROVED FLASHING MATERIALS AT ALL EXTERIOR OPENINGS, UNLESS NOTED OTHERWISE, ALL SHEET METAL SHALL BE 14 GAUGE

G.I. OR BETTER, PAINTED WITH G.I. VINYL WASH PRIMER AND A ZINC DUST PRIMER, EXCEPTING PRE-FINISHED METAL AS APPROVED BY THE PROVIDE ONE 15 POUND WATERPROOF FELT MINIMUM UNDER ALL EXTERIOR COVERING ALL EXTERIOR WALL OPENINGS, FLASHING, COUNTER FLASHING, EXPANSION JOINTS, SHALL BE CONSTRUCTED IN SUCH A MANNER TO

MAKE THEM WATERPROOF; CAULK AND FLASH WHERE NECESSARY FOR A COMPLETE AND WORKABLE INSTALLATION COMPLY WITH ALL COUNTY OF RIVERSIDE PLANNING AND SIGNAGE REQUIREMENTS. CERTIFIED INSULATION MATERIALS PER SECTION 2-5311 (A).

INSULATION INSTALLED TO MEET FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF SECTION 2-5311 (B). AIR INFILTRATION IS MINIMIZED BY SPECIFICATION OF TESTED MANUFACTURED DOORS AND WINDOWS AND PROPER SEALING AND

WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONDITIONS THEREON BEFORE COMMENCING WORK. REPORT ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ARCHITECT PRIOR TO PROCEEDING WITH

ALL MAIN EXIT DOORS TO BE PROVIDE WITH SIGNS "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION OF THE DOCUMENTS. CONTRACTOR SHALL CONFIRM THAT PROPER FINISH GRADE ELEVATIONS HAVE BEEN PROVIDE AT THE PERIMETER OF THE BUILDING AREAS, REFER TO BUILDING AND ADJOINING AREAS, REFER TO BUILDING PLANS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR

PROVIDE PIPE GUARDS AT ALL ABOVE GROUND UTILITY EQUIPMENT AS DICTATED BY GOVERNING AGENCIES. PROVIDE PEDESTRIAN OR VEHICULAR PROTECTION BARRICADES TEMPORARY GUARD RAILS, AND/OR CANOPIES AS REQUIRED BY THE

LOCAL AGENCIES OR AS NECESSARY FOR PEDESTRIAN AND VEHICULAR SAFETY. WHERE GAS SERVICE IS BEING PROVIDED, CONTRACTOR TO PROVIDE AN OUTSIDE GAS SHUT-OFF VALVE CONSPICUOUSLY MARKED PER UTILITY COMPANY REQUIREMENTS. PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS WHERE REQUIRED.

ALL PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL, TRIM, TREILLAGE, RAILINGS, MOLDING, FRAMES, CASTING,

ALL EXPOSED ELECTRICAL EQUIPMENT SHALL BE PAINTED TO MATCH ADJACENT SURFACES.

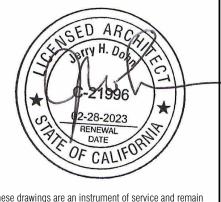
SEE SOILS REPORT FOR RECOMMENDATIONS REGARDING CORROSIVE SOILS. ALL METALLIC UTILITY LINES SHALL BE CORROSION

THE DOORS MUST OPEN OVER A LANDING NOT MORE THAN ½" BELOW THE THRESHOLD

SPECIFY WEATHER-RESISTANCE BARRIER AT ALL EXTERIOR WALLS CH.7 CRC NOTE TWO (2) LAYERS OF GRADE ""D"" TYPE PAPER REQUIRED OVER WOOD BASED SHEATHING CH. 7 CRC

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73330 HWY 111 SUITE A PALM DESERT, CA 92260



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No. Description

20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

GENERAL NOTES

2020-11 Project number 13 SEP 2022

AA

Y N/A RESPON. CHAPTER 3

**GREEN BUILDING SECTION 301 GENERAL** 

specific area of the addition or alteration.

other important enactment dates.

high-rise buildings, no banner will be used.

**ABBREVIATION DEFINITIONS:** 

Additions and Alterations

Low Rise

**CHAPTER 4** 

4.102.1 DEFINITIONS

High Rise

**SECTION 4.102 DEFINITIONS** 

used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

OSHPD

**SECTION 302 MIXED OCCUPANCY BUILDINGS** 

California Building Standards Commission

**DIVISION 4.1 PLANNING AND DESIGN** 

pervious material used to collect or channel drainage or runoff water.

property, prevent erosion and retain soil runoff on the site.

water include, but are not limited to, the following:

parking facilities.

be rounded up to the nearest whole number.

protective device.

French drains

4 Water retention gardens

2. Water collection and disposal systems

Division of the State Architect. Structural Safety

Department of Housing and Community Development

Office of Statewide Health Planning and Development

RESIDENTIAL MANDATORY MEASURES

The following terms are defined in Chapter 2 (and are included here for reference)

**301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in

but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of

individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential

specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and

**302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building

FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar

WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials

such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less

Retention basins of sufficient size shall be utilized to retain storm water on the site.

than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre

2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or

manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface

5. Other water measures which keep surface water away from buildings and aid in groundwater

4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional

1.2 Where there is evidence substantiating that meeting the requirements will alter the local

utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per

infrastructure are not feasible based upon one or more of the following conditions:

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway

shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main

service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the

concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere

**4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent

4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of

spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall

1. Construction documents are intended to demonstrate the project's capability and capacity for

**4.106.4.2.1 Electric vehicle charging space (EV space) locations.** Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space

shall be located in the common use parking area and shall be available for use by all residents.

2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed

parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging

proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or

disposal method, water shall be filtered by use of a barrier system, wattle or other method approved

or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent

management of storm water drainage and erosion controls shall comply with this section.

3. Compliance with a lawfully enacted storm water management ordinance.

**Exception**: Additions and alterations not altering the drainage path.

1.1 Where there is no commercial power supply.

location shall be permanently and visibly marked as "EV CAPABLE".

are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html)

**4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections

equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

**4.106.3 GRADING AND PAVING.** Construction plans shall indicate how the site grading or drainage system will

and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes,

shall comply with the specific green building measures applicable to each specific occupancy.

buildings, or both. Individual sections will be designated by banners to indicate where the section applies

the application checklists contained in this code. Voluntary green building measures are also included in the

application checklists and may be included in the design and construction of structures covered by this code,

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to

Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or

improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures.

of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1,

Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate

et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and

additions or alterations of existing residential buildings where the addition or alteration increases the

building's conditioned area, volume, or size. The requirements shall apply only to and/or within the

# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

from the accessible parking space.

Code, Chapter 2, to the building.

designed to comply with the following:

1. The minimum length of each EV space shall be 18 feet (5486 mm).

2. The minimum width of each EV space shall be 9 feet (2743 mm).

horizontal (2.083 percent slope) in any direction.

minimum width of the EV space is 12 feet (3658 mm).

installation of a branch circuit overcurrent protective device.

Building Code, Chapter 11B

time of original construction.

of the EV spaces.

with the California Flectrical Code

or facilitating future EV charging.

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE

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No. Description

20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

CAL GREEN NOTES

2020-11 Project number 13 SEP 2022

AA

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION **4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS)** When EV chargers are installed, EV spaces **EFFICIENCY** required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: 4.303 INDOOR WATER USE 1. The EV space shall be located adjacent to an accessible parking space meeting the 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and requirements of the California Building Code, Chapter 11A, to allow use of the EV charger urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, 2. The EV space shall be located on an accessible route, as defined in the California Building Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final **Exception:** Electric vehicle charging stations designed and constructed in compliance with the completion, certificate of occupancy, or final permit approval by the local building department. See Civil California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. Note: Electric Vehicle charging stations serving public housing are required to comply with the California 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. **4.106.4.2.2 Electric vehicle charging space (EV space) dimensions.** The EV space shall be Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the 4.303.1.3 Showerheads. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 in conformance with Items 1 through 5. The construction waste management plan shall be updated as gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-**4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only bulk mixed (single stream). cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction allow one shower outlet to be in operation at a time. documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall electrical load calculations to verify that the electrical panel service capacity and electrical system, not be less than 0.8 gallons per minute at 20 psi. including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory 40-ampere minimum branch circuit. Required raceways and related components that are planned to be faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the buildings shall not exceed 0.5 gallons per minute at 60 psi. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver 4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent more than 0.2 gallons per cycle. protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per **4.106.4.3 New hotels and motels.** All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location Note: Where complying faucets are unavailable, aerators or other means may be used to achieve 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed 1. Construction documents are intended to demonstrate the project's capability and capacity in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers 4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND on the total number of parking spaces provided for all types of parking facilities in accordance with

ble 4.106.4.3.1. Calculations for the re		
arest whole number.		TABLE - MAXIMUM I
TABLE 4.106.4.3.1		FIXTURE TYPE
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES	SHOWER HEADS (RESIDENTIAL)
0-9	0	LAVATORY FAUCETS (RESIDENTIAL)
10-25	1	LAVATORY FAUCETS IN COMMON & PUBLIC USE A
6-50	2	KITCHEN FAUCETS
 51-75	4	METERING FAUCETS
76-100	5	WATER CLOSET
101-150	7	URINALS
151-200	10	
201 and over	6 percent of total	4 304 OUTDOOR WATER USE

4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following:

. The minimum length of each EV space shall be 18 feet (5486mm). 2. The minimum width of each EV space shall be 9 feet (2743mm)

4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed

**4.106.4.3.4 Multiple EV spaces required.** When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section

**4.106.4.3.6 Accessible EV spaces.** In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B.

## DIVISION 4.2 ENERGY EFFICIENCY

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE			
FIXTURE TYPE FLOW RATE			
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI		
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI		
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI		
KITCHEN FAUCETS	1.8 GPM @ 60 PSI		
METERING FAUCETS	0.2 GAL/CYCLE		
WATER CLOSET	1.28 GAL/FLUSH		
URINALS	0.125 GAL/FLUSH		

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are

available at: https://www.water.ca.gov/

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING **4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65

percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

 Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably

3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling,

reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or

3. Identify diversion facilities where the construction and demolition waste material collected will be

4. Identify construction methods employed to reduce the amount of construction and demolition waste 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated

by weight or volume, but not by both.

**4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

**4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in

documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compa disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the

life cycle of the structure.

2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems,

photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.

b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters.

Landscape irrigation systems.

e. Water reuse systems

3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent

and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve

7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5

feet away from the foundation 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.

9. Information about state solar energy and incentive programs available.

10. A copy of all special inspections verifications required by the enforcing agency or this code. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a

building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling

**Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

DIVISION 4.5 ENVIRONMENTAL QUALITY

**SECTION 4.501 GENERAL** 

4.501.1 Scope

ordinance, if more restrictive

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

**AGRIFIBER PRODUCTS.** Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

**DIRECT-VENT APPLIANCE.** A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BY THOSE IND



# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)



MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR. Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of

Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed

woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING

product (excluding container and packaging).

CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17,

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

 Manufacturer's product specification. Field verification of on-site product containers.

Less Water and Less Exempt Compounds in Grams pe	er Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
NDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
/CT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
THER ADHESIVES NOT LISTED	50
PECIALTY APPLICATIONS	
VC WELDING	510
PVC WELDING	490
ABS WELDING	325
LASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
TRUCTURAL WOOD MEMBER ADHESIVE	140
OP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
LASTIC FOAMS	50
OROUS MATERIAL (EXCEPT WOOD)	50
VOOD	30
IBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in Gr	rams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

VOC LIMIT

ARCHITECTURAL COATINGS2,3

COATING CATEGORY

FLAT COATINGS

FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS <sub>1</sub>	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

ZING-RICH PRIMERS	340
GRAMS OF VOC PER LITER OF COATING, II     EXEMPT COMPOUNDS	NCLUDING WATER &

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE L	TABLE 4.504.5 - FORMALDEHYDE LIMITS <sub>1</sub>	
MAXIMUM FORMALDEHYDE EMISSIONS IN PA	MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT	
HARDWOOD PLYWOOD VENEER CORE	0.05	
HARDWOOD PLYWOOD COMPOSITE CORE	0.05	
PARTICLE BOARD	0.09	
MEDIUM DENSITY FIBERBOARD	0.11	
THIN MEDIUM DENSITY FIBERBOARD2	0.13	
1. VALUES IN THIS TABLE ARE DERIVED FROM BY THE CALIF. AIR RESOURCES BOARD, AIR TO MEASURE FOR COMPOSITE WOOD AS TESTE WITH ASTM E 1333. FOR ADDITIONAL INFORM CODE OF REGULATIONS, TITLE 17, SECTIONS 93120.12.	TOXICS CONTROL D IN ACCORDANCE MATION, SEE CALIF.	
2. THIN MEDIUM DENSITY FIBERBOARD HAS A THICKNESS OF 5/16" (8 MM).	A MAXIMUM	

## DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

- 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1,
- February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor AdvantageTM Gold.

resilient flooring shall comply with one or more of the following:

- 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
- 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving

- 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material
- in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
- 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see
- CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA
- 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency.

#### 4.505 INTERIOR MOISTURE CONTROL **4.505.1 General.** Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end 3. At least three random moisture readings shall be performed on wall and floor framing with documentation

acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST

**4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

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- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.
- 4.507 ENVIRONMENTAL COMFORT

#### 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential

- Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- 2. Duct systems are sized according to ANSI/ACCA 1 Manual D 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S 2014 (Residential Equipment Selection), or other equivalent design software or methods.

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

# **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS**

### **702 QUALIFICATIONS**

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 2. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade.
- 4. Other programs acceptable to the enforcing agency.

# 1. Special inspectors shall be independent entities with no financial interest in the materials or the

project they are inspecting for compliance with this code. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

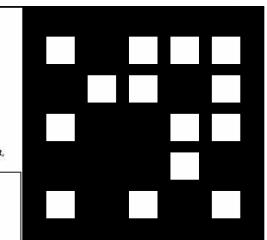
homes in California according to the Home Energy Rating System (HERS). [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the

particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a

recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency. Note: Special inspectors shall be independent entities with no financial interest in the materials or the

### 703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



## STUDIOS 2007 **NARKWEATHER** ARCHITECTS INCORPORATED

73330 HWY 111 SUITE A PALM DESERT, CA 92260



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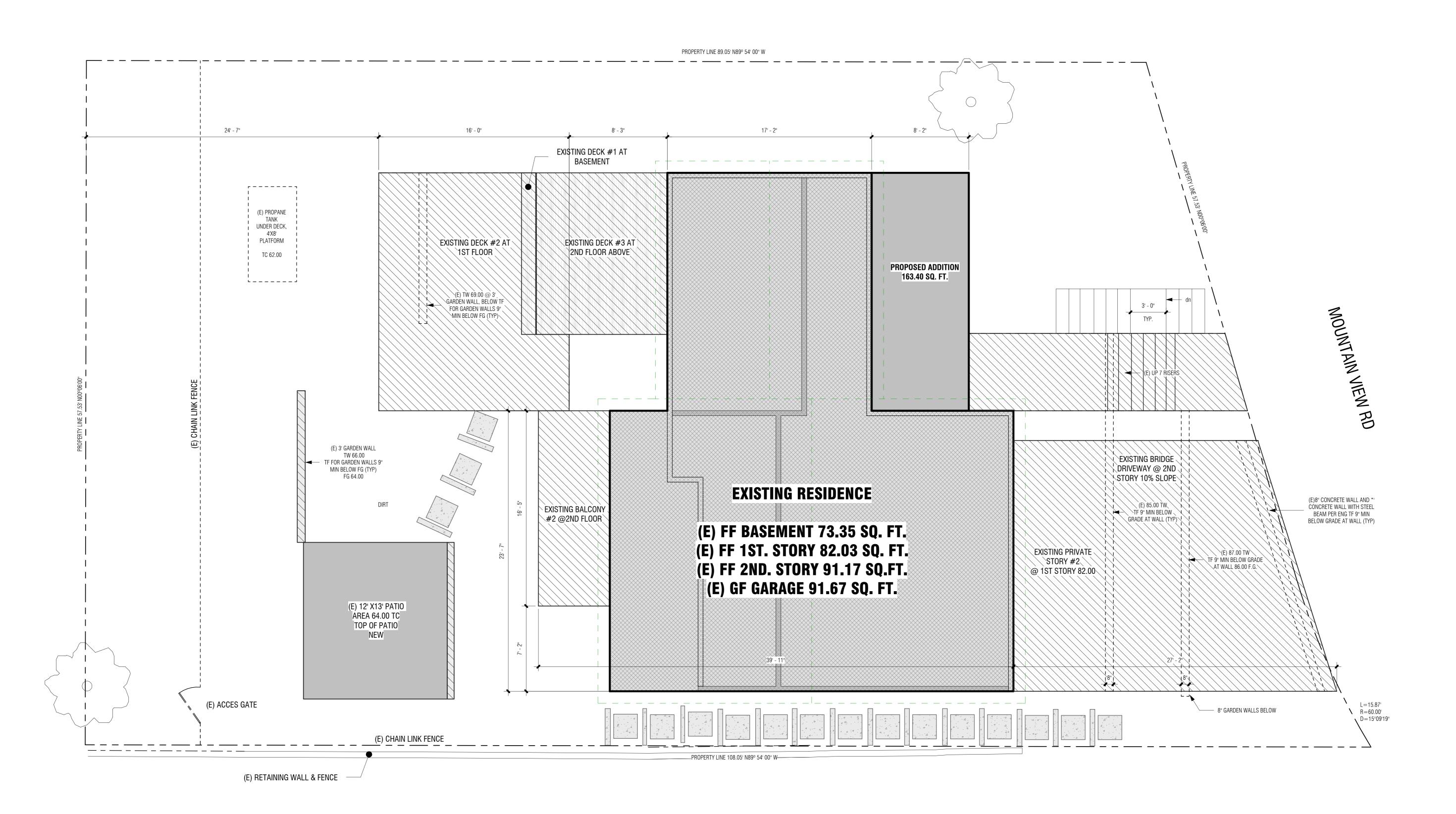
20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

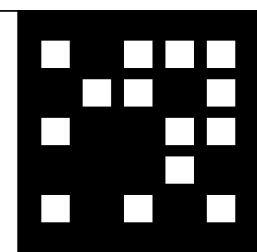
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CAL GREEN NOTES

Project number	2020-11
Date	13 SEP 2022



1 SITE PLAN
1/4" = 1'-0"



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No. Description Date

PROPOSED ADDITION FOR: ROCHELLE CHACON

20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

SITE PLAN

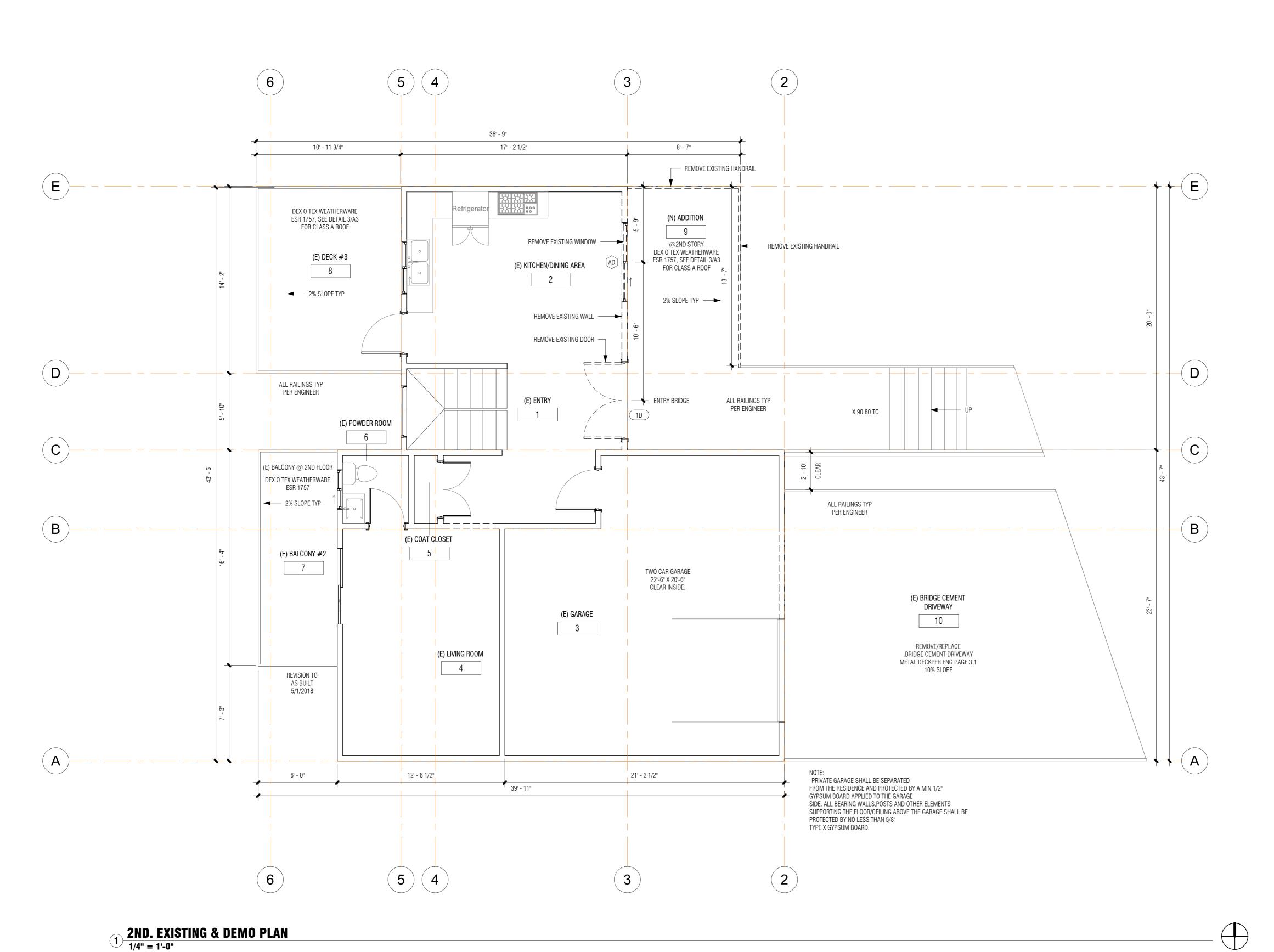
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Date 13 SEP 2022

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1/4" = 1'-0"

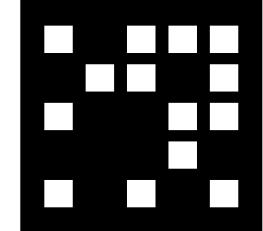


WALL LEGEND (AS APPLICABLE)

EXTERIOR WALLS:
NEW 2X6 WOOD STUDS @ 16" O.C./ R21 INSULATION
7/8" EXT. PLASTER @ OUTSIDE
1/2" GYP. BOARD (DRYWALL) @ INSIDE

INTERIOR WALLS:
NEW 2X4 WOOD STUDS @ 16" O.C.
1/2" GYP. BOARD (DRYWALL) @ BOTH SIDES
(2X6 @ PLUMBING WALLS W/ MOISTURE RESISTANCE GYP. BD.
-SEE ROOM SCHEDULE)

1HR FIRE RATED WALL OCCUPANCY SEPARATION. SEE
NOTE E. (INTERIOR WALL)



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2ND. EXISTING & DEMO PLAN

Project number 2020-11

Date 13 SEP 2022

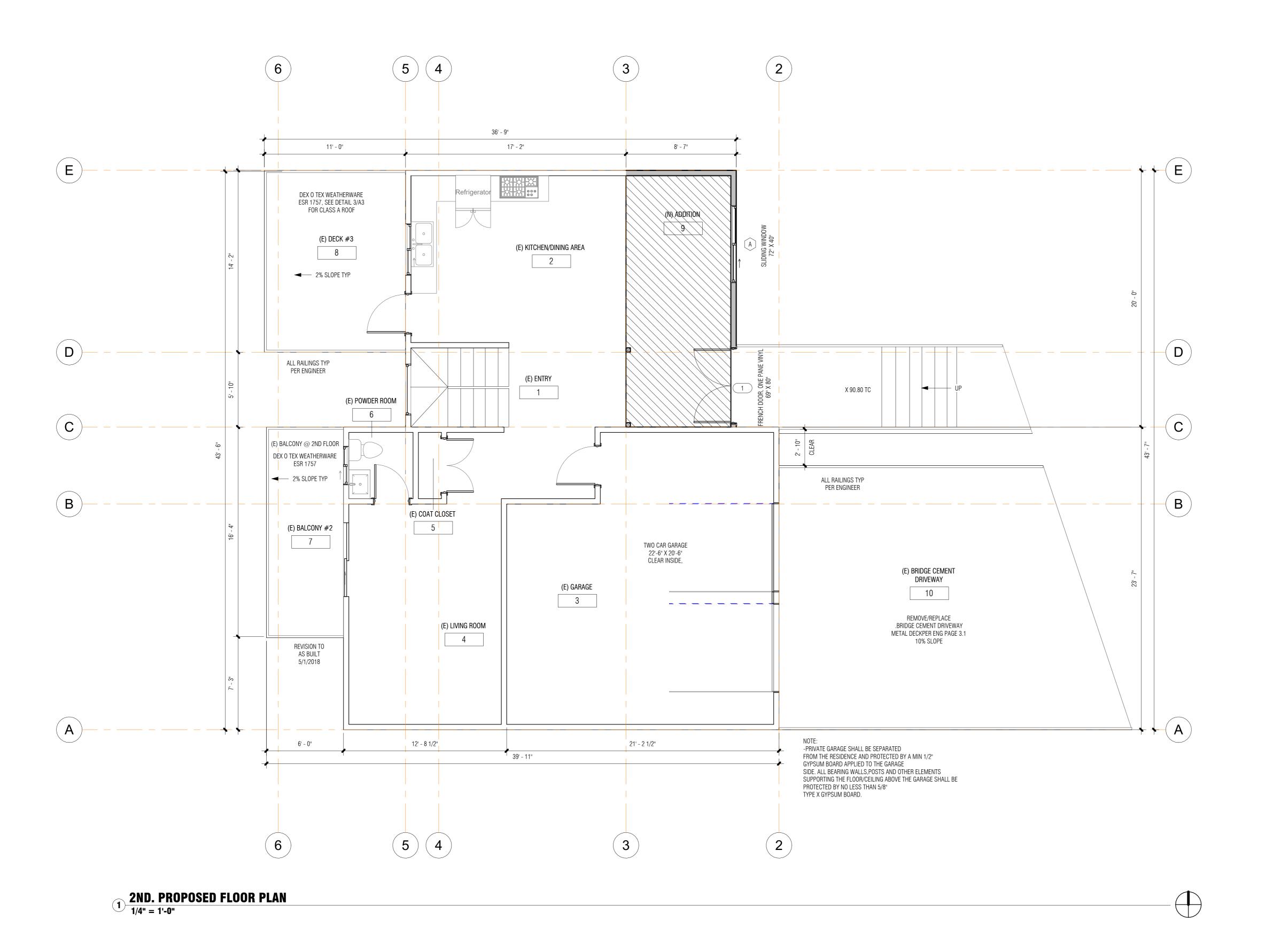
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1/4" = 1'-0"



FLOOR PLAN NOTES:

A. REFER TO THE GENERAL NOTES FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.

B. REFER TO THE TITLE-24 CALCULATIONS SHT. M FOR EQUIPMENT SPECIFICATIONS AND REQUIREMENTS.

C. ALL GLAZING SHALL COMPLY WITH THE UBC AND LOCAL ORDINANCES, REFER TO THE TITLE-24 CALCULATIONS, SHT. T24 FOR THE REQUIRED 'U-VALVE' OF ALL GLAZING.

D. ALL EXTERIOR DOORS OF CONDITIONED SPACE SHALL BE FULLY WEATHER STRIPPED.

E. OCCUPANCY SEPARATION: PROVIDE 5/8" TYP. "X" GYPSUM BOARD FOR 1 HOUR CONSTRUCTION AS PER CODE 5/8" "TYPE" "X" GYP. BD. SHALL BE INSTALLED ON THE WALLS AND CEILINGS ADJACENT TO LIVING SPACE AND ALL WALLS AND POSTS

SUPPORTING THE HORIZONTAL PORTION OF THE ONE HOUR SEPARATION. F. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOM(S). NET CLEAR WINDOW OPENING SHALL BE NOT LESS THAN 5.7 SQ. FT. (821 SQ. IN.) MIN NET WINDOW OPENING HEIGHT DIMENSION, 24" CLR. MIN NET WINDOW OPENING

G. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.

H. VERIFY ALL ROUGH OPENING SIZE FOR WINDOWS, DOORS, AND SKYLIGHTS.

L. FIXED APPLIANCES ARE REQUIRED TO BE SECURELY FASTENED IN PLACE.

WIDTH, 20" CLR. FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.

J. REFER TO T-24 SHT M FOR INSULATION REQUIREMENTS IN WALLS, FLOORS AND CEILINGS.

K. ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 75 AND A SMOKE DENSITY NOT TO EXCEED 450.

M. ALL EXTERIOR WALLS TO BE 2x6 MINIMUM. SEE THE STRUCTURAL FRAMING PLANS FOR ADDITIONAL INFORMATION.

N. COMBUSTIBLE MATERIALS NOT BE PLACED LESS THAN 6" FROM THE FIREPLACE OPENING.

P. EXCEPT FOR FIREPLACE THAT OPEN TO THE EXTERIOR OF THE BUILDING, THE HEARTH SLAB SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING OR ADJACENT FLOOR.

Q. SEE WINDOW SCHEDULE X

R. SEE DOOR SCHEDULE X

S. COMBUSTION AIR FROM THE OUTSIDE, COMBUSTION AIR OPENING SHALL BE COVERED WITH CORROSION-RESISTANT SCREEN OF 1/4" MESH.

T. SEE SHEET A104 FOR INTERIOR AND EXTERIOR DOOR DIMENSIONS.

. PROVIDE ATTIC ACCESS OPENING(S) NOT LESS THAN 22"x30". ACCESS SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. ACCESS IS REQUIRED IN ALL ATTIC SPACES THAT EXCEED 30 SQUARE FEET IN AREA AND HAVE A VERTICAL HEIGHT OF 30 INCHES (MEASURED FROM THE TOP OF CEILING FRAMING MEMBERS TO THE UNDERSIDE OF ROOF FRAMING MEMBERS.) THIRTY-INCH MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT OR ABOVE THE ACCESS OPENING. (CRC R807.1) SEE RCP SHEET

V. THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES THICK, OR 20-MINUTE FIRE RATED DOORS, EQUIPPED WITH SELF CLOSING AND SELF-LATCHING DEVICES

W. WALL COVERINGS IN SHOWERS AND TUBS WITH SHOWERHEADS SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 6 FEET (72") ABOVE DRAIN. ENCLOSURES MUST BE OF APPROVED SAFETY GLAZING AND DOORS (22" MIN. WIDTH) MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN." CRC R307.2.

X. PROVIDE 100 SQUARE INCHES OF MAKEUP AIR FOR CLOTHES DRYER CLOSET. [CMC 504.4.1 ITEM (1)]

NOTE #

PROVIDE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED EXTENDING A MINIMUM DIMENSION OF 36 INCHES. FLOOR ELEVATION SHALL COMPLY WITH THE

a) FLOORS AT THE REQUIRED ESGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD. (CRC R311.3.1)

b) FLOORS AT THE REQUIRED EGRESS DOOR, PROVIDE THE DOOR DOES NOT SWING OVER THE LANDING, SHALL NOT BE MORE THAN 7-3/4" INCHES LOWER THAN THE TOP OF THE THRESHOLD. (CRC R311.3.1, EXCEPTION)

c)DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4" INCHES BELOW THE TOP OF THRESHOLD. (CRC K311.3.2)

d) EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1 /4 UNIT VERTICAL IN 12 UNITS (CRC R311.3)

# **FLOOR PLAN KEYNOTES**

NOTE TEXT

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APN: 842-091-44

PRELIMINARY

2ND. PROPOSED FLOOR PLAN

2020-11 Project number 13 SEP 2022 MRA Drawn by

AA Checked by A103.0

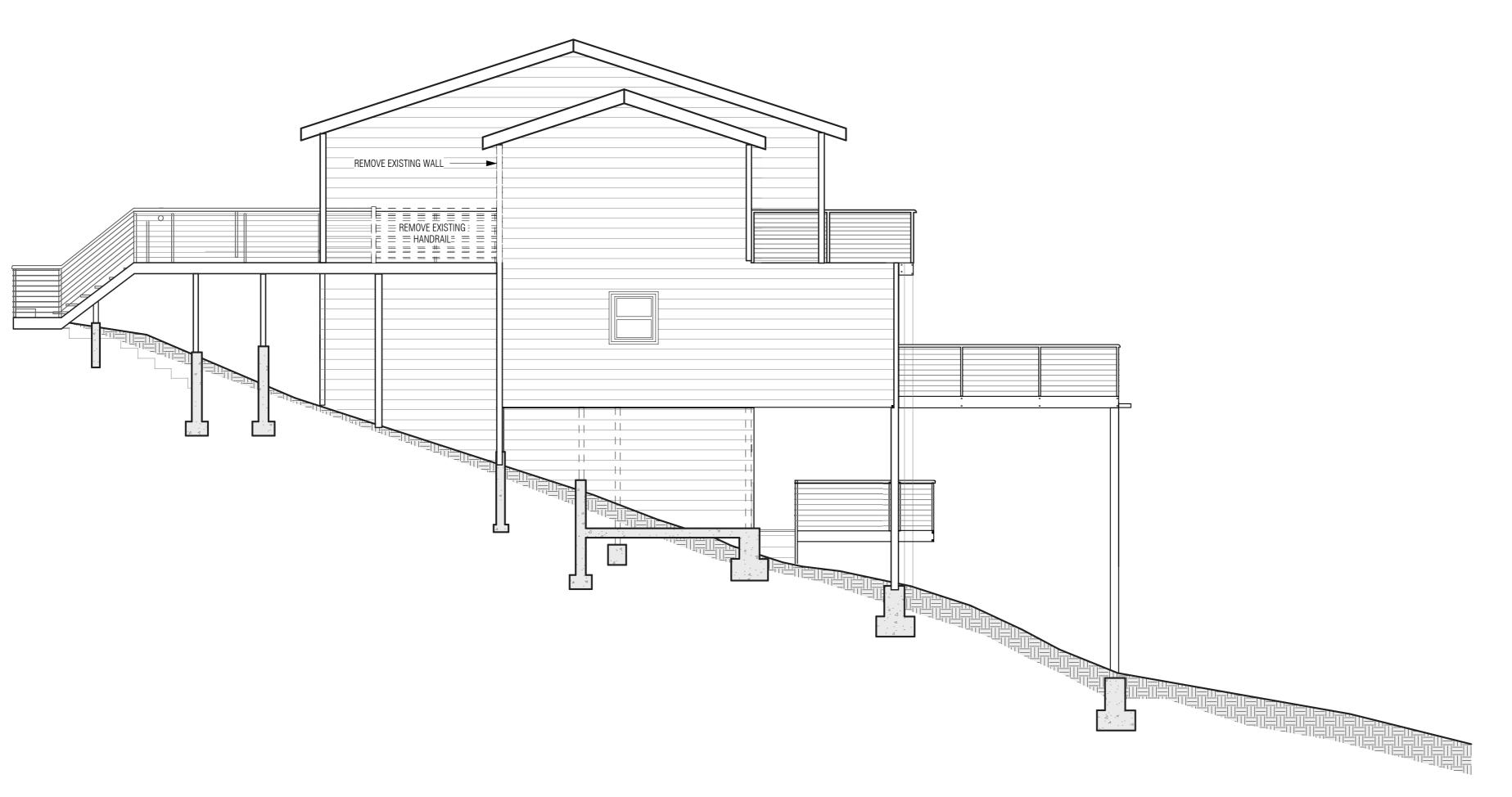
1/4" = 1'-0"

WALL LEGEND (AS APPLICABLE)

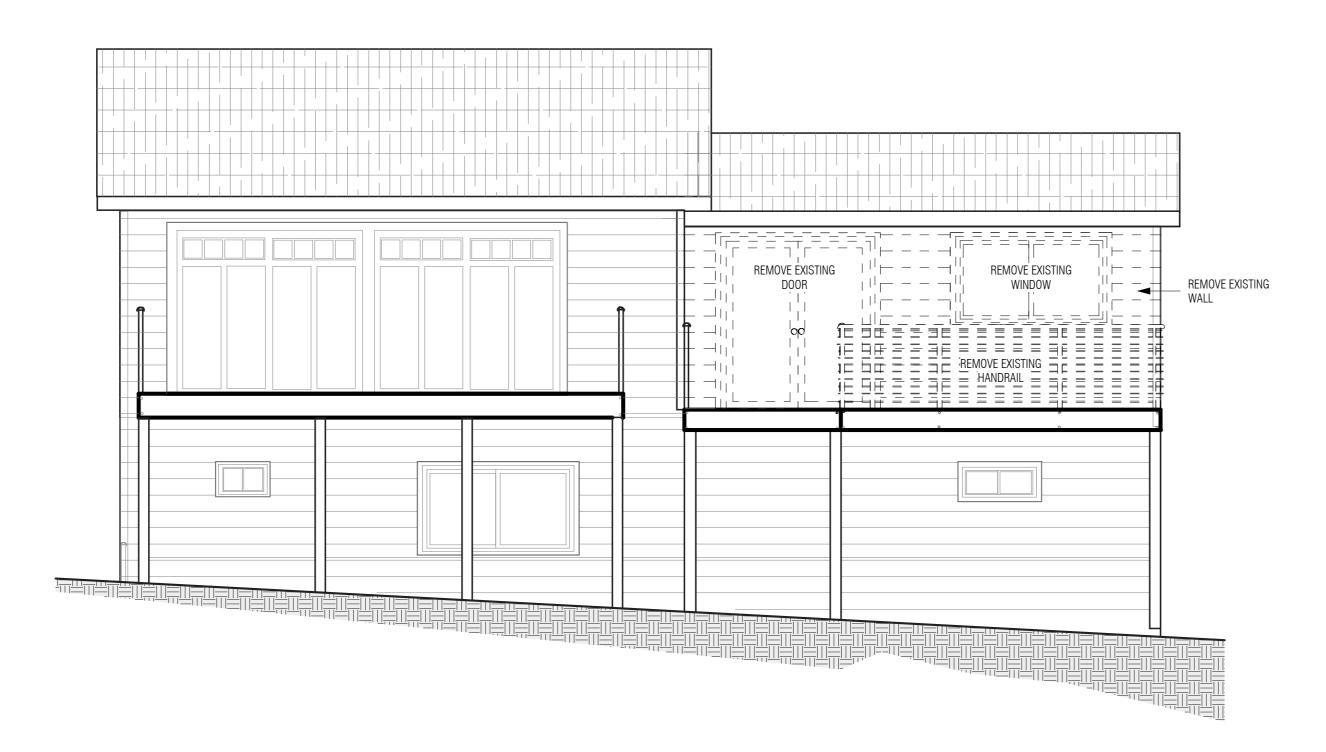
EXTERIOR WALLS: NEW 2X6 WOOD STUDS @ 16" O.C./ R21 INSULATION 7/8" EXT. PLASTER @ OUTSIDE 1/2" GYP. BOARD (DRYWALL) @ INSIDE INTERIOR WALLS: NEW 2X4 WOOD STUDS @ 16" O.C.

1/2" GYP. BOARD (DRYWALL) @ BOTH SIDES (2X6 @ PLUMBING WALLS W/ MOISTURE RESISTANCE GYP. BD. -SEE ROOM SCHEDULE)

1HR FIRE RATED WALL OCCUPANCY SEPARATION. SEE NOTE E. (INTERIOR WALL)



**EXISTING & DEMO SIDE ELEVATION** 



**EXISTING & DEMO FRONT ELEVATION**NTS

**ELEVATION NOTES:** 

A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.

B. REFER TO OPENING FLASHING DETAILS FOR MINIMUM FLASHING REQUIREMENTS FOR MANUFACTURED WINDOWS AND DOORS ON ARCHITECTURAL DETAILS SHEETS AND PER MANUFACTURER SPECS.

C. ALL GLAZING SHALL COMPLY WITH THE CALIF. BUILDING CODE AND LOCAL ORDINANCES. REFER TO THE TITLE-24 CALCULATIONS FOR THE REQUIRED 'U' -VALUE OF GLAZING.

D. ALL EXTERIOR DOORS OF CONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.

E. REFER TO THE BUILDING SECTIONS AND ROOF PLAN FOR ADDITIONAL INFORMATION ON THE ELEVATIONS.

F. FINISH GRADE VARIES. REFER TO THE CIVIL DRAWINGS FOR FINAL GRADE AND SITE DRAINAGE.

G. ALL EXTERIOR DOOR AND WINDOWS HEADS ARE AT 6'-8" UNLESS NOTED ON THE ELEVATIONS OR PLANS. H. REFER TO THE COLOR AND MATERIAL BOARD FOR EXTERIOR FINISH COLORS AND SAMPLES.

J. IF EXPOSED EAVES: 1X8 T&G V-GROOVE STARTER BOARD. -SEE ROOF DETAILS

K. SPARK ARRESTORS SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.

L. ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH.

M. FRAMER SHALL BE RESPONSIBLE FOR COORDINATION WITH TRUSS MANUF. TO ACCOMMODATE ALL ATTIC

N. ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATERPROOF AND WALL MOUNTED LOUVERS SHALL BE

SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOWS INSTALLATION.

P.ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.

Q. AUTOMATICALLY ILLUMINATED BUILDING ADDRESS NUMBERS, NOT LESS THAN 4 INCHES HIGH, CLEARLY VISIBLE FROM THE STREET OR ACCESS ROAD, (CRC R319, LQMC 9.160.020, TABLE 9-17)

R. CHIMNEY TERMINATION A MINIMUM OF 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT NOT LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. (CRC

S. "SUBMIT = U.L. LISTING OR CURRENT PAPER COPY OF THE ICC EVALUATION REPORT FOR THE PROPOSED CHIMNEY SHROUD TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION. DECORATIVE SHROUDS SHALL BE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY BUILT CHIMNEY SYSTEM. (CMC 802.5.2.4)

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No. Description

ADDITION LLE CHACOI PROPOSED / ROCHELI

20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

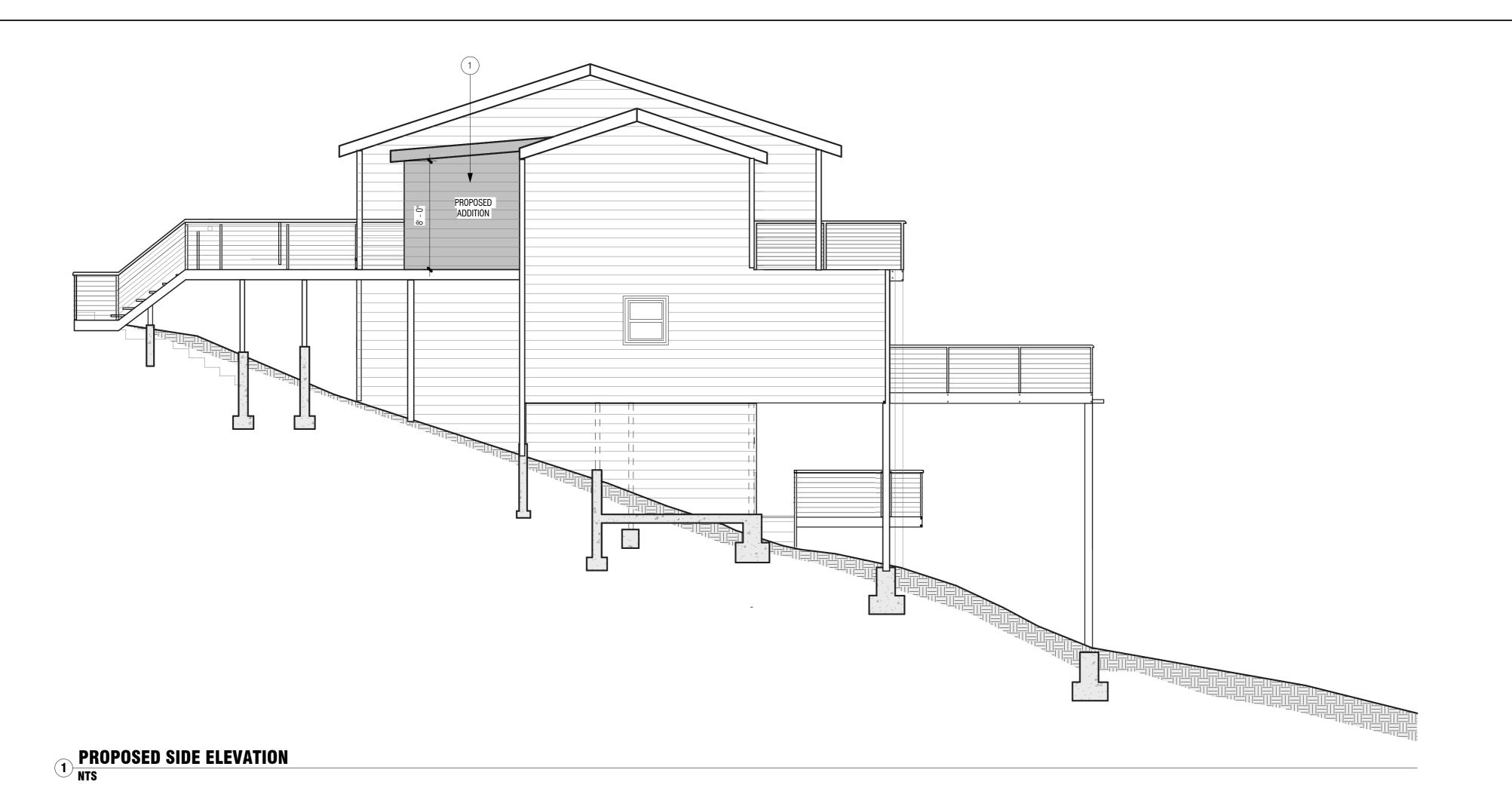
PRELIMINARY

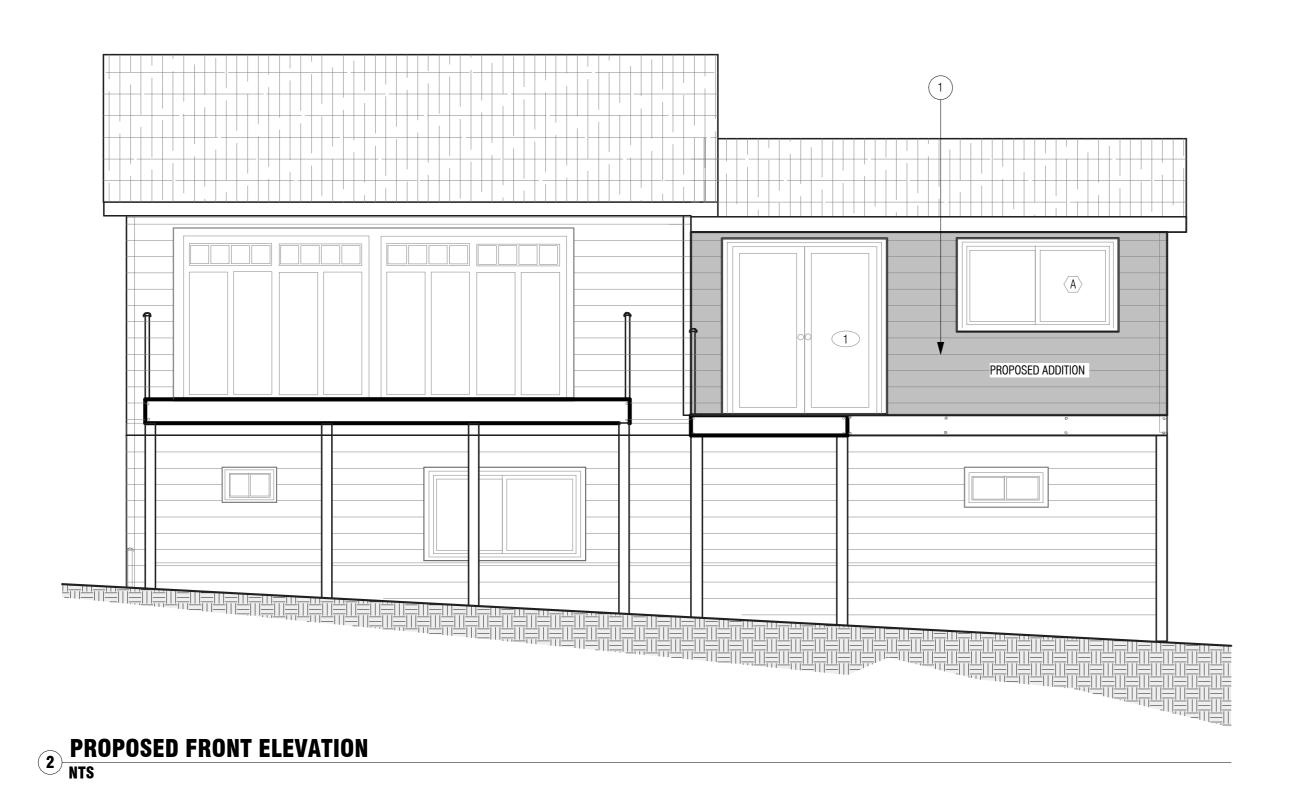
EXISTING & DEMO **ELEVATIONS** 

Project number	2020-11
Date	13 SEP 2022
Drawn by	MRA

43 X A105.0

Scale Como se indica





### ELEVATION NOTES:

A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.

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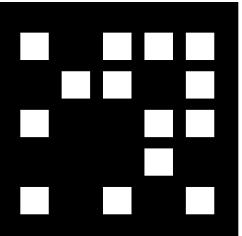
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# **ELEVATION KEYNOTES**

NOTE NUMBER NOTE TEXT

NEW SIDING TO MATCH EXISTING



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No. Description Date

PROPOSED ADDITION FOR: ROCHELLE CHACON

20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

PROPOSED ELEVATIONS

Project number 2020-11

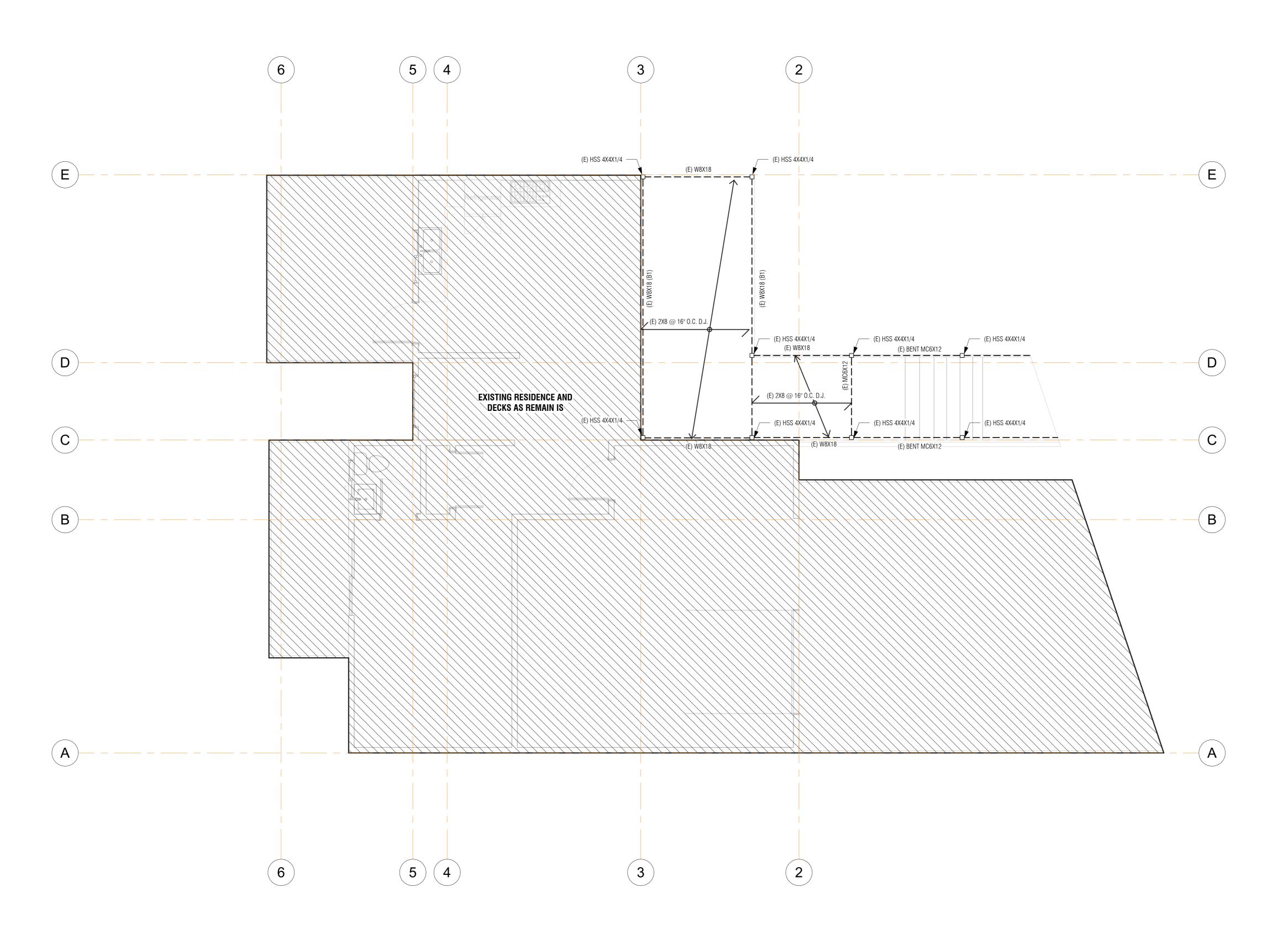
Date 13 SEP 2022

Drawn by Autor

Checked by Verificador

A105.1

Scale Como se indica



2ND. FLOOR EXISTING FRAMING PLAN
1/4" = 1'-0"

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No. Description

PROPOSED ADDITION FOR: ROCHELLE CHACON

20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

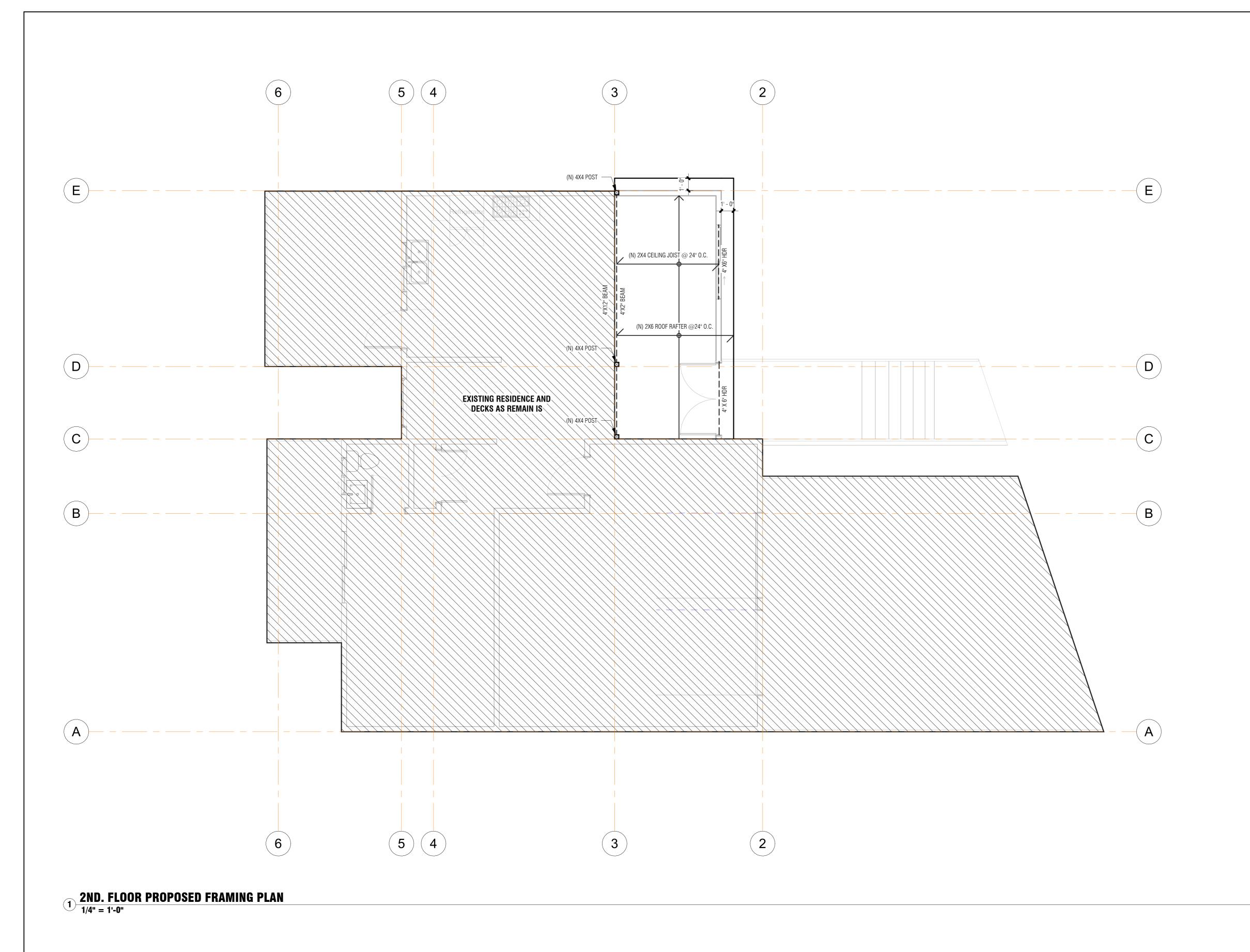
EXISTING FRAMING PLAN

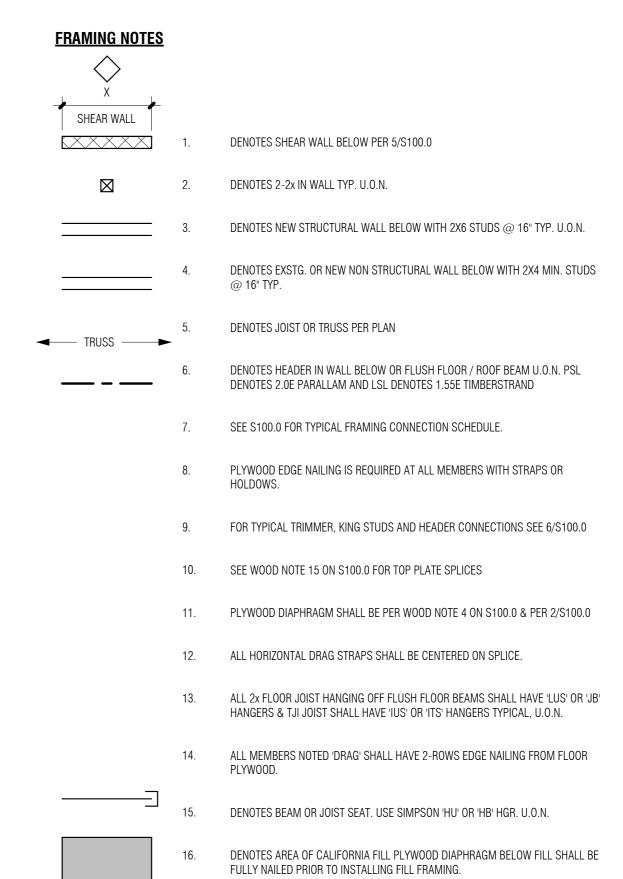
2020-11 Project number 13 SEP 2022

MRA Drawn by Checked by

**S100.0** 

1/4" = 1'-0"



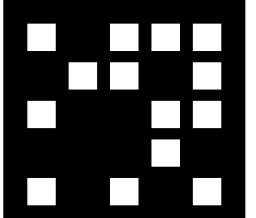


INT	TERIOR NON	BEARING	WALL	HEADER	SCH	ED

III EIIIOII IIOII	DEMINING WALL IN	EMBER GOILED
HEADER SIZE	MAX. SPAN < 5'-0" WALL ABOVE.	MAX. SPAN < 10 WALL ABOVE.
(2) 2X4 ON EDGE	6'-0"	4'-0"
4X4 STD. & BETTER	6'-6"	4'-6"
4X6 DF #2	10'-0"	9'-6"

## **CEILING JOIST SCHEDULE**

JOIST SIZE	12" SPACING	16" SPACING	24" SPACING
2X4	10'-9"	9'-9"	8'-6"
2X6	16'-11"	15'-4"	13'-5"
2X8	22'-4"	20'-3"	17'-8"



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No. Description

ADDITION I PROPOSED / ROCHELI

20672 MOUNTAIN VIEW TRABUCO CANYON, CA 90672

APN: 842-091-44

PRELIMINARY

PROPOSED FRAMING PLAN

Project number 2020-11 13 SEP 2022

Scale Como se indica

Verificador **\$100.1**