

Custom Residence

193 Emerald Bay Laguna Beach • California • 92651



Abbreviations

AB	Anchor Bolt	DIM	Dimension	MECH	Mechanical
AC	Air Conditioning	DR	Drawing	MAX	Maximum
ACOU	Acoustical	D.F.	Drinking Fountain	MET	Metal
AD	Area Drain	EA	Each	MIN	Minimum
ADJ	Adjustable	ELEC	Electrical	(N)	New
ADJT	Adjacent	ELEV	Elevation	NIC	Not In Contract
AL	Aluminum	EQUIP	Equipment	N.T.S.	Not To Scale
ALT	Alternate	EX	Existing	NAT	Natural
APPRX	Approximate	EXP. JT.	Expansion Joint	OC	On Center
ARCH	Architect	EXT	Exterior	OPG	Opening
ASB	Asbestos	EQ	Equal	OD	Outside Dim
ASBO	Asphalt	FOF	Face Of Finish	OH	Overhead
BD	Board	FOC	Face Of Concrete	PLAS	Plaster
BUILD	Building	FOS	Face Of Stud	PLPG	Plate
BL	Block	FIN	Finish	PG	Paint Grade
BLK	Blocking	FP	Fire Proof	PR	Pair
BM	Beam	FS	Finish Surface	RAD	Radius
BOT	Bottom	FT	Foot	REQ	Required
BED	Bedroom	FTG	Footing	RD	Roof Drain
BRK	Bracket	F.D.C.	Fire Department Connection	RM	Room
CAB	Cabinet	GI	Galvanized	REV	Revised
CB	Catch Basin	G.I.	Galvanized Iron	RWD	Redwood
CM	Cement	GA	Gauge	RO	Rough
CER	Ceramic	GL	Glass	R.O.	Rough Opening
C.I.	Cast Iron	GYP	Gypsum	REG	Register
CLG	Ceiling	GC	General Contractor	SCH	Schedule
CA	Calking	HDWR	Hardware	SECT	Section
CL	Center Line	HWY	Hardwood	SIM	Similar
CLOS	Close	HT	Height	STD	Standard
CLR	Clear	HC	Hollow Core	STL	Steel
CEM	Concrete Masonry Unit	HM	Hollow Metal	STR	Structural
CTR	Counter	HORIZ	Horizontal	SUSP	Suspended
COL	Column	HB	Hose Bibb	TEL	Telephone
CONC	Concrete	HVAC	Heating Venting Ac	TEMP	Temporary
COND	Condition	IN	Inch	T&G	Tongue And Groove
CONN	Connection	ID	Inside Dim.	TC	Top Of Curb/Concrete
CONST	Construction	INSUL	Insulation	TS	Top Of Slab
CONT	Continuous	INT	Interior	TYP	Typical
CONTR	Contractor	INV	Invert	TW	Top Of Wall
COR	Corridor	JT	Joint	VTR	Vent Thru Roof
COR	Center	KIT	Kitchen	VERT	Vertical
CT	Center	LAV	Lavatory	VT	Vinyl Tile
CTSK	Countersunk	LIN. FT.	Linear Foot	WC	Water Closet
CL	Center Line	LIN. FT.	Linear Foot	WH	Water Heater
C.T.	Ceramic Tile	LG	Long	WT	Weight
CLR	Clear	LAM	Laminated	WD	Wood
DET	Detail	LT	Light	WWM	Welded Wire Mesh
DIA	Diameter	MB	Machine Bolt	WI	Wrought Iron
				WS	Weather Strip

Scope of Work

Whole house remodel of existing 7,822 SF habitable and existing 1,112 SF garages. Reduction of habitable space by 298 SF. Addition and conversion of existing space to create 1,052 SF of additional subterranean garage & mechanical space. Corrects existing non-conforming parking condition. Add pool at existing middle deck level. Landscape, hardscape and driveway revisions at upper level entry and lower garage level proposed.

Codes

This Project Shall Comply With The Following Codes:

2022 CBC	2022 CPC	2022 T-24
2022 CEC	2022 CRC	
2022 CMC	2022 CalGreen	

Symbols

Revision	
Section Line	
Section Designation	
Sheet Number	
Detail Key	
Detail Designation	
Sheet Number	
Datum	

Consultants

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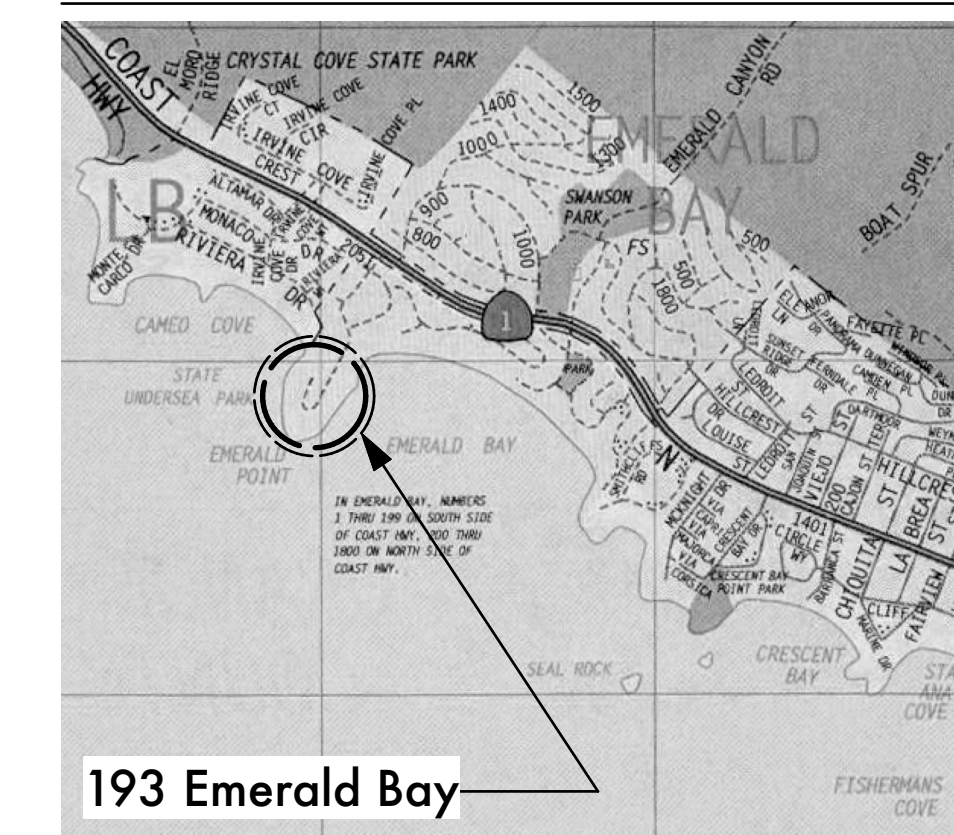
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Owner / Client

Brighton Road Investments, LLC

Vicinity Map



HOA Notes

1. Masonry property line walls to be finished in stucco on all sides, where applicable.



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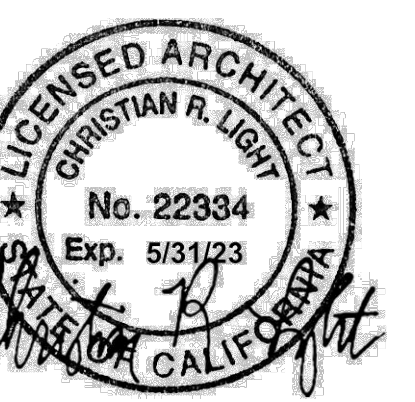
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Cover Sheet

Job Number: 2130

Scale:

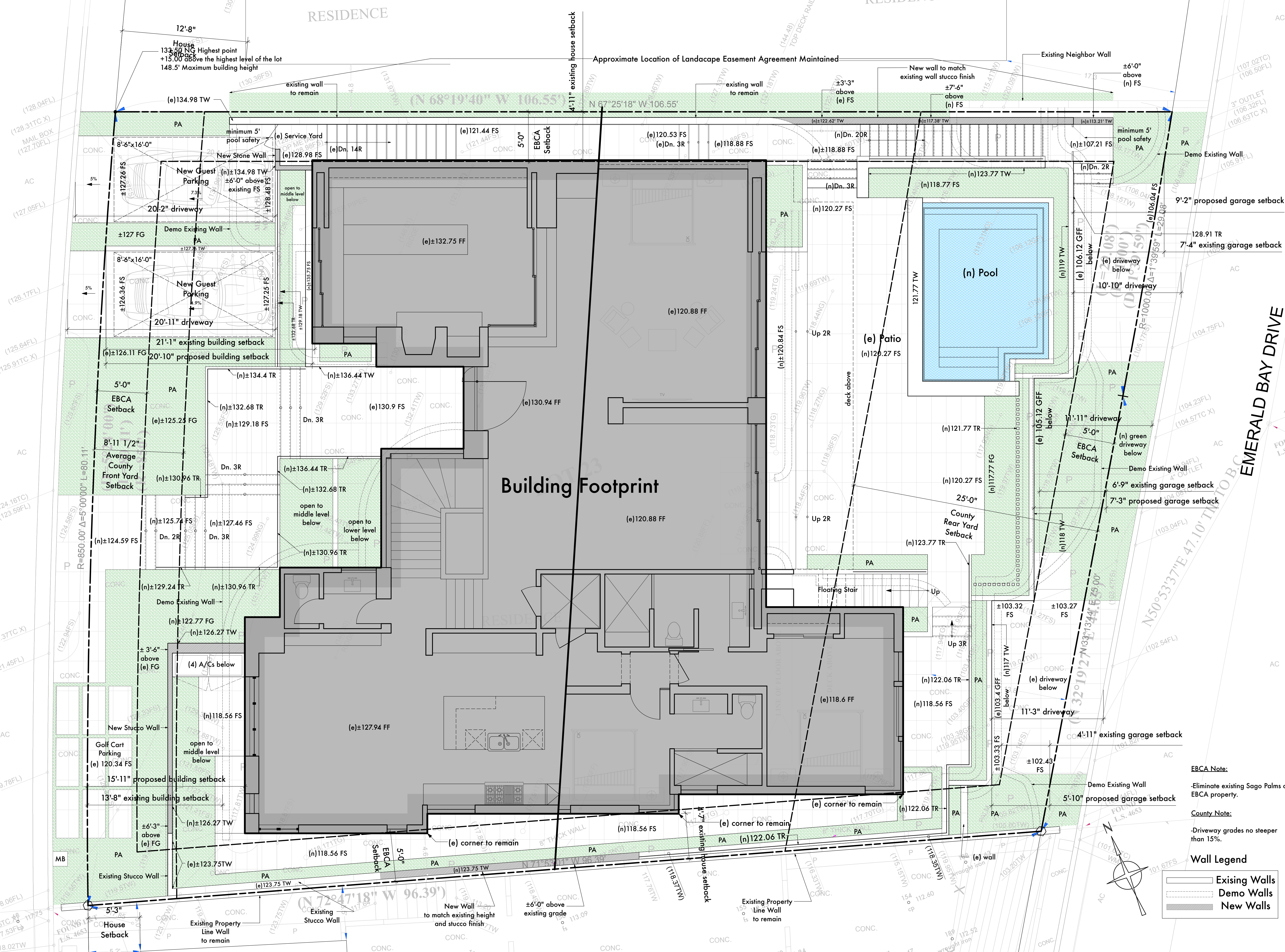
Date:
HOA Concept 1: October 7, 2021
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Site Plan

Job Number: 2130
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- EBCA Note:**
- Eliminate existing Sago Palms on EBCA property.
- County Note:**
- Driveway grades no steeper than 15%.

Wall Legend

[Solid Line]	Existing Walls
[Dashed Line]	Demo Walls
[Thick Solid Line]	New Walls





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Proposed Neighbor's
Grading Exhibit

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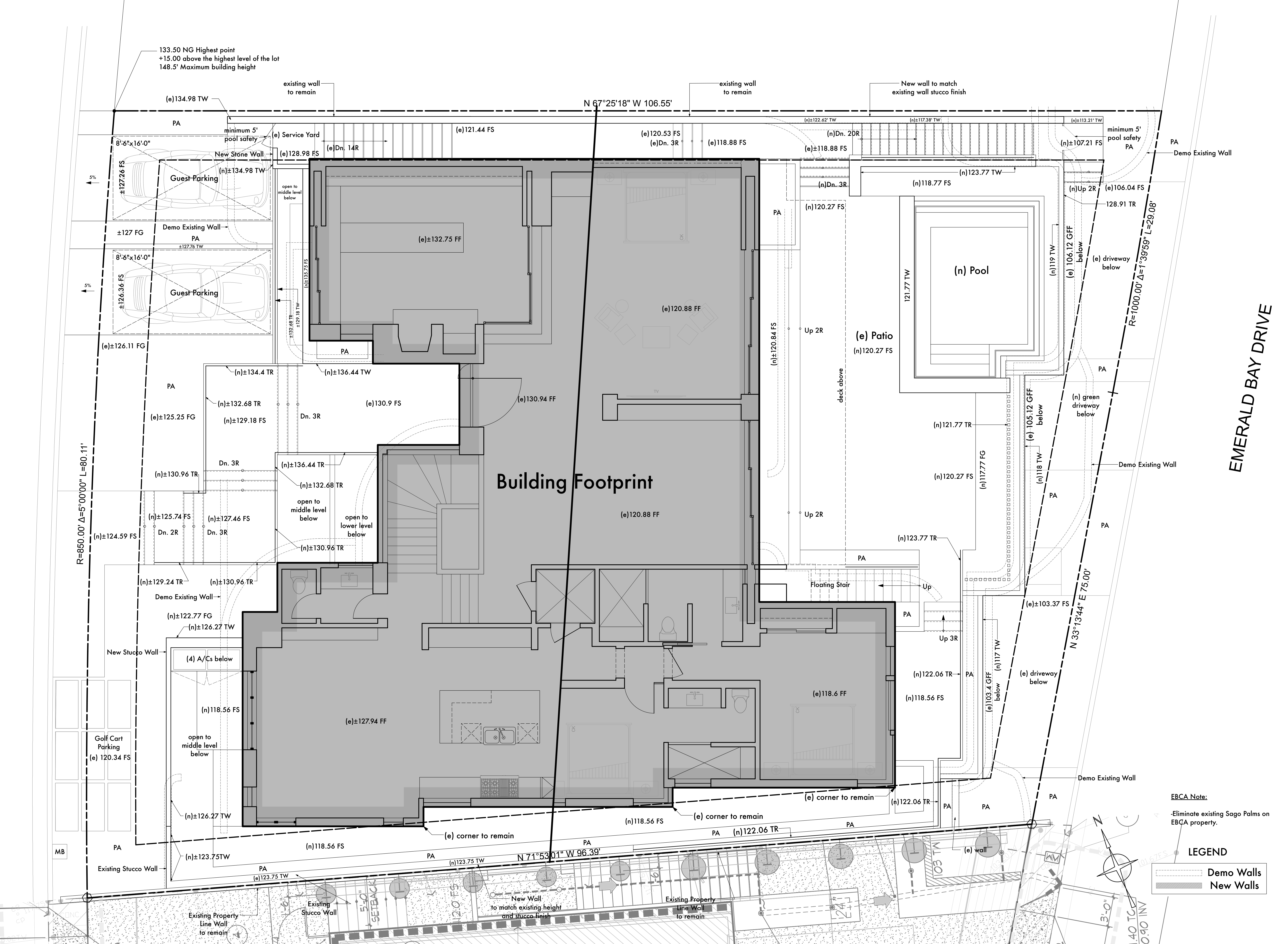
EBCA Note:

Eliminate existing Sago Palms on EBCA property.

LEGEND

- Demo Walls
- New Walls

SP1.1



EMERALD BAY DRIVE



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Existing/Proposed
Upper Level

Job Number: 2130

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Date:

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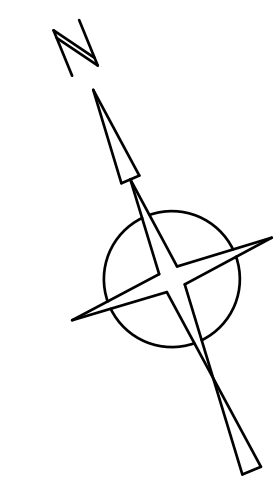
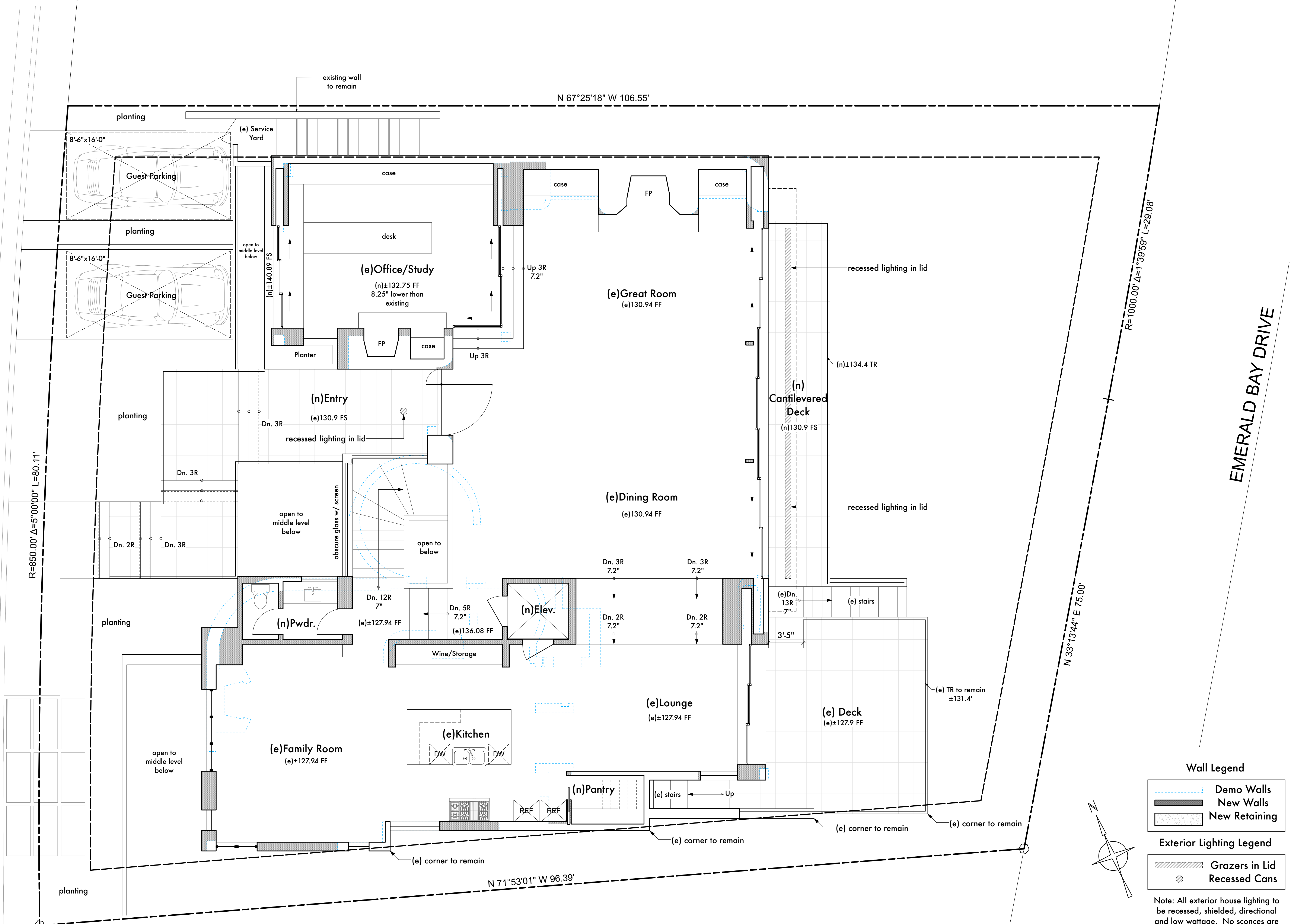
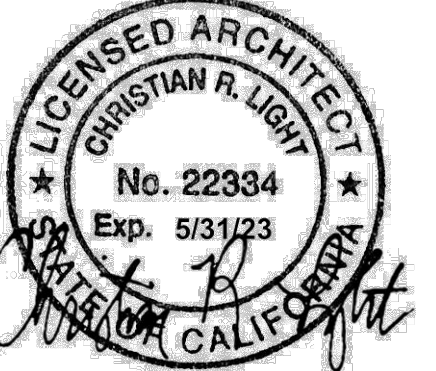
Wall Legend

- Demo Walls
- New Walls
- New Retaining

Exterior Lighting Legend

- Grazers in Lid
- Recessed Cans

Note: All exterior house lighting to be recessed, shielded, directional and low wattage. No sconces are proposed on the face of the house.





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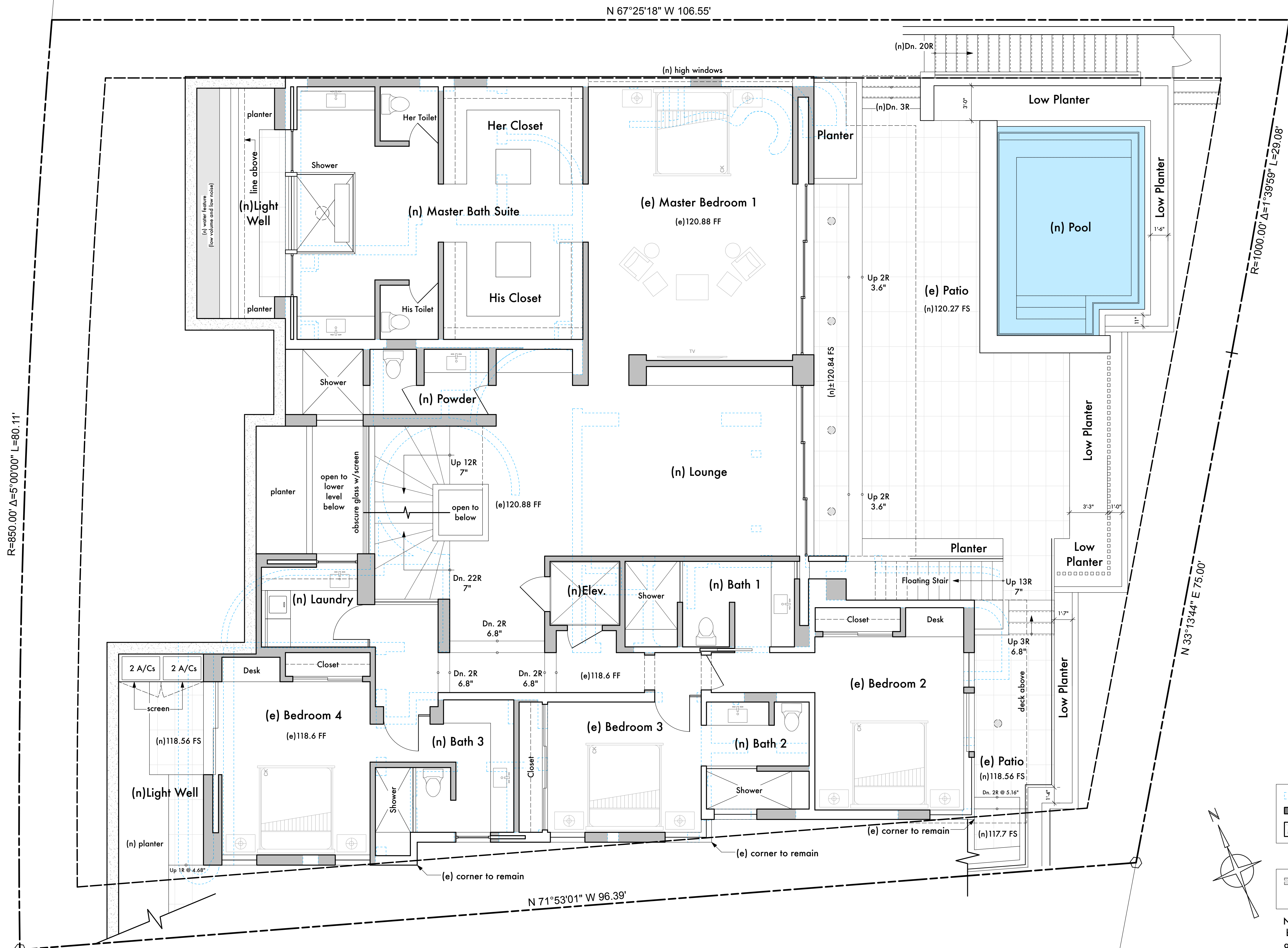
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EMERALD BAY DRIVE



- Wall Legend**
- Demo Walls
 - New Walls
 - New Retaining
- Exterior Lighting Legend**
- Grazers in Lid
 - Recessed Cans

Note: All exterior house lighting to be recessed, shielded, directional and low wattage. No sconces are proposed on the face of the house.

Existing/Proposed Middle Level

Job Number: 2130

Scale: 1/4" = 1'-0"

Date:

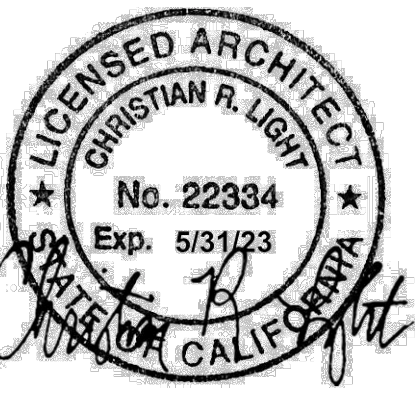
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HOA Prelim 3: August 3, 2022

HOA Prelim 3 REV: August 29, 2022





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Existing/Proposed Lower Level
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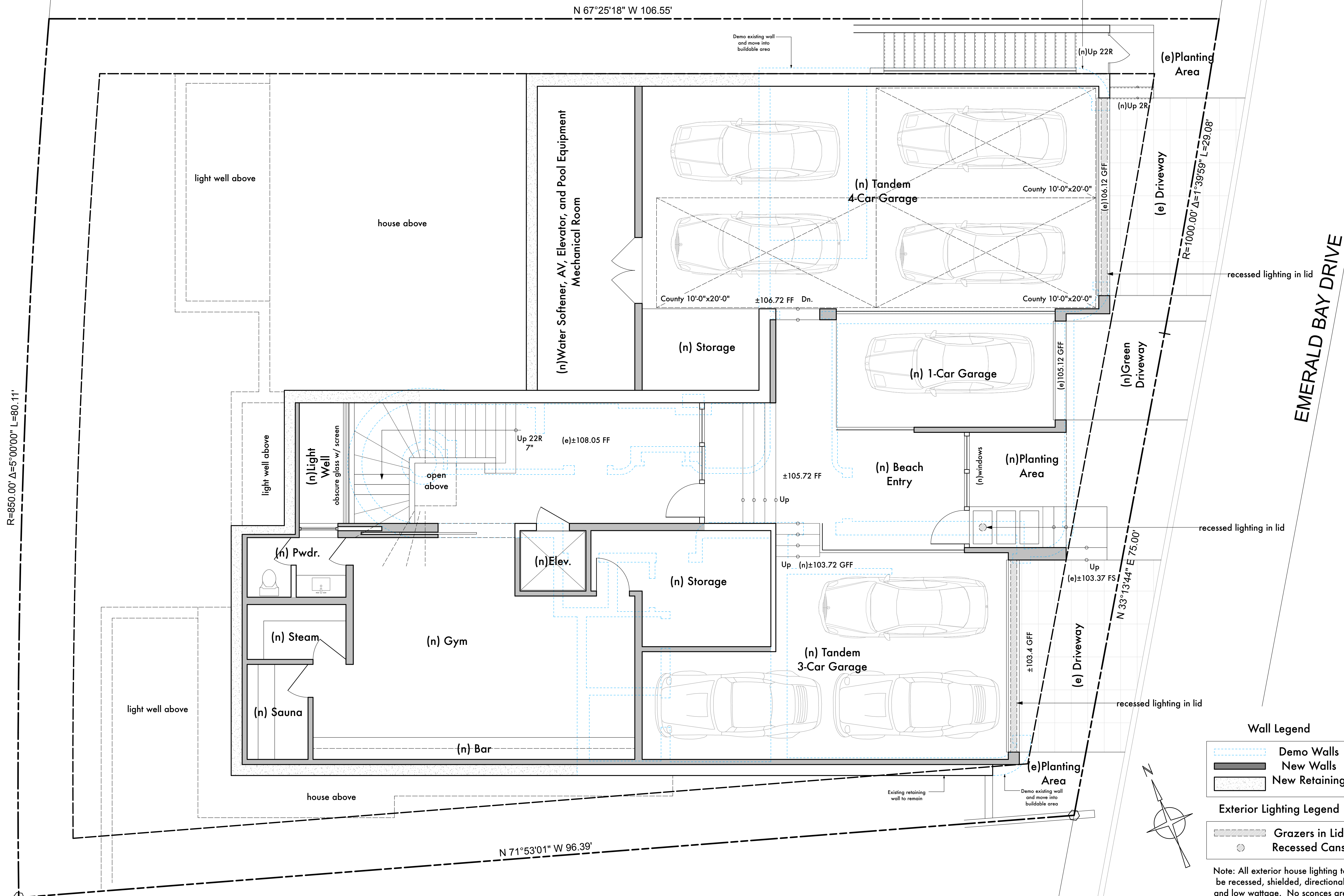
Wall Legend

- Demo Walls
- New Walls
- New Retaining

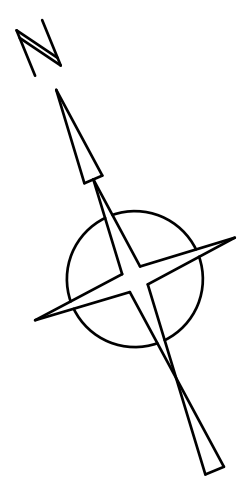
Exterior Lighting Legend

- Grazers in Lid
- Recessed Cans

Note: All exterior house lighting to be recessed, shielded, directional and low wattage. No sconces are proposed on the face of the house.



EMERALD BAY DRIVE

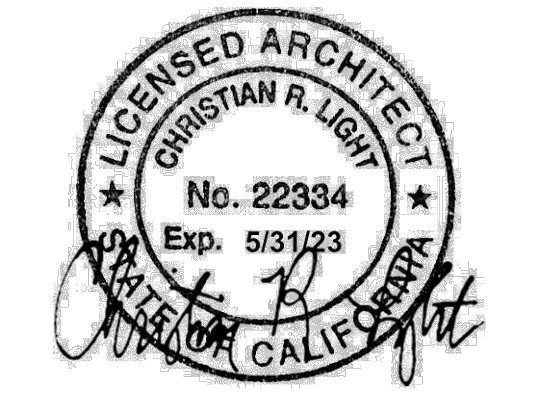


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Roof Plan

Job Number: 2130
 Scale: 1/4" = 1'-0"
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 HOA Prelim 3 REV: August 29, 2022



HOA Notes
 1. New roof to be of class "A" roofing material/construction
 2. Downspouts to be concealed. Gutters concealed within fascia.
 3. New skylights to be non-reflective.

133.50 NG Highest point
 +15.00 above the highest level of the lot
 148.5' Maximum building height

N 67°25'18" W 106.55'

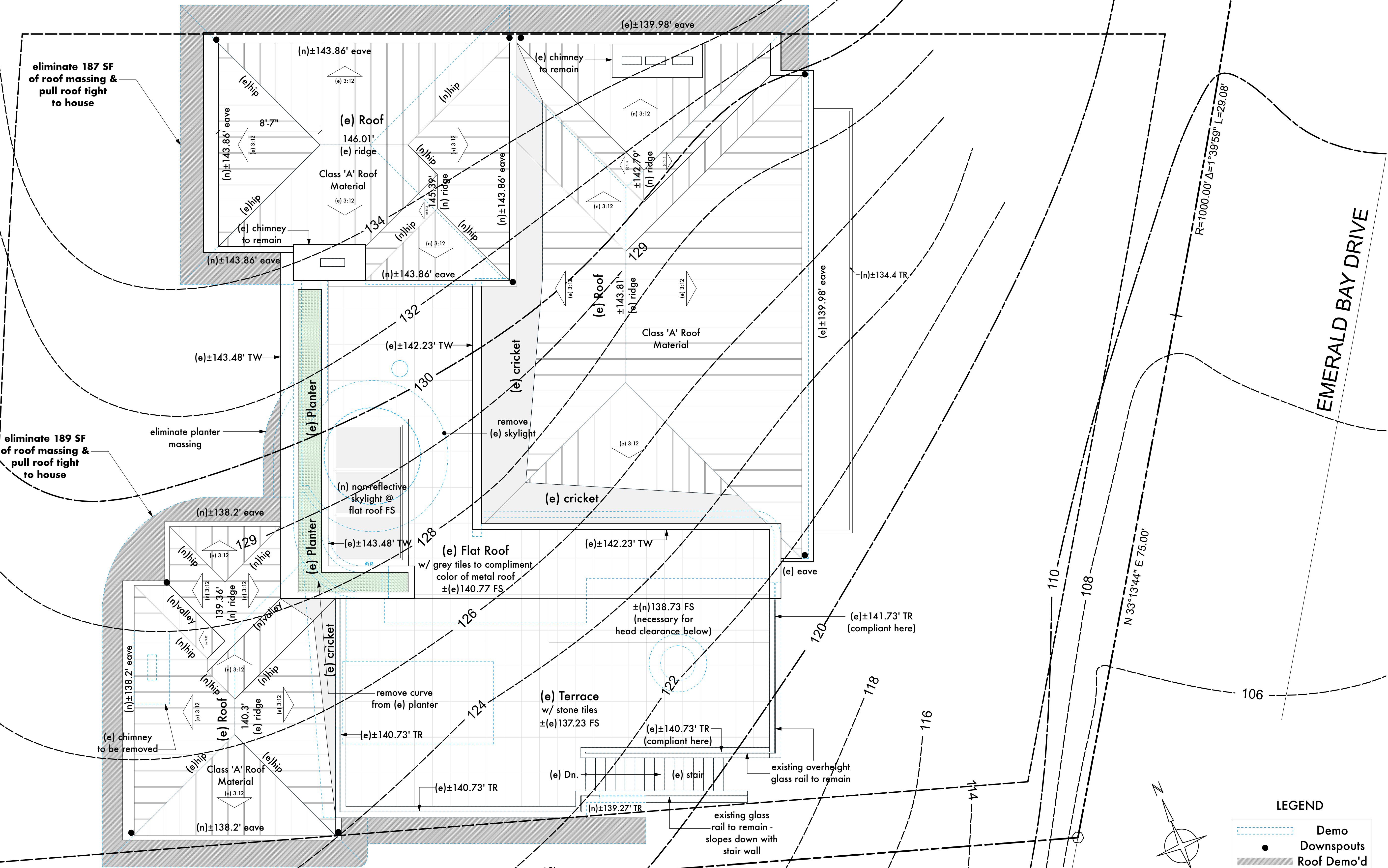
EMERALD BAY DRIVE

R=850.00' Δ=5°00'00" L=80.11'



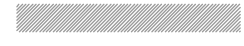
R=1000.00' Δ=1°39'59" L=29.08'

N 33°13'44" E 75.00'

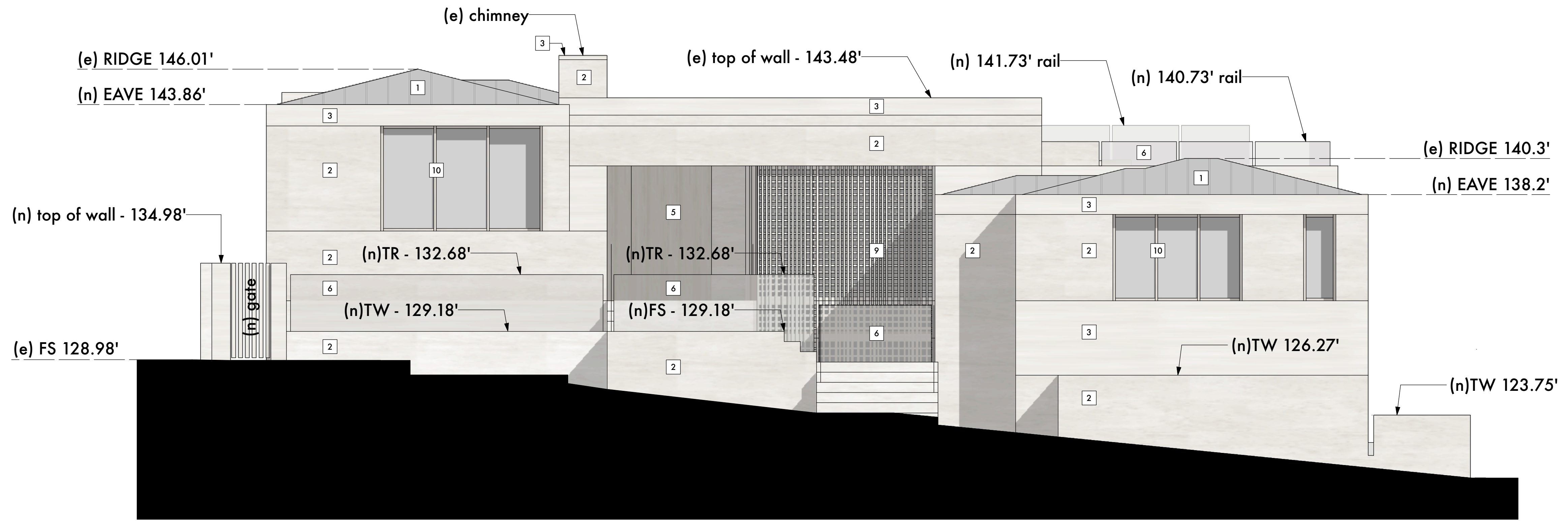
N 71°53'01" W 96.39'



LEGEND

-  Demo
-  Downspouts
-  Roof Demo'd

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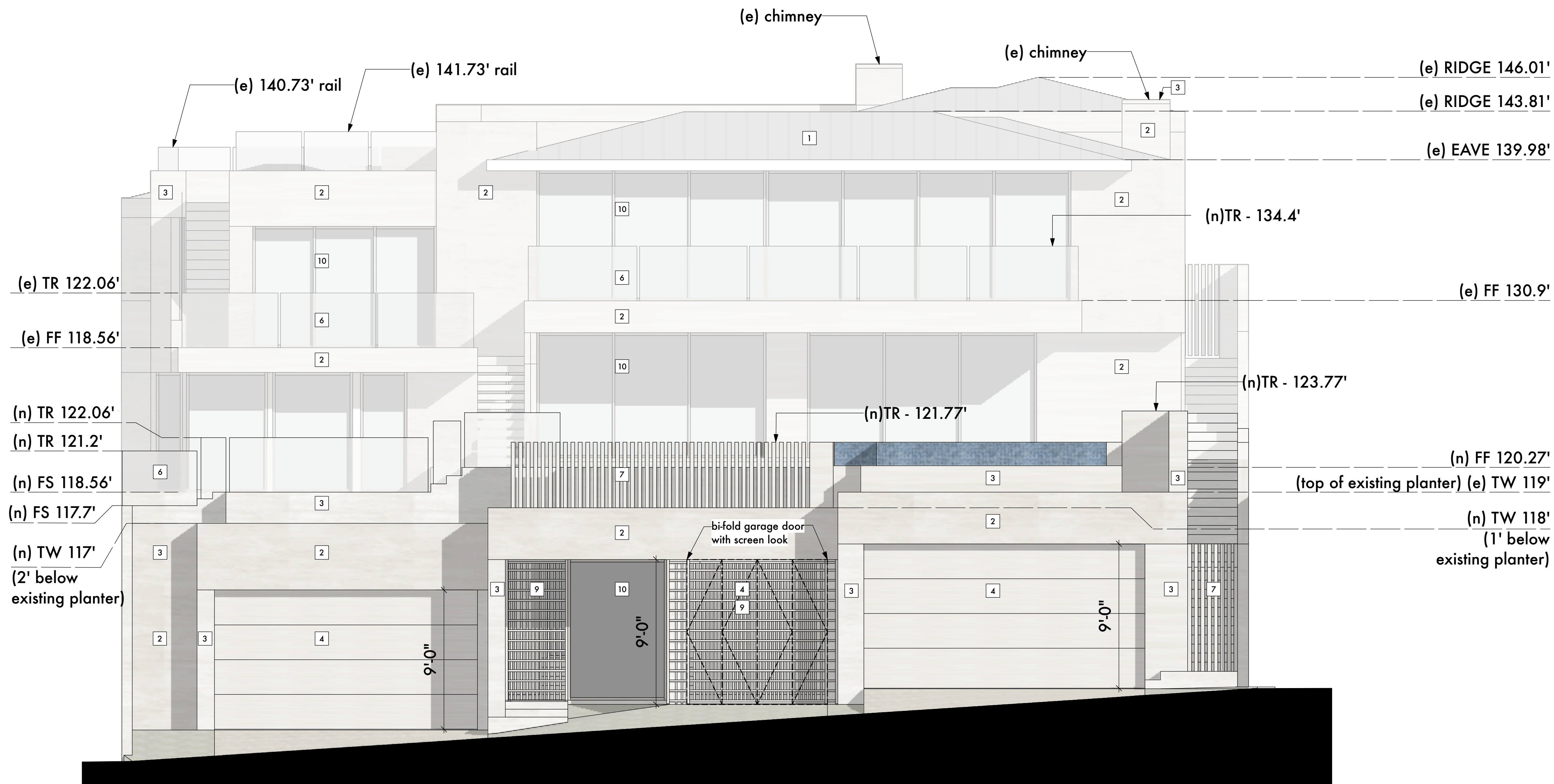
FRONT ELEVATION

Scale: 1/4" = 1'-0"

CUSTOM RESIDENCE
 193 EMERALD BAY
 MATERIALS AND COLORS LEGEND

NO.	ITEM	MATERIAL
1	ROOF - SLOPED	ZINC METAL
2	WALLS - FIELD	MEDIUM PLASTER
3	WALLS - ACCENT	STONE
4	GARAGE DOOR	WOOD/GLASS/METAL
5	ENTRY DOOR	WOOD
6	RAILINGS	GLASS
7	RAILINGS/GATES	WOOD
8	GARDEN WALLS	LIGHT PLASTER
9	TRELLIS SCREEN	WOOD/METAL
10	WINDOW FRAME	METAL

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REAR ELEVATION

Scale: 1/4" = 1'-0"

Front and Rear Elevations

Job Number: 2130

Scale: 1/4" = 1'-0"

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HOA Prelim 3 REV: August 29, 2022





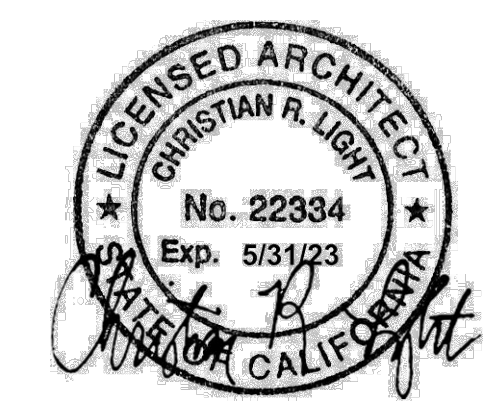
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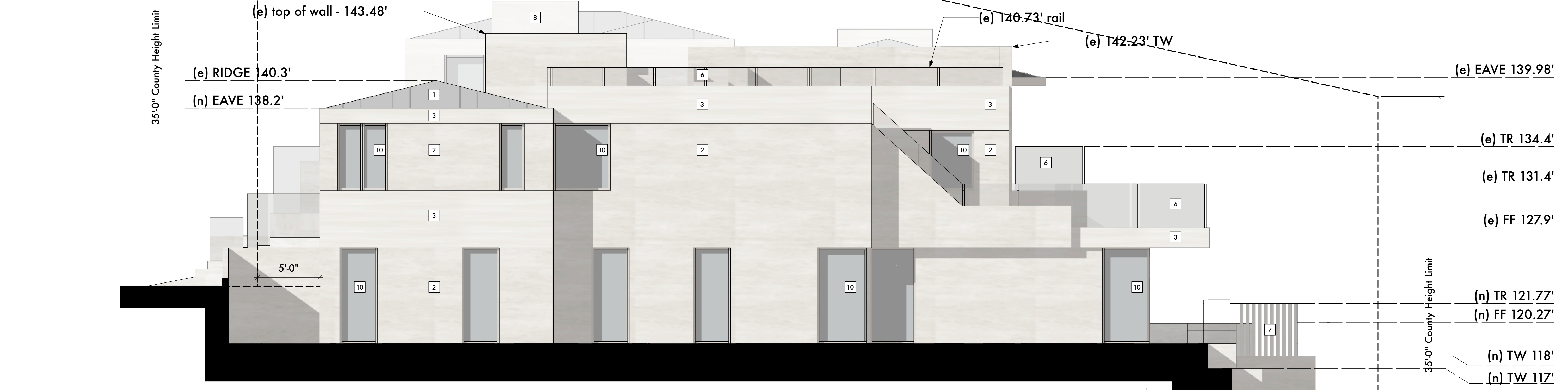
Rear and Left Elevations

Job Number: 2130
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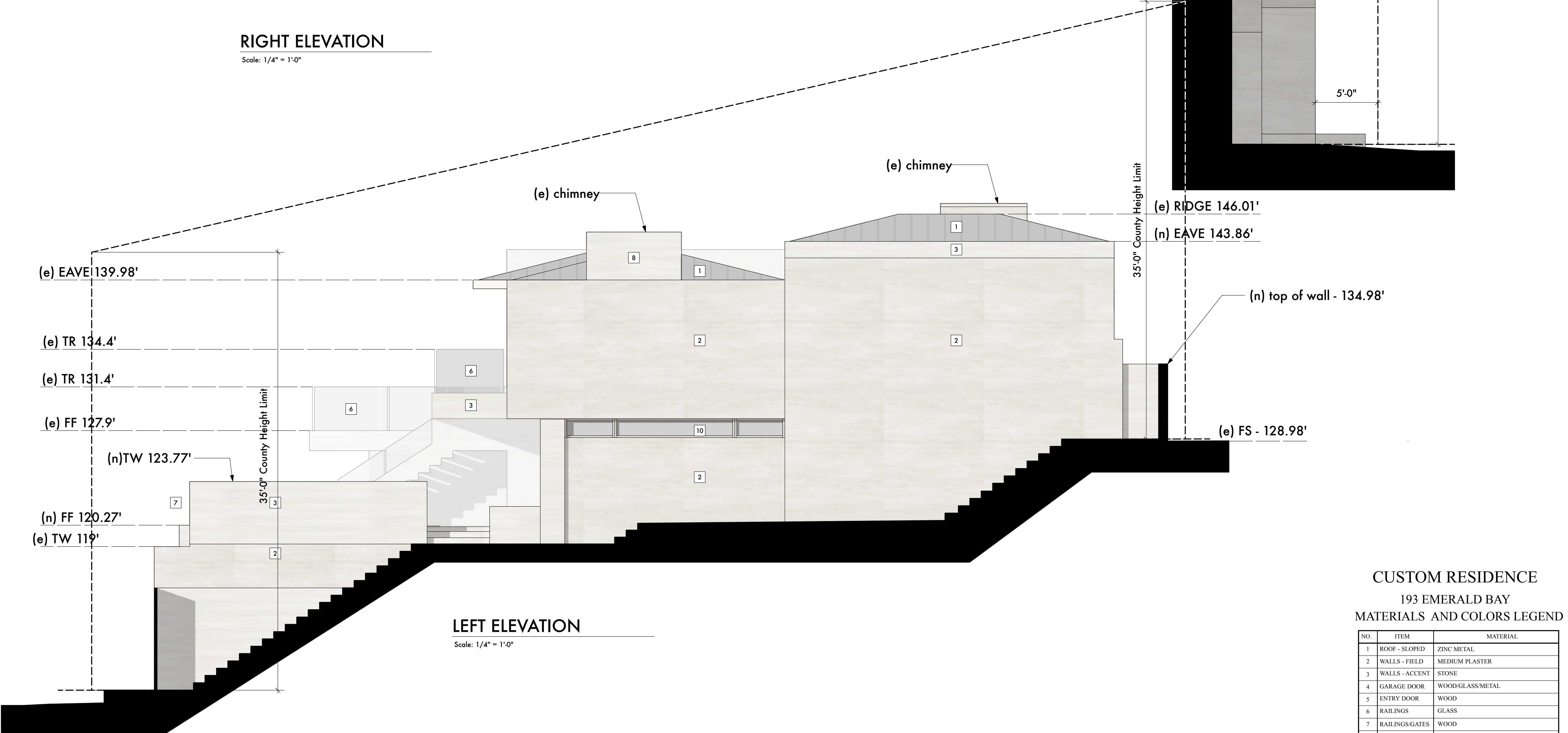


CUSTOM RESIDENCE
 193 EMERALD BAY
 MATERIALS AND COLORS LEGEND

NO.	ITEM	MATERIAL
1	ROOF - SLOPED	ZINC METAL
2	WALLS - FIELD	MEDIUM PLASTER
3	WALLS - ACCENT	STONE
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5	ENTRY DOOR	WOOD
6	RAILINGS	GLASS
7	RAILINGS/GATES	WOOD
8	GARDEN WALLS	LIGHT PLASTER
9	TRELLIS SCREEN	WOOD/METAL
10	WINDOW FRAME	METAL



RIGHT ELEVATION
 Scale: 1/4" = 1'-0"



LEFT ELEVATION
 Scale: 1/4" = 1'-0"

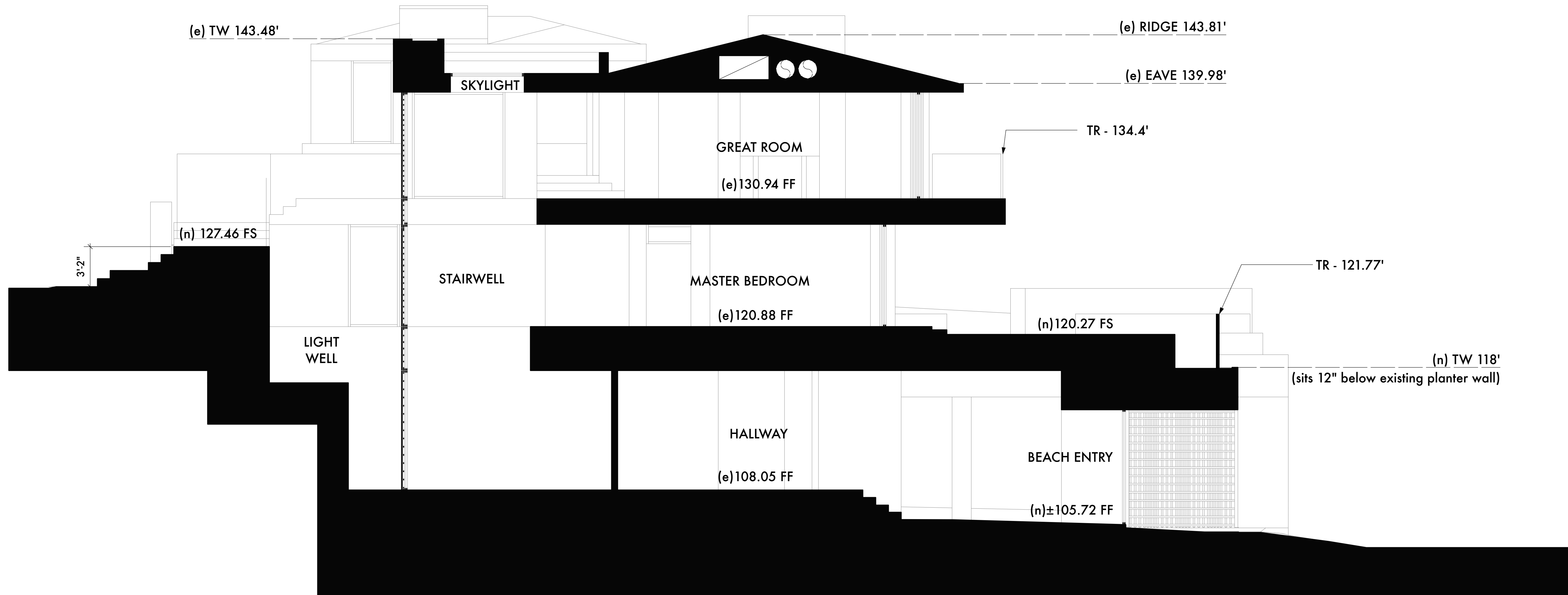


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SECTION "A"

Scale: 1/4" = 1'-0"

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Section

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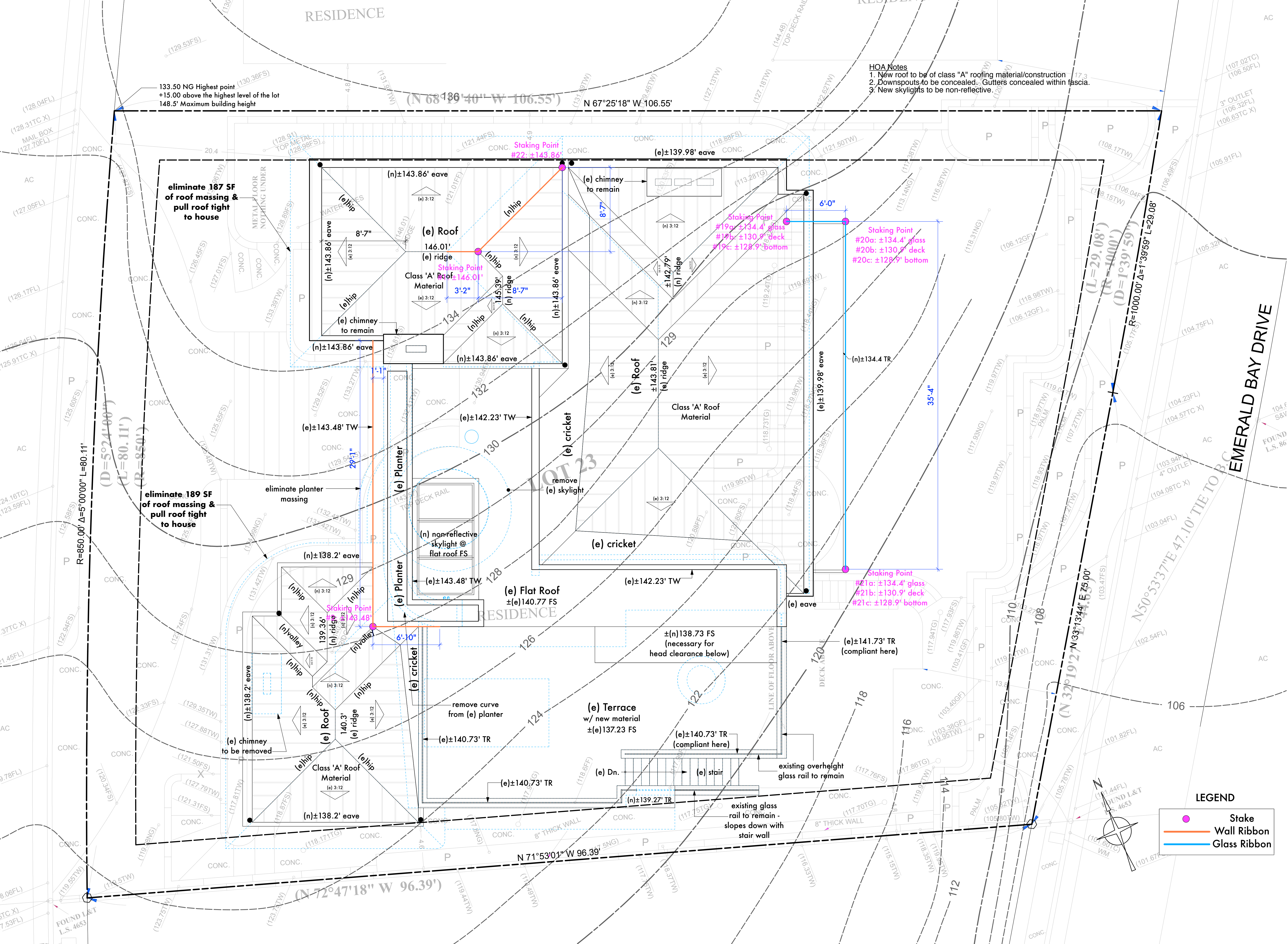


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Roof Staking Plan

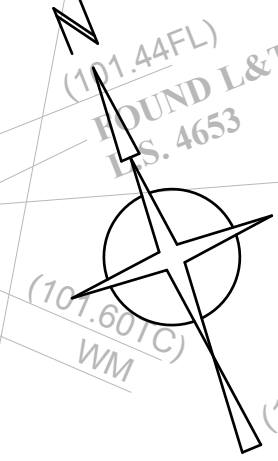
Job Number: 2130
 Scale: 1/4" = 1'-0"
 Date:
 HOA Concept 1: October 7, 2021
 HOA Prelim 1: March 2, 2022
 HOA Prelim 2: June 7, 2022
 HOA Prelim 3: August 3, 2022
 HOA Prelim 3 REV: August 29, 2022



HOA Notes
 1. New roof to be of class "A" roofing material/construction
 2. Downspouts to be concealed. Gutters concealed within fascia.
 3. New skylights to be non-reflective.

LEGEND

- Stake
- Wall Ribbon
- Glass Ribbon





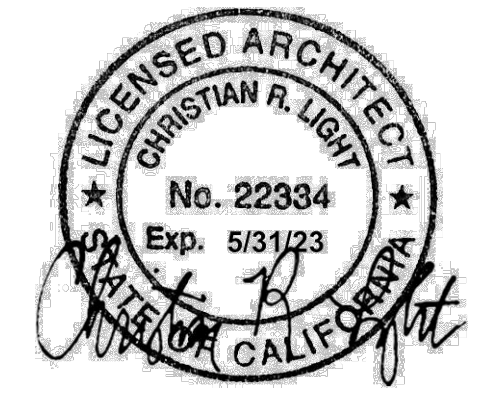
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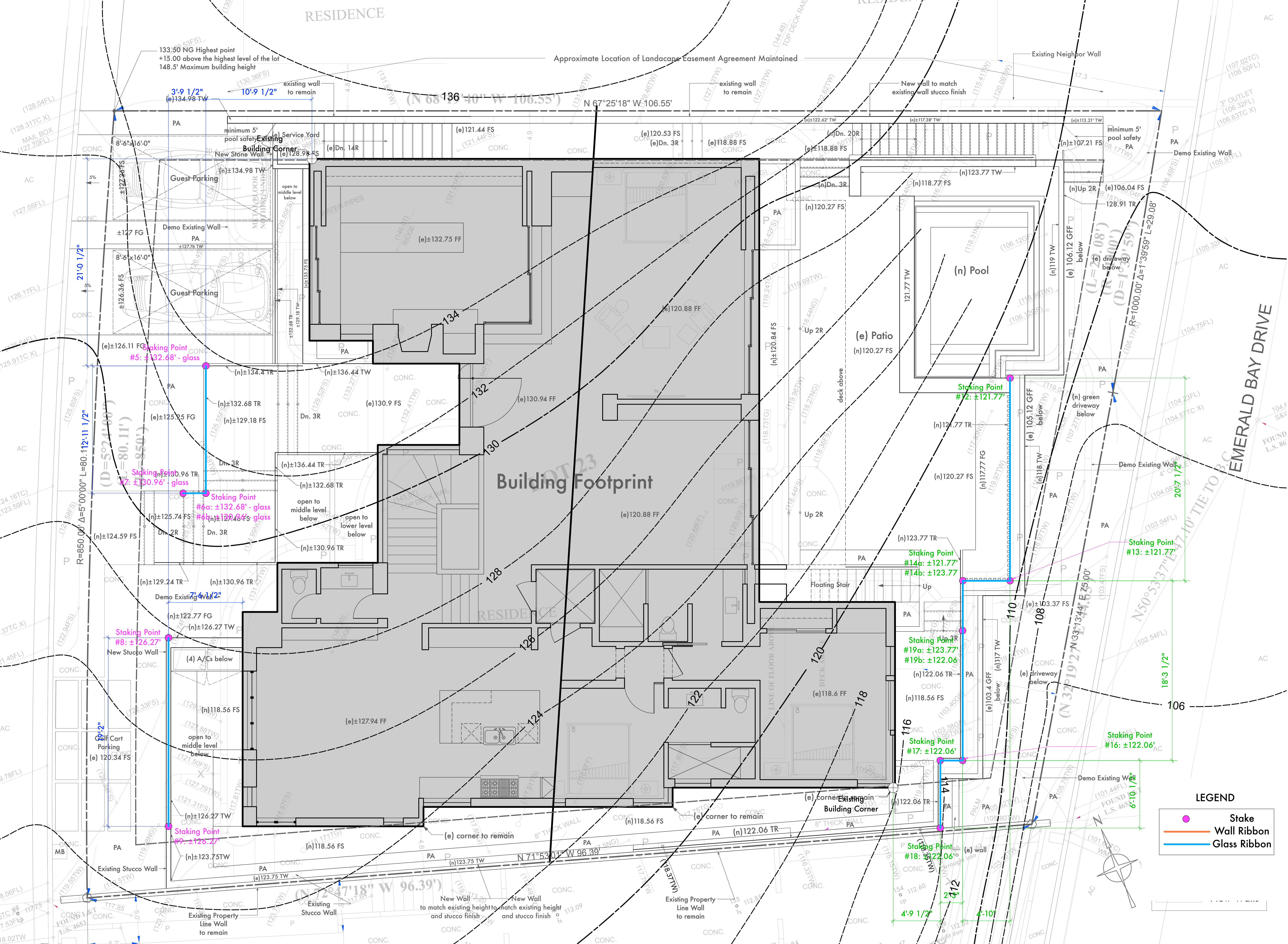
CUSTOM RESIDENCE
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ProHouse & Walls's
 (Staking Plan)

Job Number: 2130
 Scale: 1/4" = 1'-0"
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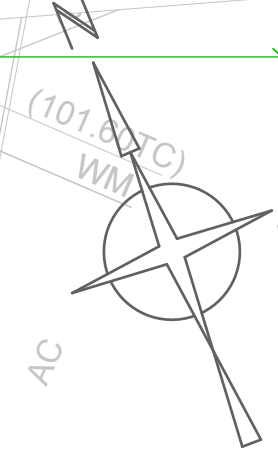


STK2



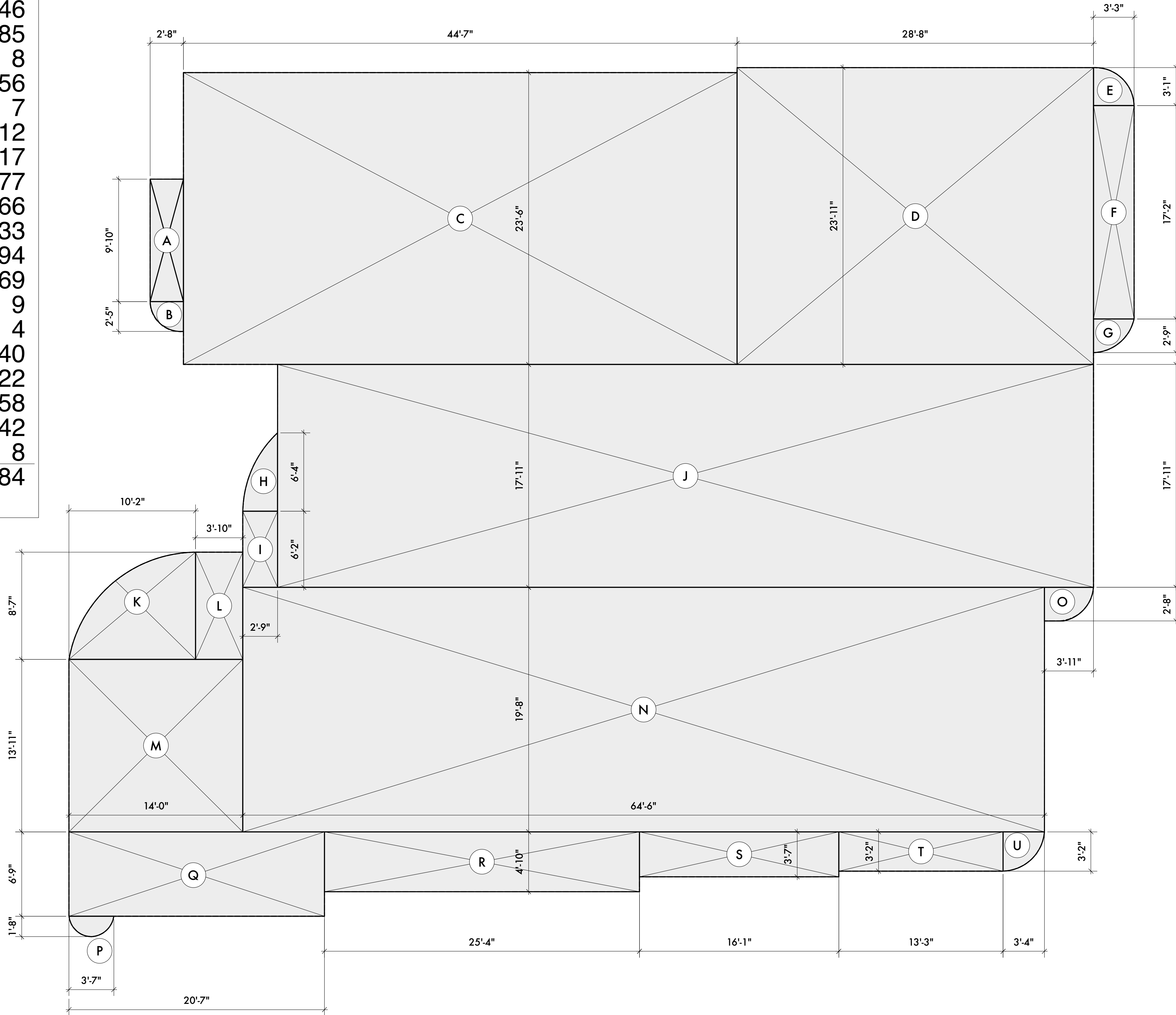
LEGEND

- Stake
- Wall Ribbon
- Glass Ribbon



Box	Area (SF)
A	26
B	5
C	1046
D	685
E	8
F	56
G	7
H	12
I	17
J	1177
K	66
L	33
M	194
N	1269
O	9
P	4
Q	140
R	122
S	58
T	42
U	8
Total	4,984

Existing



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Existing Coverage

Job Number: 2130

Scale: 1/4" = 1'-0"

Date:

HOA Concept 1: October 7, 2021

HOA Prelim 1: March 2, 2022

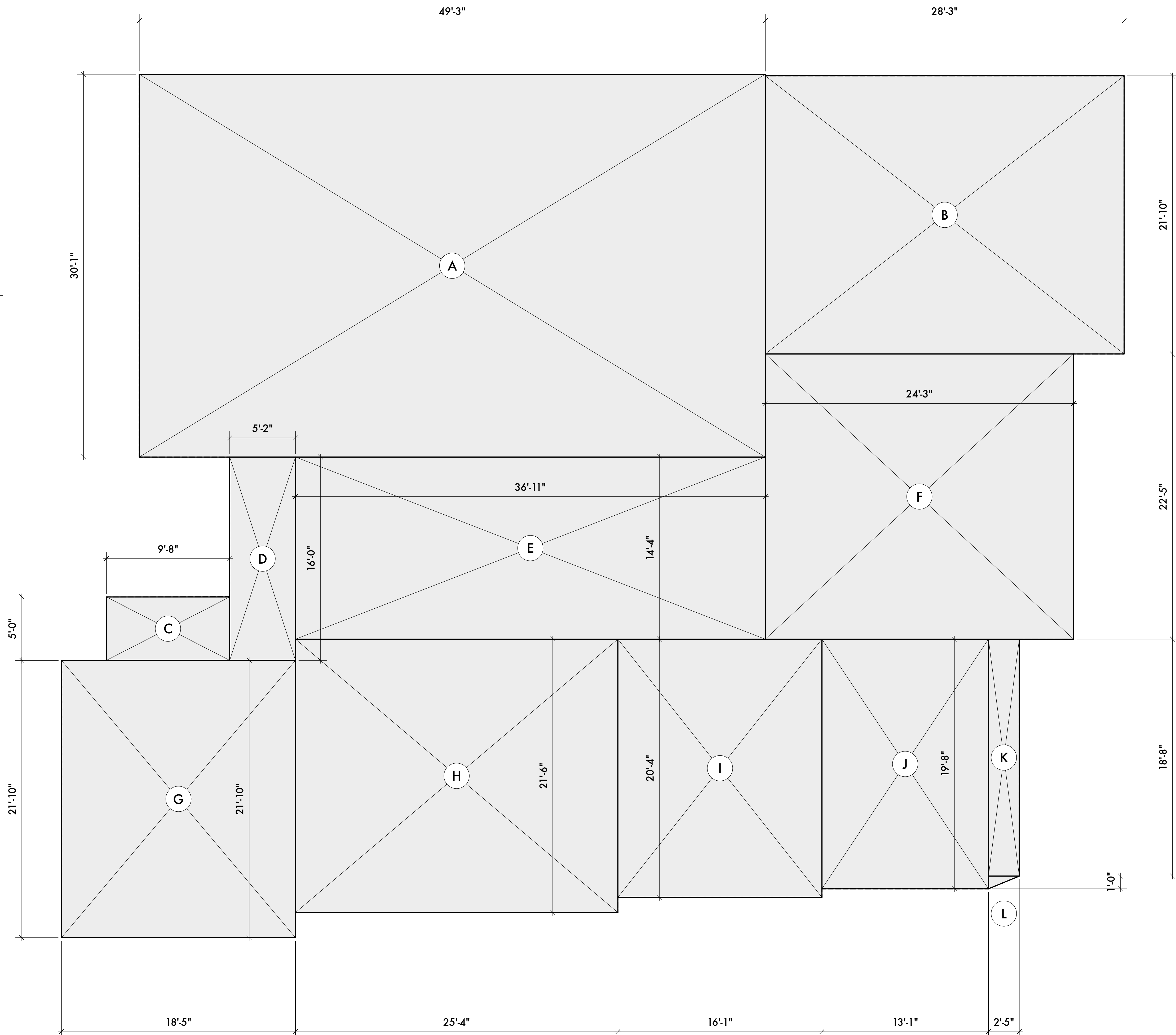
HOA Prelim 2: June 7, 2022

HOA Prelim 3: August 3, 2022



OV1

Box	Area (SF)
A	1,481
B	617
C	48
D	83
E	529
F	543
G	401
H	545
I	326
J	257
K	45
L	1
Total	4,876



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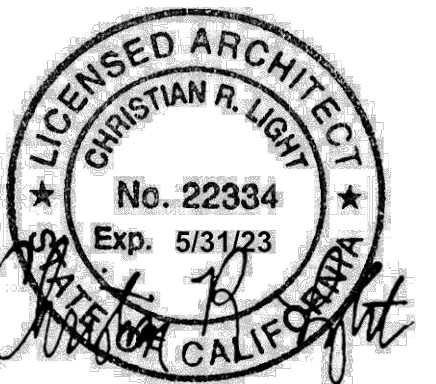
Proposed Coverage

Job Number: 2130

Scale: 1/4" = 1'-0"

Date:

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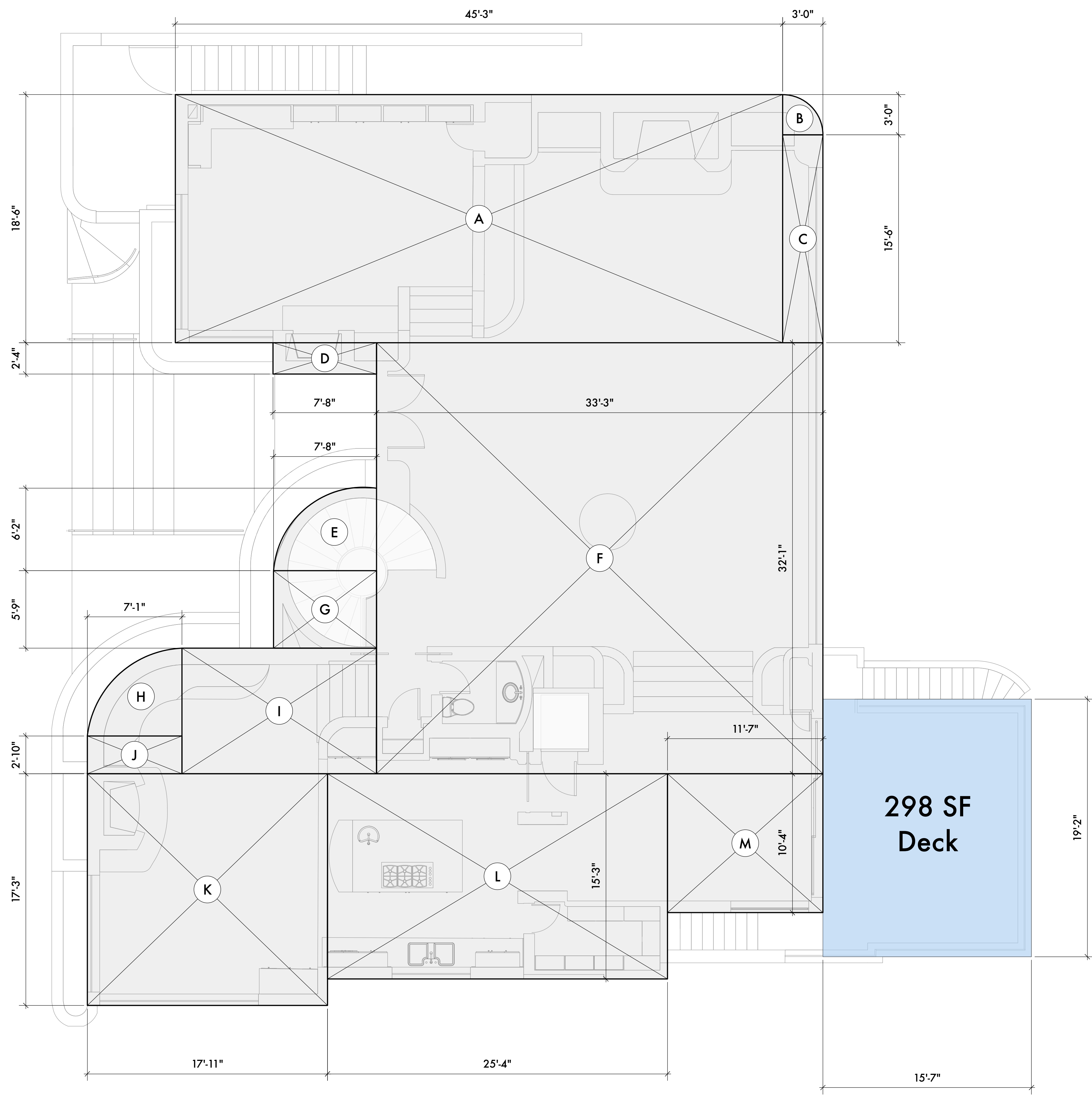


OV1.1

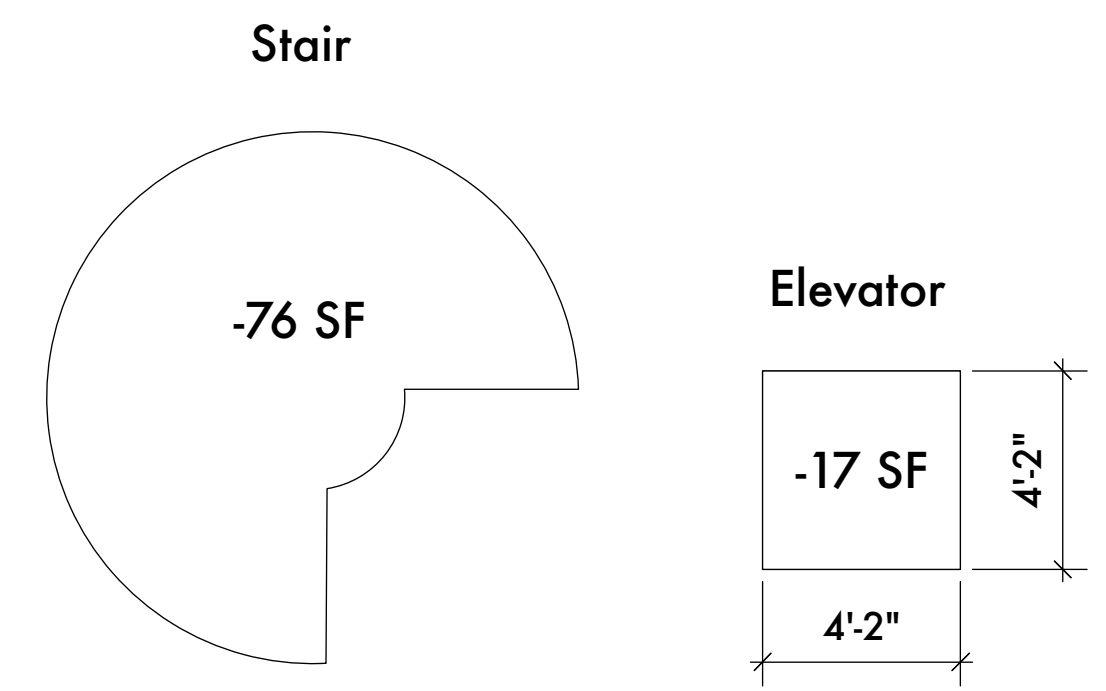


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Box	Area (SF)
A	837
B	7
C	46
D	18
E	38
F	1,069
G	44
H	35
I	136
J	20
K	309
L	388
M	120
Sub	3,067
Stair/Elev	-93
Total	2,974



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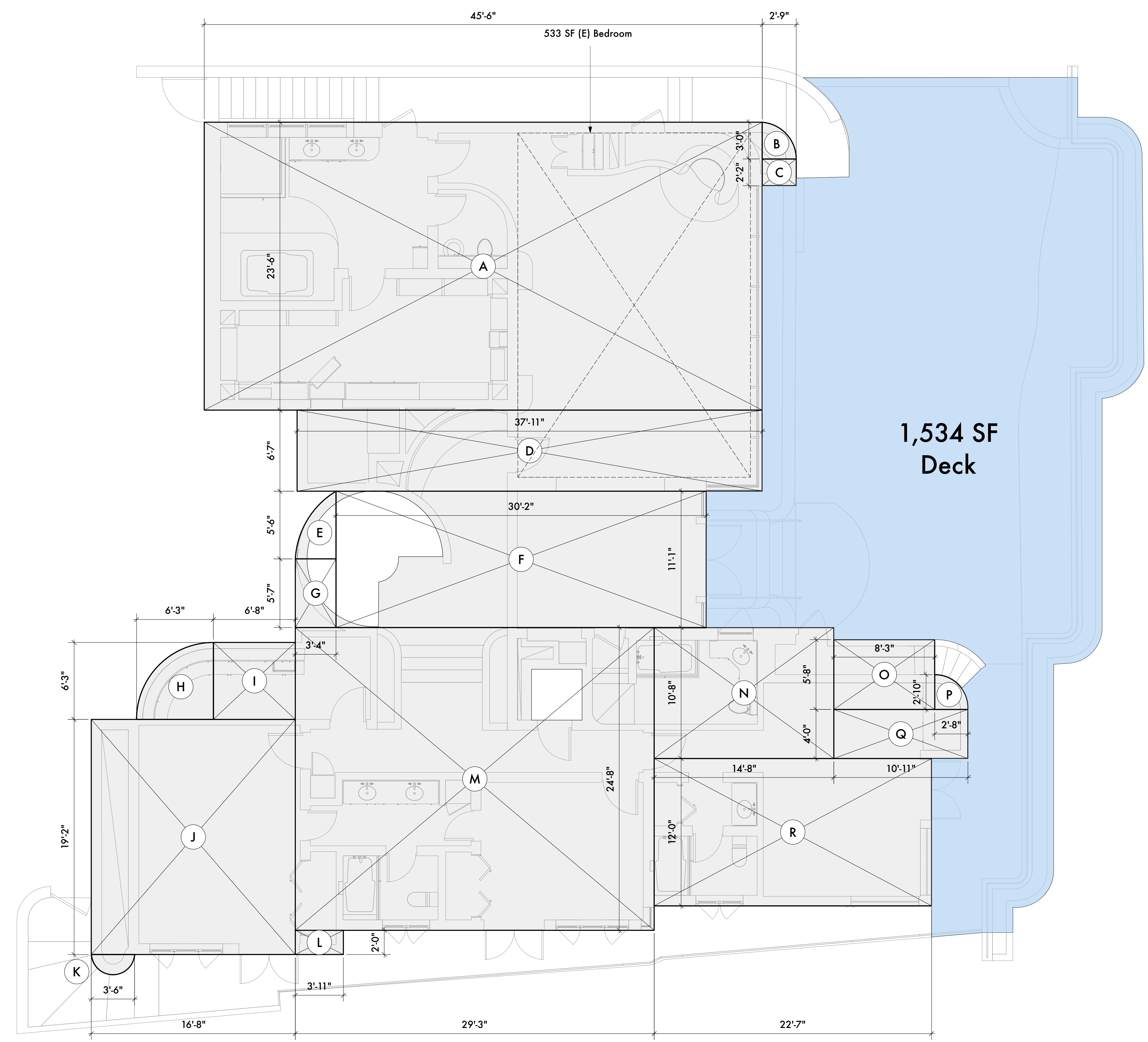
Existing Upper Overlay

Job Number: 2130
 Scale: 1/4" = 1'-0"
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 HOA Concept 1: October 7, 2021
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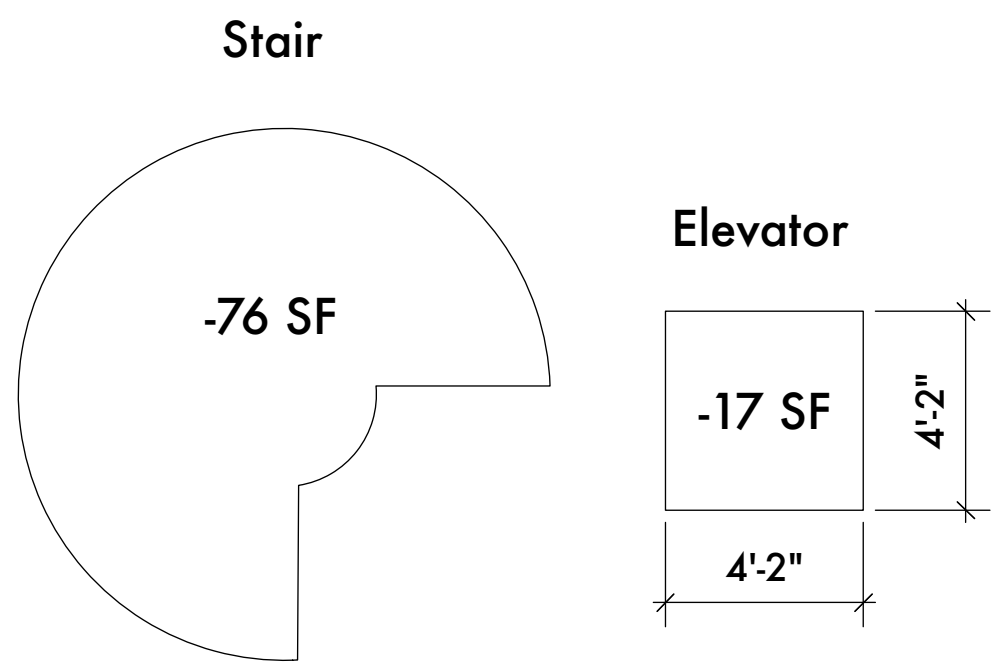


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Box	Area (SF)
A	1,069
B	7
C	6
D	251
E	13
F	336
G	19
H	31
I	42
J	319
K	4
L	8
M	722
N	157
O	47
P	6
Q	44
R	272
Sub	3,353
Stair/Elev	-93
Total	3,260



Existing Middle Overlay

Job Number: 2130

Scale: 1/4" = 1'-0"

Date:

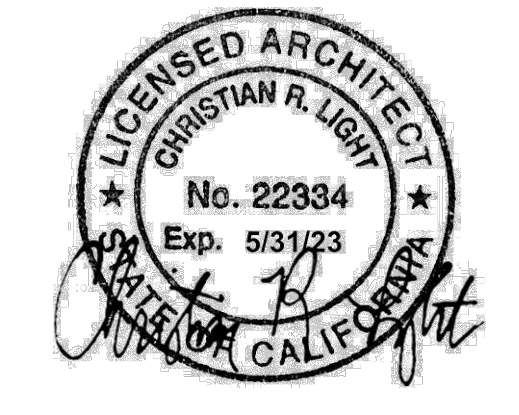
HOA Concept 1: October 7, 2021

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HOA Prelim 2: June 7, 2022

HOA Prelim 3: August 3, 2022

HOA Prelim 3 REV: August 29, 2022

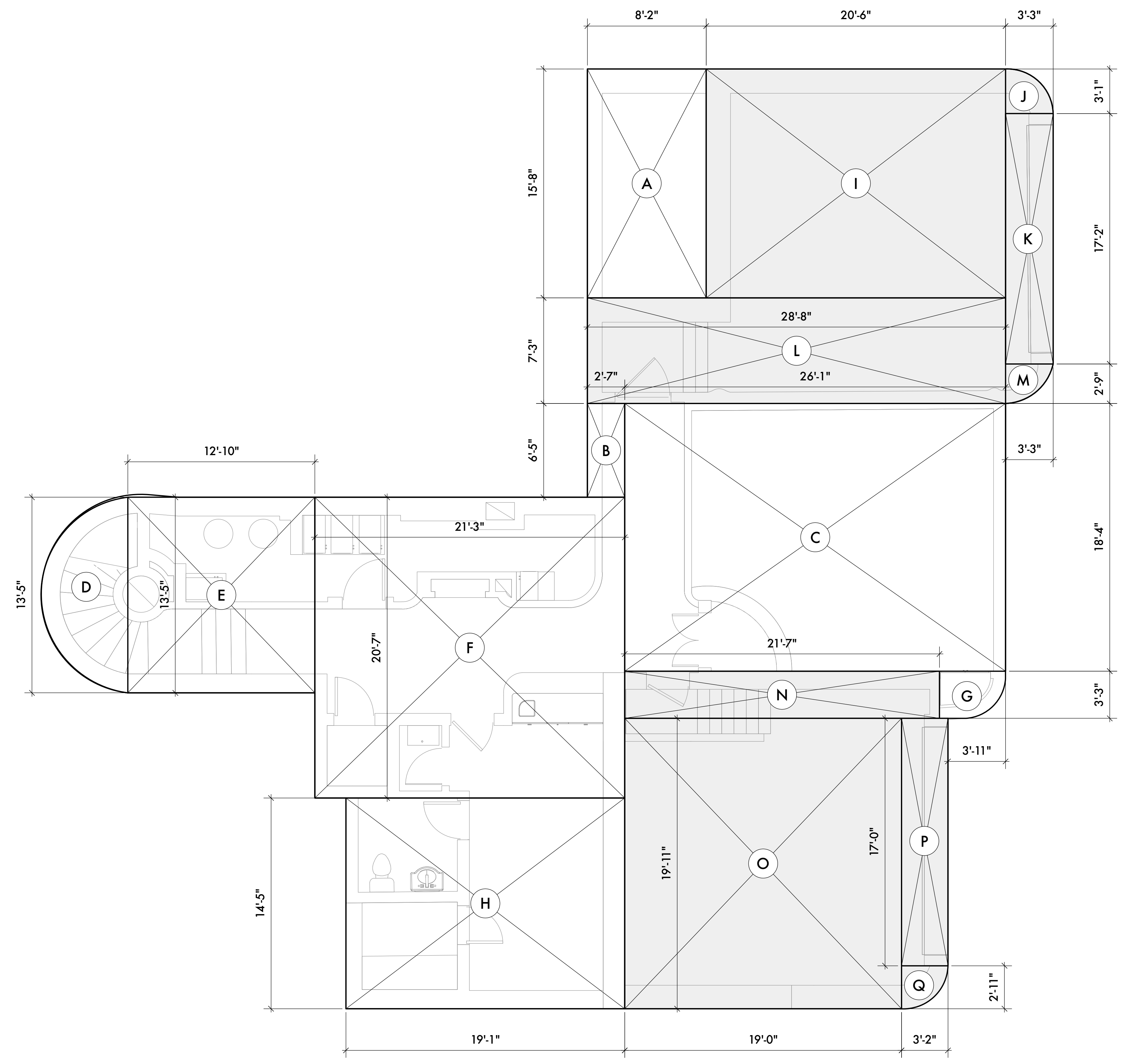




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	Box	Area (SF)
House	A	128
	B	16
	C	479
	D	66
	E	172
	F	438
	G	13
	H	276
	Sub	1,588
	Garage	I
J		8
K		56
L		208
M		8
N		70
O		378
P		54
Q		8
Sub		1,112
Total	+1,588	2,700



CUSTOM RESIDENCE
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Existing Lower Overlay
 Job Number: 2130
 Scale: 1/4" = 1'-0"
 Date:
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 HOA Prelim 3: August 3, 2022





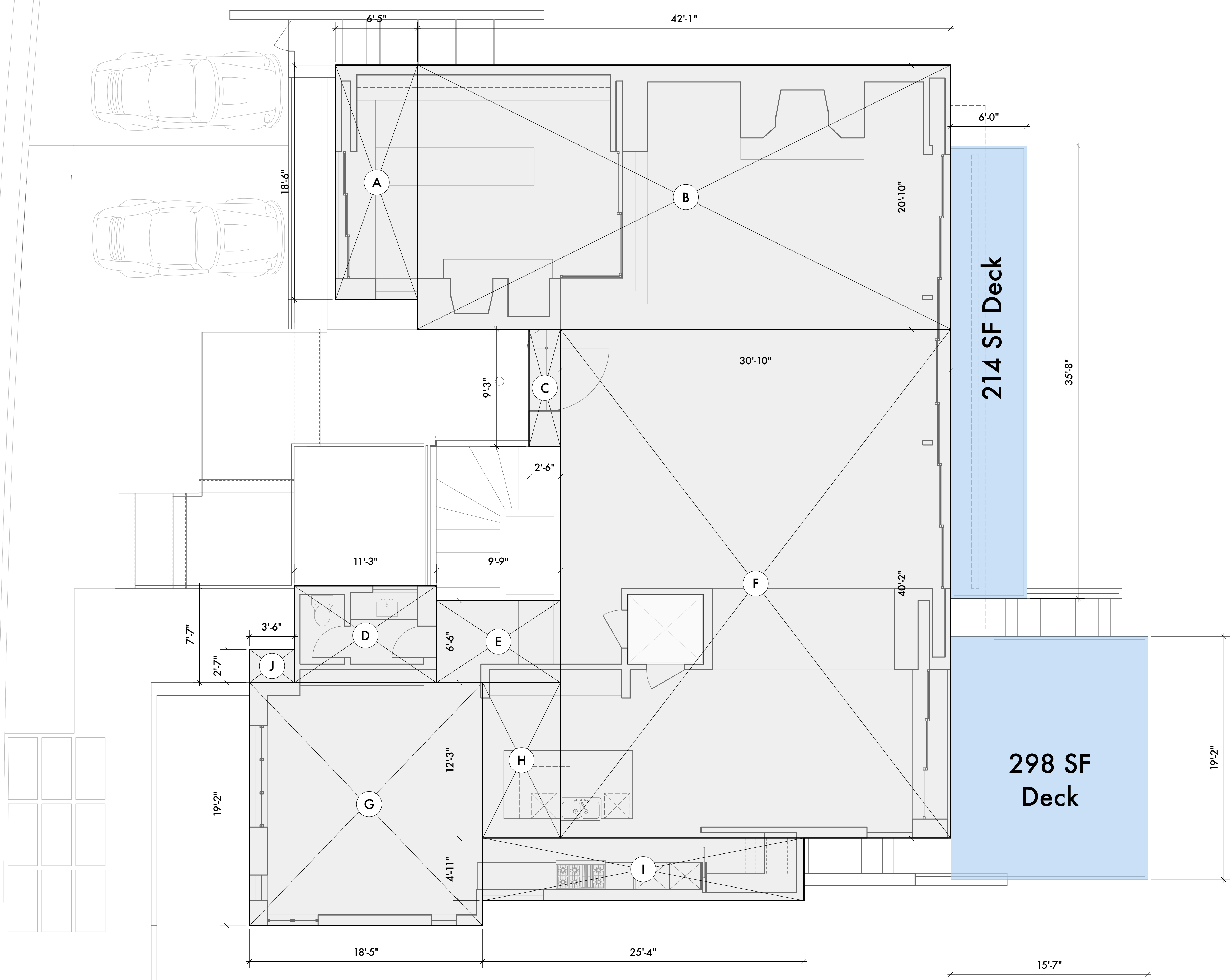
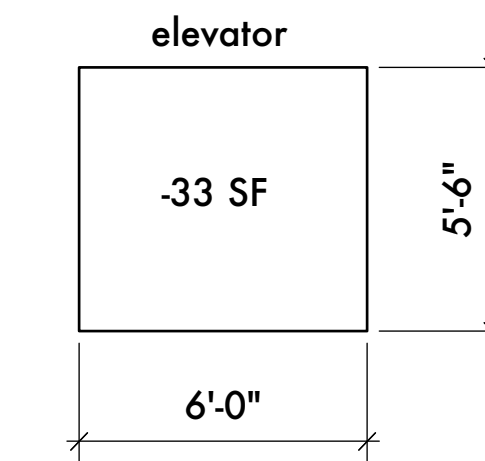
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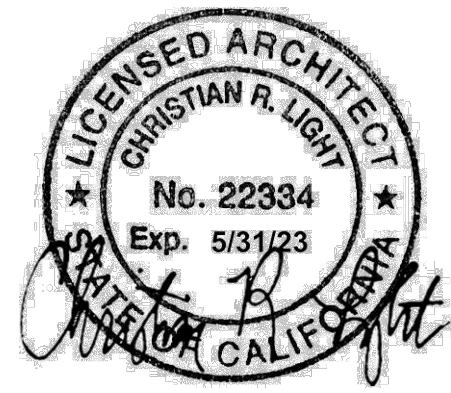
Box	Area (SF)
A	119
B	876
C	23
D	85
E	63
F	1236
G	353
H	75
I	125
J	9
Sub	2,964
Elev	-33
Total	2,931



CUSTOM RESIDENCE
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**Proposed Upper
Overlay**

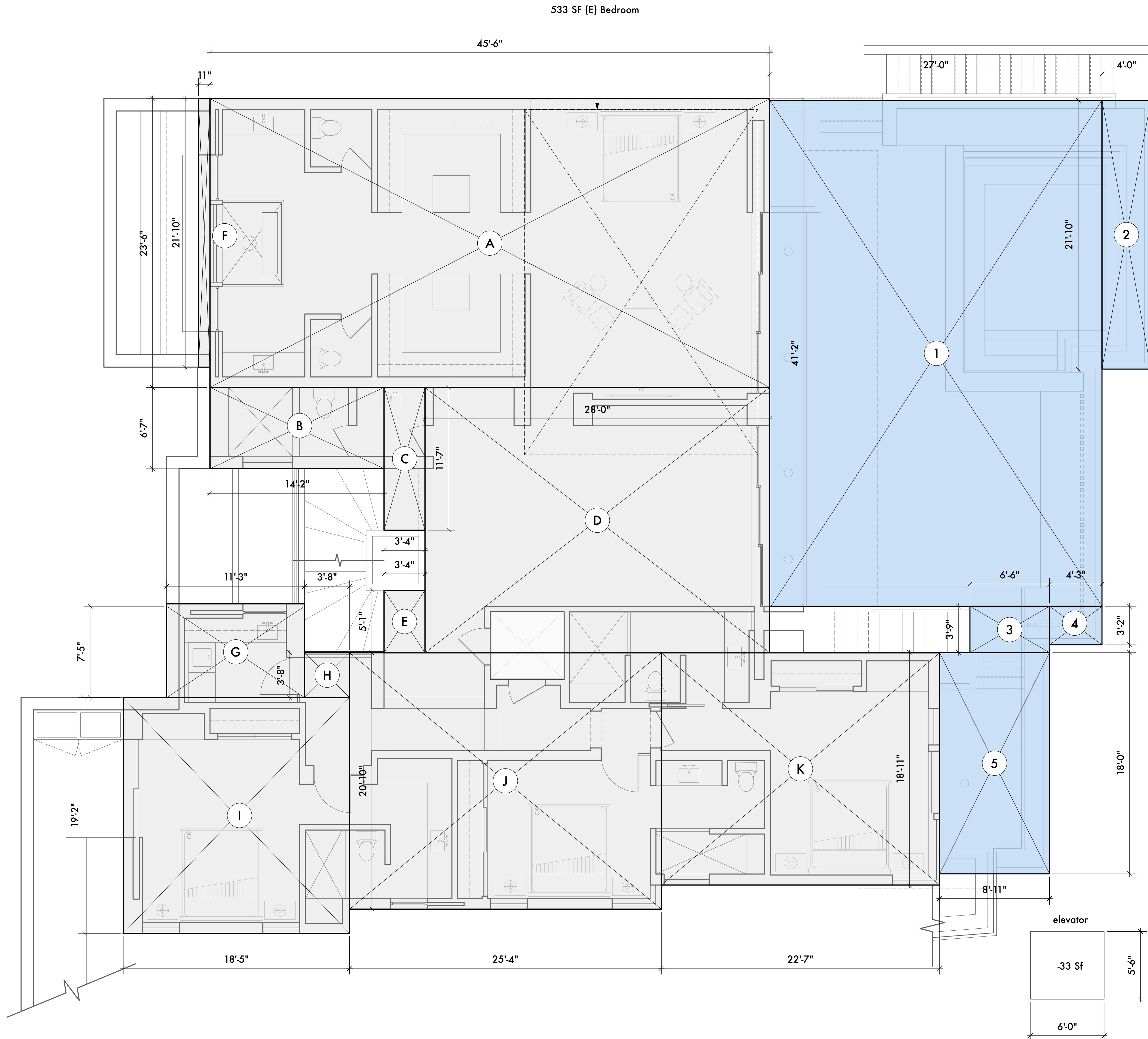
Job Number: 2130
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Date:
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HOA Prelim 1: March 2, 2022
HOA Prelim 2: June 7, 2022
HOA Prelim 3: August 3, 2022



DECK FOOTAGE

Box	Area (SF)
1	1,112
2	87
3	24
4	13
5	161
Total	1,397

Box	Area (SF)
A	1,069
B	93
C	39
D	605
E	17
F	20
G	85
H	13
I	353
J	528
K	427
Sub	3,249
Elev	-33
Total	3,216



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Proposed Middle Overlay

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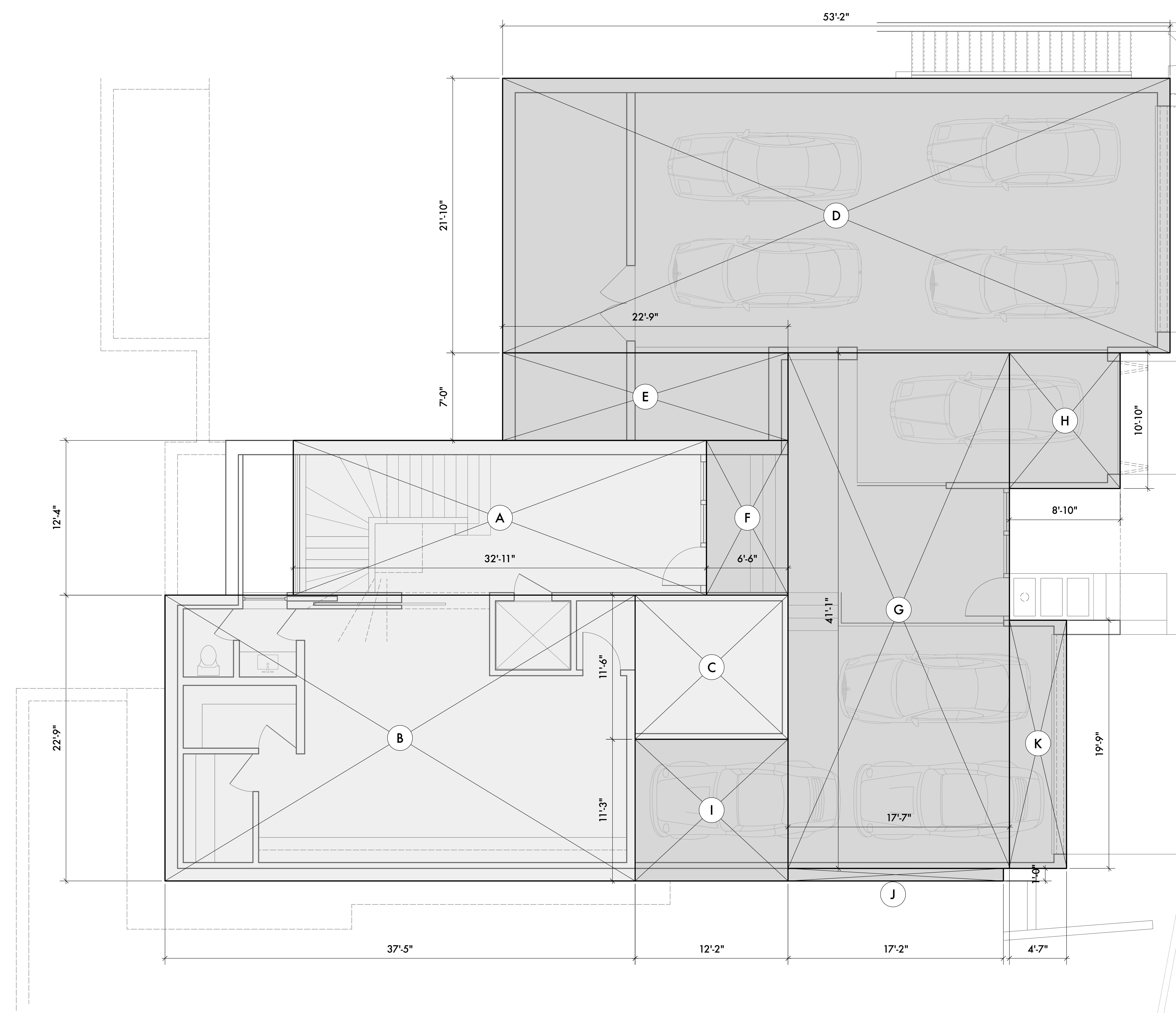


OV6



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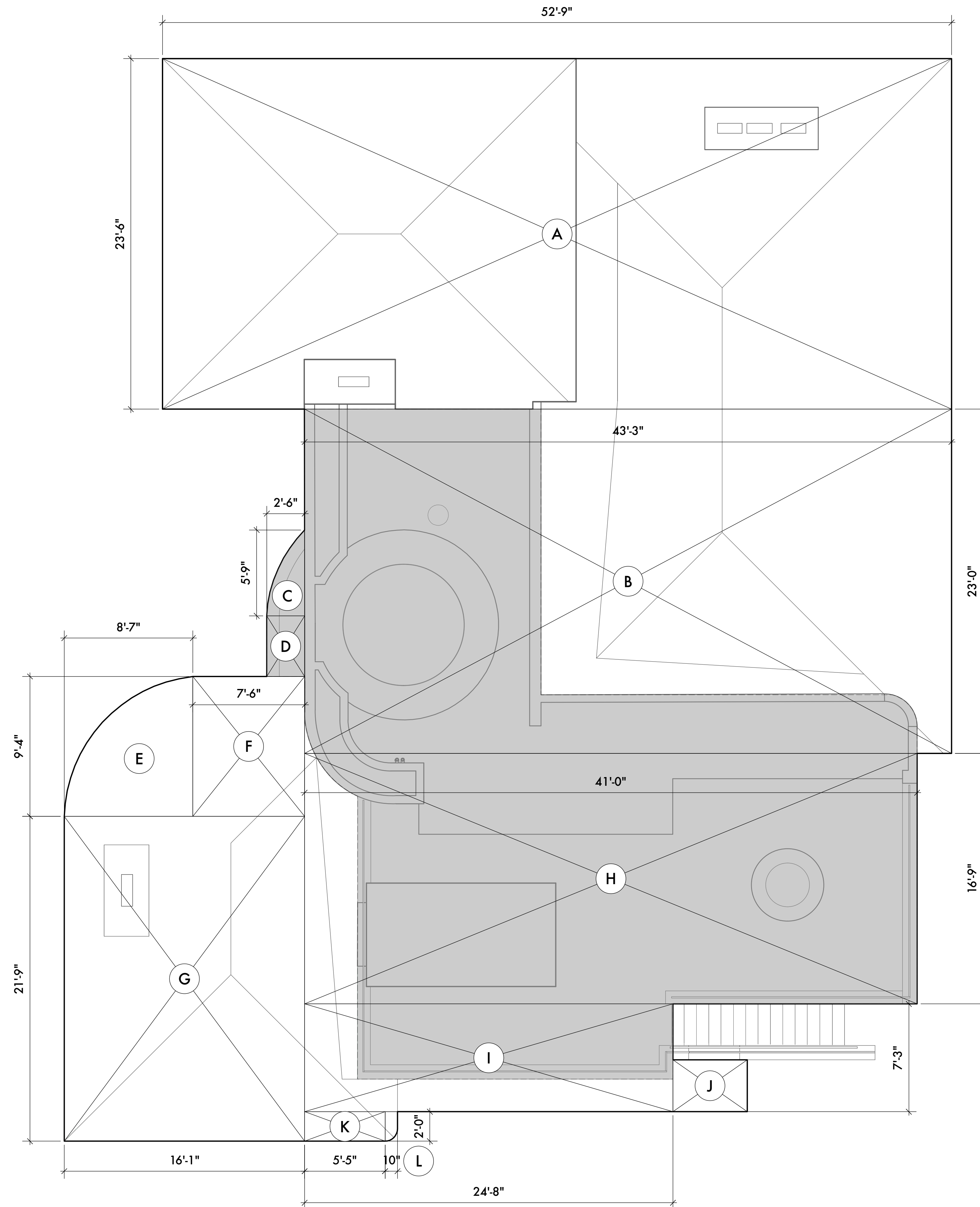
	Box	Area (SF)
House	A	405
	B	852
	C	140
	Sub	1,397
Garage/Mech.	D	1,162
	E	158
	F	80
	G	723
	H	95
	I	137
	J	17
	K	90
	Sub	2,462
	Total	+1,397
		3,859

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Proposed Lower Overlay
 Job Number: 2130
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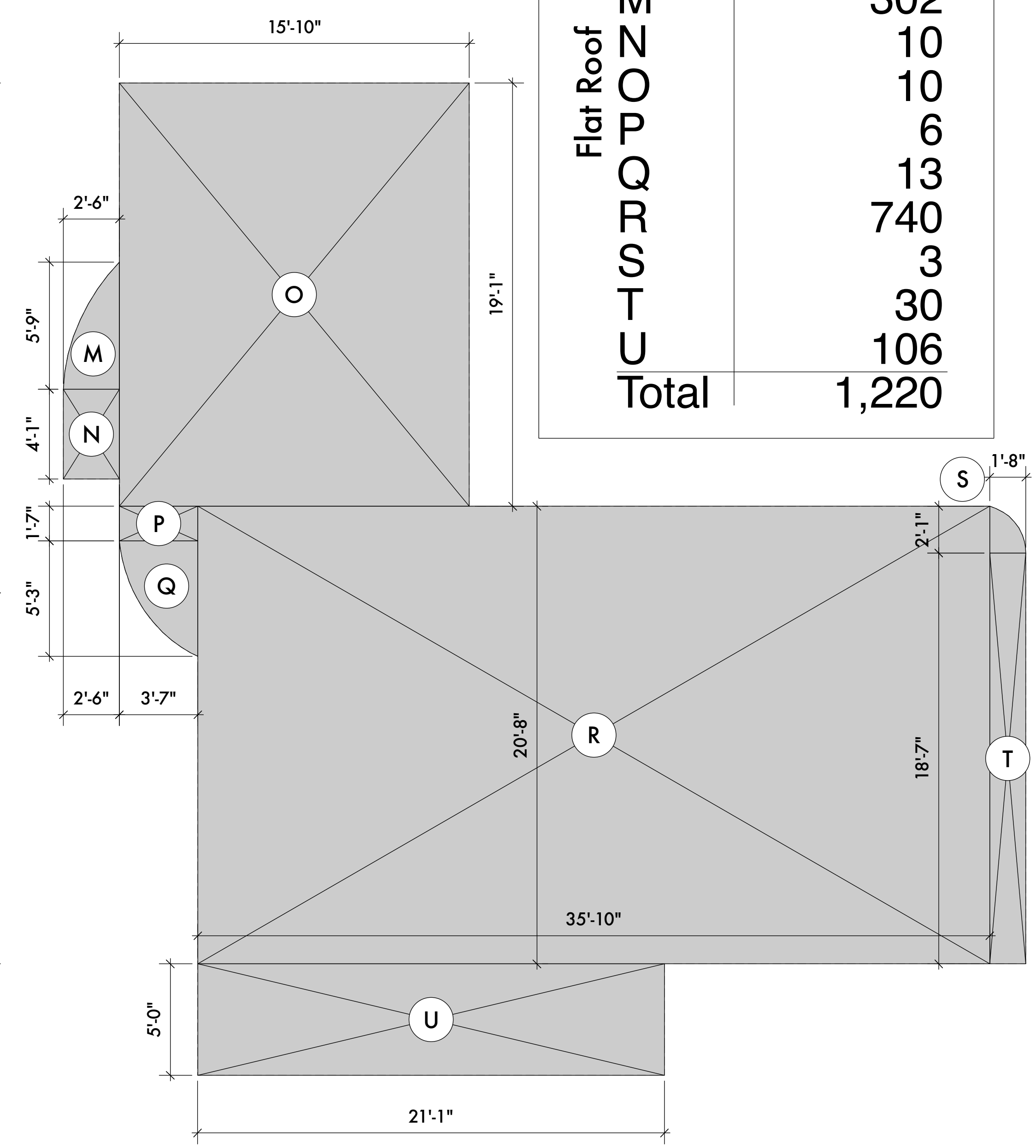


ROOF OUTLINE



**EXISTING
FLAT ROOF CALC**
 $1,220/3,629 = 34\%$

FLAT ROOF OUTLINE



Roof Box	Area (SF)
A	1238
B	997
C	10
D	10
E	61
F	70
G	349
H	687
I	178
J	17
K	11
L	1
Total	3,629

Flat Roof Box	Area (SF)
M	302
N	10
O	10
P	6
Q	13
R	740
S	3
T	30
U	106
Total	1,220



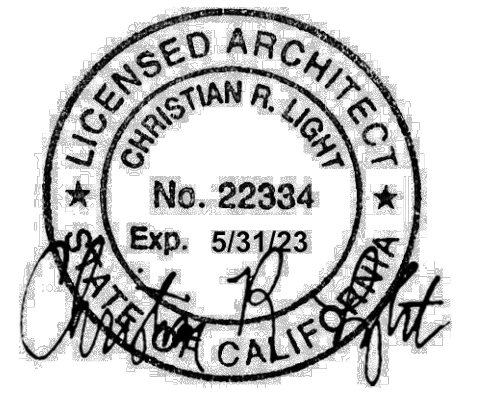
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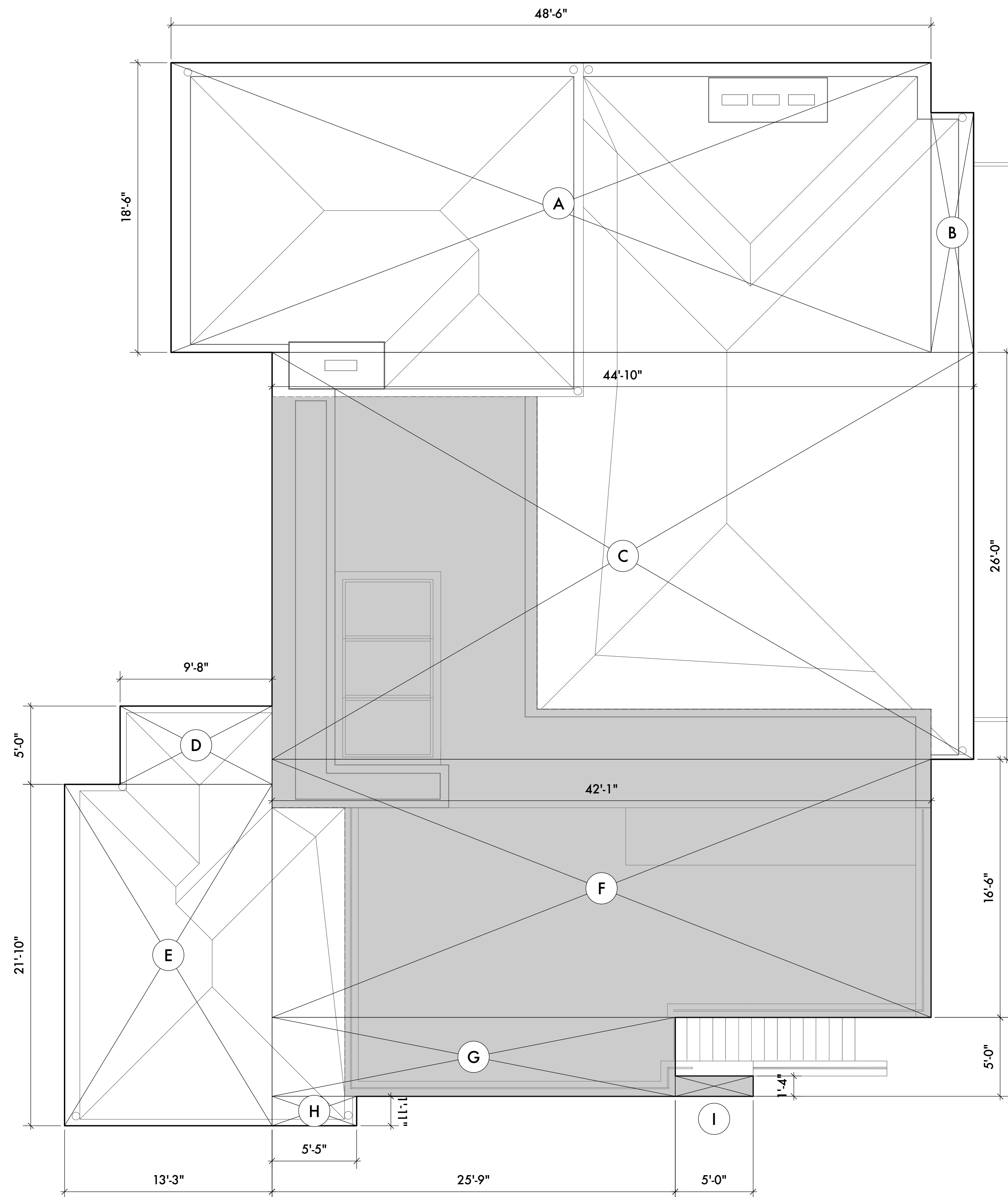
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Existing Flat Roof Overlay

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ROOF OUTLINE

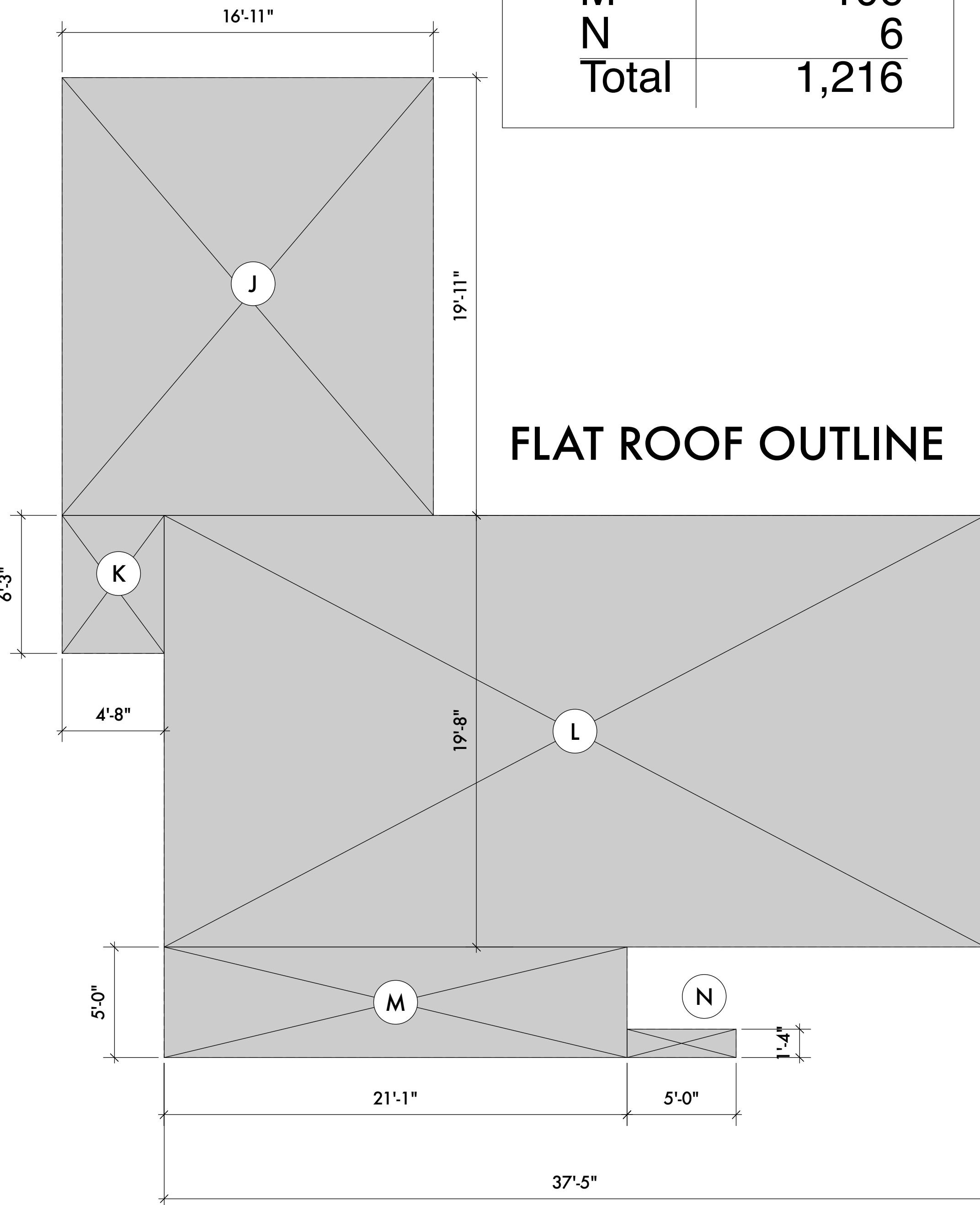


**PROPOSED
FLAT ROOF CALC**
1,215/3,280 = 37%

New flat area is 5 SF
lower than existing.

Flat roof percentage is
higher due to removal
of almost 300 SF of
existing roof massing.

Roof	Box	Area (SF)
Roof	A	897
	B	42
	C	1165
	D	48
	E	289
	F	693
	G	130
	H	10
	I	6
	Total	3,280
Flat Roof	J	337
	K	29
	L	737
	M	106
	N	6
	Total	1,216



FLAT ROOF OUTLINE



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Proposed Flat Roof Overlay

Job Number: 2130

Scale: 1/4" = 1'-0"

Date:

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HOA Prelim 3: August 3, 2022

HOA Prelim 3 REV: August 29, 2022



LIGHTING LEGEND

2201_TL01

NO.	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.	OPTIONS	VOLTAGE	LAMP	WATTS	COMMENTS	MFR CONTACT INFORMATION
AR01	◆	PATH LIGHT	AURORA	LMPL-2-27-TR-9-BLP-XD	-	12	2700K, 80CRI	4 (LED)	WIDE FLOOD (LED)	AURORA LIGHT CARLSBAD, CA PH: 877-942-1179
AR02	■	STEP LIGHT	AURORA	LSW1-27-SAB-BLP-XD	-	12	2700K, 80 CRI	3 (LED)	WIDE FLOOD (LED)	AURORA LIGHT CARLSBAD, CA PH: 877-942-1179
AR03	⊙	STEP LIGHT	AURORA	LDM250-90-27-F-S-BLP-XD	-	12	2700K, 80CRI	3 (LED)	NARROW FLOOD	AURORA LIGHT CARLSBAD, CA PH: 877-942-1179
UW01	⊙	UNDERWATER LIGHT	-	-	-	12	-	-	UNDERWATER LIGHT	TO BE SELECTED BY HYROLOGICAL ENGINEER
OG01	●	ON-GRADE UPLIGHT	AURORA	HSL20-LM-60-4-N-27-H-DS-BLP-XD	-	12	2700K, 80CRI	4 (LED)	NARROW FLOOD	AURORA LIGHT CARLSBAD, CA PH: 877-942-1179
OG02	●	ON-GRADE UPLIGHT	AURORA	HSL20-LM-60-4-WF-27-H-DS-BLP-XD	-	12	2700K, 80CRI	4 (LED)	WIDE FLOOD	AURORA LIGHT CARLSBAD, CA PH: 877-942-1179

LANDSCAPE LIGHTING NOTES:

- LIGHT FIXTURE LOCATIONS AS INDICATED ON THESE PLANS ARE APPROXIMATE. FINAL LOCATIONS SHALL BE VERIFIED BY LANDSCAPE ARCHITECT ON SITE.
- ALL TREE UPLIGHTING SHALL BE INSTALLED AFTER PLANTING OF SPECIMEN TREES. TRENCHING FOR CONDUITS THROUGH TREE ROOTBALLS IS STRICTLY PROHIBITED. ANY COSTS RESULTING FROM DAMAGE TO PLANT MATERIAL AS A RESULT OF SUCH OR OTHER ACTS PERFORMED DURING THE INSTALLATION OF LIGHTS SHALL BE BORNE BY THE LIGHTING/ELECTRICAL CONTRACTOR.
- CONTRACTOR TO PROVIDE FOR 1.5M LONG POWER WHIPS FOR ALL ON-GRADE FIXTURES TO ALLOW FOR IN-FIELD ADJUSTMENT OF LIGHT FIXTURE LOCATIONS.
- MOONLIGHTING FIXTURES TO BE LOCATED ALONG UPPER 1/3 OF TREE BRANCH STRUCTURE FOR MAXIMUM LIGHTING COVERAGE AT GRADE.
- LIGHTING CONTRACTOR SHALL VERIFY QUANTITIES OF LIGHT FIXTURES AND EQUIPMENT AS SHOWN ON PLAN.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CODES AND DETAILED SPECIFICATIONS OF THIS SHEET. ANY WORK NOT MEETING THE APPROVAL OF THE OWNER SHALL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- LIGHTING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED APPROVALS AND PERMITS.
- UNLESS OTHERWISE PROVIDED BY OWNER, ELECTRICIAN IS TO SIZE AND CIRCUIT ALL ELECTRICAL REQUIREMENTS FOR ALL FIXTURES SHOWN ON PLAN. ELECTRICAL CONTRACTOR TO PROVIDE CIRCUIT DIAGRAM TO MEP CONSULTANT AND OWNER'S REPRESENTATIVE FOR REVIEW OF GENERAL DESIGN CONFORMANCE PRIOR TO CONSTRUCTION.
- COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED.
- REFER TO ARCHITECTURAL AND ELECTRICAL ENGINEERING PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO SUBMIT CUT-SHEETS OF ALL LIGHT FIXTURES TO LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR REVIEW OF GENERAL DESIGN CONFORMANCE PRIOR TO FIXTURE PROCUREMENT.
- ALL LANDSCAPE LIGHTING TO BE PLACED ON A LIGHTING CONTROL PANEL AS DESIGNED BY THE ELECTRICAL ENGINEER.

GENERAL CONSTRUCTION NOTES

2201_GC01

- ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL EXISTING UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGES AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND / OR GRADE DIFFERENCE WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE LOCATION OF FEATURES TO BE CONSTRUCTED NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. VERIFY SUCH CONDITIONS WITH OWNER'S AUTHORIZED REPRESENTATIVE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS
- ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER
- ALL CONSTRUCTION AND INSTALLATION OF LANDSCAPE ITEMS SHALL BE PER LOCAL CODES AND ORDINANCES.
- ALL PAVED SURFACES SHALL HAVE A MINIMUM OF 3-1/2" THICKNESS.
- ALL WOOD, UNLESS OTHERWISE NOTED, SHALL BE DOUGLAS FIR, COMMON EXPOSED GRADE OR BETTER.
- EXPLANATION OF DRAWINGS: DUE TO THE SCALE OF DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THIS WORK AND PLAN THIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, WATER FEATURE MECHANICAL SYSTEMS, PLANTING AND ARCHITECTURAL FEATURES.
- ALL CONCRETE PAVING SHALL BE 5-1/2 SACK, 2,800 P.S.I. AT 28 DAYS. SIDEWALKS SHALL BE 3-1/2" THICK AND VEHICULAR CONCRETE SHALL BE 6" THICK WITH REINFORCING AND SUB-BASE PER THE STRUCTURAL SOILS REPORT.
- INSTALL EXPANSION JOINTS 3/8" WIDE POLYSTYRENE FOAM WITH POLYSULFIDE CAULKING - COLOR TO MATCH ADJACENT PAVING, OR AS NOTED ON PLAN. EXPANSION JOINTS TO BE LOCATED WHERE CALLED FOR ON PLAN, OR AT A MAXIMUM OF 10' - 0" ON CENTER. ALL SCORELINES SHALL BE MINIMUM 3/8" DEEP. ALL CONCRETE COLORS AND ANY COLORED CONCRETE STAMPING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- EXPANSION JOINTS SHALL BE 15' O.C. MAXIMUM IN SURFACES LESS THAN 15' IN WIDTH. CONTROL JOINTS SHALL BE 5' O.C. MAXIMUM.
- ALL CURVE TO CURVE TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH AND UNIFORM.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED AFTER THE SITE HAS BEEN STAKED-OUT PRIOR TO CONTINUATION OF WORK
- EACH CONTRACTOR (TRADE) SHALL BE RESPONSIBLE TO PAY FOR AND OBTAIN ALL NECESSARY BUILDING PERMITS AS MAY BE REQUIRED BY LOCAL AGENCIES, AS WELL., EACH CONTRACTOR SHALL PROVIDE ALL DRAWINGS, SCHEDULES, AND SPECIFICATIONS AS MAY BE REQUIRED FOR BUILDING PERMITS
- ALL CONSTRUCTION AND CONNECTIONS PER CONTRACTOR AND STRUCTURAL ENGINEER.



OWNER
BRIGHTON ROAD INVESTMENTS, LLC

CONSULTANT
C.J. LIGHT ASSOCIATES

PROJECT
CUSTOM RESIDENCE SCHEMATIC PHASE
193 EMERALD BAY DRIVE LAGUNA BEACH, CA 92651



KEY MAP

REVISIONS	No.	Date	Issue

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THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36"

SCALE	CAD FILE
1/8" = 1'-0"	2201_L1.01

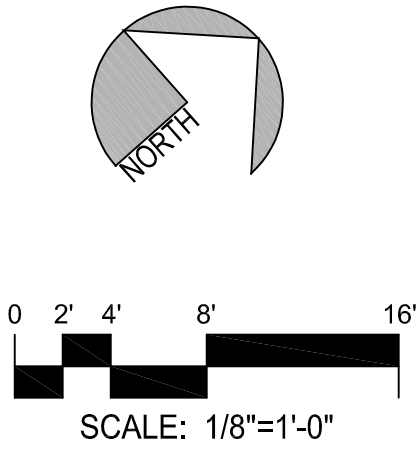
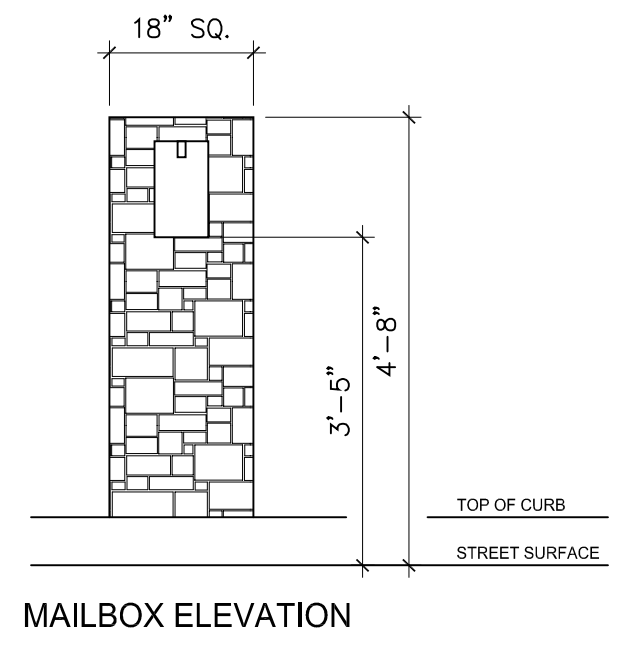
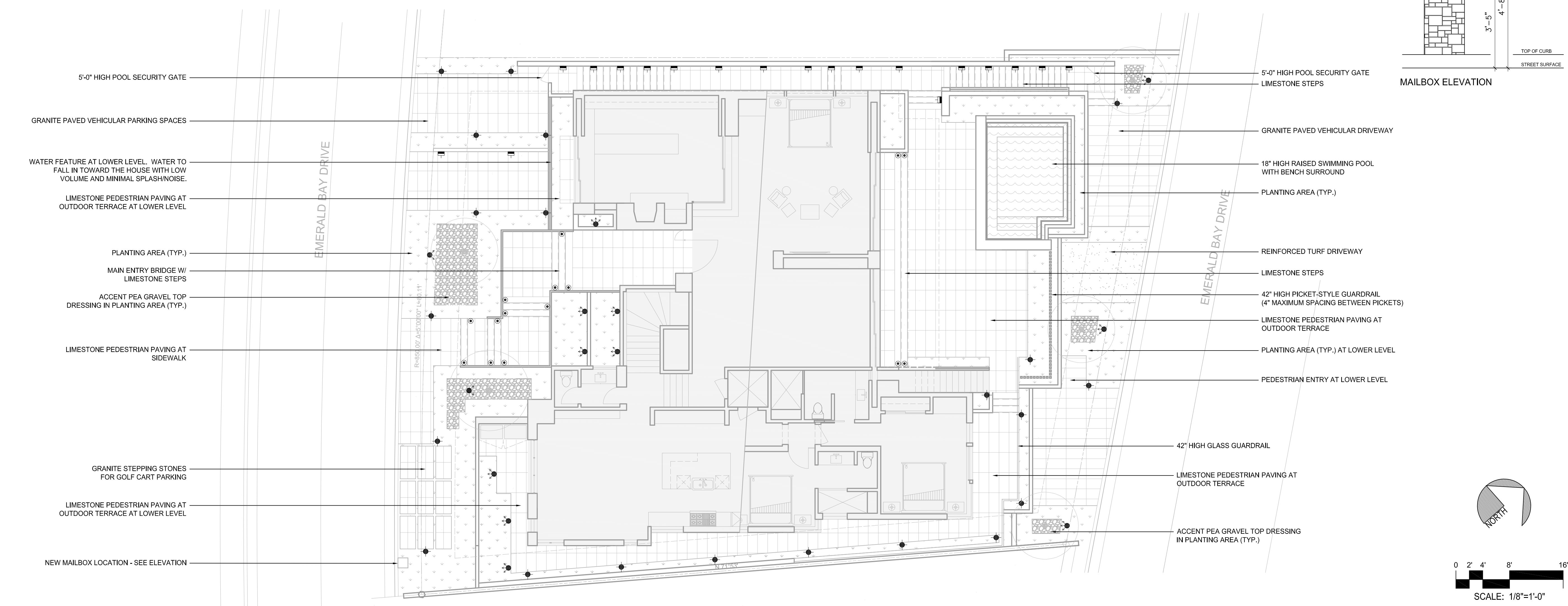
DATE ISSUED: 08/30/2022
DRAWN: AK
CHECKED: AK

KDG PROJECT #2201

ISSUE
HOA SUBMITTAL

DRAWING TITLE
HARDSCAPE AND LIGHTING PLAN

DRAWING NO.
L1.01

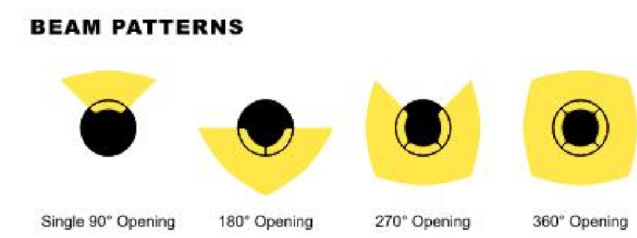
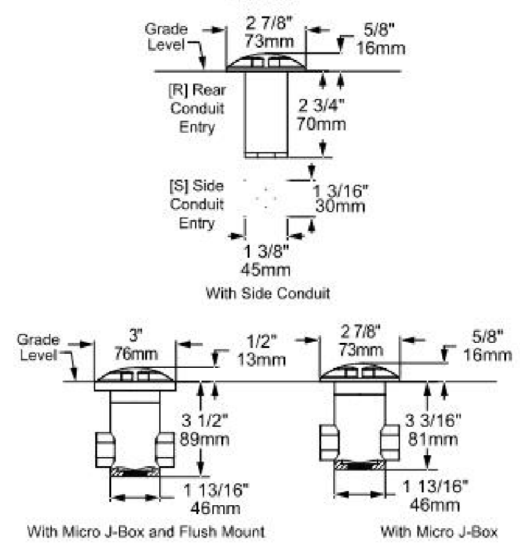


auroralight LDM250 SONOMA



The LDM250 directional marker is a high flux, low wattage LED luminaire. Coupled to a brass body, our Thermally Integrated LED Module provides superior heat dissipation, longer life and higher performance. With five different illumination patterns you are provided great versatility and although designed as a small scale in-grade, it can also be mounted horizontally as a step light or wall-washer for artistic flair.

- Features include:
• 3 Watts and Up to 50 lumens
• Cree XLAMP® High Intensity (XP-L) LED
• 2700 or 3000K (CRI 80 typ.)
• Thermally Integrated, Field Serviceable LED Module
• TRIAC Dimming to <10% typ.
• 12 VAC Electronic or Magnetic Drive-over Rated up to 6,000 lbs.
• Solid Copper and Brass Construction



ORDERING GUIDE: L (LED) DM (DIRECTIONAL MARKER) 250 (MODEL)

Table with columns for Beam Pattern, LED Color, Lens, Mount, and Finish, providing options and part numbers for the LDM250 SONOMA.

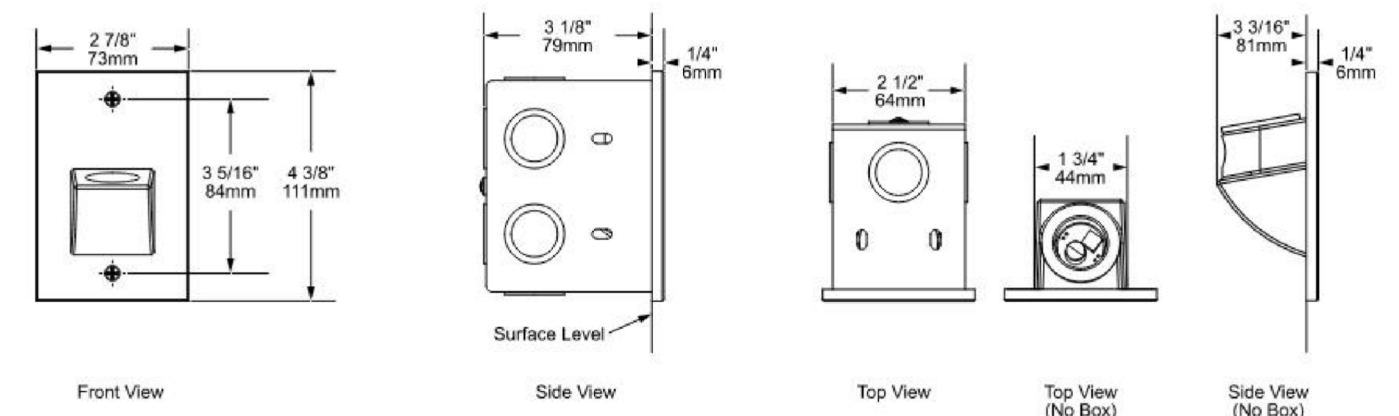
CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AUROLIGHT.COM | AUROLIGHT.COM

auroralight LSW1 LUMINESS



The LSW1 Luminess is a simple yet effective solution for glare-free pathway or step illumination for interior or wet location use. The unique design features a robust Bronze housing, die-cast, then precision machined on our ultra-modern CNC equipment. When fitted with our Copper Core light engine, the result is a fully integrated led luminaire that is also field serviceable. The one-piece concept creates an ideal heat sink for the high-performance Cree led; this allows exceptional performance and superior longevity. The Luminess is engineered to work together with our innovative Stainless Steel Backbox. The box features deep knockouts for masonry use and a mechanized interior that allows vertical alignment for perfect installation. The Luminess is also compatible with most "1g" off the shelf boxes for maximum economy.

- Features include:
• 3W and up to 31 Lumens at 2700K
• Cree XP® High Power LED
• Precision Machined Acrylic Optic
• 2700K (80 & 90 CRI) or 3000K (80 CRI), or Amber 585-595nm (3W Only)
• Thermally Integrated w/ Copper Core Technology®
• 12V Integral Constant Current Driver Ac or Dc Input.
• Dimmable to <10% (TRIAC/Forward Phase)
• Compatible w/ 12V AC/DC MLV or ELV Transformers
• Solid Brass Construction With Stainless Steel Back Box (Optional)



Information block for Copper Core Technology, including a logo, description of the technology, and a 12V UL LISTED logo.

SEE NEXT PAGE FOR ORDERING INFORMATION

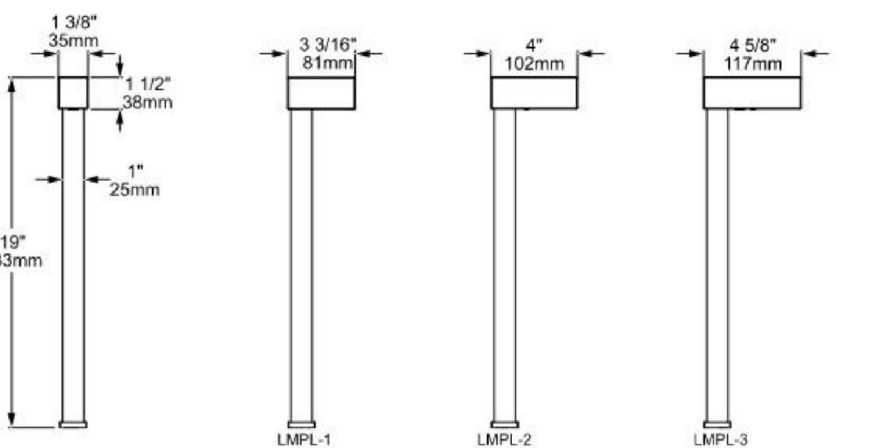
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auroralight LMPL MARTILLO



The Martillo Path Light is a stylistic and contemporary LED luminaire featuring a sleek, precisely sculpted brass body and stem. Assembled with stainless hardware and durable joinery, the Martillo is nearly indestructible. A Cree powered Copper Core light engine, together with the precision-machined acrylic optics, beautifully illuminate pathways, and open spaces. Influenced by contemporary architecture, the Martillo is the perfect complement to modern, old, or new.

- Features include:
• Field Serviceable LED Module in 3, 4 or 6 Watts, up to 250 Lumens Delivered
• 2700K (80 & 90 CRI) or 3000K (80 CRI), or Amber 585-595nm
• Thermally Integrated w/ Copper Core Technology®
• 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
• Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
• Compatible w/ 12V AC/DC MLV or ELV Transformers
• Solid Brass Construction
• Ships Complete with 2GS Stake Assembly



Information block for Copper Core Technology, including a logo, description of the technology, and a 12V UL LISTED logo.

SEE NEXT PAGE FOR ORDERING INFORMATION

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STEP LIGHT

AR03

STEP LIGHT

AR02

PATH LIGHT

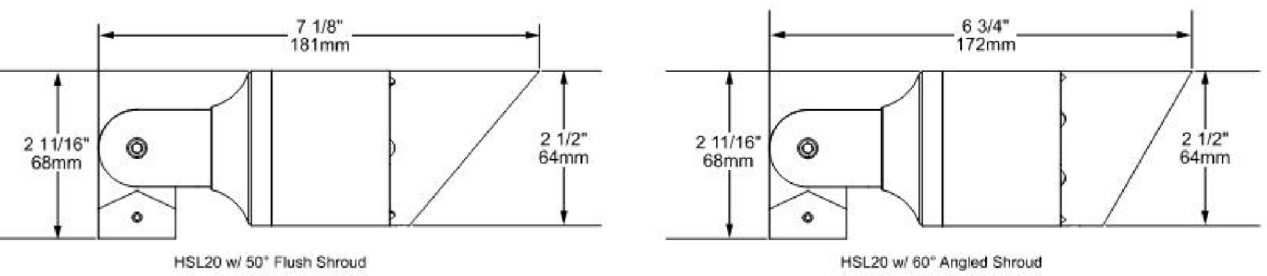
AR01

auroralight HSL20-LM OMEGA



The HSL20-LM, Omega, borrows the best features from over five generations of our classic workhorse SL16 series fixture. The all-new HSL20-LM Directional Luminaire features our new upgraded Copper Core LM16 designer module, which is coupled to a brass body providing superior heat dissipation, longer life, and high performance. The Storm Drain system has been combined with a Flushing edge to expel debris. The new Sleek and compact design is 30% lighter and 25% less expensive than our HSL16 Teluride; the Omega is an exceptional value. Offered in 3 versions: (LM, MC, & XO) to meet the specific demands of our top tier customers.

- Features include:
• Interchangeable LED Module in 4, 6, 8 or 12 Watts up to 621 Lumens Delivered
• 6 Interchangeable PMMA Acrylic Optics from 20° to 75°
• 2700K (80 & 90 CRI) or 3000K (80 CRI)
• Thermally Integrated w/ Copper Core Technology®
• Storm Drain™ Lens Drainage System
• Aurora Mount System (AMS™) Compatible
• 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
• Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
• Compatible w/ 12V AC/DC MLV or ELV Transformers
• Solid Brass Construction



Information blocks for FIT (Field Interchangeable Technology) and AMS (Aurora Mount System) with descriptive text and icons.

SEE NEXT PAGE FOR ORDERING INFORMATION

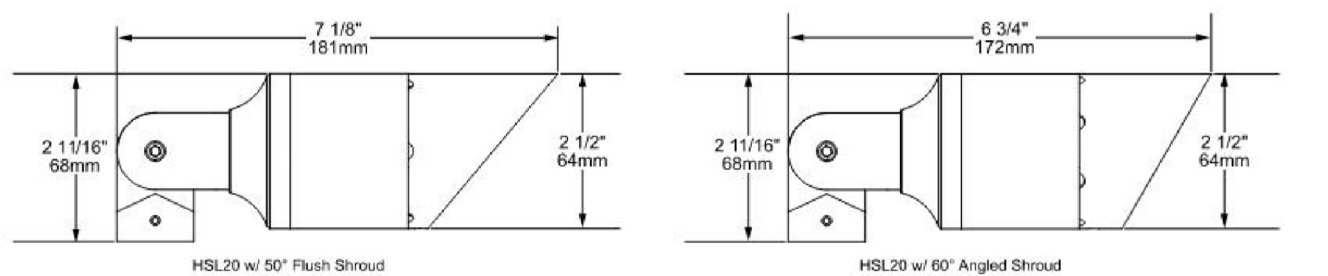
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auroralight HSL20-LM OMEGA



The HSL20-LM, Omega, borrows the best features from over five generations of our classic workhorse SL16 series fixture. The all-new HSL20-LM Directional Luminaire features our new upgraded Copper Core LM16 designer module, which is coupled to a brass body providing superior heat dissipation, longer life, and high performance. The Storm Drain system has been combined with a Flushing edge to expel debris. The new Sleek and compact design is 30% lighter and 25% less expensive than our HSL16 Teluride; the Omega is an exceptional value. Offered in 3 versions: (LM, MC, & XO) to meet the specific demands of our top tier customers.

- Features include:
• Interchangeable LED Module in 4, 6, 8 or 12 Watts up to 621 Lumens Delivered
• 6 Interchangeable PMMA Acrylic Optics from 20° to 75°
• 2700K (80 & 90 CRI) or 3000K (80 CRI)
• Thermally Integrated w/ Copper Core Technology®
• Storm Drain™ Lens Drainage System
• Aurora Mount System (AMS™) Compatible
• 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
• Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
• Compatible w/ 12V AC/DC MLV or ELV Transformers
• Solid Brass Construction



Information blocks for FIT (Field Interchangeable Technology) and AMS (Aurora Mount System) with descriptive text and icons.

SEE NEXT PAGE FOR ORDERING INFORMATION

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ON-GRADE UPLIGHT

ON-GRADE UPLIGHT

ON-GRADE UPLIGHT

ON-GRADE UPLIGHT

ON-GRADE UPLIGHT

kober design group Landscapes Architects
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OWNER: BRIGHTON ROAD INVESTMENTS, LLC

CONSULTANT: C.J. LIGHT ASSOCIATES

PROJECT: CUSTOM RESIDENCE SCHEMATIC PHASE
193 EMERALD BAY DRIVE LAGUNA BEACH, CA 92651

LICENSED LANDSCAPE ARCHITECT
ANN JOSEPH KOBER LIC# 10002
STATE OF CALIFORNIA

REVISIONS table with columns for No., Date, and Issue.

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THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36"

SCALE: 1/8" = 1'-0" CAD FILE: 2201_L1.02
DATE ISSUED: 08/03/2022 DRAWN: AK
CHECKED: AK

KDG PROJECT #2201
ISSUE: HOA SUBMITTAL

DRAWING TITLE: LIGHTING FIXTURE CUT SHEETS

DRAWING NO.

L1.02

PLANTING NOTES

2201_PLT01

GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL CONFORM WITH LOCAL CODES AND REGULATIONS.
2. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND INSTALL PLANT QUANTITIES AS DRAWN ON PLAN.
3. FINAL LOCATION OF ALL TREES SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO EXCAVATION OF PLANTING PITS.
4. TREES SHALL NOT BE PLANTED CLOSER THAN 3'-0" TO A SIDEWALK OR WALL.
5. PRIOR TO PLANTING TREES, THE LANDSCAPE CONTRACTOR SHALL PERFORM A SOIL PERCOLATION TEST TO DETERMINE IF THERE ARE ANY DRAINAGE PROBLEMS. THE LANDSCAPE CONTRACTOR IS REQUIRED TO DIG ONE HOLE PER 1,000 S.F. OF PLANTING AREA AT VARIOUS LOCATIONS AROUND THE SITE. THE HOLES SHALL BE EQUAL IN SIZE TO THE LARGEST TREE PLANTING PIT REQUIRED FOR EACH PARTICULAR PLANTING AREA. ADDITIONAL LOCATIONS WILL BE REQUIRED IF VARIOUS SOIL TYPES ARE FOUND AROUND THE SITE AND/OR IF THE OWNER'S REPRESENTATIVE FINDS IT NECESSARY. THE LANDSCAPE CONTRACTOR SHALL VERIFY PERCOLATION TEST PIT LOCATIONS, FILL EACH HOLE WITH WATER AND MONITOR HOW MUCH WATER IS REMAINING IN THE HOLE AFTER 24 HOURS. MAKE A WRITTEN REPORT TO THE OWNER. IF IT IS DETERMINED THAT SOIL DRAINAGE IS A PROBLEM A RESOLUTION WILL BE WORKED OUT BY THE OWNER AND IF NECESSARY A CHANGE ORDER WILL BE INITIATED.
6. THE LANDSCAPE CONTRACTOR SHALL INSTALL ARBOR-GUARD TREE BOOTS ON ALL TREES PLANTED IN TURF AREAS. TREE BOOTS ARE AVAILABLE THROUGH DEEP ROOT CORPORATION (800) 458-7668. (USE DEEP ROOT NO. A68-4, OR EQUAL).
7. ANY TREE 15 GALLON SIZE OR LARGER (EXCLUDING PALM TREES), PLANTED WITHIN 3'-0" OF THE EDGE OF PAVING OR ANY CONCRETE EDGE SHALL HAVE A DEEP ROOT BARRIER INSTALLED ALONG THE EDGE OF THE HARDSCAPE. INSTALL ROOT BARRIERS MANUFACTURED BY CENTURY PRODUCTS (800) 480-8084, OR AN APPROVED EQUIVALENT. INSTALLATION OF THE ROOT BARRIER SHALL BE ALONG THE ENTIRE TREE PLANTING PIT AGAINST THE PAVING EDGE AND PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
8. SOIL AMENDMENTS SHALL BE APPLIED PER SOIL REPORT SPECIFICATIONS.

PLANTING SHRUBS, VINES, & GROUNDCOVERS:

1. SHRUBS AND VINES: PLANTING PITS FOR SHRUBS AND VINES SHALL BE 6" GREATER IN DIAMETER AND 6" DEEPER THAN PLANT ROOTBALL. COMPACTED SOIL AT BOTTOM OF PIT SHALL BE LOOSEND AND THE PIT FILLED WITH "PREPARED SOIL" TO THE BOTTOM OF THE BALL. WHEN THE PLANT HAS BEEN PROPERLY SET, THE PIT SHALL BE FILLED TO THE REQUIRED GRADE WITH "PREPARED SOIL" AND THOROUGHLY SETTLED BY TAMPING AND WATERING. ALL VINES SHALL BE REMOVED FROM STAKES, UNTIED, AND SECURELY FASTENED IN ALL APPROVED MANNER TO THE WALL, FENCE OR OTHER SURFACE NEXT TO WHICH THEY ARE PLANTED.
 2. GROUNDCOVER: PLANTING PITS FOR ROOTED CUTTINGS FROM FLATS SHALL BE 6" X 6" X 6". GROUND COVER AREAS SHALL BE MOISTENED PRIOR TO PLANTING. NO GROUND COVER PLANTS SHALL BE PLANTED IN DRY SOIL.
 3. HEDGES: DIMENSIONS NOTED FOR HEDGES ARE FINISHED/CLIPPED HEDGE DIMENSIONS. PLANT SIZE ALLOWANCES SHOULD BE MADE IN ORDER TO CLIP DOWN TO THE REQUIRED DIMENSION AS NOTED.
- SET PLANTS IN CENTER OF PITS SO THAT AFTER SETTLING OF SOIL CROWN OF PLANT WILL BE LEVEL WITH FINISHED GRADE THEN BACKFILL AND WATER.
- GROUND COVER PLANTS SHALL BE WELL ROOTED WITH RUNNERS MINIMUM 4" LONG.

POTTERY PLANTING NOTE:

1. ALL POTTERY TO RECEIVE PLANTING, IRRIGATION & DRAINAGE.
2. ANNUAL COLOR TO BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
3. LANDSCAPE CONTRACTOR SHALL ALLOW \$ 25,000 IN THEIR BID FOR THE PURCHASE AND INSTALLATION OF ADDITIONAL ANNUAL COLOR, POTTERY & ADDITIONAL PLANT MATERIAL.

11 - POD GRA 12' HIGH
HEDGE @ 36" O.C. 36" WIDE

34 - LAU NOB 48" HIGH
HEDGE @ 30" O.C. 30" WIDE

DYM MAR
4" POTS FILL SOLID

ANNUAL COLOR (TYP.)
COLOR TO BE WHITE
4" POTS SPACED AT 6" O.C.

14 - TRA JAS
5 GAL. SPACED AT 12" O.C.
VINES ON STAKES

44 - BUX MIC 18" DIA.
'WINTER GEM'
GLOBE FORM @ 18" O.C.

DYM MAR
4" POTS FILL SOLID

1 - PIN THU 10' HIGH
CLIPPED 'BONSAI' STYLE 10' WIDE

3 - AGA SPE 36" DIA.
'BLUE FLAME'

DYM MAR
4" POTS FILL SOLID

24 - BUX MIC 18" DIA.
'WINTER GEM'
GLOBE FORM @ 18" O.C.

1 - OLE EUR 12' HIGH
'MONHER' 12' WIDE

ANNUAL COLOR (TYP.)
COLOR TO BE WHITE
4" POTS SPACED AT 6" O.C.

DYM MAR
4" POTS FILL SOLID

DYM MAR
4" POTS FILL SOLID

6 - POD GRA 12' HIGH
HEDGE @ 36" O.C. 36" WIDE

5 - LAU NOB 6' HIGH
HEDGE @ 30" O.C. 30" WIDE

43 - BUX MIC 42" HIGH
'WINTER GEM' 12" WIDE
HEDGE @ 12" O.C.

16 - BUX SEM 30" HIGH
'VARIEGATA' 12" WIDE
HEDGE @ 12" O.C.

13 - SEN SER
5 GAL. SPACED AT 12" O.C.

3 - AGA SPE 24" DIA.
'BLUE FLAME'

8 - LAU NOB 9' HIGH
HEDGE @ 36" O.C. 36" WIDE

5 - BUX MIC 42" HIGH
'WINTER GEM' 12" WIDE
HEDGE @ 12" O.C.

5 - BUX SEM 30" HIGH
'VARIEGATA' 12" WIDE
HEDGE @ 12" O.C.

7 - TRA JAS
5 GAL. SPACED AT 12" O.C.
VINES ON STAKES

24 - BUX SEM 30" HIGH
'VARIEGATA' 12" WIDE
HEDGE @ 12" O.C.

24 - BUX MIC 42" HIGH
'WINTER GEM' 12" WIDE
HEDGE @ 12" O.C.

10 - TRA JAS
5 GAL. SPACED AT 12" O.C.
VINES ON STAKES

13 - BUX MIC 42" HIGH
'WINTER GEM' 12" WIDE
HEDGE @ 12" O.C.

23 - BUX SEM 30" HIGH
'VARIEGATA' 12" WIDE
HEDGE @ 12" O.C.

ANNUAL COLOR (TYP.)
COLOR TO BE WHITE
4" POTS SPACED AT 6" O.C.

72 - BUX MIC 42" HIGH
'WINTER GEM' 12" WIDE
HEDGE @ 12" O.C.

120 - TRA JAS
5 GAL. SPACED AT 12" O.C.
VINES ON STAKES

3 - OLE EUR 10' HIGH
'MONHER' 10' WIDE

DYM MAR
4" POTS FILL SOLID

37 - BUX MIC 18" DIA.
'WINTER GEM'
GLOBE FORM @ 18" O.C.

ANNUAL COLOR (TYP.)
COLOR TO BE WHITE
4" POTS SPACED AT 6" O.C.

ANNUAL COLOR (TYP.)
COLOR TO BE WHITE
4" POTS SPACED AT 6" O.C.

11 - BUX MIC 18" DIA.
'WINTER GEM'
GLOBE FORM @ 18" O.C.

2 - LAU NOB 6' HIGH
HEDGE @ 30" O.C. 30" WIDE

EMERALD BAY DRIVE

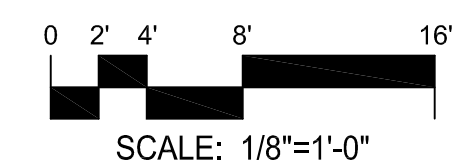
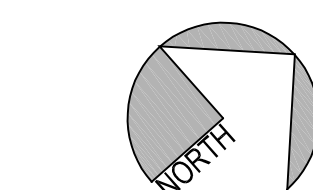
EMERALD BAY DRIVE

TREE AND SHRUB LEGEND

2201_PLTLEG

SYM.	BOTANICAL NAME	COMMON NAME	FLATS	1G	5G	15G	24"B	COMMENTS
AGA SPE	AGAVE SPECIES 'BLUE FLAME'	BLUE FLAME AGAVE	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
BUX MIC	BUXUS MICROPHYLLA VAR. JAPONICA 'WINTER GEM'	JAPANESE BOXWOOD	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
BUX SEM	BUXUS SEMPERVIRENS 'VARIEGATA'	VARIEGATED BOXWOOD	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
DYM MAR	DYMONDIA MARGARETAE	SILVER CARPET	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
LAU NOB	LAURUS NOBILIS	BAY LAUREL	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
OLE EUR	OLEA EUROPEA 'MONHER'	MAJESTIC BEAUTY FRUITLESS OLIVE	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
PIN THU	PINUS THUNBERGII	JAPANESE BLACK PINE	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
POD GRA	PODOCARPUS GRACILIOR	AFRICAN FERN PINE	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
SEN SER	SENECIO SERPENS	BLUE CHALKSTICKS	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS
TRA JAS	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	-	-	-	-	-	SIZE, QUANTITY, AND FORM AS NOTED IN CALLOUTS

NOTE: QUANTITIES IN THE LEGEND ARE FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO FINAL BID.



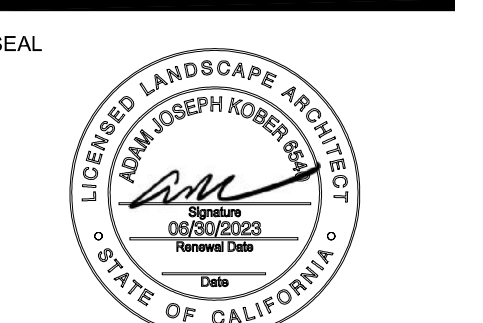
OWNER

BRIGHTON ROAD INVESTMENTS, LLC



PROJECT

CUSTOM RESIDENCE
SCHEMATIC PHASE
193 EMERALD BAY DRIVE
LAGUNA BEACH, CA 92651



KEY MAP

REVISIONS	No.	Date	Issue

KOBER DESIGN GROUP, INC.
ALL DRAWINGS AND SPECIFICATIONS ISSUED AS PART OF THE SERVICES RENDERED BY THE LANDSCAPE ARCHITECT FOR THIS PROJECT SHALL REMAIN THE PROPERTY OF THE LANDSCAPE ARCHITECT. ANY REPRODUCTION OF THE DRAWINGS AND/OR SPECIFICATIONS IN WHOLE OR IN PART FOR USE ON ANY OTHER PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF KOBER DESIGN GROUP, INC.

THE ORIGINAL SIZE OF THIS DRAWING IS 24" X 36"

SCALE	CAD FILE
1/8" = 1'-0"	2201_L1.03
DATE ISSUED	DRAWN: AK
08/30/2022	CHECKED: AK

KDG PROJECT #2201

ISSUE
HOA
SUBMITTAL

DRAWING TITLE
TREES AND SHRUBS
PLANTING PLAN

DRAWING NO.

L1.03

**PRECISE GRADING PLAN
 LOWER LEVEL**

PROJECT ADDRESS
 193 Emerald Bay Drive, Laguna Beach, CA 92651
 BENCHMARK

BASE OF BEARINGS

APN: 053-040-21
 THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:



DATE:	04 JAN 2023
ENGINEER:	R. DEMA-ALA
CHECKER:	R. DEMA-ALA
PROJECT No.:	2160
REVISIONS:	
STATUS:	SUBMITAL 1
SHEET:	G-02 2 OF 7 SHEETS

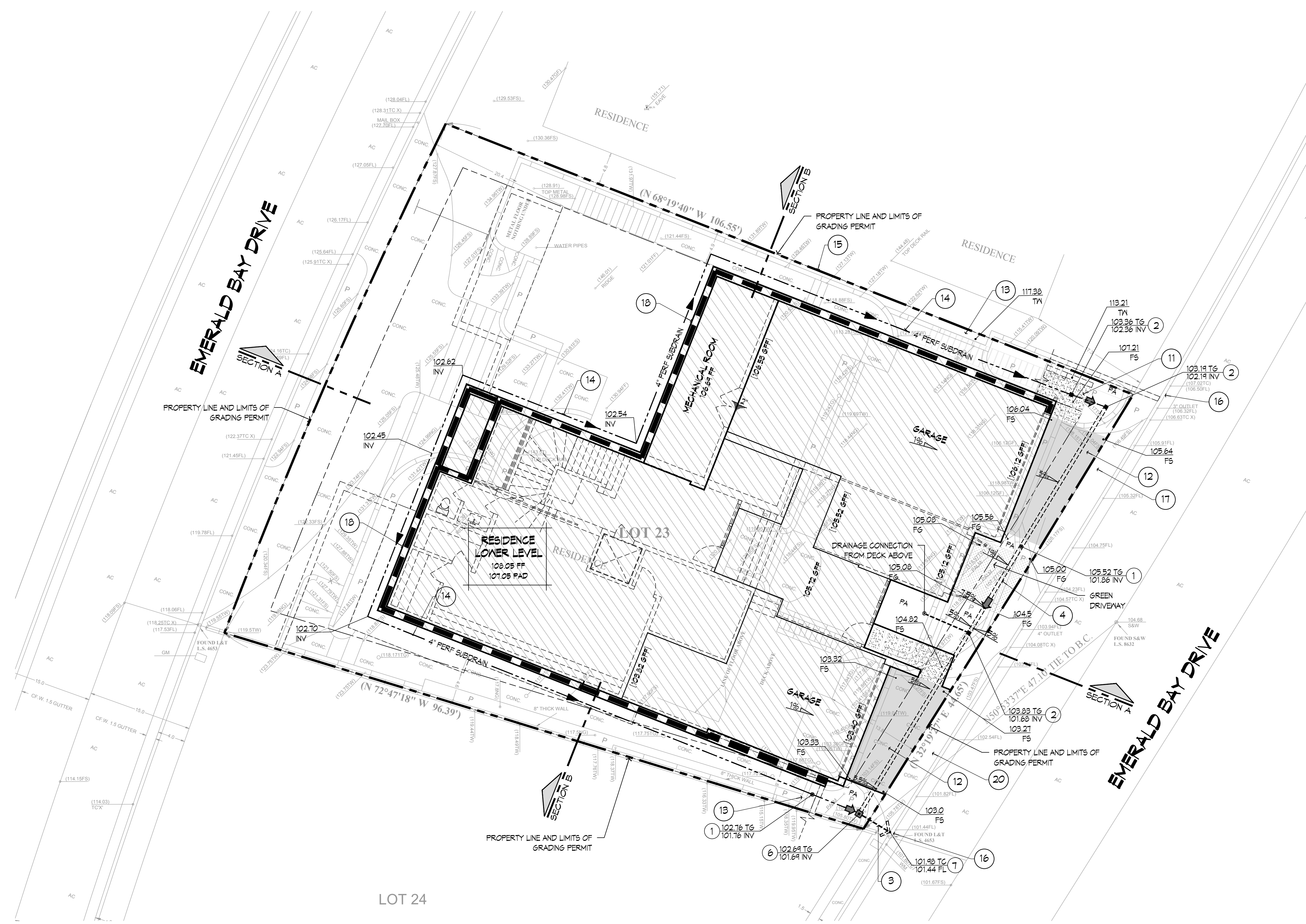
GRADING LEGEND, SYMBOLS AND ABBREVIATIONS

	PROPOSED 6" STORM DRAIN LINE		PROPERTY LINE
	PROPOSED 4" STORM DRAIN LINE		FG: FINISHED GRADE
	PROPOSED EARTHEN DRAINAGE SWALE		FS: FINISHED SURFACE
	PROPOSED CONCRETE DRAINAGE SWALE		DS: DOWNSPOUT
	STORM DRAIN SUMP PUMP DISCHARGE ASSEMBLY		INV: INVERT ELEVATION
	PROPOSED PERFORATED SUBDRAIN		TOS: TOP OF SLAB
	PROPOSED CHANNEL DRAIN		TG: TOP OF GRATE (DRAIN INLET)
	PROPOSED SQ. GRATE DRAIN INLET		FL: FLOW LINE
	PROPOSED PLANTER DRAIN INLET		NG: NATURAL GRADE ELEV
	PROPOSED ROOF DOWN SPOUT		TC: TOP OF CURB
	PROPOSED 12" MAIN CATCH BASIN		TW: TOP OF WALL
	PROPOSED RETAINING WALL		TF: TOP OF FOOTING
	PROPOSED SITE SCREEN WALL		FF: FINISHED FLOOR
	PROPOSED SIDE PROPERTY WALL		GFF: GARAGE FINISHED FLOOR
	PROPERTY LINE		HP: HIGH POINT
	FLOW ARROW		
	PROPOSED TREE BOX LOCATION		DRIVEWAY
	HARDSCAPE		BUILDING HATCH
	PLANTER AREA/NATURAL GROUND		D6
			LAWN/TURF
			WOOD DECK

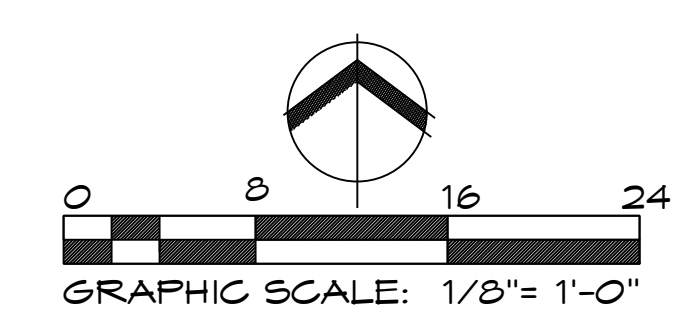
NOTE: NOT ALL SYMBOLS USED

CONSTRUCTION NOTES:

- ON SITE:**
- 1) INSTALL 4" PLANTER DRAIN INLET WITH ATRIM GRATE, NDS 80 OR EQUAL. SEE DETAIL 1 ON SHEET G-05.
 - 2) INSTALL 4" SQUARE CATCH BASIN, NDS 631 OR EQUAL. SEE DETAIL 2 ON SHEET G-05.
 - 3) INSTALL 4" DRAIN PIPE, SDR 35 PVC, (ASTM D3034).
 - 4) INSTALL 6" DRAIN PIPE, SDR 35 PVC, (ASTM D3034).
 - 5) INSTALL 12" SQ CATCH BASIN PER NDS 1200 WITH GRATE OR CITY APP EQUAL. SEE DET 6 ON SHEET G-05.
 - 7) INSTALL 3" CURB OUTLET PER EMERALD BAY SERVICES DISTRICT (EBSD) REQUIREMENTS.
 - 8) INSTALL NEW 4" SEWER LATERAL AND CLEANOUT PER EMERALD BAY SERVICES DISTRICT (EBSD) REQUIREMENTS.
 - 9) INSTALL NEW 1" WATER METER AND SERVICE LATERAL TO SERVICE 191 EMERALD BAY PER EMERALD BAY SERVICES DISTRICT (EBSD) REQUIREMENTS. SEE PLUMBING PLANS FOR SIZING REQUIREMENTS. SEWER AND WATER TO BE CONSTRUCTED UNDER A SEPARATE PERMIT.
 - 10) ROOF DOWNSPOUTS PER ARCHITECTURAL PLANS. CONNECT TO NEAREST DRAIN PIPE.
 - 11) PROPOSED 4" THICK CONC. HARDSCAPE BASE PER DETAIL 11 ON SHEET G-05.
 - 12) CONSTRUCT PAVED DRIVEWAY ON 6" CONCRETE PER DETAIL 12 ON SHEET G-05.
 - 13) CONSTRUCT SITE FENCE/WALL 36" HIGH (MAX), 8" BLOCK PER ARCHITECTURAL PLANS, SEE DETAIL 13 ON SHEET G-05.
 - 14) INSTALL 4" PERFORATED SUBDRAIN.
 - 15) EXISTING PROPERTY LINE WALL TO REMAIN - PROTECT IN PLACE.
 - 16) REMOVE AND REPLACE EXISTING CURB 4" GUTTER ALONG ENTIRE STREET FRONTAGE PER EBSD REQUIREMENTS.
 - 17) CONSTRUCT NEW DRIVEWAY APPROACH PER APWA STANDARDS.
 - 18) PROPOSED RETAINING WALL TO BE CONSTRUCTED UNDER SEPARATE PERMIT. SEE DETAIL 18 ON SHEET G-05.
 - 19) EXISTING WATER METER - PROTECT IN PLACE.
 - 20) CONSTRUCTION NEW DRIVEWAY APPROACH PER CCPN STD PLAN 1209, 14-24, X-9.
 - 21) WOOD DECK ABOVE FINISHED GRADE, PER DETAIL 9 ON SHEET G-03.



LOWER LEVEL PLAN
 SCALE: 1/8"=1'-0"



GRADING LEGEND, SYMBOLS AND ABBREVIATIONS

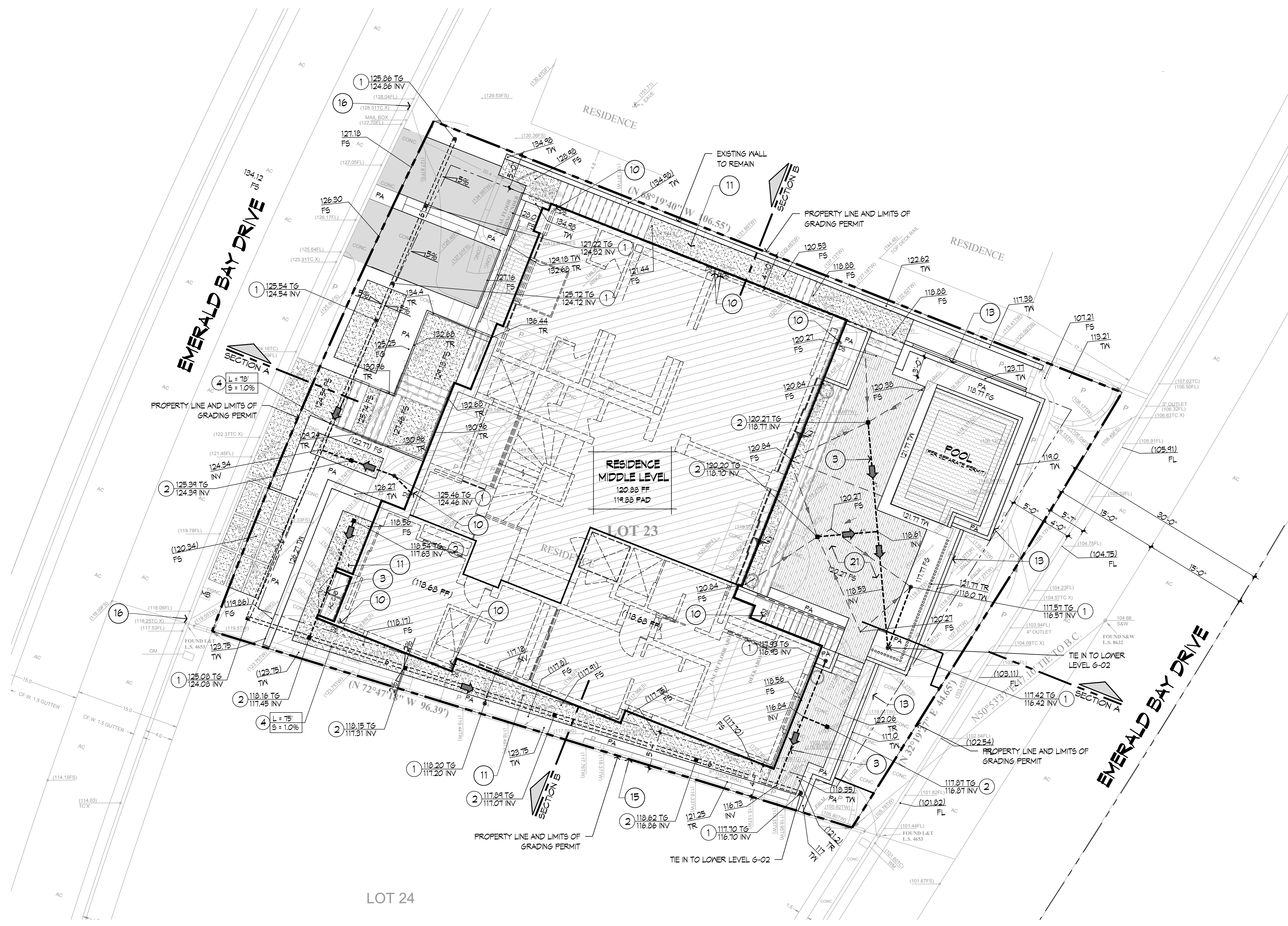
=====	PROPOSED 6" STORM DRAIN LINE	FL	PROPERTY LINE
-----	PROPOSED 4" STORM DRAIN LINE	FG:	FINISHED GRADE
.....	PROPOSED EARTHEN DRAINAGE SWALE	FS:	FINISHED SURFACE
-----	PROPOSED CONCRETE DRAINAGE SWALE	DS:	DOWNSPOUT
-----	STORM DRAIN SUMP PUMP DISCHARGE ASSEMBLY	INV:	INVERT ELEVATION
-----	PROPOSED PERFORATED SUBDRAIN	TOS:	TOP OF SLAB
-----	PROPOSED CHANNEL DRAIN	TG:	TOP OF GRATE (DRAIN INLET)
■	PROPOSED SQ. GRATE DRAIN INLET	FL:	FLOW LINE
○	PROPOSED PLANTER DRAIN INLET	NG:	NATURAL GRADE ELEV
⊕	PROPOSED ROOF DOWN SPOUT	TC:	TOP OF CURB
■	PROPOSED 12" MAIN CATCH BASIN	TW:	TOP OF WALL
-----	PROPOSED RETAINING WALL	TF:	TOP OF FOOTING
-----	PROPOSED SITE SCREEN WALL	FF:	FINISHED FLOOR
-----	PROPOSED SIDE PROPERTY WALL	GFF:	GARAGE FINISHED FLOOR
-----	PROPERTY LINE	HP:	HIGH POINT
+	FLOW ARROW		
□	PROPOSED TREE BOX LOCATION	DRIVEWAY	BUILDING HATCH
■	HARDSCAPE	DG	LAWN/TURF
□	PLANTER AREA/ NATURAL GROUND	WOOD DECK	WATER FEATURE

NOTE: NOT ALL SYMBOLS USED

CONSTRUCTION NOTES:

ON SITE:

- 1 INSTALL 4" PLANTER DRAIN IV ATRIUM GRATE, NDS 80 OR EQUAL. SEE DETAIL 1 ON SHEET G-05.
- 2 INSTALL 4" SQUARE CATCH BASIN, NDS 891 OR EQUAL. SEE DETAIL 2 ON SHEET G-05.
- 3 INSTALL 4" DRAIN PIPE, SDR 35 P.V.C. (ASTM D3034).
- 4 INSTALL 6" DRAIN PIPE, SDR 35 P.V.C. (ASTM D3034).
- 5 INSTALL 12" SQ. CATCH BASIN PER NDS 1200 WITH GRATE OR CITY APP. EQUAL. SEE DET 6 ON SHEET G-05.
- 6 INSTALL 9" CURB OUTLET PER EMERALD BAY SERVICES DISTRICT (EBSD) REQUIREMENTS.
- 7 INSTALL NEW 4" SEWER LATERAL AND CLEANOUT PER EMERALD BAY SERVICES DISTRICT (EBSD) REQUIREMENTS.
- 8 INSTALL NEW 1" WATER METER AND SERVICE LATERAL TO SERVICE 191 EMERALD BAY PER EMERALD BAY SERVICES DISTRICT (EBSD) REQUIREMENTS. SEE PLUMBING PLANS FOR SIZING REQUIREMENTS. SEWER AND WATER TO BE CONSTRUCTED UNDER A SEPARATE PERMIT.
- 9 ROOF DOWNSPOUTS PER ARCHITECTURAL PLANS. CONNECT TO NEAREST DRAIN PIPE.
- 10 PROPOSED 4" THICK CONC. HARDSCAPE BASE PER DETAIL 11 ON SHEET G-05.
- 11 CONSTRUCT PAVED DRIVEWAY ON 6" CONCRETE PER DETAIL 12 ON SHEET G-05.
- 12 CONSTRUCT SITE FENCE/WALL 36" HIGH (MAX), 8" BLOCK PER ARCHITECTURAL PLANS. SEE DETAIL 13 ON SHEET G-05.
- 13 INSTALL 4" PERFORATED SUBDRAIN.
- 14 EXISTING PROPERTY LINE WALL TO REMAIN - PROTECT IN PLACE
- 15 REMOVE AND REPLACE EXISTING CURB & GUTTER ALONG ENTIRE STREET FRONTAGE PER EBSD REQUIREMENTS
- 16 CONSTRUCT NEW DRIVEWAY APPROACH PER APWA STANDARDS.
- 17 PROPOSED RETAINING WALL TO BE CONSTRUCTED UNDER SEPARATE PERMIT. SEE DETAIL 18 ON SHEET G-05.
- 18 EXISTING WATER METER - PROTECT IN PLACE
- 19 CONSTRUCTION NEW DRIVEWAY APPROACH PER CCPA STD PLAN 1209, W-24, X-3.
- 20 WOOD DECK ABOVE FINISHED GRADE. PER DETAIL 9 ON SHEET G-03.



MIDDLE LEVEL PLAN
SCALE: 1"=10'-0"

PLANS PREPARED BY:
d'zn engineering
165 MATISSE CIRCLE
ALISO VIEJO, CA 92656
TEL: (949) 305-8920

CLIENT:
-
193 Emerald Bay Drive, Laguna Beach, CA 92651
SHEET TITLE

PRECISE GRADING PLAN MIDDLE LEVEL

PROJECT ADDRESS
193 Emerald Bay Drive, Laguna Beach, CA 92651

BENCHMARK

APN: 053-040-21
THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:



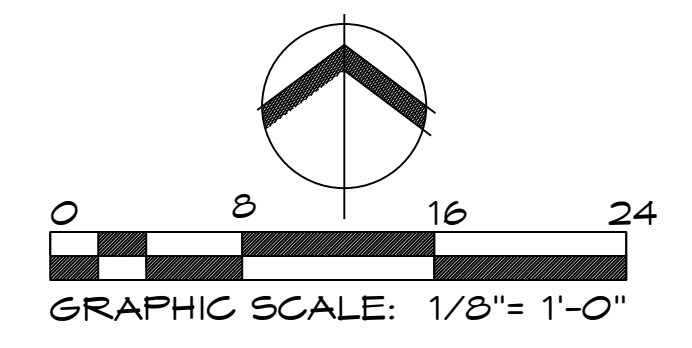
DATE: 04 JAN 2023
ENGINEER: R. DEMA-ALA
CHECKER: R. DEMA-ALA

PROJECT No. 2160

REVISIONS
Δ _____
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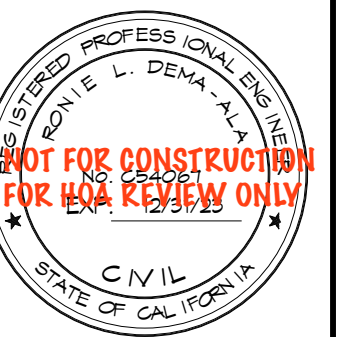
STATUS: SUBMITAL 1

SHEET
G-03
3 OF 7 SHEETS

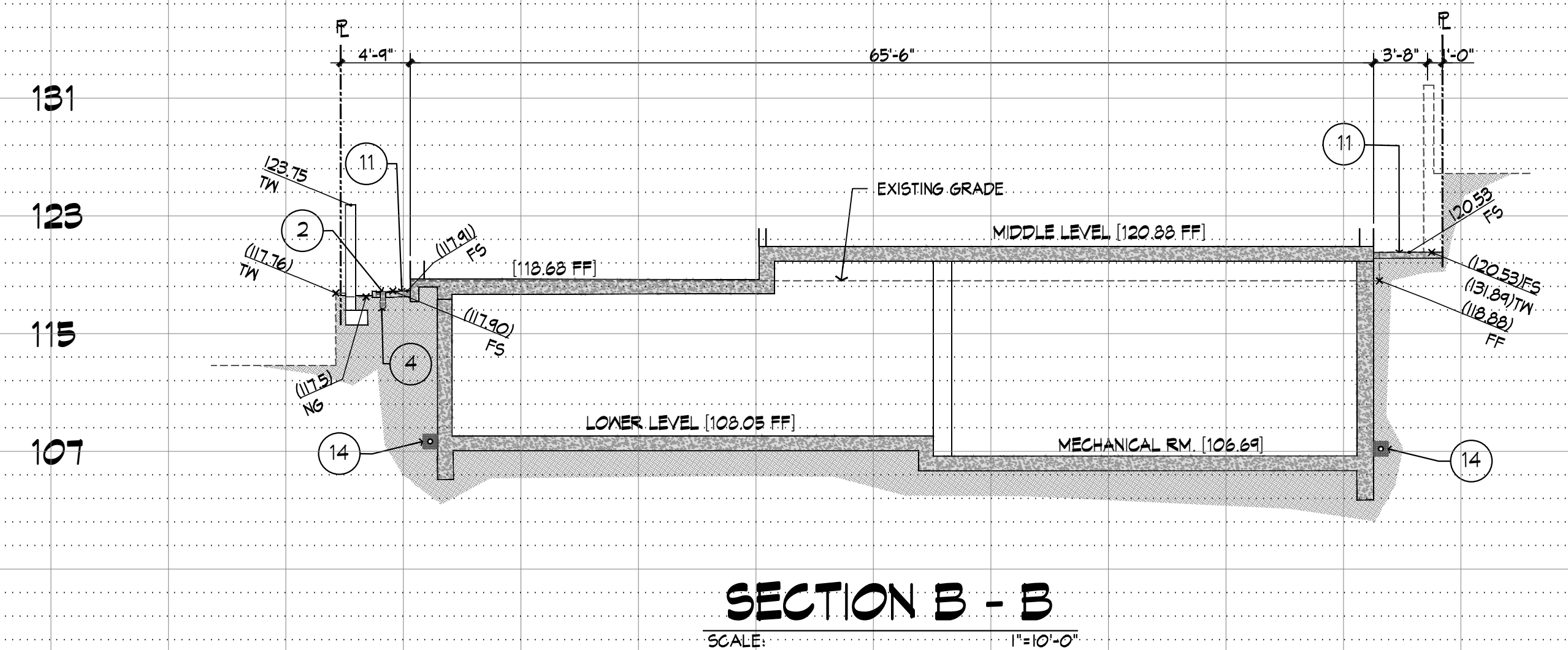
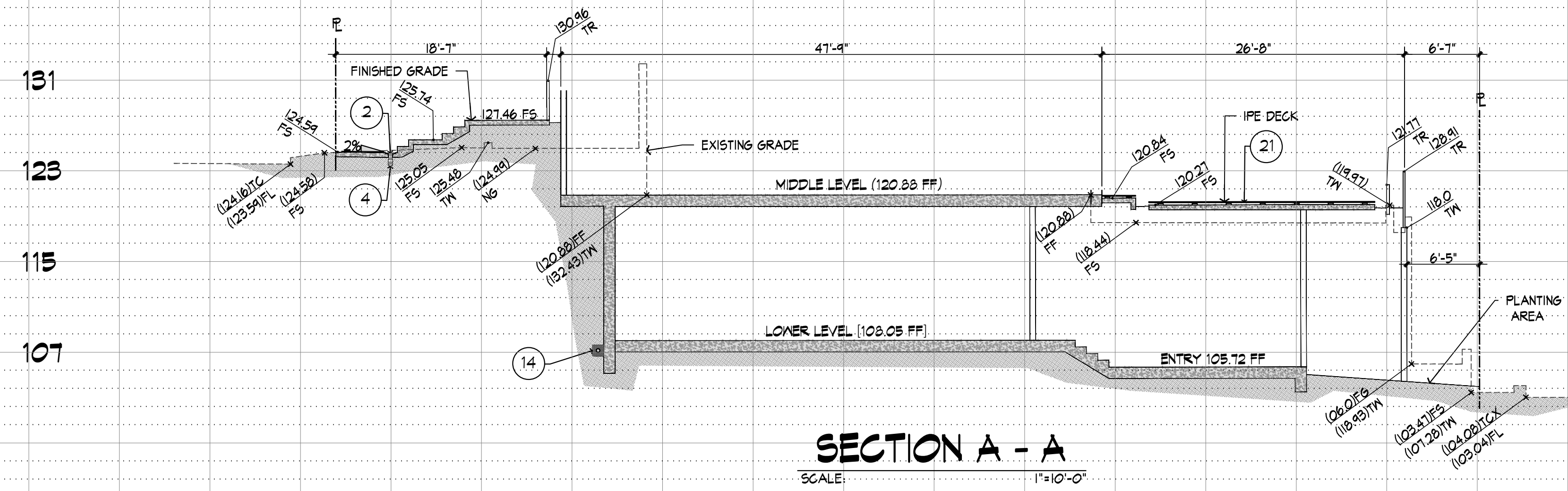


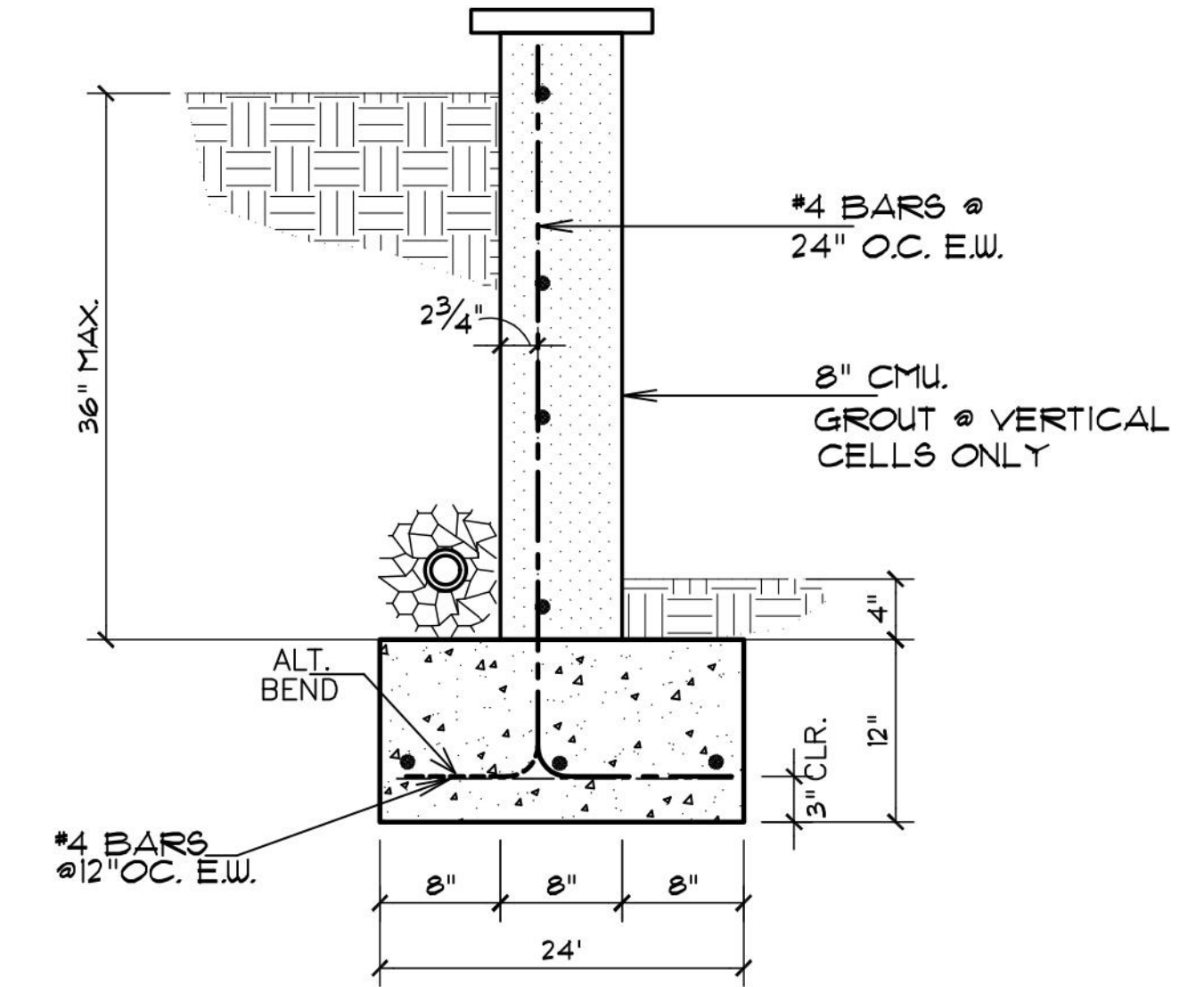


GRADING SECTIONS

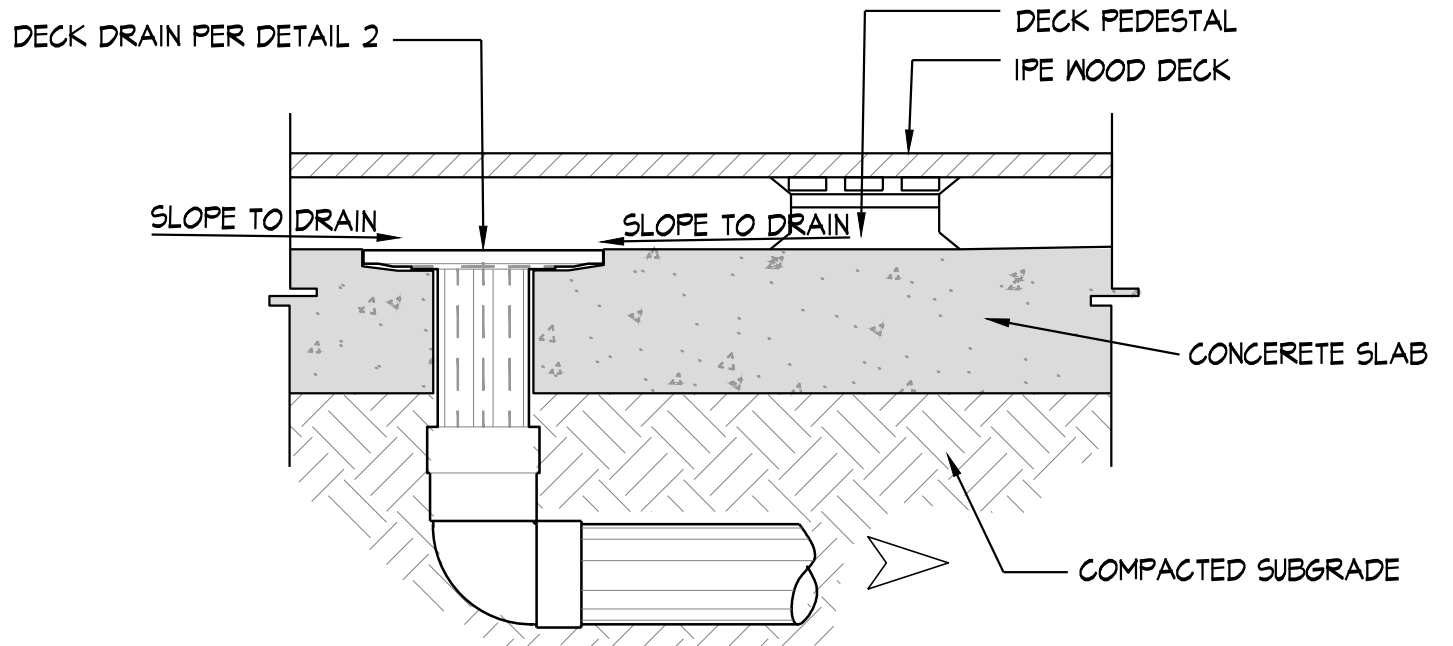


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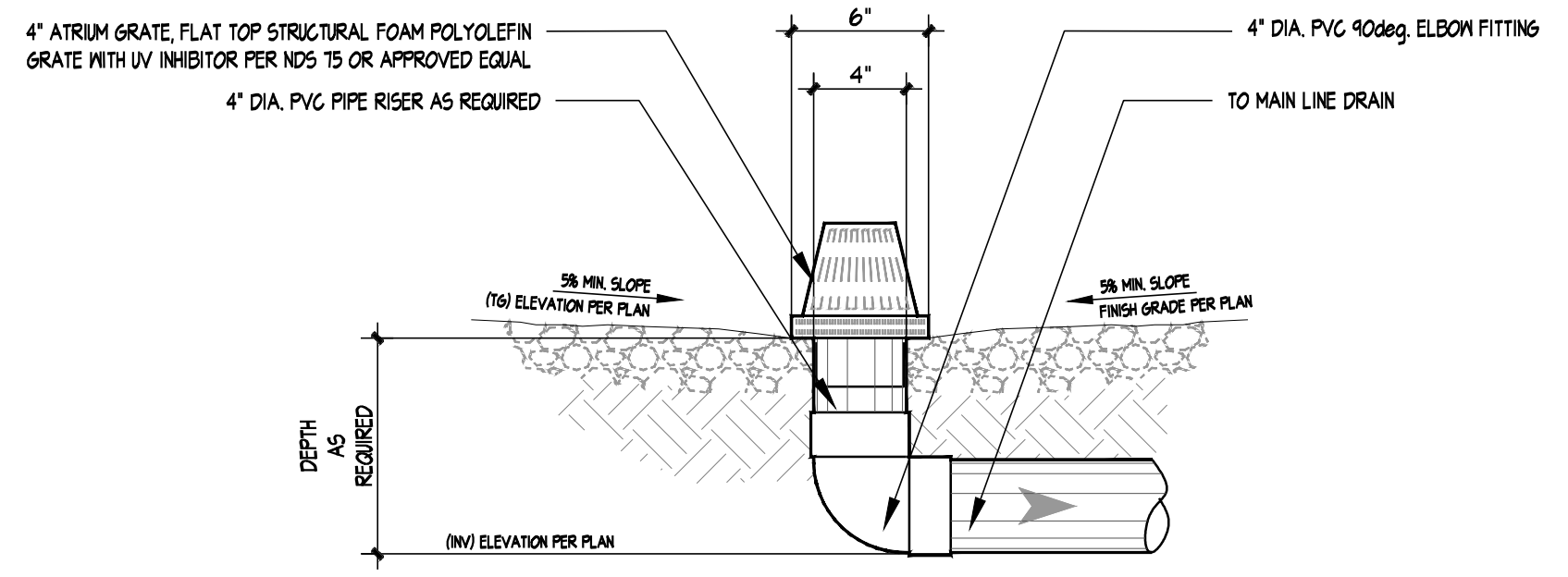




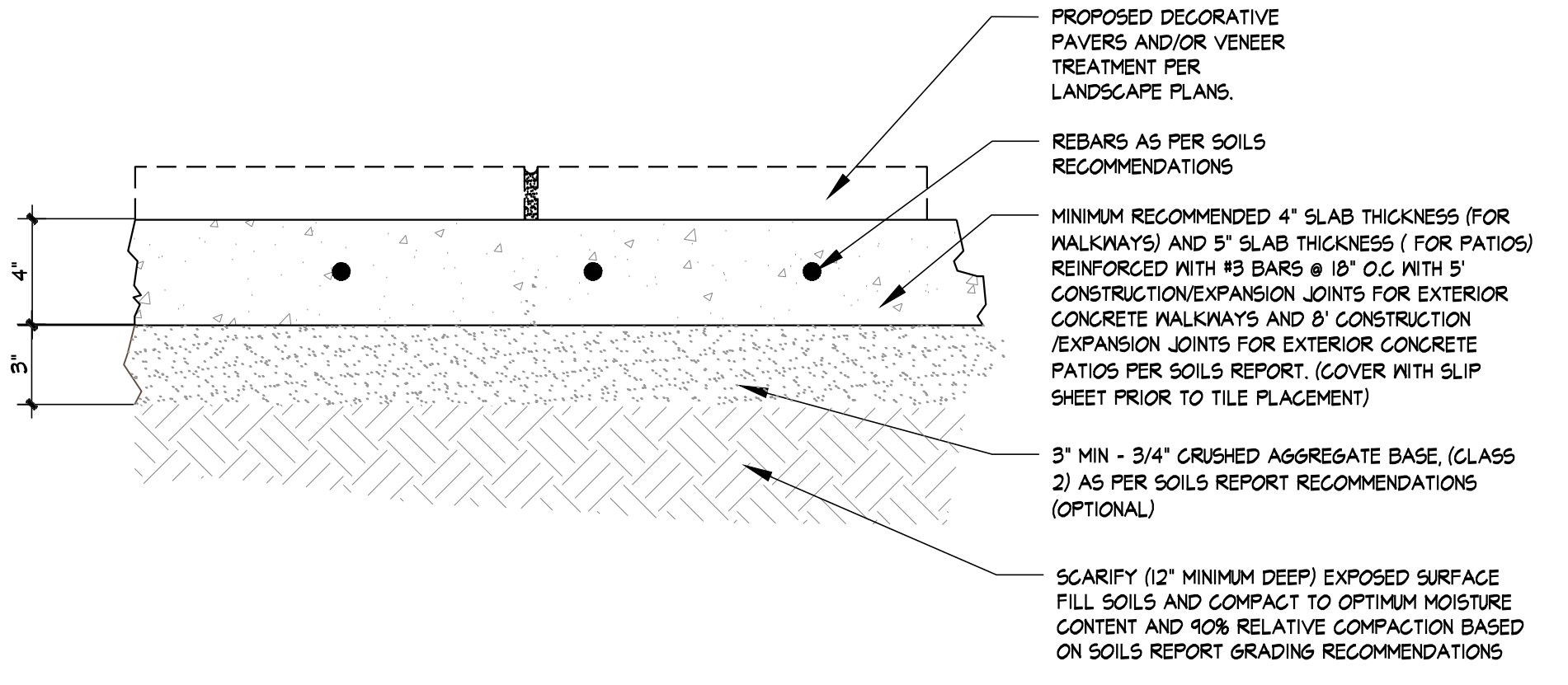
13 3' CANTILEVER WALL
SCALE: NTS



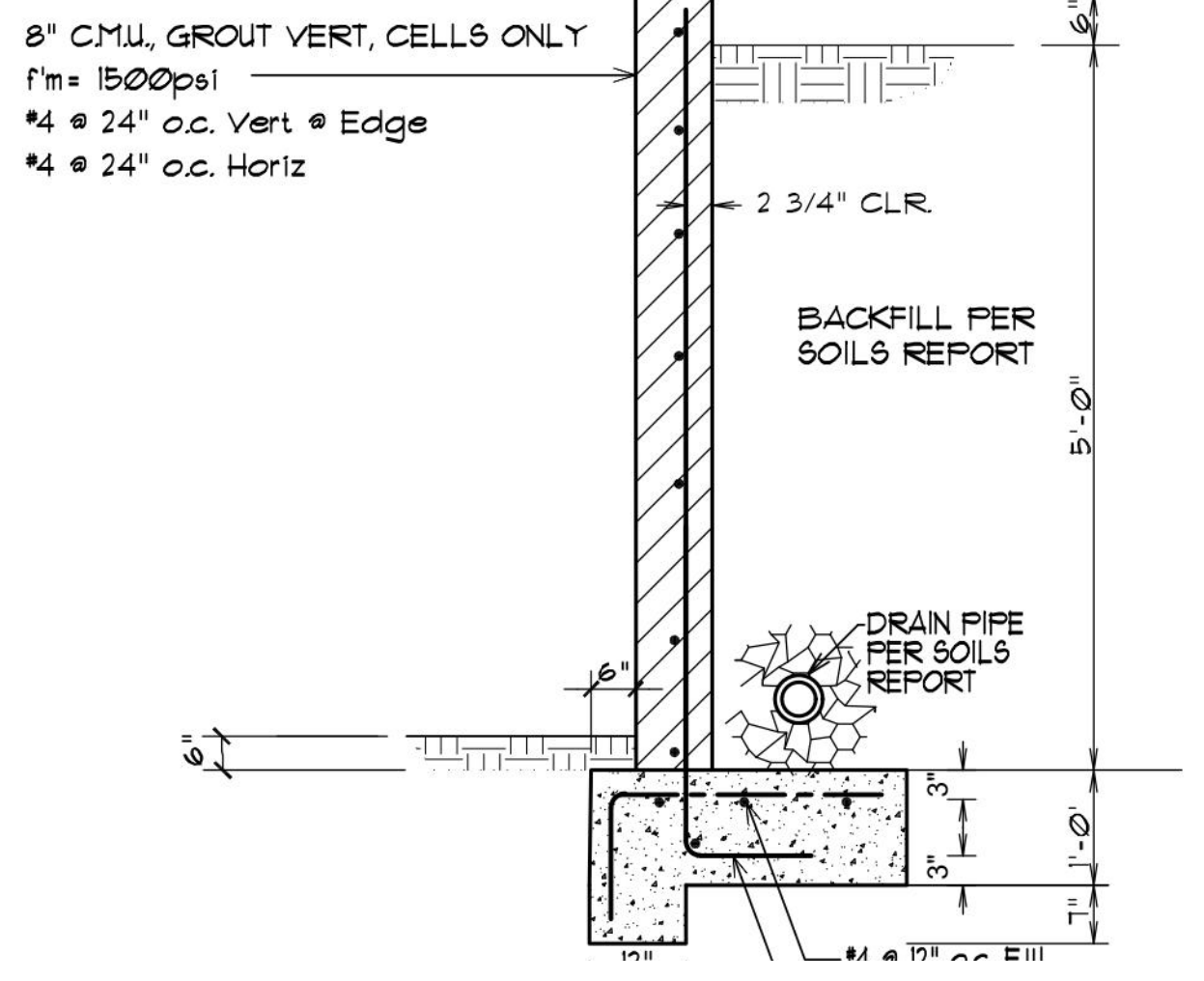
9 WOOD DECK DETAIL
SCALE: 1/12"=1'-0"



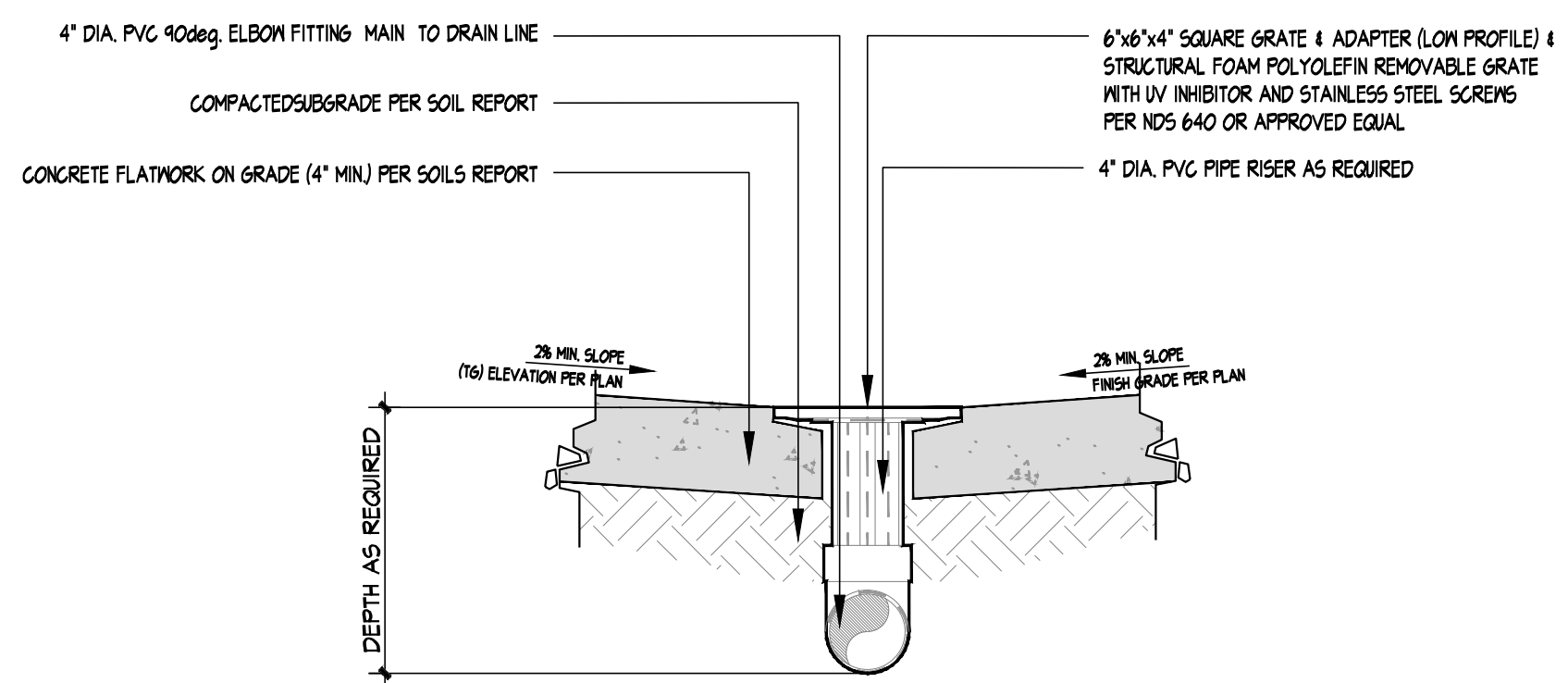
1 AREA DRAIN - ATRIUM GRATE (FINISHED GRADE)
SCALE: 1/12"=1'-0"



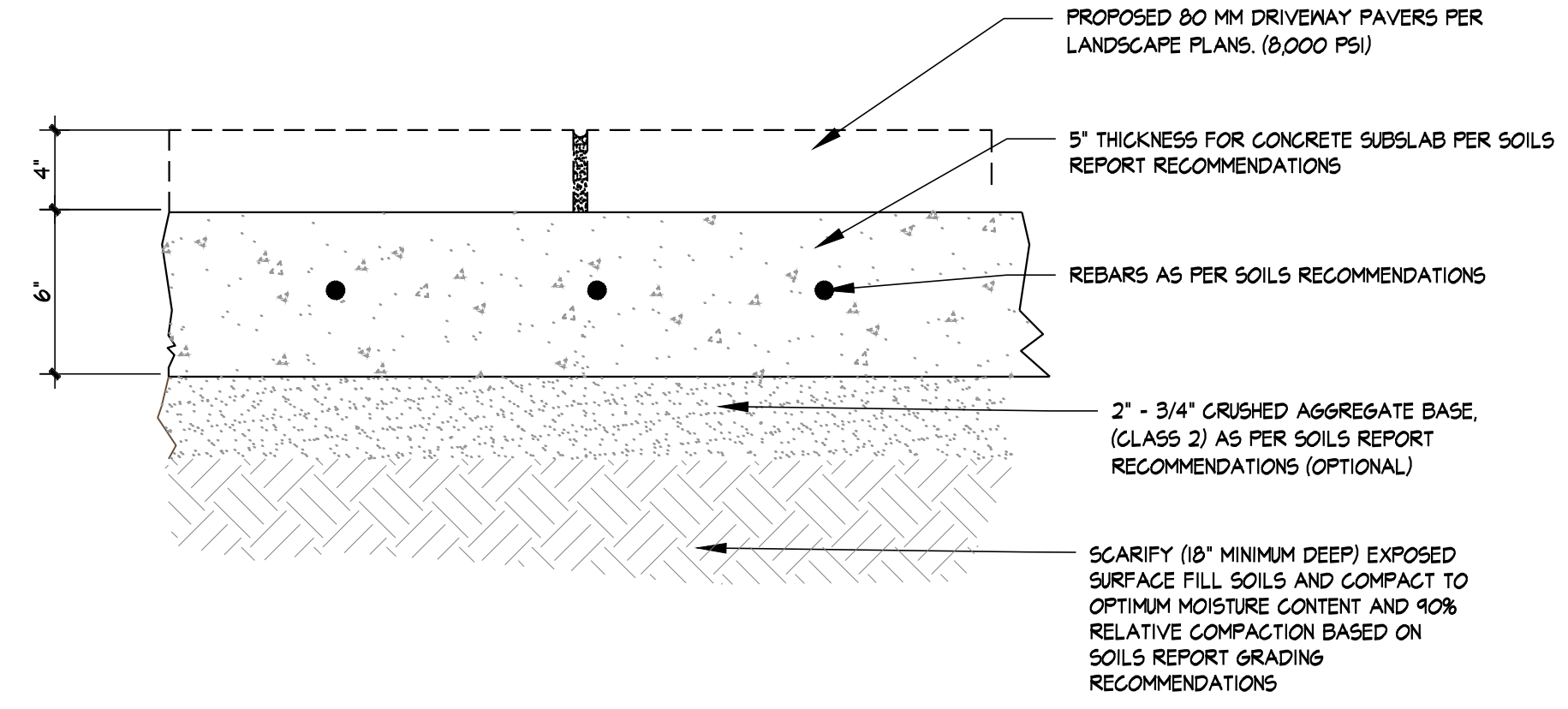
11 TYPICAL FLATWORK SECTION
SCALE: 1/12"=1'-0"



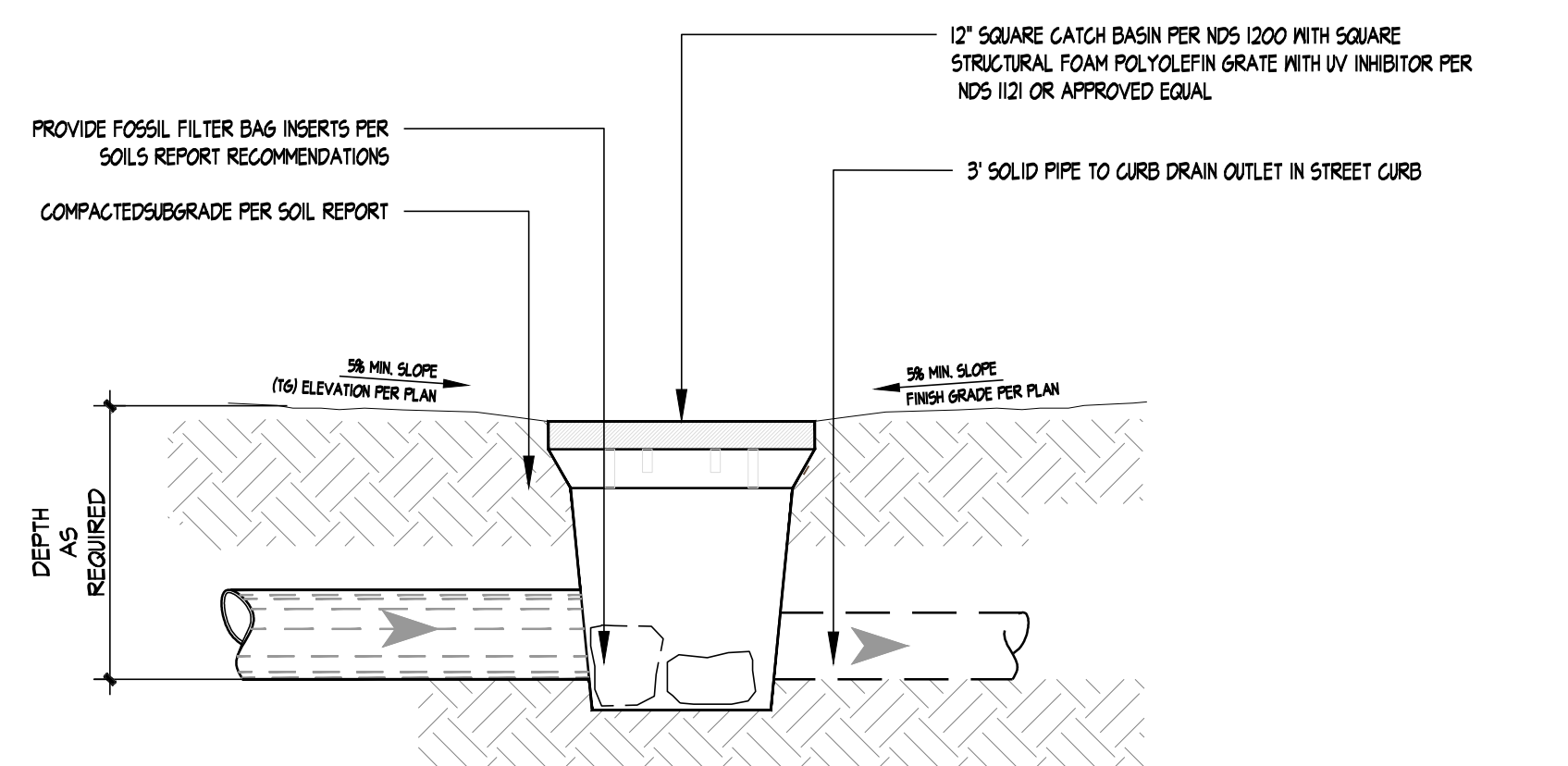
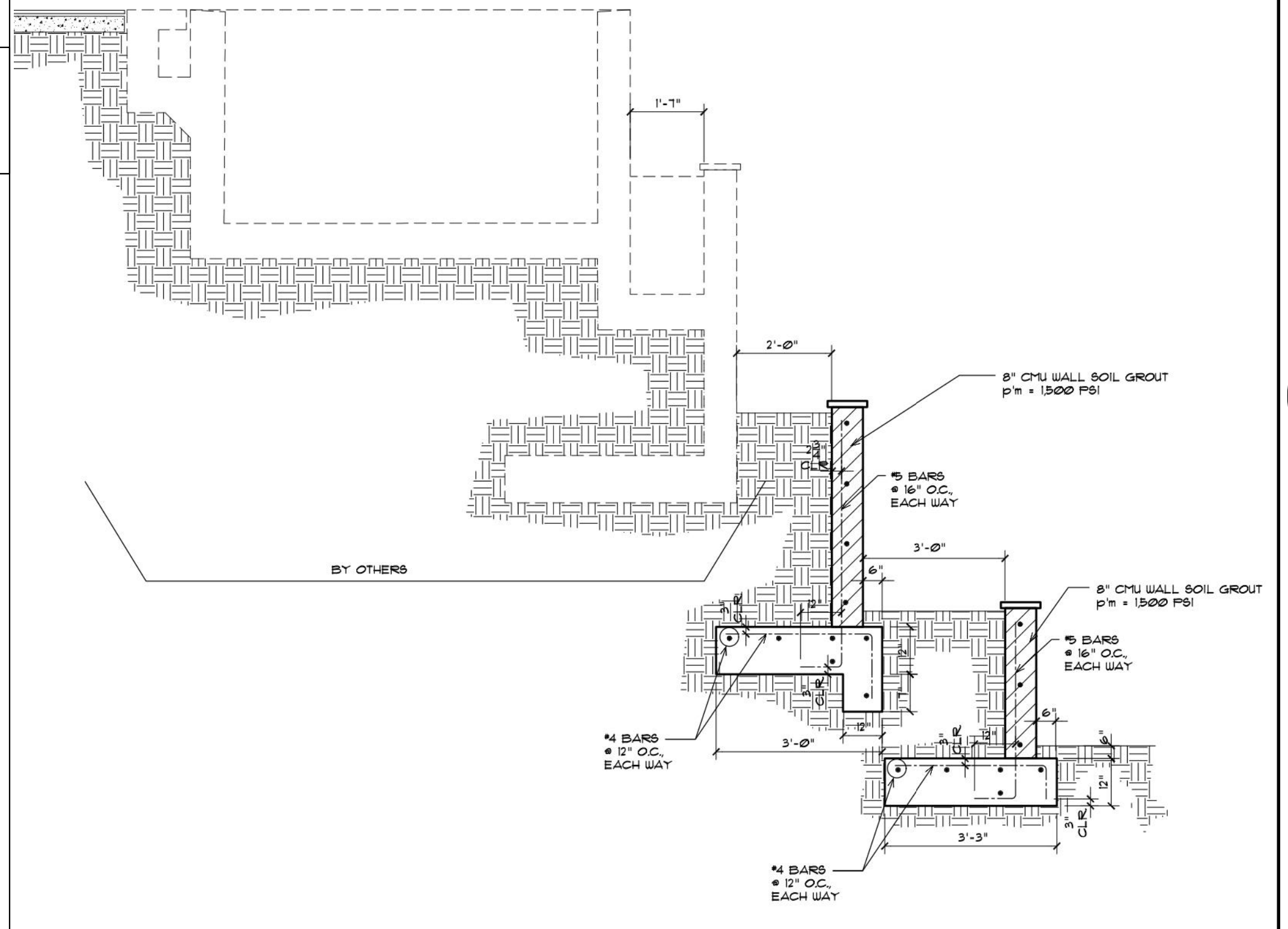
18 SITE RETAINING WALL (FOR REFERENCE PER BLD21-0935)
SCALE: NTS



2 AREA DRAIN - SQUARE GRATE (FINISHED SURFACE)
SCALE: 1/12"=1'-0"



12 TYPICAL DRIVEWAY PAVER SECTION
SCALE: 1/12"=1'-0"



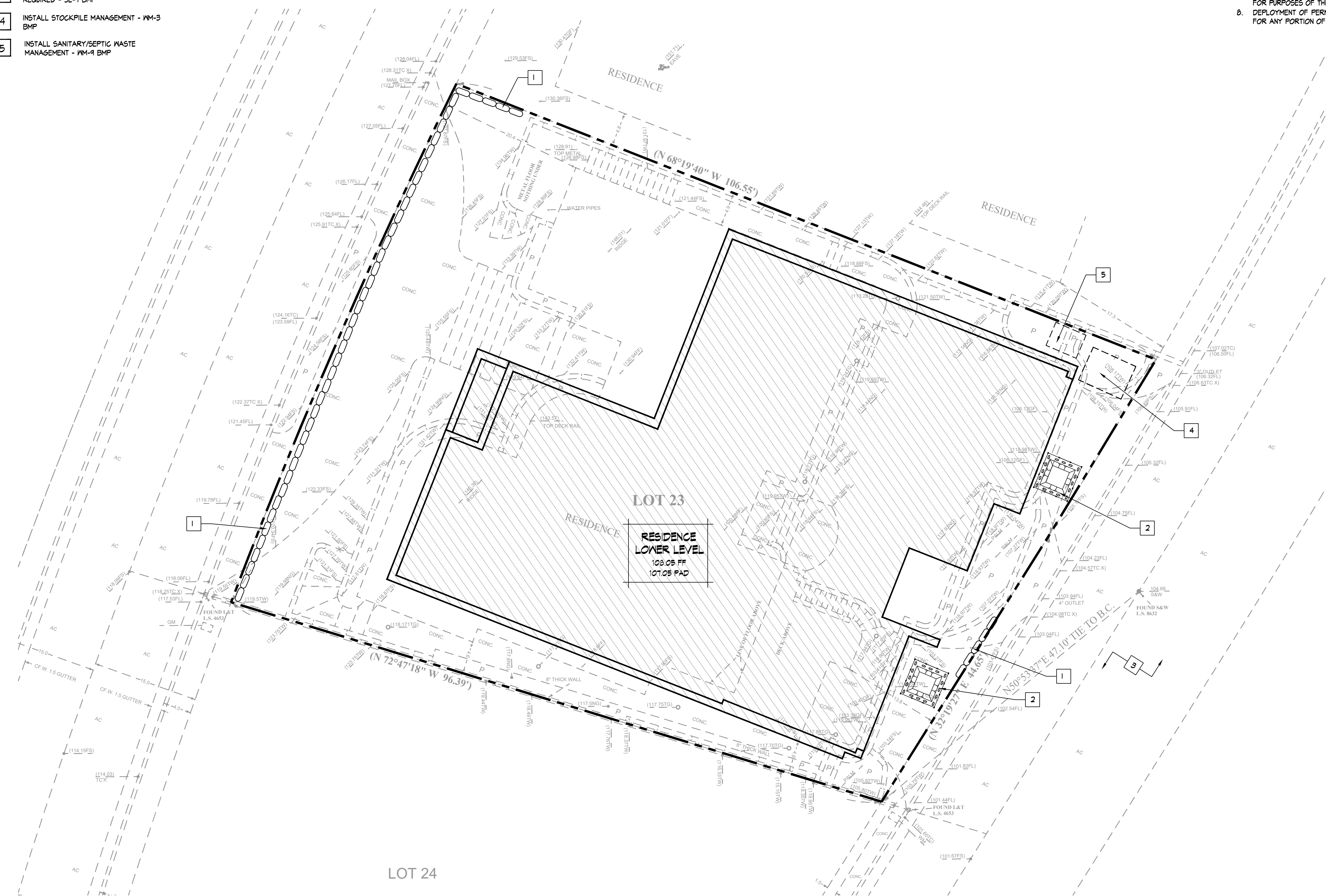
6 MAIN DRAIN OUTLET
SCALE: 1/12"=1'-0"

N.P.D.E.S. NOTES:

- IN CASE OF EMERGENCY, CALL NOLAN MEAD/C.L. LIGHT ASSOCIATES AT PHONE # (949) 287-9373.
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, AND SPILLS, SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHINGS SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITES AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER, ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 & 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLEES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC FLUIDS; RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLES/ EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, THE PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITEE AND CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PERMITEE AND CONTRACTOR SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOILS SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OF ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

EROSION CONTROL NOTES:

- INSTALL TEMPORARY EROSION CONTROL GRAVEL BAGS - 2 HIGH SE-6 BMP
- INSTALL TEMPORARY CONCRETE WASH OUT BASIN WITH PLASTIC LINER - WM-3 BMP
- STREET SWEEPING AND VACUUMING AS REQUIRED - SE-7 BMP
- INSTALL STOCKPILE MANAGEMENT - WM-3 BMP
- INSTALL SANITARY/SEPTIC WASTE MANAGEMENT - WM-9 BMP



PLAN
SCALE: 1/8"=1'-0"

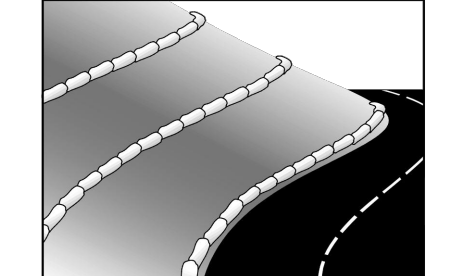
WET SEASON REQUIREMENTS (OCTOBER-APRIL)

- WHERE APPROPRIATE SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AT THE SITE PERIMETER, AT ALL OPERATIONAL STORM DRAIN INLETS, AND AT ALL NON-ACTIVE SLOPES, TO PROVIDE SUFFICIENT PROTECTION FOR STORMS LIKELY TO OCCUR DURING THE RAINY SEASON.
- ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs (TEMPORARY OR PERMANENT) SHALL BE INSTALLED AND ESTABLISHED FOR ALL COMPLETED SLOPES PRIOR TO THE START OF THE RAINY SEASON. THESE BMPs MUST BE MAINTAINED THROUGHOUT THE RAINY SEASON. IF A SLEIGHT BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE BMP AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP MAY INDICATE THAT THE BMP AS INSTALLED, HAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENTS MUST RESULT IN A MORE ROBUST BMP, OR ADDITIONAL BMPs SHOULD BE INSTALLED TO PROVIDE ADEQUATE PROTECTION.
- THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED RAINSTORM.
- A DISTURBED AREA THAT IS NOT COMPLETED BY THAT IS NOT BEING ACTIVELY GRADED (NON-ACTIVE AREA) SHALL BE FULLY PROTECTED FROM EROSION WITH TEMPORARY OR PERMANENT BMPs (EROSION AND SEDIMENT CONTROL). THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. EROSION AND SEDIMENT CONTROL BMPs MUST ACTUALLY BE DEPLOYED. THIS INCLUDES ALL BUILDING PADS, UNFINISHED ROADS, AND SLOPES.
- SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY EROSION AND SEDIMENT BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SOIL DISCHARGES SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PERMANENT PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.

DRY SEASON REQUIREMENTS (MAY-SEPTEMBER)

- WIND EROSION BMPs (DUST CONTROL) SHALL BE IMPLEMENTED.
- SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED AT ALL OPERATIONAL STORM DRAIN INLETS.
- BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING SHALL BE IMPLEMENTED AND MAINTAINED.
- APPROPRIATE WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER BY WASTES AND CONSTRUCTION MATERIALS.
- APPROPRIATE NON-STORM WATER BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER FROM CONSTRUCTION ACTIVITIES.
- THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM IS DEFINED AS A FORECASTED 50% CHANCE OF RAIN). SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY SEDIMENT CONTROL BMPs (AT THE SITE PERIMETER, SITE SLOPES AND OPERATIONAL INLETS WITHIN THE SITE) NECESSARY TO PREVENT SEDIMENT DISCHARGES FROM EXPOSED PORTIONS OF THE SITE SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs AS DESCRIBED IN ITEM 4 ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
- DEPLOYMENT OF PERMANENT EROSION CONTROL BMPs (PHYSICAL OR VEGETATION) SHOULD COMMENCE AS SOON AS PRACTICAL ON SLOPES THAT ARE COMPLETED FOR ANY PORTION OF THE SITE. STANDBY BMP MATERIALS SHOULD NOT BE RELIED UPON TO PREVENT EROSION OF SLOPES THAT HAVE BEEN COMPLETED.

Gravel Bag Berm SE-6

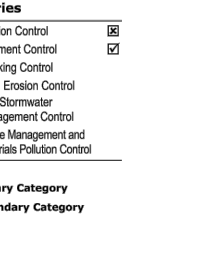


Description and Purpose
A gravel bag berm is a series of gravel-filled bags placed on a sediment control BMP. Gravel bags prevent sheet flow runoff, allowing sediment to settle out, and release runoff slowly to prevent erosion.

Subtable Applications
- Along the toe of a slope and suitable slopes
- As sediment traps at culvert/pipe outlets
- Below other small cleared areas
- Along the perimeter of a site
- Down slope of exposed soil areas
- Around temporary stockpiles and spill areas
- Available for use in temporary sediment control areas
- Along stream and channels

Potential Alternatives
SE-18 Straw
SE-19 Straw
SE-20 Straw
SE-21 Temporary SE-6
SE-22 Straw

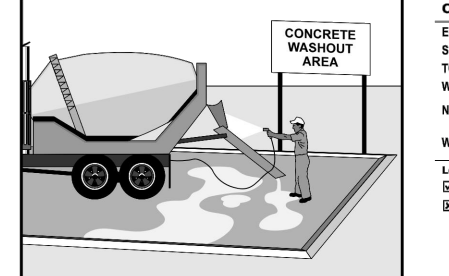
Concrete Waste Management WM-8



Description and Purpose
Prevent the discharge of pollutants to stormwater from concrete waste by collecting without waste or effluents in a designated area, and for employee and subcontractor training.

Subtable Applications
Concrete waste management procedures and practices are implemented on construction projects where:
- Concrete is used as a construction material or where concrete dust and debris result from demolition activities.
- Barriers containing portland cement concrete (PCC) are generated, such as from saw cutting, concrete grinding, grinding, and hydro-concrete demolition.

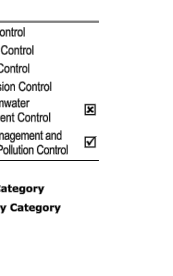
Street Sweeping and Vacuuming SE-7



Description and Purpose
Street sweeping and vacuuming include use of self-propelled and walk-behind equipment to remove sediment from streets and roadways, and to clean paved surfaces in preparation for the project site from entering streets, drains or receiving waters.

Subtable Applications
Sweeping and vacuuming are suitable wherever sediment is tracked from the project site onto public or private paved streets and roads, typically at points of access. Sweeping and vacuuming are also applicable during preparation of paved surfaces for final paving.

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate soil and sediment pollution from stockpiles of soil, paving materials such as portland cement concrete (PCC) blocks, asphalt concrete (AC), crushed concrete rubble, aggregate base, aggregate sub-base or crushed aggregate, asphalt millings, or "cold" soil mix, asphalt, and soils.

Subtable Applications
Implement in all projects that stockpile soil and other materials.

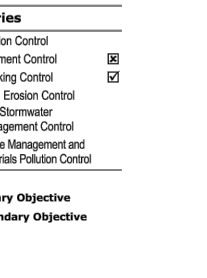
Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Subtable Applications
Sanitary waste management practices are suitable for use at all construction sites that use temporary or portable sanitary and septic waste systems.

Gravel Bag Berm SE-6



Description and Purpose
A gravel bag berm is a series of gravel-filled bags placed on a sediment control BMP. Gravel bags prevent sheet flow runoff, allowing sediment to settle out, and release runoff slowly to prevent erosion.

Subtable Applications
- Along the toe of a slope and suitable slopes
- As sediment traps at culvert/pipe outlets
- Below other small cleared areas
- Along the perimeter of a site
- Down slope of exposed soil areas
- Around temporary stockpiles and spill areas
- Available for use in temporary sediment control areas
- Along stream and channels

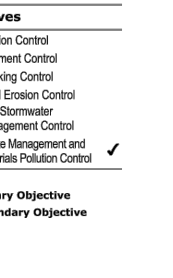
Concrete Waste Management WM-8



Description and Purpose
Prevent the discharge of pollutants to stormwater from concrete waste by collecting without waste or effluents in a designated area, and for employee and subcontractor training.

Subtable Applications
Concrete waste management procedures and practices are implemented on construction projects where:
- Concrete is used as a construction material or where concrete dust and debris result from demolition activities.
- Barriers containing portland cement concrete (PCC) are generated, such as from saw cutting, concrete grinding, grinding, and hydro-concrete demolition.

Street Sweeping and Vacuuming SE-7



Description and Purpose
Street sweeping and vacuuming include use of self-propelled and walk-behind equipment to remove sediment from streets and roadways, and to clean paved surfaces in preparation for the project site from entering streets, drains or receiving waters.

Subtable Applications
Sweeping and vacuuming are suitable wherever sediment is tracked from the project site onto public or private paved streets and roads, typically at points of access. Sweeping and vacuuming are also applicable during preparation of paved surfaces for final paving.

PLANS PREPARED BY:
d'zn engineering
166 MATISSE CIRCLE
ALISO VIEJO, CA 92656
TEL: (949) 305-8420
CLIENT:
193 Emerald Bay Drive, Laguna Beach, CA 92651
SHEET_TITLE

EROSION CONTROL PLAN

PROJECT ADDRESS
193 Emerald Bay Drive, Laguna Beach, CA 92651

BENCHMARK

BASIS OF BEARING

APN: 053-040-21

THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF:



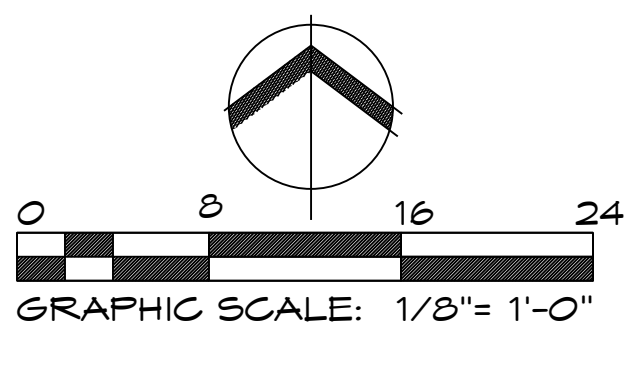
DATE: 04-JAN-2023
ENGINEER: R. DEMA-ALA
CHECKER: R. DEMA-ALA

PROJECT No. 2162

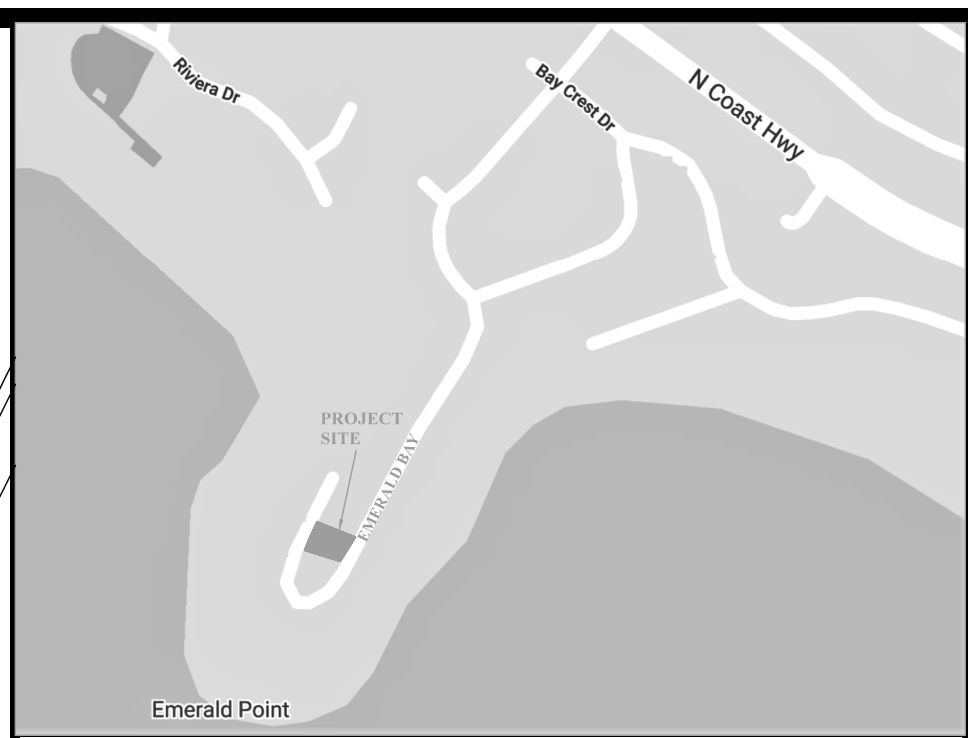
REVISIONS
Δ
Δ
Δ

STATUS: SUBMITAL 1

SHEET: 6 OF 7 SHEETS
G-06



LEGEND	
	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
#	BRICK
=	DECK
---	WALL
---	BUILDING
---	PROPERTY LINE
-X-	FENCE
●	BENCH MARK
A.C.	ASPHALT
C.F.	CURB FACE
CDNC.	CONCRETE
C.P.	CONTROL POINT
E.P.	EDGE OF PAVEMENT
F.F.	FINISH FLOOR
FL	FLOWLINE
F.S.	FINISHED SURFACE
G.F.	GARAGE FLOOR
G.M.	GAS METER
L&T	LEAD & TAG
M.H.	MAN-HOLE
N.G.	NATURAL GRADE
P	PLANTER
P.P.	POWER POLE
TC	TOP OF CURB
T.G.	TOP-GRADE
T.D.R.	TOP OF ROOF
S&W	SPIKE & WASHER
WM	WATER METER



VICINITY MAP
NOT TO SCALE

ADDRESS OF PROJECT

193 EMERALD BAY
LAGUNA BEACH, CA

PREPARED FOR

ROB GIEM

LEGAL DESCRIPTION

LOT 23 OF TRACT MAP NO. 1104
APN 053-040-21

BENCH MARK

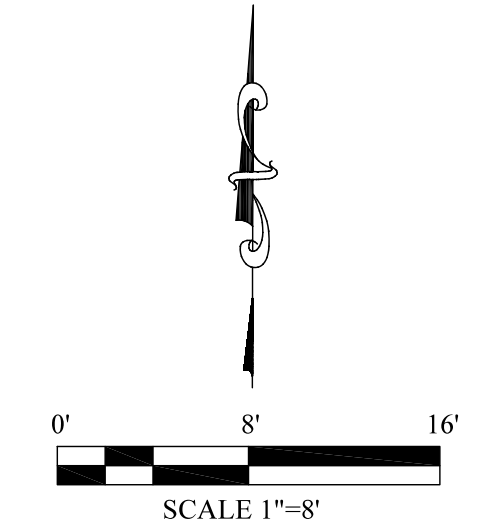
COUNTY OF ORANGE BM #E-783.
ELEVATION = 99.74 NAVD 88 DATUM.

TOPOGRAPHIC SURVEY

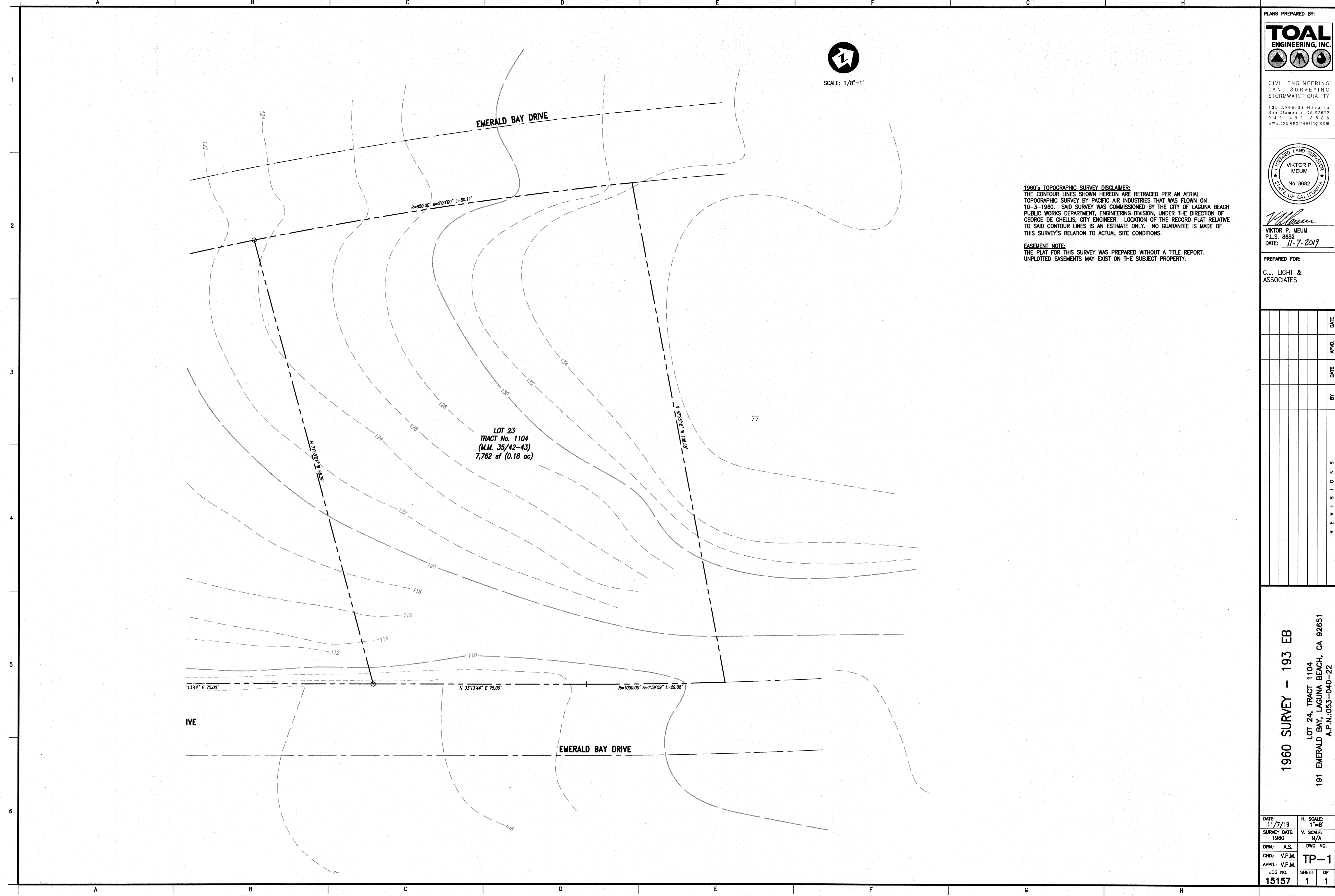
JOB: 85-49 DATE: 2/4/22

RdM SURVEYING INC.

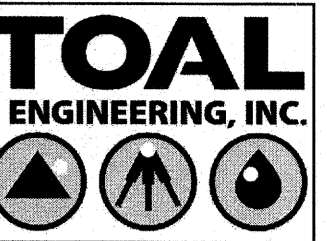
RON MIEDEMA L.S. 4653
23016 LAKE FOREST DRIVE #409
LAGUNA HILLS, CA 92653
(949) 858-2924 OFFICE
(949) 422-1869 CELL
RDMSURVEYING@COX.NET



NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

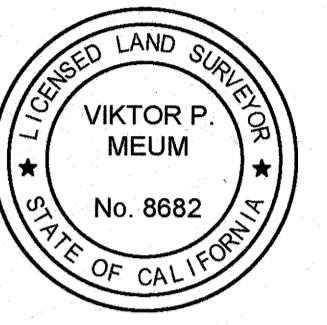


PLANS PREPARED BY:



CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

139 Avenida Navarro
San Clemente, CA 92672
949.492.5588
www.toalengineering.com



Viktor P. Meum
VICTOR P. MEUM
P.L.S. 8682
DATE: 11-7-2019

1960's TOPOGRAPHIC SURVEY DISCLAIMER:
THE CONTOUR LINES SHOWN HEREON ARE RETRACED PER AN AERIAL TOPOGRAPHIC SURVEY BY PACIFIC AIR INDUSTRIES THAT WAS FLOWN ON 10-3-1960. SAID SURVEY WAS COMMISSIONED BY THE CITY OF LAGUNA BEACH PUBLIC WORKS DEPARTMENT, ENGINEERING DIVISION, UNDER THE DIRECTION OF GEORGE DE CHELLIS, CITY ENGINEER. LOCATION OF THE RECORD PLAT RELATIVE TO SAID CONTOUR LINES IS AN ESTIMATE ONLY. NO GUARANTEE IS MADE OF THIS SURVEY'S RELATION TO ACTUAL SITE CONDITIONS.

EASEMENT NOTE:
THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

PREPARED FOR:
C.J. LIGHT &
ASSOCIATES

NO.	DATE	APVD.	DATE	BY	REVISIONS

1960 SURVEY - 193 EB
LOT 24, TRACT 1104
191 EMERALD BAY, LAGUNA BEACH, CA 92651
A.P.N.: 053-040-22

DATE: 11/7/19 H. SCALE: 1"=8'
SURVEY DATE: 1960 V. SCALE: N/A
DRN.: A.S. DWG. NO.
CHD.: V.P.M. TP-1
APPD.: V.P.M.
JOB NO. SHEET OF
15157 1 1

REVISIONS

No.	Description	Date

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT REFLECT CONSTRUCTION DRAWINGS AND SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS. ALL MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.



RESIDENTIAL AS-BUILT

193 EMERALD BAY
LAGUNA BEACH, CA 92651

(E) LEVEL 1
FLOOR PLAN

PRE JECT # 339-11104

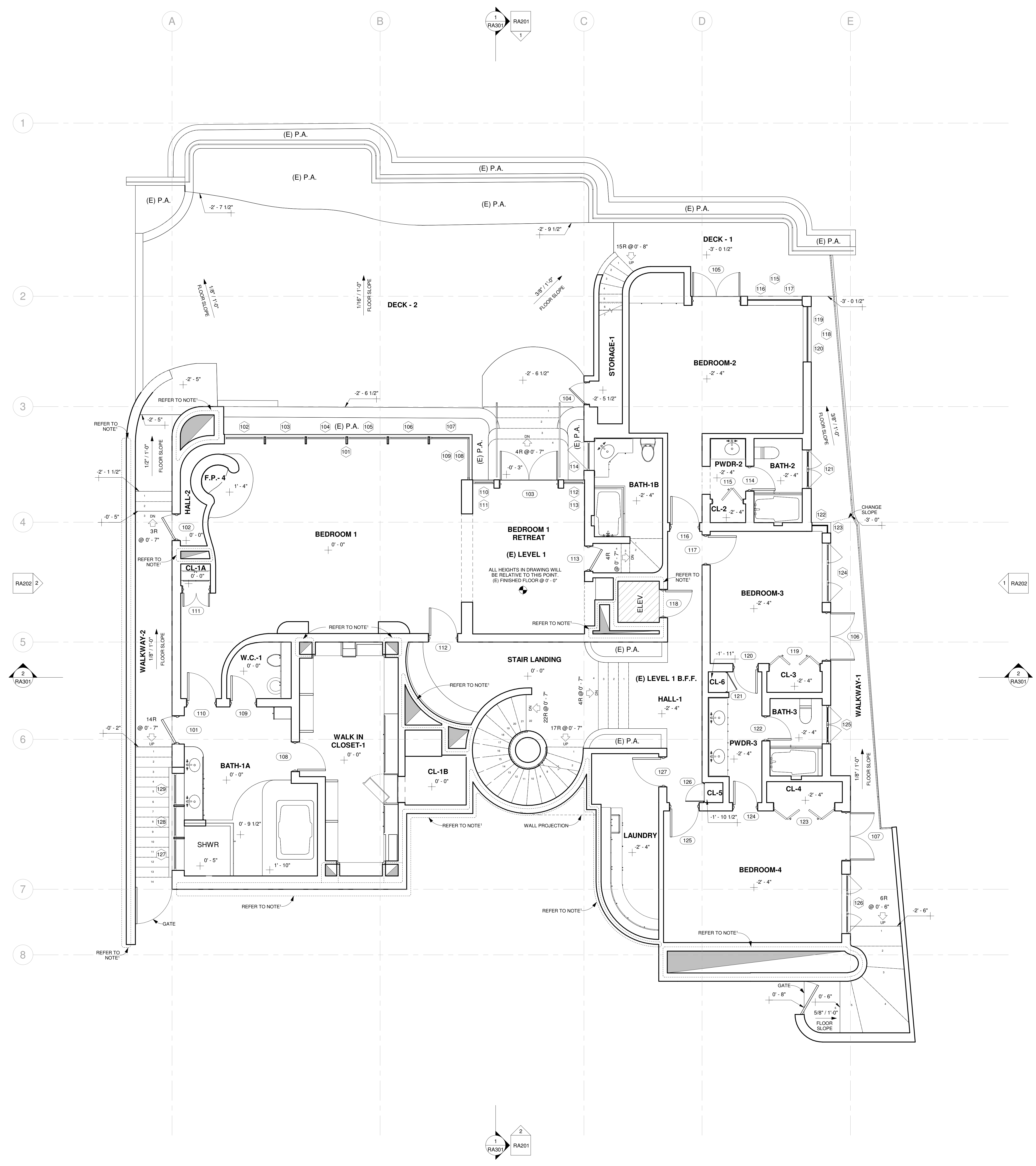
DATE 11-23-2021

PAPER SIZE ARCH E 36X48

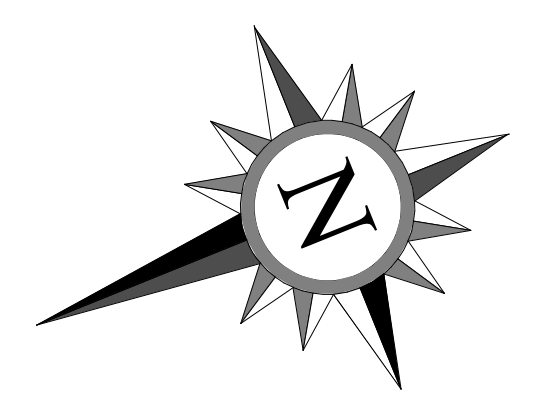
SCALE 1/4" = 1'-0"

RA101

NOTES:
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON SITE.



1 (E) LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



REVISIONS

No.	Description	Date

NOTES:
 1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON SITE.

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193 EMERALD BAY LAGUNA BEACH, CA 92651
 NOVEMBER 23, 2021
 TIME STAMP:

(E) LEVEL 2 FLOOR PLAN

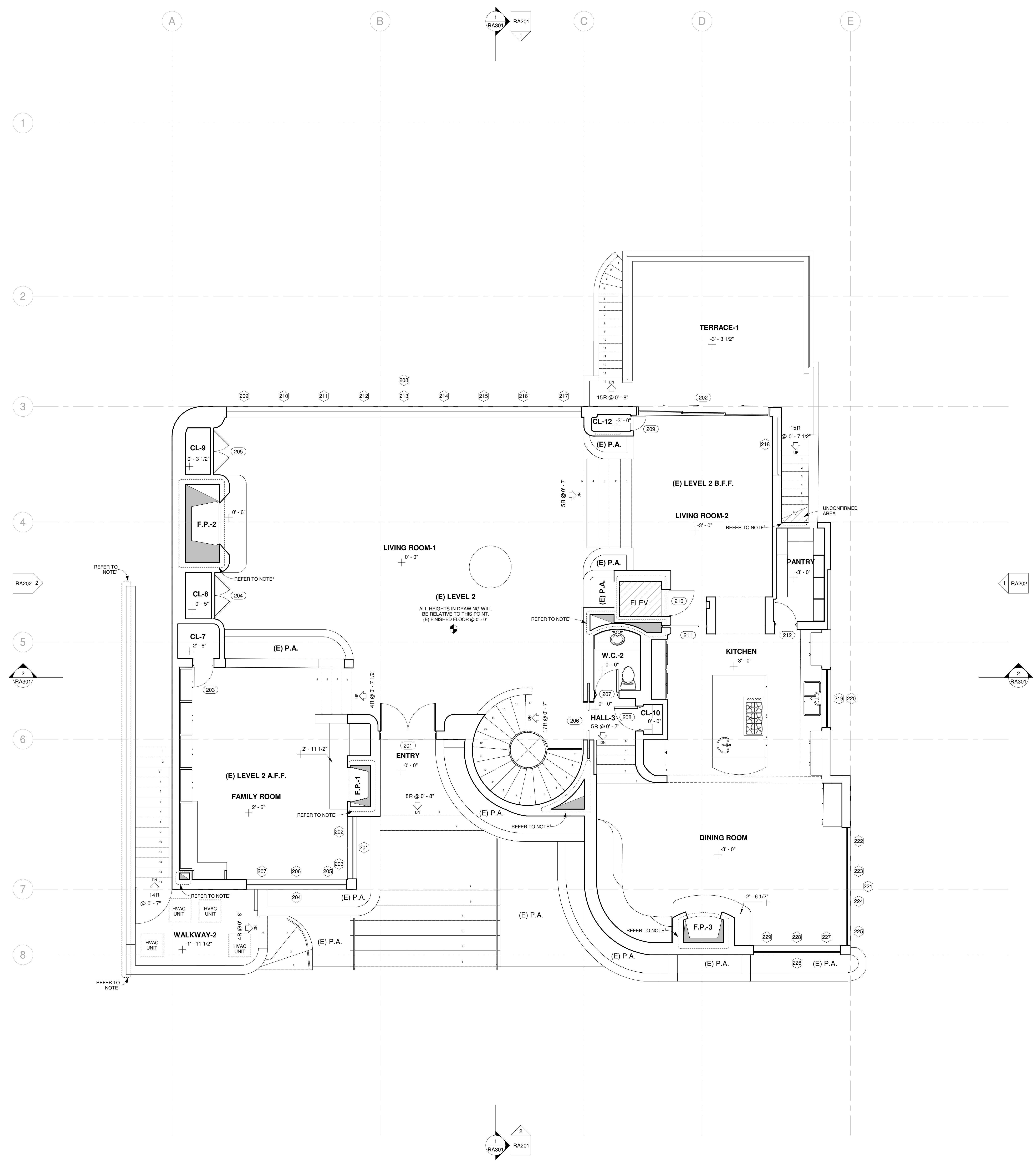
PROJECT # 339-11104

DATE 11-23-2021

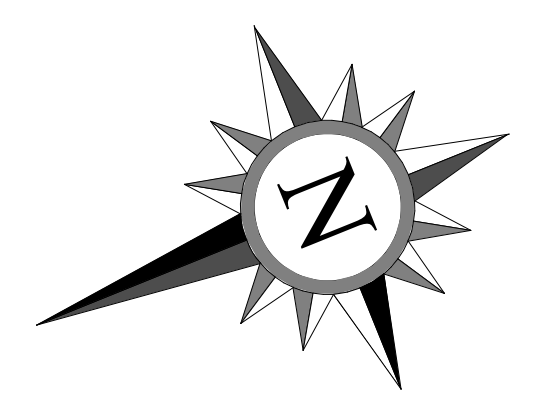
PAPER SIZE ARCH E 36X48

SCALE 1/4" = 1'-0"

RA102



1 (E) LEVEL 2 FLOOR PLAN
 1/4" = 1'-0"



REVISIONS

No.	Description	Date

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT REFLECT CONSTRUCTION DRAWINGS AND SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS. ALL MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.



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193 EMERALD BAY
LAGUNA BEACH, CA 92651

NOVEMBER 23, 2021

TIME STAMP:

(E) LEVEL 0
FLOOR PLAN

PROJECT # 339-11104

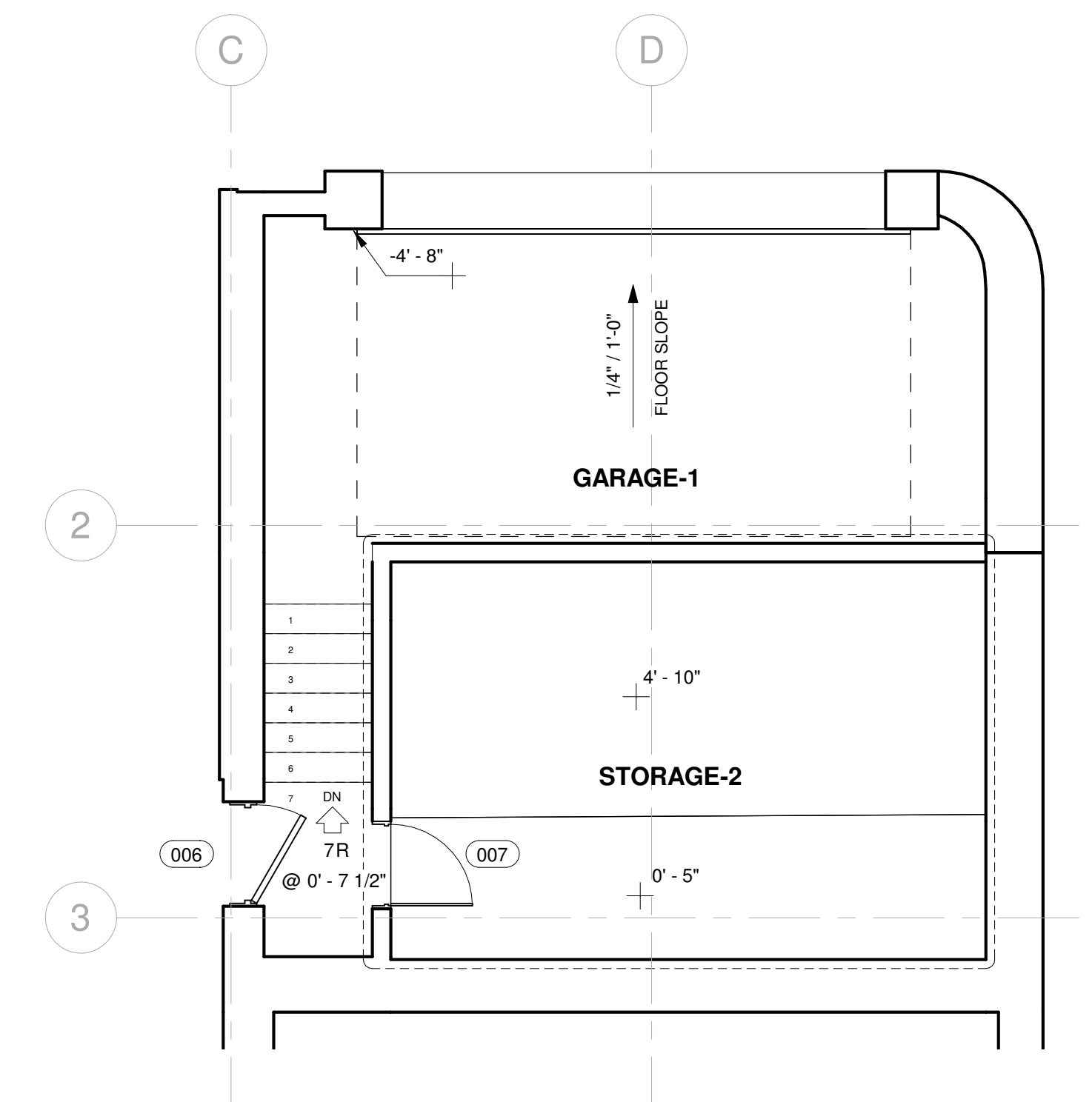
DATE 11-23-2021

PAPER SIZE
ARCH E 36X48

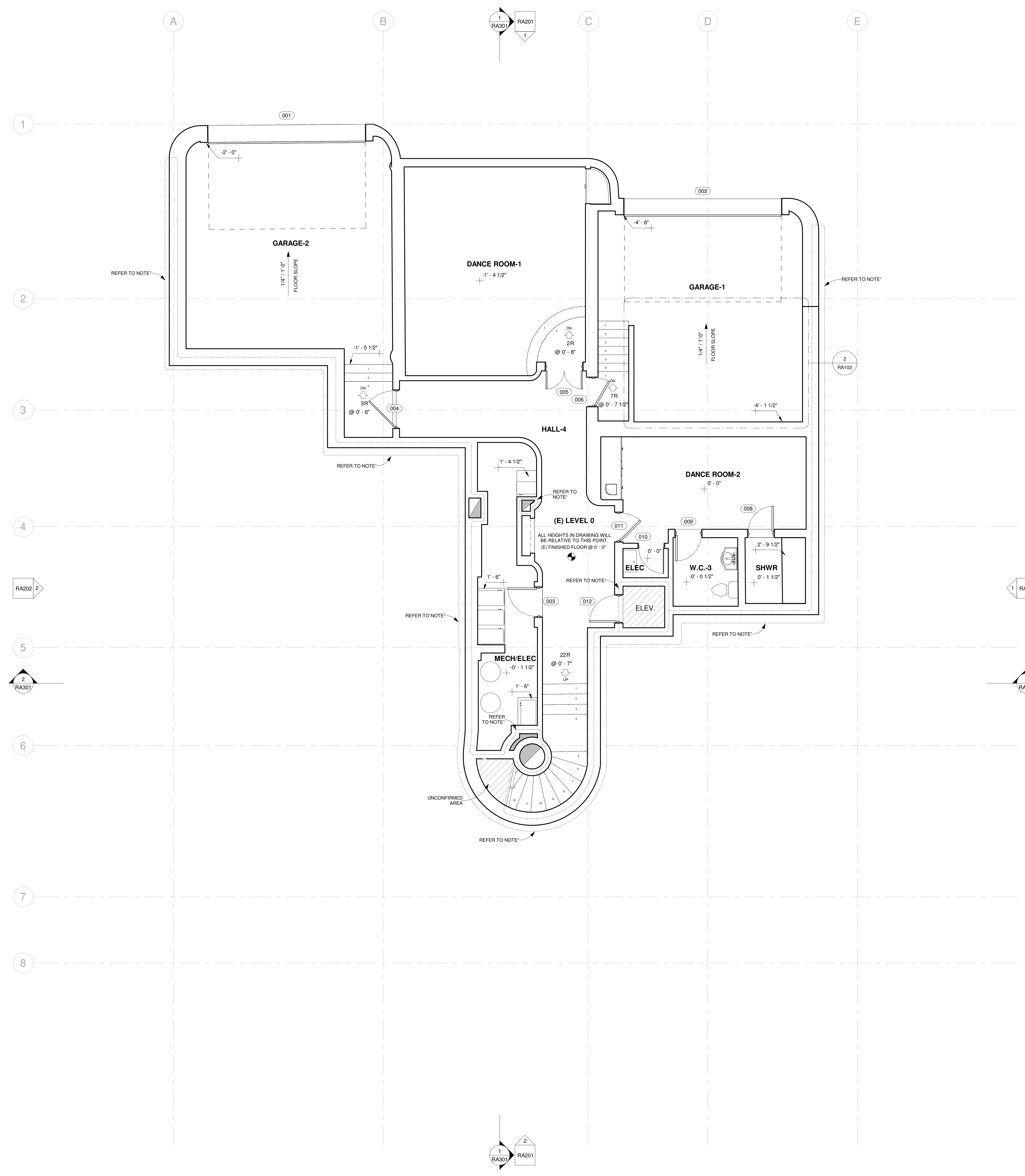
SCALE 1/4" = 1'-0"

RA103

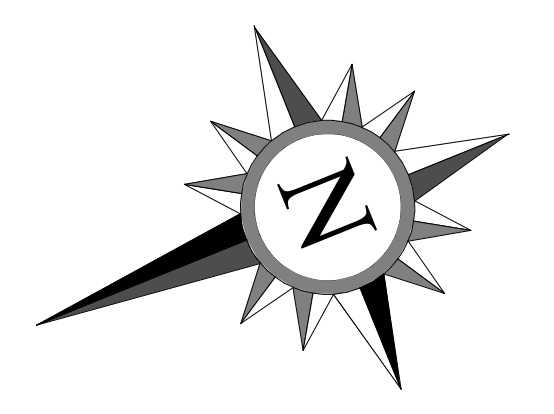
NOTES:
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON SITE.



2 (E) STORAGE-2 FLOOR PLAN
1/4" = 1'-0"



1 (E) LEVEL 0 FLOOR PLAN
1/4" = 1'-0"



REVISIONS

No.	Description	Date

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DIMENSIONS
www.dimensions.com
(323) 842-7293

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AS-BUILT

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NOVEMBER 23, 2021
TIME STAMP:

(E) ROOF PLAN

PROJECT # 339-11104

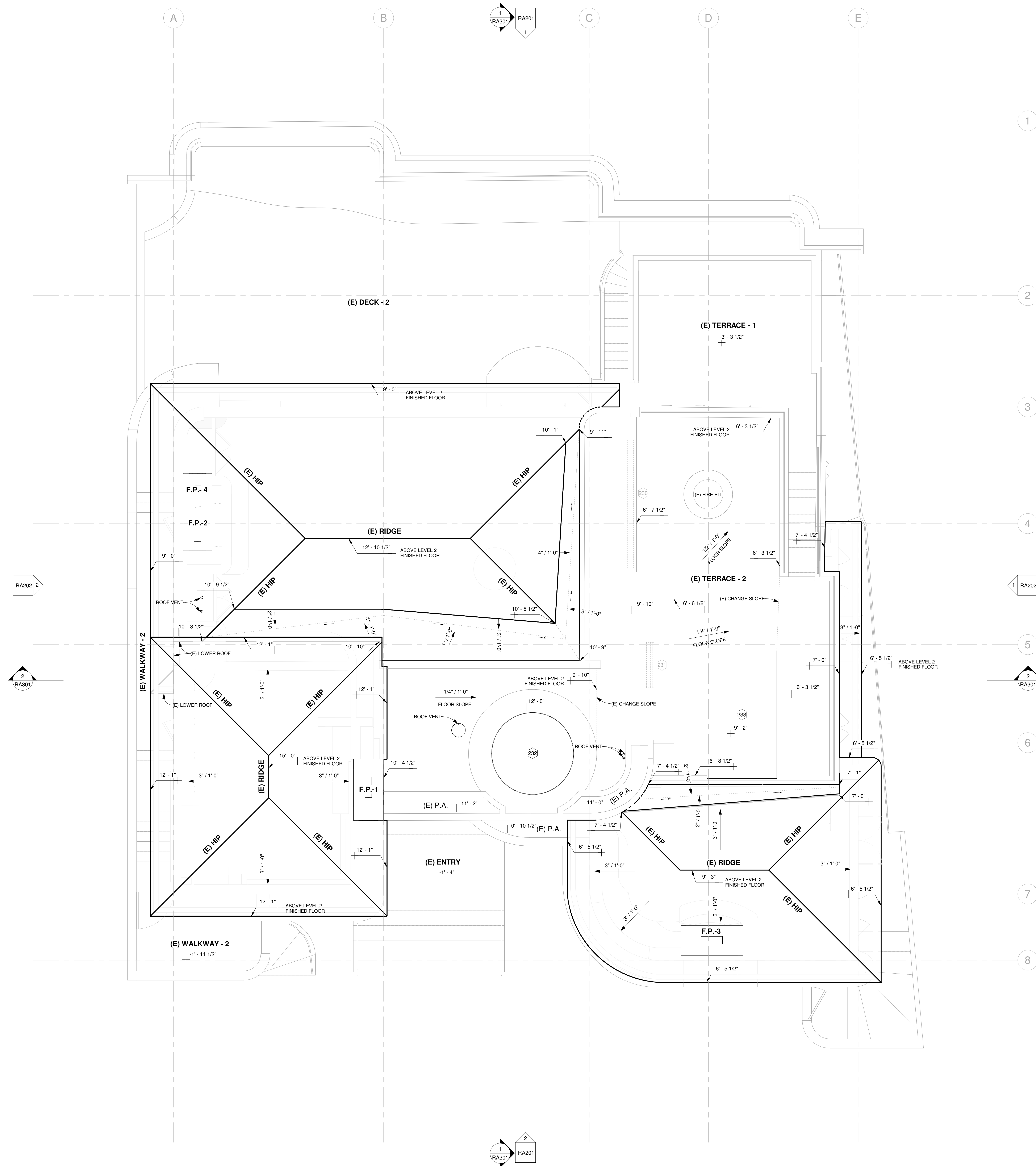
DATE 11-23-2021

PAPER SIZE
ARCH E 36X48

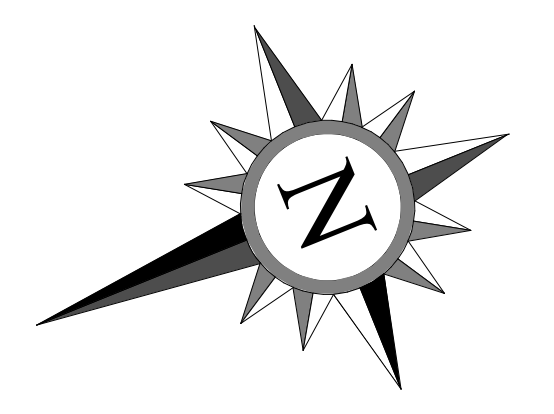
SCALE 1/4" = 1'-0"

RA104

NOTES:
1. WALL THICKNESS AND/OR VOIDS SHOWN MUST BE VERIFIED ON SITE.



1 (E) ROOF PLAN
1/4" = 1'-0"



REVISIONS

No.	Description	Date

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RESIDENTIAL AS-BUILT

193 EMERALD BAY
LAGUNA BEACH, CA 92651
NOVEMBER 23, 2021

(E) EXTERIOR ELEVATIONS - PROJECT NORTH AND SOUTH

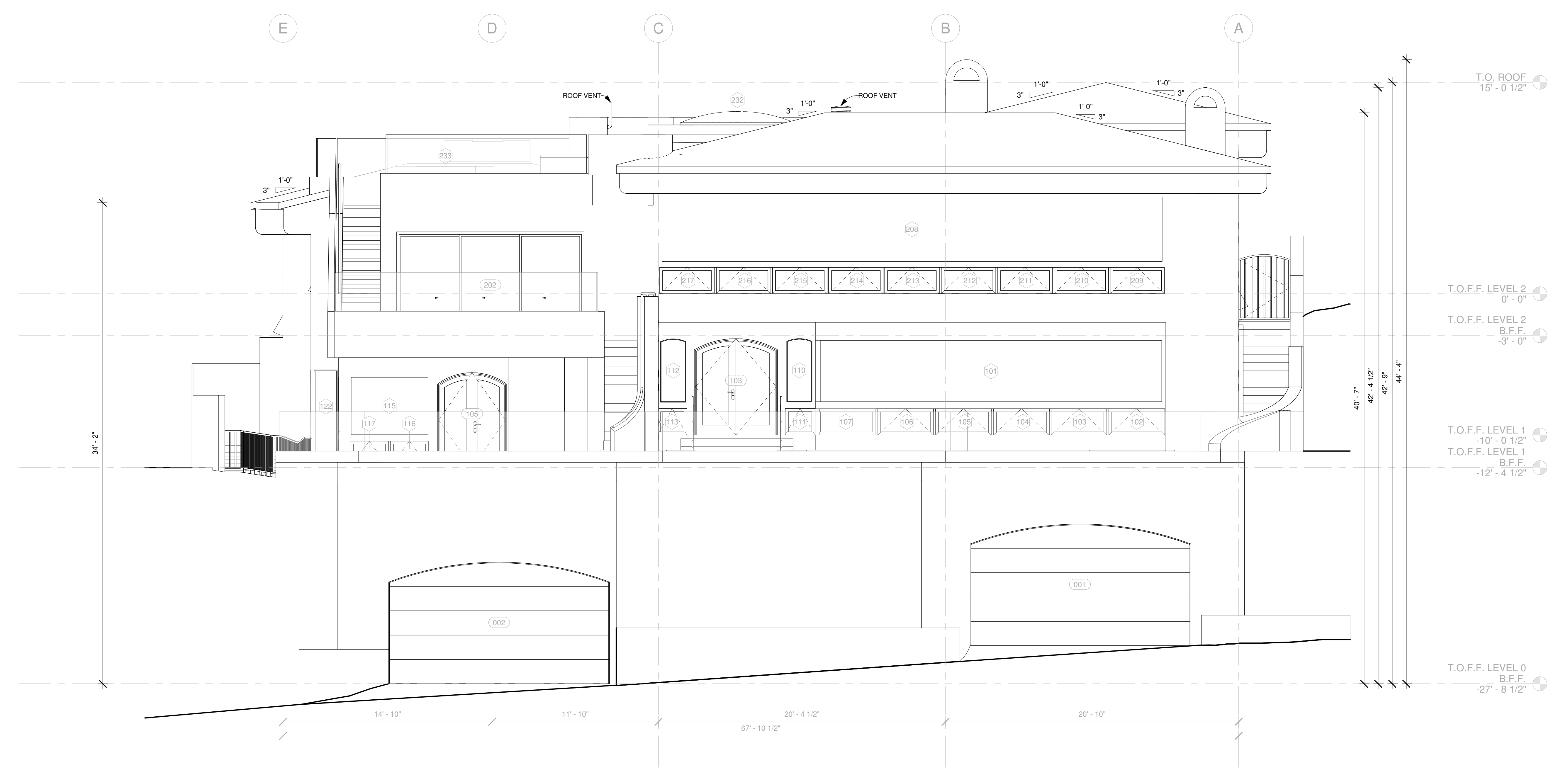
PROJECT # 339-11104

DATE 11-23-2021

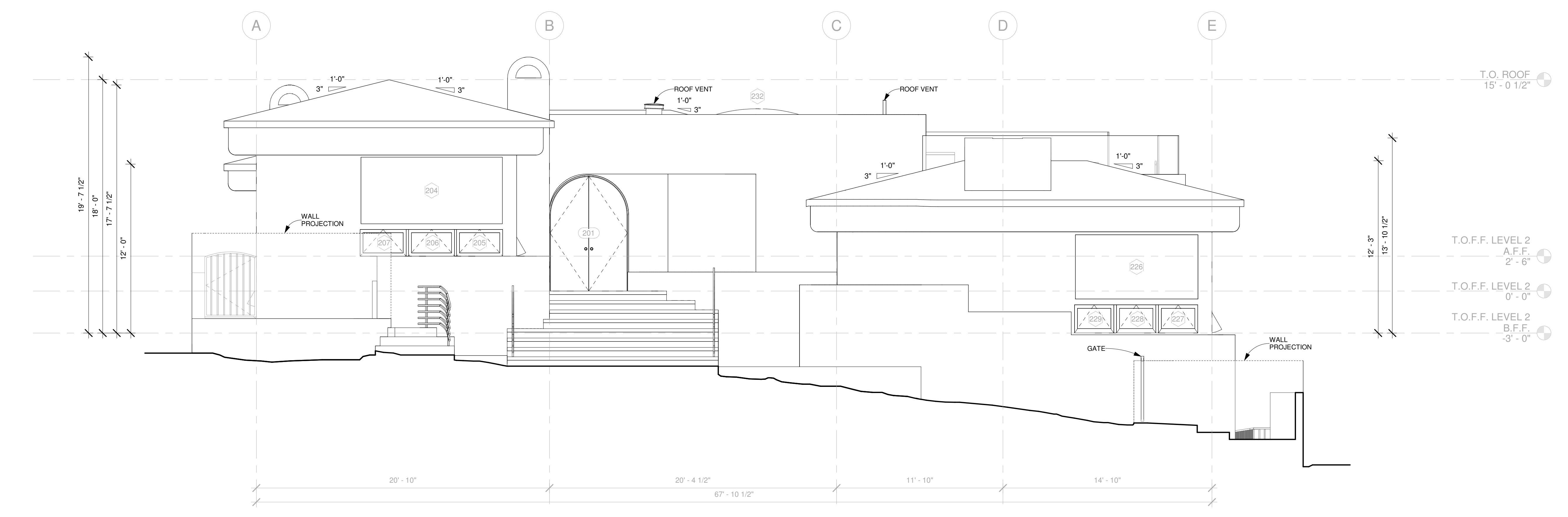
PAPER SIZE ARCH E 36X48

SCALE 1/4" = 1'-0"

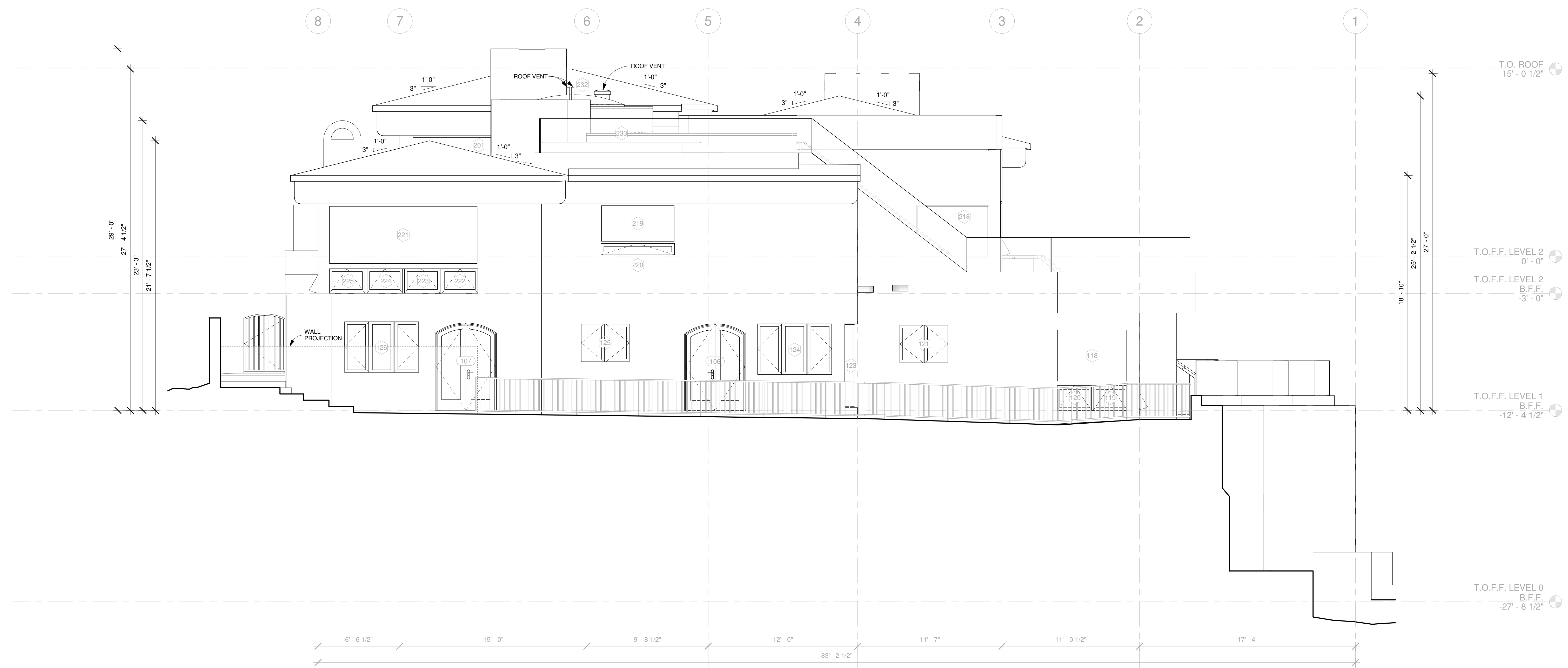
RA201



1 (E) EXTERIOR ELEVATION - PROJECT NORTH
1/4" = 1'-0"

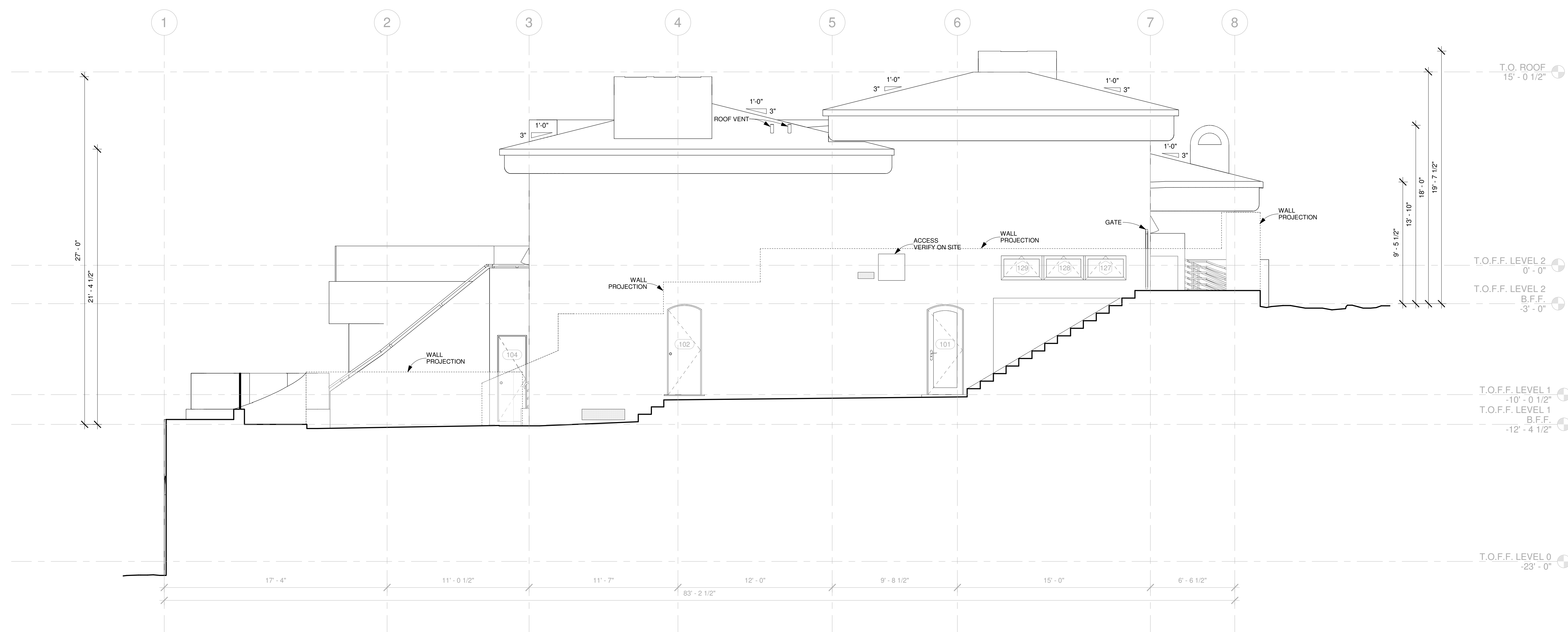


2 (E) EXTERIOR ELEVATION - PROJECT SOUTH
1/4" = 1'-0"



1 (E) EXTERIOR ELEVATION - PROJECT EAST

1/4" = 1'-0"



2 (E) EXTERIOR ELEVATION - PROJECT WEST

1/4" = 1'-0"

REVISIONS

No.	Description	Date

DISCLAIMER: DIMENSIONS HAS PROVIDED AS-BUILT DRAWINGS FOR DESIGN PURPOSES ONLY. DRAWINGS DO NOT REFLECT CONSTRUCTION DRAWINGS AND SHALL NOT BE USED FOR CONSTRUCTION DOCUMENTS. ALL MEASUREMENTS NEED TO BE CONFIRMED PRIOR TO CONSTRUCTION. THESE ARE NOT ENGINEERED DRAWINGS. SITE PLAN IS NOT A PROFESSIONAL SURVEY AND SHALL NOT BE USED FOR CIVIL ENGINEERING.



RESIDENTIAL AS-BUILT

193 EMERALD BAY LAGUNA BEACH, CA 92651

NOVEMBER 23, 2021

TIME STAMP

(E) EXTERIOR ELEVATIONS - PROJECT EAST AND WEST

PROJECT # 339-11104

DATE 11-23-2021

PAPER SIZE ARCH E 36X48

SCALE 1/4" = 1'-0"

RA202