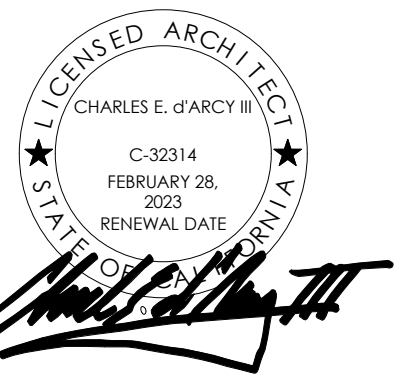


OLSON RESIDENCE

52 EMERALD BAY
LAGUNA BEACH, CA 92651

FOR ELECTRONIC STAMP



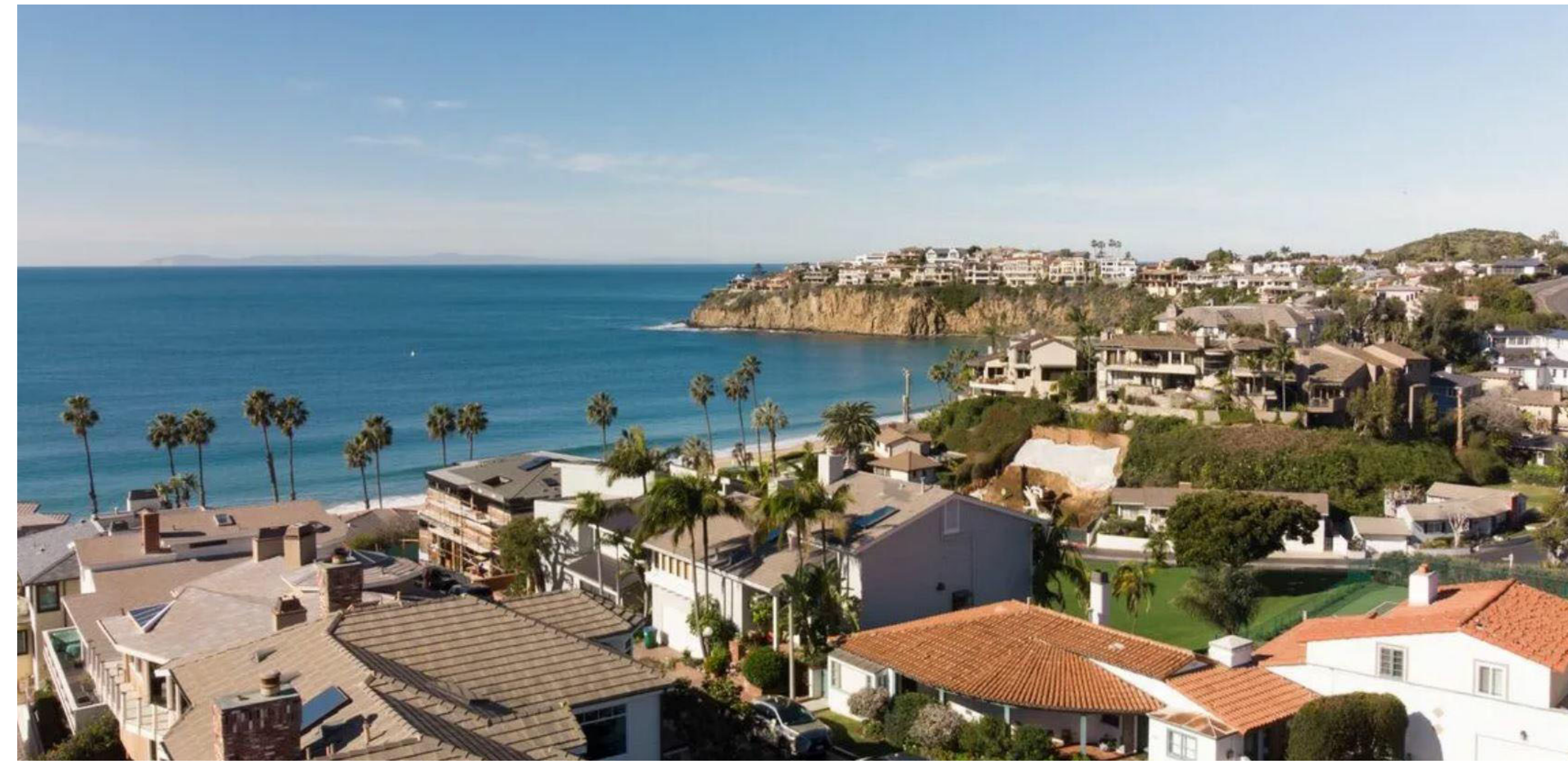
PROJECT TEAM

OWNER
STEVE OLSON
52 EMERALD BAY
LAGUNA BEACH, CA 92869
PH: 949.981.5678

ARCHITECT
CHARLES D'ARCY
d'ARCY & ASSOC. ARCHITECTURE, INC.
18 TECHNOLOGY DRIVE SUITE 158
IRVINE, CA 92618
PH: 949.407.7760
charles@darcyarchitecture.com

CIVIL ENGINEER
ADAM TOAL
TOAL ENGINEERING, INC.
139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
PH: 949.492.8586
www.toalengineering.com

LANDSCAPE ARCHITECT
JOHN PORZUCZEK
ZEPHYR LANDSCAPE ARCHITECTURE
PH: (949) 412-4981
john@zephyrlandscape.com



SHEET INDEX

SHEET #	DESCRIPTION
GENERAL	
A000	COVER SHEET
A050	SITE CONTEXT PHOTOS
A051	EXTERIOR PERSPECTIVES
A057	SITE PLAN - AVERAGE DEPTH CALCULATION
A091	PROPOSED SITE PLAN
TP-01.1	TOPOGRAPHIC SURVEY
ARCHITECTURAL	
A210	BASEMENT LEVEL REFERENCE
A220	MAIN LEVEL REFERENCE
A230	UPPER LEVEL REFERENCE
A250	ROOF PLAN
A260	EXTERIOR ELEVATIONS
A261	EXTERIOR ELEVATIONS
A270	BUILDING SECTIONS
A271	BUILDING SECTIONS
LANDSCAPE	
C-1	PRELIMINARY GRADING PLAN
L-1	PRELIMINARY HARDSCAPE PLAN
L-2	PRELIMINARY PLANTING & LIGHTING PLAN
TOTAL SHEETS	17

PROJECT LOG

DATE	DESCRIPTION
01.06.2022	E.B. CONCEPT ARCHITECTURAL REVIEW SUBMITTAL
03.02.2022	E.B. CONCEPT ARCHITECTURAL REVIEW SUBMITTAL
03.31.2022	E.B. CONCEPT ARCHITECTURAL REVIEW / APPROVED UPDATES
05.23.2022	COASTAL DEVELOPMENT PERMIT SUBMITTAL
07.08.2022	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

PROJECT DESCRIPTION

NEW 2 STORY w/ BASEMENT 6,524.7 SF SINGLE FAMILY DETACHED CALIFORNIA ROOM, GYM, AND OTHER COMMON LIVING SPACES. THIS PROJECT IS TO BE CONSTRUCTED AFTER COMPLETE DEMOLITION OF EXISTING RESIDENCE WITHIN THE EMERALD BAY COMMUNITY.

CODE ANALYSIS OVERVIEW

PROJECT TYPE: SINGLE FAMILY DETACHED
CONSTRUCTION TYPE: TYPE V8
OCCUPANCY: R3
FIRE SPRINKLER: NON-SPRINKLERED
APPLICABLE CODES:
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE
ALL LOCAL ORDINANCES AND REQUIREMENTS

PROJECT DATA

PROJECT ADDRESS: 52 EMERALD BAY
LAGUNA BEACH, CA 92869
APN: 053-060-92
TRACT: 940
LOT: 74
STORIES: 2 STORIES + BASEMENT
LOT AREA: 4,598 SF (0.11 ACRES)
BUILDING AREA: EXISTING 2,528 SQ. FT.

MUNICIPALITY NOTES

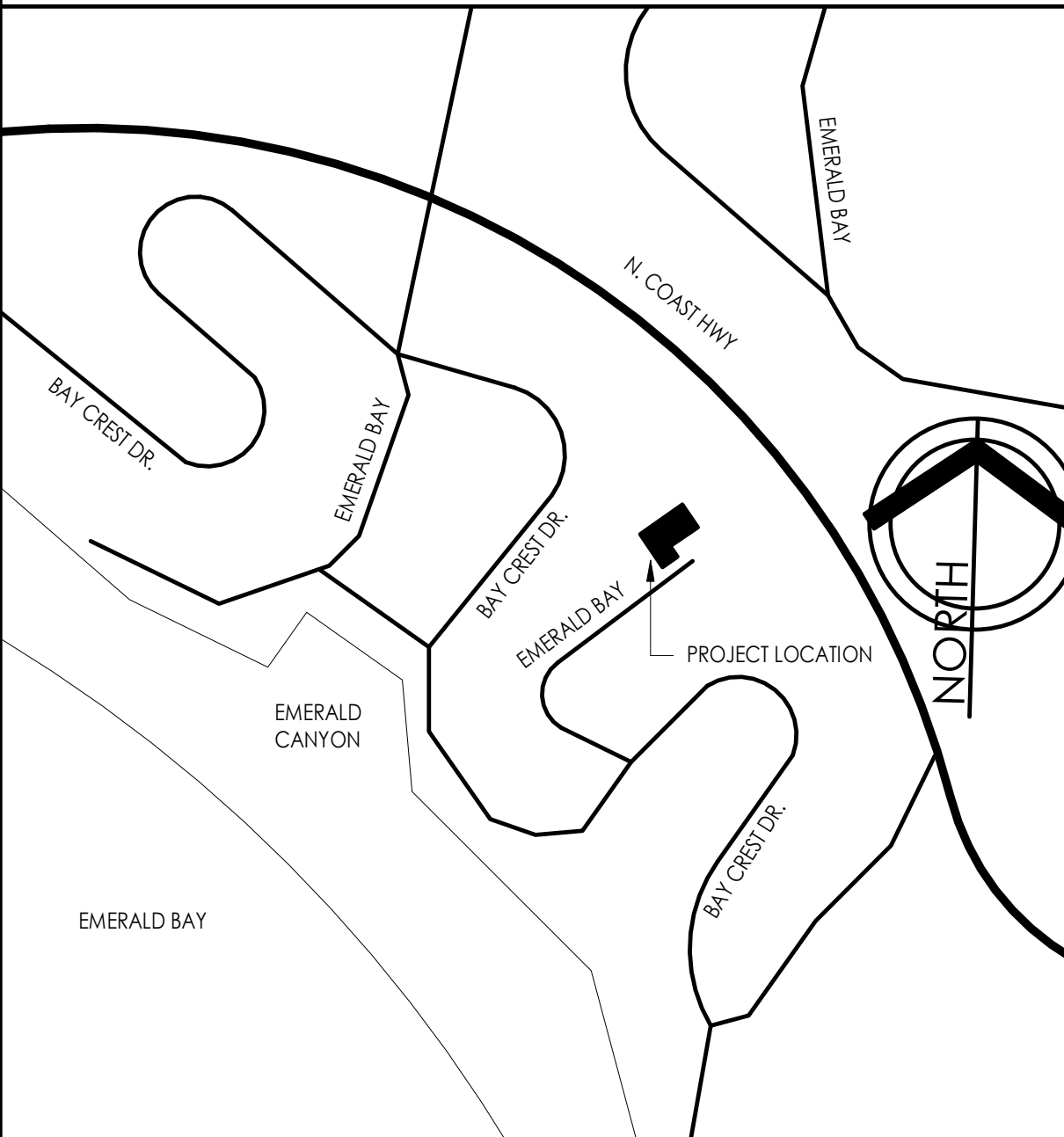
DEFERRED SUBMITTAL:

SPECIAL INSPECTIONS:

AREA TABULATIONS

PROPOSED FLOOR AREA:	
PROPOSED LOWER BASEMENT AREA	2044.5 SF
PROPOSED MAIN LEVEL AREA	1685.9 SF
PROPOSED GARAGE MAIN LEVEL AREA	774.5 SF
PROPOSED UPPER LEVEL AREA	2019.8 SF
TOTAL FLOOR AREA:	6524.7 SF
LIVABLE SQUARE FOOTAGE:	5750.2 SF
PROPOSED SITE COVERAGE:	2767.4 SF
OVERALL SITE:	4598.0 SF
PROPOSED LOT COVERAGE: (UNLIMITED LOT COVERAGE)	60.1%
TOTAL STRUCTURAL AREA - LESS GARAGE (TOTAL STRUCT. AREA - REQ. ENCLOSED PARKING) (6524.7 SF - 430 SF = 215 SF)	5879.7 SF
EMERALD BAY PARKING REQUIREMENT REQ'D: 5 PARKING SPACES (1 MAX COMPACT) PROPOSED: 3 NEW GARAGE PARKING + 2 OFF-STREET PARKING SPACES = 5 PARKING LOCATIONS	
ORANGE COUNTY DEVELOPMENT PARKING REQUIREMENT REQ'D: 3 COVERED PARKING SPACES PROPOSED: 3 NEW GARAGE PARKING	

LOCATION MAP



DRAWING SYMBOLS

- REVISION DESIGNATION
- WALL TAG
- KEYNOTE REFERENCE
- DETAIL REFERENCE
DETAIL NUMBER OVER SHEET NUMBER
- BUILDING SECTION REFERENCE
SECTION NUMBER OVER SHEET NUMBER
- EXTERIOR ELEVATION REFERENCE
ELEVATION NUMBER OVER SHEET NUMBER
- INTERIOR ELEVATION REFERENCE
ELEVATION NUMBER OUTER SHEET NUMBER INSIDE
- ENLARGED AREA REFERENCE
PLAN NUMBER OVER SHEET NUMBER

OLSON RESIDENCE

52 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

NO.	DATE	DESCRIPTION

JOB # 2143
07/08/2022

COVER SHEET

SCALE: AS NOTED

A000



OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

JOB # 2143
07/08/2022

SITE CONTEXT
PHOTOS

SCALE : NTS

A050



FRONT VIEW (PROPOSED)



REAR VIEW (PROPOSED)

OLSON RESIDENCE

52 EMERALD BAY
 LAGUNA BEACH, CA 92651

REVISIONS

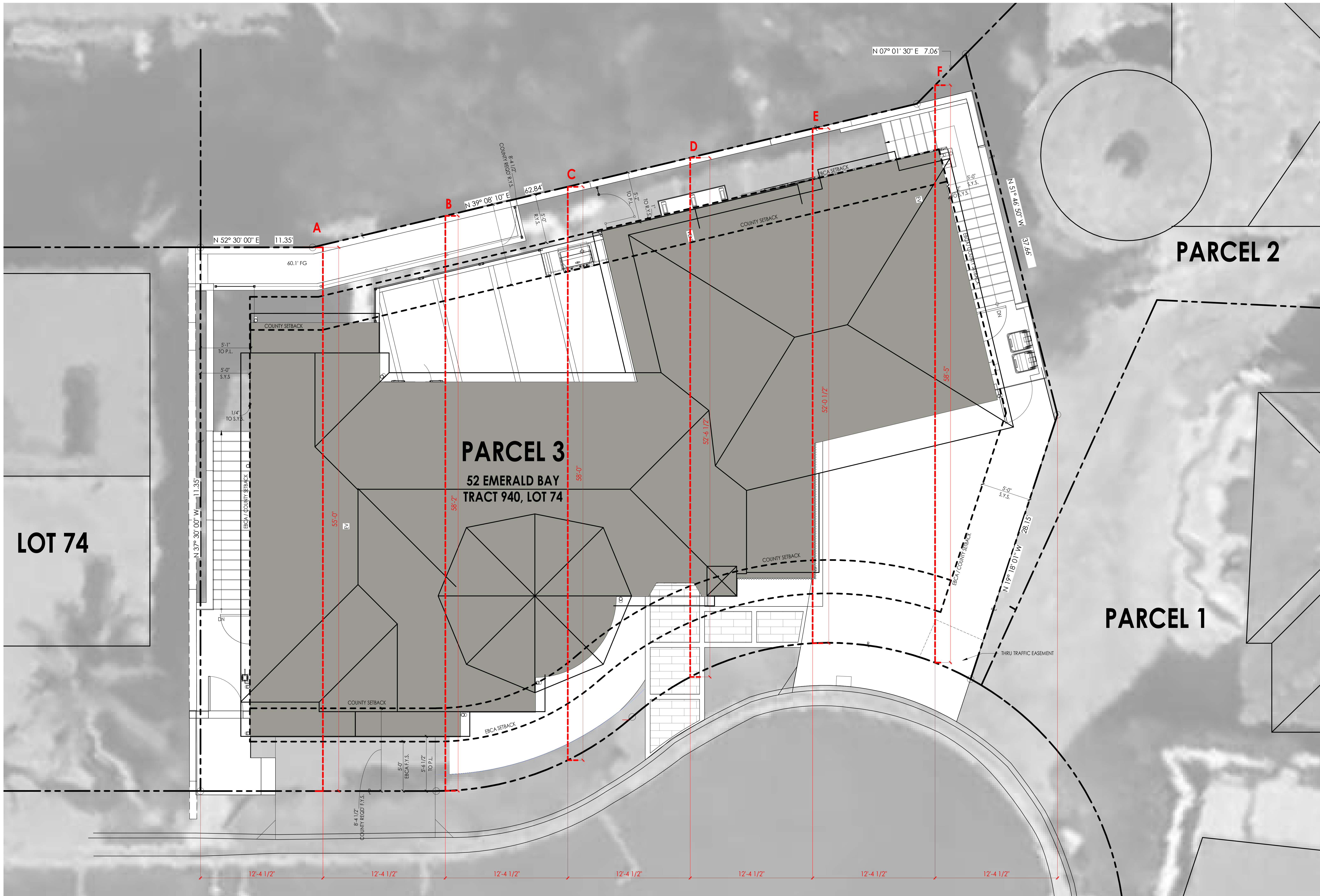
NO.	DESCRIPTION

JOB # 2143
 07/08/2022

EXTERIOR PERSPECTIVES

A051

FOR ELECTRONIC STAMP



AVERAGE LOT DEPTH CALCULATION

A	55'-0"
B	58'-2"
C	58'-0"
D	52'-6 1/2"
E	52'-1 1/2"
F	58'-5"
TOTAL AVG.	55'-8"

REQUIRED SETBACKS FOR SHALLOW BUILDING LOT

AVG. LOT DEPTH x 15% = REQUIRED F & R SETBACKS
 55.66' x 15% = 8.35' REQD. F & R SETBACKS

* VARIANCE REQUEST FOR 5'-0" FRONT & RAER SETBACKS

PARCEL 2

PARCEL 1

LOT 74

PARCEL 3
 52 EMERALD BAY
 TRACT 940, LOT 74

OLSON RESIDENCE

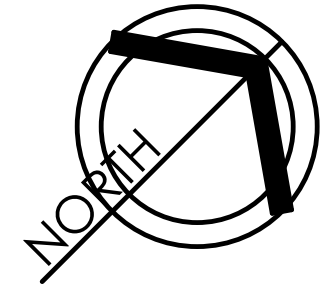
52 EMERALD BAY
 LAGUNA BEACH, CA 92651

REVISIONS

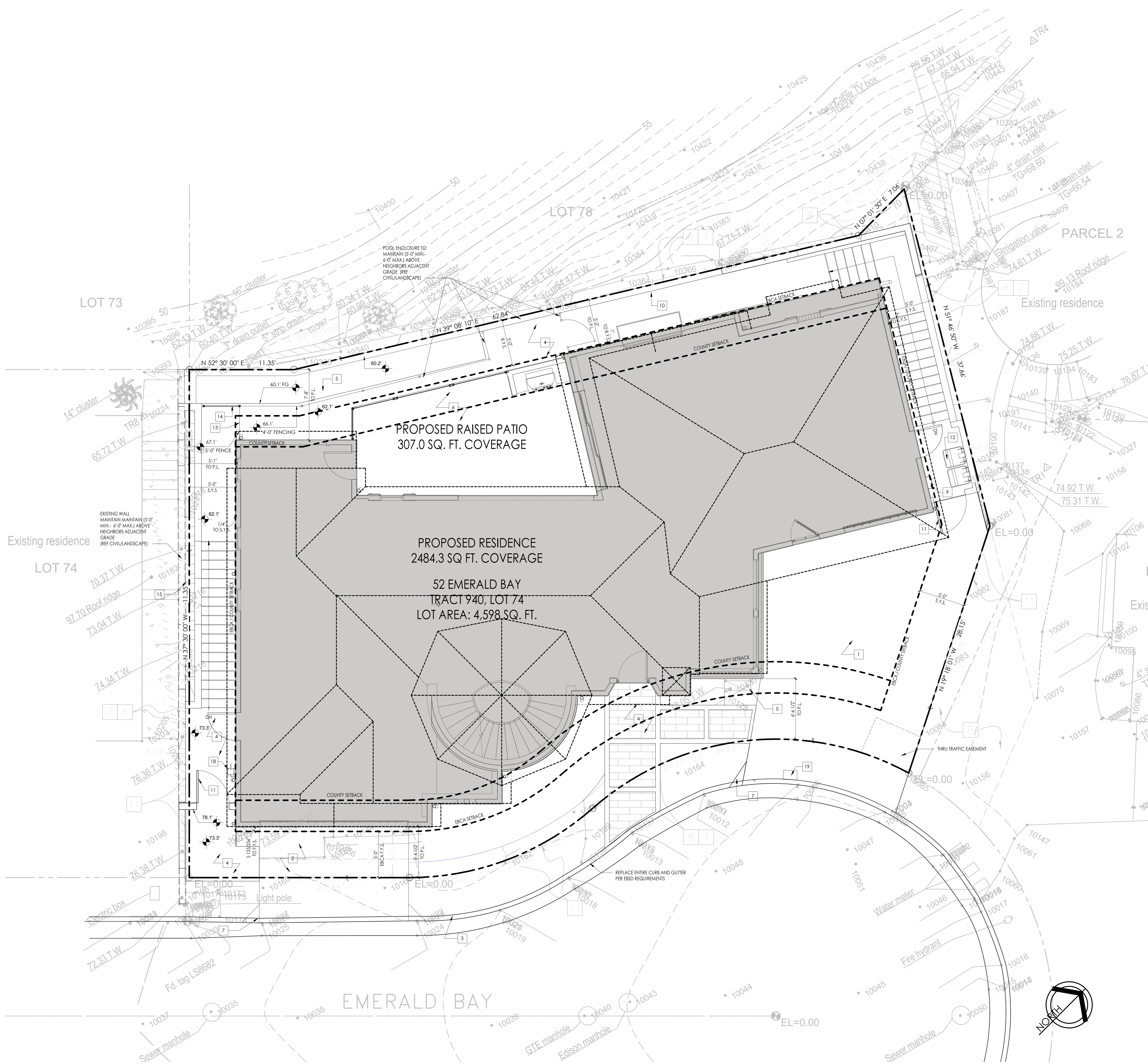
JOB # 2143
 07/08/2022

SITE PLAN -
 AVERAGE DEPTH
 CALCULATION

A057



FOR ELECTRONIC STAMP



SITE PLAN NOTES

- A. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- B. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOFTOP.
- C. FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE/ADDITION SHALL BE SLOPED A MIN. 2% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
- D. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- E. ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE.
- F. ALL DRAINAGE SHALL BE GUIDED BACK TO THE STREET PER CIVIL/LANDSCAPE.

SITE PLAN KEYNOTES

- | SYMBOL | DESCRIPTION |
|--------|---|
| 1 | EXISTING DRIVEWAY - REPLACE HARDSCAPE. REF. LANDSCAPE DRAWINGS. |
| 2 | NEW DRIVEWAY - MATERIAL SELECTION. REF. LANDSCAPE DRAWINGS. |
| 3 | EXISTING CURB TO BE REPLACED. REF. CIVIL DRAWINGS. |
| 4 | NEW HARDSCAPE. REF. LANDSCAPE DRAWINGS. |
| 5 | NEW PLANTING/LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS. |
| 6 | NEW ELEVATED DECK w/ PAVERS. SEE LANDSCAPE DRAWINGS. |
| 7 | NEW CURB CUT LOCATION. CIVIL TO BE DEVELOPED FOR FINAL. |
| 8 | EXISTING CURB CUT TO REMAIN. SEE CIVIL/LANDSCAPE. |
| 9 | NEW ELECTRICAL METER. |
| 10 | NEW RETAINING WALL. REF CIVIL FOR DETAILS. |
| 11 | NEW RECLAIMED WOOD GATE. (5'-0" MIN. POOL ENCLOSURE). |
| 12 | TRASH ENCLOSURE/ SERVICE YARD LOCATION. |
| 13 | 5'-0" WROUGHT IRON FENCING (5'-0" MIN. POOL ENCLOSURE). |
| 14 | 3'-6" WROUGHT IRON FENCING (5'-0" MIN. POOL ENCLOSURE). |
| 15 | EXISTING 12" SITE/RETAINING WALL TO REMAIN. REF CIVIL. |
| 16 | NEW 12" SITE/RETAINING WALL TO REMAIN. REF CIVIL. |
| 17 | DOWNSPOUT LOCATION, TYP., REF CIVIL. |
| 18 | NEW GAS METER. |
| 19 | EXISTING WATER METER TO REMAIN. |

OLSON RESIDENCE

52 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

NO.	DESCRIPTION	DATE

JOB # 2143
07/08/2022

PROPOSED SITE PLAN

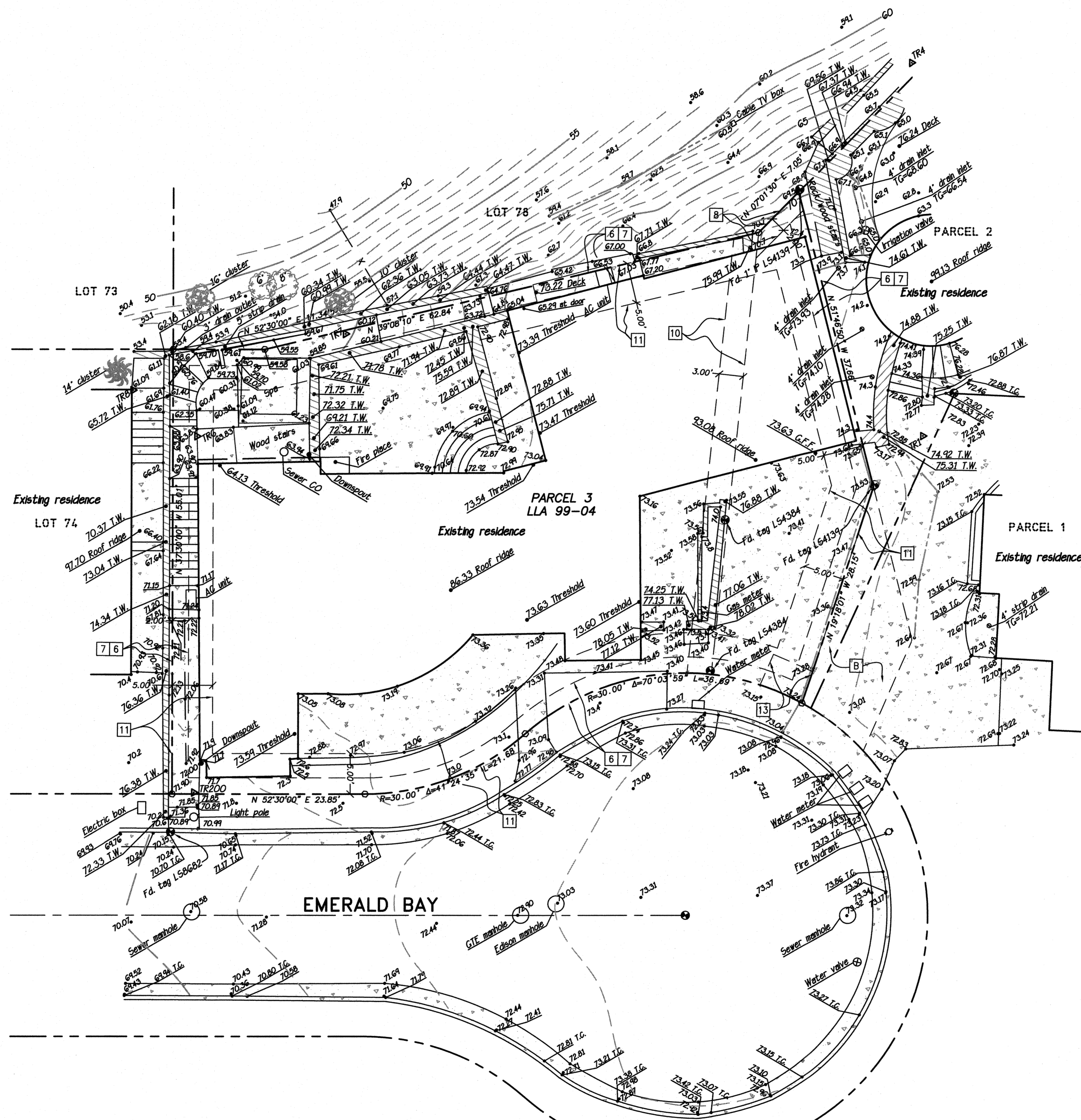
SCALE: 1/4" = 1'-0"

A091

EASEMENT NOTES:

NUMBERING SEQUENCE PER FIDELITY NATIONAL TITLE COMPANY
PRELIMINARY REPORT NO. 00317748-997, DATED AUGUST 27, 2020.

- 4 - Restrictions and conditions subsequent as contained in the deed from William Miles, Jr. to William T. Craig recorded September 13, 1928 in Book 197, Page 232 Official Records and in the deed from Ada Patterson Callender, as executrix, to William T. Craig, recorded September 13, 1928 in Book 197, Page 234, Official Records. (Restricts Oil drilling)(Does not contain easements which affect fee parcel)
 - 5 - Covenants, conditions, and restrictions, in the document recorded May 22, 1931 in Book 283, Page 1 of Official Records. Modified and recorded Dec 23, 1936 in Book 862, Page 150 of Official Records. Modified and recorded Dec 18, 1943 in Book 1225, Page 225 of Official Records. Modified and recorded Oct 14, 1944 in Book 1288, Page 272 of Official Records. Modified and recorded Feb 13, 1948 in Book 1627, Page 495 of Official Records. Modified and recorded Aug 3, 1950 in Book 2050, Page 415 of Official Records. Modified and recorded Feb 6, 1968 in Book 8511, Page 880 of Official Records. Modified and recorded Feb 6, 1968 in Book 8511, Page 885 of Official Records. Modified and recorded Feb 6, 1968 in Book 8511, Page 918 of Official Records. Modified and recorded Sep 6, 1985 as Inst. No. 85-338088 of Official Records. Modified and recorded Dec 8, 1986 as Inst. No. 86-602137 of Official Records. Modified and recorded Nov 18, 1988 as Inst. No. 88-584765 of Official Records. Modified and recorded Apr 20, 2000 as Inst. No. 00-205298 of Official Records. Modified and recorded Dec 6, 2002 as Inst. No. 02-1104931 of Official Records. Modified and recorded Apr 2, 2009 as Inst. No. 09-160191 of Official Records. Modified and recorded Apr 7, 2009 as Inst. No. 09-167954 of Official Records. Modified and recorded Jan 21, 2010 as Inst. No. 10-31632 of Official Records. (Affects, blanket)
 - 6 - An Easement for road and incidental purposes, and a 2.00' wide easement for public utilities, sewers and/or storm drains affecting that portion of Parcel 2 of LLA 99-041 per that document recorded August 28, 1935 in Book 760, Page 217 of Official Records.(Plotted Hereon)
 - 7 - An Easement for Public utilities and incidental purposes, Recording Date: May 14, 1940 Recording No.: Book 1041, Page 485 and Recording Date: June 13, 1942 and Recording No.: Book 1148, Page 339, Official Records. (Plotted Hereon)
 - 8 - An Easement for television aerial lead-in-wires, Recording Date: October 16, 1958 Recording No: Book 4450, Page 29, Official Records. (Plotted Hereon)
 - 9 - An Easement for Perpetual air or flight easement, also referred to as Avigation rights Recording Date: March 17, 1964 Recording No.: Book 6965, Page 721, Official Records. (Affects all the air space above said property, not plotted hereon)
 - 10 - Matters contained in that certain document, Entitled Settlement and Mutual Release Agreement Dated: September 24, 1999, Recording Date: October 8, 1999, Recording No.: 1999-717080, Official Records, As Document Declaring Modifications thereof Recording Date: November 25, 2002 Recording No.: 2002-1068898, Official Records. (Plotted Hereon)
 - 11 - An Easement for Public utilities, sanitary sewers, and/or storm drains Recording Date: September 21, 2000 Recording No: 2000-496747, Official Records (Plotted hereon)
 - 12 - An Easement for Public utilities, sanitary sewers, and/or storm drains Recording Date: September 21, 2000 Recording No: 2000-496747, Official Records (Plotted hereon)
 - 13 - Matters contained in that certain document Entitled Grant Deed With Reservation of Easements Dated: December 4, 2002, Recording Date: December 6, 2002, Recording No.: 2002-1104932, Official Records. (Plotted hereon)
- B - PARCEL B:**
AN PERPETUAL, NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS PURPOSES, AS SAID EASEMENT IS SET FORTH IN THAT CERTAIN EASEMENT DEED RECORDED DECEMBER 6, 2002, AS INSTRUMENT NO. 2002-1104933, BY OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA. (Plotted hereon)

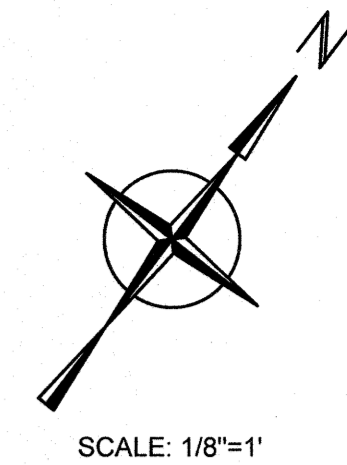


LEGEND

	GRADE BREAK LINE
	INDEX CONTOUR LINE
	INTERMEDIATE CONTOUR LINE
	ESTIMATED PROPERTY LINE
	FENCE
	MSE WALL
	CONCRETE SURFACE
	MASONRY WALL
	WOOD WALL
	ROCK WALL
	FINISHED FLOOR
	FINISHED SURFACE
	TOP OF GRATE
	INVERT OF PIPE
	TOP OF CURB
	EDGE OF PAVEMENT
	TOP OF WALL
	FOUND MONUMENT
	SURVEY CONTROL POINT

BENCHMARK NOTE:
OCSBM 3K-56-04
ELEV=85.701
NAVD88 DATUM, 2004 ADJ.

BOUNDARY NOTE:
THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS.



SCALE: 1/8"=1'

PLANS PREPARED BY:
TOAL ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY
139 Avenida Navarrio
San Clemente, CA 92672
949.492.8586
www.toalengineering.com



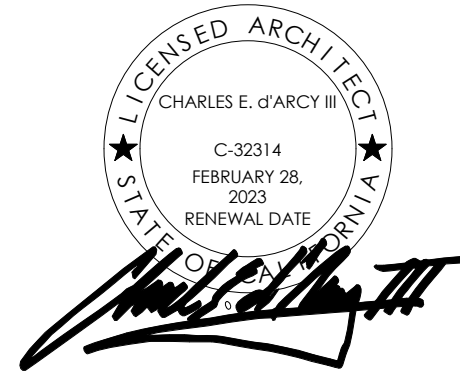
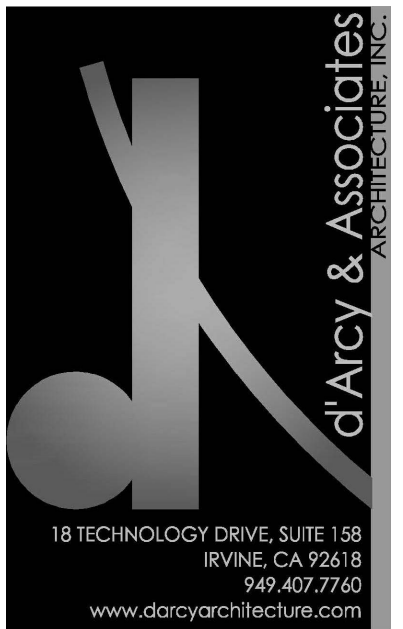
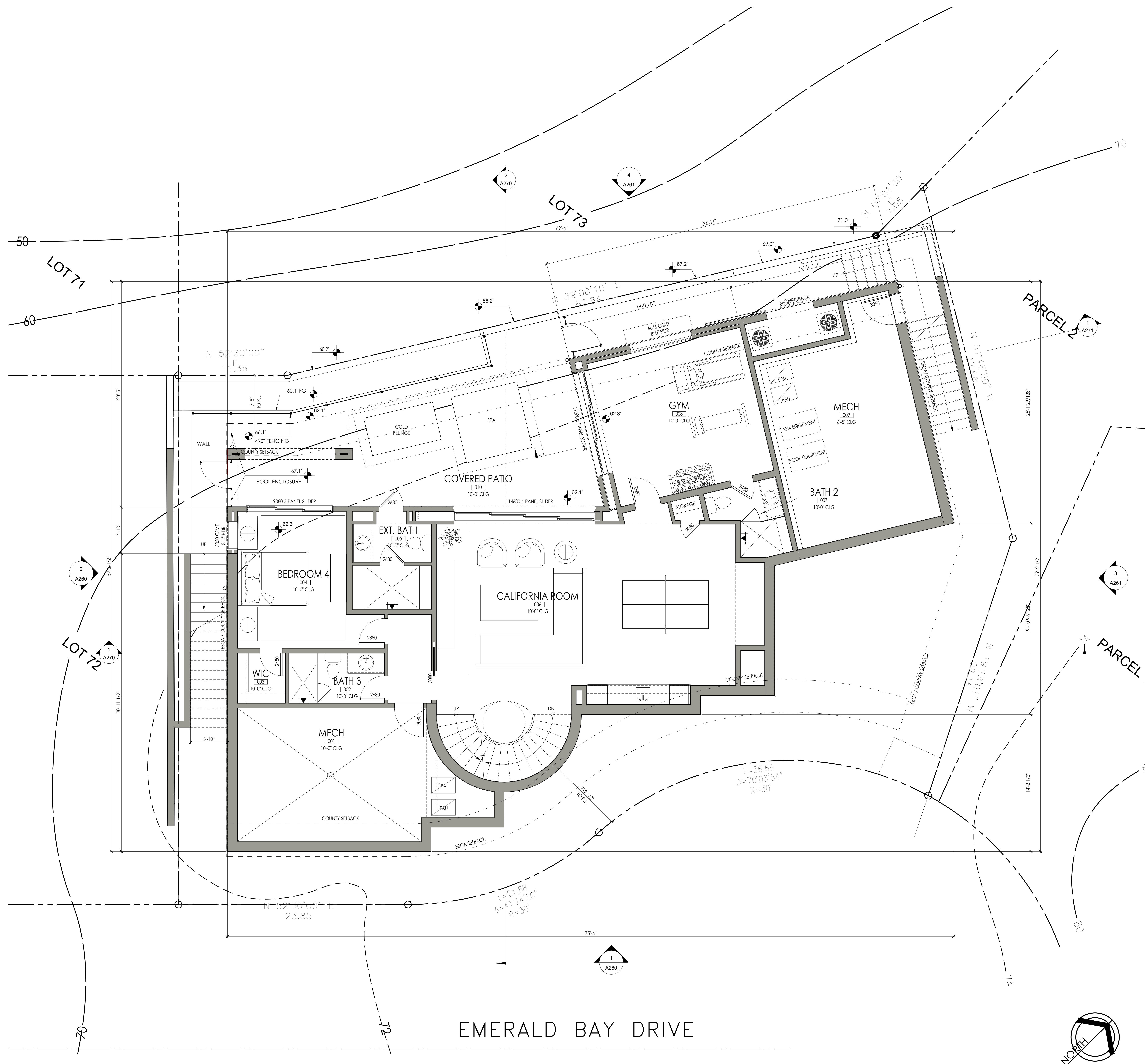
Viktor P. Meum
P.L.S. 8682
DATE: 4-19-2021

PREPARED FOR:
STEVE AND KERI OLSON

NO.	DATE	APVD.	BY	REVISIONS

TOPOGRAPHIC SURVEY
PARCEL 3, LLA 99-041, APN 053-060-92
52 EMERALD BAY, LAGUNA BEACH, CALIFORNIA

DATE: 4-21-20	H. SCALE: 1/8"=1'
SURVEY DATE: 4-8-20	V. SCALE: -
DRN.: MSF	DWG. NO.:
CHD.: -	TP-01
APPD.: VM	SHEET OF
JOB NO. 20053	1 1



OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651

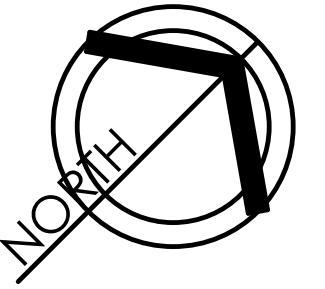
REVISIONS

JOB # 2143
07/08/2022

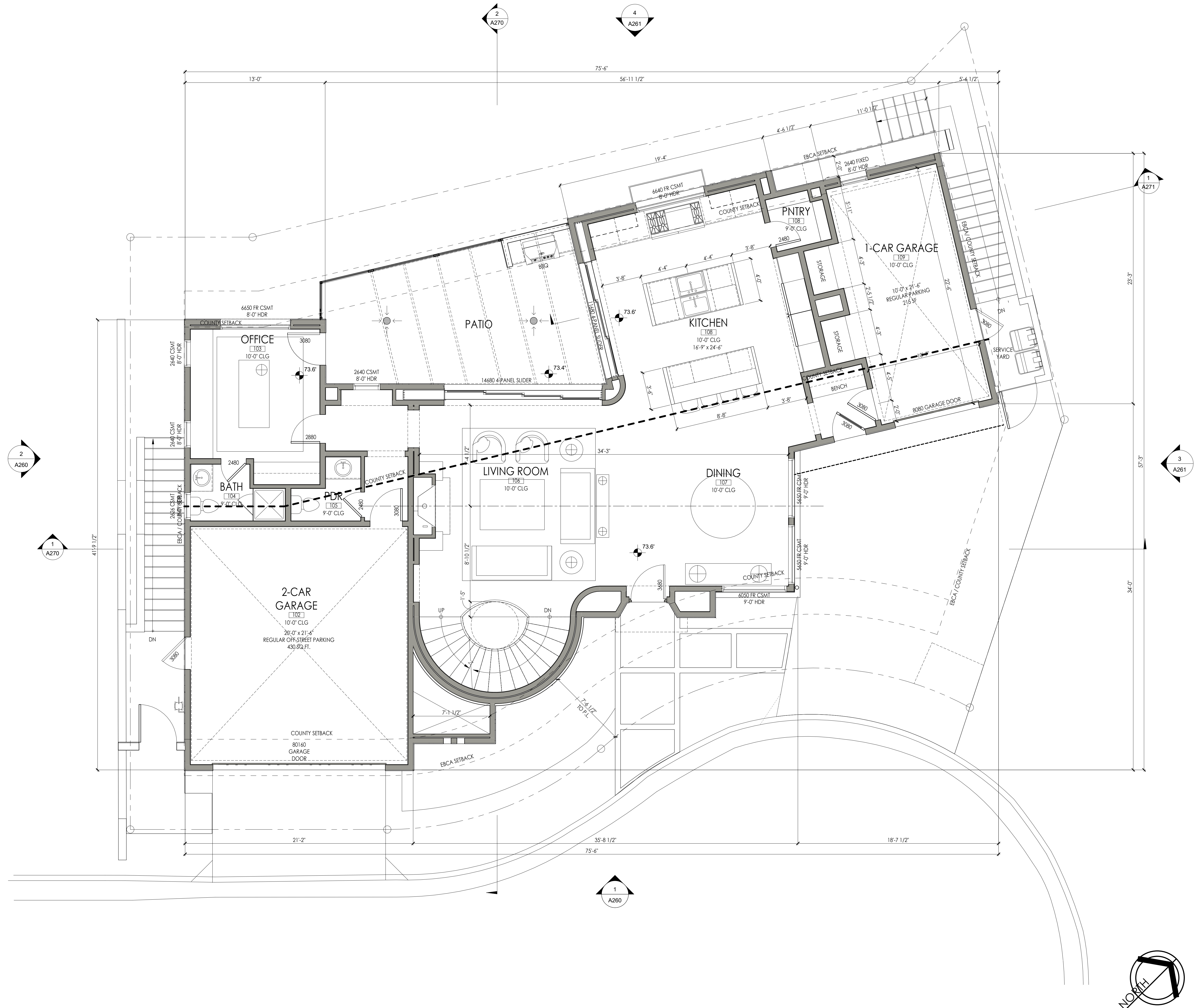
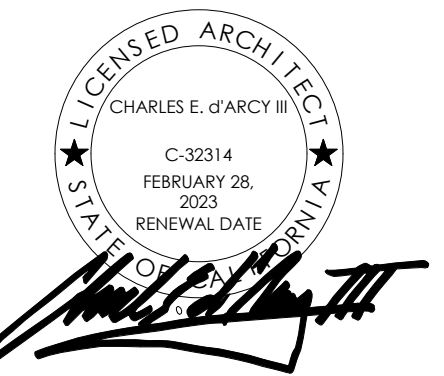
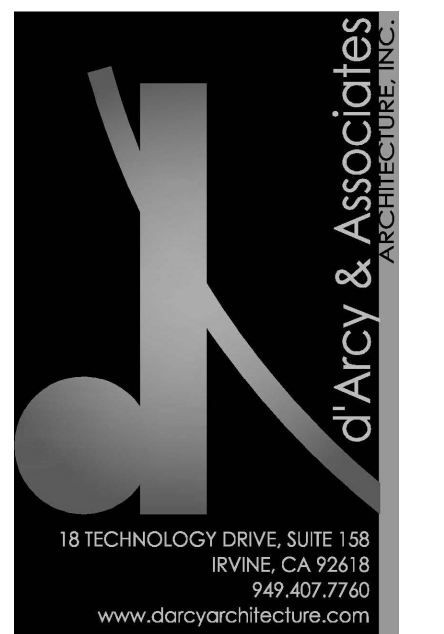
BASEMENT LEVEL
REFERENCE

SCALE: 1/4" = 1'-0"

A210



FOR ELECTRONIC STAMP



OLSON RESIDENCE
 52 EMERALD BAY
 LAGUNA BEACH, CA 92651

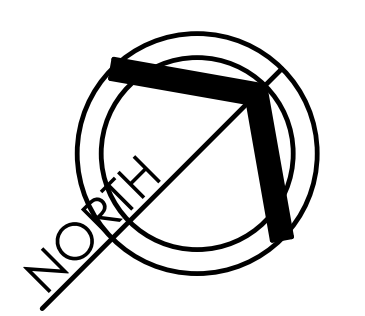
REVISIONS

JOB # 2143
 07/08/2022

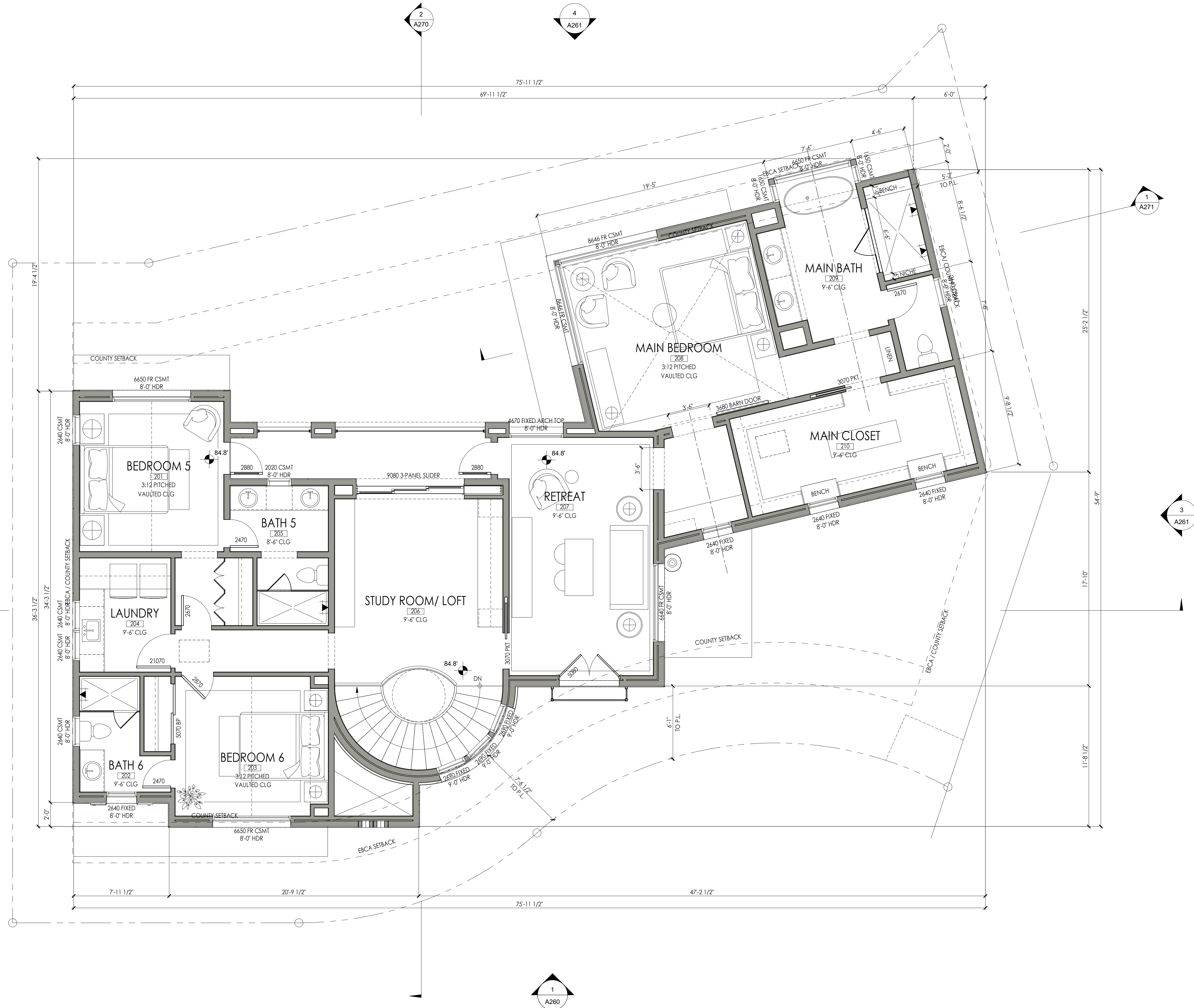
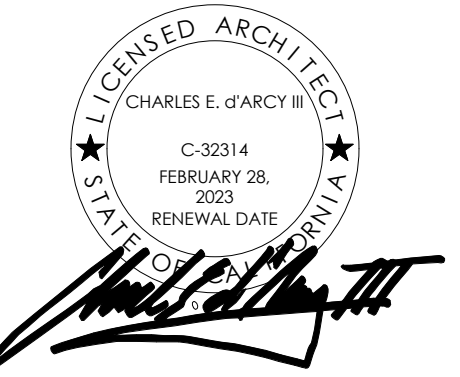
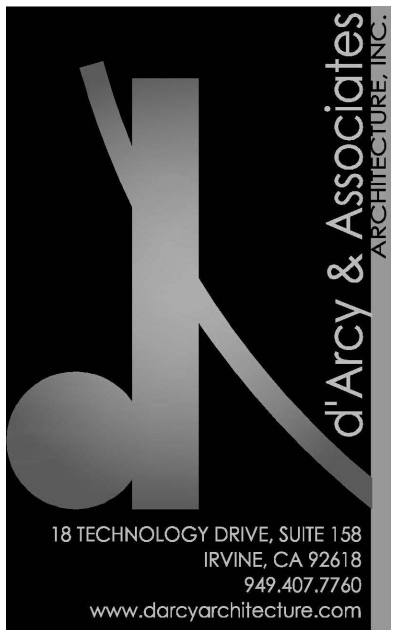
MAIN LEVEL
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SCALE: 1/4" = 1'-0"

A220



FOR ELECTRONIC STAMP



OLSON RESIDENCE
 52 EMERALD BAY
 LAGUNA BEACH, CA 92651

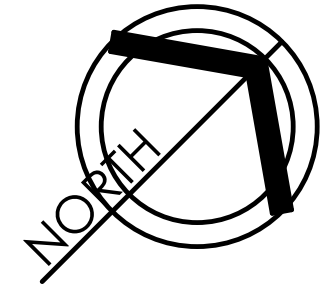
REVISIONS

JOB # 2143
 07/08/2022

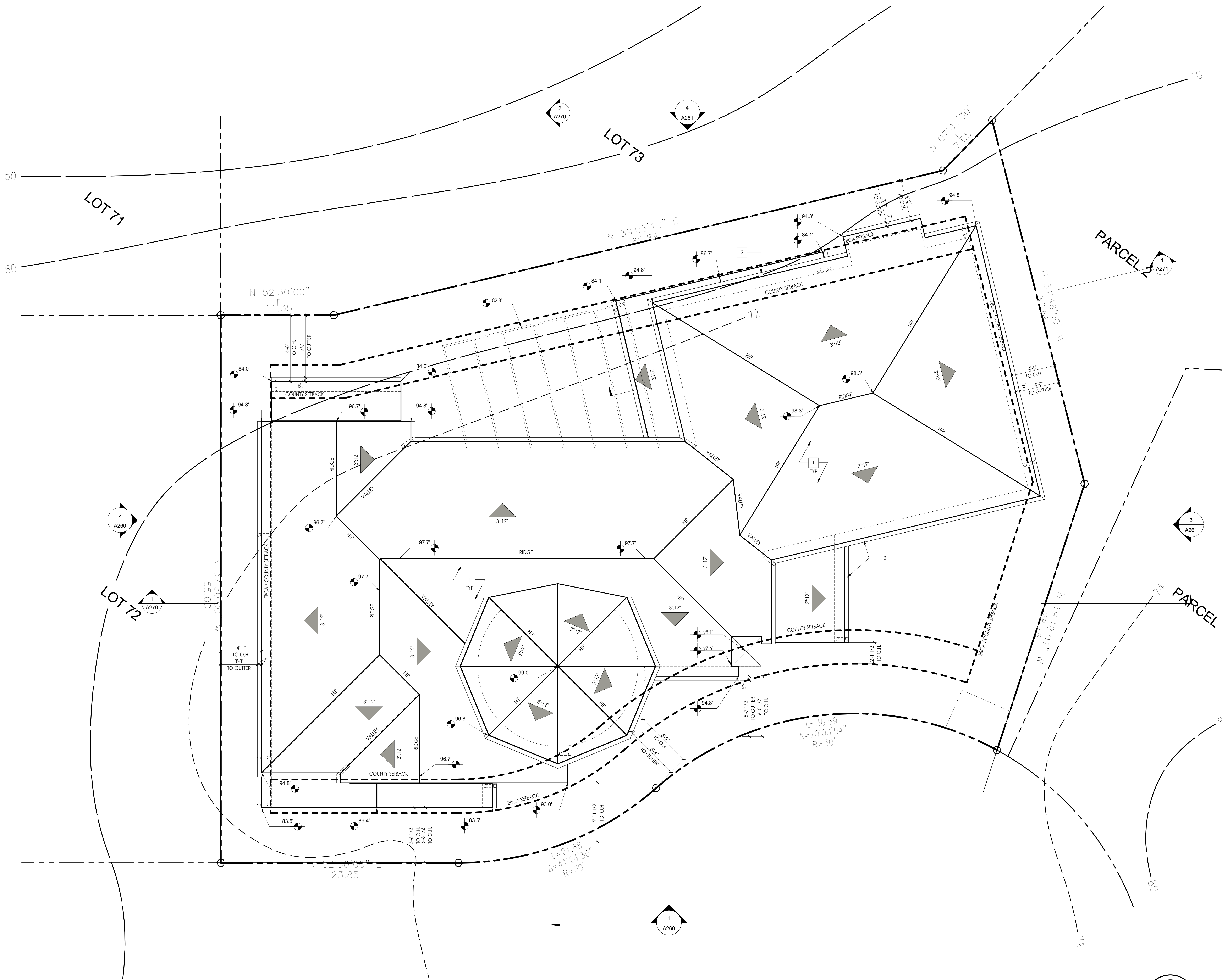
UPPER LEVEL
 REFERENCE

SCALE: 1/4" = 1'-0"

A230



FOR ELECTRONIC STAMP



ROOF NOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR ROOF SHEATHING SPECIFICATIONS.
- B. WHERE NOTED, ROOF TO BE UNVENTED ATTIC ASSEMBLY AND SHALL COMPLY WITH R806.5
 - THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE
 - NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY
 - AIR-PERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING
 - RIGID BOARD OR SHEET INSULATION WITH AN R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL.
- C. PROVIDE 24 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND WHERE ROOF PITCH CHANGES.
- D. THE CENTER LINE OF ALL FLASHING FOR VENT PIPES SHALL BE NOT LESS THAN 1/2" FROM ANY VALLEY.
- E. ALL ROOF PENETRATIONS SHALL BE INSTALLED AS TO MAKE THEM WATERPROOF.
- F. GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED.
- G. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.

ROOF PLAN KEYNOTES

- | SYMBOL | DESCRIPTION |
|--------|---|
| 1 | TWO-PIECE CLASS 'A' CLAY TILE ROOF, COLOR: LAGUNA BUFF |
| 2 | GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED |
| 3 | BUILT-UP ROOFING SYSTEM WITH FLAT CLAY TILE, CLASS 'A' RATED. |
| 4 | STEEL CANOPY w/ SLIDE WIRE OPERATION |
| 5 | STUCCO FINISH |

OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

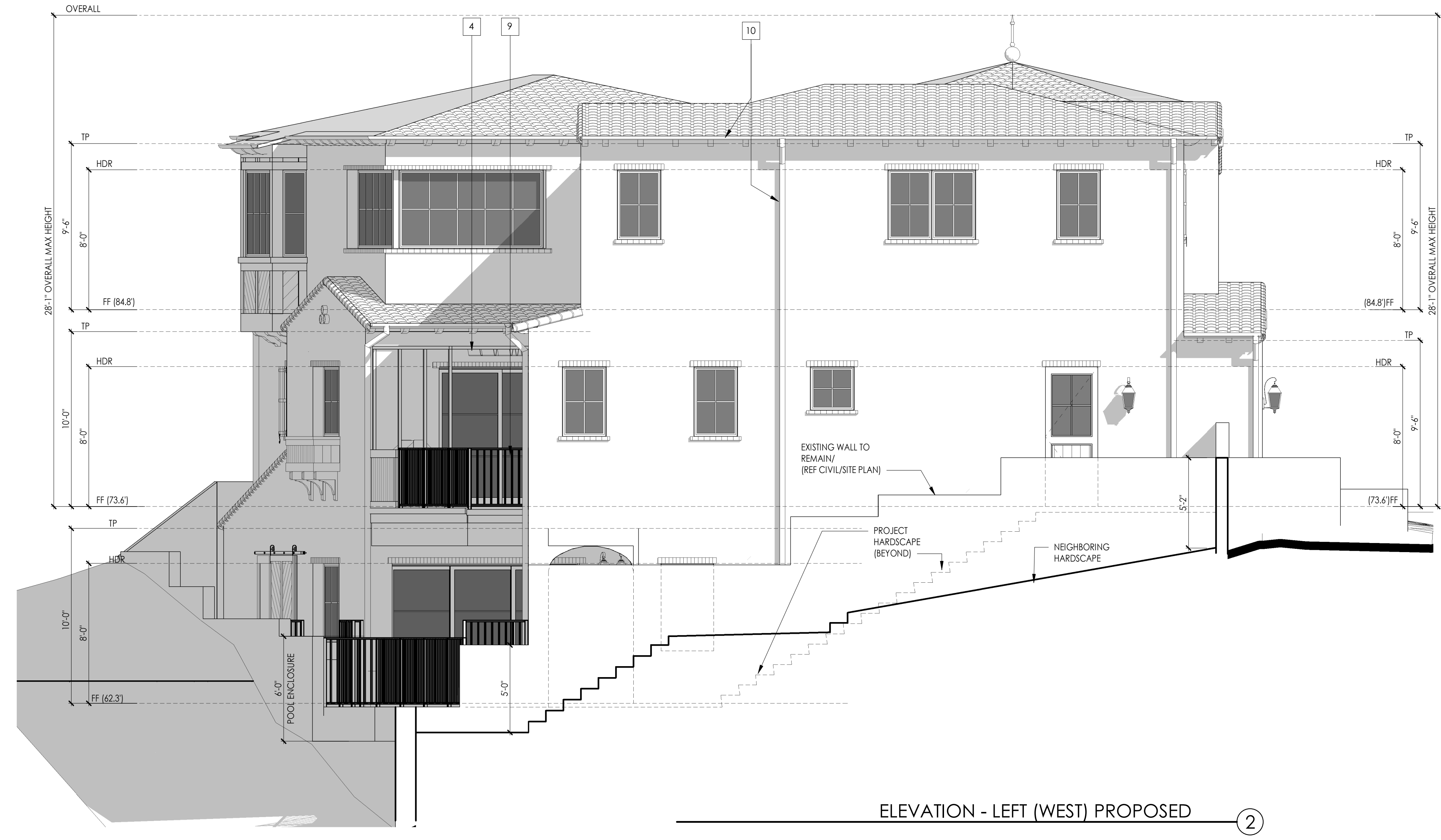
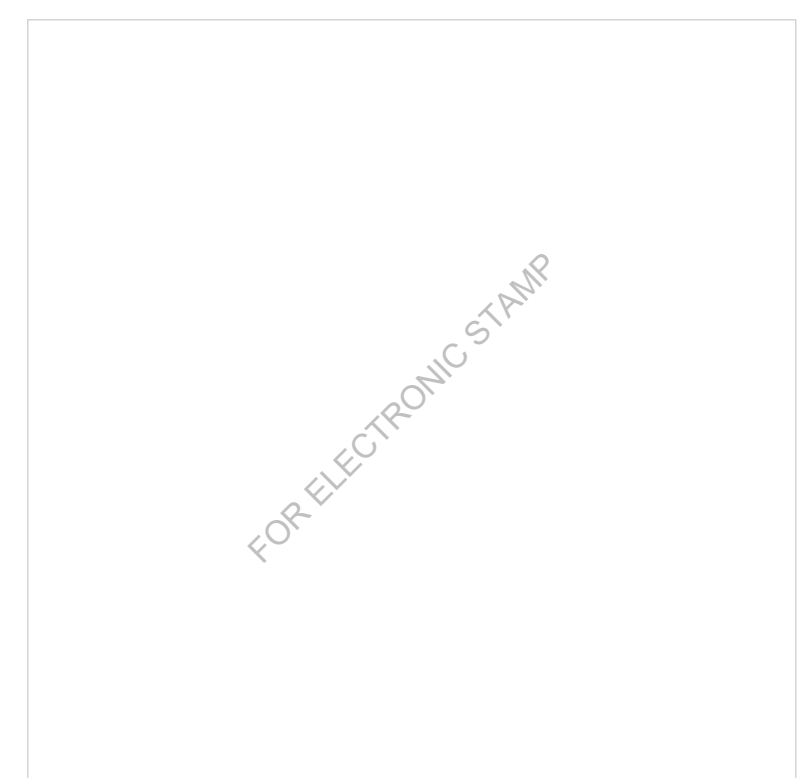
NO.	DESCRIPTION

JOB # 2143
07/08/2022

ROOF PLAN

SCALE: 1/4" = 1'-0"

A250



ELEVATION - LEFT (WEST) PROPOSED ②

EXTERIOR ELEVATION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEVATIONS AND STEP LOCATIONS.

EXTERIOR ELEVATION KEYNOTES

XX	SYMBOL
1	7/8" MIN. EXTERIOR CEMENT PLASTER, SMOOTH TROWEL FINISH. PAINT: OMEGA 431
2	TWO PIECE CLASS 'A' CLAY TILE ROOF WITH MUD BOOST. LAGUNA BUFF BLEND
3	RECLAIMED WOOD RAFTER TAILS
4	STEEL CANOPY STRUCTURE w/ SLIDE WIRE OPERATION
5	DARK ANODIZED BRONZE ALUMINUM DOOR & WINDOW SYSTEMS
6	LOUVERED MECHANICAL DOORS, RECLAIMED WOOD TO MATCH
7	STUCCO FINIAL
8	COPPER ROOF FINIAL
9	42" WROUGHT IRON GUARDRAILING
10	COPPER ROOF GUTTER & DOWNSPOUTS
11	RECLAIMED WOOD GATE, 5'-0" HT. MIN. (POOL ENCLOSURE)
12	NEW EXTERIOR LIGHT SCONCE, HILLGATE LANTERN PER SELECTION
13	88Q LOCATION
14	48" WROUGHT IRON FENCING (@ POOL ENCLOSURE)
15	CLAY VENT PIPES - TRIANGULAR PATTERN
16	RECLAIMED WOOD TRIM
17	RECLAIMED WOOD PLANT LEDGE/SHELF
18	1/2" STUCCO CHAMFERED SILLS
19	DECORATIVE WOOD BRACKET DETAIL BELOW CANTILEVERED FLOOR SYSTEM
20	GARAGE DOOR (RECLAIMED BARN WOOD)
21	RECLAIMED WOOD SHUTTERS WITH IRON ACCENTS & DETAILS
22	SPLAYED DECORATIVE STUCCO SURROUND @ ENTRY
23	DIAMOND CUT FOAM INSERT w/ STUCCO FINISH TO MATCH
24	WHITE OVERGROUTED BRICK
25	WHITE OVERGROUTED BRICK CORBELING
26	WHITE OVER GROUTED BRICK HEADER/ SILL DETAILING
27	DOG TOOTH BRICK DETAIL BANDING
28	WROUGHT IRON JULIET BALCONY
29	RECLAIMED WOOD DOOR w/ GLASS INSERTS
30	60" WROUGHT IRON GUARDRAILING

OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

JOB # 2143
07/08/2022

EXTERIOR ELEVATIONS

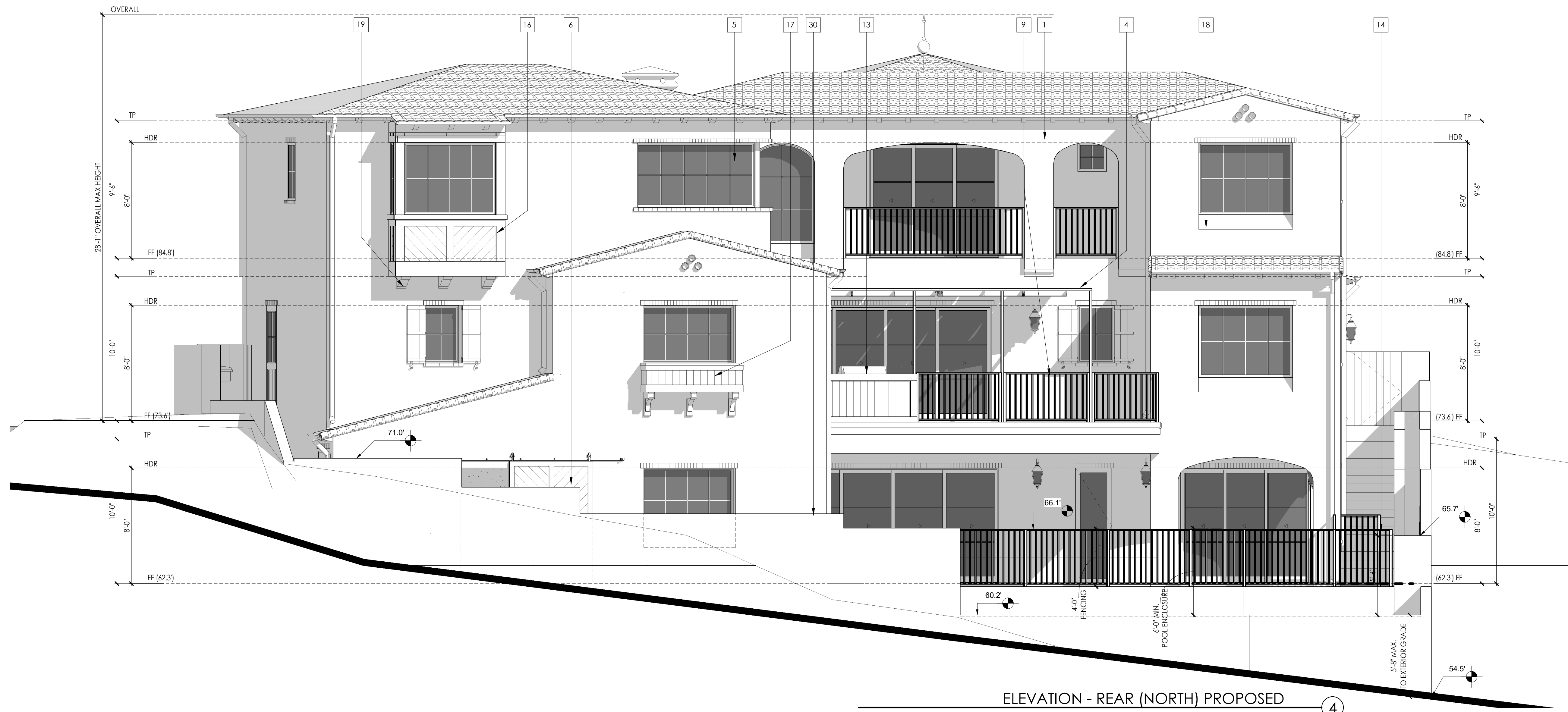
SCALE: 1/4" = 1'-0"

A260



ELEVATION - FRONT (SOUTH) PROPOSED ①

FOR ELECTRONIC STAMP



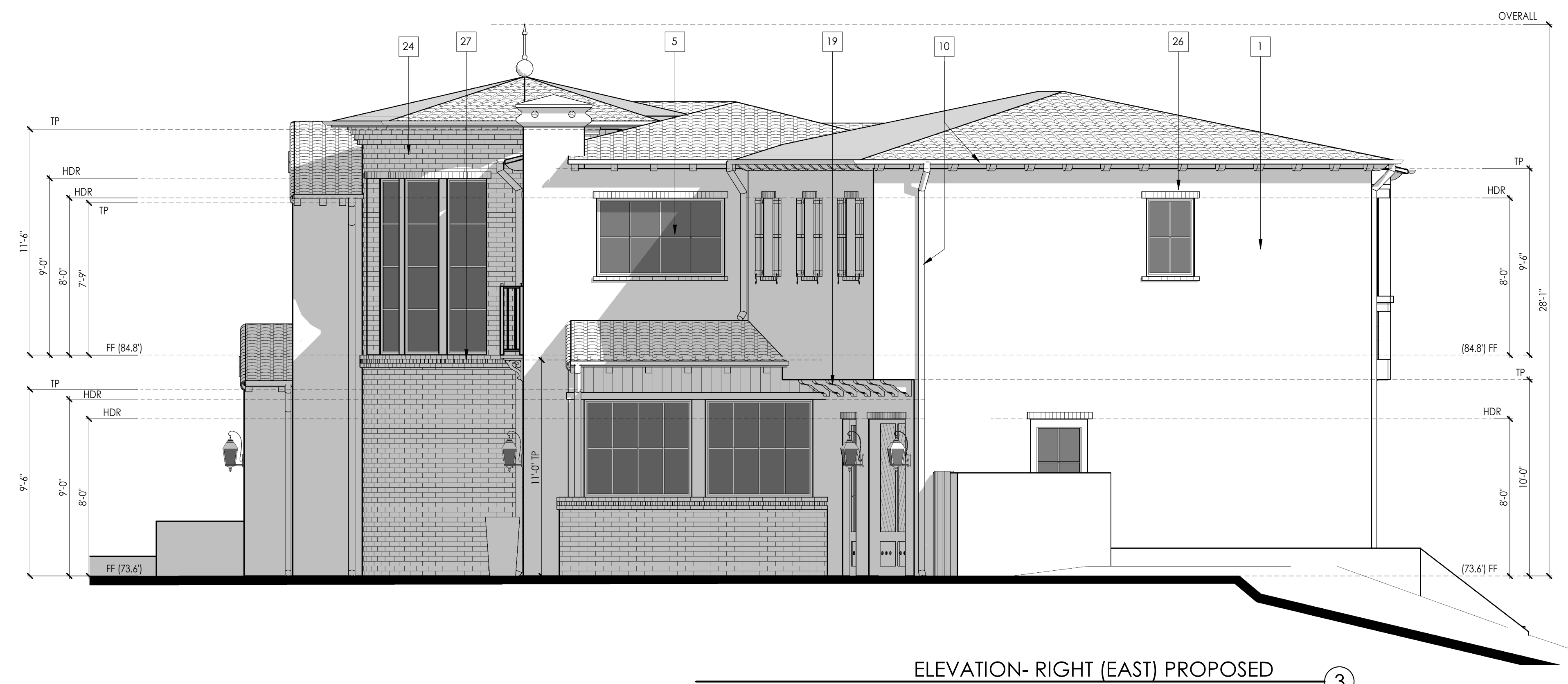
ELEVATION - REAR (NORTH) PROPOSED ④

EXTERIOR ELEVATION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.

EXTERIOR ELEVATION KEYNOTES

- XX SYMBOL
- 1 7/8" MIN. EXTERIOR CEMENT PLASTER, SMOOTH TROWEL FINISH. PAINT: OMEGA 431
 - 2 TWO PIECE CLASS 'A' CLAY TILE ROOF WITH MUD BOOST. LAGUNA BUFF BLEND
 - 3 RECLAIMED WOOD RAFTER TAILS
 - 4 STEEL CANOPY STRUCTURE w/ SLIDE WIRE OPERATION
 - 5 DARK ANODIZED BRONZE ALUMINUM DOOR & WINDOW SYSTEMS
 - 6 LOUVERED MECHANICAL DOORS, RECLAIMED WOOD TO MATCH
 - 7 STUCCO FINIAL
 - 8 COPPER ROOF FINIAL
 - 9 42" WROUGHT IRON GUARDRAILING
 - 10 COPPER ROOF GUTTER & DOWNSPOUTS
 - 11 RECLAIMED WOOD GATE, 5'-0" HT. MIN. (POOL ENCLOSURE)
 - 12 NEW EXTERIOR LIGHT SCONCE, HILLGATE LANTERN PER SELECTION
 - 13 88Q LOCATION
 - 14 48" WROUGHT IRON FENCING (@ POOL ENCLOSURE)
 - 15 CLAY VENT PIPES - TRIANGULAR PATTERN
 - 16 RECLAIMED WOOD TRIM
 - 17 RECLAIMED WOOD PLANT LEDGE/SHELF
 - 18 1/2" STUCCO CHAMFERED SILLS
 - 19 DECORATIVE WOOD BRACKET DETAIL BELOW CANTILEVERED FLOOR SYSTEM
 - 20 GARAGE DOOR (RECLAIMED BARN WOOD)
 - 21 RECLAIMED WOOD SHUTTERS WITH IRON ACCENTS & DETAILS
 - 22 SPLAYED DECORATIVE STUCCO SURROUND @ ENTRY
 - 23 DIAMOND CUT FOAM INSERT w/ STUCCO FINISH TO MATCH
 - 24 WHITE OVERGROUTED BRICK
 - 25 WHITE OVERGROUTED BRICK CORBELING
 - 26 WHITE OVER GROUTED BRICK HEADER/ SILL DETAILING
 - 27 DOG TOOTH BRICK DETAIL BANDING
 - 28 WROUGHT IRON JULIET BALCONY
 - 29 RECLAIMED WOOD DOOR w/ GLASS INSERTS
 - 30 60" WROUGHT IRON GUARDRAILING



ELEVATION- RIGHT (EAST) PROPOSED ③

OLSON RESIDENCE
 52 EMERALD BAY
 LAGUNA BEACH, CA 92651

REVISIONS

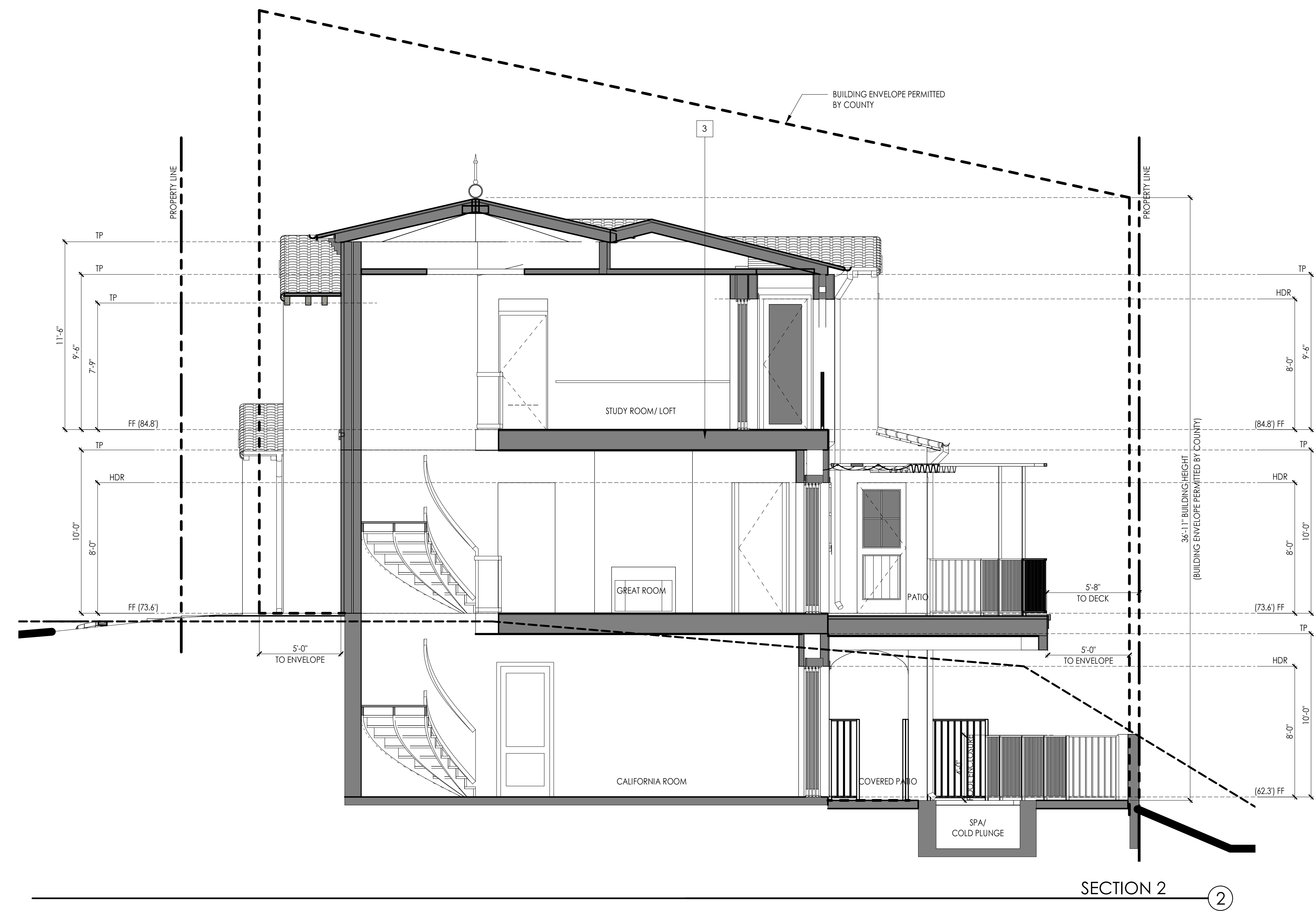
JOB # 2143
07/08/2022

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

A261

FOR ELECTRONIC STAMP



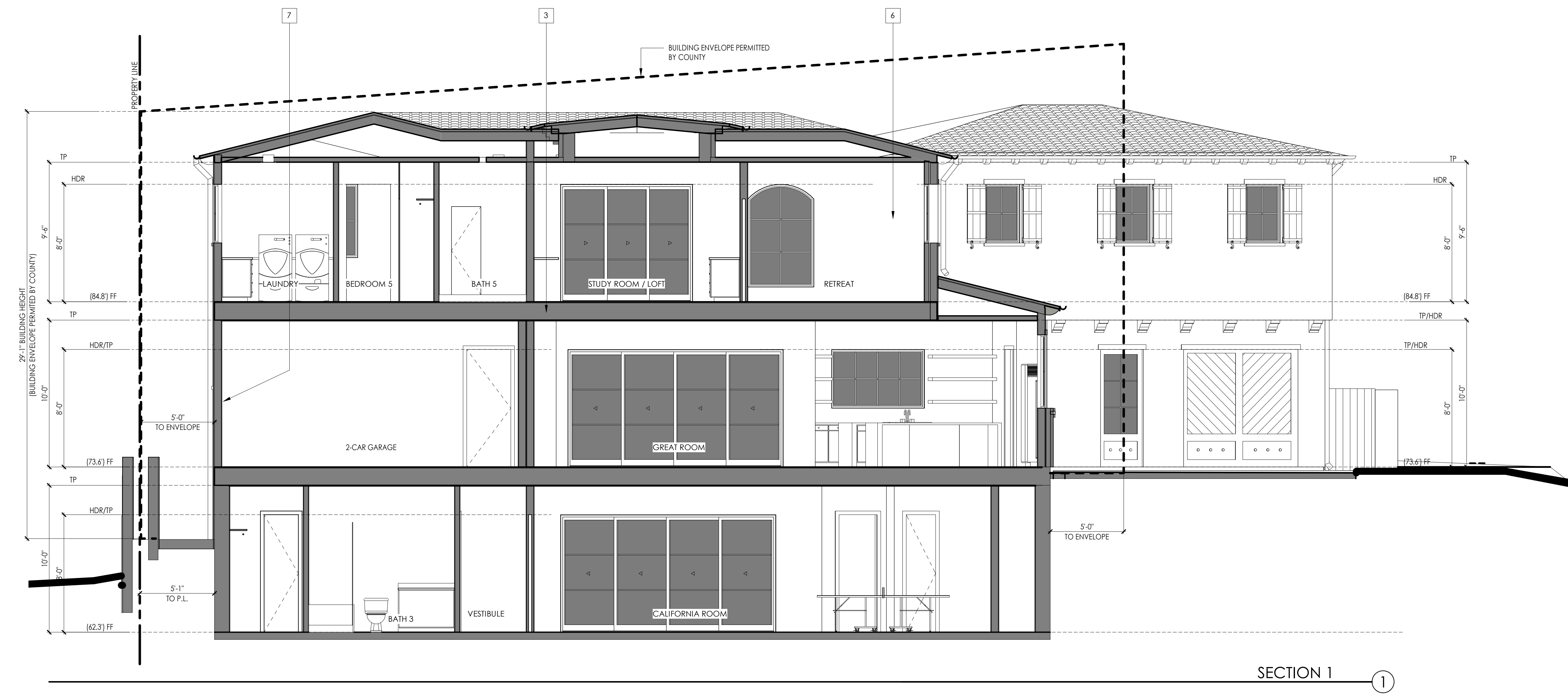
BUILDING SECTION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- D. THE FOUNDATION AND FRAMING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE STRUCTURAL PLANS, DETAILS AND CALCULATIONS FOR ALL STRUCTURAL INFORMATION.
- E. PROVIDE FIREBLOCKING AND DRAFT STOPS AT FURRED SPACES PER CODE.
- F. INSULATION REQUIREMENTS PER T-24 ENERGY REPORT:
R-13 INSULATION IN EXTERIOR WALLS TYP.
R-19 INSULATION IN RAISED WOOD FLOOR SPACE TYP.
R-30 INSULATION IN CEILING SPACE TYP.
(R-30 HIGH DENSITY 7.25" THICK "ROXUL COMFORBATT" INSULATION AS NEEDED.)
- G. WINDOW HEADERS ARE AT 8'-0" TYP. U.N.O. ON ELEVATIONS OR PLANS.

BUILDING SECTION KEYNOTES

- XX SYMBOL**
- 1 ROOF SHEATHING - REFER TO FRAMING PLANS
 - 2 ROOF RAFTERS - REFER TO FRAMING PLANS
 - 3 FLOOR JOISTS - REFER TO FRAMING PLANS
 - 4 CEILING JOISTS - REFER TO FRAMING PLANS
 - 5 SLAB ON GRADE - REFER TO FOUNDATION PLAN
 - 6 INTERIOR FINISH - INTERIOR WALLS SHALL BE COVERED WITH ONE LAYER 1/2" THICK MIN. GYPSUM WALLBOARD, SCREWED DIRECTLY TO STUDS AND JOISTS, WITH ALL SEAMS TAPED AND FILLED FLUSH WITH APPROVED JOINT COMPOUND, PER MANUF. SPECS, UNLESS NOTED OTHERWISE. PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT ALL BATH AND KITCHEN AREAS. INTERIOR FLOORS SHALL BE FINISHED WITH WOOD, OR THINSET TILE IN WET AREAS, PER INTERIOR DESIGNER SPECIFICATIONS. GARAGE AND MECHANICAL ROOM(S) FLOORS TO BE FINISHED CONCRETE. OCCUPANCY SEPARATION: MINIMUM 1/2" GYPSUM BOARD AT ALL GARAGE WALLS & CEILINGS. MINIMUM 5/8" TYPE 'X' GYPSUM BOARD AT GARAGE CEILINGS BELOW HABITABLE SPACE PER CRC R302.6. DUCTS PENETRATING WALL OR CEILING SEPARATIONS SHALL BE CONSTRUCTED OF MINIMUM 26 GAUGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. PER CRC 302.2.
 - 7

OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651



REVISIONS

NO.	DATE	DESCRIPTION

JOB # 2143
07/08/2022

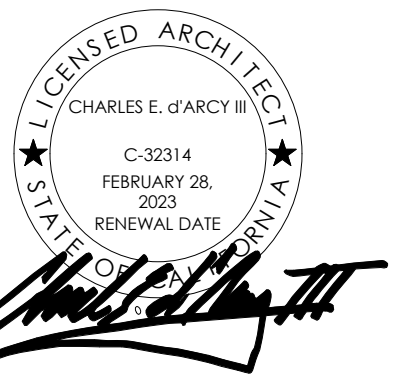
BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

A270

SECTION 2 ②

SECTION 1 ①



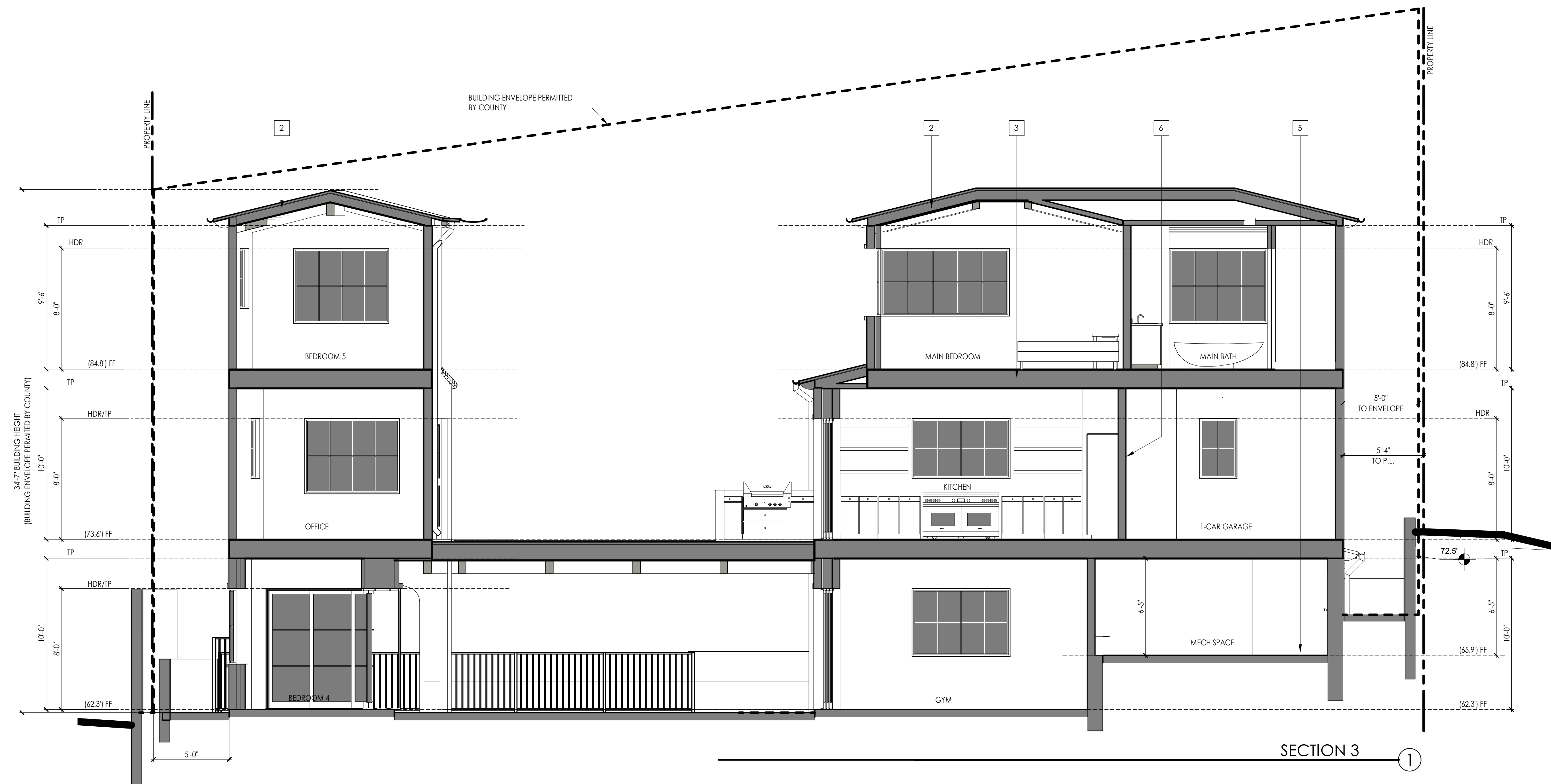
BUILDING SECTION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
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BUILDING SECTION KEYNOTES

XX SYMBOL

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- 3 FLOOR JOISTS - REFER TO FRAMING PLANS
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- 7



OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

NO.	DATE	DESCRIPTION

JOB # 2143
07/08/2022

BUILDING SECTIONS

A271

EASEMENT NOTES:

NUMBERING SEQUENCE PER FIDELITY NATIONAL TITLE COMPANY PRELIMINARY REPORT NO. 00317748-997, DATED AUGUST 27, 2020.

4 - RESTRICTIONS AND CONDITIONS SUBSEQUENT AS CONTAINED IN THE DEED FROM WILLIAM MILES, JR. TO WILLIAM T. CRAIG RECORDED SEPTEMBER 13, 1928 IN BOOK 197, PAGE 232 OFFICIAL RECORDS AND IN THE DEED FROM ADA PATTERSON CALLENDER, AS EXECUTRIX, TO WILLIAM T. CRAIG, RECORDED SEPTEMBER 13, 1928 IN BOOK 197, PAGE 234, OFFICIAL RECORDS. (RESTRICTS OIL DRILLING)(DOES NOT CONTAIN EASEMENTS WHICH AFFECT FEE PARCEL)

5 - COVENANTS, CONDITIONS, AND RESTRICTIONS, IN THE DOCUMENT RECORDED MAY 22, 1931 IN BOOK 283, PAGE 1 OF OFFICIAL RECORDS, MODIFIED AND RECORDED DEC 23, 1936 IN BOOK 862, PAGE 150 OF OFFICIAL RECORDS, MODIFIED AND RECORDED DEC 18, 1943 IN BOOK 1225, PAGE 225 OF OFFICIAL RECORDS, MODIFIED AND RECORDED OCT 14, 1944 IN BOOK 1288, PAGE 272 OF OFFICIAL RECORDS, MODIFIED AND RECORDED FEB 13, 1948 IN BOOK 1627, PAGE 485 OF OFFICIAL RECORDS, MODIFIED AND RECORDED AUG 3, 1950 IN BOOK 2050, PAGE 415 OF OFFICIAL RECORDS, MODIFIED AND RECORDED FEB 6, 1968 IN BOOK 8511, PAGE 880 OF OFFICIAL RECORDS, MODIFIED AND RECORDED FEB 6, 1968 IN BOOK 8511, PAGE 885 OF OFFICIAL RECORDS, MODIFIED AND RECORDED FEB 6, 1968 IN BOOK 8511, PAGE 918 OF OFFICIAL RECORDS, MODIFIED AND RECORDED SEP 6, 1985 AS INST. NO. 85-338088 OF OFFICIAL RECORDS, MODIFIED AND RECORDED DEC 8, 1986 AS INST. NO. 86-602137 OF OFFICIAL RECORDS, MODIFIED AND RECORDED NOV 18, 1988 AS INST. NO. 88-594765 OF OFFICIAL RECORDS, MODIFIED AND RECORDED APR 20, 2000 AS INST. NO. 00-205298 OF OFFICIAL RECORDS, MODIFIED AND RECORDED DEC 6, 2002 AS INST. NO. 02-1104931 OF OFFICIAL RECORDS, MODIFIED AND RECORDED APR 2, 2009 AS INST. NO. 09-160191 OF OFFICIAL RECORDS, MODIFIED AND RECORDED APR 7, 2009 AS INST. NO. 09-167954 OF OFFICIAL RECORDS, MODIFIED AND RECORDED JAN 21, 2010 AS INST. NO. 10-31632 OF OFFICIAL RECORDS. (AFFECTS, BLANKET)

6 - AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, AND A 2.00' WIDE EASEMENT FOR PUBLIC UTILITIES, SEWERS AND/OR STORM DRAINS AFFECTING THAT PORTION OF PARCEL 2 OF LLA 99-04 PER THAT DOCUMENT RECORDED AUGUST 28, 1935 IN BOOK 760, PAGE 217 OF OFFICIAL RECORDS. (PLOTTED HEREON)

7 - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDING DATE: MAY 14, 1940 RECORDING NO.: BOOK 1041, PAGE 485 AND RECORDING DATE: JUNE 13, 1942 AND RECORDING NO.: BOOK 1148, PAGE 339, OFFICIAL RECORDS. (PLOTTED HEREON)

8 - AN EASEMENT FOR TELEVISION AERIAL LEAD-IN WIRES, RECORDING DATE: OCTOBER 16, 1958 RECORDING NO: BOOK 4450, PAGE 29, OFFICIAL RECORDS. (PLOTTED HEREON)

9 - AN EASEMENT FOR PERPETUAL AIR OR FLIGHT EASEMENT, ALSO REFERRED TO AS AVIGATION RIGHTS RECORDING DATE: MARCH 17, 1984 RECORDING NO.: BOOK 6965, PAGE 721, OFFICIAL RECORDS. (AFFECTS ALL THE AIR SPACE ABOVE SAID PROPERTY, NOT PLOTTED HEREON)

10 - MATTERS CONTAINED IN THAT CERTAIN DOCUMENT, ENTITLED SETTLEMENT AND MUTUAL RELEASE AGREEMENT DATED: SEPTEMBER 24, 1999, RECORDING DATE: OCTOBER 8, 1999, RECORDING NO.: 1999-717080, OFFICIAL RECORDS, AS DOCUMENT DECLARING MODIFICATIONS THEREOF RECORDING DATE: NOVEMBER 25, 2002 RECORDING NO.: 2002-1068898, OFFICIAL RECORDS. (PLOTTED HEREON)

11 - AN EASEMENT FOR PUBLIC UTILITIES, SANITARY SEWERS, AND/OR STORM DRAINS RECORDING DATE: SEPTEMBER 21, 2000 RECORDING NO: 2000-496747, OFFICIAL RECORDS (PLOTTED HEREON)

12 - AN EASEMENT FOR PUBLIC UTILITIES, SANITARY SEWERS, AND/OR STORM DRAINS RECORDING DATE: SEPTEMBER 21, 2000 RECORDING NO: 2000-496747, OFFICIAL RECORDS (PLOTTED HEREON)

13 - MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED GRANT DEED WITH RESERVATION OF EASEMENTS DATED: DECEMBER 4, 2002, RECORDING DATE: DECEMBER 6, 2002, RECORDING NO.: 2002-1104932, OFFICIAL RECORDS. (PLOTTED HEREON)

B - PARCEL B:
AN PERPETUAL, NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS PURPOSES, AS SAID EASEMENT IS SET FORTH IN THAT CERTAIN EASEMENT DEED RECORDED DECEMBER 6, 2002, AS INSTRUMENT NO. 2002-1104933, BY OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA. (PLOTTED HEREON)

STATEMENT OF POSSIBLE ENCROACHMENTS:

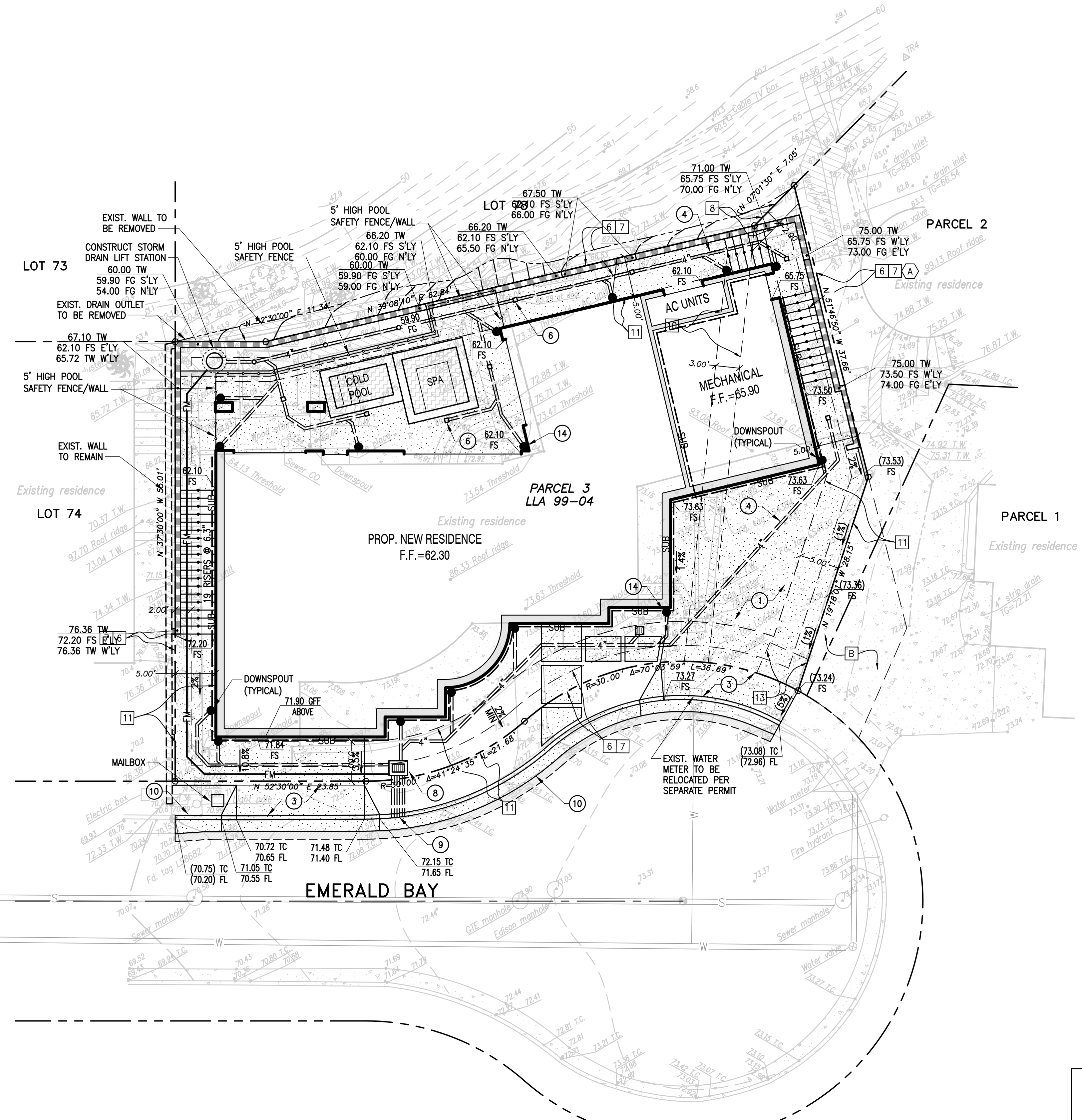
A - BUILDING LIES OVER SCHEDULE B EXCEPTION NOS. 6, 7, 8 AND 11.

LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	PROPOSED CONCRETE PAVING
	PROPOSED STORM DRAIN
	PROP. SUBDRAIN
	PROPOSED BEARING/RETAINING WALL
	EXISTING SCREEN WALL
	PROPOSED SCREEN WALL
	PROPOSED RETAINING WALL
	GRADING LIMITS
	PAD PROPOSED PAD ELEVATION
	T/SLAB PROPOSED TOP OF SLAB
	FS PROPOSED FINISHED SURFACE
	FG PROPOSED FINISHED GROUND
	F.F. PROPOSED FINISHED FLOOR
	INV INVERT OF PIPE
	TC TOP OF GRATE
	P.L. PROPERTY LINE
	TW TOP OF WALL
	TF TOP OF FOOTING
	T.P. TOP OF PILASTER
	P.A. PLANTER AREA
	H.P. HIGH POINT
	• DOWNSPOUT
	T/COP TOP OF COPING

BENCHMARK NOTE:
OCSBM 3K-56-04
ELEV=85.701
NAVD88 DATUM, 2004 ADJ.

BOUNDARY NOTE:
THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS.



ADDITIONAL NOTES

- ALL ROOFS SHALL BE GUTTERED & DOWNSPOUTS CONNECTED TO STORM DRAIN SYSTEM.
- PAD ELEVATIONS ARE BASED ON FOUNDATION PLANS BY ____ DATED ____ SHOWING AN ____" MAT SLAB OVER ____" OF GRAVEL. CONTRACTOR SHALL VERIFY ALL PAD ELEVATIONS W/ SOILS ENGINEER AND STRUCTURAL ENGINEER PRIOR TO GRADING.
- WHERE EXTERIOR/INTERIOR UTILITY TRENCHES ARE PROPOSED IN A DIRECTION THAT PARALLELS ANY BUILDING FOOTING, THE BOTTOM OF THE TRENCHES SHALL NOT EXTEND BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF FOOTING. WHERE THIS OCCURS, ADJACENT FOOTING SHALL BE DEEPEMED OR UTILITY CONSTRUCTED AND BACKFILLED PRIOR TO BUILDING CONSTRUCTION.
- FOR BUILDING FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
- ALL RECOMMENDATIONS WITHIN THE SOILS REPORT FOR THIS PROJECT PREPARED BY XXXXX (J.N. XXXXX, DATED XXXXX) ARE CONSIDERED A PART OF THIS PLAN.
- ALL DRAIN LINES SHALL HAVE A MINIMUM SLOPE OF 1% TOWARDS OUTLETS.

CONSTRUCTION NOTES

- CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3.
- CONSTRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3.
- CONSTRUCT DRIVEWAY APPROACH PER O.C.P.W. STD. 1209.
- INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
- INSTALL 6" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR, OR EQUAL.
- INSTALL 6" FLAT DRAIN NDS 40 W/ RISER & ADAPTOR, OR EQUAL.
- INSTALL 12" ATRIUM DRAIN NDS 1280 W/ RISER & ADAPTOR, OR EQUAL.
- INSTALL 12" x 18" CONC. DRAIN BOX, BROOKS PRODUCTS CB-1218 OR EQUAL.
- CONSTRUCT PIPE OUTLET THROUGH CURB. SEE DETAIL ON SHEET C-3.
- CONSTRUCT 6" CONC. CURB PER O.C.P.W. STD. 120-2 TYPE "A1-6".
- REMOVE & REPLACE 24" WIDE SECTION OF ASPHALT AND REPLACE W/ FULL DEPTH AC (MIN. 8" THICK)
- INSTALL STORM DRAIN LIFT STATION (XXX GPM CAPACITY) DUPLEX SYSTEM WITH BACKUP POWER SOURCE AND ALARM. DESIGN BY OTHERS.
- INSTALL FORCE MAIN, SIZE AND TYPE PER SEPARATE PUMP DESIGN.
- CONNECT DOWNSPOUT TO STORM DRAIN SYSTEM PER DETAIL ON SHEET C-3.
- INSTALL SUBDRAIN PER SOILS ENGINEER. SEE DETAIL ON SHEET C-3.

EARTHWORK QUANTITIES:

CUT 1,300 CY
FILL 0 CY
EXPORT 1,300 CY

NOTICE TO CONTRACTOR
REQUIRED CERTIFICATIONS / APPROVALS
In addition to any certifications required by the agencies having jurisdiction over this project, the following approvals from the Civil engineer of record are required:
1. Foundation forms for improvements on or abutting property lines is required prior to concrete pour.
2. Location, size, and depth of all drain lines prior to backfill.

RETAINING WALLS ARE SHOWN FOR INFORMATION ONLY. THEY ARE TO BE INSPECTED BY OTHERS UNDER A SEPARATE PERMIT.

PIPES INSTALLED UNDER BUILDING SLABS
1. ALL DRAIN LINES (STORM WATER & GROUND WATER) UNDER BUILDING SLABS SHALL BE SCHEDULE 40 PVC.

PRELIMINARY PLAN NOT FOR CONSTRUCTION

COUNTY OF ORANGE PLAN CHECK NO. _____

PLANS PREPARED BY:

TOAL ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY
139 Avenida Navarro
San Clemente, CA 92672
949.492.8588
www.toalengineering.com

REGISTERED PROFESSIONAL ENGINEER
ADAM L. TOAL
No. 59275
CIVIL
STATE OF CALIFORNIA

ADAM L. TOAL
R.C.E. 59275
DATE: 5/23/22

PREPARED FOR:
d'Arcy & Assoc. Architecture
18 TECHNOLOGY DRIVE, SUITE 158
IRVINE, CA 92618
TEL: (949) 407-7760

NO.	REVISIONS	DATE	APVD.	DATE

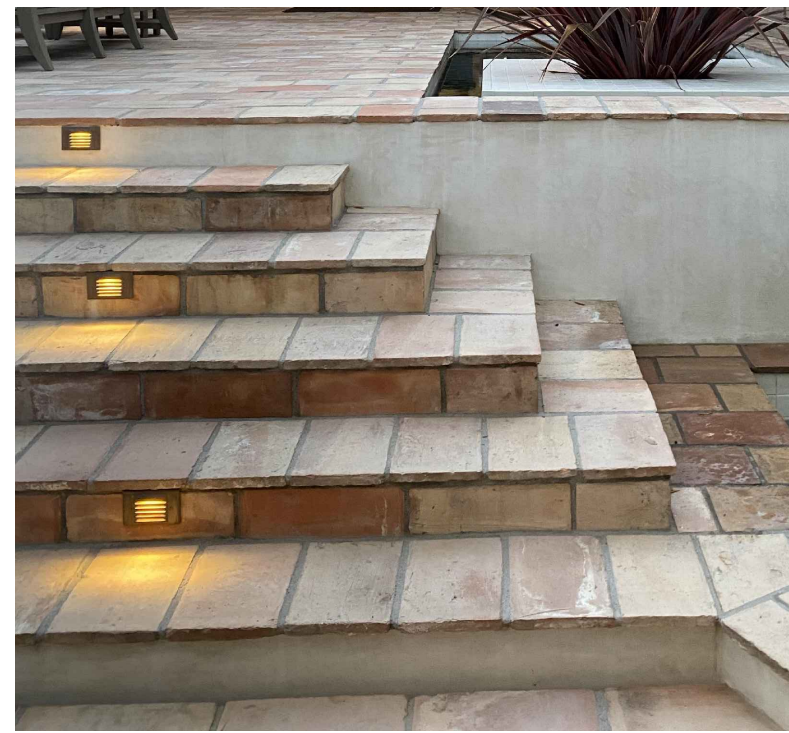
OLSON RESIDENCE
PRELIMINARY GRADING PLAN
PARCEL 3, LLA 99-041
52 EMERALD BAY, ORANGE COUNTY, CA

DATE: 5/12/22	H. SCALE: 1/8"=1'
SURVEY DATE: 4/8/20	V. SCALE: N/A
DRN.: A.M.S.	DWG. NO. C-1
CHD.: A.M.S.	SHEET 1 OF 1
APPD.: A.L.T.	JOB NO. 20053

5/23/2022 11:44:46 AM N:\2005\20053\Drawings\Civil\20053-sp-prime-01.dwg



SIDE YARD GATE CONCEPT



RECLAIMED TERRACOTTA STEPS



RECLAIMED TERRACOTTA PAVERS



COBBLESTONE DRIVEWAY PAVING



COBBLESTONE DRIVEWAY PAVING

**OLSON RESIDENCE
HARDSCAPE LEGEND**

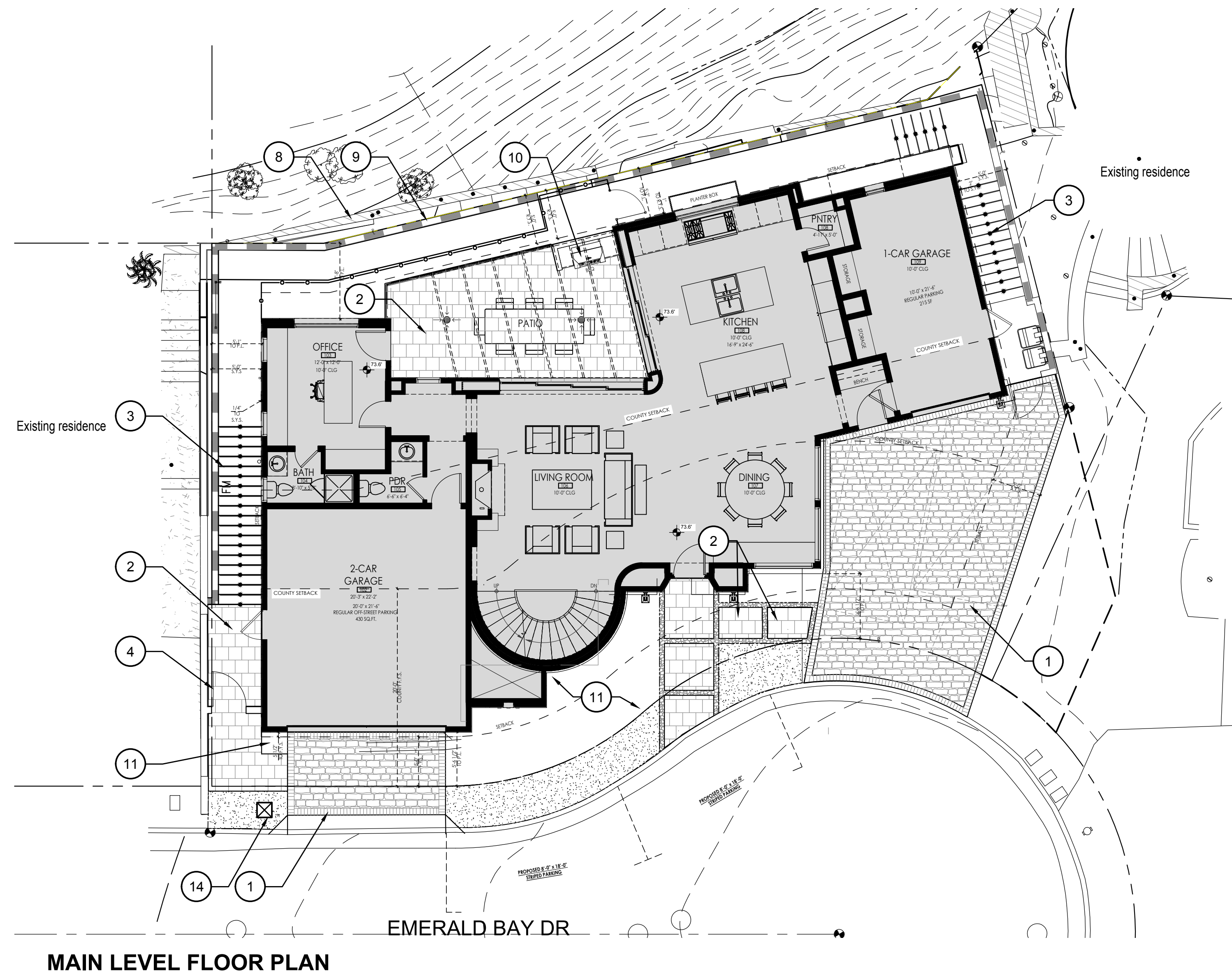
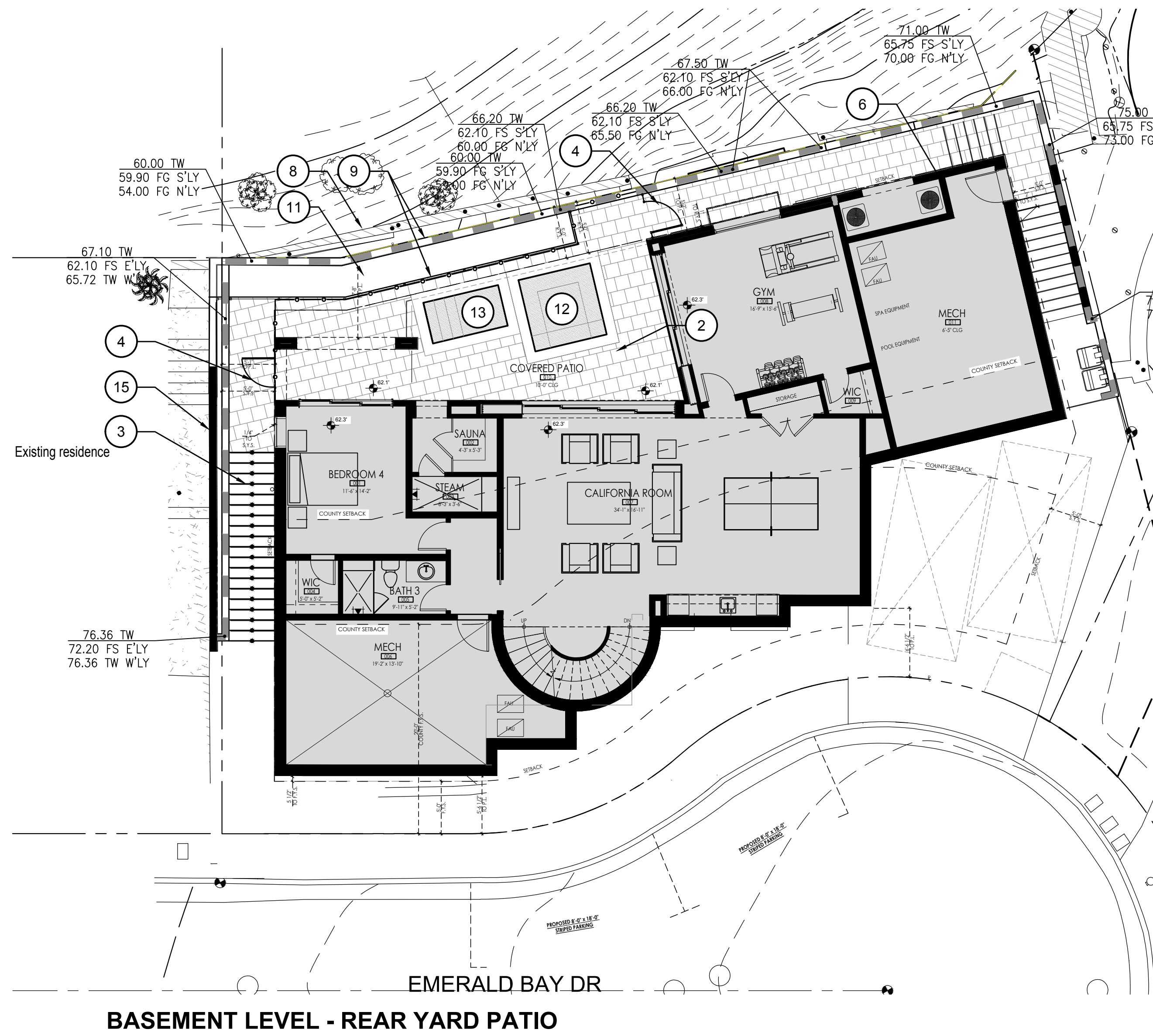
1. NEW GROUDED COBBLESTONE DRIVEWAY W/ DECORATIVE BANDING
2. NEW ANTIQUE TERRACOTTA PAVING
3. NEW ANTIQUE TERRA COTTA STEPS
4. NEW 5'-6" SELF-CLOSING, SELF-LATCHING GATE (5' HT.)
5. EXISTING AIR CONDITIONER LOCATION
6. PROPOSED A/C UNIT LOCATION
8. EXISTING RETAINING WALL TO BE REMAIN
9. NEW MASONRY RETAINING WALLS (NOT TO EXCEED 6' FROM FINISH GRADE TO TOP OF WALL - OUTSIDE OF PL.)
10. BBQ COUNTER
11. PLANTING AREA
12. 7' x 7' BUILT-IN SPA
13. 4' x 7'-4" COLD PLUNGE
14. MAILBOX LOCATION - REFER TO ARCHITECT'S PLAN FOR DETAIL
15. EXISTING PROPERTY WALL TO REMAIN



ZEPHYR
LANDSCAPE ARCHITECTURE

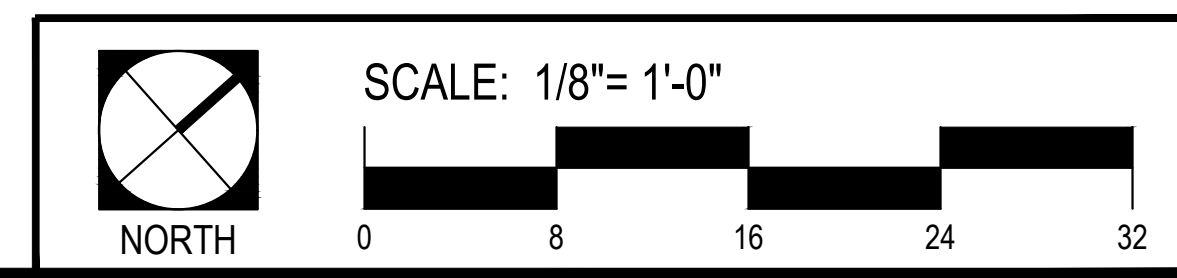
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DATE	REVISION

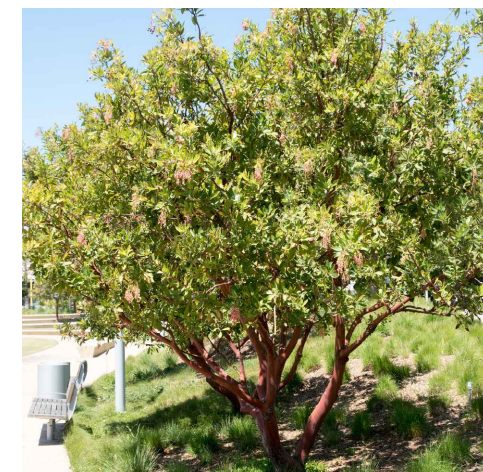


OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651
LANDSCAPE IMPROVEMENT PLANS

PRELIMINARY SET 'A'	ISSUED: 05/18/2022	SHEET DESCRIPTION
	DESIGNED JP	PRELIMINARY HARDSCAPE PLAN
	DRAWN JP	
	1ST SUB. DATE 05/18/2022	
	CAD FILE	
	SHEET NUMBER	L-1
		1 OF 2 SHEETS



TREES



Arbutus 'Marina'

SHRUBS



Ligustrum japonica 'Texanum'

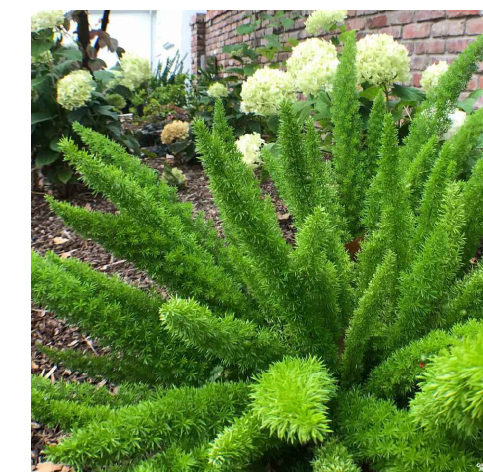


Olea europaea 'Montra'



Westringia fruticosa 'Morning Light'

PERENNIALS & GROUNDCOVERS



Asparagus densiflorus 'Meyer'



Liriope muscari 'variegata'

SUCCULENTS



Agave attenuata

OLSEN RESIDENCE
PLANTING LEGEND

TREES			
ARB MAR	Arbutus 'Marina'	Marina Strawberry Tree	25'W x 40'H
SHRUBS			
LIG TEX	Ligustrum japonica 'Texanum'	Wax Leaf Privet	4'W x 10'H
OLE EUR	Olea europaea 'Montra'	Little Ollie	2'W x 6'H
WES FRU	Westringia fruticosa 'Morning Light'	N.C.N.	4'W x 3'H
SUCCULENTS			
AGA ATT	Agave attenuata	Foxtail Agave	4'W x 3'H
PERENNIALS & GROUNDCOVERS			
ASP DEN	Asparagus densiflorus 'meyeri'	Foxtail Fern	2'W x 4'H
LIR MUS	Liriope muscari 'variegata'	Variegated Lily Turf	18"W x 18"H

SOD LAWN: Marathon II w/ black metal edging

IRRIGATION NOTES:

- ALL LANDSCAPE AREAS TO BE DRIP IRRIGATED WITH AN AUTOMATIC CONTROLLER INCLUDING A WEATHER SENSOR OR SOIL MOISTURE SENSOR & BACKFLOW DEVICE PER COUNTY CODES
- IRRIGATION SYSTEM WILL BE DESIGNED IN COMPLIANCE WITH THE COUNTY OF ORANGE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO REQUIRED FOR NEW LANDSCAPE OF 500 SF OR GREATER)
- IRRIGATION PLAN TO BE SUBMITTED TO THE COUNTY OF ORANGE PRIOR TO PULLING PERMIT



auroralight

Architectural Series
Founders Collection

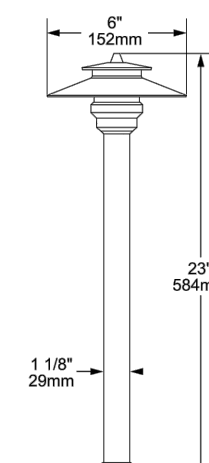


TYPE: LPL6
CAT.#: LPL6

LPL6 LA JOLLA

LPL6 La Jolla is a stunning new entry into our exclusive "Founders Collection," catalog of exquisite exterior luminaires. The incomparable LPL6 La Jolla features a bold, robust frame, strikingly good looks, stellar glare-free performance, and a Copper Louver with precision-machined optics. Use adjacent to paved areas or in planters at the lawn edge. La Jolla: Bold styling, Superior materials, Mechanical innovation, Illuminating performance. Exclusively from Auroralight.

- Features include:**
- 4 or 6 Watts, up to 218 lumens at 2700K
 - Creo XP-L® High Density LED
 - Precision Machined Acrylic Optic
 - 2700K (80 & 90 CRI) or 3000K (80 CRI), or Amber 585-595nm (3W Only)
 - Thermally Integrated w/ Copper Core Technology®
 - 12V Integral Constant Current Driver Ac or Dc Input
 - Dimmable to <10% (TRIAC/Forward Phase)
 - Compatible w/ 12V AC/DC MLV or ELV Transformers
 - Solid Copper and Brass Construction
 - Ships complete with 2GS stake assembly (unless other option selected)



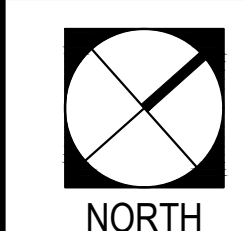
COPPER CORE TECHNOLOGY

Copper Core® is a registered trademark of Auroralight. It is synonymous with the mark of quality and integrity. It means that our products are built upon a superior foundation of Solid Copper, ensuring every critical part functions seamlessly together. Thermally integrated: one component to the end. Auroralight manufactured without compromise, engineered with passion, in the USA.

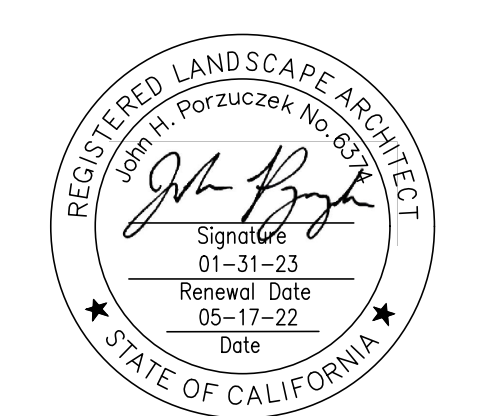
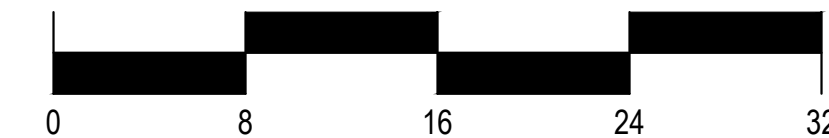


SEE NEXT PAGE FOR ORDERING INFORMATION

CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AURORALIGHT.COM | AURORALIGHT.COM
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SCALE: 1/8" = 1'-0"



ZEPHYR
LANDSCAPE ARCHITECTURE

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DATE	REVISION

OLSON RESIDENCE
52 EMERALD BAY
LAGUNA BEACH, CA 92651
LANDSCAPE IMPROVEMENT PLANS

SHEET DESCRIPTION
PRELIMINARY
PLANTING &
LIGHTING
PLAN

DESIGNED JP
DRAWN JP
TST SUB. DATE 05/18/2022

CAD FILE
SHEET NUMBER

L-2
2 OF 2 SHEETS

