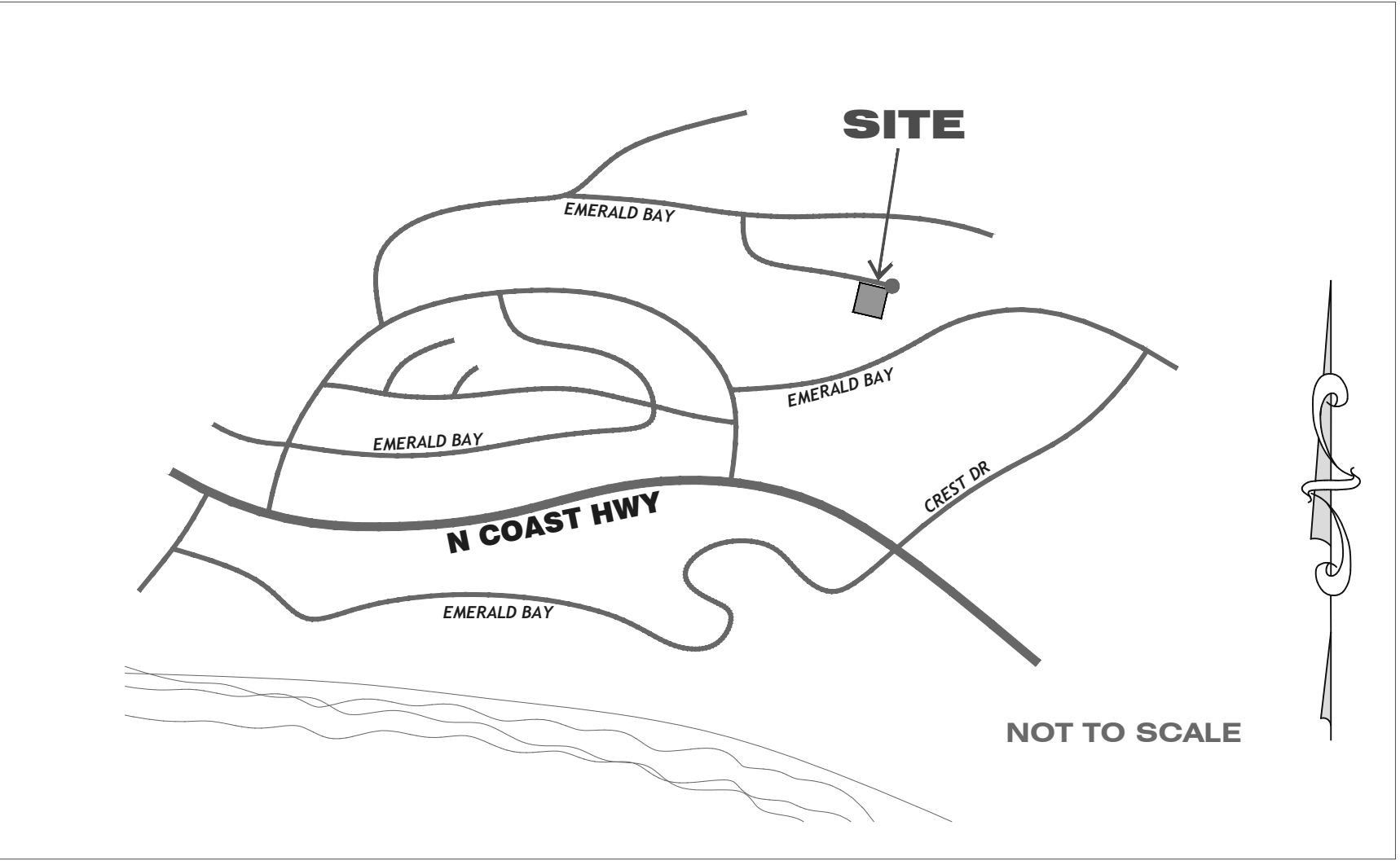


EMERALD BAY PLCKCORR30JUNE22.dwg
8/6/2022 6:11 PM
YOLANDA

LOCATION MAP



CONTACT LIST

OWNER :

FARD-GHASSEMI REVOKABLE TRUST

1311 CIRCLE WAY
LAGUNA BEACH, CA 92651-1304

AGENT: MARK GHASSEMI
PH : (714) 337-0982

DESIGNER:

MENDOZA DESIGN

32641 ADRIATIC DRIVE
DANA POINT, CA 92629

MendozaDesign@Live.com

CONTACT: YOLANDA MENDOZA
MOBILE : (949) 304-9525

ARCHITECT:

RON WITTEVEEN Lic# CA30197

20032 E. SANTIAGO CANYON ROAD
ORANGE, CA 92869

rwitteveen143@gmail.com

GENERAL CONTRACTOR:

SoCAL FRAMING, Inc.

PH : (949) 285-7611

SoCalFraming@yahoo.com

CONTACT: BRENT WHITCOMB

SURVEYOR:

APEX LAND SURVEYING, INC.

PH : (949) 910-5919

Apexlinc@gmail.com

CONTACT: PAUL CRAFT, P.L.S.
MOBILE : (714) 488-5006

STRUCTURAL ENGINEERING:

CORE STRUCTURE

23172 PLAZA POINTE DR. SUITE # 145
LAGUNA HILLS, CA 92653

PH : (949) 954-7244

Info@CoreStructure.com

CONTACT: AMIR DEIHIH, P.E.
MOBILE : (949) 500-3800

ENERGY CONSULTANT:

INSU-FORM, INC.

77530 ENFIELD LANE
PALM DESERT, CA 92211

PH : (760) 340-9060

E-MAIL: jenergy36@yahoo.com

CONTACT: JOAN HACKER

LANDSCAPE ARCHITECT:

MORGAN ITZEL

LANDSCAPE ARCHITECTURE & DESIGNS

PH : (949) 233-6087

E-MAIL: morganitzel@hotmail.com

CONTACT: MORGAN ITZEL RLA#5618

PROJECT AREA SUMMARY

	EXISTING	ADDITION	TOTAL
LOWER LEVEL	1,759 SF	—	1,759 SF
UPPER LEVEL	1,913 SF	138.6 SF	2,051.6 SF
MEZZANINE	206 SF	206 SF	412 SF
		NEW CFA	4,222.6 SF
	EXISTING	ADDITION	TOTAL
GARAGE	622.0 SF	73.7 SF	695.7 SF

RESIDENTIAL REMODEL SCOPE OF WORK:

KITCHEN AND BATHROOM REMODEL, BEDROOMS & CLOSETS REMODEL, NEW DOORS & WINDOWS THROUGHOUT, NEW METAL ROOFING, NEW SKYLIGHT, NEW ATTACHED TRELLIS, NEW DECK @ MEZZANINE, FIREPLACE REPLACEMENT, GARAGE EXTENSION, KITCHEN EXTENSION, MEZZANINE EXTENSION

REMODEL DESCRIPTION:

KITCHEN AND BATHROOM REMODEL
BEDROOMS AND CLOSETS REMODEL
MEZZANINE REMODEL
KITCHEN AREA EXTENSION
MEZZANINE EXTENSION
NEW ATTACHED TRELLIS

AREA

653.8 SQ FT
1,576.0 SQ FT
204.0 SQ FT
138.6 SQ FT
209.0 SQ FT
102.5 SQ FT

TOTAL 2,882.9 SQ FT

PROJECT DESCRIPTION

PROPERTY ADDRESS:

**1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA**

ASSESSOR'S PARCEL NO.:

**053-021-05
TRACT # 1092 LOT #90**

ZONE R-1 OCCUPANCY R-3/U CONSTRUCTION TYPE VB
PARKING: EXISTING 3-CAR-GARAGE
SINGLE FAMILY RESIDENCE 1 UNIT 2-STORY (SPLIT-LEVEL)
FIRE SPRINKLERS : NO
ORIGINAL CONSTRUCTION 1968

PROPERTY & PROJECT DATA

GENERAL NOTES

1. ALL SYSTEMS, EQUIPMENT AND/OR BUILDING COMPONENTS SHALL COMPLY WITH THE APPLICABLE MANUFACTURER PROVISIONS AND INSTALLATION PROVISIONS OF TITLE 24, PART 6, CH 2, SEC 111 THROUGH 119.

2. AN APPLIANCE, COMPLYING WITH CALIFORNIA STANDARDS AND THE APPLIANCE EFFICIENCY REGULATIONS, SHALL BE CERTIFIED BY THE MANUFACTURER. (TITLE 24, PART 6, CH 2, SEC 111)

3. SPACE CONDITIONING EQUIPMENT SHALL MEET THE EFFICIENCY STANDARDS SPECIFIED IN TITLE 24, PART 6, CH 2, SEC 111.

4. PILOT LIGHTS ARE PROHIBITED FOR :

A. FAN-TYPE CENTRAL FURNACES.
B. HOUSEHOLD COOKING APPLIANCES EXCEPT FOR HOUSEHOLD COOKING APPLIANCES WITHOUT AN ELECTRICAL SUPPLY VOLTAGE CONNECTION AND IN WHICH EACH PILOT CONSUMES LESS THAN 150 BTU/HR.
C. POOL HEATERS.
D. SPA HEATERS.

5. MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING 0.3 CFM/FT2 OF WINDOW AREA, 0.3 CFM/FT2 OF RESIDENTIAL DOOR AREA, 0.3 CFM/FT2 OF NON-RESIDENTIAL SINGLE DOOR AREA, AND 1.0 CFM/FT2 OF NON-RESIDENTIAL DOUBLE DOOR AREA (TITLE 24, PART 6, CH 2, SEC 116).

6. FENESTRATION PRODUCTS, OTHER THAN PRODUCTS WHICH ARE REMOVED AND REINSTALLED, SHALL BE CERTIFIED FOR OVERALL U-FACTORS AND OVERALL SHGC, AND SHALL HAVE A TEMPORARY LABEL, OR LABEL CERTIFICATE FOR SITE BUILT PRODUCTS, WHICH LISTS THE CERTIFIED U-FACTOR AND SHGC, AND CERTIFIES THAT APPLICABLE AIR LEAKAGE REQUIREMENTS ARE MET. (TITLE 24, PART 6, CH 2, SEC 116).

7. FIELD MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS, OTHER THAN UNFRAMED GLASS DOORS AND FIRE DOORS, SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCTS OR EXTERIOR DOORS AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED. (TITLE 24, PART 6, CH 2, SEC 116).

6. JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED TO LIMIT AIR INFILTRATION AND EX-FILTRATION. (TITLE 24, PART 6, CH 2, SEC 116).

9. INSULATION SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLIANT WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL, TITLE 20, CHAPTER 4, ARTICLE 3. (TITLE 24, PART 6, CH 2, SEC 116).

10. ALL INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATINGS AND SMOKE DENSITY REQUIREMENTS OF SECTION 707 OF THE UBC. (TITLE 24, PART 6, CH 2, SEC 118).

11. SEALANTS FOR INTERIOR APPLICATIONS SHALL PASS ASTM TESTS C 731, AND D 2202. (TITLE 24, PART 6, CH 3, SEC 124 & CH 7, SEC 150(M).

12. SEALANTS FOR EXTERIOR APPLICATIONS SHALL PASS ASTM TESTS C 731, C 732, AND D 2202. (TITLE 24, PART 6, CH 3, SEC 124 & CH 7, SEC 150(M).

13. SEALANTS AND MESHES SHALL BE RATED FOR EXTERIOR USE. (TITLE 24, PART 6, CH 3, SEC 124 & CH 7, SEC 150(M).

14. THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT OF ANY LOOSE-FILL INSULATION SHALL CONFORM TO THE INSULATION MANUFACTURER LABELED R-VALUE. (TITLE 24, PART 6, CH 2, SEC 150(B)

15. THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT OF ANY LOOSE-FILL INSULATION SHALL CONFORM TO THE INSULATION MANUFACTURER LABELED R-VALUE. (TITLE 24, PART 6, CH 2, SEC 150(B)

16. INSULATION SHALL BE PROVIDED FOR WATER HEATERS AS FOLLOWS:

A. STORAGE GAS WATER HEATERS WITH AN ENERGY FACTOR OF LESS THAN 0.65 SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSULATED THERMAL RESISTANCE OF R-12 OR GREATER.

B. PIPING, WHETHER BURIED OR UNBURIED, FOR RECIRCULATING SECTIONS OF DOMESTIC HOT WATER SYSTEMS, PIPING FROM THE HEATING SOURCE TO THE STORAGE TANK FOR AN INDIRECT-FIRED DOMESTIC WATER HEATING SYSTEM AND THE FIRST FIVE FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED IN ACCORDANCE WITH TABLE 1-1.

C. SOLAR-WATER HEATING SYSTEMS AND/OR COLLECTORS, SHALL BE CERTIFIED BY THE SOLAR RATING AND CERTIFICATION CORPORATION.

D. INSULATION SHALL BE PROTECTED FROM DAMAGE, INCLUDING THAT DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE, AND WIND. (TITLE 24, PART 6, CH 2, SEC 150(J)

ADDITIONAL NOTES

THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA), THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCE OF ANY WORK.

PER SENATE BILL 407 - INSTALLATION OF WATER USE EFFICIENCY IMPROVEMENTS : ALL NON-COMPLIANT PLUMBING FIXTURES IN ANY SINGLE-FAMILY RESIDENTIAL REAL PROPERTY SHALL BE REPLACED BY THE PROPERTY OWNER WITH WATER-CONSERVING PLUMBING FIXTURES.

NPDES NOTES

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM

1. IN THE CASE OF EMERGENCY, CALL: BRENT WHITCOMB, G.C.
AT WORK PHONE # MOBILE: (949) 285-7611
AT HOME PHONE #

2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.

3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS, SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.

5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.

6. ALL CONSTRUCTION CONTRACTOR AND SUB-CONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION SITES.

7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH AND RECYCLE BINS.

8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE OF COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NONCONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DISCHARGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.

12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.

13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.

15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.

17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

18. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJOINING PROPERTY BY WIND OR RUNOFF.

BUILDING DEPT. NOTES

1. ALL WORK SHALL BE DONE TO COMPLY TO THE RULES AND REGULATIONS OF THE LOCAL, STATE, COUNTY OR MUNICIPAL BUILDING AND SAFETY CODES APPLICABLE TO THE PLACE OF CONSTRUCTION.

2. ALL WORK NOT COVERED BY LOCAL, STATE OR MUNICIPAL LAWS AND REGULATIONS, SHALL BE DONE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE, UNIFORM PLUMBING CODE, AND THE NATIONAL ELECTRIC CODE.

3. A CERTIFICATE OF WORKER'S COMPENSATION INSURANCE MUST BE ON FILE WITH THE BUILDING AND SAFETY DEPARTMENT BEFORE A PERMIT WILL BE ISSUED TO THE CONTRACTOR.

4. ELECTRICAL PLANS TO PROVIDE G.F.C.I. PER 210-8 N.E.C.

5. A STAMPED SET OF DRAWINGS SHALL BE ON THE JOB SITE AT ALL TIMES.

6. ALL UTILITIES MUST BE UNDERGROUND TO THE NEAREST UTILITY POLE.

7. ALL "OR EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIAL, PRIOR TO INSTALLATION OF THE ITEM.

CAL GREEN NOTES

GREEN BUILDING CODE REQUIREMENTS

1. SITE GRADING SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDING. PLANS SHALL BE APPROVED BY CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION & DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO FINAL INSPECTION BY THE BUILDING DEPARTMENT. CGC 4.106.3

2. A MINIMUM OF 50% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC 4.408.1.

3. THE BUILDER IS TO PROVIDE AN OPERATIONAL MANUAL (CONTAINING RELEVANT INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.1

4. DURING CONSTRUCTION, ALL DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1.

5. ALL FIREPLACES SHALL BE ISOKERN DIRECT VENT, PER CGC 4.503.1.

6. V.O.C.'s SHALL COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2.

7. THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEED TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC SECTION 4.505.3.

8. HEATING & AC SHALL BE SIZED AND SELECTED BY ACCA MANUAL J OR ASHRAE HANDBOOK OR EQUIVALENT. THE DUCT SIZING SHALL BE SIZED IN ACCORDANCE WITH ONE OF THE ACCA METHODS LISTED IN CGC SECTION 4.507.2.

9. LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. PER CGC 4.304.1.

10. ELECTRIC VEHICLE (EV) CHARGING- CGBC 4.106.4 - COMPLY WITH SECTIONS 4.106.4.1 & 4.106.4.2 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGES. EV SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

11. PRIOR TO FINAL APPROVAL OF THE BUILDING, THE CONTRACTOR MUST NOTIFY THE BUILDING OFFICIAL IN WRITING THAT THE GREEN BUILDING CODE ITEMS LISTED ON THE PLANS HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION.

OPERATIONAL MANUAL PER CALGREEN BUILDING CODE - CGC 4.410.1

AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:

A) DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.

B) OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:

i) EQUIPMENT & APPLIANCES, INCLUDING WATER-AVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.

ii) ROOF & YARD DRAINAGE, INCLUDING GUTTERS & DOWNSPOUTS.

iii) SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR-FILTERS.

iv) LANDSCAPE IRRIGATION SYSTEMS.

v) WATER-RE-USE SYSTEMS.

C) INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.

D) PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.

E) EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.

F) INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.

G) INSTRUCTIONS FOR MAINTAINING GUTTERS AND AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5' AWAY FROM THE FOUNDATION.

H) INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC..

I) INFORMATION ABOUT THE STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.

J) A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE (CALGREEN 4.410.1)

MUNICIPAL CODE REQUIREMENTS

1. APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE ON THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION. HEALTH AND SAFETY CODE, SECTION 9416

2. CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS.

3. STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES.

CONSTRUCTION HOURS

OCTOBER 1 THRU APRIL 30 MAY 1 THRU SEPTEMBER 30

MONDAY-FRIDAY 7:00 a.m. - 5:30 p.m. MONDAY-FRIDAY 6:00 a.m. - 7:00 p.m.
SATURDAY 8:00 a.m. - 5:00 p.m. SATURDAY 8:00 a.m. - 5:00 p.m.
SUNDAY NOT ALLOWED SUNDAY NOT ALLOWED
GOVERNMENT CODE GOVERNMENT CODE
HOLIDAYS NOT ALLOWED HOLIDAYS NOT ALLOWED

VIOLATION OF THE ABOVE WORK HOURS IS A CITABLE OFFENSE UNDER MUNICIPAL CODE.

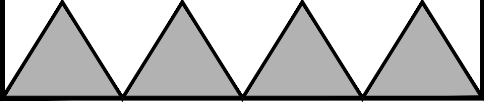
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ROOF PLAN OVERLAY- ROOF AREA ANALYSIS	A1.2
FLOOR PLAN OVERLAY- PARKING REQUIREMENTS	A1.3
EXISTING ROOF PLAN -	A2.0
EXISTING FLOOR PLANS -	A2.1
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REMODEL FLOOR PLAN - UPPER LEVEL	A3.1
REMODEL FLOOR PLAN - LOWER LEVEL	A3.2
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FLOOR FRAMING PLAN	S-3.0
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STRUCTURAL DETAILS	SD3.0
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REFERENCE CODES

THE GOVERNING CODES FOR THIS PROJECT ARE THE 2019 CALIFORNIA RESIDENTIAL (CRC), ELECTRICAL (CEC), MECHANICAL (CMC), PLUMBING (CPC), ENERGY STANDARDS (CESC), AND GREEN BUILDING STANDARDS (CGBC) CODES WITH LOCAL AMENDMENTS.

MENDOZA DESIGN



MANUEL MENDOZA

YOLANDA MENDOZA


DESIGNERS

32641 Adriatic Drive
Dana Point CA 92629
Ph (949) 304-9525
mendezadesign@live.com

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RESIDENCE REMODEL

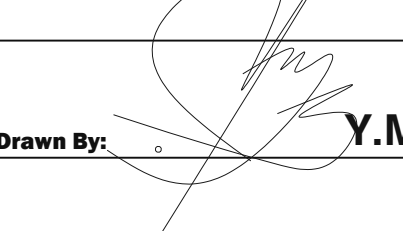
PROJECT: 1019 EMERALD BAY
LOCATION: EMERALD BAY
OWNER: MARK FARD-GHASSEMI



GENERAL NOTES / DRAWING INDEX

Revisions

Revisions	20 JUNE 2022
	PLAN CHECK CORR.
	25 AUG 2022 PLAN CHECK CORR.

Drawn By:  Y.M.

PLAN CHECK SUBMITTAL

Date: 24 MAR 2022

Project No. MG-2021-01

Scale N/A

Sheet No. T1

- LEGEND
- BLOCK WALL
 - WOOD FENCE (WDF)
 - WROUGHT IRON FENCE (WIF)
 - AC — ASPHALT PAVEMENT
 - ACU — AIR CONDITION UNIT
 - CB — CATCH BASIN
 - CL — CENTERLINE
 - EG — EDGE OF GUTTER
 - EVT — ELECTRICAL VAULT
 - FF — FINISHED FLOOR
 - FFG — FINISHED FLOOR GARAGE
 - FL — FLOWLINE
 - FS — FINISHED SURFACE
 - GM — GAS METER
 - IP — IRON PIPE
 - NG — NATURAL GROUND
 - PC — PALM TREE CLUSTER
 - SDMH — STORMDRAIN MANHOLE
 - SL — STREET LIGHT
 - SMH — SEWER MANHOLE
 - TC — TOP OF CURB
 - TX — TOP OF DRIVEWAY X
 - WM — WATER METER
 - () — EXISTING ELEVATION
 - — FOUND MONUMENT AS NOTED HEREON
 - — SEARCHED, FOUND NOTHING; SET NOTHING
 - T.B.M. — TEMPORARY BENCHMARK
SET ON A SEWER MANHOLE RIM (SMH)
ELEVATION = 170.85 FEET

CURVE DATA			
CURVE	DELTA	RADIUS	LENGTH
C1	63°44'06"	30.00'	33.37'
C2	54°40'53"	10.00'	9.54'

TITLE REPORT/EASEMENT NOTES

1019 EMERALD BAY
LAGUNA BEACH, CA 92651
(APN: 053-021-05)

NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF LAGUNA BEACH,
COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS
DESCRIBED AS FOLLOWS:

LOT 90 OF TRACT NO. 1092, IN THE CITY OF LAGUNA BEACH,
COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP
RECORDED IN BOOK 38, PAGES 19 TO 23, OF MISCELLANEOUS
MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID
COUNTY.

BENCHMARK INFORMATION

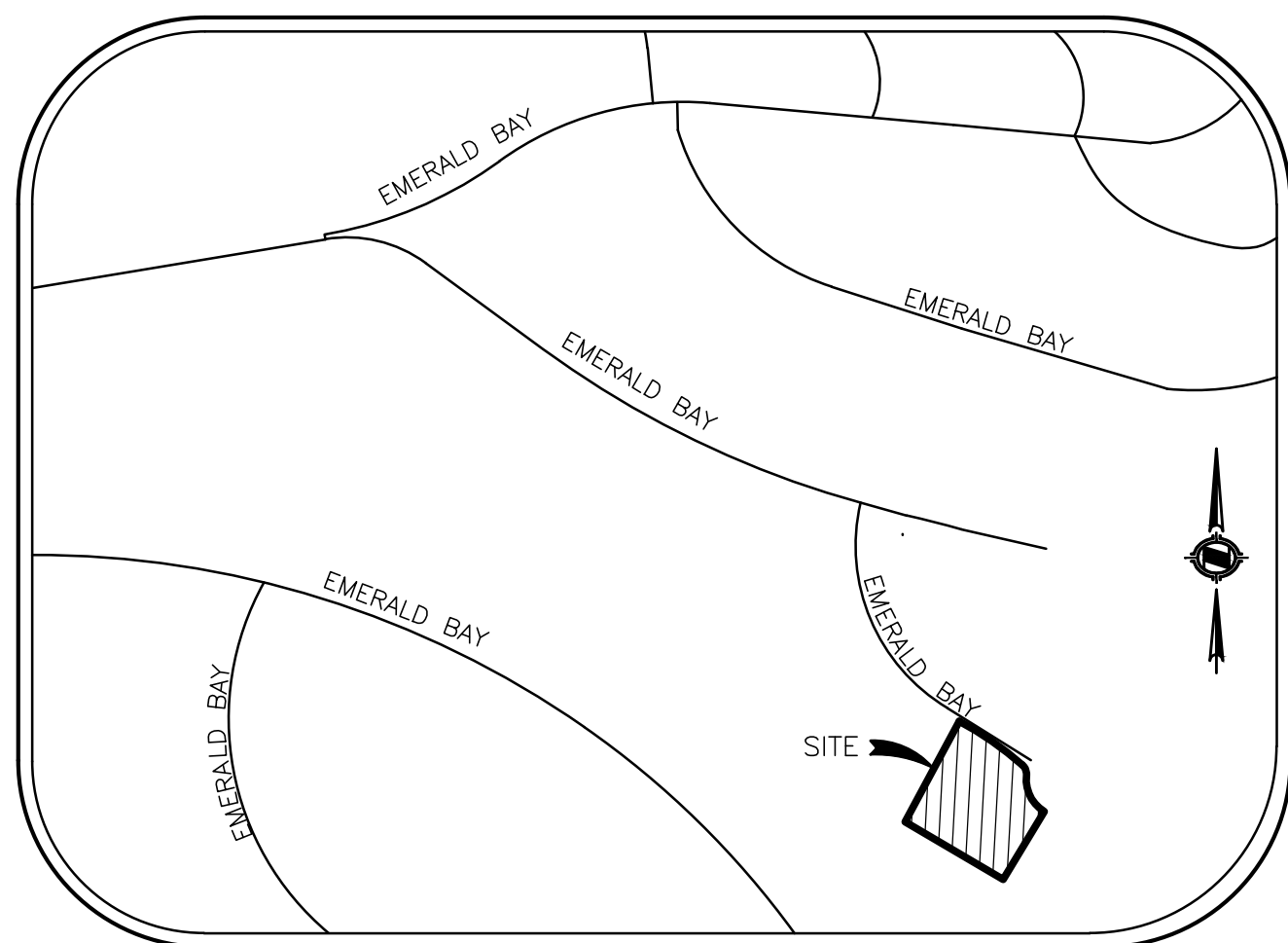
BENCHMARK NO: R-1415

DESCRIBED BY OCS 2003 - FOUND 3 3/4" USC&GS BRONZED DISK STAMPED "R 1415 1988".
SET IN THE SOUTHERLY CORNER OF A CONCRETE CATCH BASIN. MONUMENT IS
LOCATED ALONG THE NORTHEASTERLY SIDE OF PACIFIC COAST HIGHWAY, 22 FT.
NORTHEASTERLY OF THE NORTHBOUND LANES OF PACIFIC COAST HIGHWAY, 1.3 MILES
NORTHERLY ALONG PCH FROM THE CENTERLINE OF BROADWAY IN LAGUNA BEACH
AND 0.05 MILES NORTHWESTERLY FROM THE ENTRANCE INTO EMERALD BAY HOMES.
MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.

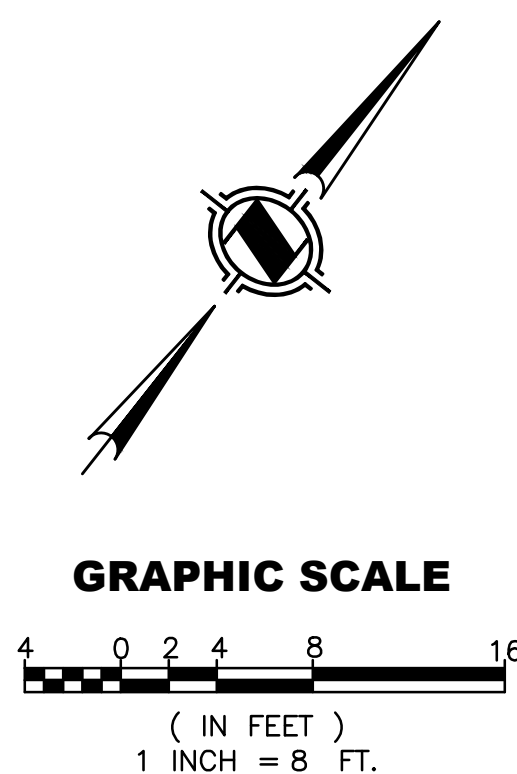
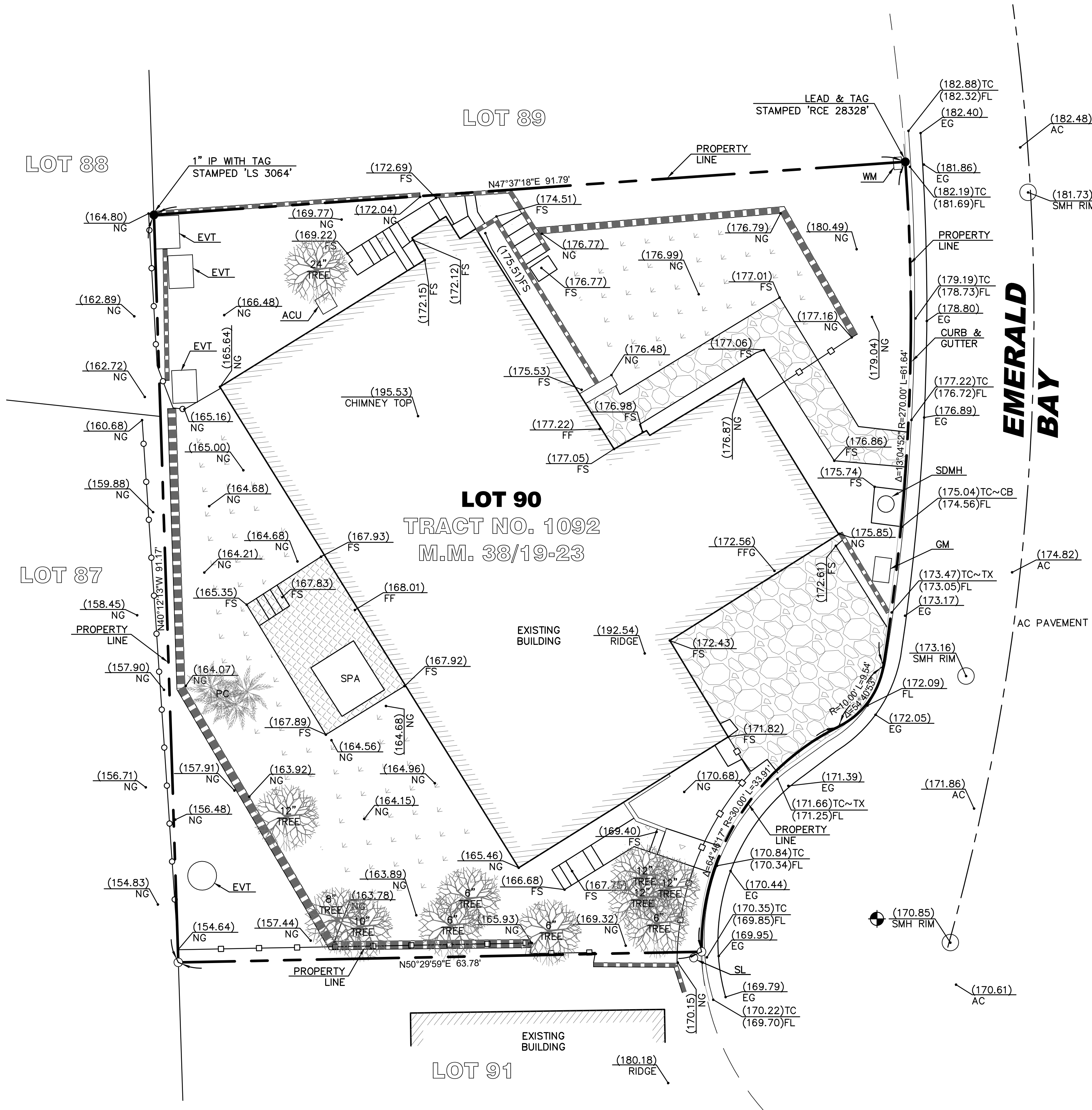
ELEVATION: 72.963 FEET (NAVD88), YEAR LEVELED 2004

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTHWESTERLY
PROPERTY LINE HAVING A BEARING OF N47°37'18"E PER R.S.B. 310/42.



VICINITY MAP
NO SCALE



SURVEYOR'S NOTES

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY
CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.



PAUL D. CRAFT, P.L.S. 8516
LICENSE RENEWAL DATE 12/31/22

NOTES: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE
STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A
LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE
PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING
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APEX LAND SURVEYING, INC.
HUNTINGTON BEACH, CALIFORNIA 92646
PHONE: (714) 488-5006 FAX: (714) 333-4440
APEXLSIND@GMAIL.COM

PROJECT SURVEYOR
DATE 8/31/2021
SCALE 1" = 8'
DRAWN J. A. H
CHECKED P. D. C.

TOPOGRAPHIC MAP
1019 EMERALD BAY
LAGUNA BEACH, CA 92651
(APN: 053-021-05)

SHEET TITLE
PROJECT
SHEET NO. 1 OF 1

NOT TO SCALE

ADDITION
138.6 SF

ADDITION
206 SF

— ADDITION
74 SF

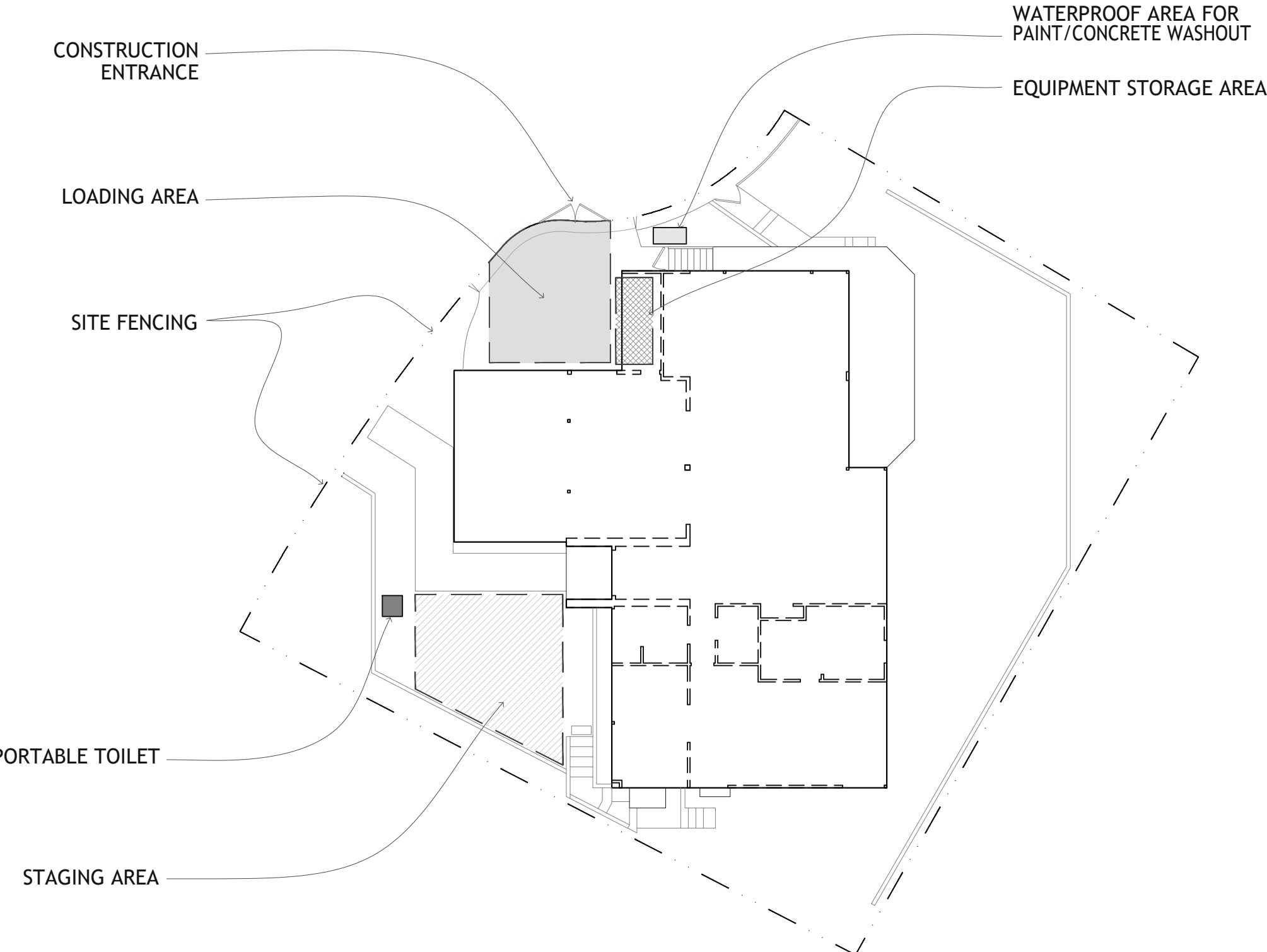
GARAGE
622 SF (E)
696 SF (NEW)

LOWER LEVEL
1759 SF (E)

UPPER LEVEL
1913 SF (E)
2052 SF (NEW)

UPPER LEVEL

LOWER LEVEL



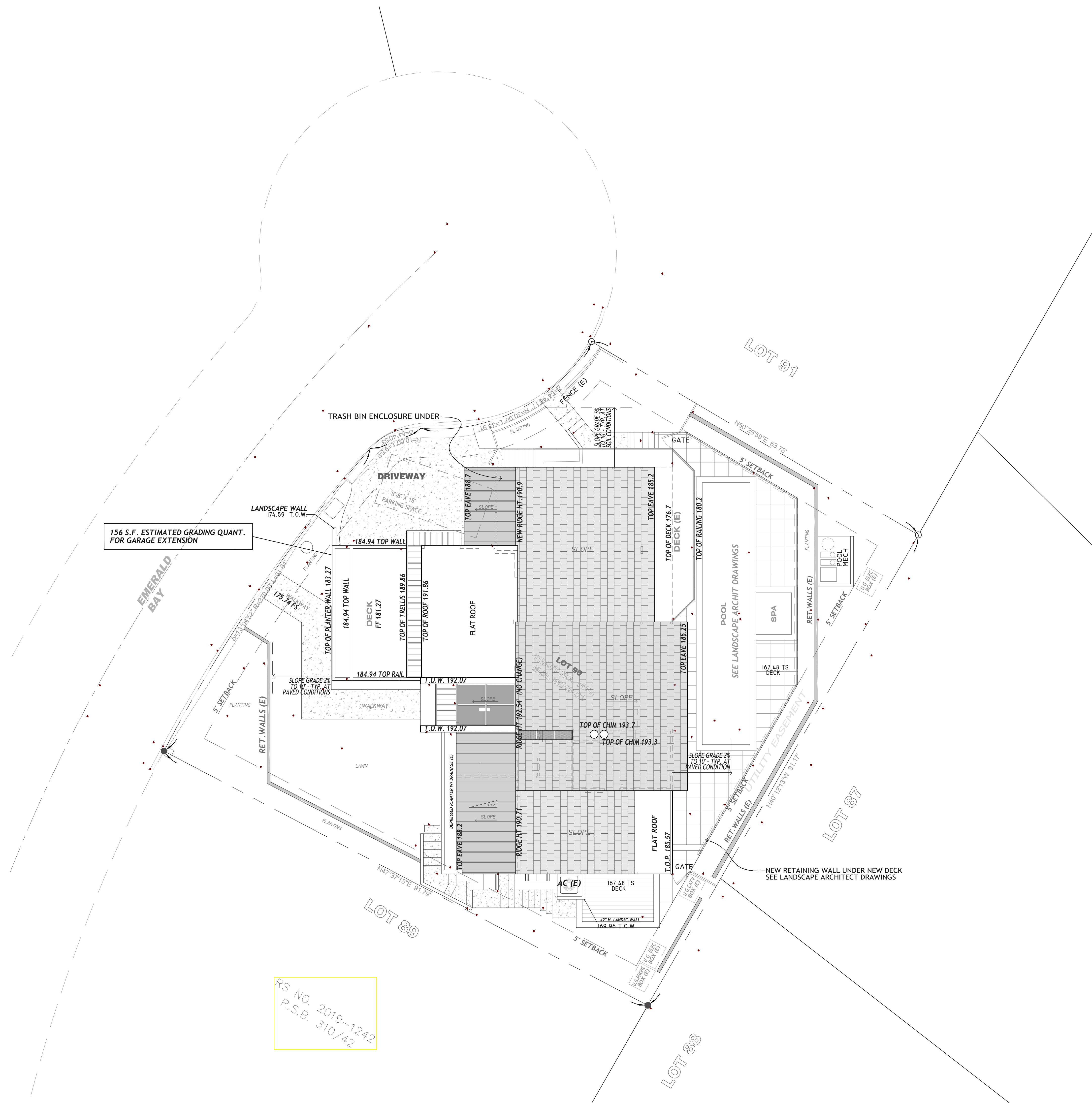
FOLLOW BEST MANAGEMENT PRACTICES (BMP's) AS REQUIRED, INCLUDING WATERPROOF CONCRETE WASHOUT AREA, CONTAINMENT PRECAUTIONS, CONTAMINATION PROTECTION, ETC..

SEE NPDES NOTES ON COVER SHEET T-1

SCALE : 1/16" = 1'-0"

NOTE

PROVIDE GRADE SLOPE AROUND BUILDING TO COMPLY WITH CRC R401.3, REQUIRING 5% SLOPE AWAY FROM BUILDING TO 10' DISTANCE AT NATURAL SOIL CONDITIONS, AND FOR IMPERVIOUS (PAVED) SURFACES PROVIDE 2% SLOPE OUT TO 10' AWAY FROM BUILDING.



SITE PLAN

SCALE : 1/8" = 1'-0"



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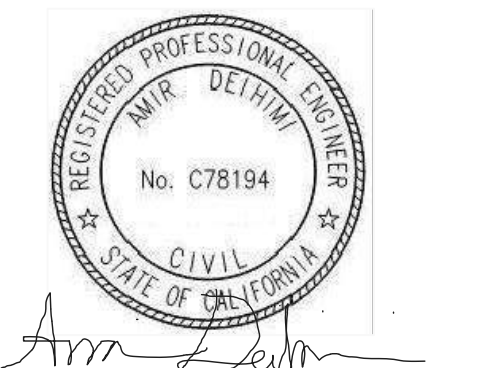
RESIDENCE REMODEL

PROJECT:

LOCATION:

OWNER:

1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA
MARK FARD-GHASSEMI



SITE PLAN PROJECT DATA

Revisions	
	20 JUNE 2022 PLAN CHECK CORR.

Drawn By: Y.M.

PLAN CHECK SUBMITTAL
Date 24 MAR 2022

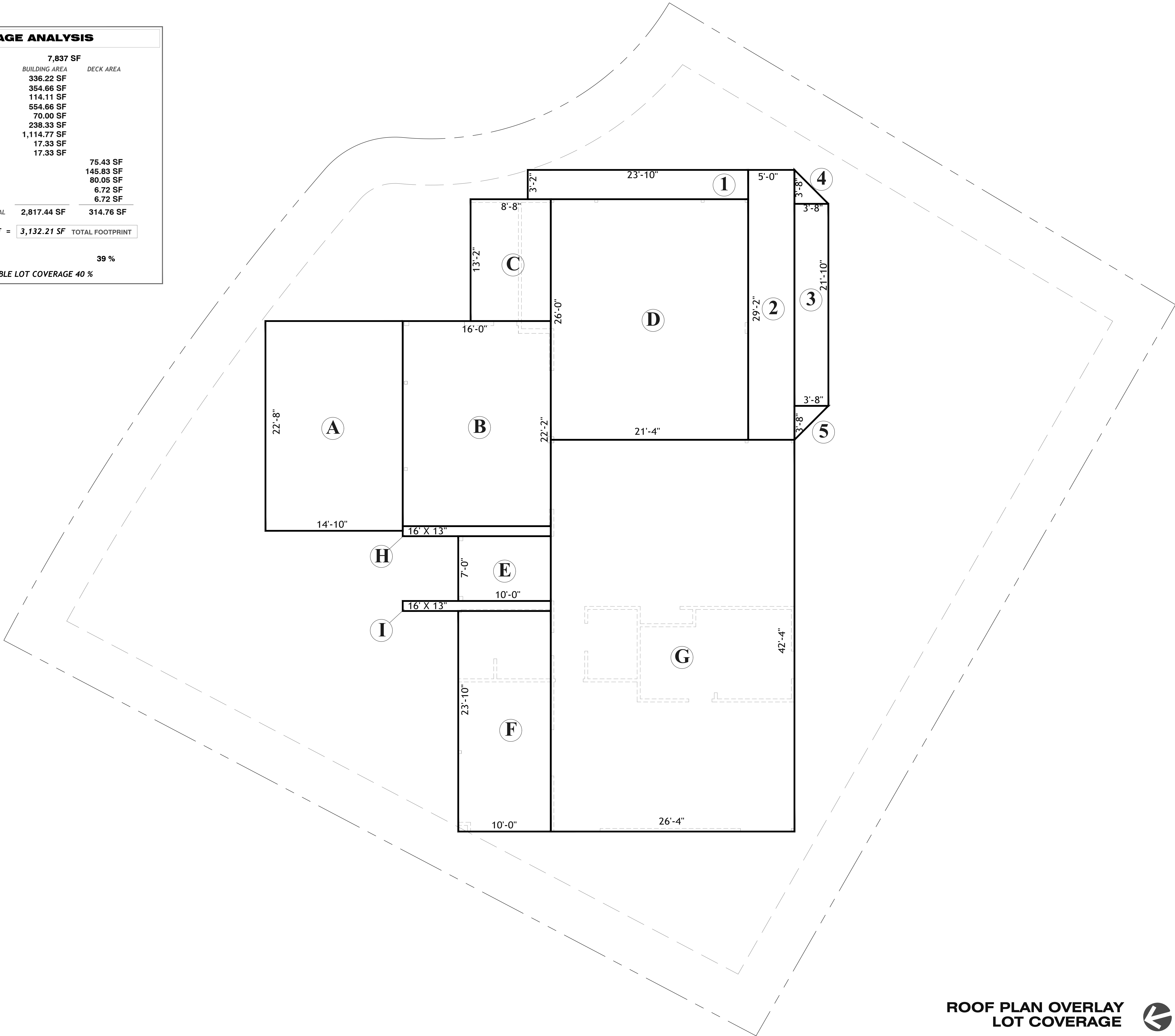
Project No. *MG-2021-01*

Scale **AS NOTED**

Sheet No.

A1.0

LOT COVERAGE ANALYSIS				
LOT AREA		7,837 SF		
LABEL #	DIMENSIONS	BUILDING AREA	DECK AREA	
A	14'-10" X 22'-8"	336.22 SF		
B	16'-0" X 22'-2"	354.66 SF		
C	8'-8" X 13'-2"	114.11 SF		
D	21'-4" X 26'-0"	554.66 SF		
E	10'-0" X 7'-0"	70.00 SF		
F	10'-0" X 23'-10"	238.33 SF		
G	26'-4" X 42'-4"	1,114.77 SF		
H	16'-0" X 13"	17.33 SF		
I	16'-0" X 13"	17.33 SF		
1	23'-10" X 3'-2"		75.43 SF	
2	5'-0" X 29'-2"		145.83 SF	
3	3'-8" X 21'-10"		80.05 SF	
4	3'-8" X 3'-8" / 2		6.72 SF	
5	3'-8" X 3'-8" / 2		6.72 SF	
SUB-TOTAL		2,817.44 SF	314.76 SF	
2,817.44 SF + 314.76 SF =		3,132.21 SF	TOTAL FOOTPRINT	
NEW LOT COVERAGE			39 %	
MAXIMUM ALLOWABLE LOT COVERAGE 40 %				



MEZZANINE USABLE AREA

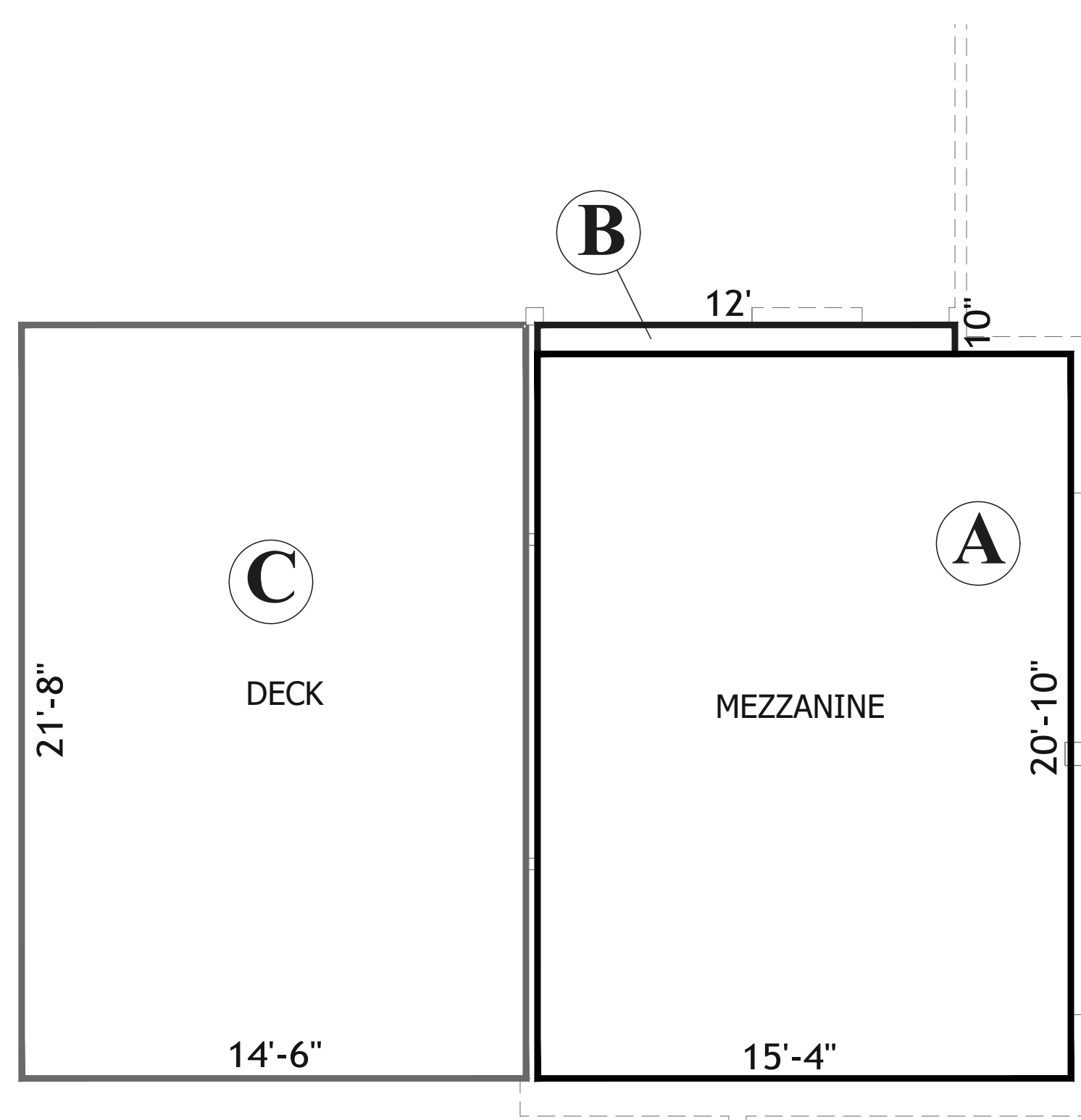
A	15'-4" X 20'-10"	319.44 SF
B	12'-0" X 10"	10.00 SF

TOTAL	329.44 SF
-------	------------------

DECK FLOOR AREA

C 14'-6" X 21'-8" 314.16 SF

DECK AREA IS LESS THAN MEZZANINE USABLE AREA



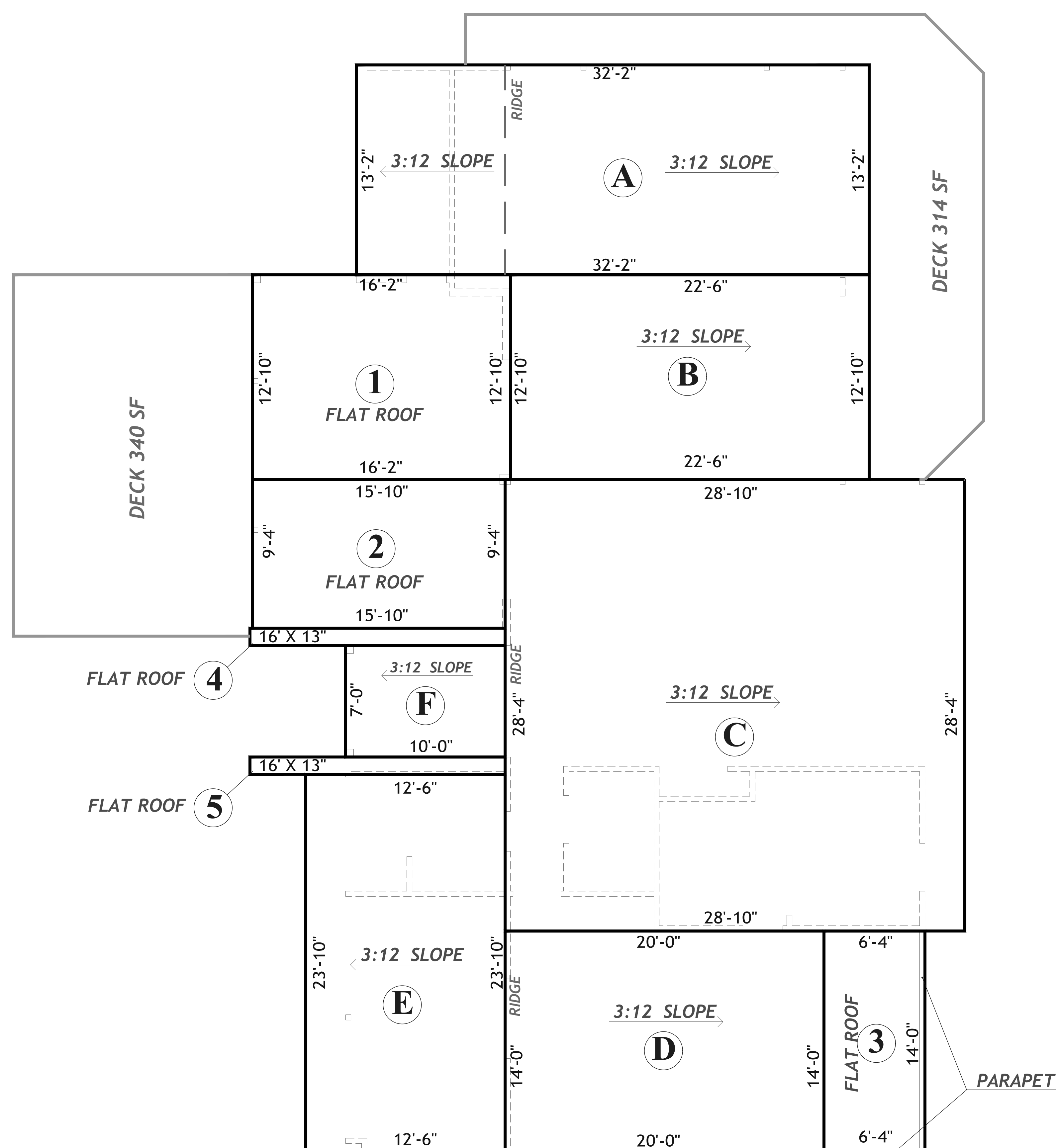
ROOF AREA	DIMENSIONS	SLOPED ROOF	FLAT ROOF
A	31'-6" X 13'-2"	423.52 SF	
B	22'-6" X 12'-10"	288.75 SF	
C	28'-10" X 28'-4"	816.94 SF	
D	20'-0" X 14'-0"	280.00 SF	
E	12'-6" X 23'-10"	297.91 SF	
F	10'-0" X 7'-0"	70.00 SF	
1	16'-2" X 12'-10"		207.47 SF
2	15'-10" X 9'-4"		147.77 SF
3	6'-4" X 14'-0"		88.66 SF
4	16'-0" X 13"		17.33 SF
5	16'-0" X 13"		17.33 SF

<i>SUB-TOTAL</i>	2,177.13 SF	478.56 SF
------------------	--------------------	------------------

$$2,168.35 \text{ SF} + 478.58 \text{ SF} = 2,655.69 \text{ SF} \text{ TOTAL ROOF AREA}$$

TOTAL ROOF AREA 2655.69 SF X 15%= 398.35 SF (ALLOWED FLAT ROOF)
398.35 SF - 478.56 SF = -80.20 SF (OVER THE ALLOWED)

TOTAL ROOF PERIMETER 238'-4" LIN.FT. 25%= 59.5 LF (PARAPET ALLOWED)
6'-4" LF + 14' LF = 20'-4" LIN FT (PARAPET AT ROOF 3)



ROOF PLAN OVERLAY ROOF AREA ANALYSIS

SCALE : 1/4" = 1'-0"



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EMERALD BAY
LAGUNA BEACH, CA

MARK FARD-GHASSEMI

PROJECT:

LOCATION:

OWNER:



ROOF PLAN OVERLAY

ROOF AREA ANALYSIS



Revisions
 20 JUNE 2022
 PLAN CHECK CORR.

Drawn By: Y.M.

PLAN CHECK SUBMITTAL
Date 24 MAR 2022

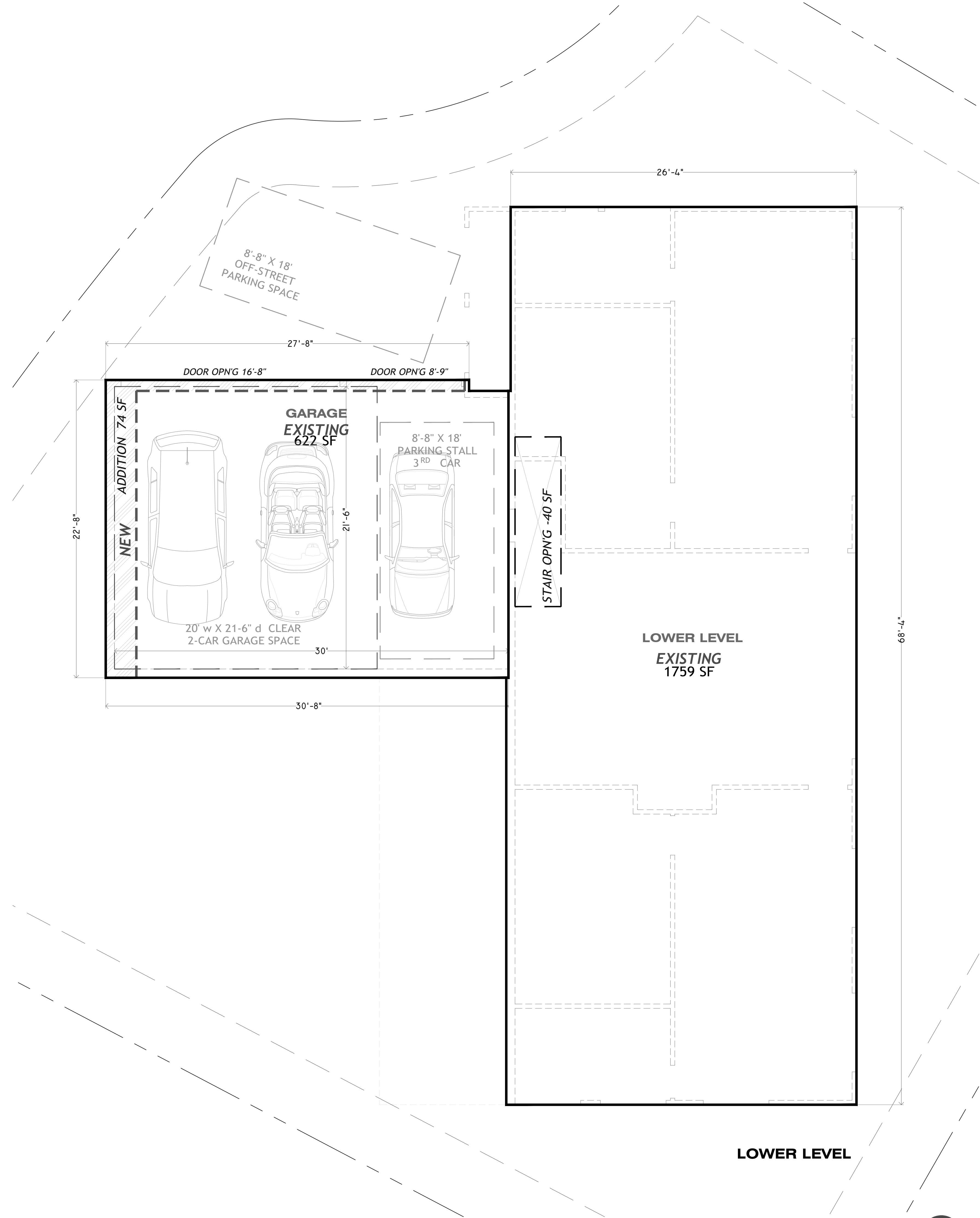
Project No. *MG-2021-01*

Scale $1/4" = 1'-0"$

Sheet No. _____

A1.2

PARKING ANALYSIS			
AREAS INCLUDED IN CALCULATION OF REQUIRED PARKING SPACES *			
AREA	EXISTING	ADDITION	NEW SQ. FT.
UPPER LEVEL	1913.33 SF	138.66 SF	2051.99 SF
MEZZANINE	206.2 SF	206 SF	412.2 SF
LOWER LEVEL	1759 SF		1759 SF
GARAGE	618.88 SF	74 SF	692.8 SF
		TOTAL	4,915.99 SF
DEDUCT PARKING STALL AREA 20'X 21'-6" = -430 SF			- 586 SF
DEDUCT PARKING STALL AREA 8'-8" X 18' = -156 SF			
		TOTAL	4,329.99 SF
REQUIRED FOR 4000 - 4999 SF		PROVIDED	
MIN. 4 PARKING SPACES	4		
MIN. 2 GARAGE SPACES	3	[20'X 21'-6" + 8'-8"X 18']	
OFF-STREET PARKING	1	[8'-8"X18' STALL]	



SCALE : 1/4" = 1'-0"



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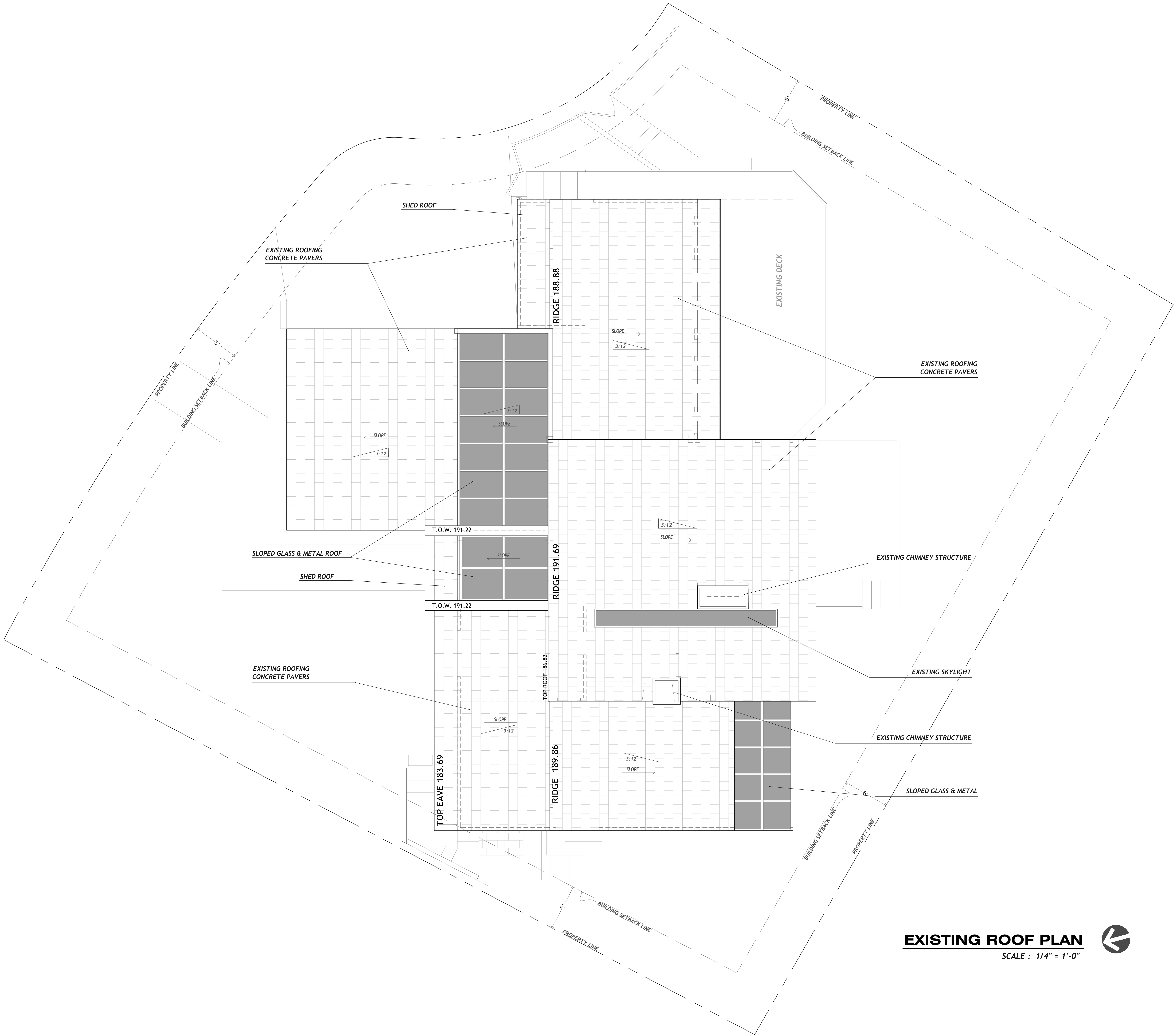
Sheet No.

A1.3

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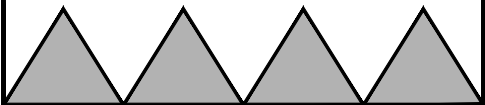
YOLANDA



EXISTING ROOF PLAN
SCALE : 1/4" = 1'-0"



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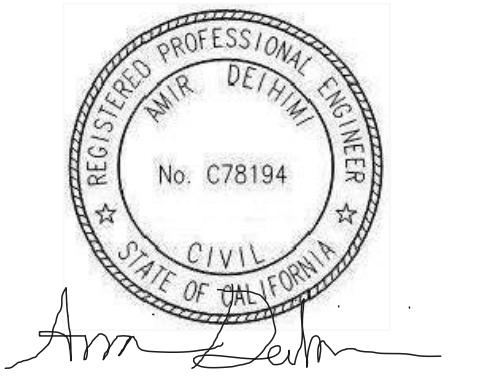
RESIDENCE REMODEL

PROJECT:

LOCATION:

OWNER:

1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA
MARK FARD-GHASSEMI



**EXISTING
ROOF PLAN**

Revisions
20 JUNE 2022
PLAN CHECK CORR.

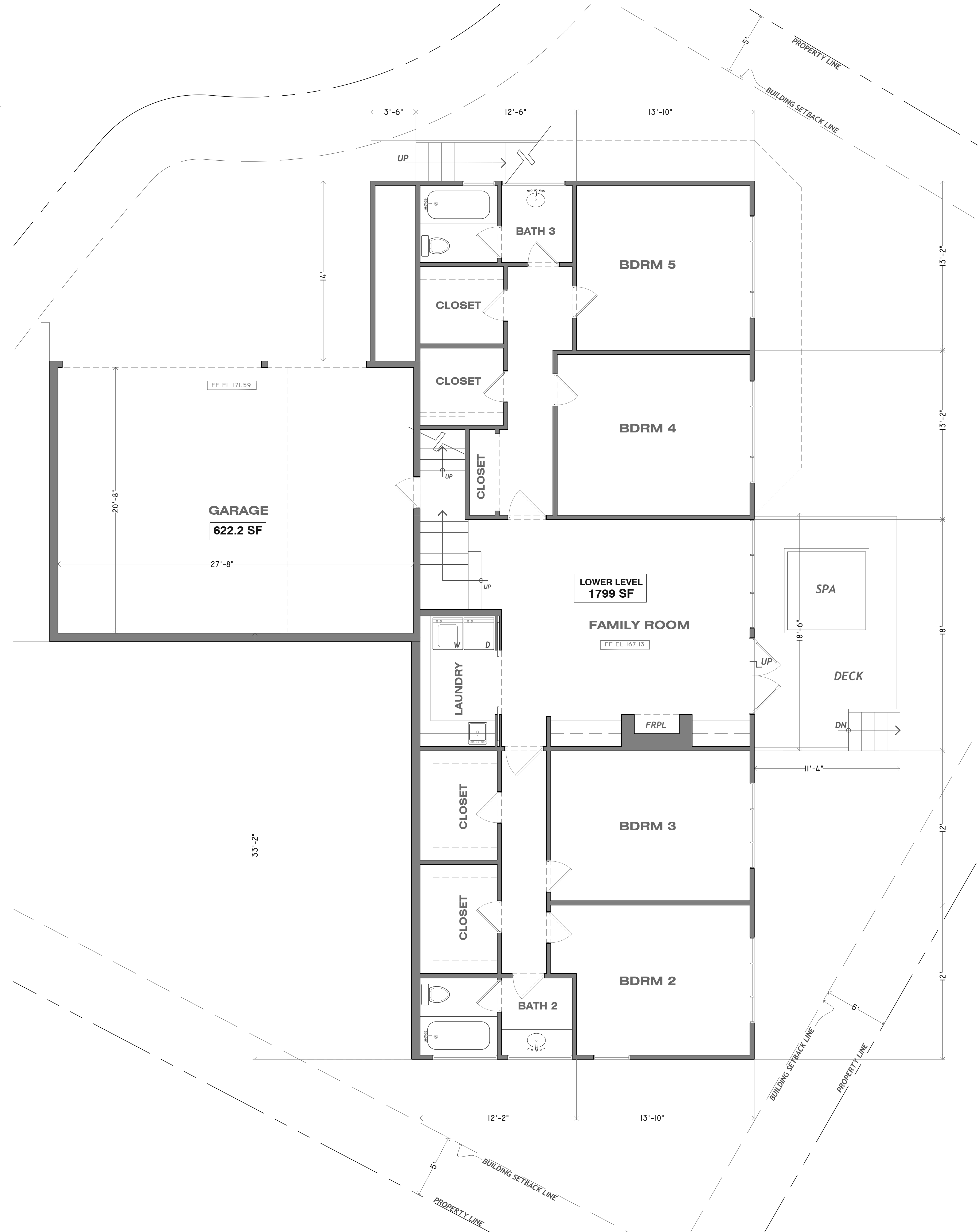
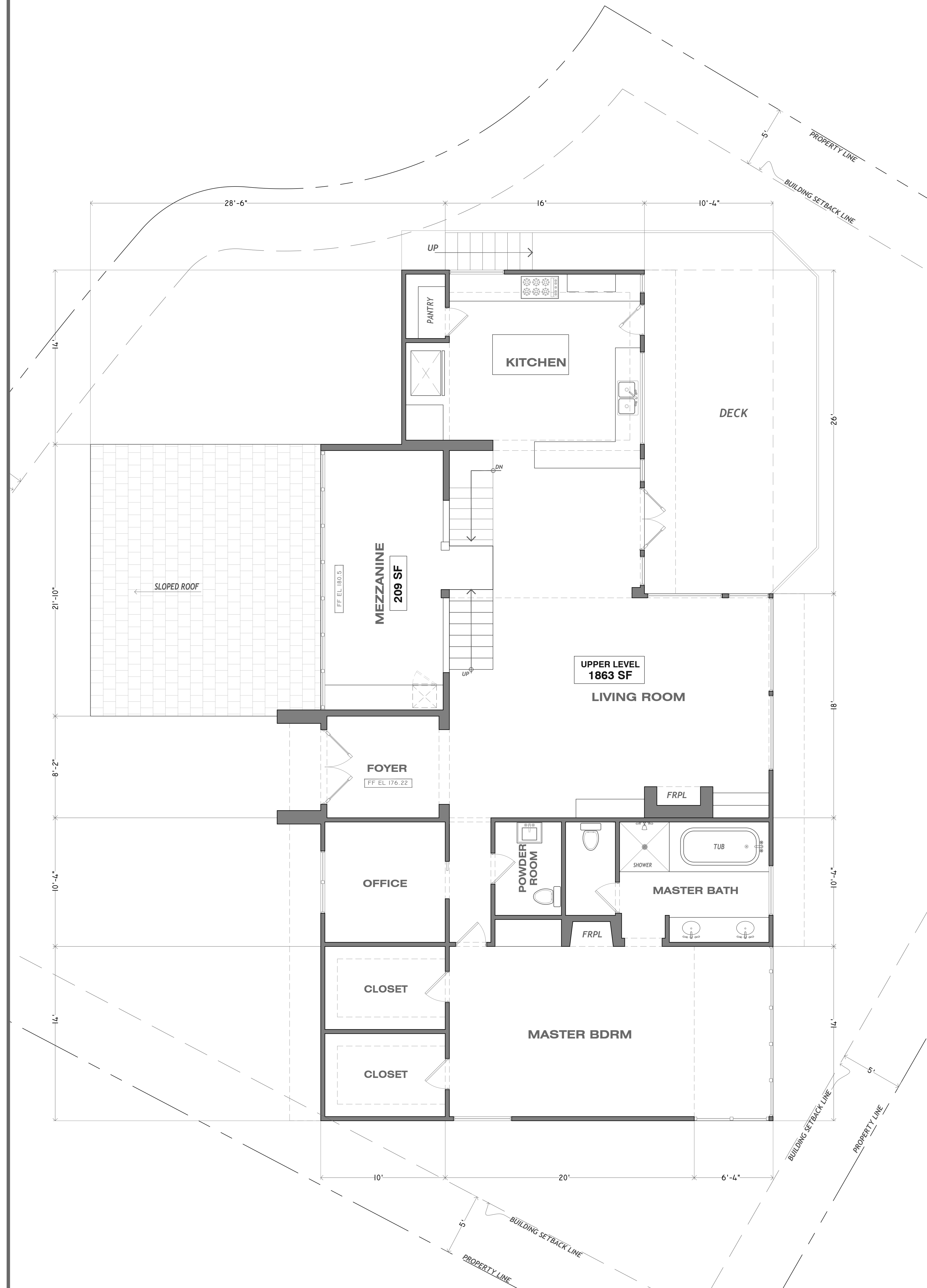
Drawn By: Y.M.

PLAN CHECK SUBMITTAL
Date 24 MAR 2022

Project No. MG-2021-01

Scale 1/4" = 1'-0"



Sheet No.
A2.0



**ROOF PLAN SHOWN ON ORIGINAL 1960 GRADING PLAN FOR DRC REVIEW.
* ELEV HT NOTED ARE BASED ON 1960 GRADING PLAN TOPO ELEV POINTS.**

EMERALD BAY

ROOF PLAN LEGEND

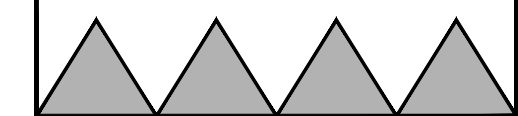
1. BUILT-UP ROOF: 1 LAYER OF 28 # FIBERGLASS BASE SHEET ASPHALT COATED, OVER 5/8" PLYWOOD (SEE STRUCTURAL DWGS); USE 26ga. MIN. GALVANIZED METAL FLASHING, WITH FABRIC & BONDING COATS AT PERIMETER & FLASHING; COATINGS AND TOPPING PER ICC-ES #1757, DEXTOX WEATHERWEAR ROOF DECK, MOISTURE & THERMAL PROTECTION.
 2. INSTALL INSULATION R-38 RATING AND RADIANT BARRIER IN ALL ATTIC SPACES, TO INCLUDE VERTICAL ATTIC SURFACES AND GABLE ENDS, THERMOSTAT OSB RADIANT BARRIER ROOF SHEATHING, ICC REPORT# AC220.
 3.  INDICATES 3" Ø ROOF DRAIN WITH OVERFLOW, COPPER ROOF DRAIN W/ ABS LEADERS. ALL HORIZ. PIPING MIN. 1/4" PER LIN. FT. SLOPE. ROOF DRAINS SHALL BE SIZED AND DISCHARGED IN ACCORDANCE WITH THE CPC, CHAPTER 11.
 4.  INDICATES FLOOR DRAIN, 3" Ø, MIN. 1/4" LIN. FT. SLOPE.
 5. DRAIN TROUGH WITH METAL GRATE, SEE DETAILS.
 6. ROOF DRAINS AND OVERFLOW DRAINS SHALL BE PIPED INDEPENDENTLY TO THE OUTSIDE OF THE BUILDING [CPC CH.11]
 7. ALL VALLEY FLASHING SHALL BE GALVANIZED METAL 26 GA. MINIMUM [CRC 8903.2].
 8. CHIMNEY PIPES, W/SPARK ARRESTOR & COPPER SLEEVE & SHROUD. NOTE: CHIMNEY TERMINATION SHALL NOT BE LESS THAN 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET, AND NOT LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF [CRC 1003.9] SEE DETAILS.
 9. VELUX SKYLIGHT, FIXED FLAT SKYLIGHT, 20" X 9" OPNG. NON REFLECTIVE GLASS. SEE DETAIL. MANUFACTURER: VELUX FS S06 ICC# CCR0-0104
 10. METAL TRELLIS SHADE, PAINTED FINISH, SEE DETAILS.
 11. STANDING SEAM COPPER ROOFING, W/ COPPER RIDGE CAPS AND COPPER TRIM AT GABLES & EAVE RAKE. SEE DETAILS. ICC # ESR-3422.
 12. EXISTING CONCRETE TILE ROOFING TO REMAIN, ICC# ESR-1900*. USE COPPER TRIMS AT GABLES AND EAVE RAKE.
 13. ROOF ASSEMBLY SHALL HAVE MINIMUM CLASS "A" FIRE RATING.

ROOF PLAN

SCALE : 1/4" = 1'-0"



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PROJECT:

LOCATION:

OWNER:



REMODEL ROOF PLAN

Revisions

1	20 JUNE 2022 PLAN CHECK CORR.
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Drawn By: Y.M.

PLAN CHECK SUBMITTAL
Date 24 MAR 2022

Project No. *MG-2021-01*

Scale $1/4" = 1'-0"$

Sheet No.

A3.0

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YOLANDA

1 FLOOR PLAN LEGEND

- EXTERIOR WALL, 2 x STUD FRAMING, R-21 RATING WALL INSULATION, R-38 IN CEILINGS.
- EXTERIOR FACADE: LARGE FORMAT TILE LAMINAM 5mm, ALUMINUM FRAMEWORK ATTACHMENT SYSTEM. USE WEATHER RESISTANT BARRIER OVER STUDS OR SHEATHING AT ALL EXTERIOR WALLS. (CBC 1402.1). WHEN APPLIED OVER WOOD BASE SHEATHING PROVIDE 2 LAYERS OF GRADE D PAPER.
- PROVIDE GALVANIZED WEEP SCREEN [26 ga. (0.48 mm) MINIMUM THICKNESS] AT OR BELOW THE FOUNDATION PLATE LINE; 4" min. ABOVE EARTH, OR 2" min. ABOVE SURFACE AT PAVED AREAS. TYPICAL AT ALL EXTERIOR PLASTER.
- INTERIOR WALLS, 2 x STUD FRAMING, DRYWALL SMOOTH PLASTER FINISH, USE / REPLACE AT ALL CONDITIONS WITH 90 DEG ANGLE CORNER BEAD, TYPICAL; PAINT FINISH, COLOR BY OWNER.
- 1-HOUR FIRE SEPARATION AT SHARED STRUCTURE WITH GARAGE.
- GAS / ELECTRIC FIREPLACE (STELLAR HEARTH PRODUCTS, BW-21556 MODEL 60H / FLARE FF-60H) SEE DETAILS. [CSA FILE# 263124 - ANSI Z21.88 - CSA 2.33] ; METAL FLUE, EXCEL STAINLESS STEEL UL#103HT LISTING# 5965. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
- GAS / ELECTRIC FIREPLACE (STELLAR HEARTH PRODUCTS, BW-21556 MODEL 45H / FLARE FF-45H) SEE DETAILS. [CSA FILE# 263124 - ANSI Z21.88 - CSA 2.33] ; METAL FLUE, EXCEL STAINLESS STEEL UL#103HT LISTING# 5965. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
- NOTE: a) FOR ALL FIREPLACES PROVIDE TIGHT FITTING GLASS DOORS; TOP-SEAL DAMPER AND SPARK ARRESTOR, EXCEL 5.5. METAL FLUE, UL#103HT LISTING# 5965. INSTALLATION PER b) EXCEPT FOR FIREPLACES THAT OPEN TO THE EXTERIOR OF THE BUILDING, THE HEARTH SLAB SHALL BE READILY DISTINGUISHABLE FROM THE ADJACENT FLOORING. NON- COMBUSTIBLE FLOORING TO EXTEND MIN. 12" TO THE SIDES AND MIN. 20" IN FRONT OF FIREPLACE OPENING. c) FIREPLACES WITH AN OPENING OF LESS THAN 66" TO HAVE A HEARTH EXTENSION 16" MIN. TO THE FRONT, AND 8" MIN. TO THE SIDES OF FIREPLACE OPENING. d) COMBUSTIBLE MATERIALS SHALL NOT BE PLACED CLOSER THAN 6" FROM THE FRPL OPENING.
- STONE OR TILE FLOORING. COORDINATE THICKNESS OF MATERIAL(S) FOR FLUSH INSTALLATION WITH CARPET CONDITIONS.
- CARPET WITH UNDERLAY.
- EXTERIOR PAVING MATERIAL AT DECK, LAMINAM TILE, COLOR SELECTION BY OWNER.
- EXTERIOR METAL GUARDRAIL W/ TEMPERED GLASS PANELS, 42" HIGH ; GRS BALUSTRADE GUARD SYSTEM, ICC ESR-3842. SEE DETAILS.
- EXTERIOR METAL GUARDRAIL W/ TEMPERED GLASS PANELS, 34" H ON 8" CURB; GRS BALUSTRADE GUARD SYSTEM, C.R.LAURENCE CO., ICC #ESR-3842. SEE DETAILS.
- EXISTING STAIR TO MEZZANINE, WOOD STEPS REFINISHED, STAIN & SEALER.
- METAL HANDRAIL, TOP AT 36" H FROM TREAD NOSING; KEEP 2" FROM WALL; ATTACH TO WALL STRUCTURE.
- INTERIOR RAILING, METAL POST & GUARDRAIL, WITH TEMPERED GLASS PANELS, GRS GLASS RAILING SYSTEM, C.R.LAURENCE CO., ICC #ESR-3842. SEE DETAILS.
- LOWER CABINET WITH STONE COUNTERTOP. TOP OF COUNTER @ 36" AFF, OR AS NOTED, WITH STONE BACK SPLASH (WHERE OCCURS). MATERIAL SELECTION BY OWNER.
- WALL MOUNTED UPPER CABINET WITH DOORS, BOTTOM 24" ABOVE COUNTERTOP, CONTINUOUS L.E.D. LIGHT FIXTURE AT FRONT BOTTOM EDGE OF CABINET, BEHIND FASCIA.
- DOUBLE SINK WITH GARBAGE DISPOSAL (VERIFY DIMENSIONS W/ MANUF. SPECS.)
- BUILT-IN DISHWASHER (VERIFY DIMENSIONS WITH MANUF. SPECS.)
- 60" WOLF RANGE W/ OVENS, VENT PER O.S.A. (VERIFY DIMENSIONS WITH MANUF. SPECS.)
- RETRACTABLE VENT EXHAUST FAN
- BUILT-IN WARMING DRAWERS IN LOWER CABINET.
- UNDER-CABINET REFRIGERATOR.
- REFRIGERATOR SPACE FOR 42"W UNIT - WALL RECESSED BOX FOR WATER CONN.
- LOWER CABINET, WOOD W/ STONE COUNTERTOP, TOP @ 36" AFF; W/ RECESSED LAVATORY; MIN. 8" h STONE BACKSPLASH. MATERIAL SELECTION BY OWNER.
- WATER-RESISTANT GYP-BD AT WALL BEHIND TUB AND SHOWER ENCLOSURES; INSTALL TO A HEIGHT OF 70" MINIMUM ABOVE THE DRAIN INLET.
- SHOWER TILE WAJNSCOT TO 80" HT. MIN. MATERIAL SELECTION PER OWNER; PROVIDE 12" x 16" RECESSED SOAP / SHAMPOO NICHE, BOTTOM AT 48" FROM FINISH FLOOR.
- RAISED PLATFORM FOR RECESSED FIBERGLASS BATHTUB, WITH SEPARATE FAUCET & CONTROLS, RECESSED SOAP DISH / SHAMPOO NICHE AT WALL; SELECTION BY OWNER.
- TILED CURB 3" H. AT SHOWER STALL, SLOPE TO DRAIN, TILE FINISH.
- SHOWERHEAD & SHOWER CONTROLS PER OWNER SELECTION.
- SHATTER-PROOF SHOWER ENCLOSURE.
- TEMPERED GLASS PARTITION.
- WALL RECESSED MEDICINE CABINET, SELECTION BY OWNER.
- RECESSED EXHAUST FAN CAPABLE OF MINIMUM 5 AIR CHANGES PER HOUR, LOW NOISE TYPE UNIT.
- WASHER & DRYER LAUNDRY SET, PROVIDE LAUNDRY TRAY AND WALL RECESSED H & C WATER CONNECTION & WASTE BOX.
- DRYER EXHAUST DUCT, NOT LESS THAN 4" IN Ø SHALL HAVE A SMOOTH INTERIOR; THE TOTAL COMBINED DUCT LENGTH NOT TO EXCEED 14'-0", INCLUDING TWO 90° ELBOWS; THE TOTAL LENGTH SHALL BE REDUCED BY 24" PER EACH ADDITIONAL CHANGE IN DIRECTION; DUCT SHALL TERMINATE OUTSIDE THE BUILDING. PROVIDE BACK-DRAFT DAMPER. [CMC 504.3.2.2.]
- WALL MOUNTED RETRACTABLE IRONING BOARD, WITH INTEGRAL GFCI ELECTR. RECEPTACLE.
- CUSTOM WARDROBE WITH / WITHOUT DOORS
- LAUNDRY SINK AT LOWER CABINET, SIZE & SELECTION BY OWNER.
- GARAGE DOOR TO HOUSE: SELF-CLOSING, SELF-LATCHING DOOR, 1-HR FIRE RESISTANCE.
- CONNECTION BOX RECESSED IN WALL FOR TV INSTALLATION & MOUNTING.
- METAL INSTALLATION BASE FOR A/C CONDENSER, 42" SQ. MIN. DIMENSION, TOP OF PAD 4" MIN. ABOVE FIN.GRADE. PROVIDE GFCI ELECTRICAL RECEPTACLE W/ WEATHERPROOF COVER AND POWER DISCONNECT.
- EXTERIOR CONCRETE LANDING, CAN BE NO LOWER THAN 1'-1/2" FROM TOP OF DOOR THRESHOLD.
- EXISTING WATER HEATER ENCLOSURE.
- EXISTING ELECTRICAL PANEL ENCLOSURE.

COUNTY OF ORANGE RESIDENTIAL KITCHEN REMODEL NOTES

INTRODUCTION

Kitchen additions, alterations or renovations require Building permits. The following information can be used as a guideline for the minimum requirements for a kitchen remodel project. Additions, alterations or renovations require compliance with the following:

- 2019 California Residential Code (CRC)
- 2019 California Plumbing Code (CPC)
- 2019 California Mechanical Code (CMC)
- 2019 California Electric Code (CEC)
- 2019 California Energy Code (CECn)
- 2019 California Green Building Standards Code (CalGreen)

A kitchen renovation includes, but is not limited to, the removal and/or relocation of base cabinets, countertops, sinks, dishwasher, garbage disposal, installed appliances, changes to the lighting, removal and replacement of any wallboard, modifications to the structural elements of the dwelling and changes to the electrical, mechanical and plumbing systems. Removal and replacement of the base cabinets and countertop will require compliance with the electrical outlet location requirements of the code.

The following details the minimum requirements for the kitchen electrical, mechanical, and plumbing systems:

ELECTRICAL

- All kitchen countertop outlets shall be GFCI protected. [CEC 210.8(A)(6)]
- Receptacles shall be listed as tamper resistant.
- 12" or wider countertops require an outlet. [CEC 210.52(C)(1)]
- Outlets are required within 24" of any location along the countertop. [CEC 210.52(C)(2)]
- Kitchen outlets positioned a maximum 20" above countertop. [CEC 210.52(C)(5)]
- Appliance garage outlets are not counted as a required countertop outlet. [CEC 210.52(C)(5)]
- Appliances and sinks break up the countertop run, requirement each side to comply individually.
- [CEC 210.52(C)(4)]
- The electrical outlet requirements include islands, peninsulas, kitchen desktops, wet bars, and serving bars. A large window across the back of a sink or lack of a backsplash does not exempt the countertop from the outlet requirements. These outlets may be in a drop front cabinet face, under cabinet plug strip, pop up or tomtstone-type receptacle. [CEC 210.52(C)(2), (3), (4)]
- Two small appliance outlet circuits, 20 amps each, are required for kitchens. Circuits shall be balanced and have no other outlets. [CEC 210.52(B)(1), (2)]
- Individual dedicated circuits are required for all major appliances. The rating of an individual branch circuit shall not be less than the marked rating of the appliance or the marked rating of an appliance having combined loads as provided in 422.62. [210.11 (C) & 422.10 (A)]

MECHANICAL

- R ducted residential exhaust hood is required. A metal, smooth interior surface duct required on vent hood or down draft exhaust Aluminum flex duct not approved. Provide back draft damper [504.3]
- Minimum 30" vertical clearance to combustibles from cook top surface.
- Kitchen local exhaust ventilation requires a minimum rate of 100cfm meeting the requirements of ASHRA 62.2. This includes a maximum sound rating of 3 sones @ 100cfm.

PLUMBING

- A gas test is required on piping modifications (10 psi for 15 minutes). A maximum 15 psi gauge is required for the gas test. A lower gas pressure test may be performed when using a recording test gauge per Section 1213.3 of the CPC.
- Gas lines that run under a slab shall run through an approved, vented, gas tight conduit. Gas line shall be encased in an approved conduit designed to withstand the imposed loads and installed in accordance with Sect. 1210.1.6.1 or 1210.1.6.2. Or encasement system that is listed for installation beneath building.
- An accessible shutoff valve shall be installed outside each appliance and ahead of the union connected thereto
- In addition to any valve on the appliance [CPC 1210.09]
- Provide maximum 6-ft-long listed gas flexible connector and shut off to freestanding range.

- A listed air gap is required for the dishwasher drain. [CPC 807.3]
- The maximum flow rate standards for the sink faucets are 1.8 GPM at 60psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 GPM at 60psi, and must default to a maximum flow rate of 1.8 GPM. [CPC 420.21]

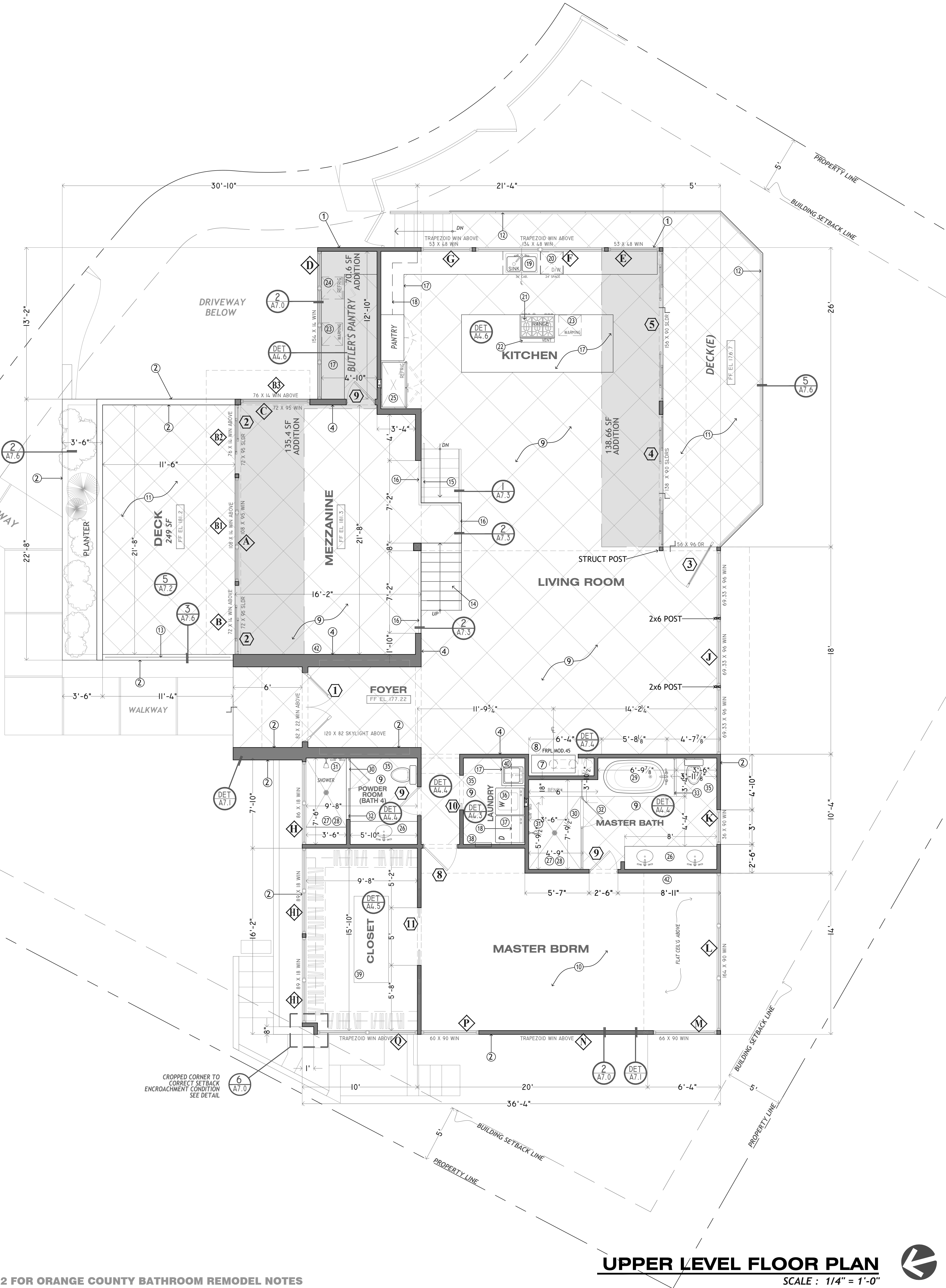
PLUMBING FIXTURE REPLACEMENT:

- IC (direct contact) and AT (air tight) rated cans are required for recessed lighting if installed in an insulated ceiling. [CEC 150(K)(C)]
- Fluorescent recessed lighting, when used to comply with the lighting requirements, must be of a pin base type design. Incandescent screw type base is not approved.
- AFCI Protection is required to kitchen by any of the means described in 210.12(A)(1) - through (6). [CEC 210.12 (A)].
- GFI protection for Laundry Area. [CEC 210.8 (A)(10)]
- GFI protection for Dishwasher. [CEC 210.8(D)].
- All recessed downlight luminaires shall be in accordance with Reference Joint Appendix JA8 and be marked as meeting JA8.

SMOKE ALARMS & CARBON MONOXIDE ALARMS:

- Kitchen renovations will require the smoke and c4, Senate Bill (SB) 407 and California Civil Code Section 1101.1-1101.8 requires all noncompliant plumbing fixtures to be replaced with water-conserving plumbing fixtures when building is arbon monoxide alarms for the dwelling to meet the current code prior to the final inspection as follows: [CRC R314 & R315]
- Smoke alarms are required in all sleeping rooms, outside each sleeping area in the immediate vicinity of the bedrooms, on each floor level including basements and habitable attics, but not including crawl spaces and uninhabitable attics.
- Carbon Monoxide alarms are required in dwelling units and sleeping units when fuel-burning appliances are installed, and/or dwelling units have attached garages. Either condition requires alarms.
- When more than one alarm of either type is required to be installed within an individual dwelling unit, the alarm devices shall be interconnected in such a manner that activation of one alarm will activate all the other alarms.
- In existing conditions, alarms may be battery operated when the repairs or alterations do not result in the removal of the wall and ceiling finishes or there is no access by means of an attic, basement or crawlspace.
- Multipurpose alarms that combine both a smoke alarm and carbon monoxide alarm shall comply with all applicable standards of both CRC Sections R314 and R315 and be listed by the Office of the State Fire Marshal.
- Smoke alarms shall be listed in accordance with UL217. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL217 and UL2034.
- Smoke alarms or smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance. [R314.3.1]

SEE SHEET A3.2 FOR ORANGE COUNTY BATHROOM REMODEL NOTES



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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RESIDENCE REMODEL
1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA
MARK FARD-GHASSEMI

PROJECT:
LOCATION:
OWNER:



REMODEL
FLOOR PLAN
UPPER LEVEL

Revisions
20 JUNE 2022
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Drawn By: Y.M.

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Scale 1/4" = 1'-0"

Sheet No.

A3.1

FLOOR PLAN LEGEND

- EXTERIOR WALL, 2 x STUD FRAMING, R-21 RATING WALL INSULATION, R-38 IN CEILINGS.
- EXTERIOR FACADE: LARGE FORMAT TILE LAMINAM 5mm, ALUMINUM FRAMEWORK ATTACHMENT SYSTEM. USE WEATHER RESISTANT BARRIER OVER STUDS OR SHEATHING AT ALL EXTERIOR WALLS. (CBC 1402.1). WHEN APPLIED OVER WOOD BASE SHEATHING PROVIDE 2 LAYERS OF GRADE D PAPER.
- PROVIDE GALVANIZED WEEP SCREED [26 ga. (0.48 mm) MINIMUM THICKNESS] AT OR BELOW THE FOUNDATION PLATE LINE; 4" min. ABOVE EARTH, OR 2" min. ABOVE SURFACE AT PAVED AREAS. TYPICAL AT ALL EXTERIOR PLASTER.
- INTERIOR WALLS, 2 x STUD FRAMING, DRYWALL SMOOTH PLASTER FINISH, USE / REPLACE AT ALL CONDITIONS WITH 90 DEG ANGLE CORNER BEAD, TYPICAL, PAINT FINISH, COLOR BY OWNER.
- 1-HOUR FIRE SEPARATION AT SHARED STRUCTURE WITH GARAGE.
- GAS / ELECTRIC FIREPLACE (STELLAR HEARTH PRODUCTS, BW-21556 MODEL 60H / FLARE FF-60H) SEE DETAILS. [CSA FILE# 263124 - ANSI Z21.88 - CSA 2.233] ; METAL FLUE, EXCEL STAINLESS STEEL UL#103HT LISTING# 5965. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
- GAS / ELECTRIC FIREPLACE (STELLAR HEARTH PRODUCTS, BW-21556 MODEL 45H / FLARE FF-45H) SEE DETAILS. [CSA FILE# 263124 - ANSI Z21.88 - CSA 2.233] ; METAL FLUE, EXCEL STAINLESS STEEL UL#103HT LISTING# 5965. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
- NOTE: a) FOR ALL FIREPLACES PROVIDE TIGHT FITTING GLASS DOORS; TOP-SEAL DAMPER AND SPARK ARRESTOR, EXCEL S.S. METAL FLUE, UL#103HT LISTING# 5965. INSTALLATION PER b) EXCEPT FOR FIREPLACES THAT OPEN TO THE EXTERIOR OF THE BUILDING, THE HEARTH SLAB SHALL BE READILY DISTINGUISHABLE FROM THE ADJACENT FLOORING. NON- COMBUSTIBLE FLOORING TO EXTEND MIN. 12" TO THE SIDES AND MIN. 20" IN FRONT OF FIREPLACE OPENING. c) FIREPLACES WITH AN OPENING OF LESS THAN 68" TO HAVE A HEARTH EXTENSION 16" MIN. TO THE FRONT, AND 8" MIN. TO THE SIDES OF FIREPLACE OPENING. d) COMBUSTIBLE MATERIALS SHALL NOT BE PLACED CLOSER THAN 6" FROM THE FRPL OPENING.
- STONE OR TILE FLOORING. COORDINATE THICKNESS OF MATERIAL(S) FOR FLUSH INSTALLATION WITH CARPET CONDITIONS.
- CARPET WITH UNDERLAY.
- EXTERIOR PAVING MATERIAL AT DECK, LAMINAM TILE, COLOR SELECTION BY OWNER.
- EXTERIOR METAL GUARDRAIL W/ TEMPERED GLASS PANELS, 42" HIGH ; GRS BALUSTRADE GUARD SYSTEM, ICC ESR-3842. SEE DETAILS.
- EXTERIOR METAL GUARDRAIL W/ TEMPERED GLASS PANELS, 34" H ON 8" CURB; GRS BALUSTRADE GUARD SYSTEM, C.R.LAURENCE CO., ICC #ESR-3842. SEE DETAILS.
- EXISTING STAIR TO MEZZANINE, WOOD STEPS REFURNISHED, STAIR & SEALER.
- METAL HANDRAIL, TOP AT 36" H FROM TREAD NOSING; KEEP 2" FROM WALL; ATTACH TO WALL STRUCTURE.
- INTERIOR RAILING, METAL POST & GUARDRAIL, WITH TEMPERED GLASS PANELS, GRS GLASS RAILING SYSTEM, C.R.LAURENCE CO., ICC #ESR-3842. SEE DETAILS.
- LOWER CABINET WITH STONE COUNTERTOP. TOP OF COUNTER @ 36" AFF, OR AS NOTED, WITH STONE BACK SPLASH (WHERE OCCURS). MATERIAL SELECTION BY OWNER.
- WALL MOUNTED UPPER CABINET WITH DOORS, BOTTOM 24" ABOVE COUNTERTOP, CONTINUOUS L.E.D. LIGHT FIXTURE AT FRONT BOTTOM EDGE OF CABINET, BEHIND FASCIA.
- DOUBLE SINK WITH GARBAGE DISPOSAL (VERIFY DIMENSIONS W/ MANUF. SPECS.)
- BUILT-IN DISHWASHER (VERIFY DIMENSIONS WITH MANUF. SPECS.)
- 60" WOLF RANGE W/ OVENS, VENT PER O.S.A. (VERIFY DIMENSIONS WITH MANUF. SPECS.)
- RETRACTABLE VENT EXHAUST FAN
- BUILT-IN WARMING DRAWERS IN LOWER CABINET.
- UNDER CABINET REFRIGERATOR
- REFRIGERATOR SPACE FOR 42"W UNIT - WALL RECESSED BOX FOR WATER CONN.
- LOWER CABINET, WOOD W/ STONE COUNTERTOP, TOP @ 36" AFF; W/ RECESSED LAVATORY; MIN. 8" h STONE BACKSPLASH. MATERIAL SELECTION BY OWNER.
- WATER-RESISTANT GYP-BD AT WALL BEHIND TUB AND SHOWER ENCLOSURES; INSTALL TO A HEIGHT OF 70" MINIMUM ABOVE THE DRAIN INLET.
- SHOWER TILE WAINSCOT TO 80" HT. MIN. MATERIAL SELECTION PER OWNER; PROVIDE 12" x 16" RECESSED SOAP / SHAMPOO NICHE, BOTTOM AT 48" FROM FINISH FLOOR.
- RAISED PLATFORM FOR RECESSED FIBERGLASS BATHTUB, WITH SEPARATE FAUCET & CONTROLS, RECESSED SOAP DISH / SHAMPOO NICHE AT WALL; SELECTION BY OWNER.
- TILED CURB 3"H. AT SHOWER STALL, SLOPE TO DRAIN, TILE FINISH.
- SHOWERHEAD & SHOWER CONTROLS PER OWNER SELECTION.
- SHATTER-PROOF SHOWER ENCLOSURE.
- TEMPERED GLASS PARTITION.
- WALL RECESSED MEDICINE CABINET, SELECTION BY OWNER.
- RECESSED EXHAUST FAN CAPABLE OF MINIMUM 5 AIR CHANGES PER HOUR, LOW NOISE TYPE UNIT.
- WASHER & DRYER LAUNDRY SET, PROVIDE LAUNDRY TRAY AND WALL RECESSED H & C WATER CONNECTION & WASTE BOX.
- DRYER EXHAUST DUCT, NOT LESS THAN 4" IN Ø SHALL HAVE A SMOOTH INTERIOR; THE TOTAL COMBINED DUCT LENGTH NOT TO EXCEED 14'-0", INCLUDING TWO 90° ELBOWS; THE TOTAL LENGTH SHALL BE REDUCED BY 24" PER EACH ADDITIONAL CHANGE IN DIRECTION; DUCT SHALL TERMINATE OUTSIDE THE BUILDING. PROVIDE BACK-DRAFT DAMPER. [CMC 504.3.2.2]
- WALL MOUNTED RETRACTABLE IRONING BOARD, WITH INTEGRAL GFCI ELECTR. RECEPTACLE.
- CUSTOM WARDROBE WITH / WITHOUT DOORS.
- LAUNDRY SINK AT LOWER CABINET, SIZE & SELECTION BY OWNER.
- GARAGE DOOR TO HOUSE: SELF-CLOSING, SELF-LATCHING DOOR, 1-HR FIRE RESISTANCE.
- CONNECTION BOX RECESSED IN WALL FOR TV INSTALLATION & MOUNTING.
- METAL INSTALLATION BASE FOR A/C CONDENSER, 42" SQ. MIN. DIMENSION, TOP OF PAD 4" MIN. ABOVE FIN.GRADE. PROVIDE GFCI ELECTRICAL RECEPTACLE W/ WEATHERPROOF COVER AND POWER DISCONNECT.
- EXTERIOR CONCRETE LANDING, CAN BE NO LOWER THAN 1'-1/2" FROM TOP OF DOOR THRESHOLD.
- EXISTING WATER HEATER ENCLOSURE.
- EXISTING ELECTRICAL PANEL ENCLOSURE.

COUNTY OF ORANGE RESIDENTIAL BATHROOM REMODEL NOTES

INTRODUCTION

Bathroom remodels generally require permits. The following information can be used as a guideline for the bathroom requirements.

Bathroom remodels require compliance with the following:

- 2019 California Residential Code (CRC)
- 2019 California Plumbing Code (CPC)
- 2019 California Mechanical Code (CMC)
- 2019 California Electric Code (CEC)
- 2019 California Energy Code (CEC)
- 2019 California Green Building Standards Code (CalGreen)

A bathroom remodel includes the removal and replacement and/or relocation of vanity cabinets, toilets, sinks, tubs & showers, replacement/changes to the lighting or removal & replacement of the wallboard. The replacement of the towel bars, mirrors, paint, and floor coverings where no other work is included is considered a maintenance item and no permit is required for these items.

The following details the minimum requirements of the bathroom electrical, mechanical and plumbing systems:

ELECTRICAL

- Provide a 20 AMP GFCI protected electrical outlet within 36" of the outside edge of each bathroom sink basin. Outlet shall be located on a wall or partition that is adjacent to the basin or installed on the side or face of the basin cabinet not more than 12" below the countertop. [CEC 210.52(D)]
- Receptacles shall be listed as tamper-resistant.
- A minimum of one (1) 20-amp circuit is required for bathrooms. Such circuits shall have no other outlets. This circuit may serve more than one bathroom. [CEC 210.52(D)]
- No pendant light fixtures in zone, 3 ft. away and 8 ft. above the bathtub or shower. [CEC 410.10(D)]
- Luminaires located within the actual outside dimensions of the tub, shower, and ceiling suspended paddle fans, up to 8 feet vertically from the top of the bathtub rim or shower threshold, shall be marked as suitable for damp locations, provided with a solid lens and be GFCI protected. [CEC 410.10(D)]
- Bathroom lighting shall be high efficacy luminaires in accordance with Table 150.0-A of 2019 California Energy Code and have at least one luminaire in each space controlled by a vacancy sensor 150.0(K)2C.
- Recessed luminaires installed in an insulated ceiling shall be IC rated (zero clearance) and IC rated (air tight) and shall be sealed and/or gasket between ceiling and housing. For occupancies with a horizontal (floor/ceiling assembly) rated separation, the recessed fixtures shall be protected to the rating of the separation (1 hour) or be listed for the required protection. This generally applies to residential condominium construction where units are above or below other units.
- Hydro-massage tubs (i.e. Jacuzzi tubs) shall have access to the motor, be supplied by a GFCI protected dedicated circuit, and listed by a recognized testing agency. All piping, fitting, metal cables or other metal surfaces, within 5 feet of the inside wall of the Hydro-massage tub shall be properly bonded. Hydro-massage tubs shall be bonded with a minimum #8 AWG bare copper wire and the bonding shall be accessible. [CEC 680.60]
- All recessed downlight luminaires shall be in accordance with Reference Joint Appendix JAB and be marked as meeting JAB.

MECHANICAL

- A bath exhaust fan w/back draft damper is required regardless of the presence of a window. Exhaust must vent to outdoors in an approved duct. Terminate the outlet a minimum of 3 ft from an opening or property line. [CMC 502.2.1] A minimum rate of 50 cfm is required. Fan shall meet ASHRA standard 62.2. A maximum of 3 one rating is required.

PLUMBING

- Provide tempered glass at tub/shower doors and at windows less than 60" from tub/shower drain.
- Shower and tub/shower control valves shall be pressure balancing set at a maximum 120 degrees F. The water-filler valve in bathtub/whirlpools shall have a temperature limiting device set a maximum of 120 degrees F. The water heater thermostat cannot be used to meet these provisions. [CPC 408.3, 409.4]
- Fixtures shall meet the following maximum flow rates: [CPC 407.0, 408.2 & 411.0]
- Water Closets = 1.28 gallons/flush – Shower Heads = 1.8 GPM – Sink Faucets = 1.2 GPM
- Minimum shower size is 1024 square inches (30" circle). [CPC 408.6] Shower without threshold shall be considered a wet location and shall comply with California Building, Residential, and Electrical Codes.
- Site built shower stalls shall comply with CPC 408.7.
- Stall shower door to provide a min. of 22" wide unobstructed opening. [CPC 408.5]
- Toilet and/or Bidet require a total minimum 30" clear space, 15" from the center of the fixture to the wall, and a minimum of 24" clear space in front of the fixture. [CPC 402.5]
- When additional water closets (toilets) are installed, a maximum of 4 water closets are allowed on a 3" waste line. [Table 703.2, Note 4]
- The hot water valve shall be installed on the left side. [CPC 417.5]
- A minimum 12" x 12" access panel is required when a slip of trap waste & overflow is provided. [402.10]
- Where plumbing features (water closets, tubs, etc.) comes into contact with the wall or floor, the joint shall be caulked and sealed to be watertight. [CPC 402.2]

WHIRLPOOL/SPA TUBS

- Whirlpool (spa) bathtubs shall have a readily accessible access panel. [CPC 409.6]
- The circulation pump shall be located above the crown weir of the trap. [CPC 409.6]
- The pump and the circulation piping shall be self-draining to minimize water retention. [CPC 409.6]
- Suction fittings on whirlpool bathtubs shall comply with the listed standards. [CPC 409.6]
- The maximum hot water temperature discharging from a bidet is limited to 110 degrees by a device that conforms to ASSE 1070, Standard for Water Temperature Limiting Devices, or CSA B125-.70, Standard for Plumbing Fittings. The water heater thermostat shall not be considered a control for meeting this provision. [CPC 410.3]
- Flexible PVC hoses and tubing for whirlpool bathtubs must comply with IAPMO21033. [409.6.1].

BIDETS

- The water supply shall be protected with air gap or vacuum breaker. [CPC 410.2]
- The maximum hot water temperature discharging from a bidet is limited to 110 degrees by a device that conforms to ASSE 1070, Standard for Water Temperature Limiting Devices, or CSA B125-.70, Standard for Plumbing Fittings. The water heater thermostat shall not be considered a control for meeting this provision.

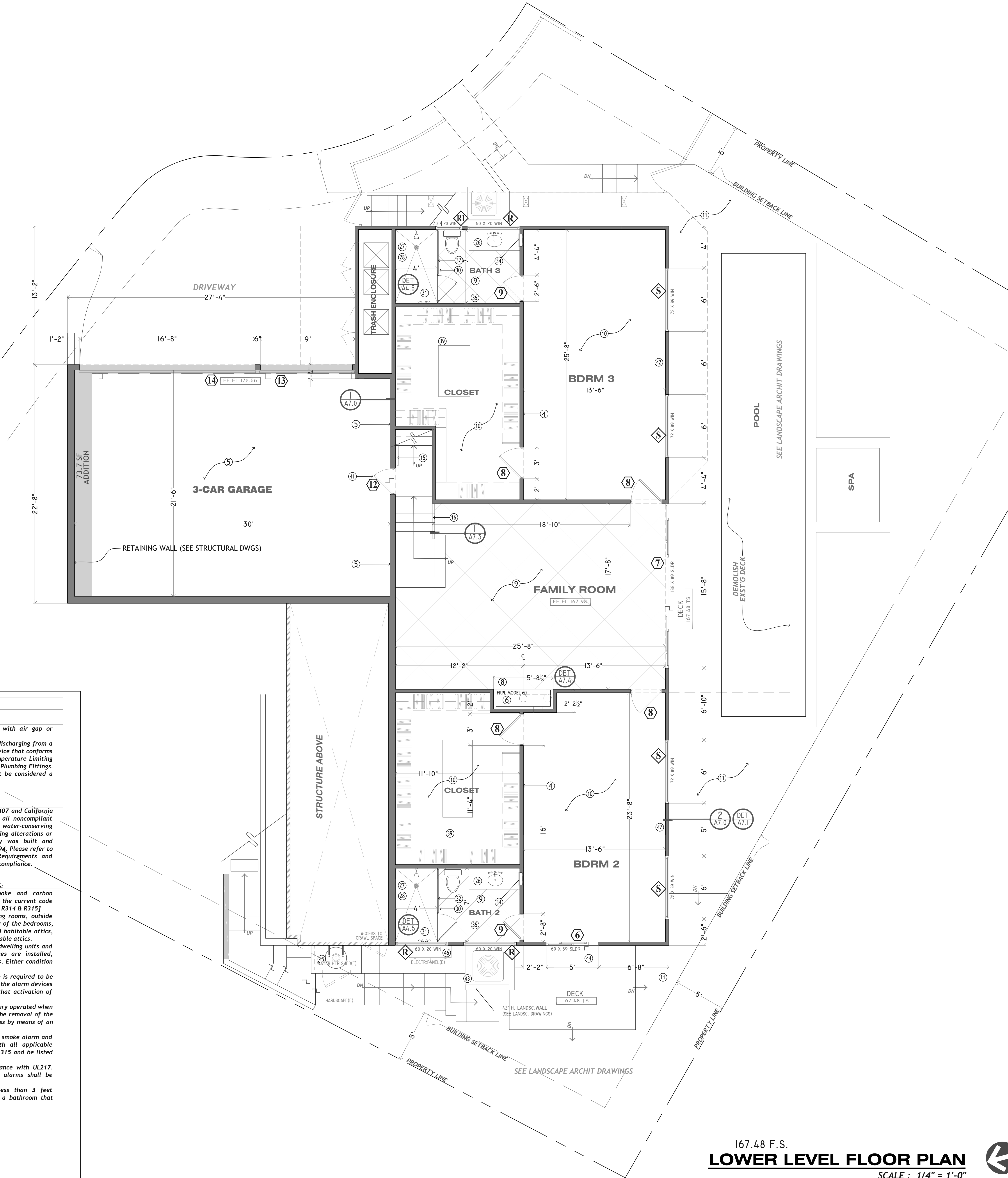
PLUMBING FIXTURE REPLACEMENT:

Effective January 1, 2014, Senate Bill (SB) 407 and California Civil Code Section 1101.1-1101.8 requires all noncompliant plumbing fixtures to be replaced with water-conserving plumbing fixtures when building is undergoing alterations or improvements if the residential property was built and available for use on or before January 1, 1994. Please refer to "Plumbing Fixture Replacement (SB407) Requirements and Policy" to determine if the project requires compliance.

SMOKE ALARMS & CARBON MONOXIDE ALARMS:

Bathroom remodels will require the smoke and carbon monoxide alarms for the dwelling to meet the current code prior to the final inspection as follows: [CRC R314 & R315]

- a Smoke alarms are required in all sleeping rooms, outside each sleeping area in the immediate vicinity of the bedrooms, on each floor level including basements and habitable attics, but not including crawl spaces and uninhabitable attics.
- a Carbon Monoxide alarms are required in dwelling units and sleeping units when fuel-burning appliances are installed, and/or dwelling units have attached garages. Either condition requires alarms.
- a When more than one alarm of either type is required to be installed within an individual dwelling unit, the alarm devices shall be interconnected in such a manner that activation of one alarm will activate all the other alarms.
- a In existing conditions, alarms may be battery operated when the repairs or alterations do not result in the removal of the wall and ceiling finishes or there is no access by means of an attic, basement or crawlspace.
- a Multipurpose alarms that combine both a smoke alarm and carbon monoxide alarm shall comply with all applicable standards of both CRC Sections R314 and R315 and be listed by the Office of the State Fire Marshal.
- a Smoke alarms shall be listed in accordance with UL217. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL217and UL2034.
- a Smoke alarm shall not be installed less than 3 feet horizontally from the door or opening of a bathroom that contains a bathtub or a shower [R314.3]



167.48 F.S.
LOWER LEVEL FLOOR PLAN
SCALE : 1/4" = 1'-0"

**MENDOZA
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RESIDENCE REMODEL
PROJECT: 1019 EMERALD BAY
LOCATION: EMERALD BAY LAGUNA BEACH, CA
OWNER: MARK FARD-GHASSEMI

PROJECT: LOCATION: OWNER:



**REMODEL
FLOOR
PLAN
LOWER LEVEL**

Revisions
20 JUNE 2022 PLAN CHECK CORR.
25 AUG 2022 PLAN CHECK CORR.

Drawn By: Y.M.

PLAN CHECK SUBMITTAL
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Project No. MG-2021-01

Scale 1/4" = 1'-0"

Sheet No.

A3.2

RESIDENCE REMODEL

1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA
MARK FARD-GHASSEMI

PROJECT:

LOCATION:

OWNER:



Ann Ziem



ELEVATIONS

Revisions	
20 JUNE 2022	PLAN CHECK CORR.
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Drawn By: Y.M.

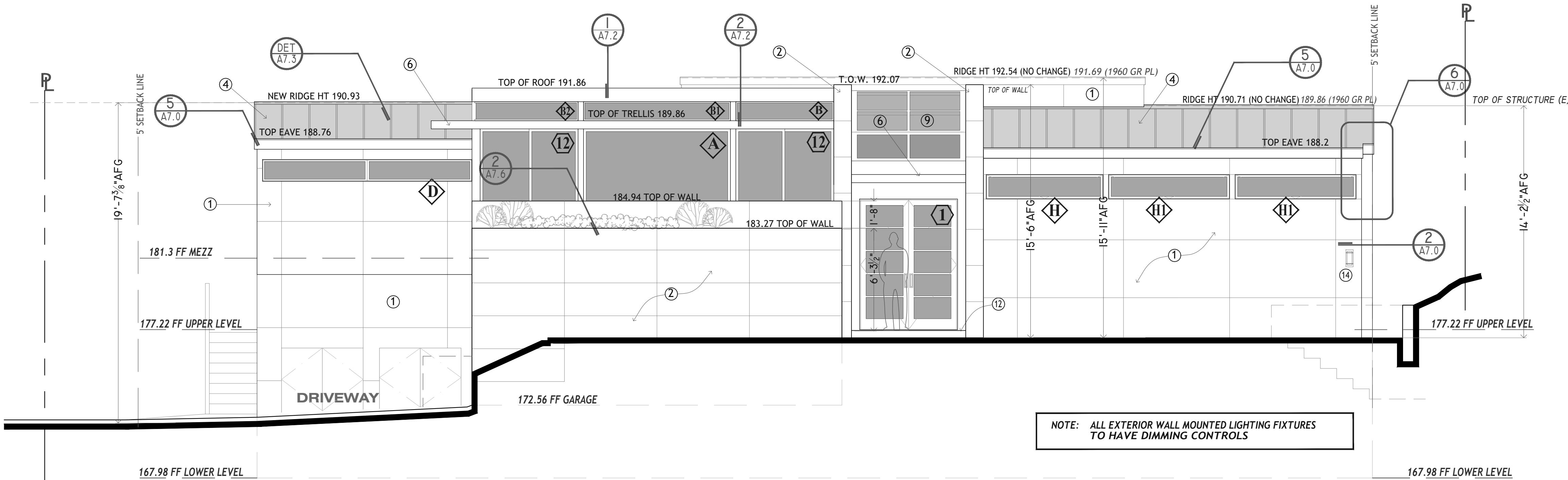
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Date 24 MAR 2022

Project No. MG-2021-01

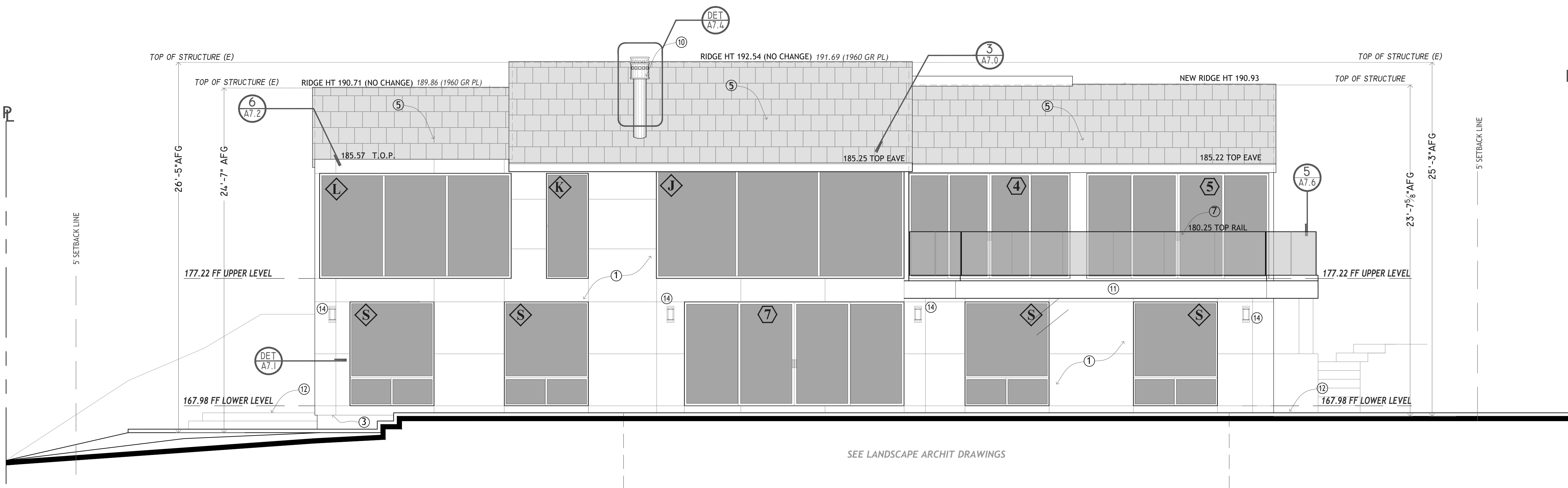
Scale 1/4" = 1'-0"

Sheet No.

A4.0



ELEVATION A - NORTH



ELEVATION B - SOUTH

SCALE : 1/4" = 1'-0"

ELEVATION LEGEND

- 1 SINTERED STONE LARGE FORMAT TILE FACADE, ON SUPPORT ASSEMBLY; LAMINAM MATERIAL, COLOR BIANCO ASSOLUTO, PATTERNS AS SHOWN PER CONDITION. SEE DETAILS.
- 2 SINTERED STONE LARGE FORMAT TILE FACADE, ON SUPPORT ASSEMBLY; LAMINAM MATERIAL, COLOR OSSIDO NERO, PATTERN AS SHOWN PER CONDITION. SEE DETAILS.
- 3 PROVIDE MIN. 26 ga. (0.48mm) GALVANIZED WEEP SCREED AT BOTTOM OF L.F.T. FACADE.
- 4 NEW ROOFING: STANDING SEAM COPPER, W/ COPPER RIDGE CAP AND TRIMS. SEE DETAILS.
- 5 EXISTING CONCRETE TILE ROOFING TO REMAIN, W/ COPPER TRIMS AT GABLE & EAVES. SEE DETAILS.
- 6 NEW METAL TRELIS SHADE STRUCTURE, PAINTED FINISH DARK BRONZE COLOR.
- 7 NEW METAL AND GLASS RAILING AT REAR DECK, SEE DETAILS.
- 8 NEW METAL AND GLASS RAILING AT NEW DECK, SEE DETAILS.
- 9 EXISTING METAL AND GLASS STOREFRONT SKYLIGHT AT FOYER, PAINT METAL TO MATCH NEW WINDOW FRAME FINISH.
- 10 NEW CHIMNEY PIPE, COPPER FINISH. SEE DETAILS.
- 11 EXISTING REAR DECK TO REMAIN.
- 12 EXTERIOR STONE TILE. SEE HARDSCAPE DRAWING.
- 13 NEW LOW PROFILE SKYLIGHT OVER HALLWAY & LAUNDRY RM. (REPLACING EXISTING LARGER SKYLIGHT).
- 14 WALL MOUNTED LIGHTING FIXTURE, SEE LIGHTING PLAN.
- 15 CONCRETE LANDING, PAD.
- 16 INTERIOR WALLS & SOFFITS: DRYWALL, PLASTER FINISH.
- 17 SINTERED STONE FLOORING.
- 18 CARPET W/ UNDERLAY, KEEP FLUSH W/ STONE FLOORING.
- 19 GLASS PARTITION.
- 20 STONE / TILE FINISH IN SHOWER STALL.
- 21 SHOWER ENCLOSURE, TEMPERED GLASS.
- 22 FIBERGLASS TUB ON RAISED PLATFORM.
- 23 STONE COUNTERTOP.
- 24 NEW ELECTRIC FIREPLACE, SEE DETAILS.
- 25 CUSTOM WARDROBE / CLOSET.
- 26 EXISTING WAT.HTR & ELECTRICAL SHEDS, COPPER ROOFING.

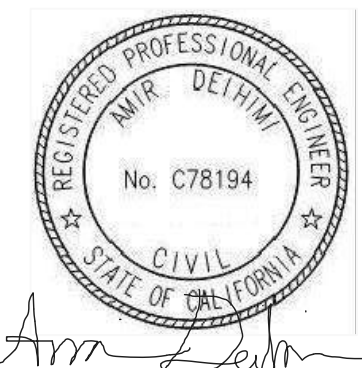
RESIDENCE REMODEL

1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA
MARK FARD-GHASSEMI

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ELEVATIONS

Revisions	
1	20 JUNE 2022 PLAN CHECK CORR.
2	25 AUG 2022 PLAN CHECK CORR.

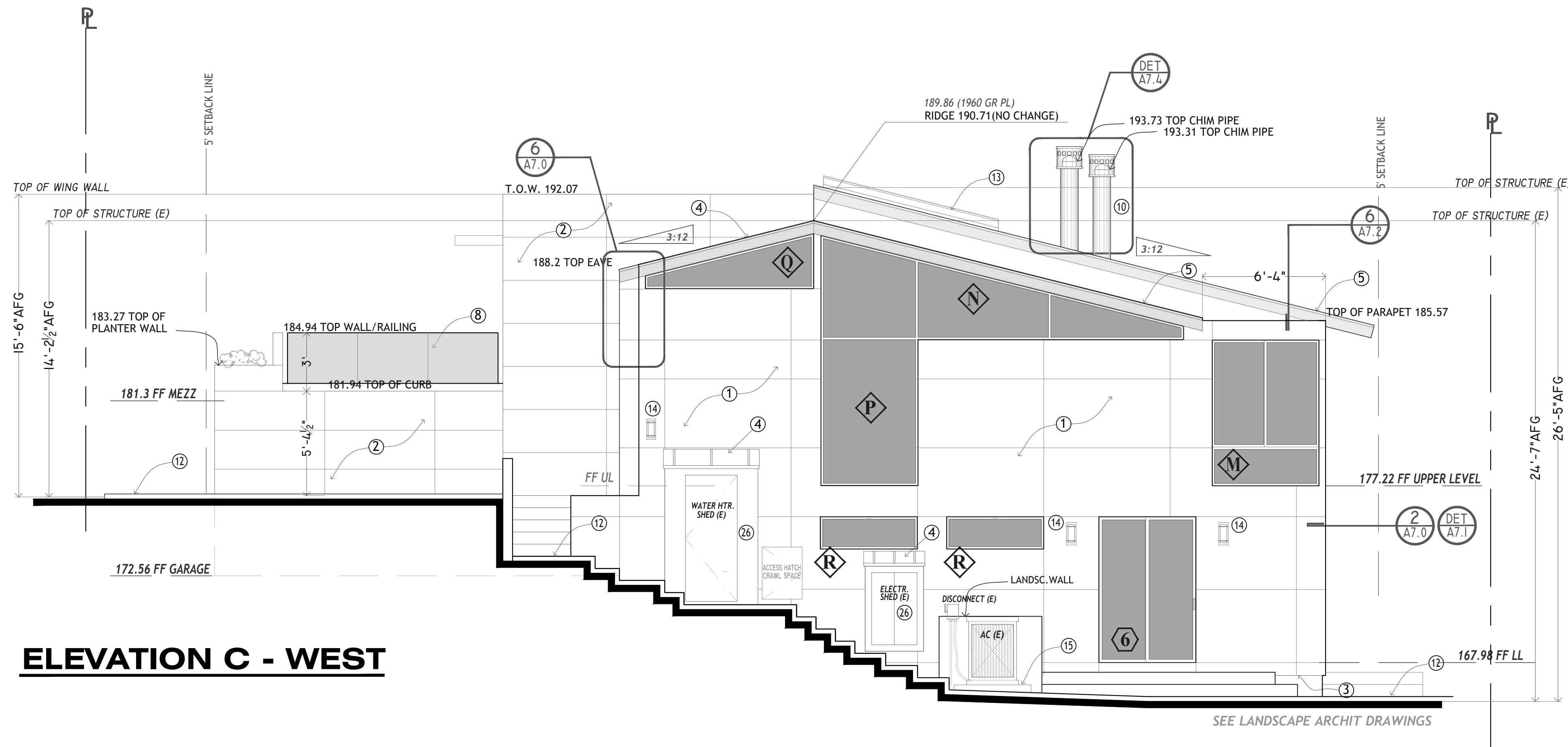
Drawn By: Y.M.

PLAN CHECK SUBMITTAL
Date 24 MAR 2022

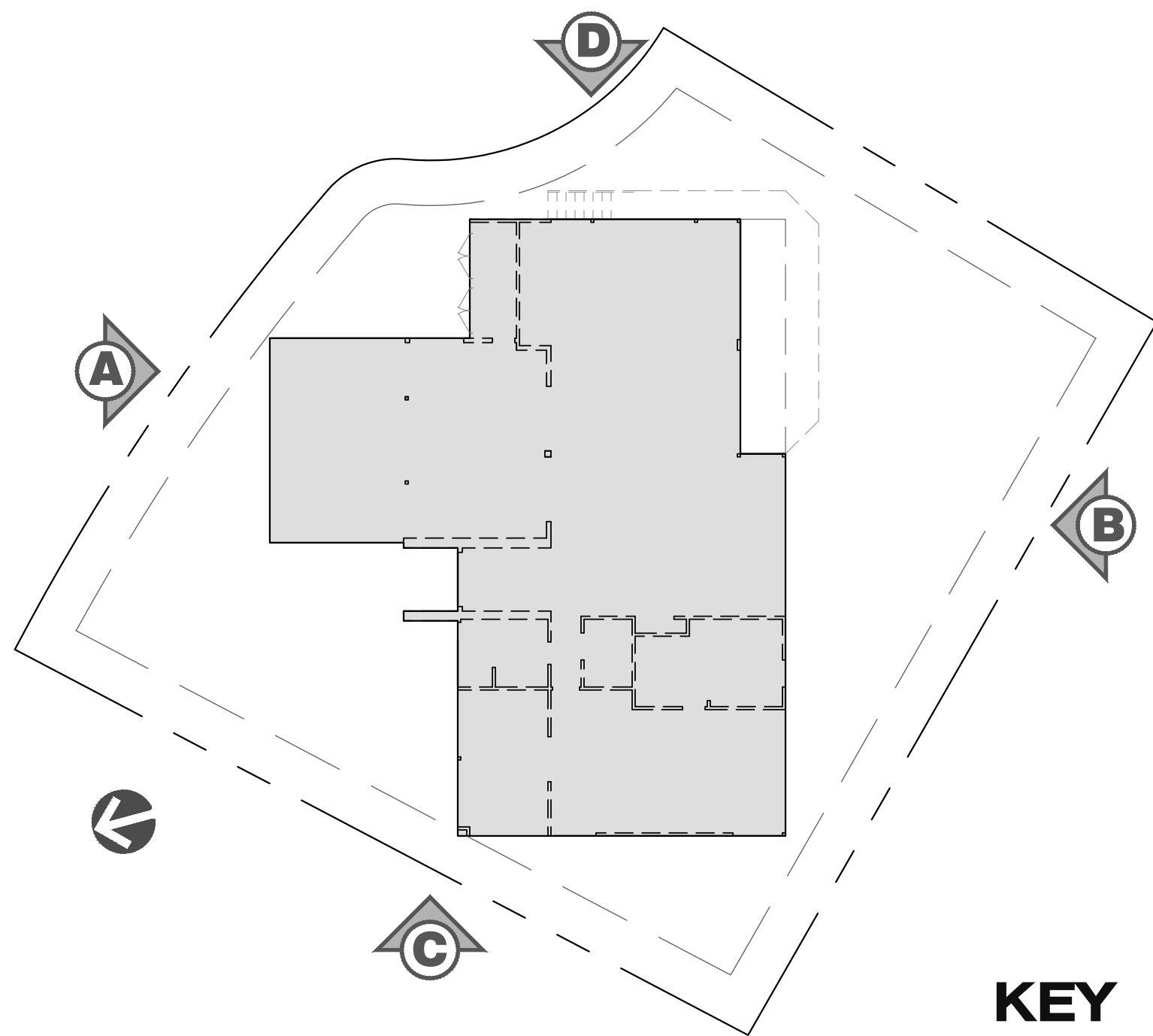
Project No. MG-2021-01

Scale 1/4" = 1'-0"

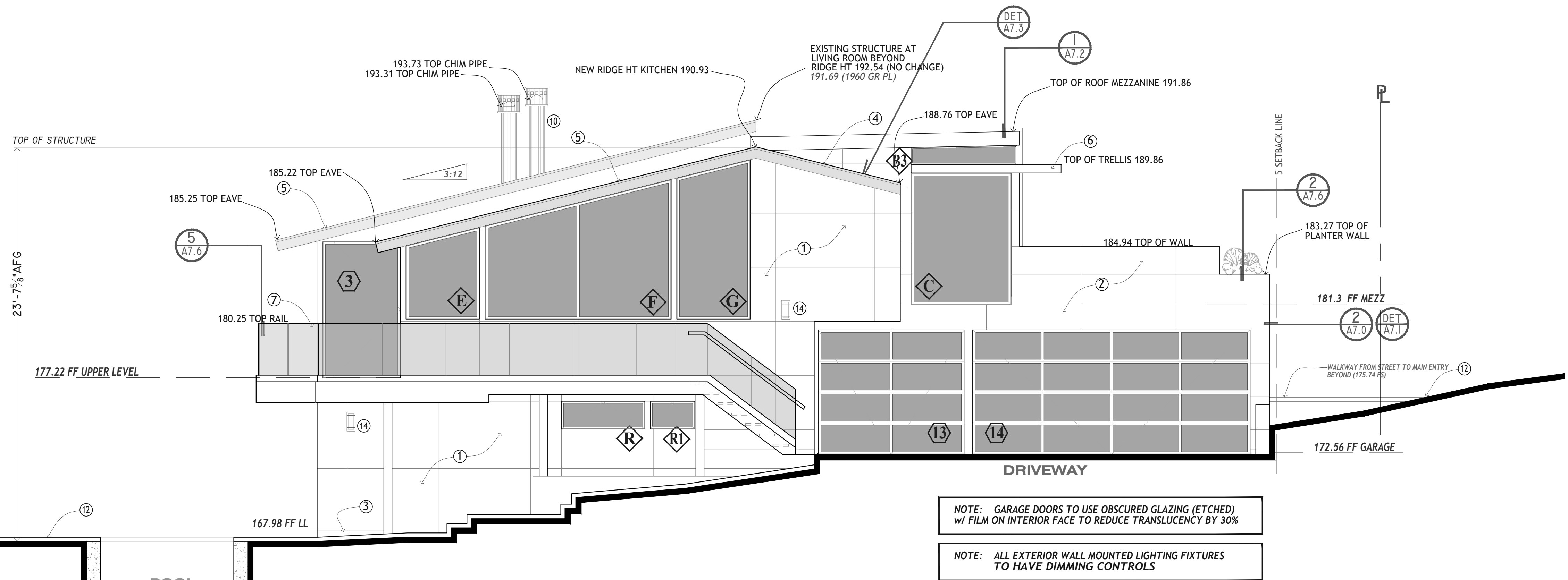
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A4.1



ELEVATION C - WEST



KEY



ELEVATION D - EAST

SCALE : 1/4" = 1'-0"

ELEVATION LEGEND

- 1 SINTERED STONE LARGE FORMAT TILE FACADE, ON SUPPORT ASSEMBLY; LAMINAM MATERIAL, COLOR BIANCO ASSOLUTO, PATTERNS AS SHOWN PER CONDITION. SEE DETAILS.
- 2 SINTERED STONE LARGE FORMAT TILE FACADE, ON SUPPORT ASSEMBLY; LAMINAM MATERIAL, COLOR OSSIDO NERO, PATTERN AS SHOWN PER CONDITION. SEE DETAILS.
- 3 PROVIDE MIN. 26 ga. (0.48mm) GALVANIZED WEEP SCREED AT BOTTOM OF L.F.T. FACADE.
- 4 NEW ROOFING: STANDING SEAM COPPER, W/ COPPER RIDGE CAP AND TRIMS. SEE DETAILS.
- 5 EXISTING CONCRETE TILE ROOFING TO REMAIN, W/ COPPER TRIMS AT GABLE & EAVES. SEE DETAILS.
- 6 NEW METAL TRELLIS SHADE STRUCTURE, PAINTED FINISH DARK BRONZE COLOR.
- 7 NEW METAL AND GLASS RAILING AT REAR DECK, SEE DETAILS.
- 8 NEW METAL AND GLASS RAILING AT NEW DECK, SEE DETAILS.
- 9 EXISTING METAL AND GLASS STOREFRONT SKYLIGHT AT FOYER, PAINT METAL TO MATCH NEW WINDOW FRAME FINISH.
- 10 NEW CHIMNEY PIPE, COPPER FINISH. SEE DETAILS.
- 11 EXISTING REAR DECK TO REMAIN.
- 12 EXTERIOR STONE TILE. SEE HARDSCAPE DRAWING.
- 13 NEW LOW PROFILE SKYLIGHT OVER HALLWAY & LAUNDRY RM. (REPLACING EXISTING LARGER SKYLIGHT).
- 14 WALL MOUNTED LIGHTING FIXTURE, SEE LIGHTING PLAN.
- 15 CONCRETE LANDING, PAD.
- 16 INTERIOR WALLS & SOFFITS: DRYWALL, PLASTER FINISH.
- 17 SINTERED STONE FLOORING.
- 18 CARPET W/ UNDERLAY, KEEP FLUSH W/ STONE FLOORING.
- 19 GLASS PARTITION.
- 20 STONE / TILE FINISH IN SHOWER STALL.
- 21 SHOWER ENCLOSURE, TEMPERED GLASS.
- 22 FIBERGLASS TUB ON RAISED PLATFORM.
- 23 STONE COUNTERTOP.
- 24 NEW ELECTRIC FIREPLACE, SEE DETAILS.
- 25 CUSTOM WARDROBE / CLOSET.
- 26 EXISTING WAT.HTR & ELECTRICAL SHEDS, COPPER ROOFING.

NOTE: GARAGE DOORS TO USE OBSCURED GLAZING (ETCHED) W/ FILM ON INTERIOR FACE TO REDUCE TRANSLUCENCY BY 30%

NOTE: ALL EXTERIOR WALL MOUNTED LIGHTING FIXTURES TO HAVE DIMMING CONTROLS

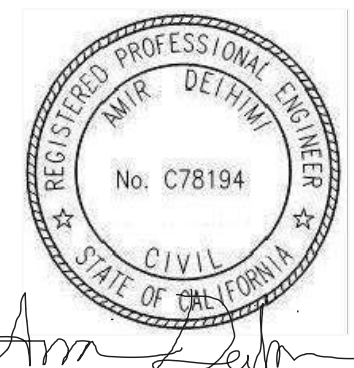
RESIDENCE REMODEL

1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA
MARK FARD-GHASSEMI

PROJECT:

LOCATION:

OWNER:



SITE /
BUILDING
SECTIONS

Revisions	
1	20 JUNE 2022 PLAN CHECK CORR.
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Drawn By: Y.M.

PLAN CHECK SUBMITTAL
Date 24 MAR 2022

Project No. MG-2021-01

Scale 1/4" = 1'-0"

Sheet No.

A4.2

NOTE: PROPERTY LINE & SETBACK LINE
SHOWN ARE AT SECTION LOCATION

20' SLOPE PROJECTION LINE
FROM 1960 GRADING PLAN

EXISTING STRUCTURE AT
LIVING ROOM BEYOND
RIDGE HT 192.54 (NO CHANGE)
* 191.69 (1960 GR PL)

RIDGE HT 190.71 (NO CHANGE)
189.86 (1960 GR PL)

EXISTING CHIMNEYS
TO BE REMOVED

NEW CHIMNEYS BEYOND

T.O.W. 192.07

188.2 TOP EAVE

*176

MASTER CLOSET

MASTER BDRM

185.57 T.O.P.
NEW FLAT ROOF W/
PARAPET

EXISTING GREENHOUSE
STYLE GLASS STRUCTURE
TO BE REMOVED

177.22 FF UPPER LEVEL

*172

*170

167.98 FF LOWER LEVEL

*168

*166

*164

*162

* ELEV HT FROM NATURAL GRADE
(PER 1960 GRADING PLAN)

SECTION 1

20' SLOPE PROJECTION LINE
FROM 1960 GRADING PLAN

EXISTING LIVING ROOM STRUCTURE
RIDGE HT 192.54 (NO CHANGE)
* 191.69 (1960 GR PL)

192.07 T.O.W.

EXTENDED WING WALL
BEYOND

GLASS CEILING TO
REMAIN

NEW METAL TRELLIS
AT ENTRY

EXISTING STRUCTURE
TO BE REMOVED

*178

172.56 FF GARAGE

*176

*174

FOYER

LIVING ROOM

FAMILY ROOM

*172

*170

*168

*166

*164

*162

*160

NOTE: PROPERTY LINE & SETBACK LINE
SHOWN ARE AT SECTION LOCATION

* ELEV HT FROM NATURAL GRADE
(PER 1960 GRADING PLAN)

SECTION 2

SCALE : 1/4" = 1'-0"

RESIDENCE REMODEL

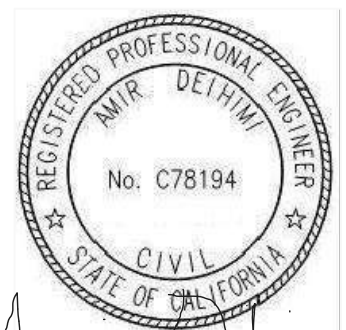
1019 EMERALD BAY
EMERALD BAY
LAGUNA BEACH, CA

MARK FARD-GHASSEMI

PROJECT:

LOCATION:

OWNER:



SITE /
BUILDING
SECTIONS

Revisions	
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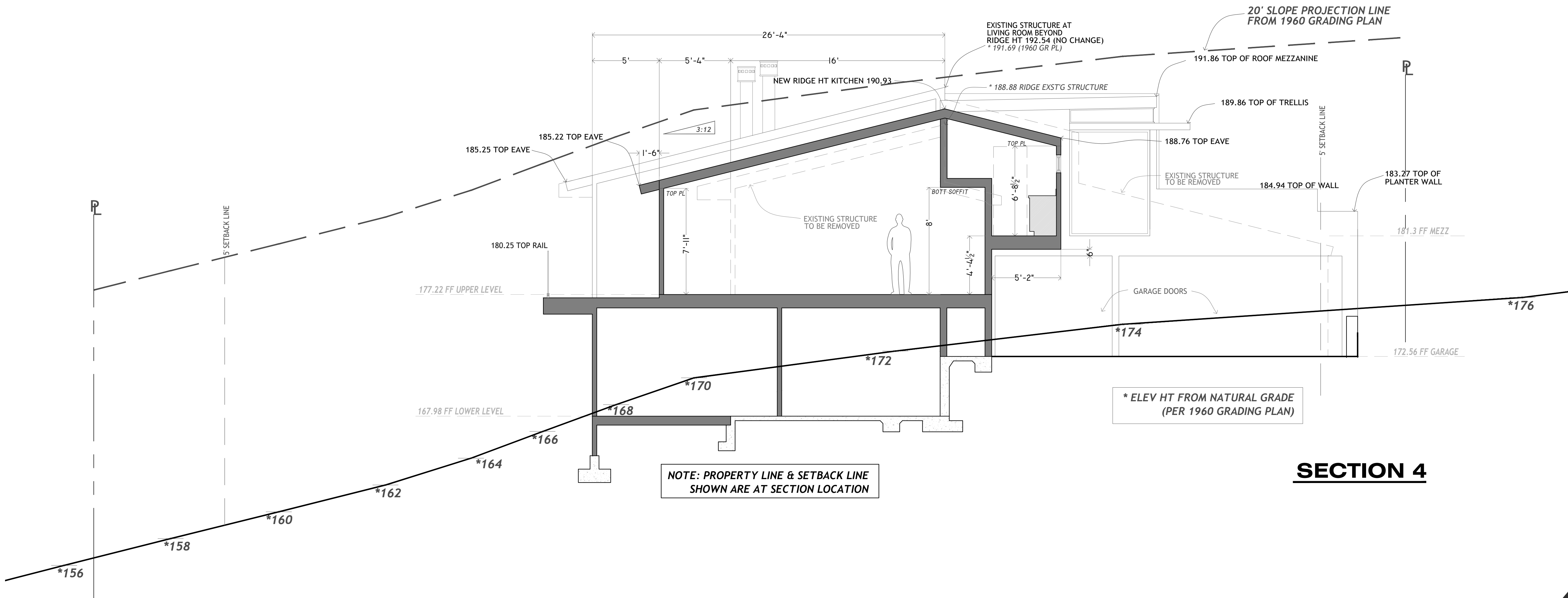
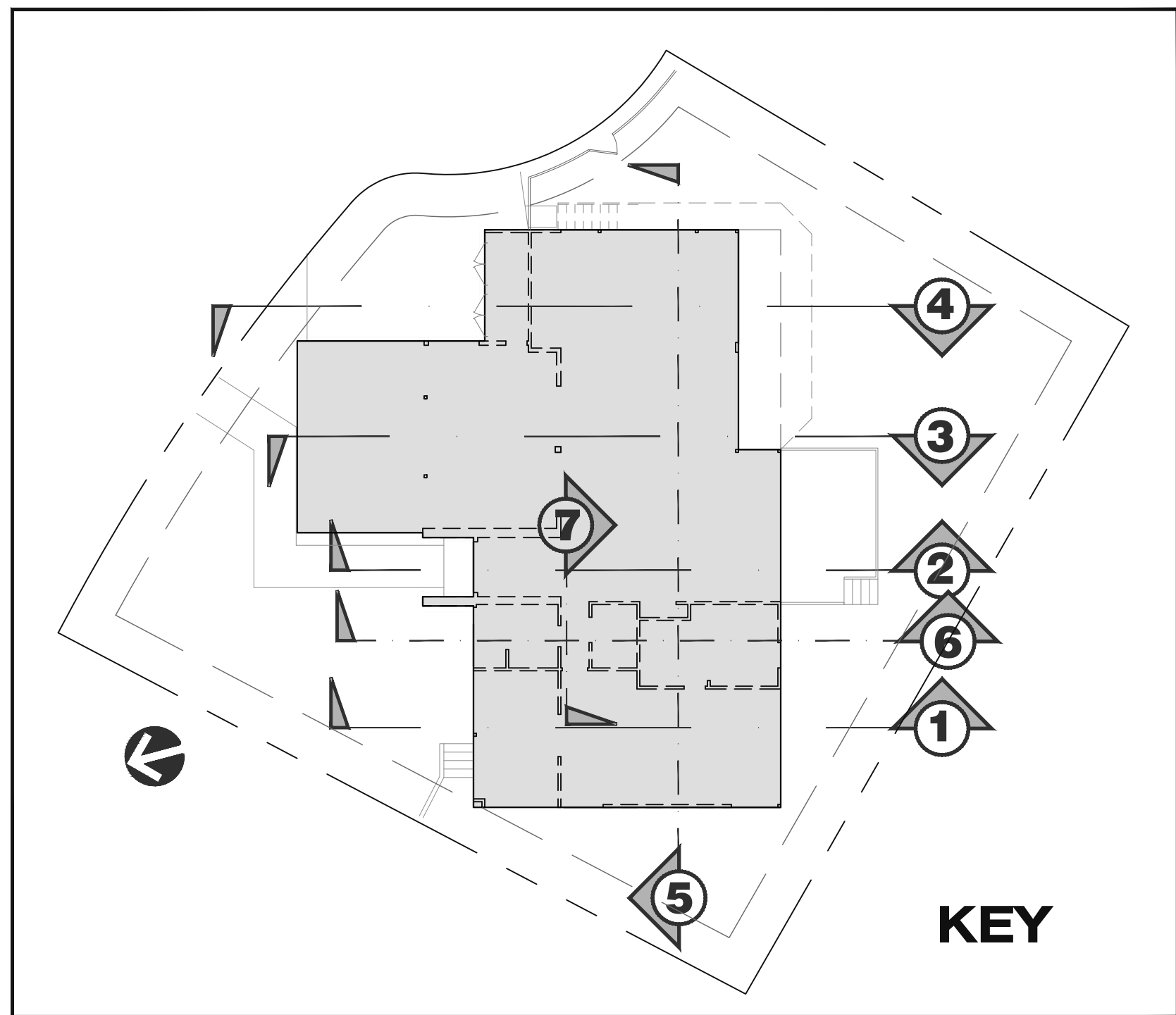
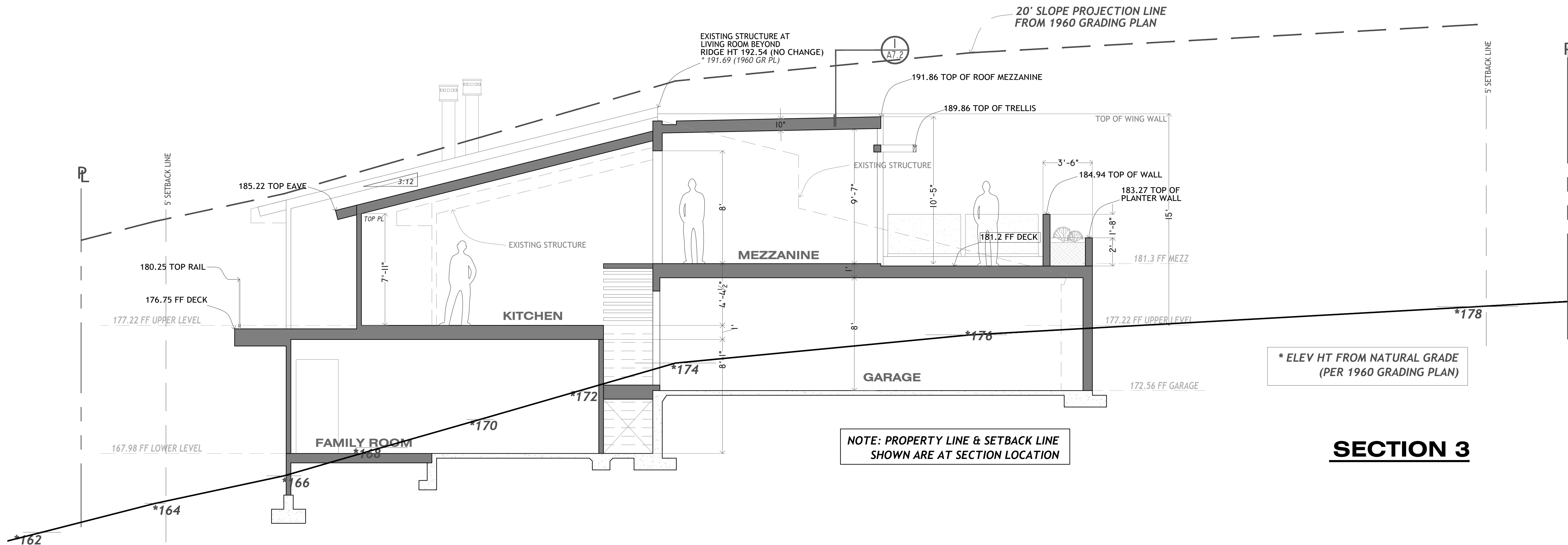
PLAN CHECK SUBMITTAL
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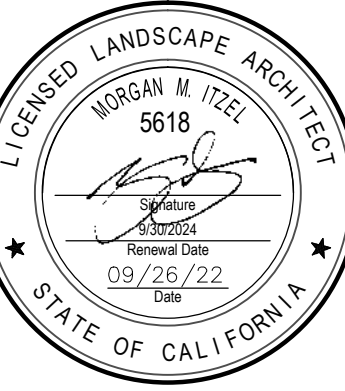
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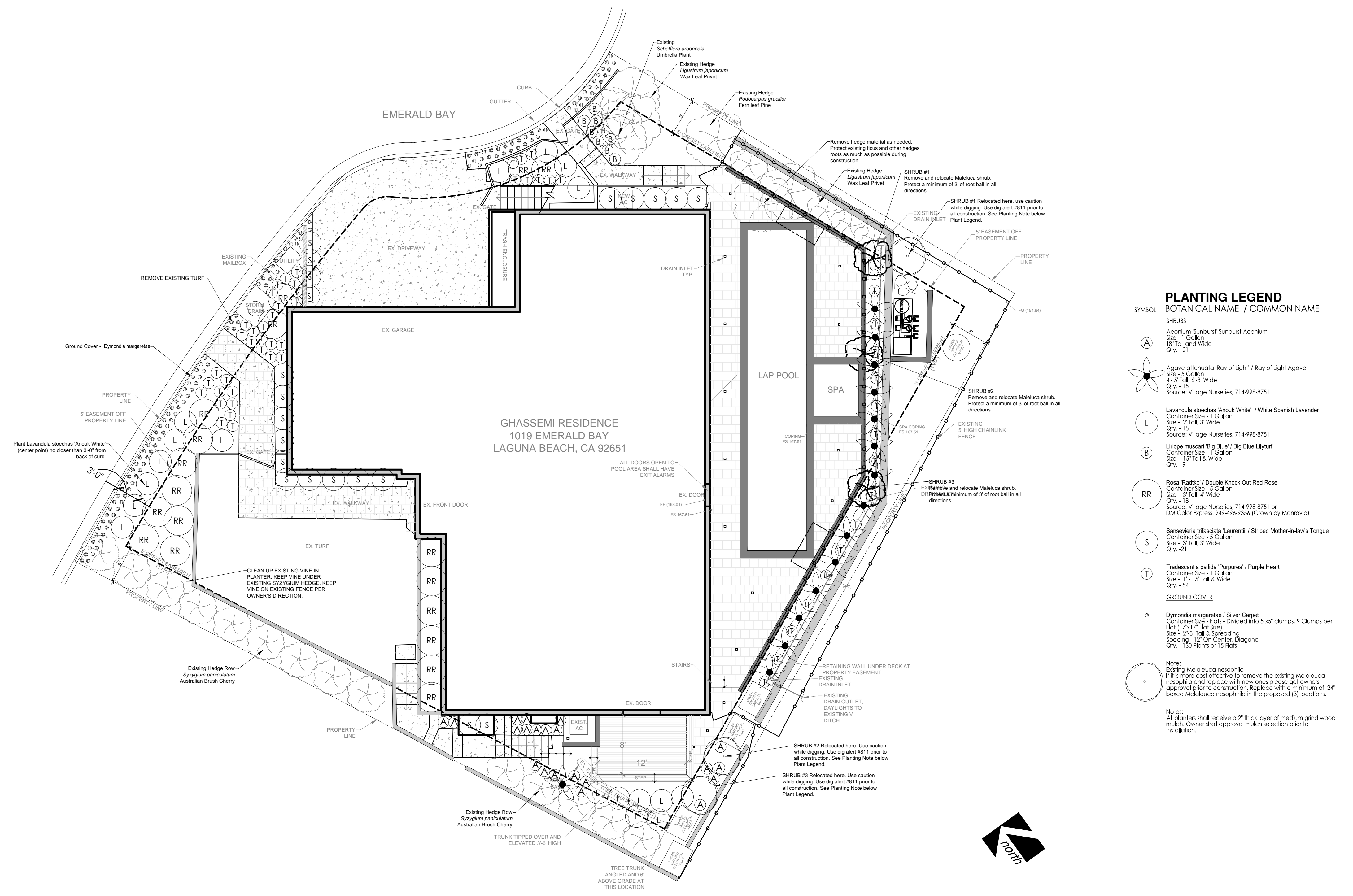
Grassemi Residence
Landscape Removal Plans
1019 Emerald Bay
Laguna Beach, Ca 92651
APN 053-021-05

[illegible]

SHEET VERSION DATE
September 26, 2022
DESCRIPTION

PLANTING PLAN


09 of 12



PLANTING PLAN



Ⓐ Aeonium 'Sunburst'
Sunburst Aeonium



Agave attenuata 'Ray of Light'
Ray of Light Agave



- *Dymondia margaretae*
Silver Carpet



(L) Lavandula stoechas 'Anouk
White'
White Spanish Lavender



(B) Liriope muscari 'Big Blue'
Big Blue Lilyturf



RR Rosa 'Radtko'
Double Knock Out Red Rose



S Sansevieria trifasciata 'Laurentii'
Striped Mother-in-law's Tongue



① Tradescantia pallida 'Purpurea'
Purple Heart

