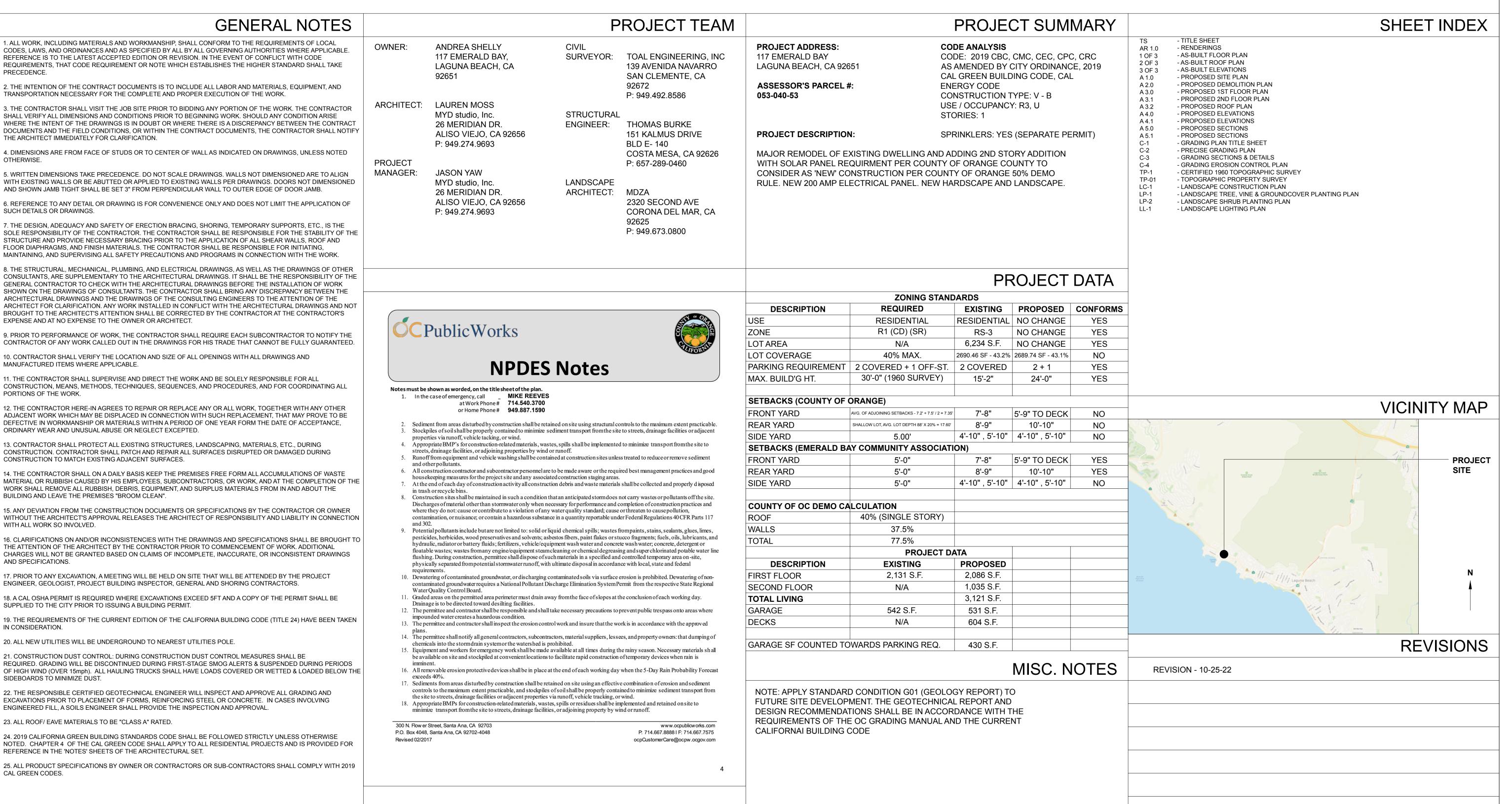
# SHELLY RESIDENCE

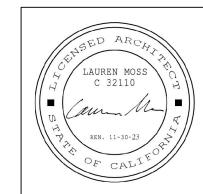
## 117 EMERALD BAY, LAGUNA BEACH, CA 92651



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SHELLY RESIDENCE



TITLE SHEET
SHEET NUMBER





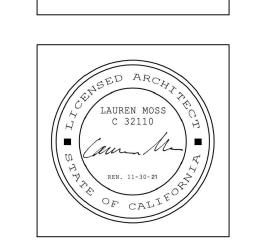


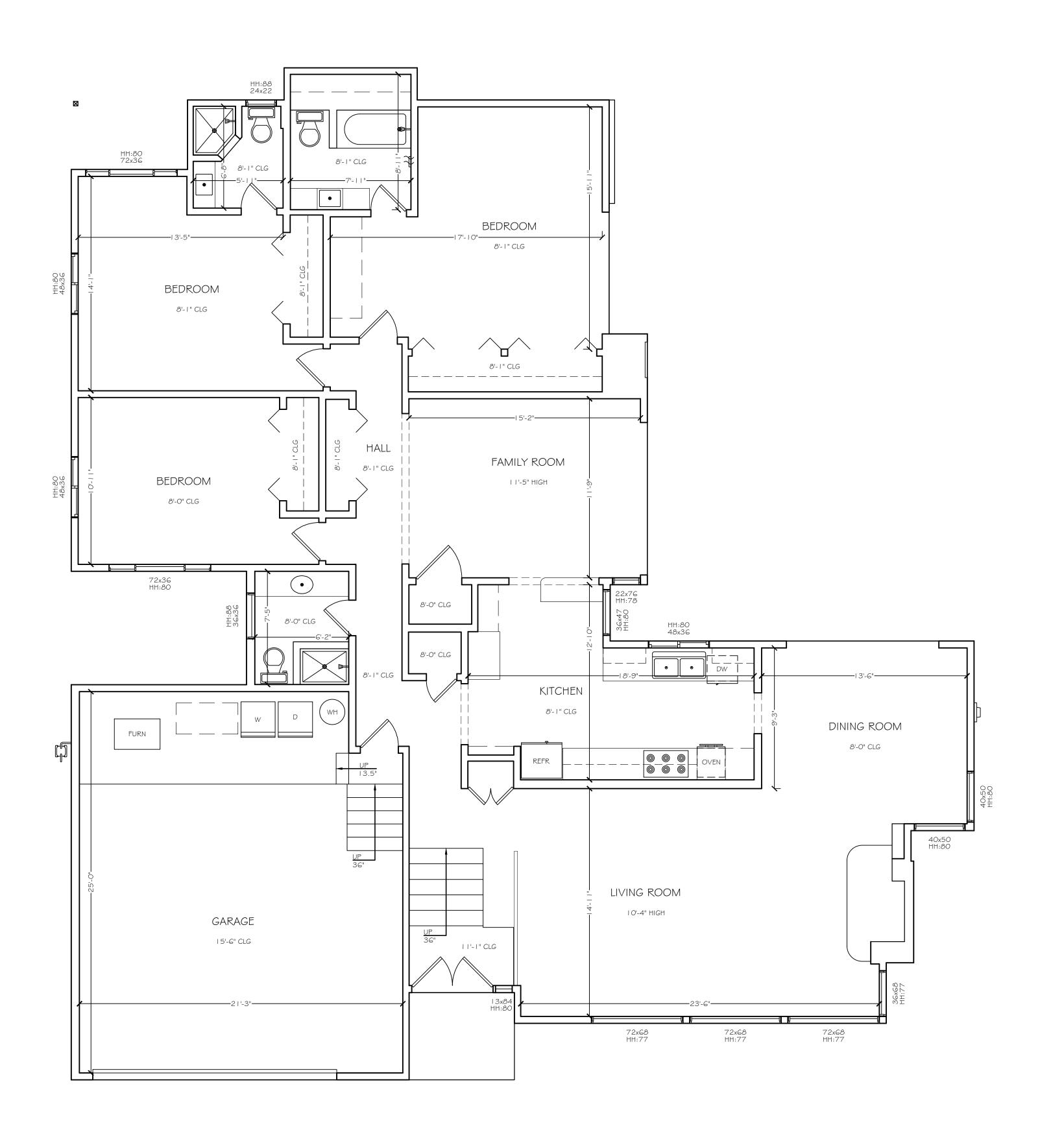














PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR LONG BEACH CA | 90804 T 562.621.9100 F 888.698.2966 WWW.PPMCO.NET



PREPARED FOR

MYD STUDIO

PROJECT TYPE

EXISTING FLOOR PLAN

PROJECT NAME

EMERALD BAY RESIDENCE

PROJECT ADDRESS

117 EMERALD BAY LAGUNA BEACH, CA 92651

All plans created by Precision Property
Measurement Ltd "PPM" are made exclusively
for landscaping purposes (Cal. Bus. 4 Prof.
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degree. It is the duty of the architects, contractor,

LEGEND

UPPER CABINET

W/D = WASHER/DRYER COMBO

FULL HEIGHT CABINET

W = WASHER
D = DRYER

= RANGE

REFR = REFRIGERATOR

OVEN = OVEN

DW = DISH WASHER

**3** = WALL HEATER

GAS METER

= ELECTRIC METER

= ELECTRICAL PANEL

CLG = CEILING HEIGHT

HH = HEADER HEIGHT

FURN = FURNACE

TC = TRASH COMPACTOR



SCALE
1/4" = 1'-0"

PROJECT

1/4" = 1'-0"

PROJECT
2547\_SC

APPROVED BY

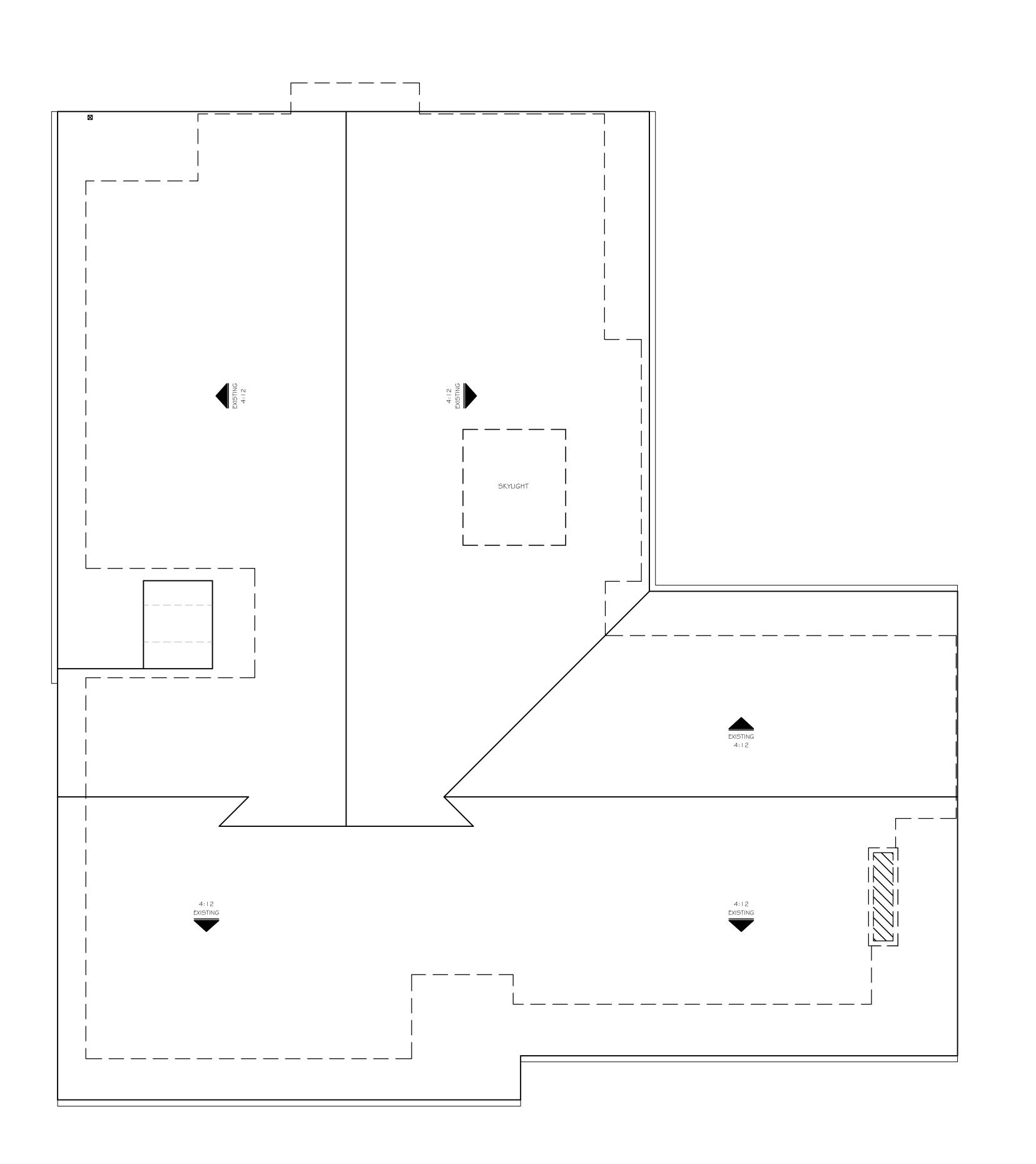
JS

DATE

02/24/2 |

SHEET

1 of 3





PRECISION PROPERTY MEASUREMENTS

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PREPARED FOR

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PROJECT TYPE

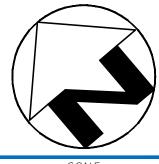
EXISTING ROOF PLAN

PROJECT NAME

EMERALD BAY RESIDENCE

PROJECT ADDRESS

117 EMERALD BAY LAGUNA BEACH, CA 9265 I



1/4" = 1'-0"

2547\_SC APPROVED BY

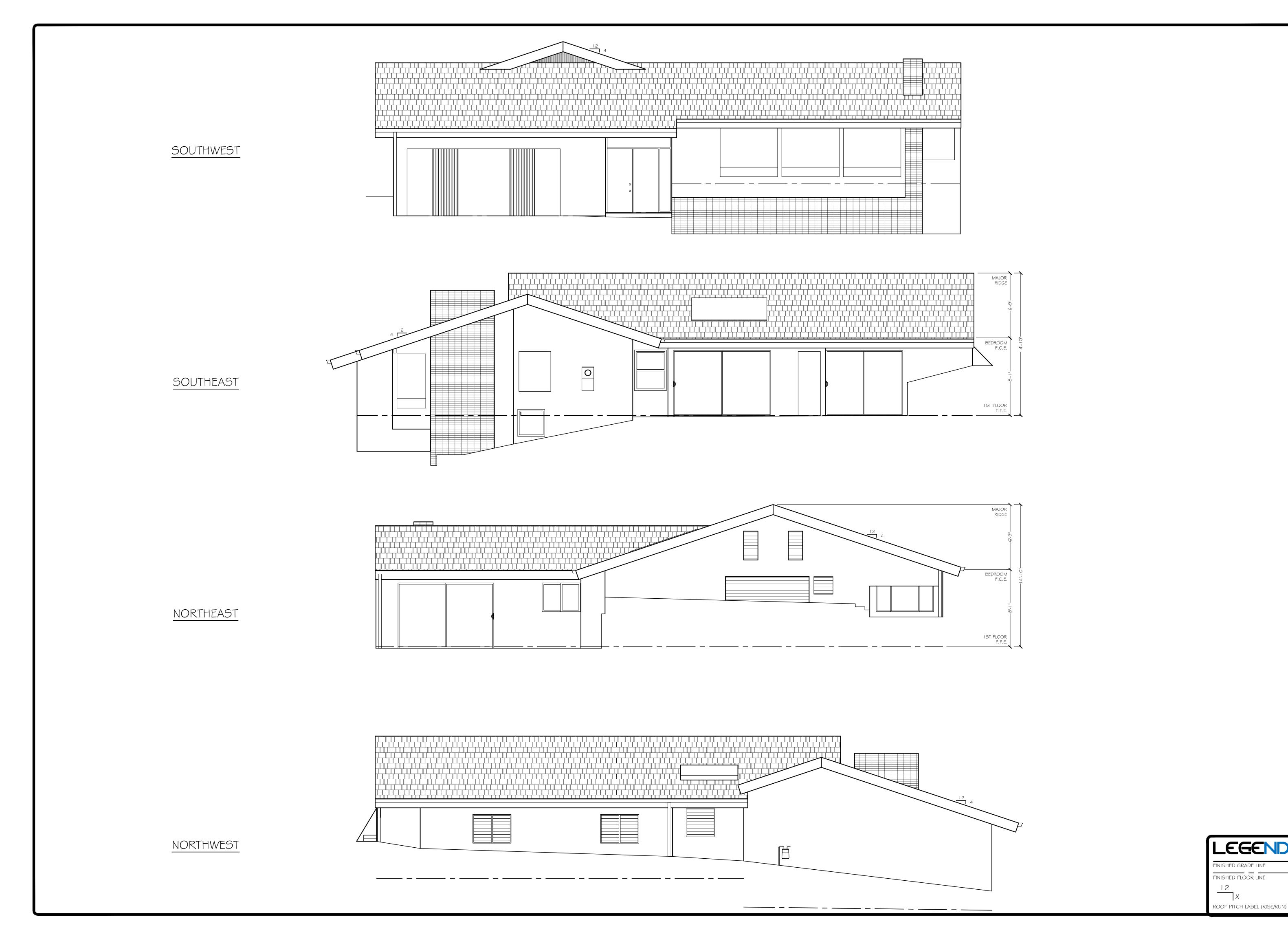
JS

02/24/21

2 of 3

CHIMNEY OUTLINE
BUILDING FOOTPRINT DRAIN = AIR CONDITIONER = UTILITY BOX

LEGEND



PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR LONG BEACH CA | 90804 T 562.621.9100 F 888.698.2966 WWW.PPMCO.NET



PREPARED FOR

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PROJECT TYPE

EXISTING EXTERIOR ELEVATIONS

PROJECT NAME

EMERALD BAY

PROJECT ADDRESS

117 EMERALD BAY LAGUNA BEACH, CA 92651

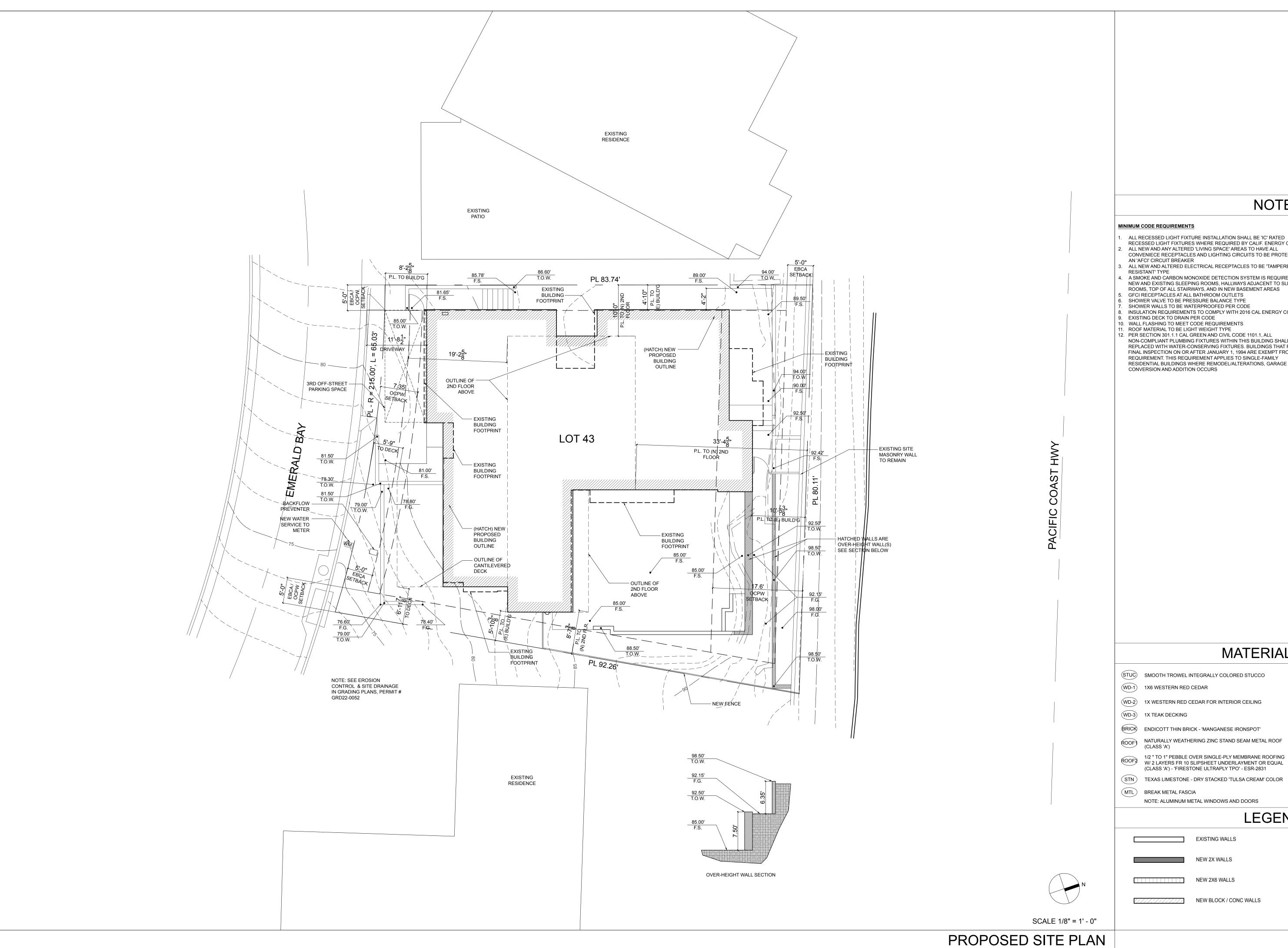
SCALE 1/4" = 1'-0"

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02/24/21

3 of 3



- RECESSED LIGHT FIXTURES WHERE REQUIRED BY CALIF. ENERGY CODE ALL NEW AND ANY ALTERED 'LIVING SPACE' AREAS TO HAVE ALL CONVENIECE RECEPTACLES AND LIGHTING CIRCUITS TO BE PROTECTED BY AN 'AFCI' CIRCUIT BREAKER
- ALL NEW AND ALTERED ELECTRICAL RECEPTACLES TO BE 'TAMPERED
- A SMOKE AND CARBON MONOXIDE DETECTION SYSTEM IS REQUIRED IN ALL NEW AND EXISTING SLEEPING ROOMS, HALLWAYS ADJACENT TO SLEEPING ROOMS, TOP OF ALL STAIRWAYS, AND IN NEW BASEMENT AREAS
- GFCI RECEPTACLES AT ALL BATHROOM OUTLETS SHOWER VALVE TO BE PRESSURE BALANCE TYPE SHOWER WALLS TO BE WATERPROOFED PER CODE
- INSULATION REQUIREMENTS TO COMPLY WITH 2016 CAL ENERGY CODE EXISTING DECK TO DRAIN PER CODE
- . WALL FLASHING TO MEET CODE REQUIREMENTS . ROOF MATERIAL TO BE LIGHT WEIGHT TYPE 2. PER SECTION 301.1.1 CAL GREEN AND CIVIL CODE 1101.1, ALL
- NON-COMPLIANT PLUMBING FIXTURES WITHIN THIS BUILDING SHALL BE REPLACED WITH WATER-CONSERVING FIXTURES. BUILDINGS THAT RECEIVE FINAL INSPECTION ON OR AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT. THIS REQUIREMENT APPLIES TO SINGLE-FAMILY RESIDENTIAL BUILDINGS WHERE REMODEL/ALTERATIONS, GARAGE CONVERSION AND ADDITION OCCURS

### **MATERIALS**

STUC SMOOTH TROWEL INTEGRALLY COLORED STUCCO

WD-1 1X6 WESTERN RED CEDAR

WD-2 1X WESTERN RED CEDAR FOR INTERIOR CEILING

BRICK ENDICOTT THIN BRICK - 'MANGANESE IRONSPOT'

1/2 " TO 1" PEBBLE OVER SINGLE-PLY MEMBRANE ROOFING W/ 2 LAYERS FR 10 SLIPSHEET UNDERLAYMENT OR EQUAL (CLASS 'A') - 'FIRESTONE ULTRAPLY TPO' - ESR-2831

NEW 2X6 WALLS

NOTE: ALUMINUM METAL WINDOWS AND DOORS

## LEGEND

EXISTING WALLS NEW 2X WALLS

NEW BLOCK / CONC WALLS

10.25.22 SHEET INFO: SITE PLAN



#### MINIMUM CODE REQUIREMENTS

AN 'AFCI' CIRCUIT BREAKER

- ALL RECESSED LIGHT FIXTURE INSTALLATION SHALL BE 'IC' RATED RECESSED LIGHT FIXTURES WHERE REQUIRED BY CALIF. ENERGY CODE ALL NEW AND ANY ALTERED 'LIVING SPACE' AREAS TO HAVE ALL CONVENIECE RECEPTACLES AND LIGHTING CIRCUITS TO BE PROTECTED BY
- ALL NEW AND ALTERED ELECTRICAL RECEPTACLES TO BE 'TAMPERED RESISTANT' TYPE
- . A SMOKE AND CARBON MONOXIDE DETECTION SYSTEM IS REQUIRED IN ALL NEW AND EXISTING SLEEPING ROOMS, HALLWAYS ADJACENT TO SLEEPING ROOMS, TOP OF ALL STAIRWAYS, AND IN NEW BASEMENT AREAS . GFCI RECEPTACLES AT ALL BATHROOM OUTLETS
- 6. SHOWER VALVE TO BE PRESSURE BALANCE TYPE SHOWER WALLS TO BE WATERPROOFED PER CODE
- INSULATION REQUIREMENTS TO COMPLY WITH 2016 CAL ENERGY CODE 9. EXISTING DECK TO DRAIN PER CODE
- 10. WALL FLASHING TO MEET CODE REQUIREMENTS
- 1. ROOF MATERIAL TO BE LIGHT WEIGHT TYPE
- 12. PER SECTION 301.1.1 CAL GREEN AND CIVIL CODE 1101.1, ALL NON-COMPLIANT PLUMBING FIXTURES WITHIN THIS BUILDING SHALL BE REPLACED WITH WATER-CONSERVING FIXTURES. BUILDINGS THAT RECEIVE FINAL INSPECTION ON OR AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT. THIS REQUIREMENT APPLIES TO SINGLE-FAMILY RESIDENTIAL BUILDINGS WHERE REMODEL/ALTERATIONS, GARAGE CONVERSION AND ADDITION OCCURS

## MATERIALS

- STUC SMOOTH TROWEL INTEGRALLY COLORED STUCCO
- WD-1) 1X6 WESTERN RED CEDAR
- (WD-2) 1X WESTERN RED CEDAR FOR INTERIOR CEILING
- WD-3 1X TEAK DECKING
- (BRICK) ENDICOTT THIN BRICK 'MANGANESE IRONSPOT'
- NATURALLY WEATHERING ZINC STAND SEAM METAL ROOF (CLASS 'A')
- 1/2 " TO 1" PEBBLE OVER SINGLE-PLY MEMBRANE ROOFING W/ 2 LAYERS FR 10 SLIPSHEET UNDERLAYMENT OR EQUAL (CLASS 'A') 'FIRESTONE ULTRAPLY TPO' ESR-2831
- (STN) TEXAS LIMESTONE DRY STACKED 'TULSA CREAM' COLOR
- MTL BREAK METAL FASCIA

NOTE: ALUMINUM METAL WINDOWS AND DOORS

### **LEGEND**

EXISTING WALLS

**NEW 2X WALLS** 

NEW 2X6 WALLS

NEW BLOCK / CONC WALLS

**DEMOLITION PLAN** 

SCALE 1/4" = 1' - 0"

10.25.22 SHEET INFO: DEMOLITION



#### MINIMUM CODE REQUIREMENTS

- ALL RECESSED LIGHT FIXTURE INSTALLATION SHALL BE 'IC' RATED RECESSED LIGHT FIXTURES WHERE REQUIRED BY CALIF. ENERGY CODE ALL NEW AND ANY ALTERED 'LIVING SPACE' AREAS TO HAVE ALL
- CONVENIECE RECEPTACLES AND LIGHTING CIRCUITS TO BE PROTECTED BY AN 'AFCI' CIRCUIT BREAKER ALL NEW AND ALTERED ELECTRICAL RECEPTACLES TO BE 'TAMPERED
- RESISTANT' TYPE A SMOKE AND CARBON MONOXIDE DETECTION SYSTEM IS REQUIRED IN ALL NEW AND EXISTING SLEEPING ROOMS, HALLWAYS ADJACENT TO SLEEPING
- ROOMS, TOP OF ALL STAIRWAYS, AND IN NEW BASEMENT AREAS GFCI RECEPTACLES AT ALL BATHROOM OUTLETS
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### MATERIALS

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- (WD-1) 1X6 WESTERN RED CEDAR
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- (BRICK) ENDICOTT THIN BRICK 'MANGANESE IRONSPOT'
- NATURALLY WEATHERING ZINC STAND SEAM METAL ROOF (CLASS 'A') ROOF2 1/2 " TO 1" PEBBLE OVER SINGLE-PLY MEMBRANE ROOFING W/ 2 LAYERS FR 10 SLIPSHEET UNDERLAYMENT OR EQUAL
- (CLASS 'A') 'FIRESTONE ULTRAPLY TPO' ESR-2831
- (STN) TEXAS LIMESTONE DRY STACKED 'TULSA CREAM' COLOR
- MTL BREAK METAL FASCIA

NOTE: ALUMINUM METAL WINDOWS AND DOORS

### **LEGEND**

EXISTING WALLS

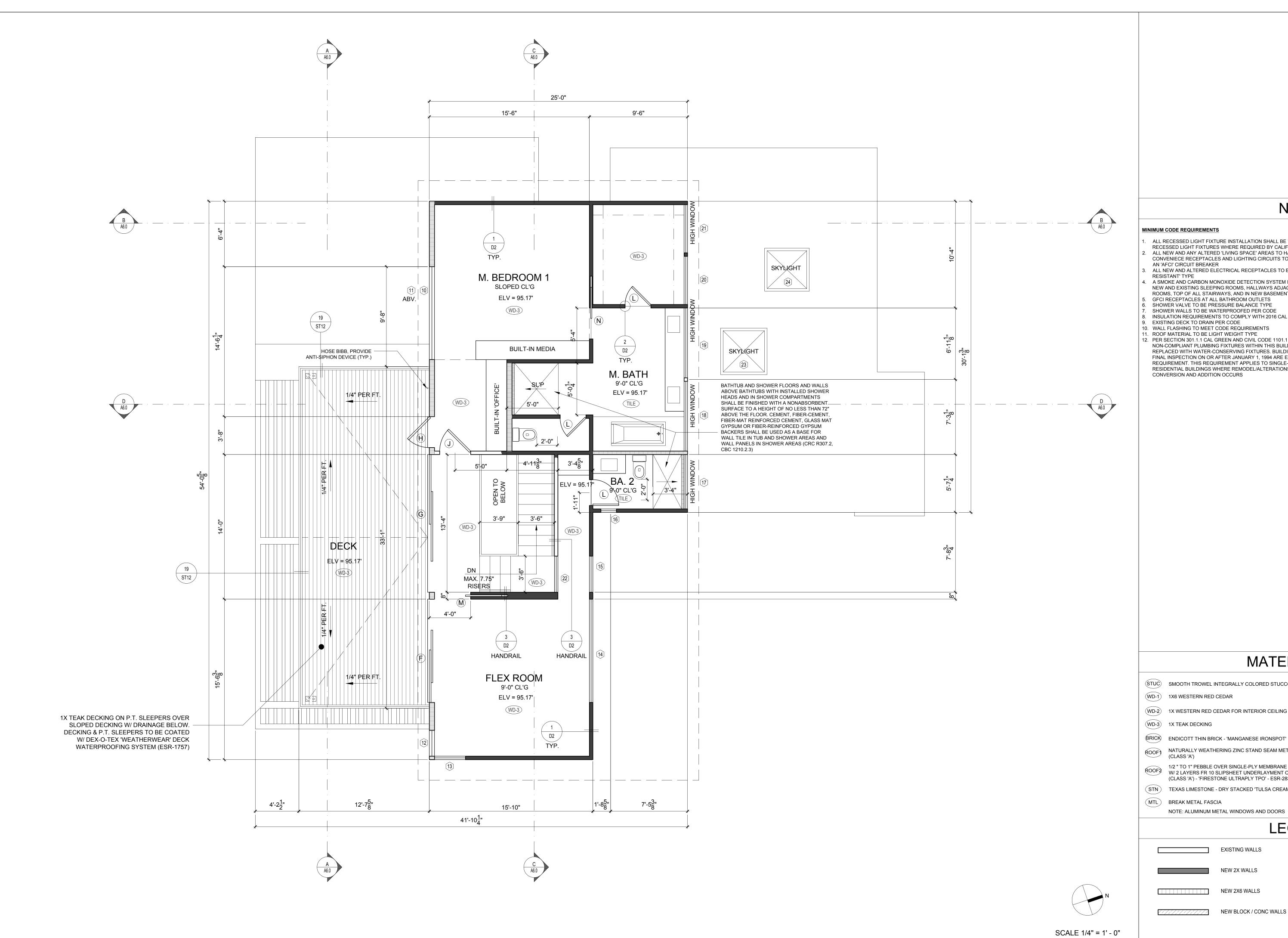
**NEW 2X WALLS** 

NEW BLOCK / CONC WALLS

**NEW 2X6 WALLS** 

SHEET INFO: 1ST FLOOR

10.25.22





#### MINIMUM CODE REQUIREMENTS

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- SHOWER WALLS TO BE WATERPROOFED PER CODE 3. INSULATION REQUIREMENTS TO COMPLY WITH 2016 CAL ENERGY CODE
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### **MATERIALS**

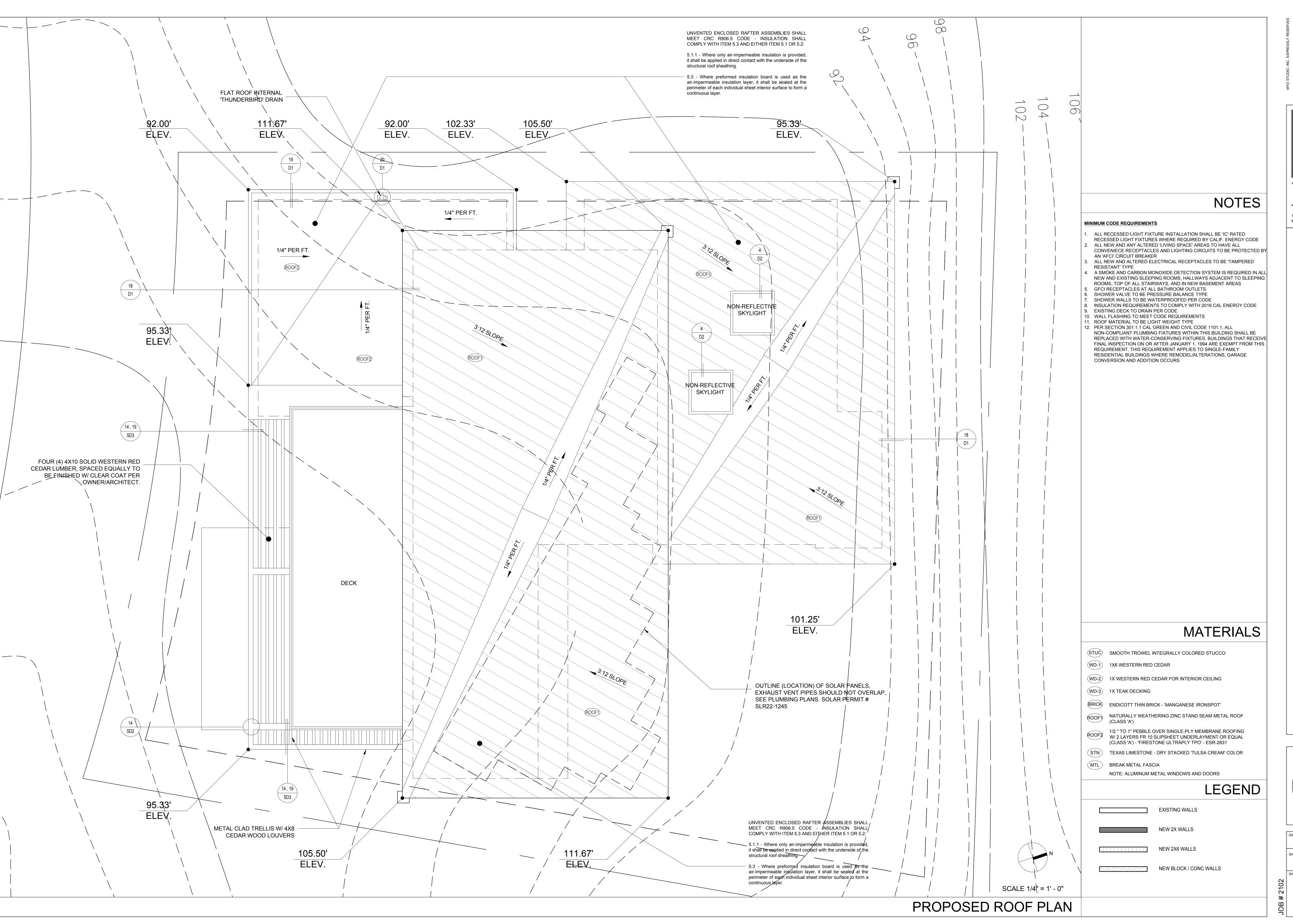
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- (WD-2) 1X WESTERN RED CEDAR FOR INTERIOR CEILING
- WD-3 1X TEAK DECKING
- (BRICK) ENDICOTT THIN BRICK 'MANGANESE IRONSPOT'
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- (CLASS 'A') 'FIRESTONE ULTRAPLY TPO' ESR-2831
- (STN) TEXAS LIMESTONE DRY STACKED 'TULSA CREAM' COLOR
- MTL BREAK METAL FASCIA

**LEGEND** EXISTING WALLS NEW 2X WALLS **NEW 2X6 WALLS** NEW BLOCK / CONC WALLS

PROPOSED NEW 2ND FLOOR PLAN

10.25.22

SHEET INFO: 2ND FLOOR



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ITS COMMON LAW

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EXPRESSED WRITTE

MYD STUDIO. INC.

MYD studio

SHELLY RESIDENCE
7 EMERALD BAY, LAGUNA BEACH, CA 92651

LAUREN MOSS
C 32110

REN. 11-30-23

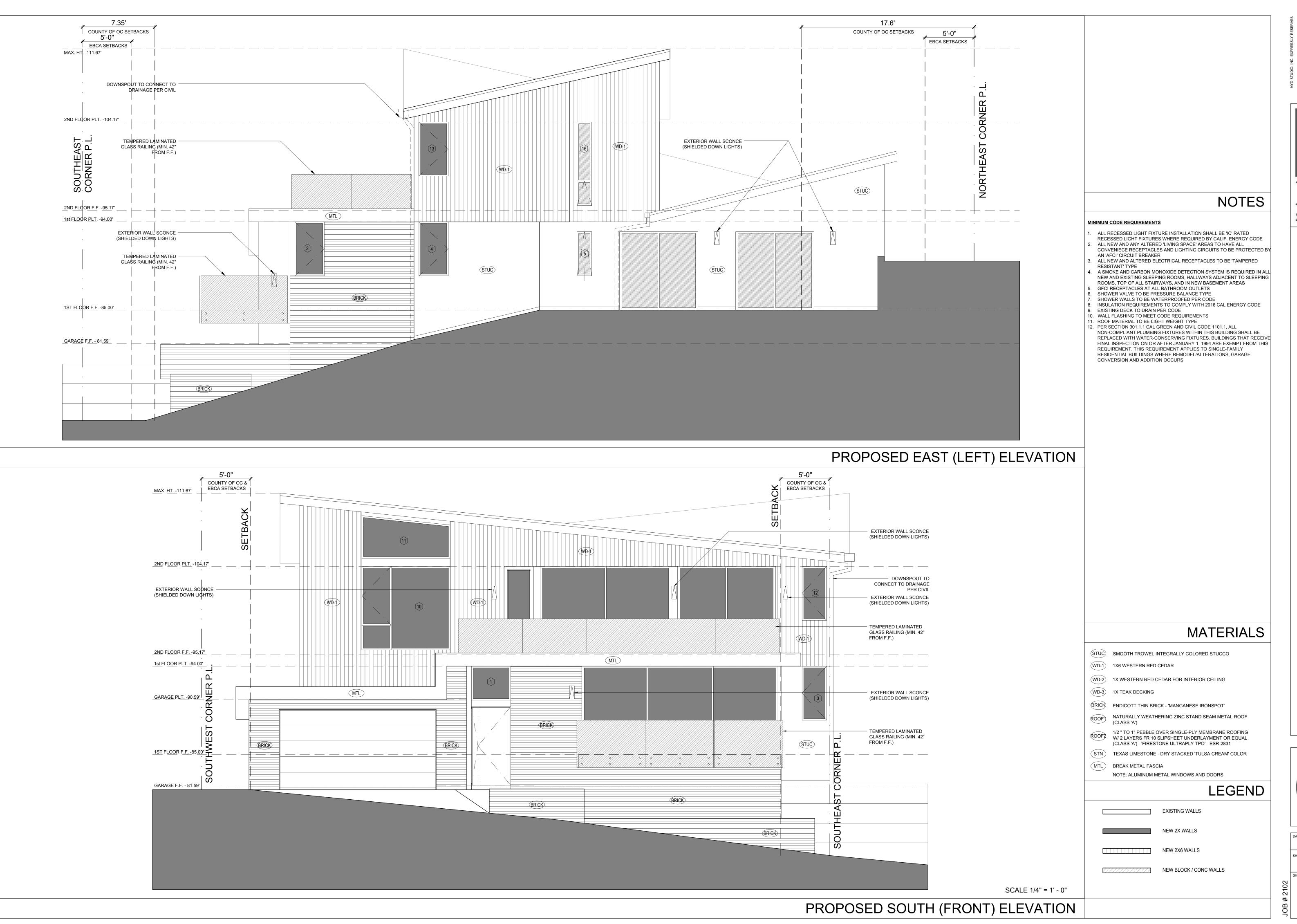
OF CALIE

DATE: 10.25.22

SHEET INFO: ROOF PLAN

SHEET NUMBER

A3.2



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MYD studio

> ELLY RESIDENCE ALD BAY, LAGUNA BEACH, CA 92651

LAUREN MOSS
C 32110

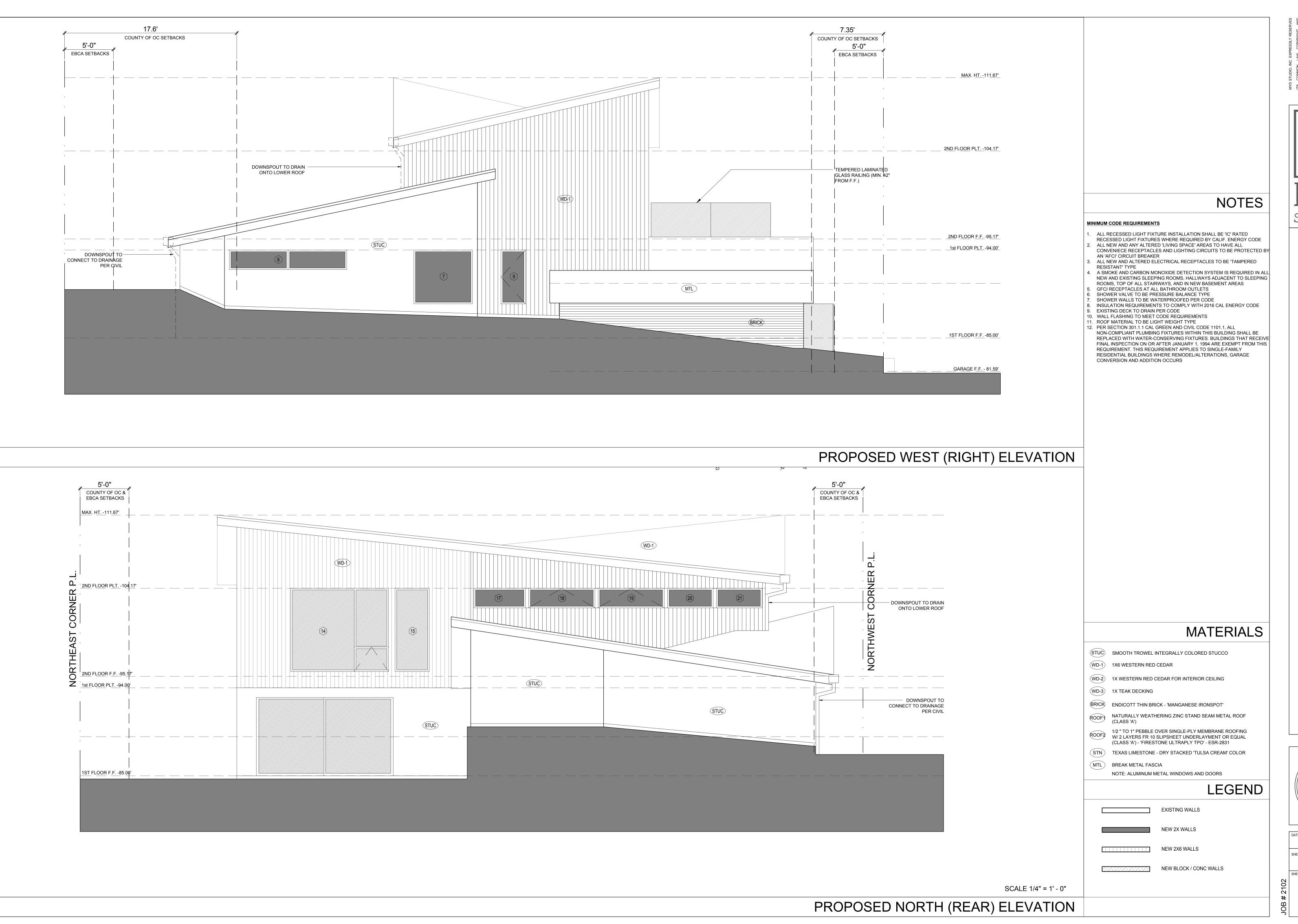
REN. 11-30-23
OF CALIE

DATE: 10.25.22

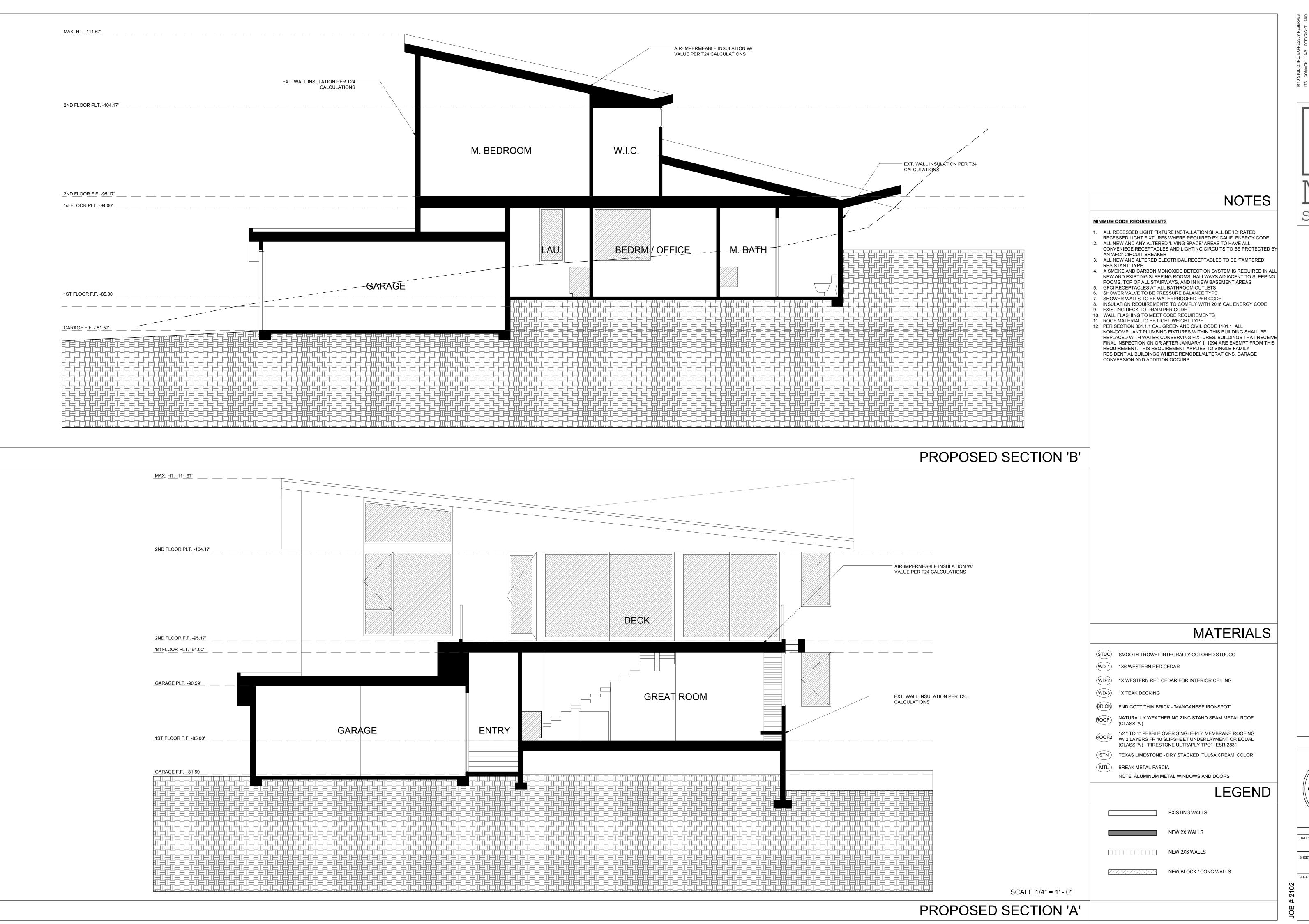
SHEET INFO: ELEVATIONS

SHEET NUMBER

A4.0



10.25.22 SHEET INFO: ELEVATIONS



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MYD studio

SHELLY RESIDENCE
TO SERVICE BAY, LAGUNA BEACH, CA 9265

LAUREN MOSS
C 32110

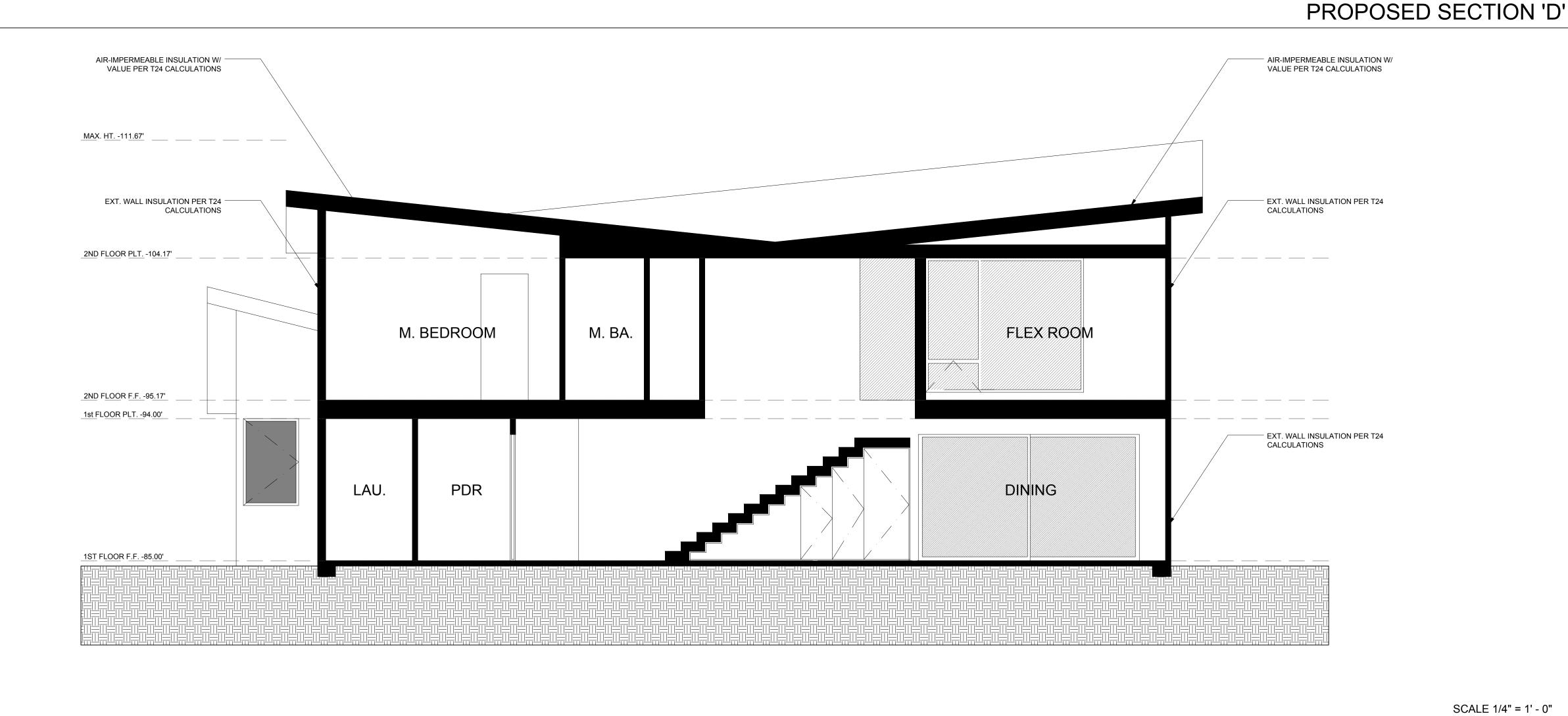
REN. 11-30-23

PROPERTY OF CALIFORNIA

DATE:
10.25.22

SHEET INFO: SECTIONS

SHEET NUMBER



#### MINIMUM CODE REQUIREMENTS

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MATERIALS

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(WD-2) 1X WESTERN RED CEDAR FOR INTERIOR CEILING

WD-3 1X TEAK DECKING

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STN TEXAS LIMESTONE - DRY STACKED 'TULSA CREAM' COLOR

MTL BREAK METAL FASCIA

NOTE: ALUMINUM METAL WINDOWS AND DOORS

**LEGEND** 



NEW 2X WALLS

**NEW 2X6 WALLS** 

NEW BLOCK / CONC WALLS

SHEET INFO: SECTIONS

10.25.22

PROPOSED SECTION 'C'

#### NOTICE TO CONTRACTOR

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN
- 2. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

#### GRADING NOTES

- ( 1) ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS. A COPY OF OCPW STANDARD PLANS SHALL BE RETAINED ON THE SITE.
- (2) GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ( 3) ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS
- ( 4) THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS
- ( 5) PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE OC PLANNING. GRADING SECTION, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN
- (6) THE SOIL ENGINEER AND THE ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- (7) THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, (38) AGGREGATE BASE SECTION SHALL BE CONSTRUCTED PER OCPW STANDARD PLAN 1804 SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- ( 8) THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- (9) SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- (10) THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
- (11) AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOILS ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
- (12) FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER O.C.P.W. STANDARD PLAN NO. 1322.
- (13) ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL
- (14) FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE DENSITY, AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO MINIMUM OF 95% RELATIVE DENSITY. MAXIMUM DENSITY SHALL BE DETERMINED BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT, AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
- (15) CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- (16) ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS (46) IN CASE OF EMERGENCY CALL: \_\_\_\_JASON YAW\_ OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICAL FOR APPROVAL.
- (17) WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPE IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- (18) WHEN CUT PADS ARE BROUGHT NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER A COMPACTED FILL BLANKET WILL BE PLACED.
- (19) ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE.
- (20) ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED, OR CRUSHED IN PLACE, AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- (21) ANY EXISTING WATER WELLS SHOULD BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH.
- (22) ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF OC PLANNING/BUILDING INSPECTION.
- (23) STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICAL PRIOR TO EXCAVATION.
- (24) EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE DISTRICT GRADING INSPECTOR.
- (25) THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OR EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS.
- (26) THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- (27) THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- (28) ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- (29) SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS (57) DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.

## PRECISE GRADING PLAN

## SHELLY RESIDENCE

**LOT 43, TRACT 975** 117 EMERALD BAY, LAGUNA BEACH, CA

#### GRADING NOTES (cont.)

- (30) ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- (31) SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- (32) THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- (33) APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
- (34) GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE—HALF MILE OF A HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8:00 P.M. AND 7:00 A.M. DAILY. ON SUNDAY OR ON A FEDERAL HOLIDAY.
  - (A) ALL CONSTRUCTION VEHICLES OR EQUIPMENT. FIXED OR MOBILE. OPERATED WITHIN 1,000' OR A DWELLING 3 SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- (B) ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NDISE CONTROL) (C) STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OR GRADING PERMIT.
- (35) GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURES F-4. HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY 4. EXTREME CONDITIONS. SUCH AS SANTA ANA WIND CONDITIONS.
- ASPHALT SECTIONS MUST BE PER CODE: PARKING STALLS = 3" A/C OVER 6" A/B, DRIVES 3: A/C OVER 10" (COMM) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE DISTRICT GRADING INSPECTOR. THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON "R" VALUE ANALYSIS OF THE SUBGRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- (37) ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF OCPW STANDARD PLAN 1805.
- (39) ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.
- (40) THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH POINT REFLECTING THE HIGH
- (41) PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
- (42) THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- (43) THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIDE TO FINAL APPROVAL.
- (44) THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN—PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD
- (45) IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK. WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED. SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND OC PLANNING/GRADING.

#### **EROSION CONTROL NOTES**

POINT ELEVATION FOR PRELIMINARY PERMITS.

- (47) EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- (48) EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICAL.
- (49) ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- (50) AFTER A RAINSTORM ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS & BASINS.
- (51) GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE TO BE DIRECTED TOWARD DESILTING FACILITIES.
- (52) THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- (53) THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS
- IN ACCORDANCE WITH THE APPROVED PLANS.

#### **ENVIRONMENTAL NOTES**

- (54) THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEESS. AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS
- (55) PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINTS FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR, OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER: CONCRETE, DETERGENT OR FLOATABLE WATES: WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE. AND FEDERAL REQUIREMENTS.
- (56) PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- PROHIBITED. DEWATERING OF NON—CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- (58) SPECIAL NOTE: SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.

#### CALIFORNIA CIVIL CODE (SECTION 832)

OR HOME PHONE #

LATERAL AND SUBJACENT SUPPORT; EXCAVATION; DEGREE OF CARE; DAMAGES; PROTECTION OF OTHER STRUCTURES.

EACH COTERMINOUS OWNER IS ENTITLED TO THE LATERAL AND SUBJACENT SUPPORT WHICH HIS LAND RECEIVES FROM THE ADJOINING LAND, SUBJECT TO THE RIGHT OF THE OWNER OF THE ADJOINING LAND TO MAKE PROPER AND USUAL EXCAVATIONS ON THE SAME FOR PURPOSES OF CONSTRUCTION OR IMPROVEMENT, UNDER THE FOLLOWING CONDITIONS:

SHEET INDEX

TITLE SHEET

PRECISE GRADING PLAN

EROSION CONTROL PLAN

TOPOGRAPHIC SURVE

**SECTIONS & DETAILS** 

- ANY OWNER OF LAND OR HIS LESSEE INTENDING TO MAKE OR TO PERMIT AN EXCAVATION SHALL GIVE REASONABLE NOTICE TO THE OWNER OR OWNERS OF ADJOINING LANDS AND OF BUILDINGS OR OTHER STRUCTURES, STATING THE DEPTH TO WHICH SUCH EXCAVATION IS INTENDED TO BE MADE, AND WHEN THE EXCAVATING WILL BEGIN.
- 2. IN MAKING ANY EXCAVATION. ORDINARY CARE AND SKILL SHALL BE USED. AND REASONABLE PRECAUTIONS TAKEN TO SUSTAIN THE ADJOINING LAND AS SUCH, WITHOUT REGARD TO ANY BUILDING OR OTHER STRUCTURE WHICH MAY BE THEREON, AND THERE SHALL BE NO LIABILITY FOR DAMAGE DONE TO ANY SUCH BUILDING OR OTHER STRUCTURE BY REASON OF THE EXCAVATION, EXCEPT AS OTHERWISE PROVIDED OR ALLOWED BY LAW.
- IF AT ANY TIME IT APPEARS THE EXCAVATION IS TO BE OF A GREATER DEPTH THAN ARE THE WALLS OR FOUNDATIONS OF ANY ADJOINING BUILDING OR OTHER STRUCTURE AND IS TO BE SO CLOSE AS TO ENDANGER THE BUILDING OR OTHER STRUCTURE IN ANY WAY, THEN THE OWNER OF THE BUILDING OR OTHER STRUCTURE MUST BE ALLOWED AT LEAST 30 DAYS IF HE SO DESIRES, IN WHICH TO TAKE MEASURES TO PROTECT THE SAME FROM ANY DAMAGE, OR IN WHICH TO EXTEND THE FOUNDATIONS THEREOF, AND HE MUST BE GIVEN FOR THE SAME PURPOSE REASONABLE LICENSE TO ENTER ON THE LAND ON WHICH THE EXCAVATION IS TO BE OR IS BEING MADE.
- IF THE EXCAVATION IS INTENDED TO BE OR IS DEEPER THAN THE STANDARD DEPTH OF FOUNDATIONS, WHICH DEPTH IS DEFINED TO BE A DEPTH OF \*\*\* NINE FEET BELOW THE ADJACENT CURB LEVEL, AT THE POINT WHERE THE JOINT PROPERTY LINE INTERSECTS THE CURB AND IF ON THE LAND OF THE COTERMINOUS OWNER THERE IS ANY BUILDING OR OTHER STRUCTURE THE WALL OR FOUNDATION OF WHICH GOES TO STANDARD DEPTH OR DEEPER THAN THE OWNER OF THE LAND ON WHICH THE EXCAVATION IS BEING MADE SHALL, IF GIVEN THE NECESSARY LICENSE TO ENTER THE ADJOINING LAND, PROTECT THE SAID ADJOINING LAND AND ANY SUCH BUILDING OR OTHER STRUCTURE THEREON WITHOUT COST TO THE OWNER THEREOF, FROM ANY DAMAGE BY REASON OF THE EXCAVATION, AND SHALL BE LIABLE TO THE OWNER OF SUCH PROPERTY FOR ANY SUCH DAMAGE, EXCEPTING ONLY FOR MINOR SETTLEMENT CRACKS IN BUILDINGS OR OTHER STRUCTURES.

#### NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) NOTES:

- 1. IN THE CASE OF EMERGENCY, CALL \_\_\_JASON\_YAW\_ AT WORK PHONE # \_\_\_(714) 553-0998
- ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE 2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE
  - 3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
  - 4. APPROPRIATE BMP'S FOR CONSTRUCTION—RELATED MATERIALS, WASTES, AND SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR
  - RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
  - 6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
  - 7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
  - CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 & 302.
  - 9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS: WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLES/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES: WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING: AND SUPER-CHLORINATED POTABLE WATER LINE FLUSHING.
  - DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
  - 10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
  - 11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
  - 12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION. 13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN
  - ACCORDANCE WITH THE APPROVED PLANS. 14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND

PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS

- 15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO
- FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT. 16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- 17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO THE STREETS, DRAINAGE FACILITIES OF ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- 18. APPROPRIATE BMPS FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN PERMIT FROM STATE OF CALIFORNIA. DIVISION OF OCCUPATIONAL SAFETY, AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK." CONTACT CAL/OSHA AT 714-558-4451 FOR ADDITIONAL INFORMATION

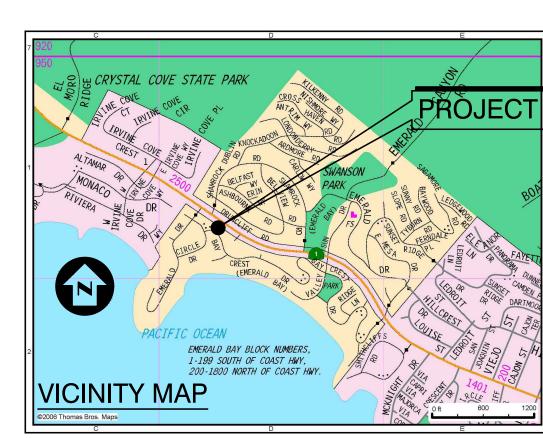
#### CONSTRUCTION NOTES AND QUANTITY ESTIMATE

<u>EARTHWORK</u>						
	<u>CUT</u>	<u>FILL</u>				
EXCAVATION	20 CY					
EMBANKMENT		40				
OVEREXCAVATION/RECOMPACTION	120 CY	120				
IMPORT	20 CY					
TOTAL	160 CY	160				

1		
1 CON	STRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3.	1,300 S.F.
(2) CON	STRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3.	240 S.F.
(3) INST	TALL 6" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.	126 L.F.
4 INST	TALL 4" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.	345 L.F.
5 INST	TALL 6" FLAT DRAIN NDS 920B W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.	5 EA.
6 INST	ALL 6" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.	17 EA.
7 INST	ALL 12" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.	2 EA.
8 INST	TALL 12" SQ. PRE-CAST DRAINBOX, BROOKS PRODUCT 1212CB.	1 EA.
9 CON	INECT DOWNSPOUT TO DRAINAGE SYSTEM. SEE DETAIL ON SHEET C-3.	5 EA.
(10) CON	STRUCT OUTLET THROUGH CURB. SEE DETAIL ON SHEET C-3.	2 EA.
(1) INST	TALL SUBDRAIN PER SOILS REPORT RECOMMENDATIONS.	220 L.F.
(12) CON	STRUCT 6" CONC. CURB AND GUTTER PER O.C.P.W. STD. 120-2 TYPE "A2-6".	28 L.F.
(13) INST	TALL BACKFLOW PREVENTER PER IRRIGATION PLANS	1 EA.
(14) CON	ISTRUCT RETAINING WALL PER SEPARATE PLAN AND PERMIT.	232 L.F.
(15) INST	TALL 3" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.	22 L.F.

CONTRACTOR SHALL PERFORM OWN QUANTITY TAKEOFF FOR BIDDING AND OTHER PURPOSES.

RETAINING WALLS TO BE CONSTRUCTED UNDER A SEPARATE PERMIT.



**OWNER** ANDREA SHELLY 117 EMERALD BAY LAGUNA BEACH, CA 92651

ARCHITEC1 MYD STUDIO CONTACT: JASON YAW (949) 274-9693

SOILS ENGINEER ANDERSON GEOLOGY

1000 NORTH COAST HIGHWAY, SUITE 10 LAGUNA BEACH, CA 92651 (949) 371-3690

EMAIL: PANDERSON@ANDERSONGEOLOGY.COM

LEGAL DESCRIPTIOI LOT 43, TRACT 975 EMERALD BAY ORANGE COUNTY, CA

JOB ADDRESS 117 EMERALD BAY LAGUNA BEACH, CA 92651

BASIS OF BEARINGS THE BASIS OF BEARINGS ARE BASED FROM THE CENTERLINE OF AVENIDA SIERRA, BEING N41°0'00"W, RECORDED IN TRACT MAP NO. 795. MAP BOOK NO. 24, PAGE 37 TO 40, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA.

**BENCH MARK** OCSBM 3Y32-80

LEVELED IN 2005 AT ELEV=70.502 A.M.S.L

#### **DEVELOPMENT STATISTICS**

SITE AREA	0.143 AC	6,236 S
DISTURBED AREA	0.137 AC	5,966 S
IMPERVIOUS AREA		
PRE-PROJECT	0.078 AC	3,410 S
NEW OR REPLACEMENT	0.095 AC	<b>4,</b> 156 S
POST-PROJECT	0.095 AC	<b>4,</b> 156 S

8 1 1 Know what's **below.** Call before you dig. UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

COUNTY OF ORANGE PLAN CHECK NO. GRD22-0052

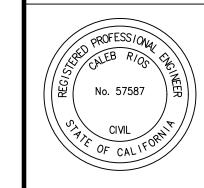
**ENGINEERING, INC** 

PLANS PREPARED BY:

CIVIL ENGINEERING

LAND SURVEYING

STORMWATER QUALITY 139 Avenida Navarro San Clemente, CA 92672 9 4 9 . 4 9 2 . 8 5 8 6 www.toalengineering.com



CALEB RIOS R.C.E. 57587 DATE:

PREPARED FOR: ANDREA SHELLY

S

05/02/2022 1"=8' SURVEY DATE: V. SCALE: 07/14/2021 N/A DWG. NO. DRN.: A.H.V. CHD.: C.R. APPD.: C.R. JOB NO. SHEET

18173

#### ADDITIONAL NOTES FOR H.O.A.

- 1. ONCE APPROVED, THESE DRAWINGS CONSTITUTE THE BASIS AGAINST WHICH ALL INSPECTIONS OF IMPROVEMENTS ON THE LOT WILL BE MEASURED BY THE A.C.C. ANY CHANGES TO THE SPECIFICATIONS WITHIN THESE DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE A.C.C. PRIOR TO ANY FORM OF WORK OR CONSTRUCTION.
- 2. WALL FOOTINGS AT TREE LOCATIONS MUST BE BOARD FORMED AND L-SHAPED TO ELIMINATE BOIL OVER AND ALL EXTRANEOUS CONCRETE MUST BE REMOVED FROM THE SITE
- 3. BOTH SIDES OF THE PROPERTY LINE WALLS, FENCES, AND PILASTERS MUST BE COMPLETELY FINISHED AS REQUIRED BY THE DESIGN GUIDELINES.
- 4. PROPERTY LINE WALLS MUST BE A MINIMUM OF FIVE (5) FEET AND A MAXIMUM OF SIX (6) FEET ABOVE ROUGH GRADE, LESS THE EROSION CONTROL BERM. MAXIMUM HEIGHT FOR PILASTERS MAY BE SIX FEET EIGHT INCHES (6'-8") ABOVE ROUGH GRADE.
- 5. BOX SIZES OF TREES ARE SHOWN ON ALL SITE PLANS TO PREVENT CONCRETE FOOTINGS OR PIPING (DRAINAGE, UTILITY, IRRIGATION, OR WATER FEATURE) FROM IMPEDING THE INSTALLATION OR GROWTH OF THE SPECIFIED TREES. ALL CONTRACTORS ARE REQUIRED TO RESPECT THE PROPOSED LOCATION OF ALL PLANT MATERIAL.
- 6. THE GRADE ADJACENT TO THE SIDE AND REAR PROPERTY LINES MUST REMAIN AT ROUGH GRADE FOR FOUR (4) FEET CLEAR.
- \* THIS INFORMATION IS BASED UPON AN IMPROVEMENT PLAN PREPARED BY ROB HAMERS DATED 9-23-2015.

#### **BENCHMARK NOTE:**

OCSBM E-783 ELEV=97.396 NGVD29 DATUM, 2004 ADJ.

### **EASEMENT NOTES**

NUMBERING SEQUENCE PER CHICAGO TITLE COMPANY

PRELIMINARY REPORT NO. 58601806484—JFA , DATED AUGUST 20, 2018

5 - COVENANTS, CONDITIONS, AND RESTRICTIONS IN THE DOCUMENT RECORDED SEPTEMBER 6 1985 AS INSTRUMENT NO. 85-338093 OF OFFICIAL RECORDS AND MODIFIED AND RECORDED APRIL 20, 2000 AS INSTRUMENT NO. 20000205298 OF OFFICIAL RECORDS; AND MODIFIED AND RECORDED APRIL 2, 2009 AS INSTRUMENT NO. 2009000160191 OF OFFICIAL RECORDS; AND MODIFIED AND RECORDED APRIL 7, 2009 AS INSTRUMENT NO. 2009000167954 OF OFFICIAL RECORDS; AND MODIFIED AND RECORDED JANUARY 21, 2010 AS INSTRUMENT NO. 2010000031632 OF OFFICIAL RECORDS; AND MODIFIED AND RECORDED APRIL 19, 2016 AS INSTRUMENT NO. 2016000170946 OF OFFICIAL RECORDS.

(BLANKET IN NATURE WITH NO EASEMENTS THAT AFFECT FEE PARCEL)

- 6 NON-EXCLUSIVE EASEMENTS OVER AND THROUGH THE COMMON AREA FOR INGRESS, EGRESS, PUBLIC UTILITY, ENJOYMENT, SUPPORT AND REPAIR OF THE COMMON AREA AND EACH UNIT, AS PROVIDED IN THE INSTRUMENTS AS MENTIONED ABOVE AND AS DISCLOSED IN VARIOUS DEEDS OF RECORD.

  (BLANKET IN NATURE)
- 7 THE TERMS AND PROVISIONS OF INSTRUMENT ENTITLES "GRANT OF EASEMENT" IN FAVOR OF THE EMERALD BAY SERVICES DISTRICT, RECORDED MARCH 26,2009 AS INSTRUMENT NO. 20019000143565 OF OFFICIAL RECORDS (EASEMENTS FALL WITHIN THE PUBLIC STREETS NOT PLOTTED HEREON)
- 8 AN EASEMENT GRANTED TO EMERALD BAY SERVICE DISTRICT FOR PUBLIC UTILITIES, SANITARY SEWERS AND STORM DRAINS AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 15, 2006 AND RECORDED AS INSTRUMENT NO. 2006000402884 OF OFFICIAL RECORDS. (PLOTTED HEREON)

LETTERED SEQUENCE BELOW PER OFFICIAL RECORDS

(NOT SHOWN IN PTR BUT DOES AFFECT SUBJECT PROPERTY)

A 4.00' EASEMENT GRANTED TO THE EMERALD BAY COMMUNITY ASSOCIATION FOR STORM DRAIN PURPOSES IN THAT DOCUMENT RECORDED OCTOBER 3, 1932 IN BOOK 572. PAGE 453 OF OFFICIAL RECORDS. (PLOTTED HEREON)

#### **ADDITIONAL NOTES**

- 1. ALL ROOFS SHALL BE GUTTERED & DOWNSPOUTS CONNECTED TO STORM DRAIN SYSTEM.
- 2. PAD ELEVATIONS ARE BASED ON X" CONCRETE SLAB OVER X" CLEAN SAND OR GRAVEL OVER 15 MIL. MOISTURE BARRIER (STEGO WRAP OR EQUIVALENT) OVER X" OF CLEAN SAND OR GRAVEL PER FOUNDATION PLAN PREPARED BY X DATED X CONTRACTOR SHALL VERIFY ALL PAD ELEVATIONS W/ SOILS ENGINEER AND STRUCTURAL ENGINEER PRIOR TO GRADING.
- 3. WHERE EXTERIOR/INTERIOR UTILITY TRENCHES ARE PROPOSED IN A DIRECTION THAT PARALLELS ANY BUILDING FOOTING, THE BOTTOM OF THE TRENCHES SHALL NOT EXTEND BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF FOOTING. WHERE THIS OCCURS, ADJACENT FOOTING SHALL BE DEEPENED OR UTILITY CONSTRUCTED AND BACKFILLED PRIOR TO BUILDING CONSTRUCTION.
- 4. FOR BUILDING FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
- 5. ALL RECOMMENDATIONS WITHIN THE SOILS REPORT FOR THIS PROJECT ENTITLED, "PRELIMINARY GEOTECHNICAL EXPLORATION FOR DESIGN AND CONSTRUCTION OF PROPOSED REMODEL AND SECOND STORY ADDITION TO EXISTING RESIDENTIAL STRUCTURE, 117 EMERALD BAY, CITY OF LAGUNA BEACH, CALIFORNIA" PREPARED BY ANDERSON GEOLOGY, INC. DATED JANUARY 28, 2022, PROJECT NUMBER 19024-01 ARE CONSIDERED A PART OF THIS PLAN
- 6. RETAINING WALLS TO BE CONSTRUCTED UNDER A SEPARATE PERMIT AND SUBMITTED AS PART OF THE BUILDING SUBMITTAL RW\_\_\_\_\_\_.
- 7. PER EMERALD BAY SERVICE DISTRICT REQUIREMENTS, REPLACEMENT OF CURB AND GUTTER ALONG ENTIRE FRONTAGE IS REQUIRED.

#### PILE SCHEDULE

PILE#	Н	SOLDIER BEAM	SPACING	D	DIA	NOTES
P1, P2, P3	9'-6"	W10x88	8-0"	19'-6"	24"	
(P4 TO P12)	7'-0"	W16x37	SEE PLAN	19'-0"	24"	
(P13 TO P17)	9'-6"	W18x76	SEE PLAN	27'-6"	30"	

PILE#	Н	SPACING	D(INTO BEDROCK)	DIA
P18 TO 23	5'-0"	SEE PLAN	13-0"	30"

#### LEGEND

LEGEND			
<u> </u>	EXISTING CONTOUR	FG	PROPOSED FINISHED GROUN
<del></del> 100 <del></del>	PROPOSED CONTOUR	F.F.	PROPOSED FINISHED FLOOR
100.00	SPOT ELEVATION	INV	INVERT OF PIPE
	PROPOSED CONCRETE PAVING	TG	TOP OF GRATE
<b></b>	DDOD FOROS MAIN	P.L.	PROPERTY LINE
—— FM ——	PROP. FORCE MAIN	TW	TOP OF WALL
==4"==		TF	TOP OF FOOTING
——SUB——	PROP. SUBDRAIN	BW	BOTTOM OF WALL
	PROP. BACKDRAIN PER SOILS REPORT	W.F.	WATER FEATURE
	PROPOSED BEARING/RETAINING WALL	T.P.	TOP OF PILASTER
	EXISTING SCREEN WALL	P.A.	PLANTER AREA
	PROPOSED SCREEN WALL	F.P.	FIRE PIT
	PROPOSED RETAINING WALL	T.G.B.	TOP OF GRADE BEAM
	GRADING LIMITS		
• DS	DOWNSPOUT	L.P.	LOW POINT
PAD	PROPOSED PAD ELEVATION	H.P.	HIGH POINT
T/SLAB	PROPOSED TOP OF SLAB	W.L.	WATER LEVEL
·		T/COP	TOP OF COPING
FS	PROPOSED FINISHED SURFACE	v / ~ \	

CAISSON LOCATION

#### **SHORING NOTE:**

CAISSONS TO BE CONSTRUCTED AND INSPECTED UNDER SEPARATE PERMIT.

#### **UTILITY NOTE:**

SEWER, WATER, AND STORM DRAIN INFORMATION SHOWN HEREON PER TRACT 975 IMPROVEMENT PLANS, ALSO ROBIN B. HAMERS IMPROVEMENT PLAN DATED 9/23/2015

### **NOTE TO CONTRACTOR:**

CONTRACTOR TO AS-BUILT EXISTING 24" DIAMETER STORM DRAIN PRIOR TO DRILLING OF CAISSONS.

### CONSTRUCTION NOTES

$\bigcirc$	CONSTRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3.
2	CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3.
B	INSTALL 6" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.
4	INSTALL 4" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.
<b>(5)</b>	INSTALL 6" FLAT DRAIN NDS 920B W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.
(G)	INSTALL 6" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.
$\bigcirc$	INSTALL 12" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.
$\odot$	INSTALL 12" SQ. PRE-CAST DRAINBOX, BROOKS PRODUCT 1212CB.
(9)	CONNECT DOWNSPOUT TO DRAINAGE SYSTEM. SEE DETAIL ON SHEET C-3.
9	CONSTRUCT OUTLET THROUGH CURB. SEE DETAIL ON SHEET C-3.
11)	INSTALL SUBDRAIN PER SOILS REPORT RECOMMENDATIONS.
(2)	CONSTRUCT 6" CONC. CURB AND GUTTER PER O.C.P.W. STD. 120-2 TYPE "A2-6".
(13)	INSTALL BACKFLOW PREVENTER PER IRRIGATION PLANS
14)	CONSTRUCT RETAINING WALL PER SEPARATE PLAN AND PERMIT.

### DISPOSITION NOTES

1	PROTECT	IN	PLACE	EXISTING	WATER	MAIN	AND	SERVICE	LATERAL.	

15)|INSTALL 3" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.

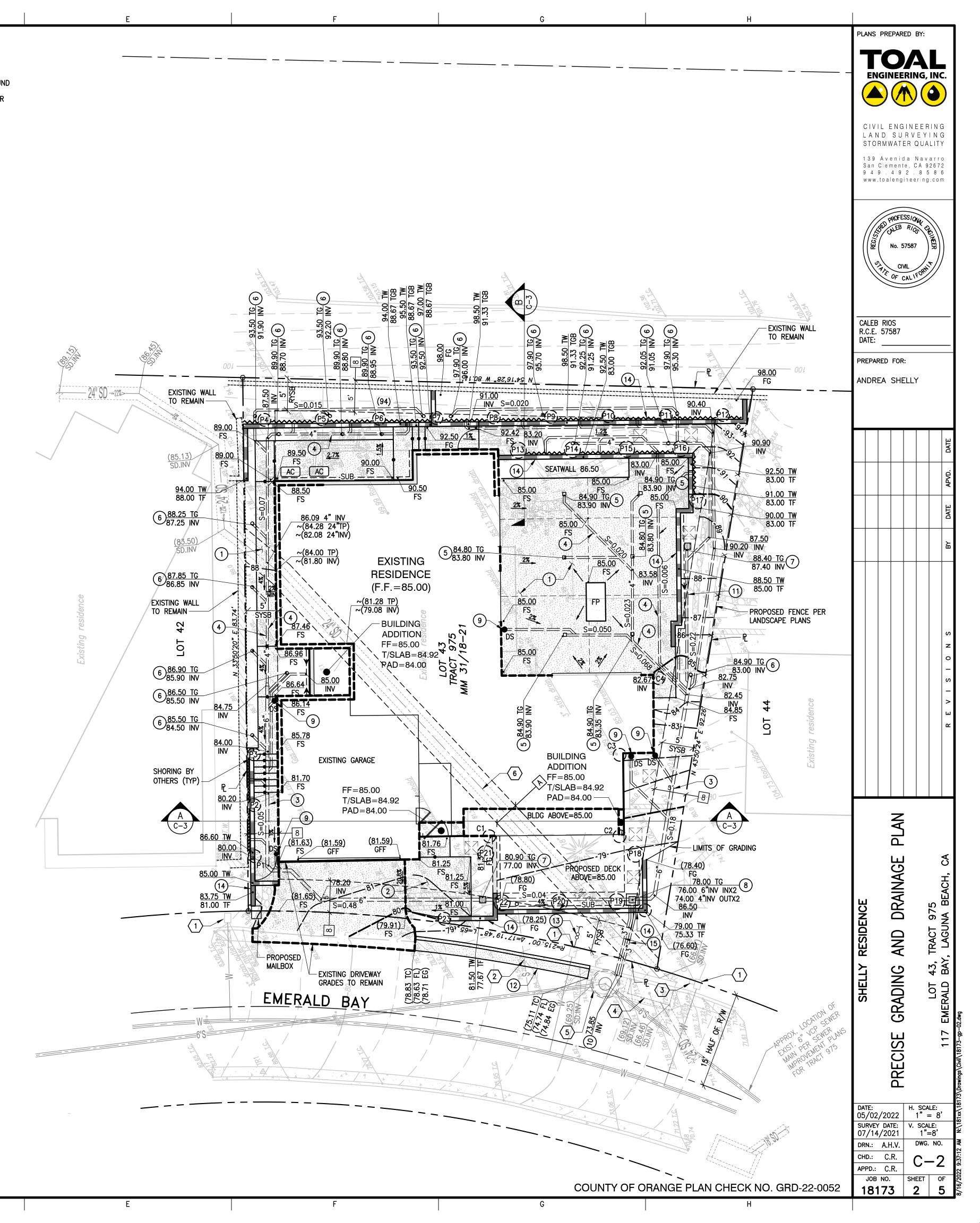
- PROTECT IN PLACE EXISTING SEWER LATERAL. CONTRACTOR TO VERIFY LOCATION, DEPTH, AND CONDITION.
- PROTECT IN PLACE EXISTING CABLE BOX.
- 4) PROTECT IN PLACE EXISTING CATCH BASIN.
- 5) PROTECT IN PLACE EXISTING SEWER MANHOLE.
- 6 PROTECT IN PLACE EXISTING 24" STORN DRAIN.

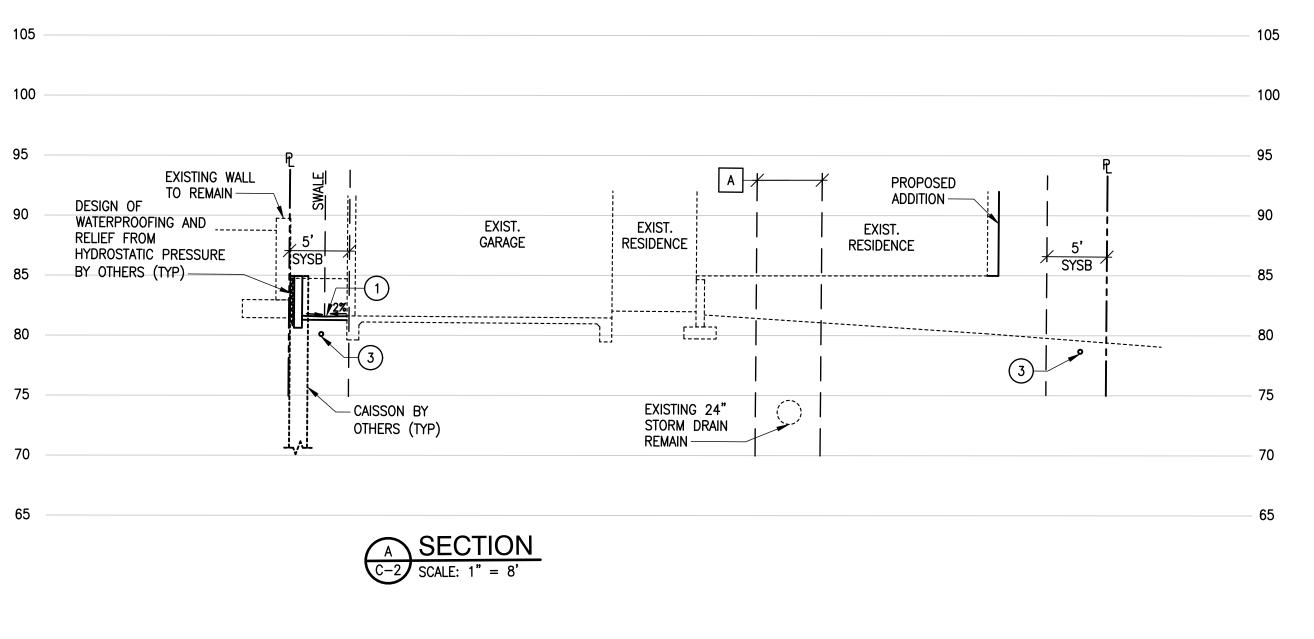
### NOTICE TO CONTRACTOR

REQUIRED CERTIFICATIONS / APPROVALS

- In addition to any certifications required by the agencies having jurisdiction over this project, the following approvals from the Civil engineer of record are required:

  1. Foundation forms for improvements on or abutting property lines is required prior to concrete pour.
- 2. Location, size, and depth of all drain lines prior to backfill.





### **EASEMENT NOTES**

NUMBERING SEQUENCE PER CHICAGO TITLE COMPANY PRELIMINARY REPORT NO. 58601806484-JFA, DATED AUGUST 20, 2018

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LETTERED SEQUENCE BELOW PER OFFICIAL RECORDS

DOWNSPOUT -

DOWNSPOUT EXTENSION -

DOWNSPOUT ADAPTOR.

NDS 903 OR EQUAL—

PVC RISER ?

(LENGTH VARIES) -

PVC 45° ELL -

FIN. GROUND —

4" PVC SCH. 40

OR SDR 35

DRAIN PIPE —

(NOT SHOWN IN PTR BUT DOES AFFECT SUBJECT PROPERTY)

A - A 4.00' EASEMENT GRANTED TO THE EMERALD BAY COMMUNITY ASSOCIATION FOR STORM DRAIN PURPOSES IN THAT DOCUMENT RECORDED OCTOBER 3, 1932 IN BOOK 572. PAGE 453 OF OFFICIAL RECORDS. (PLOTTED HEREON)

FACE OF

BUILDING

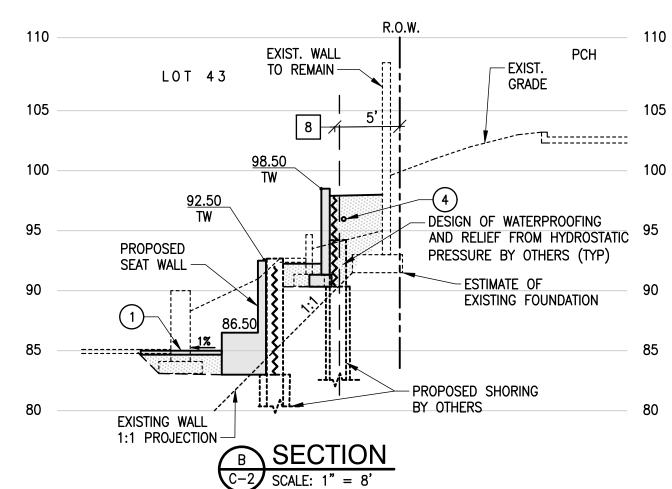
DO NOT USE 90° ELLS

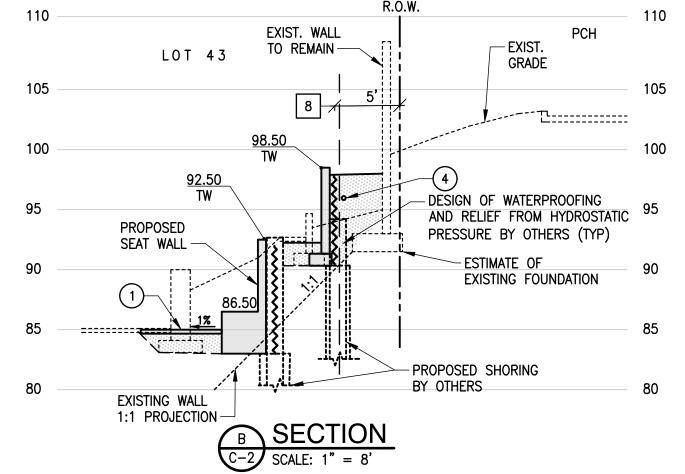
OR TEES FOR PIPE

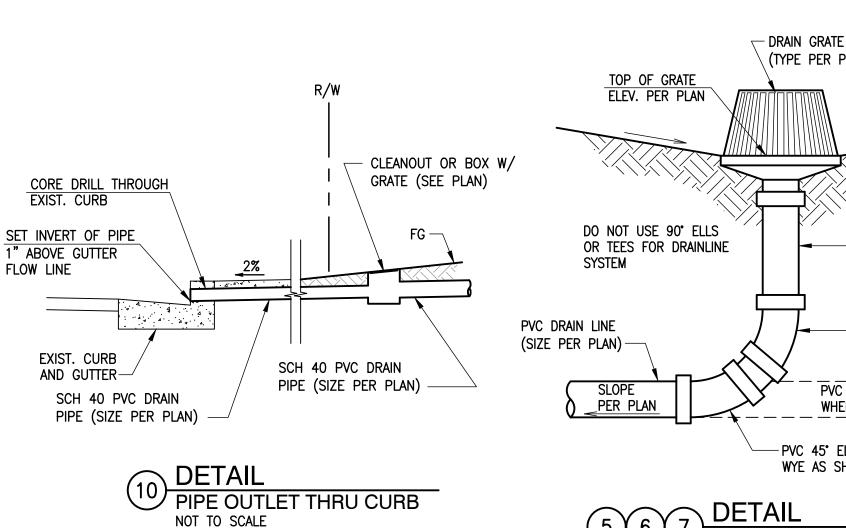
DRAIN SYSTEM

WYE AS SHOWN

ON PLANS







(TYPE PER PLAN) - P.V.C. RISER - PVC 45° ELL PVC DRAIN LINE WHERE CONTINUED -PVC 45° ELL OR WYE AS SHOWN YPICAL DRAIN INLET

TYPICAL WALL SUBDRAIN DETAIL PER SOILS REPORT PREPARED BY: ANDERSON GEOLOGY, DATED JANUARY 28, 2022, JN 19024-01 NOT TO SCALE -DRAIN INLET (SIZE & TYPE PER PLAN) -SOLID PVC TYPICAL RETAINING WALL — DRAIN PIPE. SIZE PER PLAN. -INSTALL SLEEVE THROUGH FINISHED GRADE -WALL DURING CONSTRUCTION. PIPE SLEEVE SHALL BE 2" PVC DRAIN PIPE;-LARGER THAN PIPE SHOWN SIZE PER PLAN ON PLAN. PLACE ADDITIONAL VERTICAL REBAR ON EACH SIDE OF PIPE PER STRUCTURAL ENGINEER'S RECOMMENDATION. RETAINING WALL FOOTING MIN. SPACING OF 24" BETWEEN PIPES; VERIFY WITH STRUCTURAL ENGINEER. **DETAIL** 

TYPICAL PIPE THROUGH WALL DETAIL NOT TO SCALE

### **SECTION NOTES:**

- 1. ACTUAL LIMITS OF EXCAVATION TO BE DETERMINED IN THE FIELD BY THE SOILS ENGINEER.
- 2. RETAINING WALLS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE CONSTRUCTED PER SEPARATE PLANS AND PERMIT.
- 3. FOR FOOTING AND FOUNDATION PLANS, SEE STRUCTURAL

OPTION 1:

AGGREGATE SYSTEM DRAIN

OPTION 2:

**COMPOSITE DRAINAGE SYSTEM** 

Alternative: Class 2 permeable filter material (Per Caltrans specifications) may be used for vertical drain and around perforated pipe (without filter fab

4. RETAINING WALL BACKFILL SHALL CONFORM TO THE SOILS REPORT AND THE STRUCTURAL DRAWINGS.

C	DNSTRUCTION NOTES
1	CONSTRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3.
2	CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3.
3	INSTALL 6" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.
4	INSTALL 4" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.
(5)	INSTALL 6" FLAT DRAIN NDS 920B W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.
6	INSTALL 6" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.
7	INSTALL 12" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR, OR EQUAL. SEE DETAIL ON SHEET C-3.
8	INSTALL 12" SQ. PRE-CAST DRAINBOX, BROOKS PRODUCT 1212CB.
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(12)	CONSTRUCT 6" CONC. CURB AND GUTTER PER O.C.P.W. STD. 120-2 TYPE "A2-6".
(13)	INSTALL BACKFLOW PREVENTER PER IRRIGATION PLANS

(14) CONSTRUCT RETAINING WALL PER SEPARATE PLAN AND PERMIT.

Waterproofing (optional) -

SELECT SAND BACKFILL.

5)|INSTALL 3" DIA. SCHEDULE 40 PVC OR SDR 35 PIPE DRAIN SYSTEM.

Clean sand vertical drain having sand equivaler of 30 or greater or other free-draining granular

inimum 1 ft.3/ft. of 1/4 to 1 1/2" size gravel

Cut back of core to match size of weep hole. Do not cut fabric.

NOTES: 1. PIPE TYPE SHOULD BE PVC OR ABS, SCHEDULE 40 OR SDR35 SATISFYING THE REQUIREMENTS OF ASTM TEST STANDARD

1. PIPE TYPE SHOULD BE PYC OR ABS, SCHEDULE 40 OR SDR35 SATISFYING THE REQUIREMENTS OF ASTM TEST STANDARD D1527, D1785, D2751, OR D3034.

2. FILTER FABRIC SHALL BE APPROVED PERMEABLE NON-WOVEN POLYESTER, NYLON, OR POLYPROPYLENE MATERIAL.

3. DRAIN PIPE SHOULD HAVE A GRADIENT OF 1 PERCENT MINIMUM.

4. WATERPROOFING MEMBRANE MAY BE REQUIRED FOR A SPECIFIC RETAINING WALL (SUCH AS A STUCCO OR BASEMENT WALL S. WEEP HOLES MAY BE PROVIDED FOR LOW RETAINING WALLS (LESS THAN 3 FEET IN HEIGHT) IN LIEU OF A VERTICAL DRAIN AND PIPE AND WHERE POTENTIAL WATER FROM BEHIND THE RETAINING WALL WILL NOT CREATE A NUISANCE WATER CONDITION. IF EXPOSURE IS NOT PERMITTED, A PROPER SUBDRAIN OUTLET SYSTEM SHOULD BE PROVIDED.

S. IF EXPOSURE IS PERMITTED, WEEP HOLES SHOULD BE 2-INCH MINIMUM DIAMETER AND PROVIDED AT 25-FOOT MAXIMUM SPACING ALONG WALL. WEEP HOLES SHOULD BE LOCATED 3+ INCHES ABOVE FINISHED GRADE.
7. SCREENING SUCH AS WITH A FILTER FABRIC SHOULD BE PROVIDED FOR WEEP HOLES/OPEN JOINTS TO PREVENT EARTH

MATERIALS FROM ENTERING THE HOLES/JOINTS.
8. OPEN VERTICAL MASONRY JOINTS (I.E., OMIT MORTAR FROM JOINTS OF FIRST COURSE ABOVE FINISHED GRADE) AT 32-INCH MAXIMUM INTERVALS MAY BE SUBSTITUTED FOR WEEP HOLES.
9 THE GEOTECHNICAL CONSULTANT MAY PROVIDE ADDITIONAL RECOMMENDATIONS FOR RETAINING WALLS DESIGNED FOR

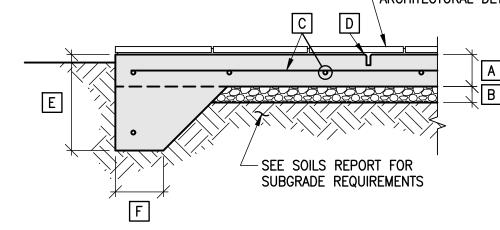
Retaining Wall Drainage Detail

DETAIL

4-inch diameter perforated pipe with proper outlet.
 Peel back the bottom fabric flap, place pipe next to core, wrap fabric around pipe and tuck behind core. (See Notes for alternate weep hole discharge system)

1. THIS DETAIL IS FOR REFERENCE ONLY TO ILLUSTRATE SOILS REPORT REQUIREMENTS. HARDSCAPE DESIGN

2. SEE SOILS REPORT FOR OVEREXCAVATION AND - SURFACE TEXTURE, TILE, SUBGRADE PREPARATION REQUIREMENTS. PAVERS, ETC. PER 3. SEE ADDITIONAL NOTE #5 ON SHEET C-2. LANDSCAPE PLANS OR ARCHITECTURAL DETAILS

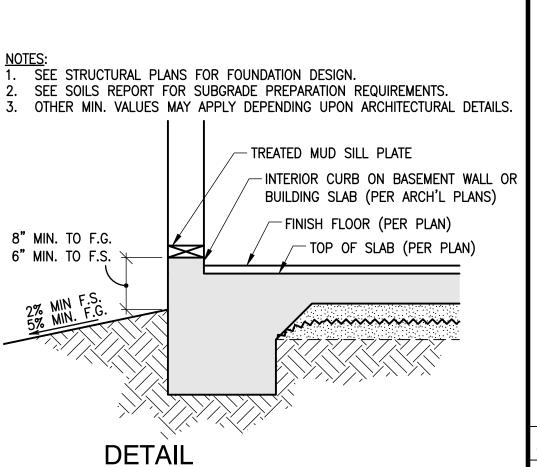


		DRIVEWAYS	HARDSCAPE
Α	MIN. SLAB THICKNESS	6"	4"
В	MIN. AGG. BASE THICKNESS	*	*
С	MIN. REINFORCEMENT (O.C. / E.W.)	*	<b>#4</b> @18"
D	MAX. SAWCUT OR COLD JT. SPACING	10'	10'
E	THICKENED EDGE DEPTH	*	*
F	THICKENED EDGE WIDTH	*	*

\*REFER TO SOILS REPORT FOR CONCRETE SPECIFICATIONS AND DESIGN.

DETAIL TYPICAL DRIVEWAY / HARDSCAPE SECTION PER SOILS REPORT PREPARED BY: ANDERSON GEOLOGY, DATED JANUARY 28, 2022 JN 19024-01

NOT TO SCALE



TYPICAL BUILDING DRAINAGE NOT TO SCALE

COUNTY OF ORANGE PLAN CHECK NO. GRD-22-0052

**ENGINEERING, INC** 

PLANS PREPARED BY:

CIVIL ENGINEERING LAND SURVEYING STORMWATER QUALITY 139 Avenida Navarro

San Clemente, CA 92672 9 4 9 . 4 9 2 . 8 5 8 6

www.toalengineering.com



R.C.E. 57587 DATE:

PREPARED FOR:

ANDREA SHELLY

DET

CTIONS

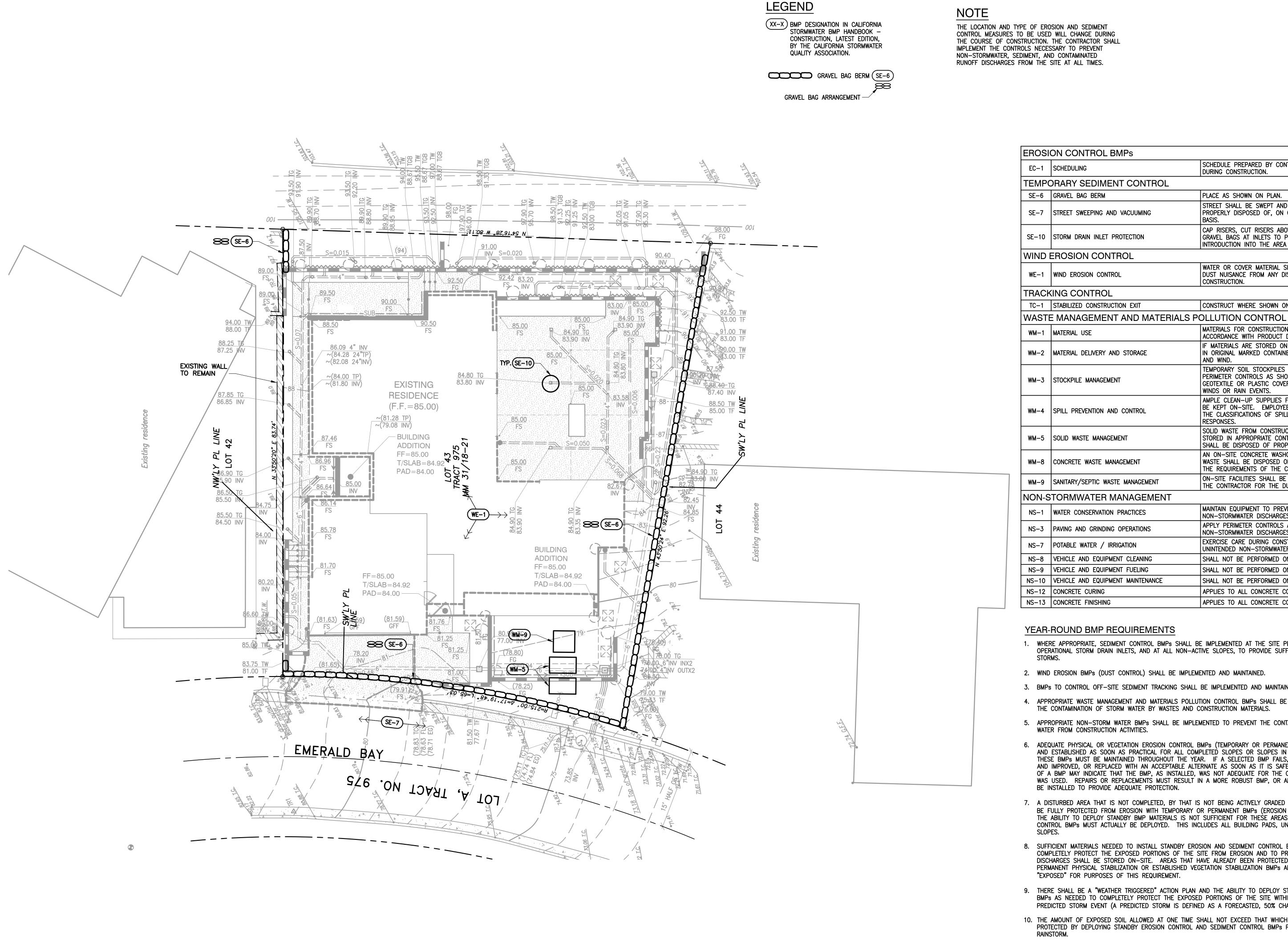
DATE: H. SCALE: 05/02/2022 1" = 8' SURVEY DATE: V. SCALE: 1"=8' 07/14/2021 DWG. NO. SHEET

DRN.: A.H.V.

DOWNSPOUT CONNECTION TO S.D. NOT TO SCALE

□ DETAIL

CHD.: C.R. APPD.: C.R. JOB NO. 18173



THE LOCATION AND TYPE OF EROSION AND SEDIMENT CONTROL MEASURES TO BE USED WILL CHANGE DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE CONTROLS NECESSARY TO PREVENT NON-STORMWATER, SEDIMENT, AND CONTAMINATED RUNOFF DISCHARGES FROM THE SITE AT ALL TIMES.



PLANS PREPARED BY:

CIVIL ENGINEERING LAND SURVEYING STORMWATER QUALITY

139 Avenida Navarro San Clemente, CA 92672 9 4 9 . 4 9 2 . 8 5 8 6 www.toalengineering.com

PROFESSIONAL PROFE
--

SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE

STREET SHALL BE SWEPT AND SEDIMENT COLLECTED AND PROPERLY DISPOSED OF, ON OR OFF-SITE, ON A DAILY

CAP RISERS, CUT RISERS ABOVE GRADE, AND/OR PROVIDE

WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE

DUST NUISANCE FROM ANY DISTURBED AREAS DURING

MATERIALS FOR CONSTRUCTION SHALL BE USED IN

PERIMETER CONTROLS AS SHOWN ON THE PLAN.

THE CLASSIFICATIONS OF SPILLS AND APPROPRIATE

IF MATERIALS ARE STORED ON SITE, THEY SHALL BE STORED IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN

TEMPORARY SOIL STOCKPILES SHALL BE SURROUNDED BY

AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL

BE KEPT ON-SITE. EMPLOYEES SHALL BE EDUCATED ON

SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE

STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS

AN ON-SITE CONCRETE WASHOUT AREA SHALL BE USED.

THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

MAINTAIN EQUIPMENT TO PREVENT UNINTENDED

UNINTENDED NON-STORMWATER DISCHARGES.

SHALL NOT BE PERFORMED ON SITE.

SHALL NOT BE PERFORMED ON SITE.

SHALL NOT BE PERFORMED ON SITE.

APPLIES TO ALL CONCRETE CONSTRUCTION.

APPLIES TO ALL CONCRETE CONSTRUCTION.

WASTE SHALL BE DISPOSED OF IN A MANNER WHICH MEETS

ON-SITE FACILITIES SHALL BE PROVIDED AND MAINTAINED BY

APPLY PERIMETER CONTROLS AND VACUUMING TO PREVENT

EXERCISE CARE DURING CONSTRUCTION TO PREVENT

GEOTEXTILE OR PLASTIC COVERS ARE REQUIRED DURING HIGH

GRAVEL BAGS AT INLETS TO PREVENT SEDIMENT

INTRODUCTION INTO THE AREA DRAIN SYSTEM.

CONSTRUCT WHERE SHOWN ON PLAN.

WINDS OR RAIN EVENTS.

SHALL BE DISPOSED OF PROPERLY.

THE REQUIREMENTS OF THE CITY.

NON-STORMWATER DISCHARGES.

NON-STORMWATER DISCHARGES.

RESPONSES.

ACCORDANCE WITH PRODUCT DIRECTIONS.

DURING CONSTRUCTION.

CONSTRUCTION.

PLACE AS SHOWN ON PLAN.

R.C.E. 57587 DATE:

ANDREA SHELLY

PREPARED FOR:

#### YEAR-ROUND BMP REQUIREMENTS

- 1. WHERE APPROPRIATE, SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AT THE SITE PERIMETER, AT ALL OPERATIONAL STORM DRAIN INLETS, AND AT ALL NON-ACTIVE SLOPES, TO PROVIDE SUFFICIENT PROTECTION FROM
- 2. WIND EROSION BMPs (DUST CONTROL) SHALL BE IMPLEMENTED AND MAINTAINED.
- 3. BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING SHALL BE IMPLEMENTED AND MAINTAINED.
- 4. APPROPRIATE WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER BY WASTES AND CONSTRUCTION MATERIALS.
- 5. APPROPRIATE NON-STORM WATER BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER FROM CONSTRUCTION ACTIVITIES.
- 6. ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs (TEMPORARY OR PERMANENT) SHALL BE INSTALLED AND ESTABLISHED AS SOON AS PRACTICAL FOR ALL COMPLETED SLOPES OR SLOPES IN NON-ACTIVE AREAS. THESE BMPs MUST BE MAINTAINED THROUGHOUT THE YEAR. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP MAY INDICATE THAT THE BMP, AS INSTALLED, WAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENTS MUST RESULT IN A MORE ROBUST BMP, OR ADDITIONAL BMPs SHOULD BE INSTALLED TO PROVIDE ADEQUATE PROTECTION.
- 7. A DISTURBED AREA THAT IS NOT COMPLETED, BY THAT IS NOT BEING ACTIVELY GRADED (NON-ACTIVE AREA), SHALL BE FULLY PROTECTED FROM EROSION WITH TEMPORARY OR PERMANENT BMPs (EROSION AND SEDIMENT CONTROL). THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. EROSION AND SEDIMENT CONTROL BMPs MUST ACTUALLY BE DEPLOYED. THIS INCLUDES ALL BUILDING PADS, UNFINISHED ROADS, AND
- 8. SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY EROSION AND SEDIMENT CONTROL BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PERMANENT PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
- 9. THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN).
- 10. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED

COUNTY OF ORANGE PLAN CHECK NO. GRD22-0052

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05/02/2022 | 1"=8"

SURVEY DATE: V. SCALE:

N/A

DWG. NO.

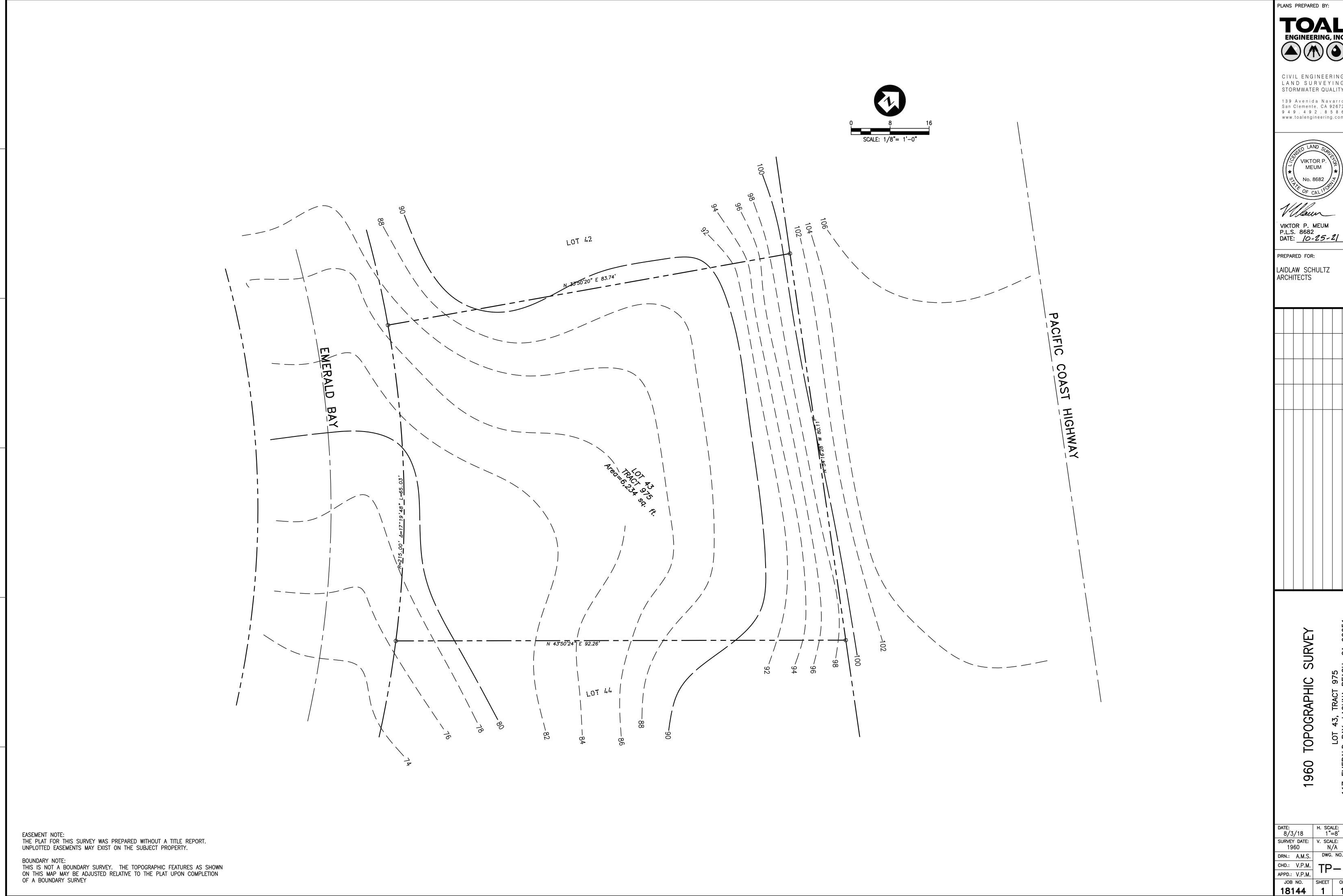
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07/14/2021

DRN.: A.H.V.

CHD.: C.R. APPD.: C.R. JOB NO.



PLANS PREPARED BY:

ENGINEERING, INC.

CIVIL ENGINEERING LAND SURVEYING STORMWATER QUALITY

139 Avenida Navarro San Clemente, CA 92672 9 4 9 . 4 9 2 . 8 5 8 6 www.toalengineering.com



PREPARED FOR:

LAIDLAW SCHULTZ ARCHITECTS

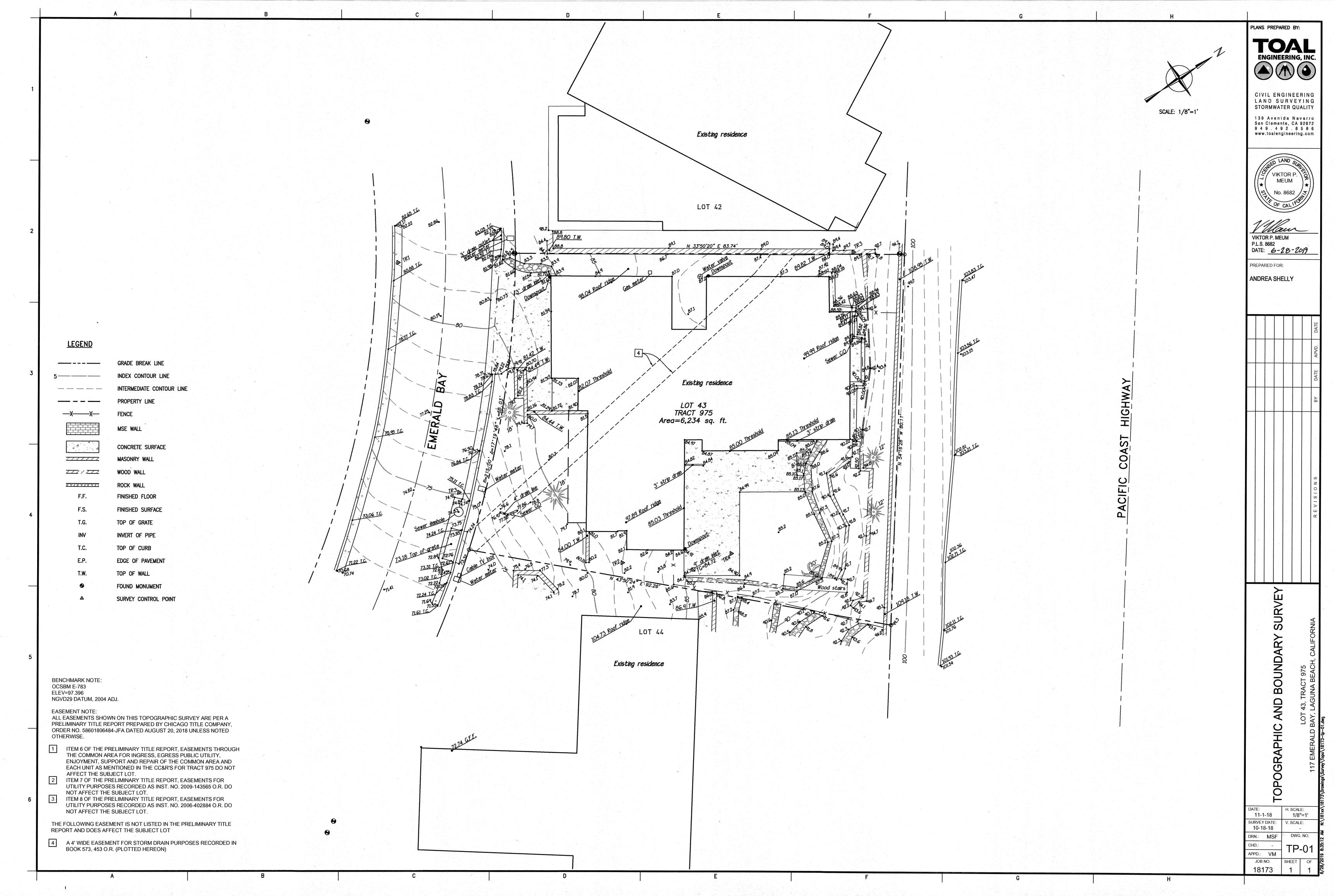
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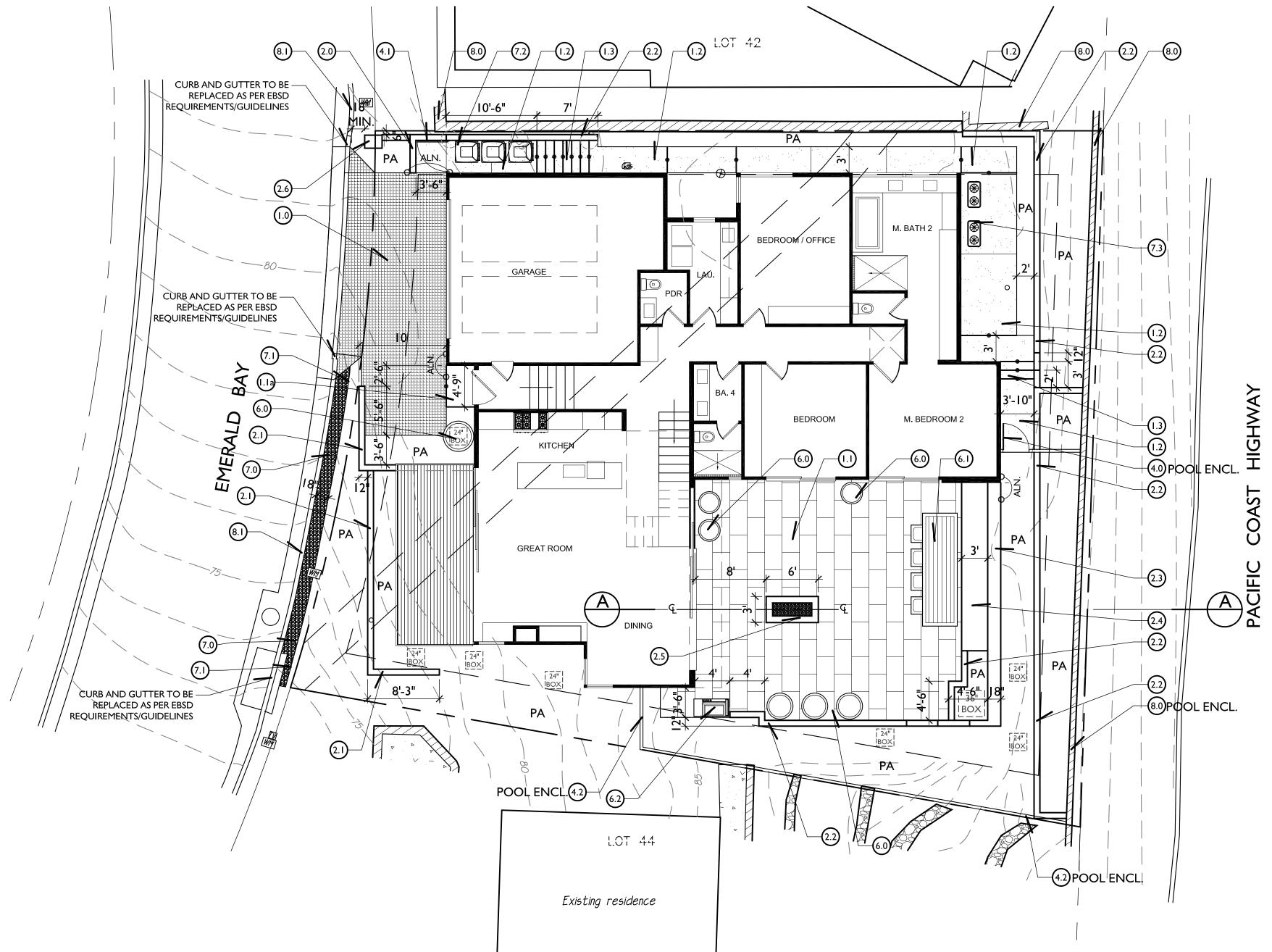
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DATE: H. SCALE: 1"=8'

SURVEY DATE: V. SCALE: 1960 N/A APPD.: V.P.M. JOB NO.





### FINISH SCHEDULE:

					1
SYMBOL	ITEM	MANUFACTURER/SUPPLIER	COLOR	FINISH	COMMENTS
(10)	VEHICULAR COBBLESTONE PAVING	AVAILABLE THRU: MODERN BUILDERS SUPPLY - (949) 254-4692 CONTACT: GREG DRAZIL	NAVAJO TAN	NATURAL CLEFT	4" x 4" x 2" THICK COBBLE SIZE
(1.1)	TILE PAVING	AVAILABLE THRU: CONCEPT STUDIO 3195 RED HILL AVE. SUITE G COSTA MESA, CA 92626 ATTN: RICHARD GODDARD - 949.759.0606	ELEGANCE - WHITE PORCELAIN	BOCCIARDATO (TEXTRURED / NON SLIP)	24" × 48" TILE SIZE
(1.2) (1.3)	COLORED CONCRETE PAVING and STEPS	DAVIS COLORS 323-265-8323	PEWTER - #860	MEDIUM RELEASE FINISH	with SAWCUTS as SHOWN
2.0 (2.1)	STONE VENEER	PER ARCHITECT	TAN / BEIGE - PER ARCHITECT		
22 23 24	PLASTER / STUCCO FINISH		TO MATCH HOUSE	TO MATCH HOUSE	
2.5	STONE VENEER and CAP on FIRE PIT		ZIMBABWE (BLACK)	BRUSHED	
2.6 5.0	ENDICOTT BRICK VENEER and CAP		TO MATCH BRICK ON HOUSE	TO MATCH BRICK ON HOUSE	
	METAL (MAGOOD OVERLIEAD		METAL: to MATCH METAL on HOUSE	METAL: to MATCH METAL on HOUSE	
3.0	METAL / WOOD OVERHEAD		WOOD: to MATCH WOOD on HOUSE	WOOD: to MATCH WOOD on HOUSE	
4.0 4.1 4.2	WOOD GATES and FENCE		TO MATCH GARAGE DOOR	TO MATCH GARAGE DOOR	
5.0	SPA TILE	AVAILABLE THRU: CONCEPT STUDIO 3195 RED HILL AVE. SUITE G COSTA MESA, CA 92626 ATTN: RICHARD GODDARD - 949.759.0606	CORNFLOWER BLUE		2" x 8" TILE SIZE FOR ALL BUT BENCH AREAS. BENCH AREAS TO BE CUSTOM SLABS
(5.1)	SPA COPING	AVAILABLE THRU: MODERN BUILDERS SUPPLY - (949) 254-4692 CONTACT: GREG DRAZIL	TO MATCH STONE ON PATIO/POOL DECK	TO MATCH STONE ON PATIO/POOL DECK	
7.0	BLACK MEXICAN RIVER ROCK		BLACK MEXICAN RIVER ROCK		3" - 5" DIA.
7.1	STEEL HEADER at DECORATIVE ROCK	AVAILABLE THRU: EWING IRRIGATION & LANDSCAPE SUPPLY	BLACK	POWDERCOAT	¼" THICK

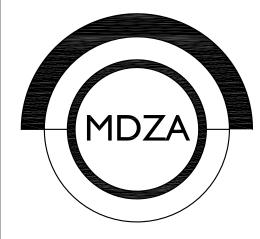
NOTE: CONTRACTOR TO PROVIDE 3' X 3' SAMPLE OF CONCRETE PAVING & STONE PAVING ON SITE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

FLATWORK	DETAIL/SHEET
(1.0) VEHICULAR COBBLESTONE PAVING OVER CONCRETE SUBBASE	A, LC-2
(I.I) PEDESTRIAN TILE PAVING OVER PODIUM/DEPRESSED CONCRETE	,
SUBBASE  (1.1a) PEDESTRIAN TILE PAVING OVER CONCRETE SUBBASE	B, LC-2
(1.2) PEDESTRIAN COLORED CONCRETE PAVING with SAWCUTS as SHOWN	C, LC-2
(1.3) COLORED CONCRETE STEPS	D, LC-2
MASONRY	
2.0 4' HIGH FREESTANDING/PROPERTY LINE WALL with STONE VENEER. DETAIL PER STRUCTURAL ENGINEER. SEE FINISH SCHEDULE for STONE *NOTE - WALL to be FINISH ALL SIDES	
2.1) CMU RETAINING WALL with STONE VENEER. DETAIL PER STRUCTURAL ENGINEER. SEE FINISH SCHEDULE for STONE	
2.2) CMU RETAINING WALL with PLASTER FINISH. DETAIL PER STRUCTURAL ENGINEER. SEE FINISH SCHEDULE for COLOR *NOTE - WALL to be FINISH ALL SIDES	
2.3) 18" WIDE RETAINING WALL with PLASTER FINISH. DETAIL PER STRUCTURAL ENGINEER. SEE FINISH SCHEDULE for COLOR	
2.4 BUILT IN SEAT WALL/BENCH with PLASTER FINISH	E, LC-2
2.5 FIRE PIT with CUT STONE VENEER and CAP	F, LC-2
2.6 MAIL BOX with BRICK and CAP	G, LC-2
METAL  (3.0) CANTILEVERED OVERHEAD. STEEL STRUCTURE with WOOD BEAMS	A, LC-3
WOOD/CARRENITRY	
WOOD/CARPENTRY  4.0 6' HIGH WOOD PEDESTRIAN GATE and RETURN FENCE. TO BE SELF CLOSING and SELF LATCHING TO MEET ALL CURRENT POOL CODES	H, LC-2
(4.0) 6' HIGH WOOD PEDESTRIAN GATE and RETURN FENCE. TO BE SELF	H, LC-2
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### LEGEND:

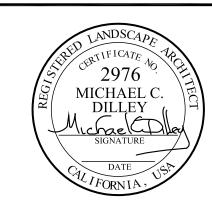
(18)	CONSTRUCTION CALLOUSTAIR RISER LOCATION
<del></del>	STAIR RISER LOCATION
ALN	ALIGN
CLR	CLEAR
ą.	CENTERLINE
EQ.	EQUAL
F.O.C.	FACE OF CURB
F.O.W.	FACE OF WALL
MIN.	MINIMUM
MAX.	MAXIMUM
PA	PLANTING AREA
R=	RADIUS EQUALS
TYP.	TYPICAL

FIELD VERIFY ALL UTILITY LOCATIONS PRIOR to CONSTRUCTION



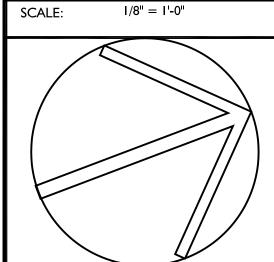
LANDSCAPE ARCHITECTURE PLANNING DESIGN

2320 SECOND AVENUE CORONA DEL MAR, CA 92625 PHONE: 949.673.0800 FAX: 949.673.0806



REVISIONS 5/3/22 REAR RETAINING WALL SHIFT PER CIVIL 7/12/22 SPA AND OVERHEAD REMOVED

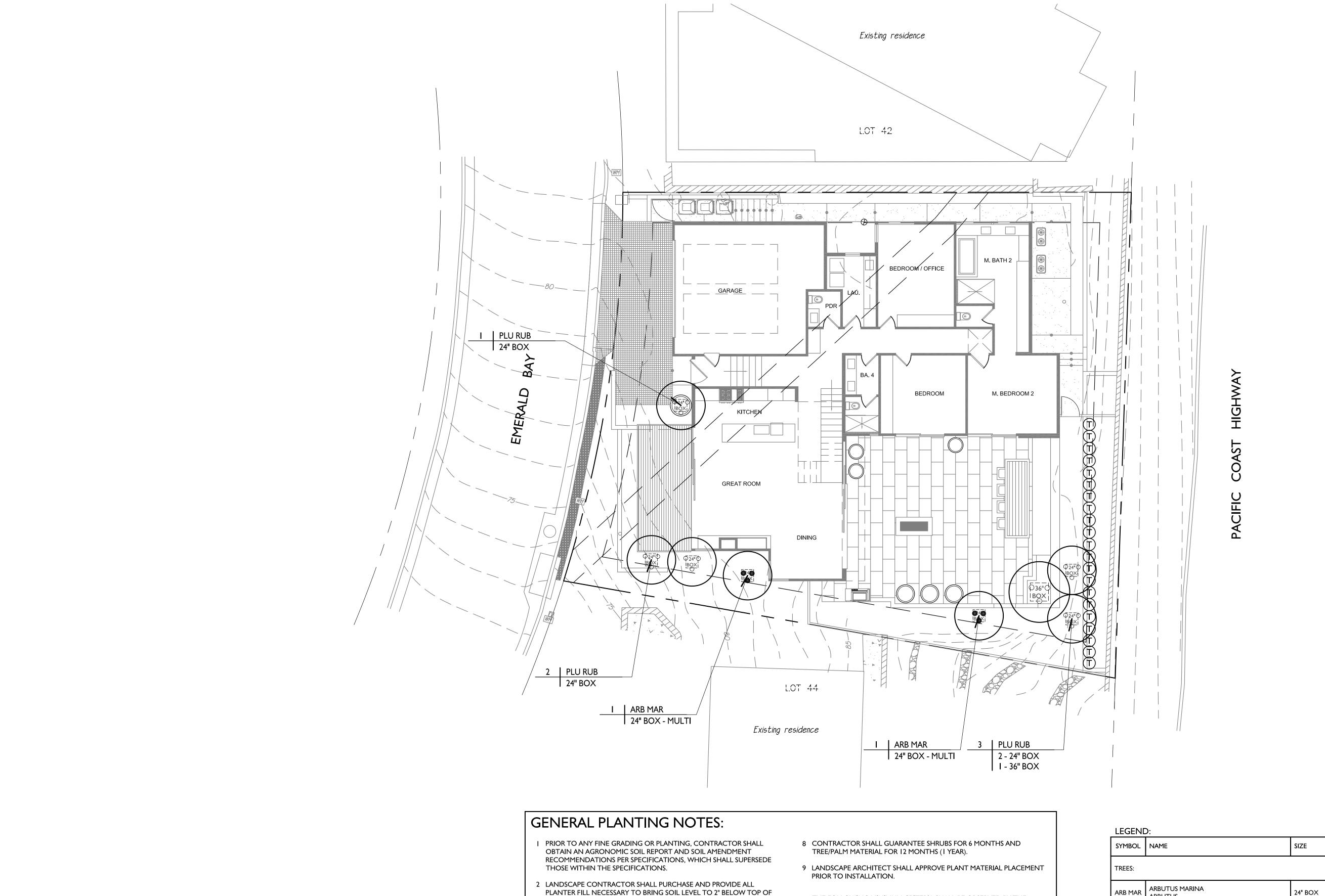
DRAWN BY: SH CHECKED BY: MD July 11, 2022



LANDSCAPE CONSTRUCTION PLAN

SHEET NO.:

LANDSCAPE ARCHITECTURE - EMERALD BAY



- PLANTER WALLS.
- 3 LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ENOUGH WALK-ON BARK MULCH TO PROVIDE A 2" COVERING OF ALL SHRUB PLANTING ARES. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PURCHASING.
- 4 LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN I WEEK PRIOR TO ANTICIPATED PLANTING DATE.
- 5 CONTRACTOR TO COORDINATE APPROVALS. CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
- 6 LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
- 7 THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER "START OF MAINTENANCE" PERIOD.

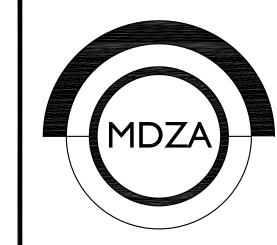
- THE FOLLOWING MINIMUM CRITERIA SHALL BE OBSERVED BY THE LANDSCAPE CONTRACTOR:
- NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS.
- TREES OR PALMS SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
- NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.
- TREES OR PALMS PLANTED IN LANDSCAPE AREAS OF LESS THAN 4' IN

WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.

ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.

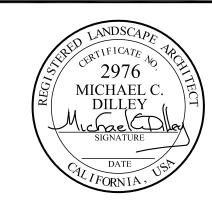
SYMBOL	NAME	SIZE	COMMENTS	HEIGHT x SPREAD at 20 YRS. / MATURITY
TREES:				
ARB MAR	ARBUTUS MARINA ARBUTUS	24" BOX	MULTI TRUNK	18' x 18'
PLU RUB	PLUMERIA RUBRA FRANGIPANI	24" BOX	SPECIMEN PLANTS - T.B.S. BY OWNER / LANDSCAPE ARCHITECT	
VINES:				
T	TRACHELOSPERMUM JASMINIOIDES STAR JASMINE	5 GAL.	STAKED	6' x 4'
GROUND	COVERS:	•	•	
NO SYMBOL	WALK-ON BARK MULCH (IN ALL SHRUB AREAS )	-	2" THICK LAYER MIN. SUBMIT SAMPLE FOR APPROVAL	-

FOR PLANTING DETAILS SEE SHEET LP-3 FOR PLANTING SPECIFICATIONS SEE SHEET LP-4



LANDSCAPE ARCHITECTURE DESIGN PLANNING

2320 SECOND AVENUE CORONA DEL MAR, CA 92625 PHONE: 949.673.0800 FAX: 949.673.0806



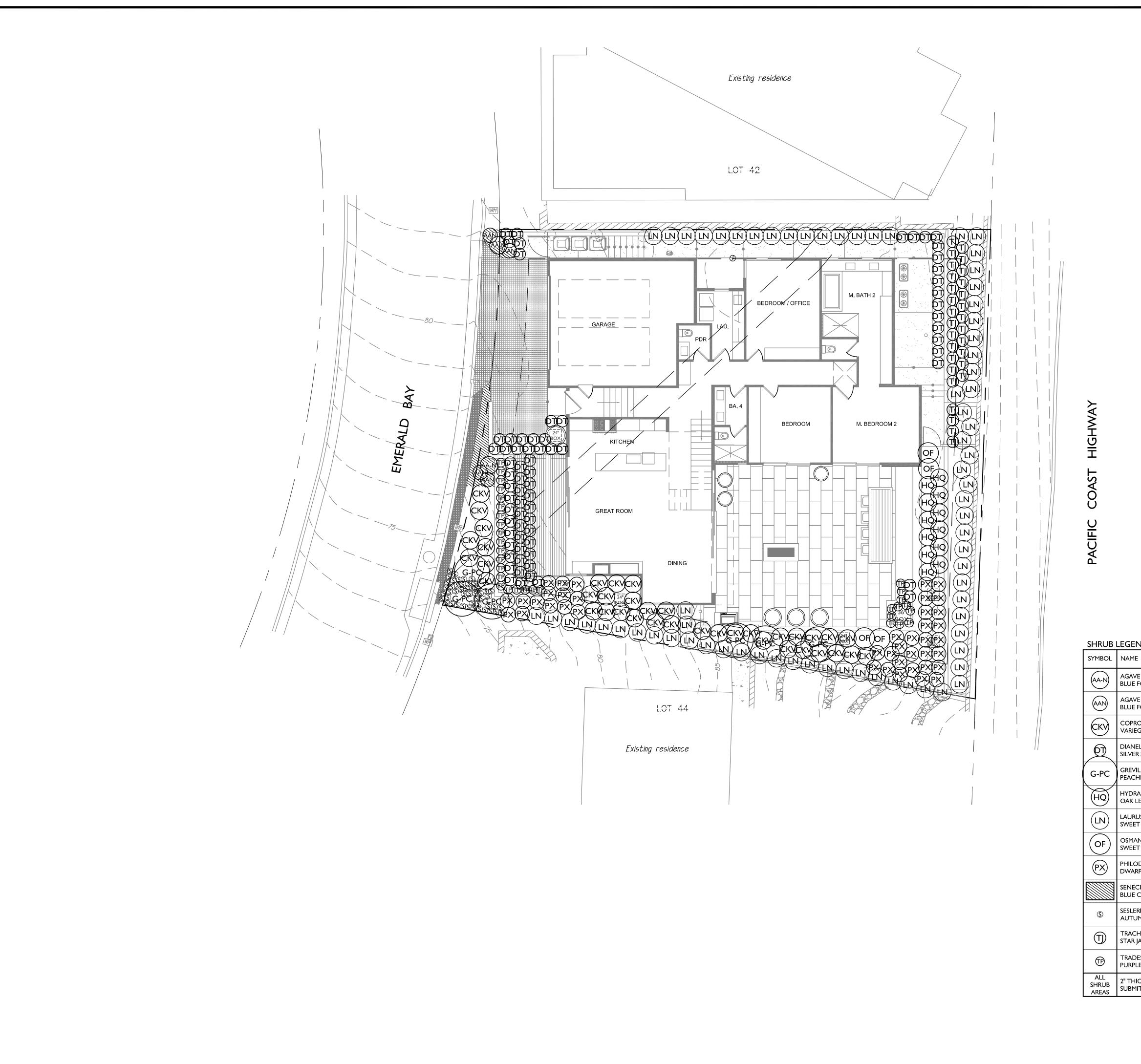
REVISIONS 5/3/22 REAR RETAINING WALL SHIFT PER CIVIL 7/12/22 SPA AND OVERHEAD REMOVED JOB NO.: DRAWN BY: SH

CHECKED BY: MD DATE: July 11, 2022

> 1/8" = 1'-0"SCALE:

TREE, VINE & GROUNDCOVER PLANTING PLAN

SHEET NO.:



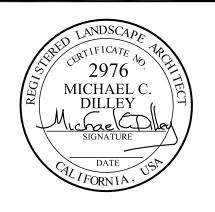
YMBOL	NAME	SIZE	COMMENTS	HEIGHT x SPREAD at 5 YRS. / MATURITY
(AA-N)	AGAVE ATTENUATA 'NOVA' BLUE FOX TAIL AGAVE	I5 GAL.	-	4' × 6'
(AAN)	AGAVE ATTENUATA 'NOVA' BLUE FOX TAIL AGAVE	5 GAL.	-	3' × 3'
СКУ	COPROSMA KIRKII 'VARIEGATA' VARIEGATED MIRROR PLANT	I GAL.	-	18" × 5'
0)	DIANELLA TAZMANICA 'SILVER STREAK' SILVER STREAK FLAX LILY	5 GAL.	-	3' × 3'
G-PC	GREVILLEA 'PEACHES and CREAM' PEACHES and CREAM GREVILLEA	5 GAL.	-	7' × 7'
HQ	HYDRANGEA QUERCIFOLIA OAK LEAF HYDRANGEA	5 GAL.	-	4' × 7'
LN	LAURUS NOBILIS SWEET BAY	I5 GAL.	HEDGE	MAINTAINED as 6' HIGH FORMAL HEDGE
OF	OSMANTHUS FRAGRANS SWEET OLIVE	5 GAL.	-	10' × 6'
PX	PHILODENDRON 'XANADU' DWARF PHILODENDRON	5 GAL.	-	3' × 5'
	SENECIO SERPENS BLUE CHALK STICKS	4" POTS	@ 9" O.C.	6" × 12"
<b>S</b>	SESLERIA AUTUMNALIS AUTUMN MOOR GRASS	I GAL.	@ 8" O.C.	PLANT = 12" x 12" & FLOWER = 18" x 18"
①	TRACHELOSPERMUM JASMINIOIDES STAR JASMINE	I GAL.	-	2' × 4'
(TP)	TRADESCANTIA PALLIDA 'PURPUREA' PURPLE HEART	I GAL.	-	12" × 2'

FOR PLANTING NOTES SEE SHEET LP-I FOR PLANTING DETAILS SEE SHEET LP-3 FOR PLANTING SPECIFICATIONS SEE SHEET LP-4



LANDSCAPE ARCHITECTURE PLANNING DESIGN

2320 SECOND AVENUE CORONA DEL MAR, CA 92625 PHONE: 949.673.0800 FAX: 949.673.0806

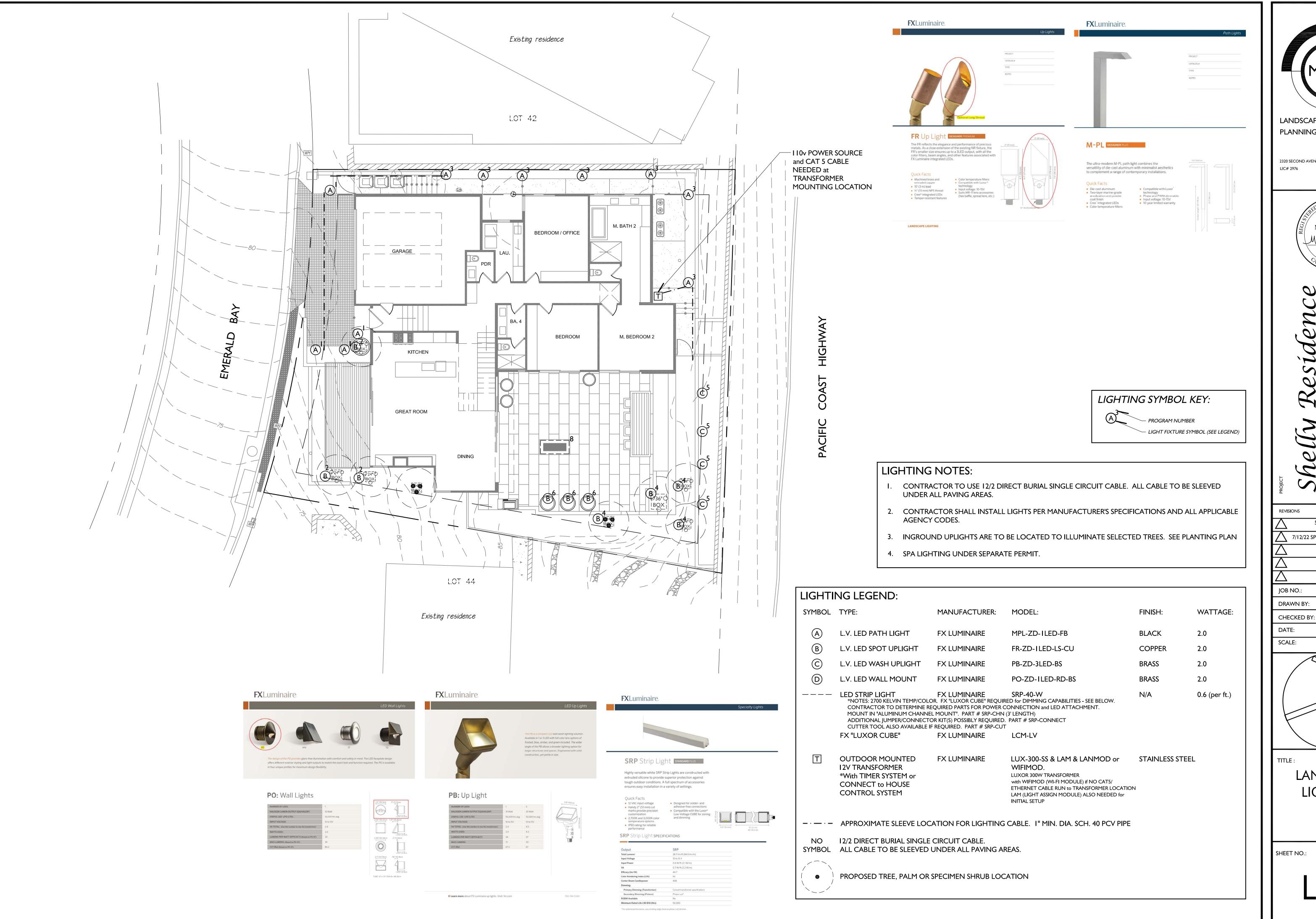


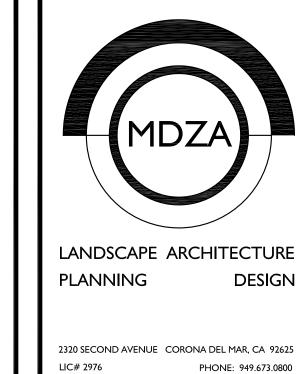
REVISIONS 5/3/22 REAR RETAINING WALL SHIFT PER CIVIL 7/12/22 SPA AND OVERHEAD REMOVED JOB NO.: DRAWN BY: SH CHECKED BY: MD July 11, 2022

I/8" = I'-0"

TITLE : SHRUB PLANTING PLAN

SHEET NO.:





MICHAEL C. DILLEY

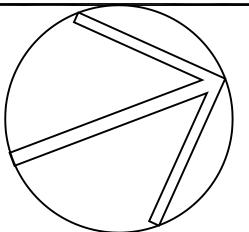
FAX: 949.673.0806

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5/3/22 REAR RETAINING WALL SHIFT PER CIVIL 7/12/22 SPA AND OVERHEAD REMOVED

DRAWN BY: SH CHECKED BY: MD

1/8" = 1'-0"



LANDSCAPE LIGHTING

**EMERALD** SHELLY RESIDENCE

July 11, 2022

PLAN