



County Stamp



PROJECT
Reda Residence
412 Emerald Bay
Laguna Beach CA, 92651

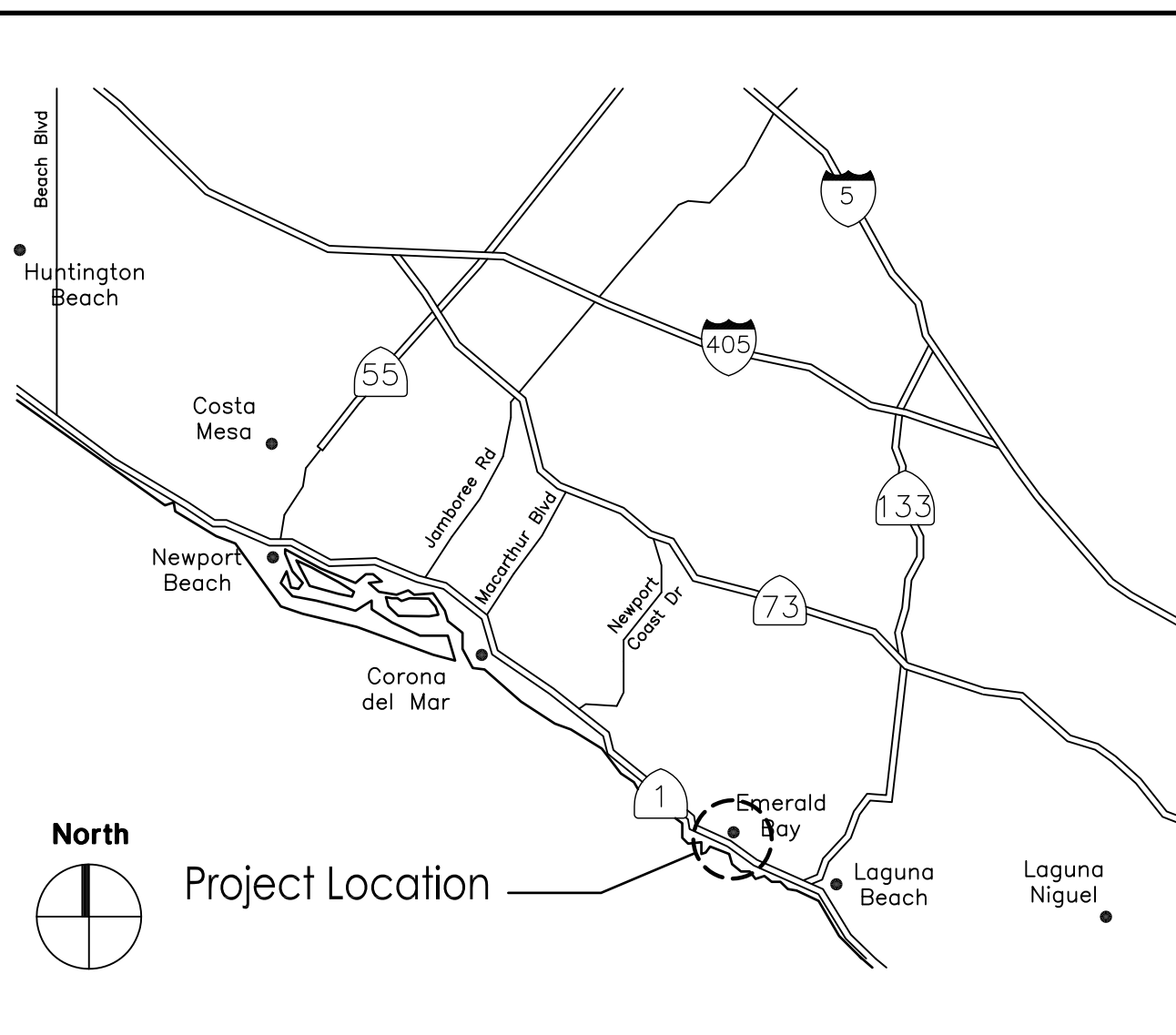
DRAWING DESCRIPTION
Reda Rendering

DATE	ISSUE/REVISION	DRAWN	REVIEW
2021.08.15	Client Meeting	CNS	
2021.9.07	EBCA Concept Submittal	CNS	
2022.02.02	EBCA Preliminary Submittal	CNS	
2022.03.02	EBCA Revised Preliminary	CNS	



A.000
SHEET NO.

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3111 Second Avenue
Corona del Mar, CA 92625-2322
(949) 445-5957 Fax: (949) 445-5554
www.LSarchitects.com



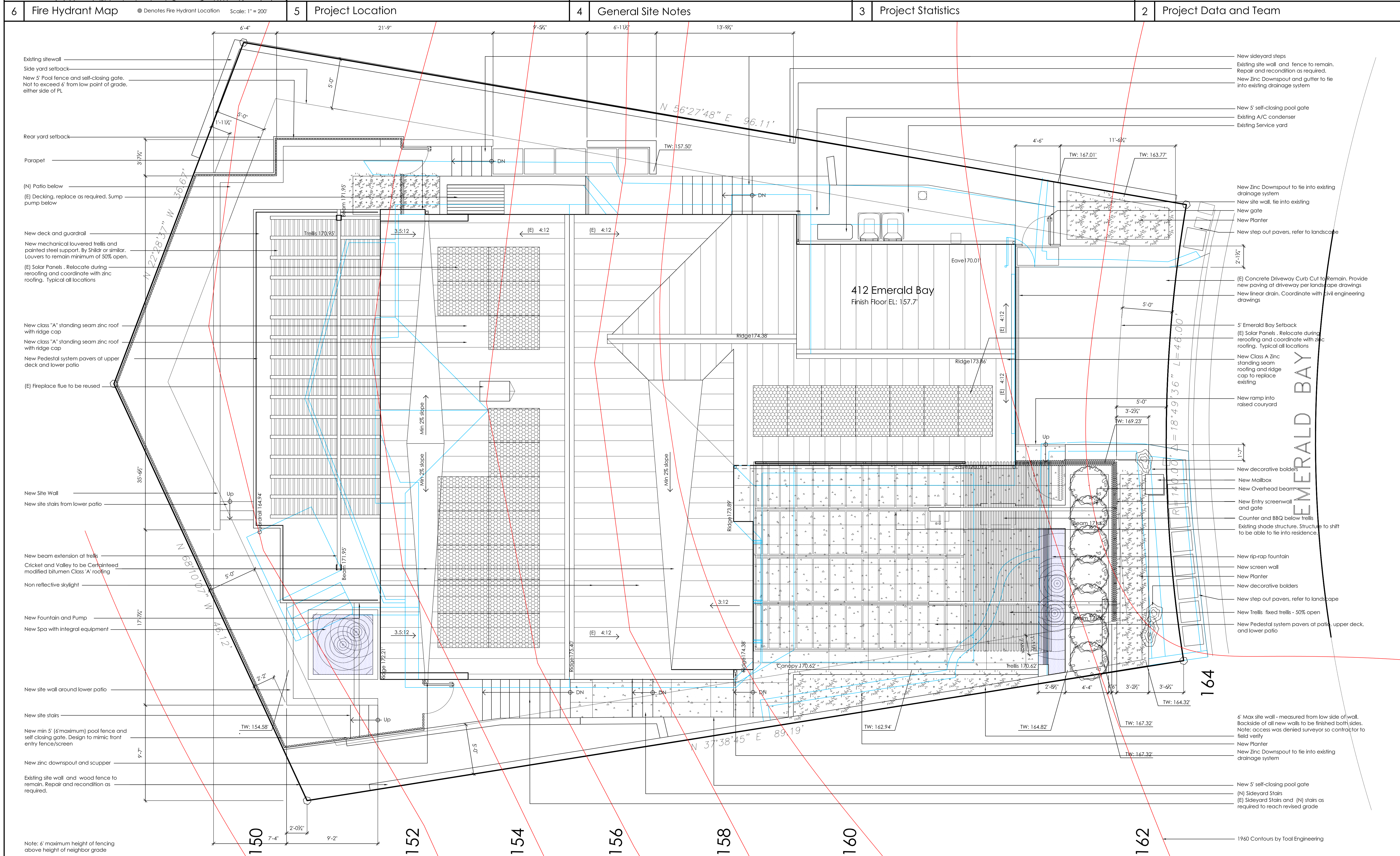
1. Roof raftering minimum requirements:
a. Q-11 Ga., corrosion resistant 3/4" into sheathing per UBC Table 15-B1
b. All roof fasteners shall be installed per manufacturer's instructions.
Fasteners to resist wind loads for winds over 80 mph.
2. Class 'A' roof covering
3. Roofing shall be fire-stopped at eave ends to preclude entry of flame or embers under the roofing materials.
4. Provide approved backwater drainage valve for fixtures located below the elevation of next upstream manhole cover. Fixtures above this elevation shall not discharge through valve.
5. Provide 6" house street number visible and legible from street. Numbers shall be of non-combustible materials in Special Fire Protection Areas. O.C. Bldg. Ord. No. 03-003.
6. All roofs to have gutters and downspouts
7. All downspouts and area drains to be connected to solid drainlines and conveyed to street.
8. Provide 2% slope grade away from structures within 5'-0" of structure. Existing drainage to remain U.N.O.
9. Refer to landscape plan for planning, paving, and additional drainage.
10. Flat roofs, over living, to be Certainteed Modified built up roofing ICC ESR-1388
11. All black walls to be provided with a smooth steel trough plaster finish on both sides, typical, unless noted otherwise. All walls and fences to have a finished appearance when completed

Occupancy:	Group R-3/U			
Zoning District:	R-3			
Construction:	Type V-B			
Number of Stories:	2			
Square Footage:	Existing	Added	Demo	Total
Lower Level	871.0 sf	247.8 sf	0.0 sf	1,118.8 sf
Upper Level	1,710.6 sf	166.6 sf	0.5 sf	1,876.7 sf
Total	2,581.6 sf	414.4 sf	0.5 sf	2,995.5 sf
Garage Area:	44.3 sf	23.6 sf	0.0 sf	430.0 sf + 57.9 sf (incl. in LS)
Deck Cantilevered:	(E) Upper	(N) Upper		Total
	173.5 sf	22.4 sf	-9.6 sf	386.3 sf
Deck Supported:	142.8 sf	-45.6 sf		97.2 sf
Deck Total:	316.3 sf	176.8 sf	-9.6 sf	483.5 sf
Lot Area:	6,115.7 s.f.			
Lot Coverage Existing:	2,205.1 / 6115.7 = 36.1%			
Lot Coverage New:	2433.6 / 6115.7 = 39.8% < 40% so OK			
Parking:	2 Total; 2 Covered, 0 Off-Street (2 required)			
Total Roof (not including trellis):	2490.6sf			
Flat Roof (crickets):	171.7sf			
Total:	171.7sf / 2490.6sf = 6.9% < 15% so OK			
Parapet:	17.6 linear feet / 225.9 total linear feet = 7.8% < 25% so OK			

Project Address:	412 Emerald Bay, Laguna Beach, CA 92651
Legal Description:	Lot 6 Tract 3125
Project Description:	Addition to (E) Residence and Remodel + (N) Hardscapes, Pool, Spa, and Landscape
Owner:	Zac and Moha Reda (714) 488-6607 moha.reda@gmail.com
Design Professional in Responsible Charge:	Craig Schultz - Laidlaw Schultz Architects 3111 Second Ave Corona Del Mar, CA 92625 Phone: 714-445-9982 Fax: 714-445-9554 Email: CSchultz@LSchultz.com
Landscape Architect:	Dale Widdo - DWLA 59 Rockport Irvine CA 92602 Phone: (714) 735-3947 Mobile: (714) 745-3952 Email: dale@dwla.net
Civil Engineer:	Coleb Rios - Tool Engineering 139 Avenida Navarro San Clemente CA 92676 Phone: (949) 472-8586 Email: crios@toolengineering.com

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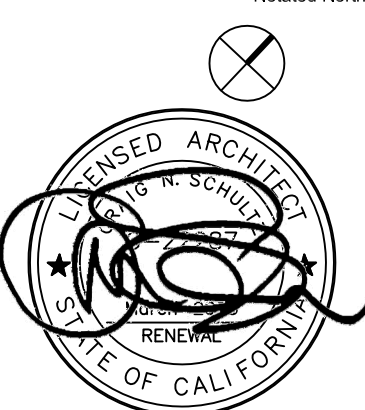
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Site Plan

DATE	ISSUE/REVISION	DRAWN	REVIEW
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2022.02.02	EBCA Preliminary Submittal	CNS	
2022.03.02	EBCA Revised Preliminary	CNS	
2022.03.25	EBCA Revised Preliminary		

Notated North



A.100

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Scale: 1/4" = 1'-0"



9 | Rear Perspective

6 | Rear Perspective

3 | Rear Perspective



8 | Courtyard Birdseye Perspective

5 | Side Birdseye Perspective

2 | Courtyard Birdseye Perspective



7 | Front Perspective

4 | Front Perspective

1 | Front Birdseye Perspective

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Perspectives			
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Task 1: Store Pole Height and Location Certification and Story Pole Construction Notes
The Store Pole must be executed by a registered land surveyor or registered civil engineer in accordance with the Survey Act, 1998. The completed certification must be submitted to the Surveyor General on the Survey Act, 1998 form. The certification must be signed by the Surveyor General and the Surveyor General's Office must be notified of the completed hearing date.

Certification:
I hereby certify that the story poles located on the above referenced site were constructed under my supervision and survey, and the story poles are in the correct horizontal and vertical position and are in accordance with the proposed building and staking plan. I further certify that the attached table identifying 1- the story pole identification numbers, 2- elevations of the top of the surveyed offset hubs, 3- elevations of the top of the story poles, and 4- elevations of the top of the structure, were measured from the top of the hubs is true and correct. I acknowledge and understand that the required project staking is for the purpose of informing the building architect, designer, civil staff, design review committee and the public as to the accurate location and exterior dimensions of the proposed structure or addition.


Story Pole Height and Location Certification

Date: _____

Site Address: 412 Emerald Bay, Laguna Beach, CA 92651

Datum Benchmark: _____

Name of Surveyor or Engineer: _____

Signature of Registered Land Surveyor or Civil Engineer.	Please stamp & Sign Below
Name (printed or typed)	
License No./Expiration Date	
Date	

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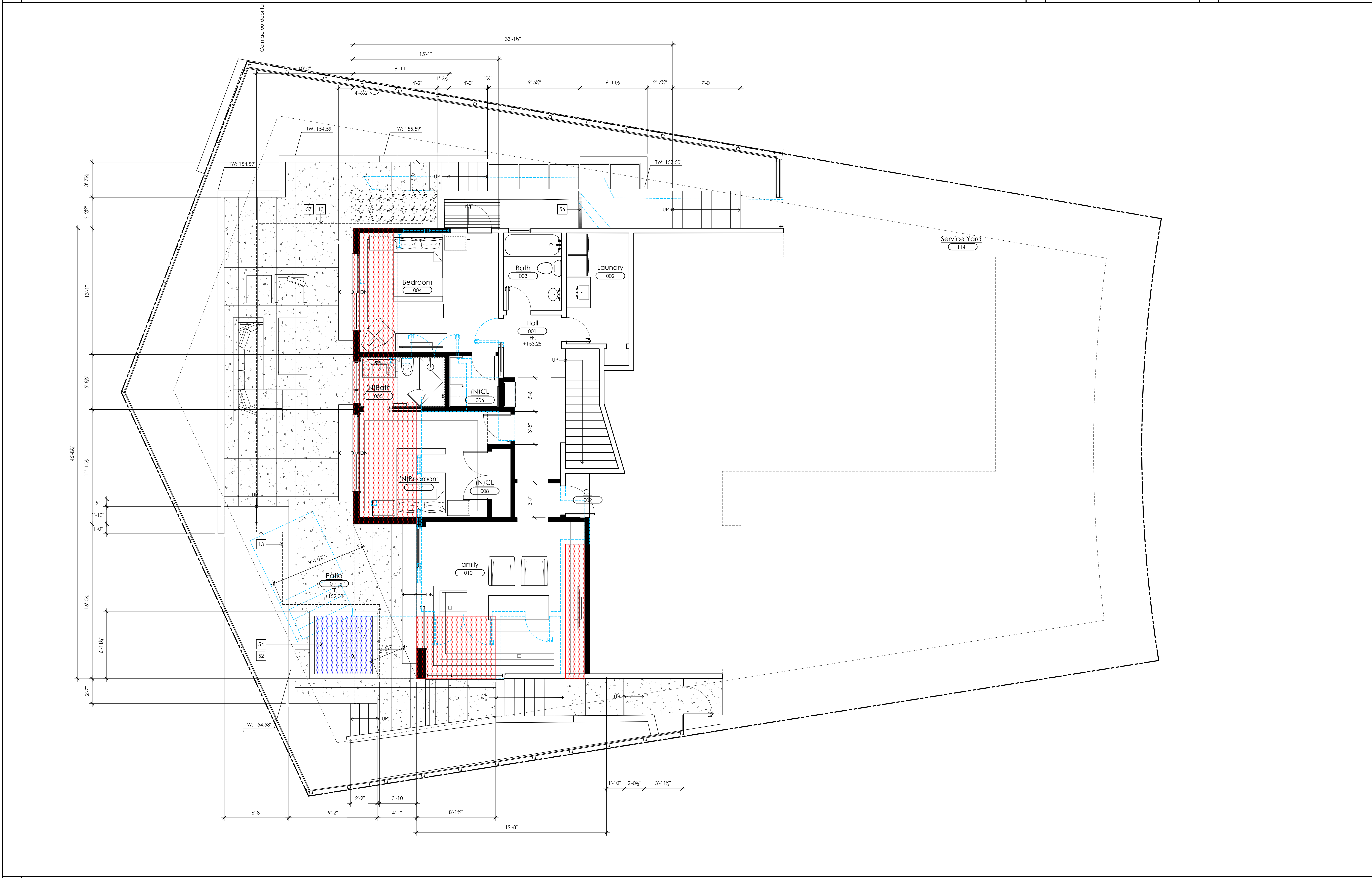
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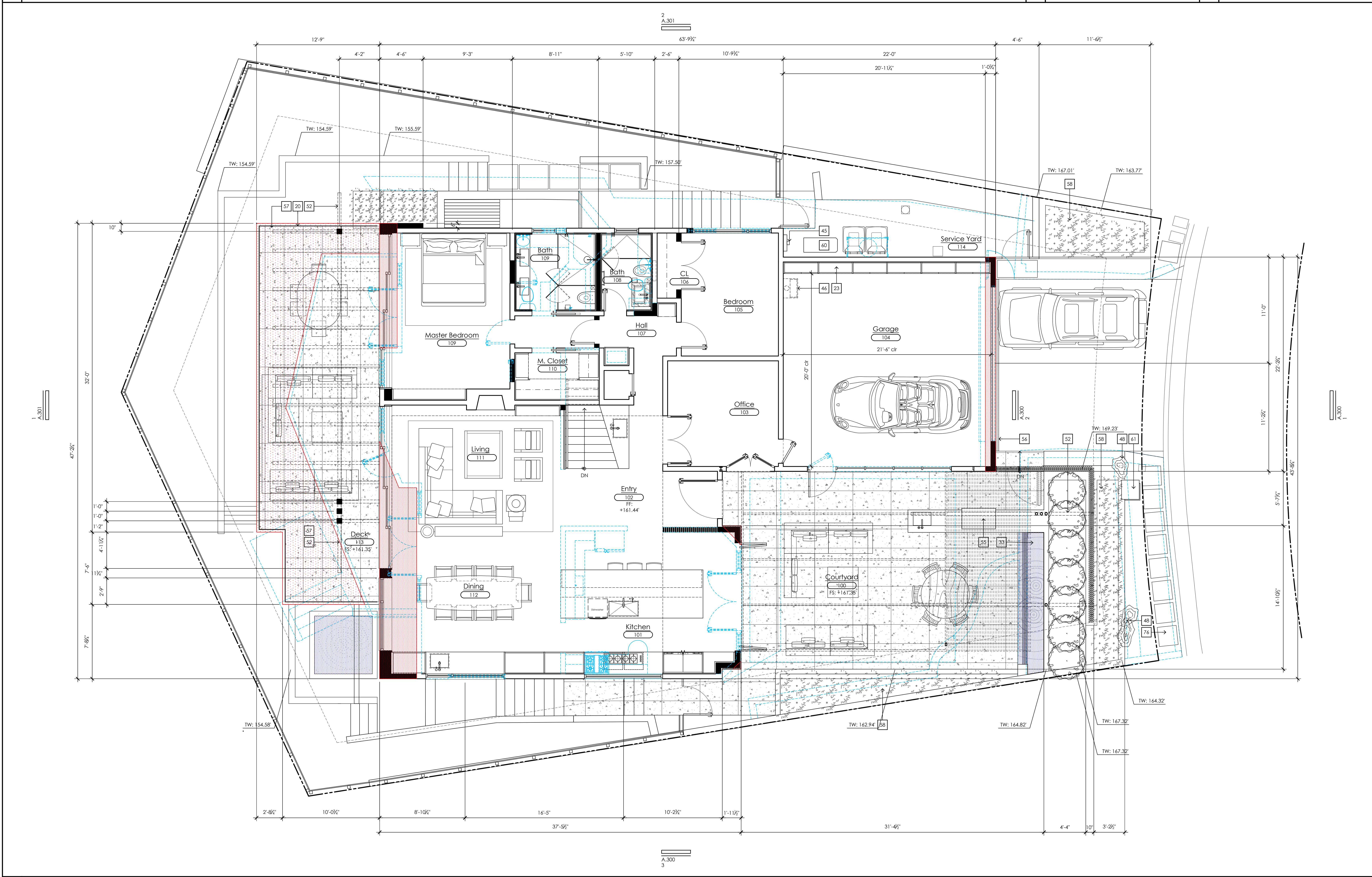
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4 Notes	3 General Notes	2 Legend
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SEAL

REGISTERED ARCHITECT

STATE OF CALIFORNIA

RENEW

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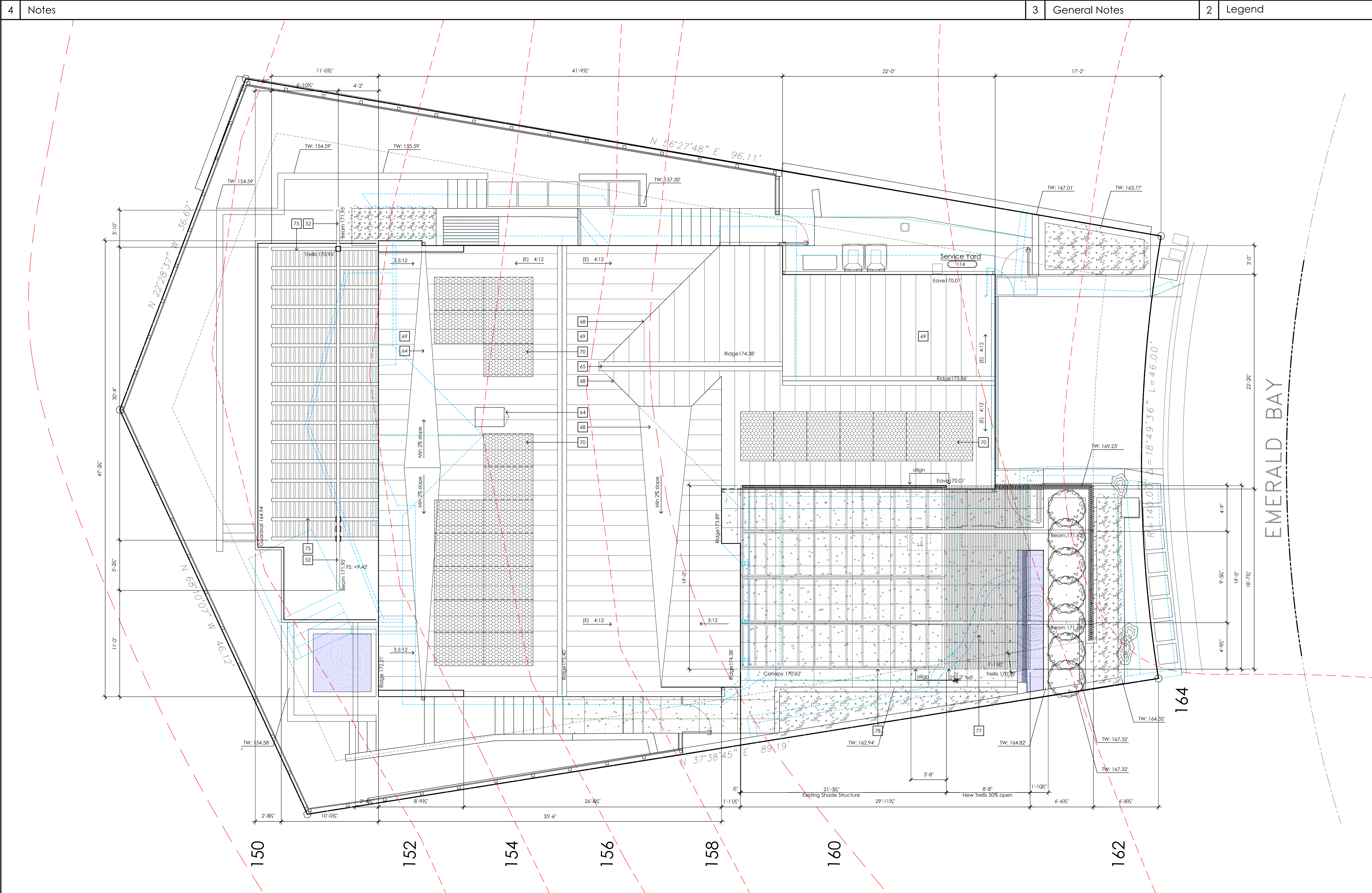
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<div>1. Tub/Shower w/ Anti-Scalding Fixtures. Provide 12" round cleanout. Wall Covering of Shower shall be tile, or approved equal, to a height of min. 70" abv. drain inlet. Shower shall be not less than 1.024 sq. inch of floor area, and a min of 30" d. circle. Floor tile over cement plaster backing. Re: Interior Elevs. Watercloset - 1.6 Gallon/Flush to meet Standards set by American National Inst. Stds. A112.19.2 H and S Code. Conceal water supply</div> <div>2. Lavatory w/ Faucet ____gpm</div> <div>3. Integrated Coffee Maker</div> <div>4. Countertop @ +36" AFF U.N.O.</div> <div>5. Kitchen sink with garbage disposal.</div> <div>6. 48" Professional cooktop with hood. Note: Local exhaust system vented to outdoors shall have a min exhaust rate of 100cfm. BEES 150(a). Exc. 5 to 150.2(a). & ASHRAE Sts. 62.2</div> <div>7. 36" Sub-zero integrated refrigerator. Provide filtered water</div> <div>8. Line of Ceiling. Soffit. Beam above</div> <div>9. Overhead cabinets</div> <div>10. Dishwasher shall be qualified ENERGY STAR appliance with maximum water use as follows (NEMC 15.11.010) Standard Dishwasher: 4.25 gallons per cycle. Compact Dishwashers: 3.5 gallons per cycle. Provide drain pan beneath.</div> <div>11. Line of house above</div> <div>12. Line of roof above</div> <div>13. Line of wall below</div> <div>14. Ptd. millwork with wd. shelf and hanging rod. Refer to Interior Elevations.</div> <div>15. Area Drain. Provide stone inset where flush w/ finish surface</div> <div>16. Linear Slot Drain. Provide stone inset where flush w/ finish surface</div> <div>17. Scupper</div> <div>18. Planter - Re: Landscape. Provide drainage and waterproofing as req.</div> <div>19. Built-in Desk +30"</div> <div>20. Full height millwork. Refer to Int. Elevations.</div> <div>21. Washing machine with recessed floor pan with drain below.</div> <div>22. Clothes dryer. 4" Ø vent w/ max. (2) 90° bends. 14' max run. Vent to daylight at roof w/ vent cap and back draft damper. If exceeds 14', provide ____</div> <div>23. Scheduled UC Ice Maker w/ Drain Pan</div> <div>24. Scheduled Microwave</div> <div>25. Shower Controls to meet CBC Req.</div> <div>26. Scheduled undercounter Refrigerator</div> <div>27. Scheduled Wall Ovens, below cooktop</div> <div>28. Pull-out trash drawer</div> <div>29. Living U203 Masonry fireplace, gas burning only. Re: A.001.c and A.001.d</div> <div>30. New Rip-Rap Fountain</div> <div>31. Vent from Fireplace. Maintain all necessary clearances and mnt. req.</div> <div>32. UC Wine Refrigerator</div> <div>33. FAU</div> <div>34. Pull-out Printer Tray</div> <div>35. Handrail, bronze. 34"-38" above stair nosing</div> <div>36. Steam Shower Unit for Master Shower. Coordinate requirements w/ mnt.</div> <div>37. Zink Downspout w/ hard connection to drainage system - See Civil</div> <div>38. Towel Bar</div> <div>39. Existing Neighboring House</div> <div>40. Robe Hook</div> <div>41. Class 'A' Zinc Standing Seam Roof per schedule</div> <div>42. Meter/Main. Edison Company approval is req. for meter location prior to installation. Ground at service entry equipment w/ eupper ground #4 bar 20' long horizontal in footing. Keep three feet clear from face of electrical panel to any wall surface or obstruction. Amperage to be 200 Amp. Electrical service to be underground for new construction.</div> <div>43. Tankless Water heater. Re: Title 24 calcs. Heater to be located above car nosing - minimum 5' AFF to bottom of tank.</div> <div>44. Bar sink and Garbage Disposal w/ Faucet</div> <div>45. Decorative boulder - coordinate selection and placement with architect and landscape architect</div> <div>46. Mirror. Re: Interiors</div> <div>47. LED Television - Provide backing as required for wall mounting. Provide conduit to A/V cabinet.</div> <div>48. Line of Deck above</div> <div>49. Line of Steel Beam above</div> <div>50. Exterior Shower. All locations w/o roof covering, permanently supply w/ cold water only per UPC 304.0</div> <div>51. Outdoor Spa - reuse</div> <div>52. Wall Sub-Zero 42" Outdoor Gas Grill; 350lbs.</div> <div>53. Linear area drain tied to hard connection. Coordinate with Civil. Slope to Drain.</div> <div>54. Scheduled Paving on Pedestal System. At decks, coordinate w/ structural offset and (E) condition. Discuss possibility of adding plywood @ interior to achieve proper relationship</div> <div>55. Stand alone Planter - Refer to Landscape Drawings. Provide internal waterproofing, drainage and irrigation.</div> <div>56. Shade Pocket slot above</div> <div>57. Existing A/C condenser</div> <div>58. Custom Mailbox</div> <div>59. New Elevator Equipment</div> <div>60. Utility Sink and Faucet ____gpm max</div> <div>61. Cicket - Certainteed Modified bitumous roofing. Class 'A' rating</div> <div>62. Zinc ridge cap</div> <div>63. Inset 1/2" zinc divider strip</div> <div>64. Zink Gutter</div> <div>65. Valley - Certainteed Modified bitumous roofing Class 'A' rating.</div> <div>66. Class 'A' Natural zinc standing seam roof</div> <div>67. (E) Solar Panels - remove during roofing. Coordinate with Zinc roofing, hold-offs, and waterproofing</div> <div>68. Evaluate and update (E) Fountain and reconfigure to match current design</div> <div>69. Stone plinth for sculpture</div> <div>70. New Stone blocks to surround Fountain. Coordinate w/ Arch. and Landscape Arch. for composition in field.</div> <div>71. Ironing Board per mnt</div> <div>72. New custom mechanical louvered trellis and painted steel support. by Shildr or similar. Louvers to be able to close to a maximum of 50% opening. Step-out pavers - refer to landscape drawings</div> <div>73. New painted steel trellis - trellis members to provide a minimum of 50% open to sky. Coordinate alignments with existing shade structure.</div> <div>74. Existing shade structure and sliding awnings. Structure to shift toward house for structural support as existing roof overhangs have been removed.</div> <div>75. All dimensions are to be to the finished face or centerline of the partition U.N.O.</div> <div>76. G.C. to layout (in paint) the locations of all partitions, doors, lighting, ceiling elements, sprinklers, switches, dimmers, thermostats, power & comm. outlets, millwork and furniture for approval by the Architect prior to construction.</div> <div>77. It is the responsibility of the contractor to bring to the attention of the Architect any field conditions that do not allow construction or installation as drawn.</div> <div>78. Do not scale drawings. Dimensions as indicated take precedent over drawings.</div> <div>79. Provide continuous backing for reinforcing of walls to hang millwork, furniture shelving or cabinetry.</div> <div>80. Provide millwork shop drawings for Architect's approval. Millwork to comply with the recommendations of the Woodwork Institute of California (WIC).</div> <div>81. Any door hardware associated with millworker provided doors is to be ordered by the millworker.</div> <div>82. G.C. to provide full-time superintendents' supervision on the project.</div> <div>83. At bathroom accessories, such as grab bars, towel bars, soap dishes, etc. on or within walls - shall be sealed against moisture. Provide backing as required.</div> <div>84. Avoid cut tiles and brick. Layout to consider final requirement, adjust as necessary. Notify Architect of changes.</div> <div>85. Existing Wall 2x6</div> <div>86. Existing Wall 2x4</div> <div>87. New Wall</div> <div>88. 1 Hour Fire Rated Wall. RE: (Min. 1/2" GWB up to Underside of Roof Sheathing, on Garage Side Only)</div> <div>89. New or Existing Masonry Wall</div> <div>90. 2x Wall w/ Masonry (Tile, Brick, Concrete, or Stone)</div> <div>91. New Scheduled Pavers</div> <div>92. New Floor or Deck Area</div> <div>93. Fountain or Spa</div> <div>94. New pavers - on pedestal system</div> <div>95. Existing Walls to be Demoad</div>		3	General Notes	2	Legend
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1	Roof Level Plan	Scale: 1/4" = 1'-0"	
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County Stamp

LSarchitects

LAIDLAW SCHULTZ

PROJECT

Reda Residence
412 Emerald Bay
Laguna Beach CA, 92651

DRAWING DESCRIPTION

Floor Plans

DATE	ISSUE/REVISION	DRAWN	REVIEW
2021.08.15	Client Meeting	CNS	
2021.9.07	EBCA Concept Submittal	CNS	
2022.02.02	EBCA Preliminary Submittal	CNS	

Notated North

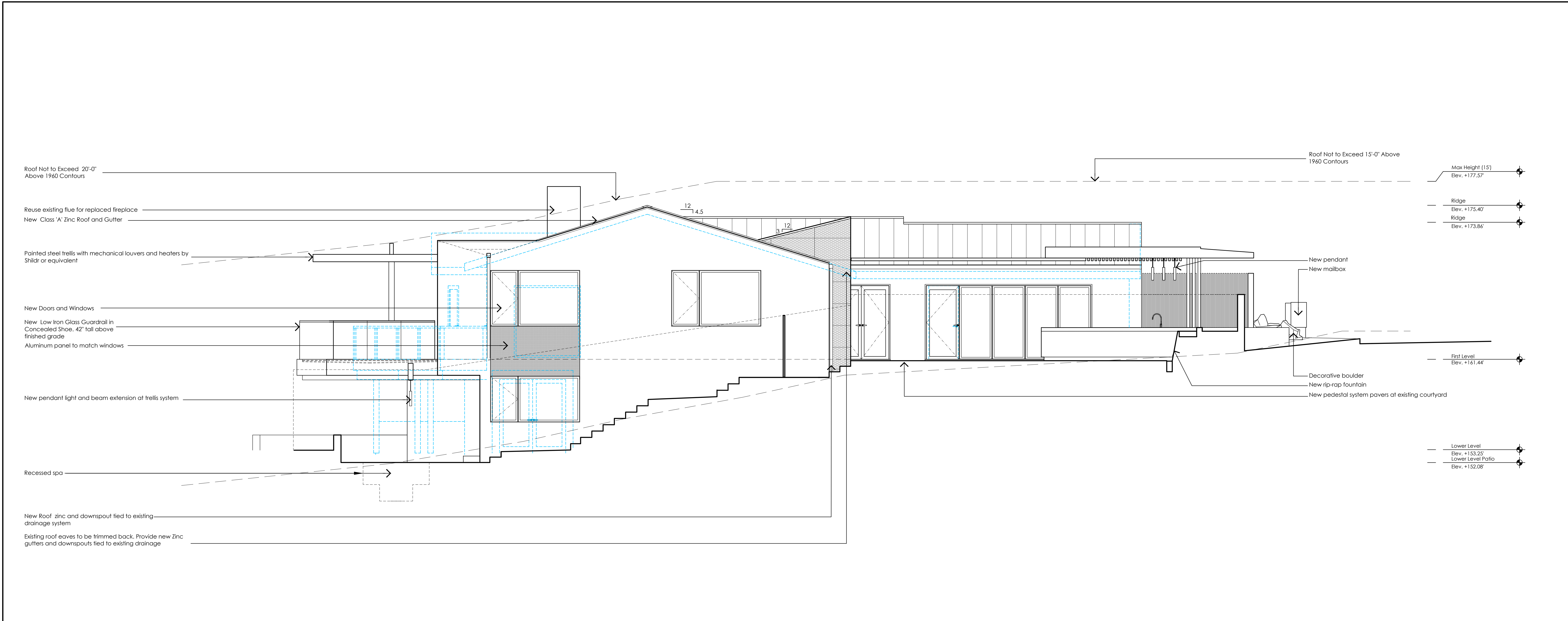
SEAL

A.202

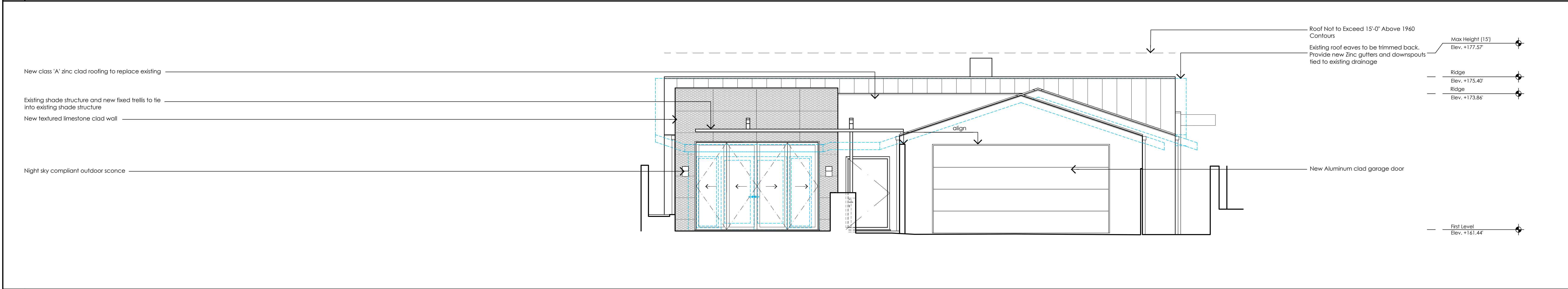
SHEET NO.

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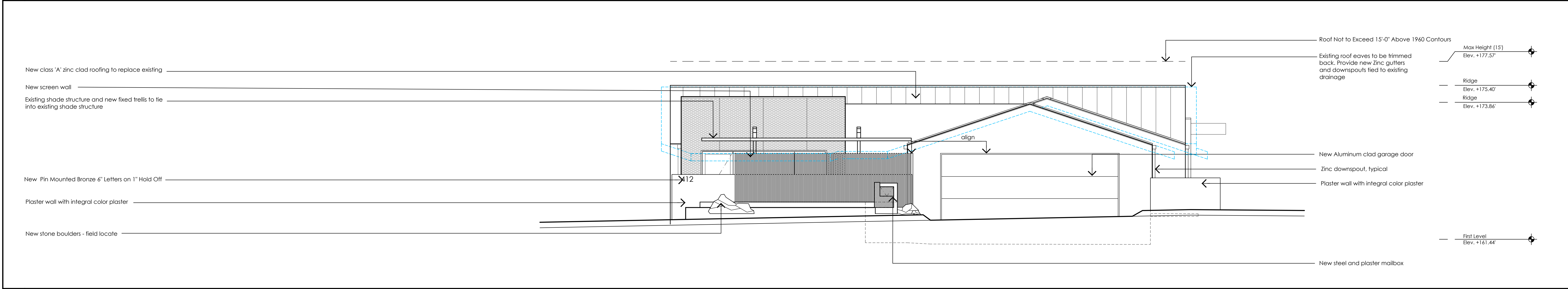
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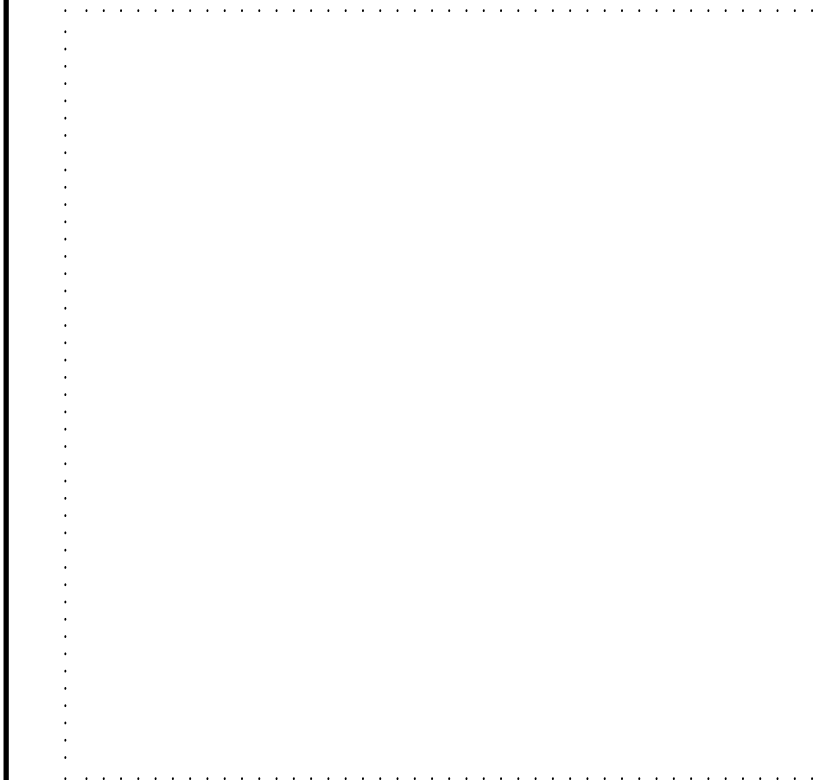
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2 Courtyard Elevation



1 Street Elevation Scale: 1/4" = 1'-0"



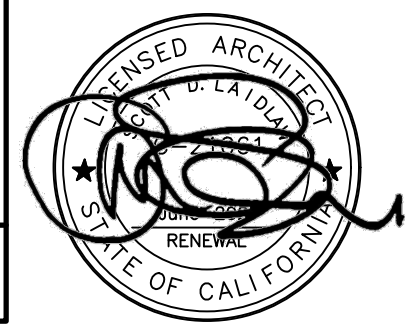
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PROJECT
Reda Residence
412 Emerald Bay
Laguna Beach CA, 92651

DRAWING DESCRIPTION
Exterior Elevations

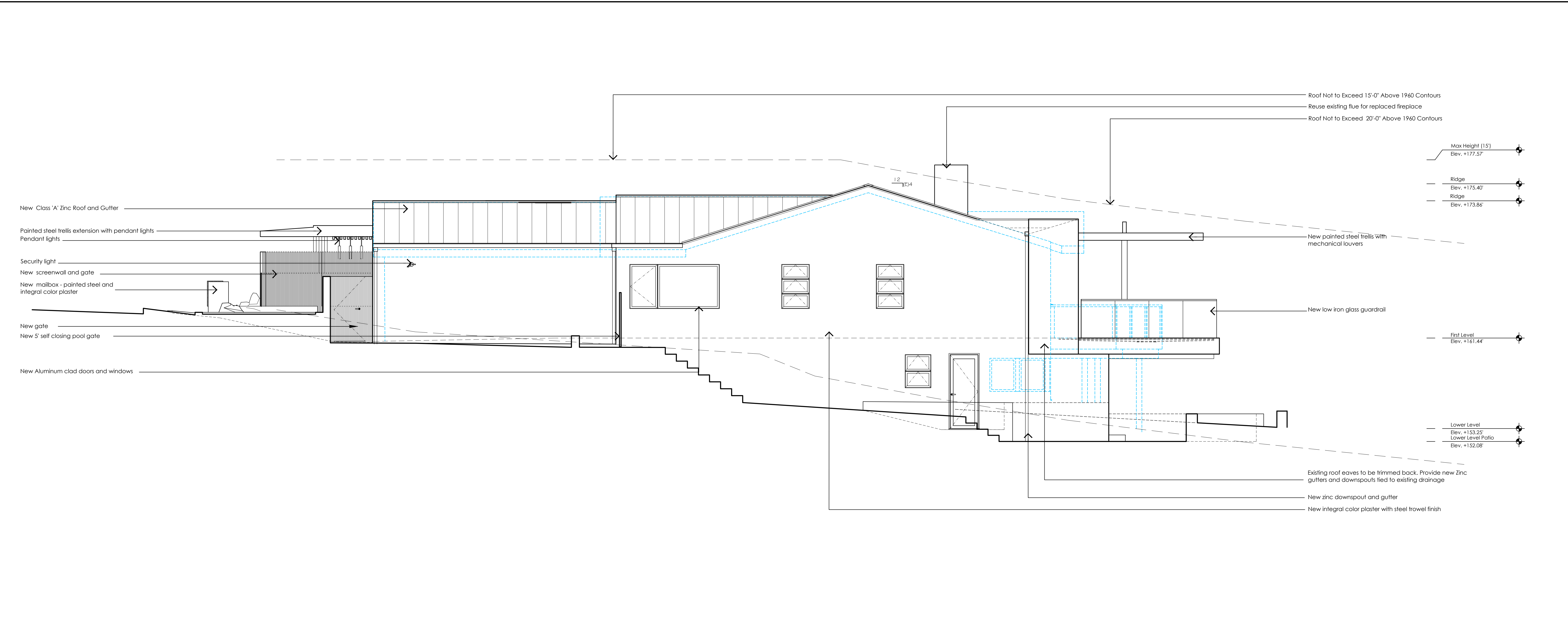
DATE	ISSUE/REVISION	DRAWN	REVIEW
2021.08.15	Client Meeting	CNS	
2021.9.07	EBCA Concept Submittal	CNS	
2022.02.02	EBCA Preliminary Submittal	CNS	



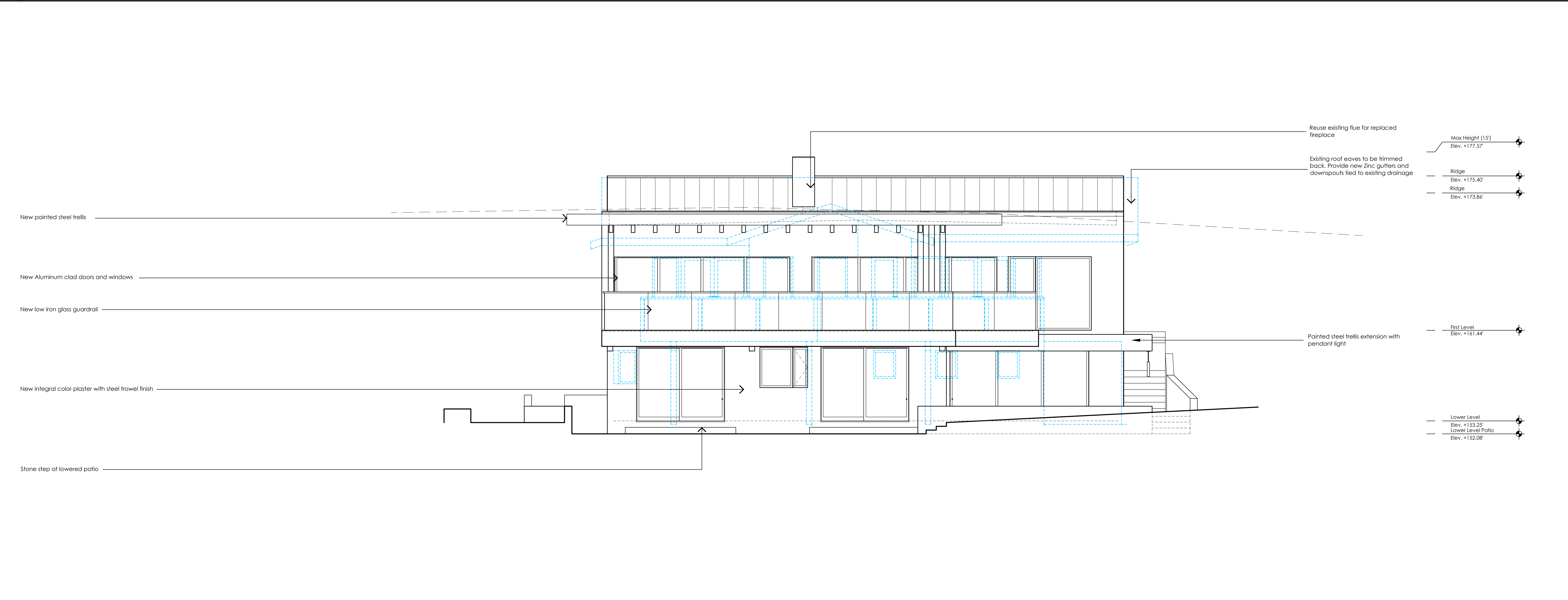
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2 South Elevation Scale: 1/4" = 1'-0"



1 West Elevation Scale: 1/4" = 1'-0"

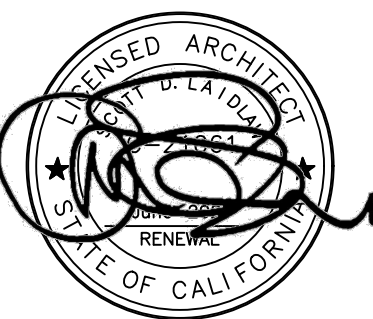
County Stamp



PROJECT
Reda Residence
412 Emerald Bay
Laguna Beach CA, 92651

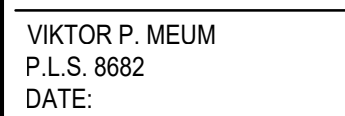
DRAWING DESCRIPTION
Exterior Elevations

DATE	ISSUE/REVISION	DRAWN	REVIEW
2021.08.15	Client Meeting	CNS	
2021.9.07	EBCA Concept Submittal	CNS	
2022.02.02	EBCA Preliminary Submittal	CNS	



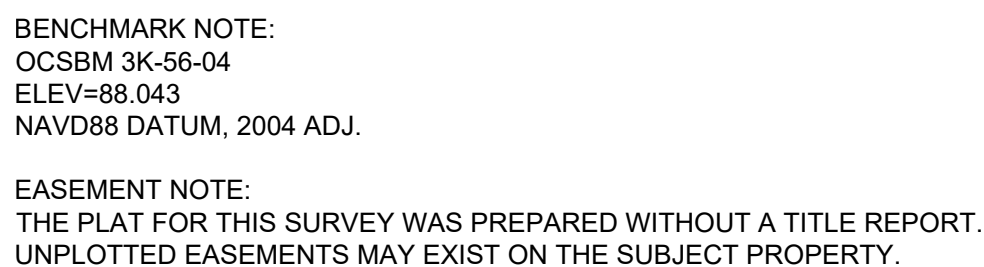
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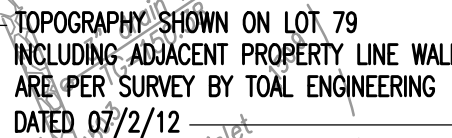
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LOT 64, TRACT 977, APN 053-071-71
412 EMERALD BAY, LAGUNA BEACH, CALIFORNIA
Survey/Tract/21973-In-01.dwg

DATE: 12-17-21	H. SCALE: 1/8"=1'	
SURVEY DATE: 11-17-21	V. SCALE: -	
DRN.: MSF	DWG. NO.	
CHD.: -	TP-01	
APPD.: VM		
JOB NO. TP-01	SHEET 1	OF 1



BOUNDARY NOTE:
THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF
THE RECORD BOUNDARY TO THE FOUND MONUMENTS
AND LINES OF OCCUPATION. IT SHALL NOT BE
CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY
SURVEY IS RECOMMENDED PRIOR TO DESIGN OR
CONSTRUCTION OF IMPROVEMENTS.



- 

8

UTILITIES PLOTTED HEREON ARE PER EMERALD BAY COMMUNITY ASSOCIATION UTILITIES MAP BY URS DATED NOVEMBER 2004.

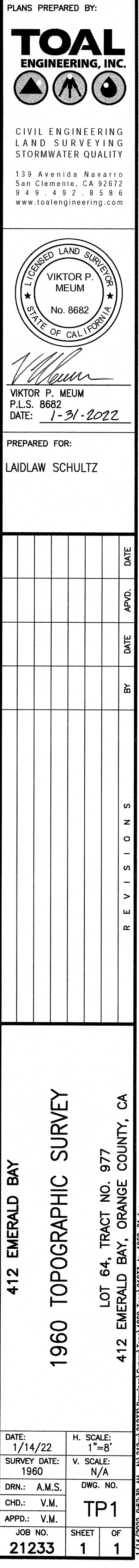
1	CONSTRUCT CONCRETE HARDSCAPE.
2	INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
3	INSTALL 6" ATRIUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL.
4	INSTALL 6" DECK DRAIN NDS TYPE 920B W/ RISER & ADAPTOR OR EQUAL.
5	INSTALL 12" ATRIUM DRAIN NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL.
6	CONSTRUCT PIPE OUTLET THROUGH CURB. SEE DETAIL ON SHEET C-3.
7	INSTALL 12"x12" CATCH BASIN W/ PARKWAY CATCH, BROOKS B-1212 OR EQUAL.
8	INSTALL FORCE MAIN, SIZE AND TYPE PER SEPARATE PUMP DESIGN.
9	CONNECT DOWNSPOUT TO STORM DRAIN SYSTEM PER DETAIL ON SHEET C-3.
10	INSTALL SUBDRAIN PER SOILS ENGINEER. SEE DETAIL ON SHEET C-3.
11	INSTALL 8" CHANNEL DRAIN WITH TRAFFIC RATED GRATE.
12	INSTALL 4" CHANNEL DRAIN WITH PEDESTRIAN RATED GRATE.
13	EXISTING PUMP SYSTEM TO BE UPGRADED TO PROVIDE A MIN. GPM=305 GPM.
14	INSTALL NEW FENCE PER LANDSCAPE PLANS.

1	EXISTING WATER SERVICE TO REMAIN, PROTECT IN PLACE AND ADJUST TO GRADE.
2	EXISTING WALL TO REMAIN. PROTECT IN PLACE.
3	EXISTING FENCE TO REMAIN. PROTECT IN PLACE.
4	EXISTING DRIVEWAY GRADES TO REMAIN.

EASEMENT NOTE:
THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT
UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

COUNTY OF ORANGE PLAN CHECK NO.

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SHRUBS

Dianella Little Rev	Flax Lily	18" ht. x 18" wide
Olea Little Ollie	Dwarf Olive	4' ht. x 4' wide
Ligustrum j. Texanum	Texas Privet	6' ht. x 3' wide
Sansevieria Moonglow	Snake Plant	18" ht. x 12" wide
Dianella Cassa Blue	Flax Lily	24" ht. x 18" wide

GROUNDCOVERS

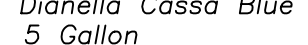
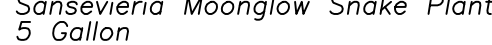
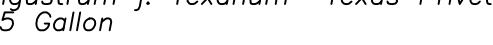
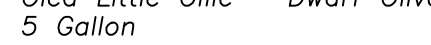
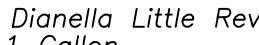
Provide 3" layer shredded bark mulch under all shrub areas.
Provide sample to Landscape Architect for review and approval.
R & S Soils 2" - 4" Forest Floor

TABULATION

Landscape Area = 1,161 S.F. (plus Spa 35 S.F.)










NOTE

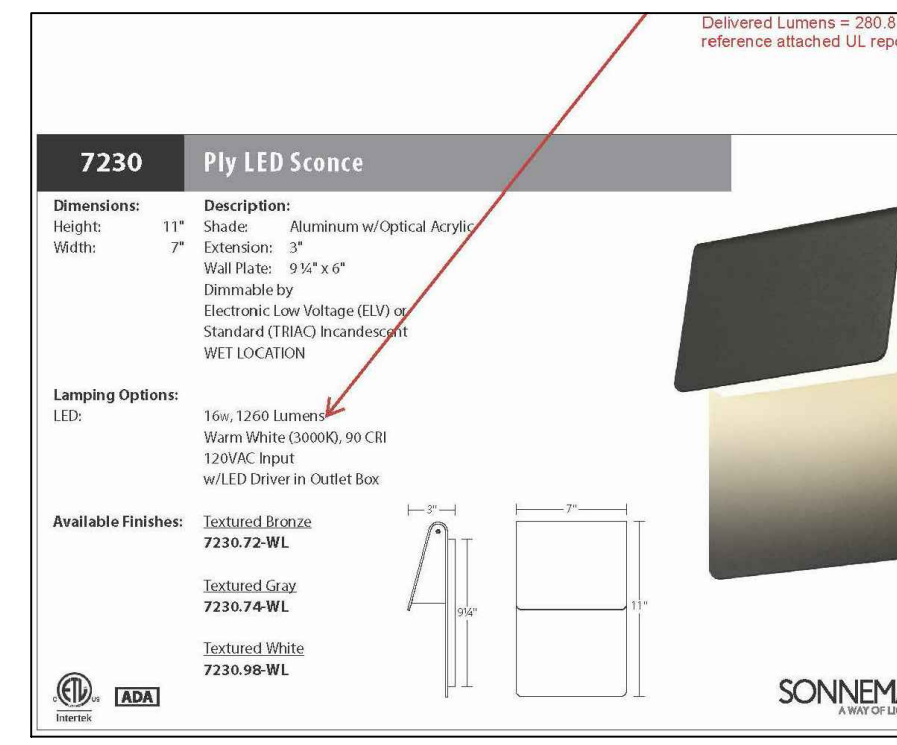
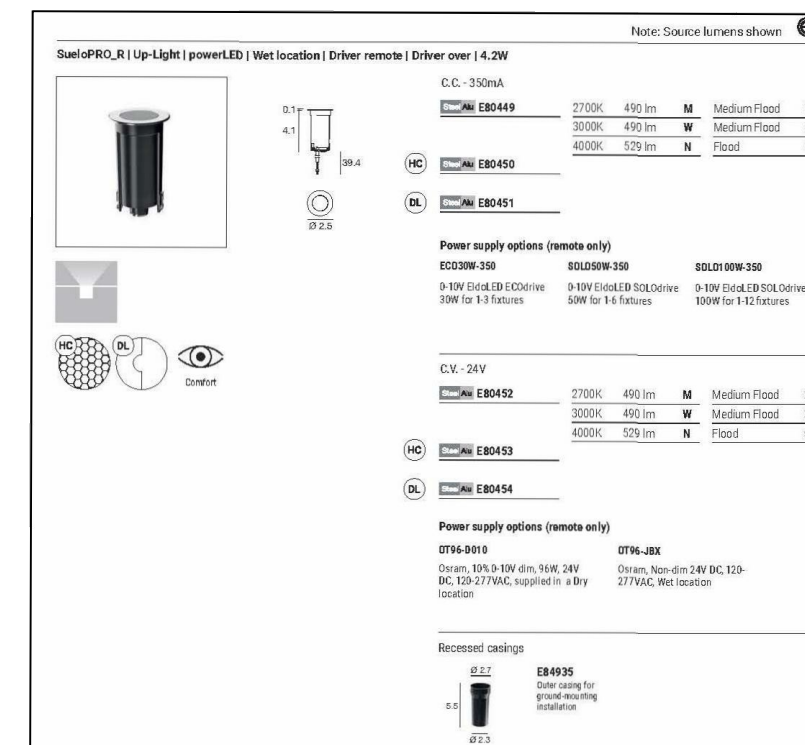
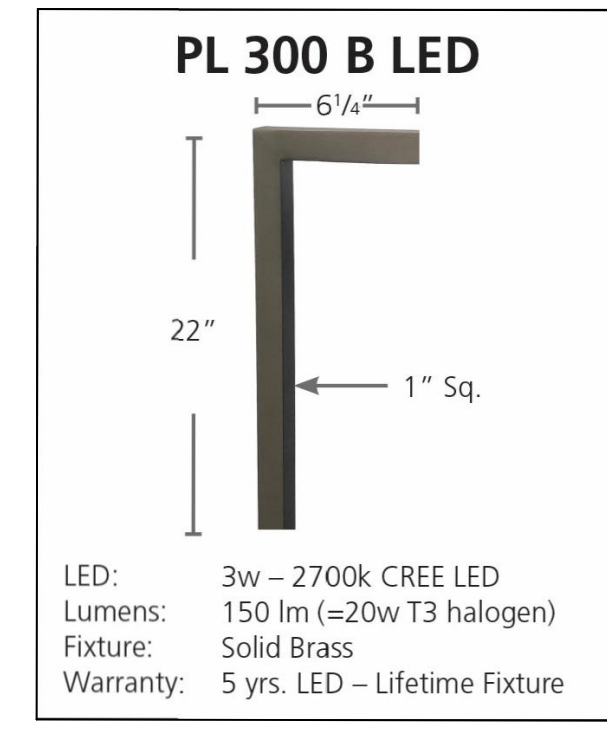
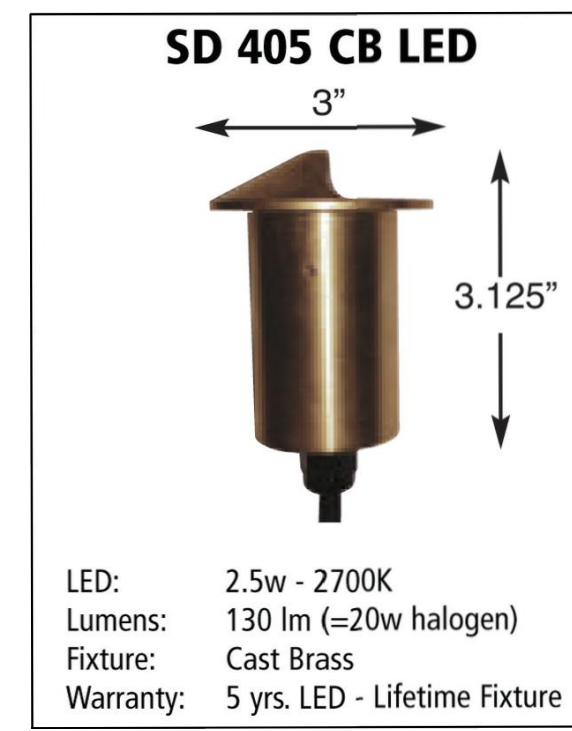
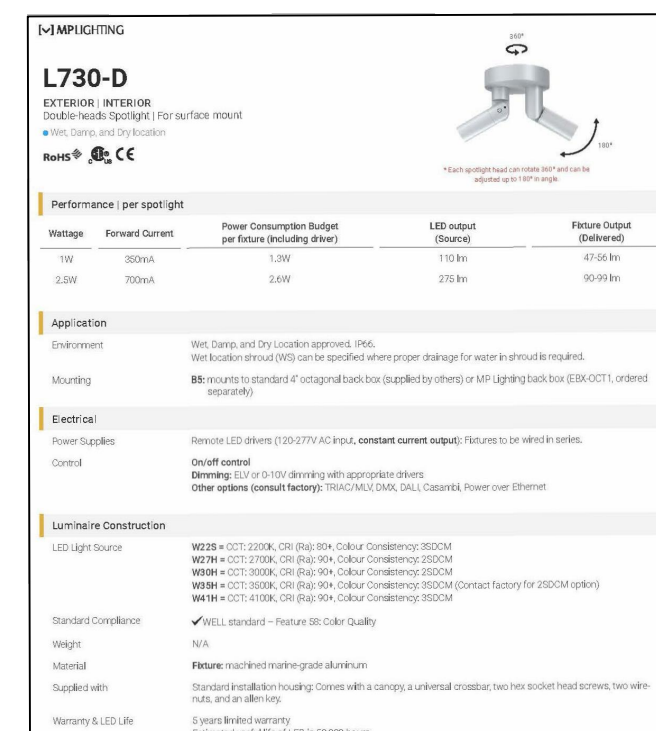
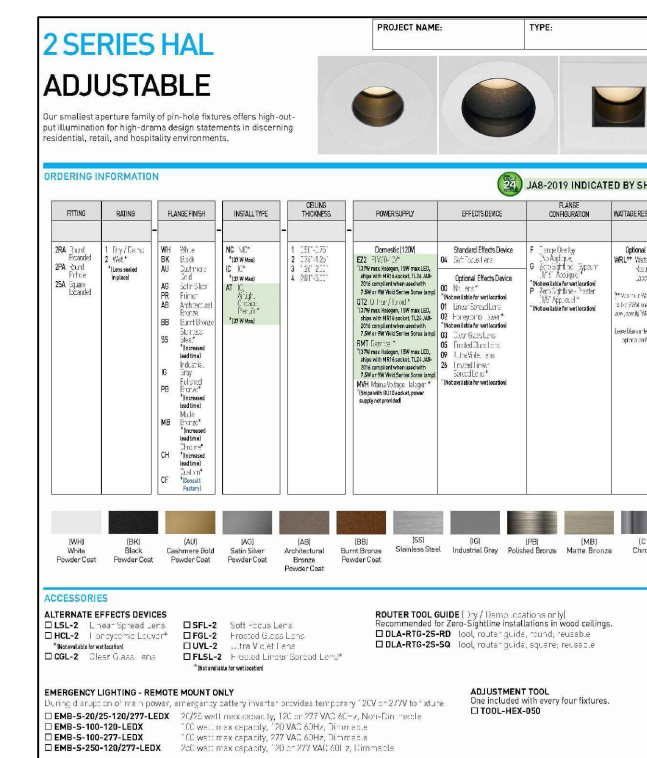
Entire Site Shall be Automatically Irrigated



Qty	Symbol	Equipment
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44—SHIDLR LIGHTING LINEAR INTEGRAL LED TRELLIS DOWNLIGHT ON DIMMER

4		FX10 TAOS PENDANT LIGHTS 6W 2700K LED 120V
10		FX2 EX2 2 SERIES HAL UNDER DECK LIGHTS 7.5W 2700K LED 120V
1		FX9 L7300 SECURITY LIGHT 2.5W 2700K LED 120V ~ 275 LUMENS
31		LIGHTING INNOVATIONS SOLID BRASS SO 405 3" DIA. RECESSED WALL DOWNLIGHT 2.5W 2700K LED 12V ~ 20W MR11 LIGHT EQUIVALENT
		LIGHTING INNOVATIONS SOLID BRASS PL300 PATH DOWN LIGHT 1" SHADE ~ 22" POST 3W 2700K LED 12V ~ 20W T3 LIGHT EQUIVALENT PROVIDE HD STAKE
		FX01 SUELO PRO SOLID BRASS UPLIGHT/GARAGE DOWNLIGHT 4.2W 2700K LED 12V ~ 20W MR16 LIGHT EQUIVALENT
7		FX7 LIGHTING INNOVATIONS SOLID BRASS UW 500CB UNDERWATER FOUNTAIN LIGHT 4W 2800K LED 12V ~ 20W MR11 LIGHT EQUIVALENT 280 LUMENS
2		X1 SONNEMAN ALUMINUM/ACRYLIC 7230 PLY LED WALL SCONCE 16W 2800K LED 120V 280 LUMENS
		LIGHTING INNOVATIONS 12V LED TRANSFORMER (LIN. INTEGRAL LIGHTS ON MAGNETIC TRANSFORMER/DIMMER) 120V/200V 100W MAXIMUM POWER SOURCE 120V POWER SOURCE BY OWNER UL 1838 APPROVED FOR UNDER-WATER LIGHTS MAKE UNDERGROUND CONNECTIONS USING SPEARS DS 400 PRE-FILLED DRIP-SPOUT CONNECTORS ALL MOUNTING SCREWS & FASTENERS SHALL BE STAINLESS STEEL USE 12-2 GA. DIRECT BURIAL LOW VOLTAGE CABLE BURIED 6" MINIMUM PROVIDE SEPARATE AUTOMATED ZONES PER OWNERS REQUEST USE WATERPROOF SWITCHES IN EXTERIOR LOCATIONS



Date 28 MAR 22
Revision

Title

**PRELIMINARY
LANDSCAPE
PLAN**

Sheet

1 OF 1

Scale 1"=8'-0"

Job Number 22-102

D W L A
Dale Waldo Landscape Architecture
59 Rockport Irvine, California 92602
Phone (714)730-3947 Fax (714)730-3987
License number 2528

REDA RESIDENCE
LOT 64 TRACT 977
412 EMERALD BAY in LAGUNA BEACH
Maha & Zac Reda 412 Emerald Bay Laguna Beach, CA 92651 7

Maha & Zac Reda 412 Emerald Bay Laguna Beach, CA 92651 714 488-6607

13