

## SCOPE OF WORK

### SCOPE OF WORK

DEVELOPMENT IS LOCATED ON A COMMERCIAL PROPERTY ADJACENT TO THE HEBNER RESIDENCE. DEVELOPMENT TO BE USED AS AN EXTENSION OF THE HEBNER RESIDENCE FOR THEIR PERSONAL USE AND ENJOYMENT. DEVELOPMENT IMPROVEMENTS INCLUDE:

- OPEN COVERED ARENA
- OPEN COVERED ROUND PEN
- BARN
- SITE IMPROVEMENTS TO SUPPORT STRUCTURES & USES

## PHASING SCOPE OF WORK

### PHASE 1 - Site Work and Covered Open Structures. (No Fire Water, Potable Water, or Sewer needed)

<b>FIRE</b>	New Gate Controls @ Existing Gate
<b>CIVIL</b>	WQMP Hydrology Underground - Tanks, Piping and Stubs Drainage Grading Retaining Walls Access Drives Rough Pad for Phase 2 Barn
<b>ARCHITECTURE</b>	Site Improvements to support structures and uses Open Covered Arena Open Covered Round Pen Arena Footing
<b>ELECTRICAL &amp; COMMUNICATION</b>	Remove/Relocate existing pole lights on site Phase 2 Site Improvements, including new site lighting Covered Arena - Lights, Power & Communication Covered Round Pen - Lights, Power & Communication
<b>LANDSCAPE</b>	DG & Naturalized Planting; such as Oaks, Elms & Lemonade Berry

### PHASE 2 - Enclosed Structures - Barn (Fire Water & Fire Access needed)

<b>FIRE</b>	Fire Hydrant Fire Access & Signs
<b>ARCHITECTURE</b>	Site Improvements to support structures and uses New Enclosed Barn - No Sprinklers less than 5,000 SF New Gate and Relocate Controls
<b>ELECTRICAL &amp; COMMUNICATION</b>	Barn - Lights, Power & Communication Phase 2 Site Improvements
<b>CIVIL</b>	Hammerhead Fire Access Surface Barn - Connect Roof Drains Water - Fire Hydrant Water - Potable Water - Landscape Sewer
<b>PLUMBING - POTABLE WATER</b>	Equine automatic waterers and hose bibs at corrals & arenas
<b>PLUMBING - SEWER</b>	Plumbing Fixtures: Sinks, Toilets, Wash Racks with Drains and Floor Drains

## APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE  
ADA CHAPTER 11B
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE

NOTE:  
ALL WORK TO BE EXECUTED IN ACCORDANCE WITH ALL APPLICABLE CODES

## SHEET INDEX

### ARCHITECTURE

AO COVER SHEET

### SITE

- AS1.1 SITE PLAN - PHASE I
- AS1.2 SITE PLAN - PHASE 2
- AS2 SITE DETAILS, MATERIALS, GATE, ROUND PEN

### ARENA

- A1.1 FLOOR PLAN
- A3.1 ROOF PLAN
- A4.1 EXTERIOR ELEVATIONS
- A5.1 SECTIONS & 3D VIEWS

### BARN

- B1.1 FLOOR PLAN & 3D VIEWS
- B3.1 ROOF PLAN & 3D VIEWS
- B4.1 EXTERIOR ELEVATIONS & 3D VIEWS

### ELECTRICAL - LIGHTING

- E1 EXISTING SITE LIGHTING
- E2 CONCEPTUAL SITE LIGHTING

## PROJECT DATA

SITE ADDRESS	23411 Via Pajaro, Coto De Caza, CA
APN	804-261-33
ZONING	CCC - PLANNING AREA 21
OWNER	FOUR PINES RANCH, LLC Attn: Mark & Beth Hebner 23211 Pradera Road, Coto De Caza, CA
ARCHITECT	MOEzARC Attn: Cheryl Moe - MOEzARC@gmail.com 205 Ave. Del Mar #287, San Clemente, CA
CIVIL ENG	HUITT-ZOLLARS Attn: Jeffrey Okamoto - okamoto@Huitt-Zollars.com 2603 Main Street, Suite 400, Irvine, CA

## ZONING & SETBACKS

SETBACKS	OC STANDARD	PROPOSED
FRONT - MIN	20'	55'
SIDE - MIN	20'	100' & 27'
REAR - MIN	20'	27'
OPEN SPACE	5'	NA
HEIGHT - MAX	40'	33'

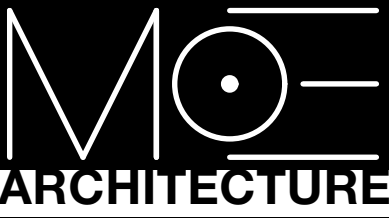
## PARKING

PARKING CRITERIA	HORSES	REQUIRED	PROVIDED
1 Each 5 HORSES	11 STALLS	3	3

## CONSTRUCTION, OCCUPANCY & SF

OPEN COVERED ARENA		
Non-Combustible		
Construction Type IV	U-Occupancy	19,270 SF
OPEN COVERED ROUND PEN		
Non-Combustible		
Construction Type IV	U-Occupancy	2,889 SF
ENCLOSED BARN		
Construction Type IV	U-Occupancy	4,158 SF

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HEBNER'S ARENAS & BARN  
23411 VIA PAJARO  
COTO DE CAZA, CA 92679

OCp SUBMITTAL  
COVER SHEET

DATES	DESCRIPTIONS
9/28/20	CEP App'l in Concept
11/16/20	OCp Informal
3/3/21	OCFA 293-130
7/28/22	OCp MP21-0030 App'l
11/28/22	OC Proj #22-38435
1/12/23	OCp PA22-0208 Submit
1/9/23	OCpA22-0208 Comments 1
2/7/23	CEP Approval
3/6/23	OCpA22-0208 Response 1

OCFA SR#	
Grading Permit	
Bid - DD	
BLDG Submit	
BLDG 1 Corrections	
BLDG 1 Resubmit	
BLDG 2 Corrections	
BLDG 2 Resubmit	
Bid - CD	
BLDG App'l - Permit	
GC Contract	

GC	BID REVISIONS
#	DATE DESCRIPTION

PLOT	3/3/23
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AO



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**HEBNER'S ARENAS & BARN**  
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OCIP SUBMITTAL  
SITE PLAN  
PHASE 1

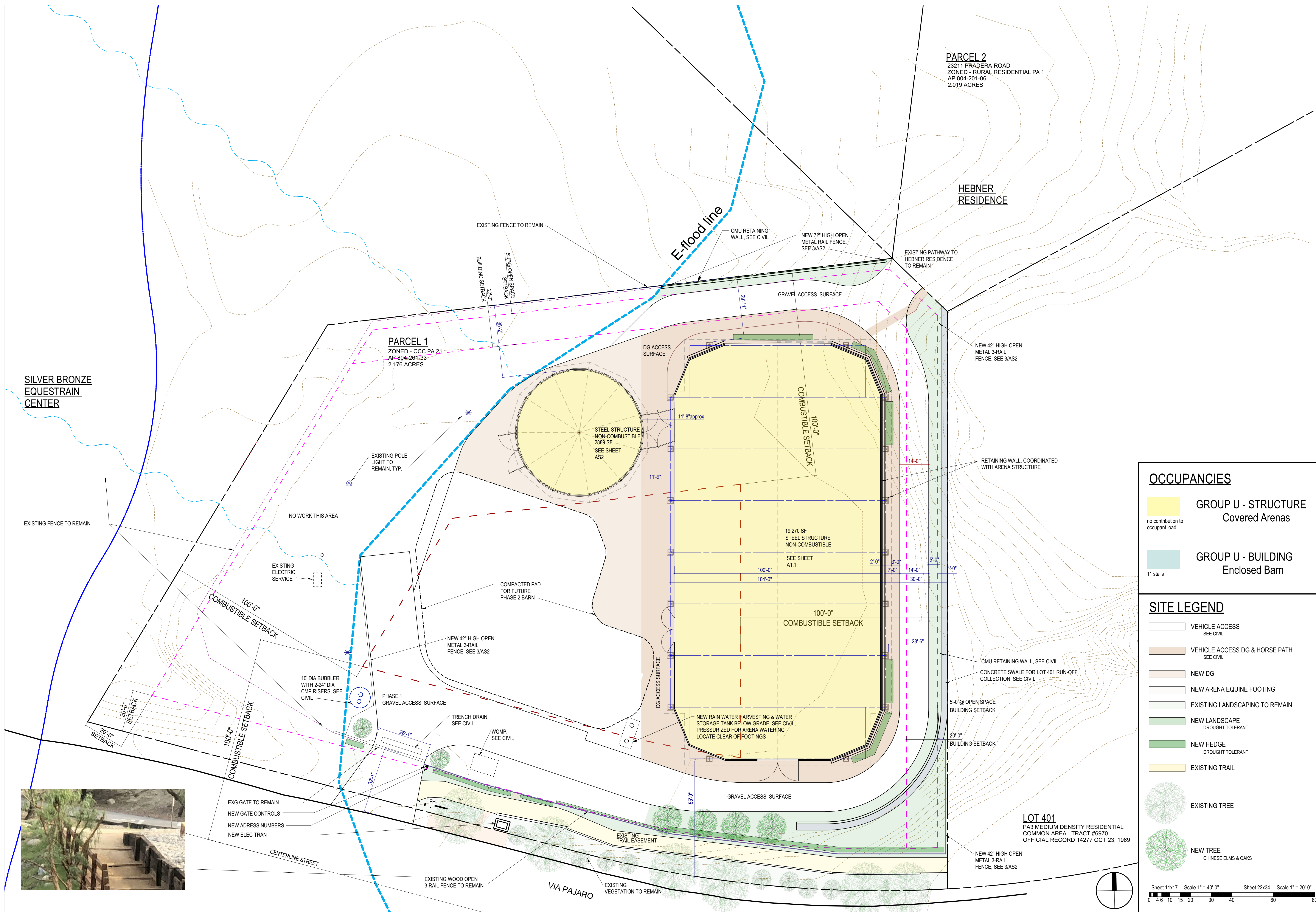
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BLDG App'l - Permit  
GC Contract

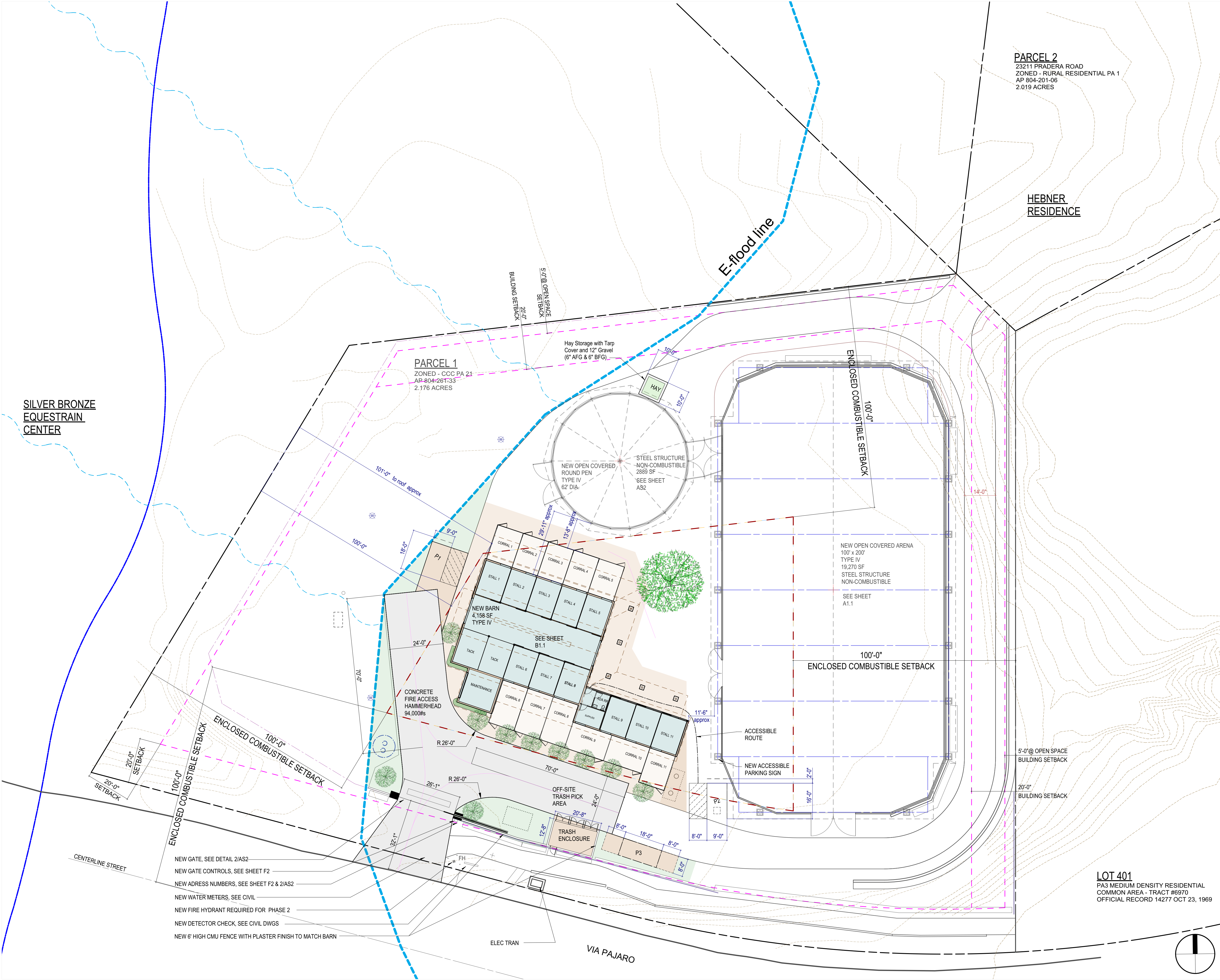
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# DATE	DESCRIPTION

PLOT	3/3/23
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## AS1.1







- NEW GATE, SEE DETAIL 2/AS2  
NEW GATE CONTROLS, SEE SHEET F2  
NEW ADDRESS NUMBERS, SEE SHEET F2 & 2/AS2  
NEW WATER METERS, SEE CIVIL  
NEW FIRE HYDRANT REQUIRED FOR PHASE 2  
NEW DETECTOR CHECK, SEE CIVIL DWGS  
NEW 6' HIGH CMU FENCE WITH PLASTER FINISH TO MATCH BARN

ELEC TRAN

VIA PAJARO

PARCEL 2  
23211 PRADERA ROAD  
ZONED - RURAL RESIDENTIAL PA 1  
AP 804-201-06  
2.019 ACRES

HEBNER  
RESIDENCE

LOT 401  
PA3 MEDIUM DENSITY RESIDENTIAL  
COMMON AREA - TRACT #6970  
OFFICIAL RECORD 14277 OCT 23, 1969

OCCUPANCIES

GROUP U - STRUCTURE  
Covered Arenas

GROUP U - BUILDING  
Enclosed Barn

SITE LEGEND

- VEHICLE ACCESS  
SEE CIVIL
- VEHICLE ACCESS DG & HORSE PATH  
SEE CIVIL
- NEW DG
- NEW ARENA EQUINE FOOTING
- EXISTING LANDSCAPING TO REMAIN
- NEW LANDSCAPE  
DROUGHT TOLERANT
- NEW HEDGE  
DROUGHT TOLERANT
- EXISTING TRAIL

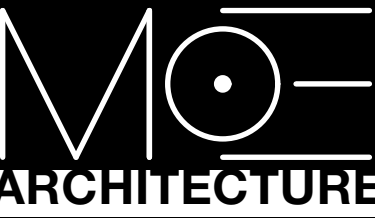
EXISTING TREE

NEW TREE  
CHINESE ELMS & OAKS

Sheet 11x17 Scale 1" = 40'-0"  
0 4 8 10 15 20 30 40 60 80

Sheet 22x34 Scale 1" = 20'-0"

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San Clemente, CA 92674  
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OCF SUBMITTAL  
SITE PLAN  
PHASE 2

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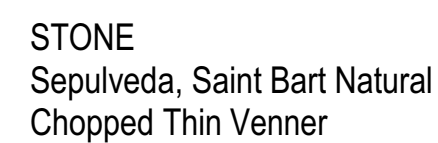
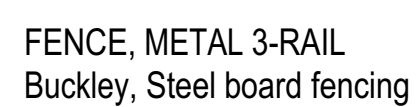
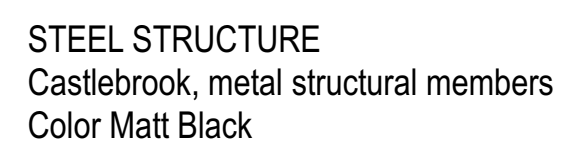
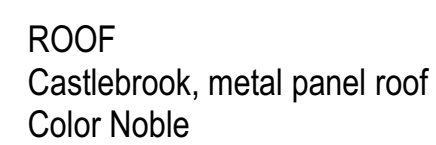
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BLDG 2 Corrections  
BLDG 2 Resubmit  
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BLDG App'l - Permit  
GC Contract

GC	BID REVISIONS	
#	DATE	DESCRIPTION

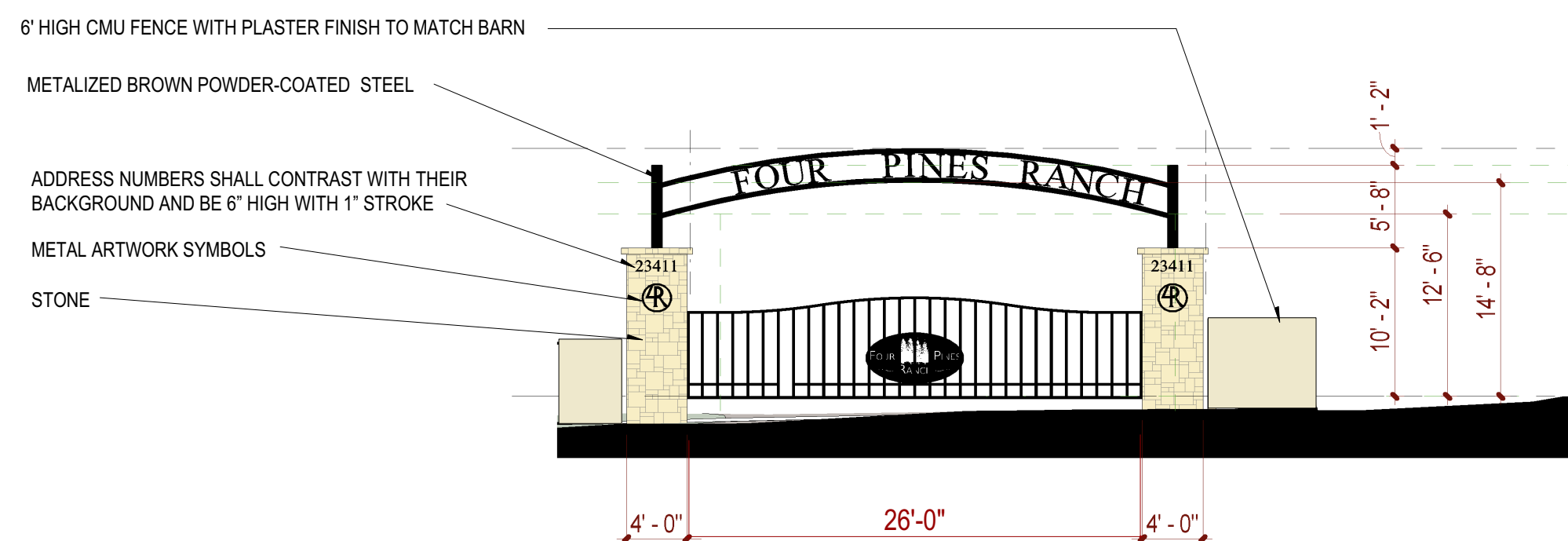
PLOT 3/3/23

AS1.2



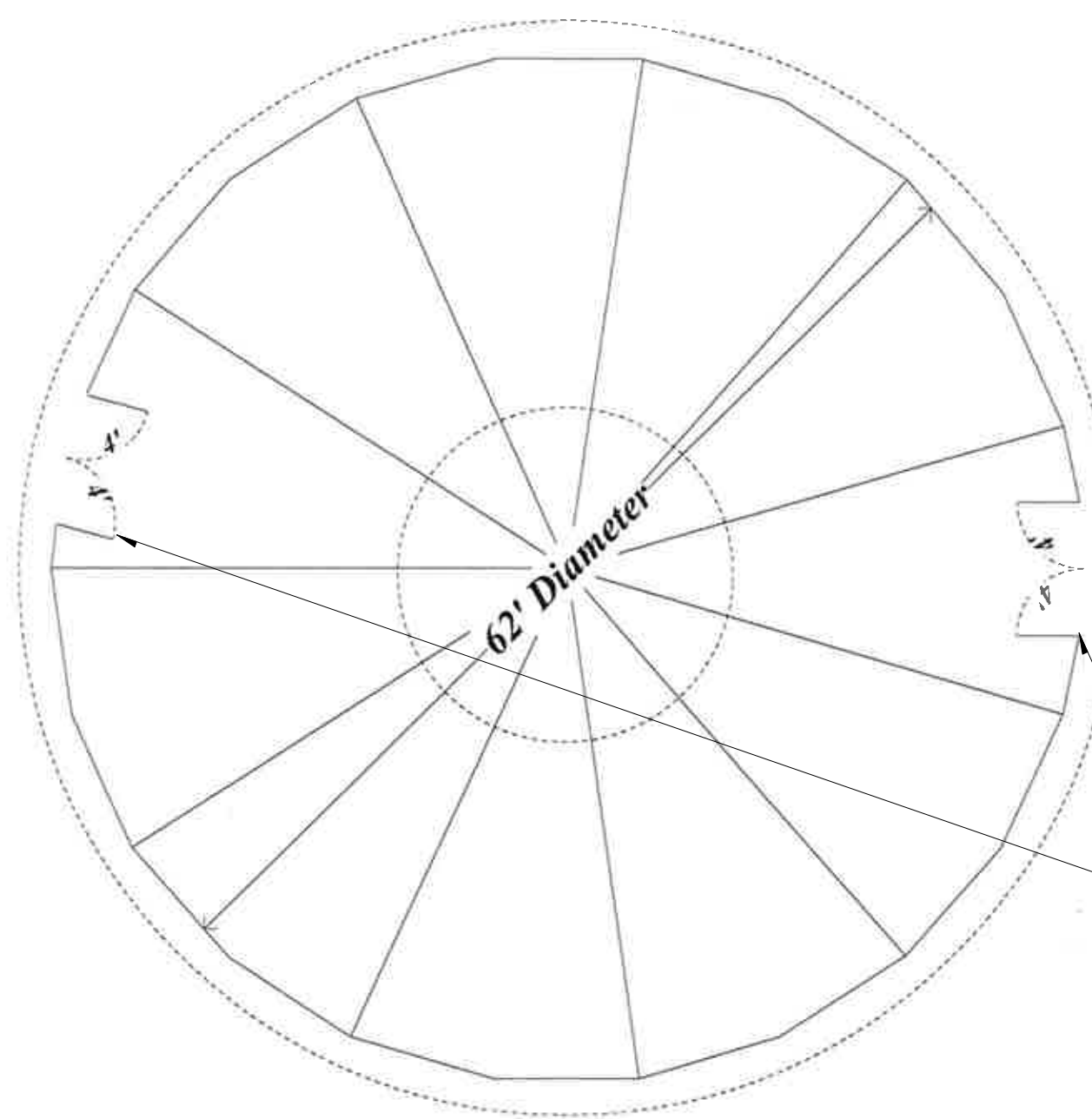


## MATERIALS 3



## ENTRY GATE 2

## PLAN



### Design Notes

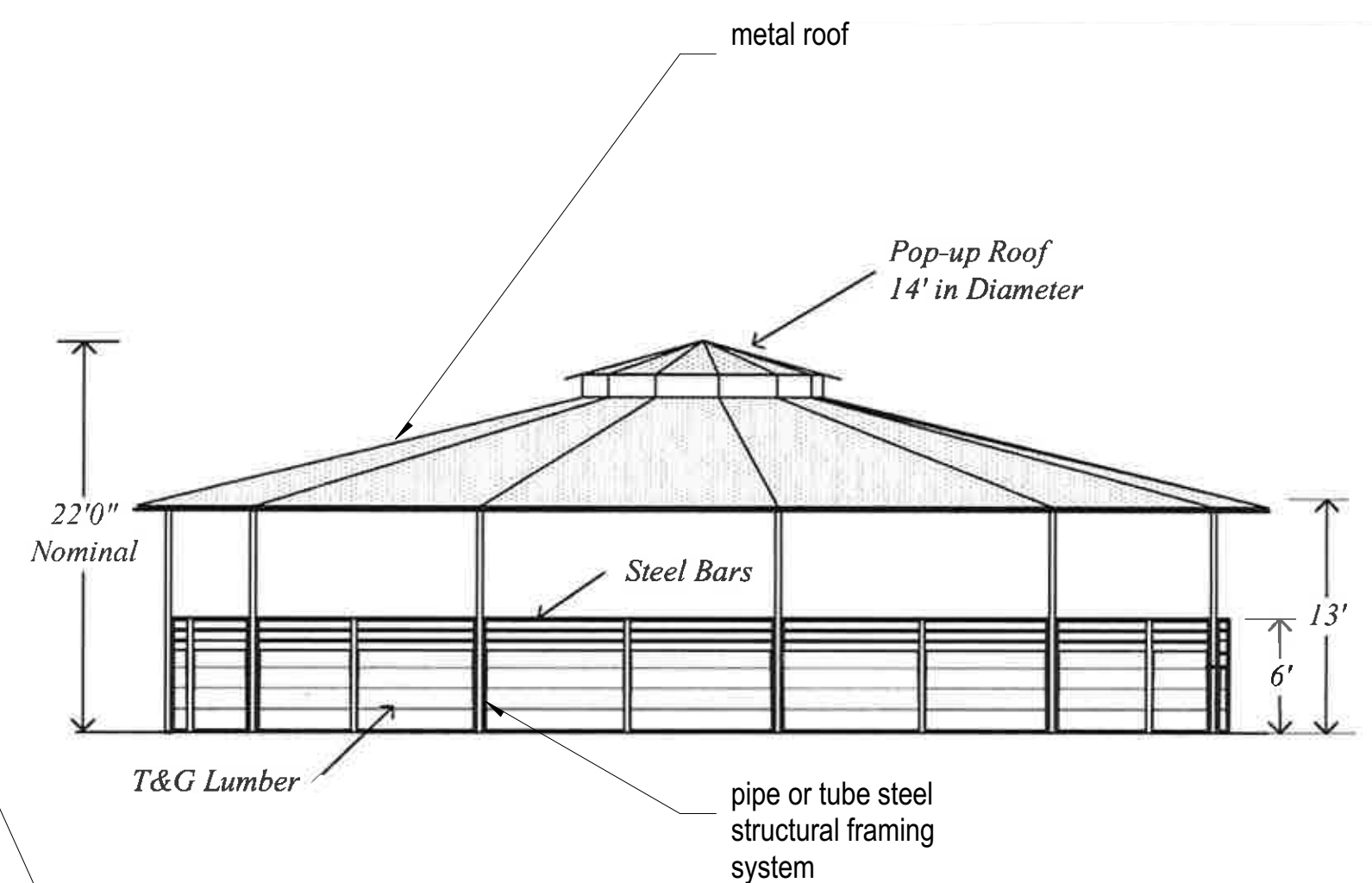
- Not For Construction
- All dimensions are Nominal.
- Pictorial representations are for general design only. Actual design may vary per structure.
- X Bracing for lateral support is part of CB's standard design. The location and quantity of X Brace will be determined once CB's production commences. Final X Brace locations may affect window, grill or barwork, and accessory placement. Therefore the customer should make special note of this when determining window or accessory placement.
- Unless specifically dimensioned on this drawing, all framed openings, doors and windows shall be located against the nearest post with the height to be set by the installer.
- Upper and lower RCA roof pitches vary slightly. Shedrow overhang roof pitch vary slightly from the roof pitch over the stall depending on overhang size.

### Design Criteria

CB's standard will meet or exceed the following:

Design Code	CBC 2019	Wind Load	
Roof Load	20#	Exposure	C
Seismic Zone	4	Structure	110 MPH 3 Sec. Gust
		Foundation	110 MPH 3 Sec. Gust

Unless specifically denoted to the contrary on the contract these design values shall be used.

ELEVATION

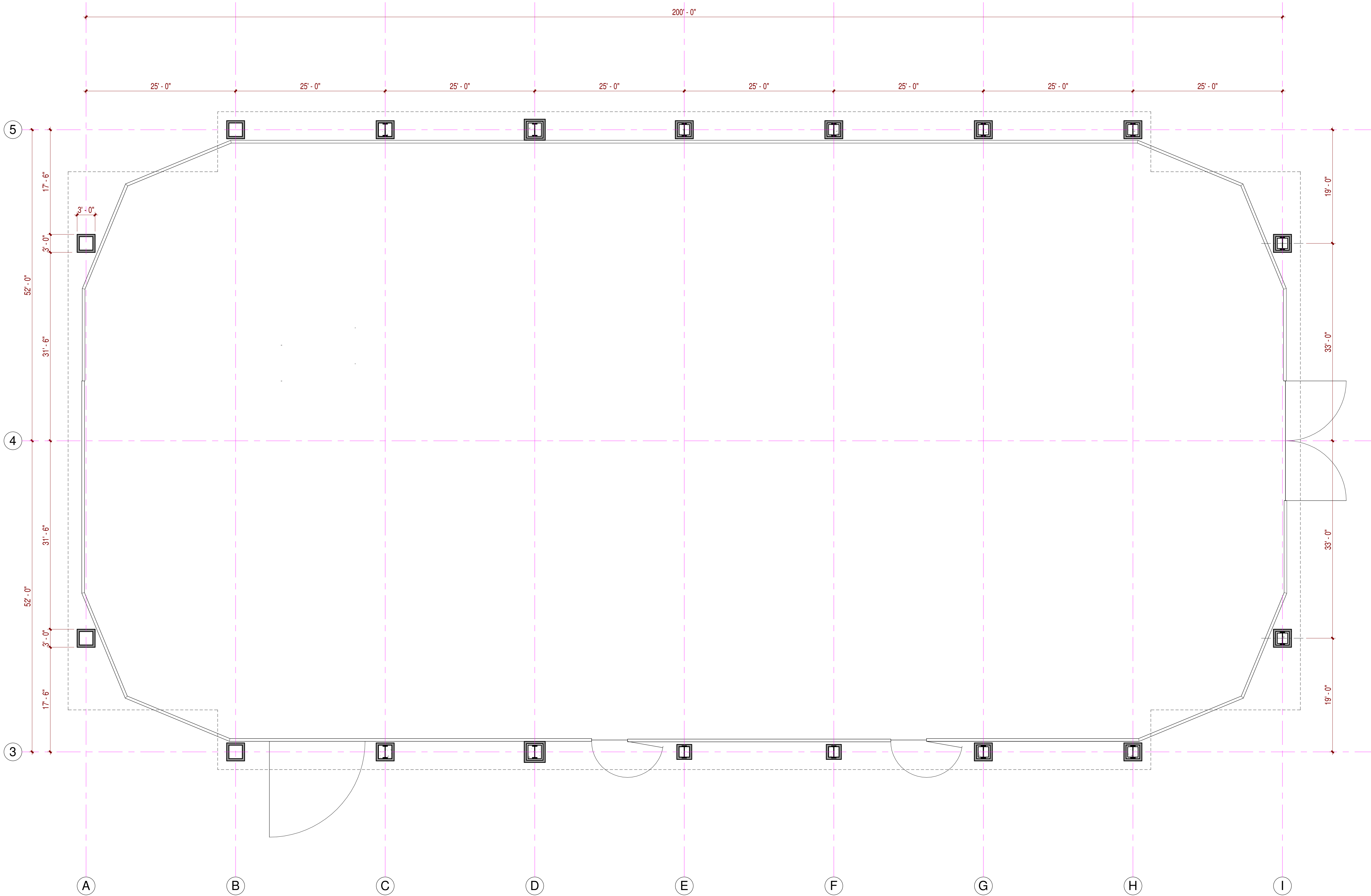
### Castlebrook 62' Round Pen Proposal

Certified Fabricator's Lic. # 1780  
Date: August 31, 2022

For: Mark Hebner  
23211 Pradera Road  
Cota de Caza, CA 92679

[illegible]





FLOOR PLAN  
1/8" = 1'-0"

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Contract GC		
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PLOT		
11/28/2022		

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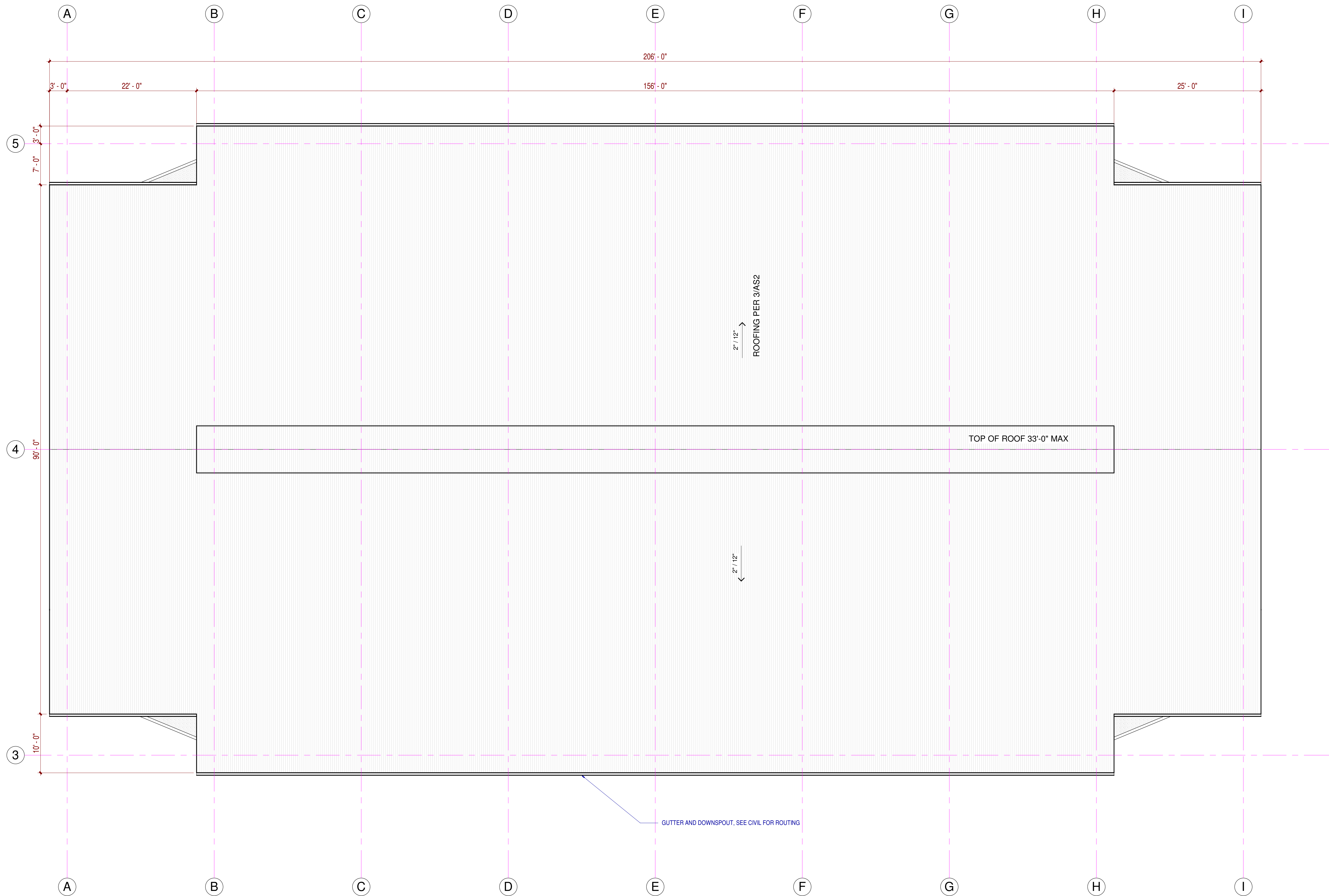
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ARCHITECTURE

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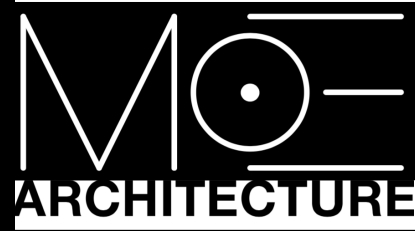
OCP SUBMITTAL  
ARENA FLOOR PLAN





ROOF PLAN  
1/8" = 1'-0"

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ARENA ROOF PLAN

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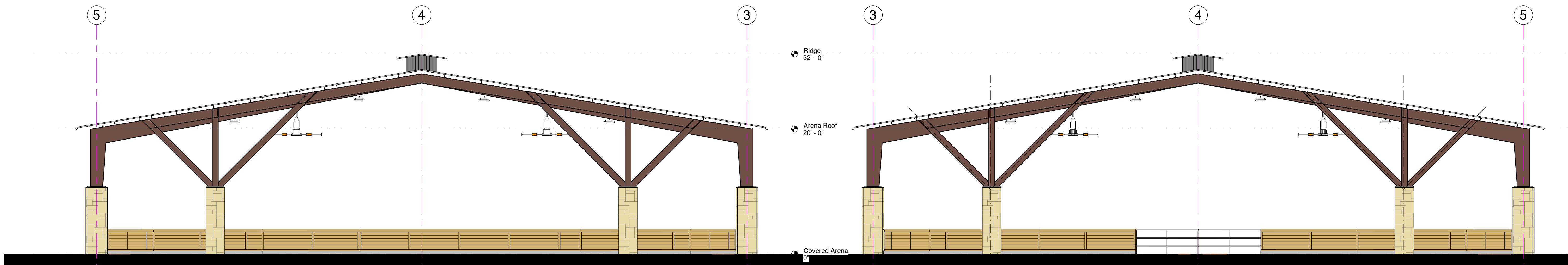
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Contract GC

GC	BID REVISION	
#	DATE	DESCRIPTION

PLOT	11/28/2022
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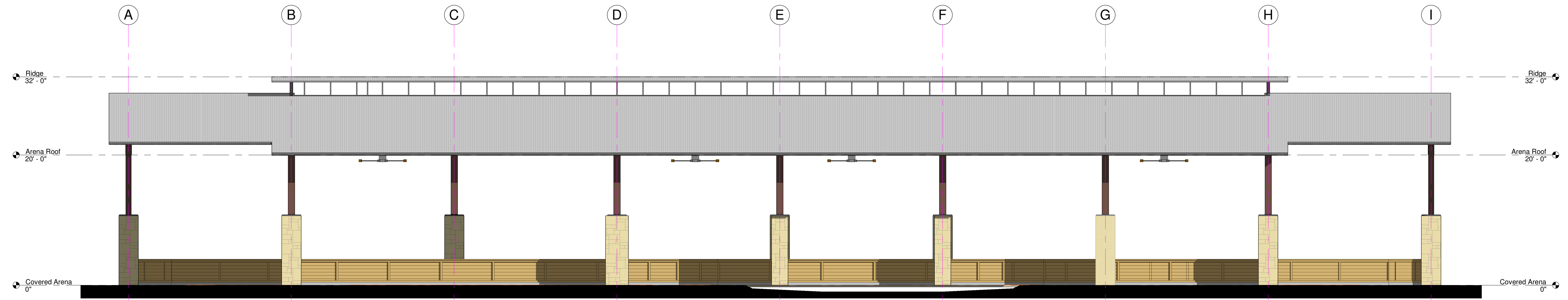
A3.1



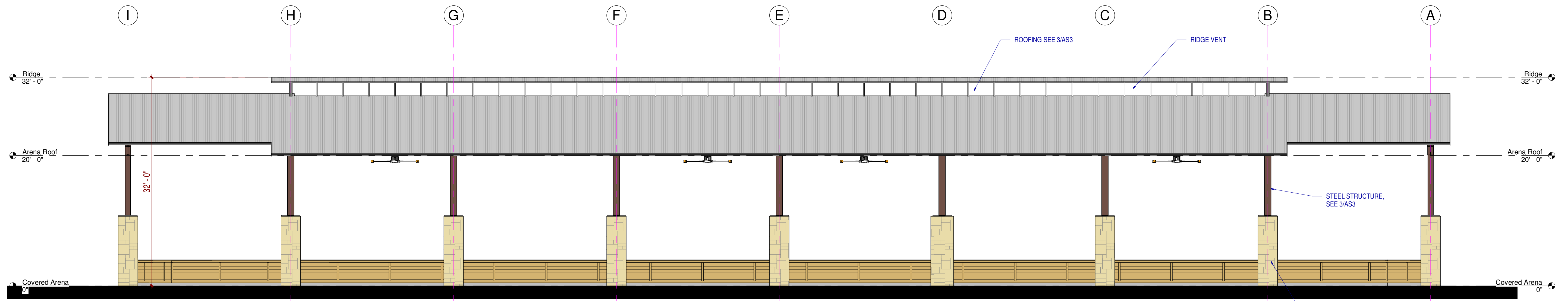


1 NORTH ELEVATION  
1/8" = 1'-0"

2 SOUTH ELEVATION  
1/8" = 1'-0"

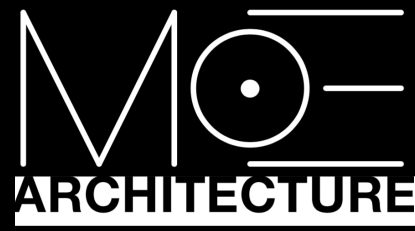


3 WEST ELEVATION  
1/8" = 1'-0"



4 EAST ELEVATION  
1/8" = 1'-0"

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OCB SUBMITTAL  
ARENA EXTERIOR ELEVATIONS

DATES	DESCRIPTIONS
9/28/20	CEP App1 in Concept
11/16/20	OCB Informal
3/3/21	OCFA 293-130
7/28/22	OCB MP21-0030 App1
11/28/22	OCB Submit
	OCFA SR#

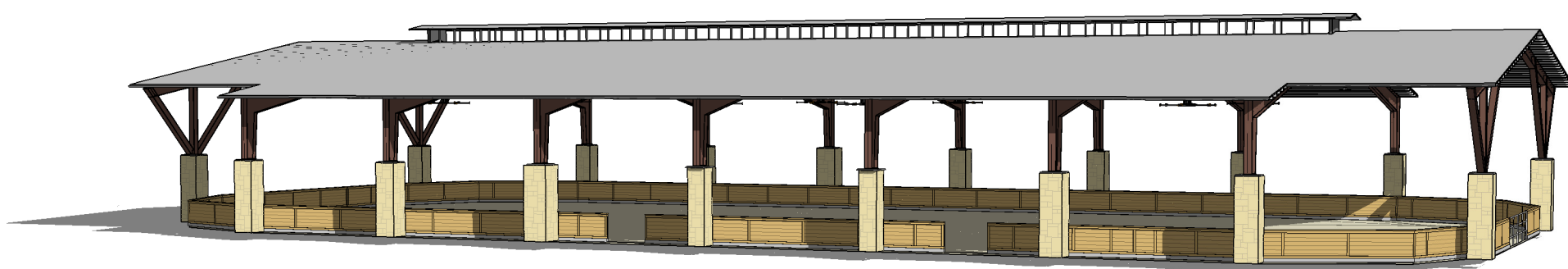
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- BLDG App1 - Permit
- Contract GC

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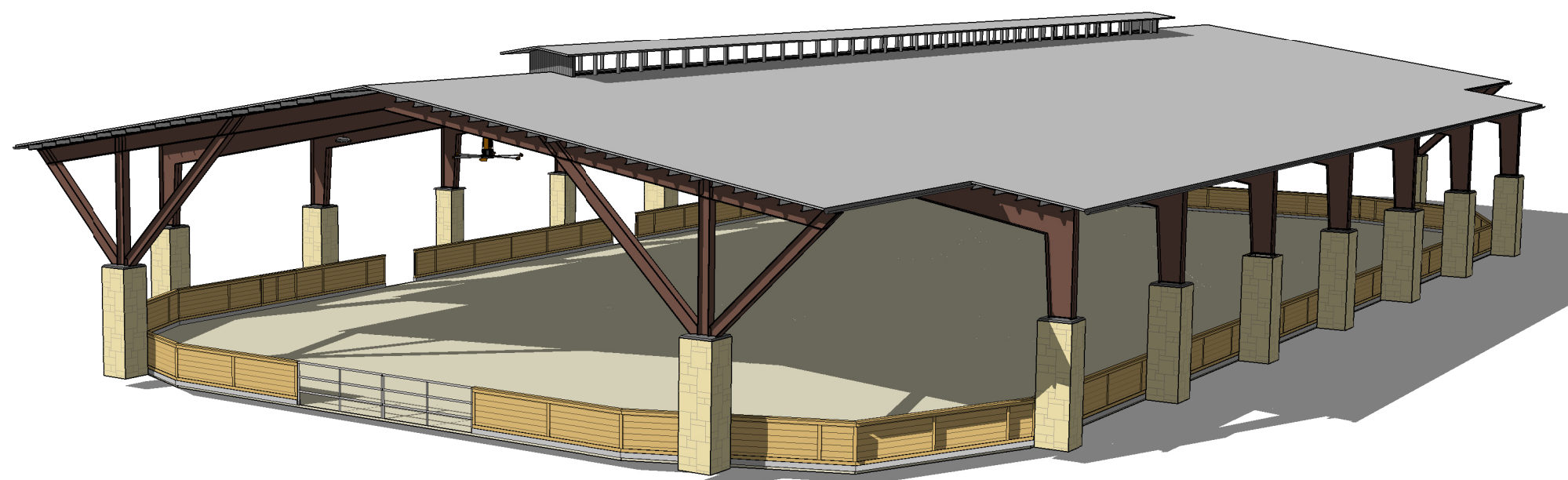
PLOT	11/28/2022
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A4.1

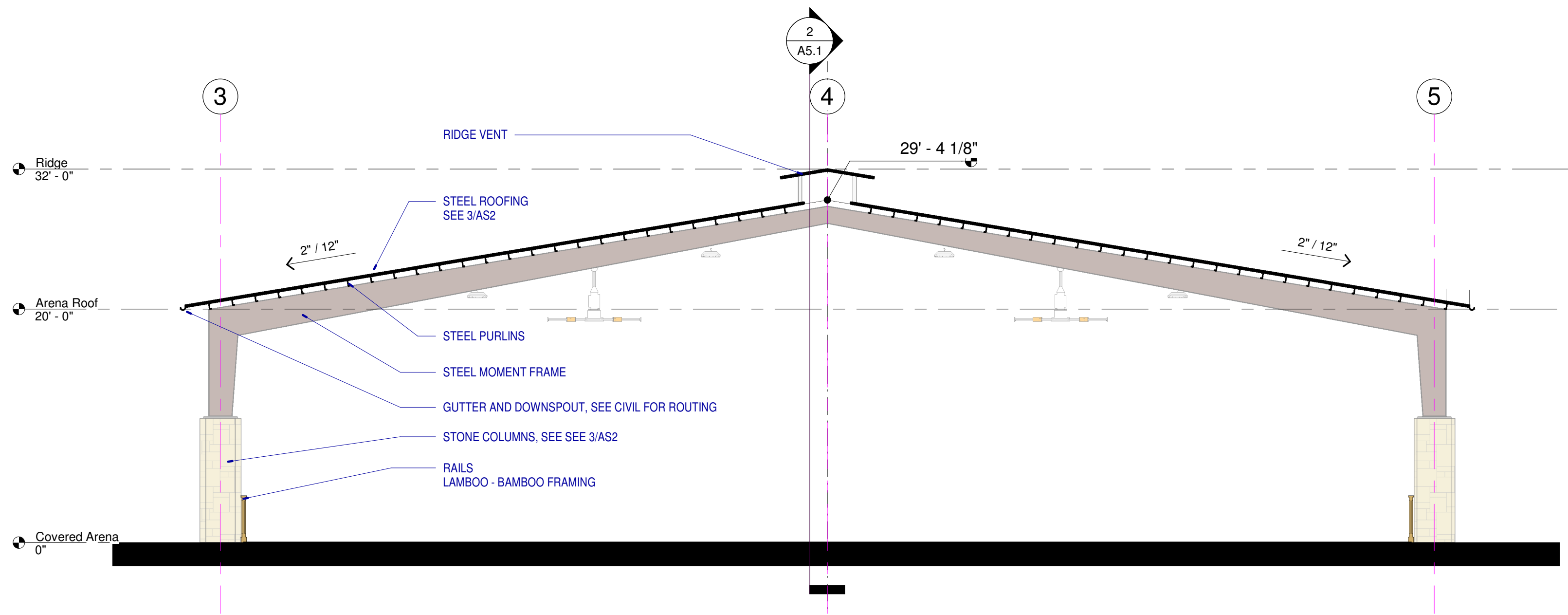




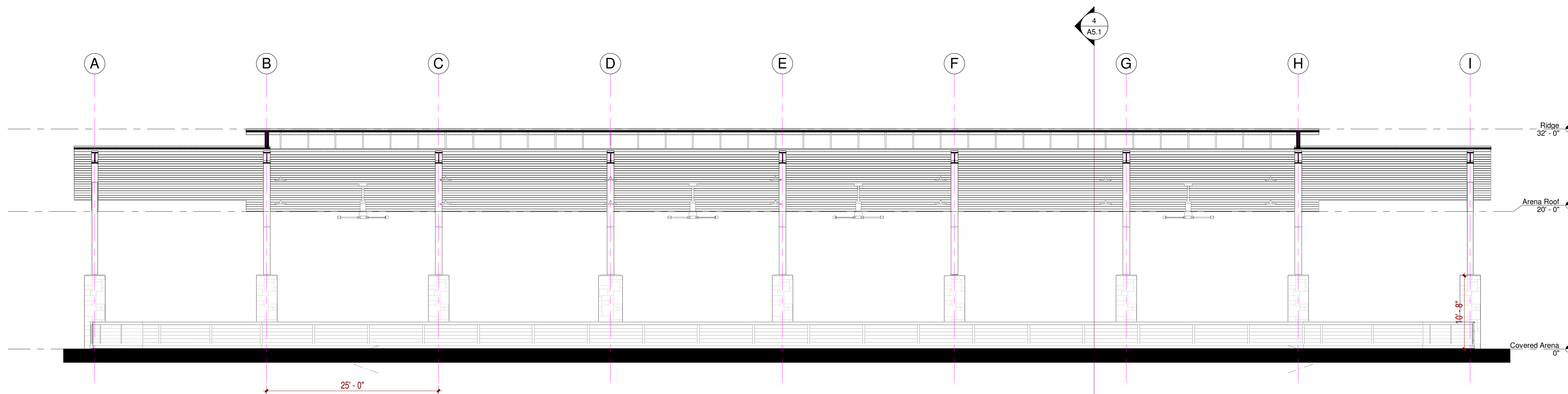
③ SOUTHEAST VIEW



⑤ SOUTHWEST VIEW



④ SHORT SECTION 1  
1/8" = 1'-0"



② LONG SECTION @ COVERED ARENA  
1/8" = 1'-0"

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ARENA SECTIONS

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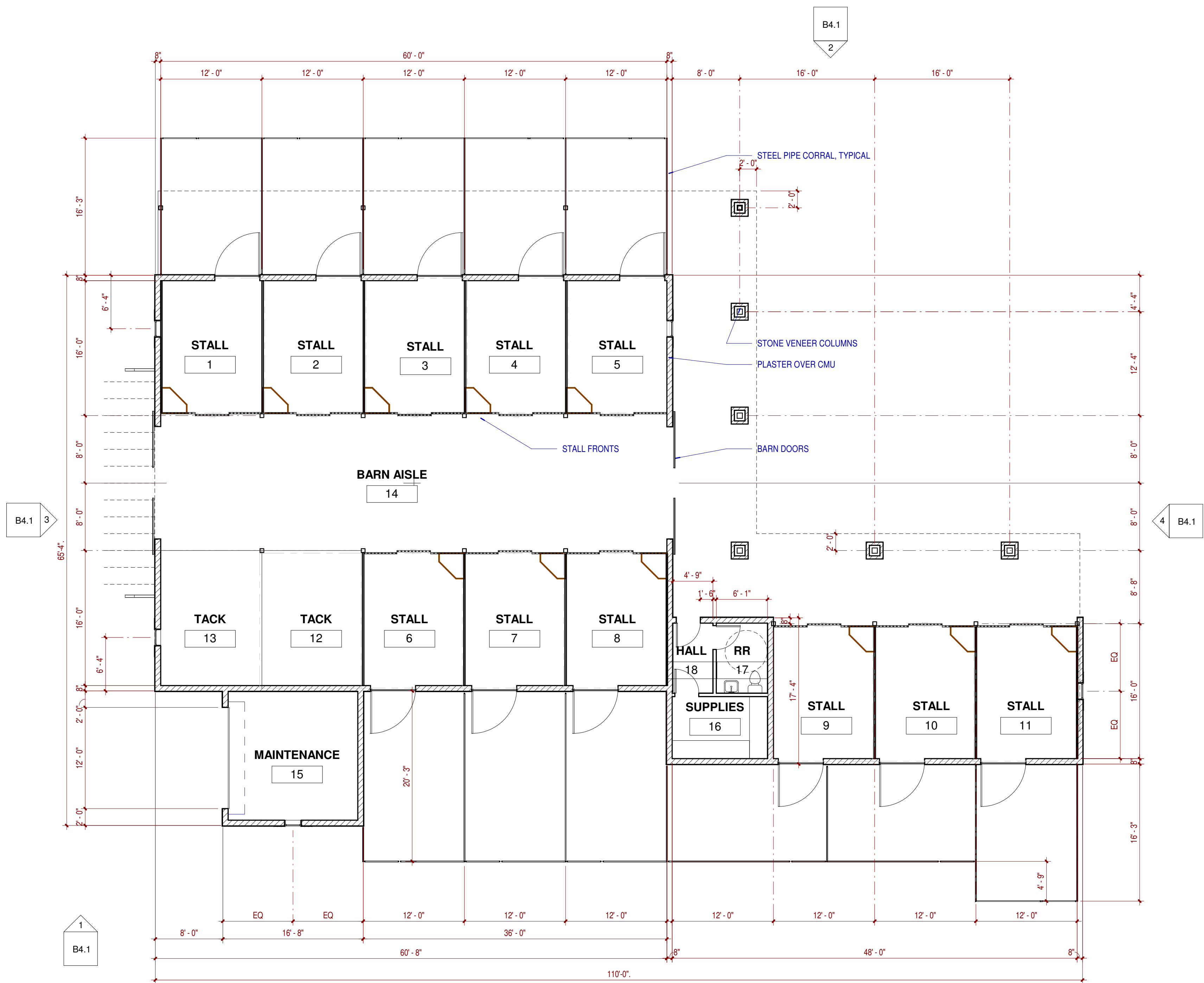
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A5.1

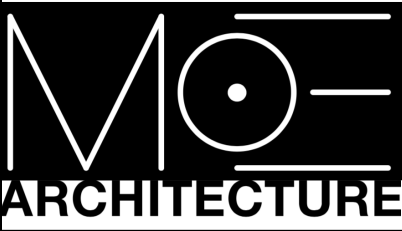




1 FIRST FLOOR  
1/8" = 1'-0"

TYPE IV CONSTRUCTION

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OCF SUBMITTAL  
FLOOR PLAN

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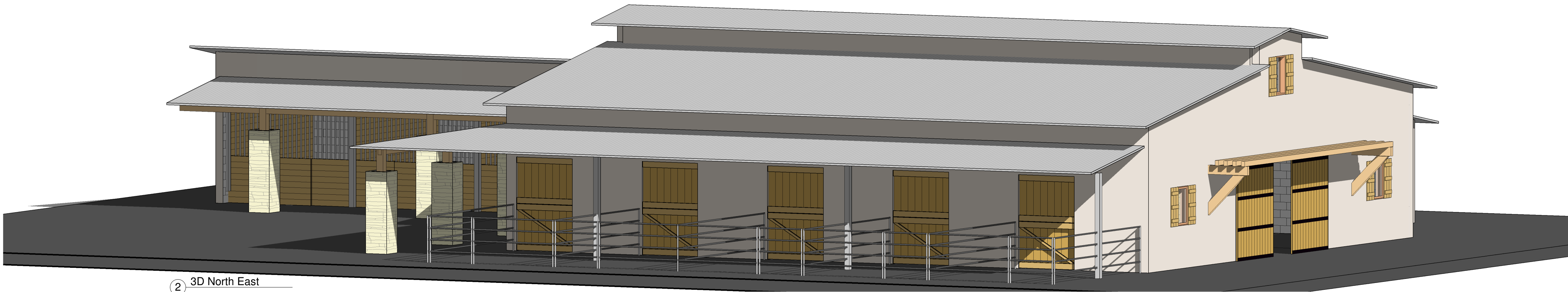
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B1.1





② 3D North East

B4.1  
2

B4.1  
3

4  
B4.1

① ROOF  
1/8" = 1'-0"

1  
B4.1

METAL ROOF, SEE 3/AS2

SLOPE  
2:12

SLOPE  
2:12

SLOPE  
2:12

SLOPE  
2:12

SLOPE  
2:12

ROOFING PER 3/AS2

TOP OF ROOF 20'-0" MAX

SLOPE  
2:12

SLOPE  
2:12

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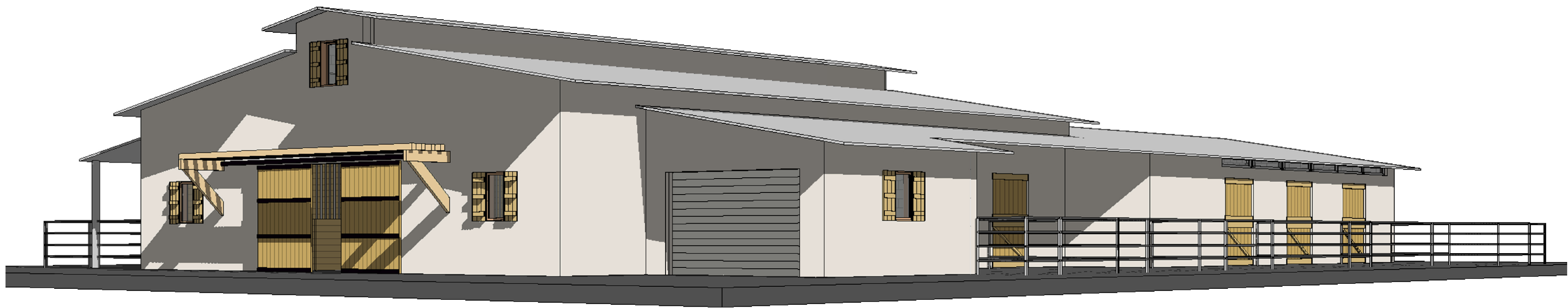
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#	DATE
	DESCRIPTION

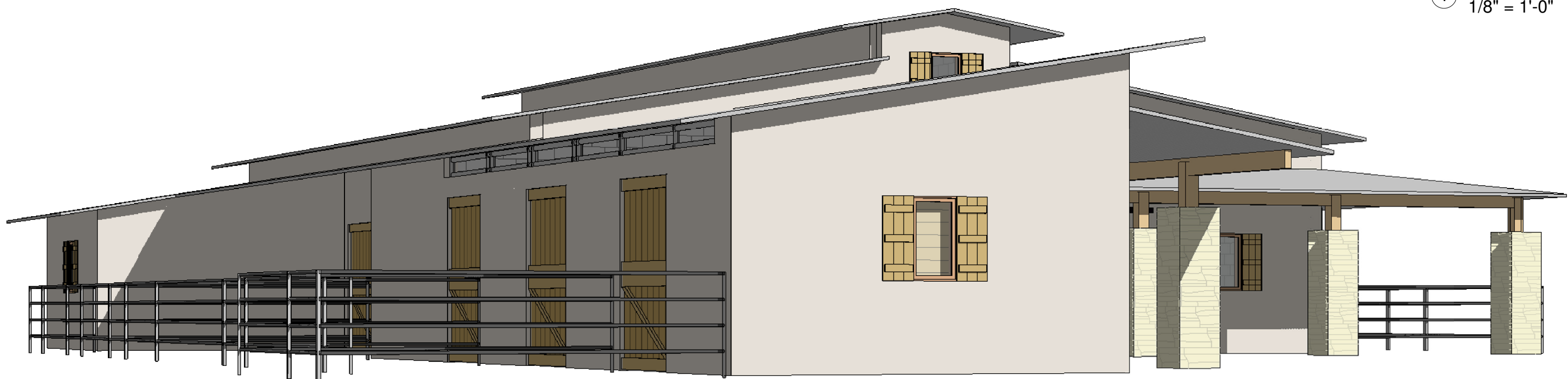
PLOT 11/28/22

B3.1

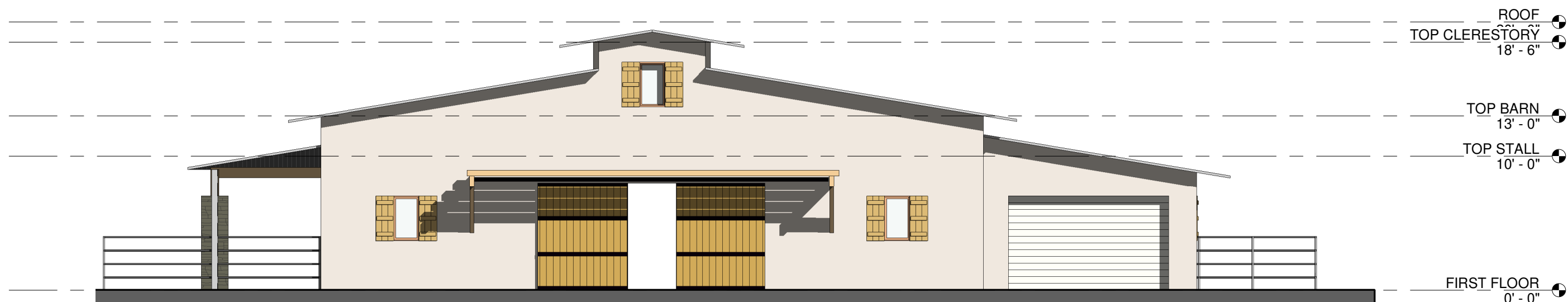




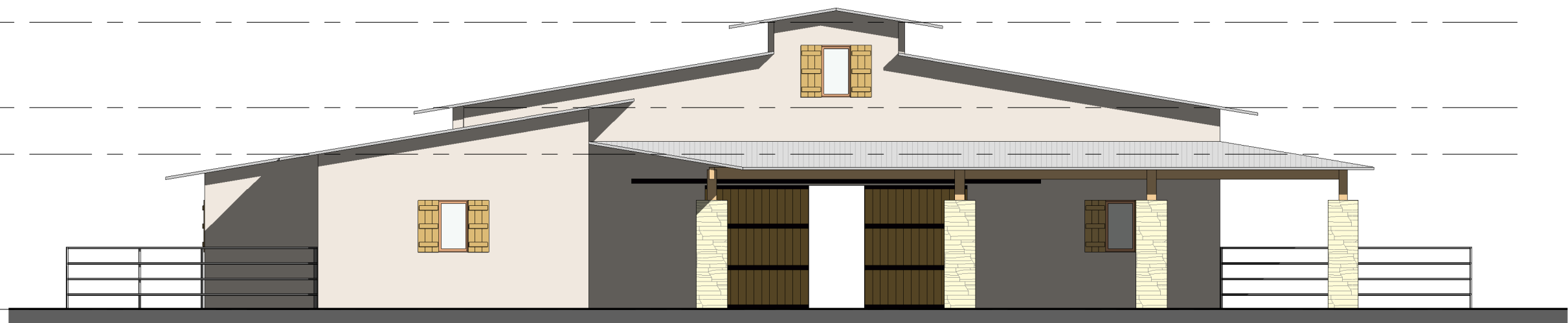
① South  
1/8" = 1'-0"



② North  
1/8" = 1'-0"



③ West  
1/8" = 1'-0"



④ East  
1/8" = 1'-0"

MOEzARC  
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San Clemente, CA 92674  
MOEzARC@gmail.com



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COTO DE CAZA, CA 92679

OCF SUBMITTAL  
EXTERIOR ELEVATIONS

DATES DESCRIPTIONS

9/28/20	CEP App1 in Concept
11/16/20	OCF Informal
3/3/21	OCFA 293-130
7/28/22	OCF MP21-0030 App1
11/28/22	OCF Submit
	OCFA SR#

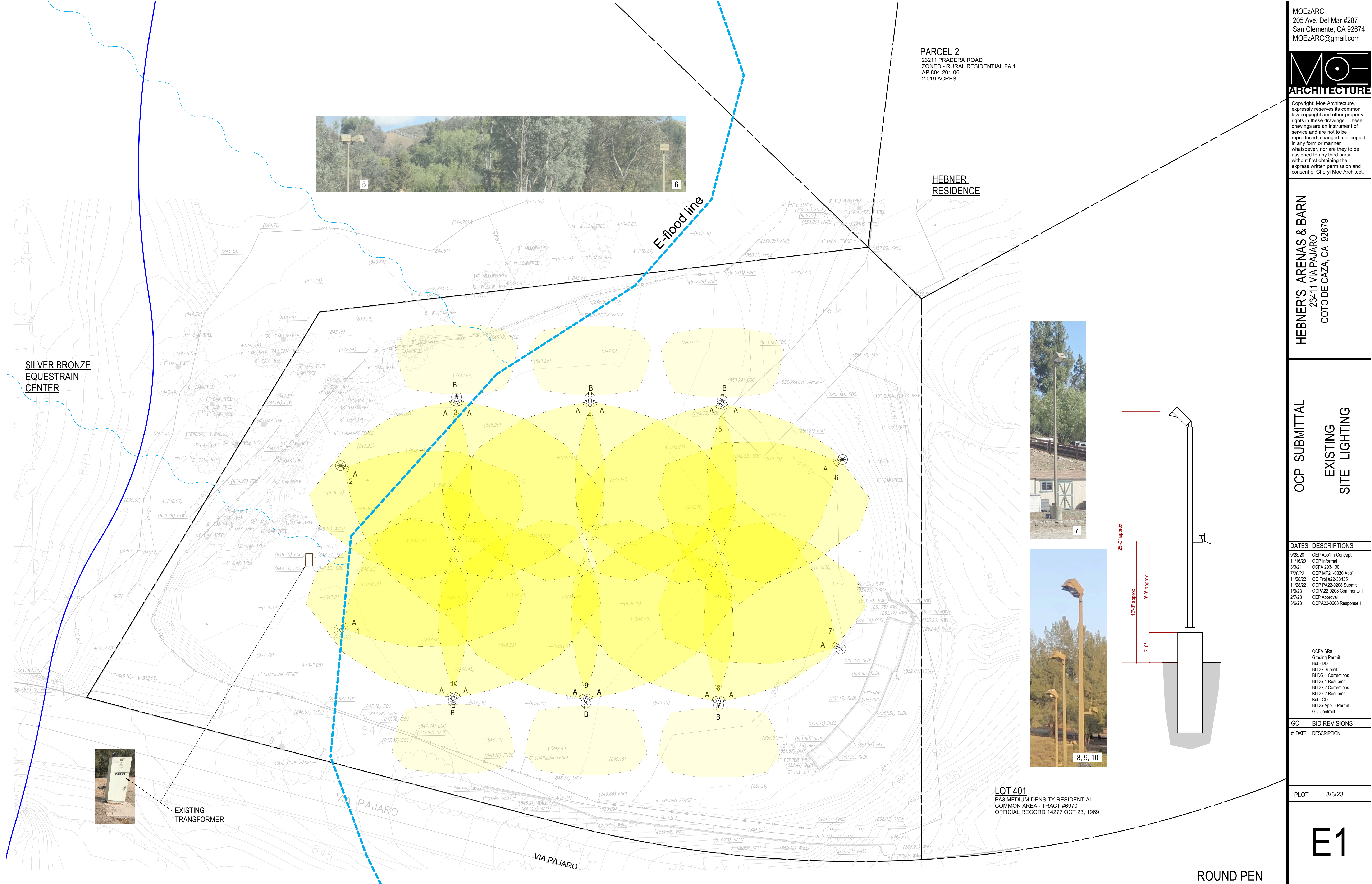
Grading Permit  
Bid - DD  
BLDG Submit  
BLDG 1 Corrections  
BLDG 1 Resubmit  
BLDG 2 Corrections  
BLDG 2 Resubmit  
Bid - CD  
BLDG App1 - Permit  
Contract GC

GC	BID REVISION
#	DATE

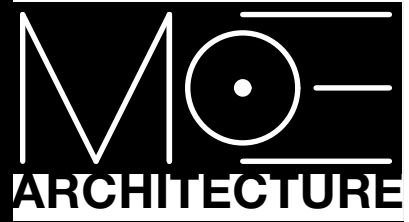
PLOT	11/28/22
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B4.1





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OCF SUBMITTAL  
EXISTING  
SITE LIGHTING

DATES	DESCRIPTIONS
9/28/20	CEP App'l in Concept
11/16/20	OCF Informal
3/3/21	OCFA 293-130
7/28/22	OCF MP21-0030 App'l
11/28/22	OC Proj #22-38435
11/28/22	OCF PA22-0208 Submit
1/8/23	OCFA22-0208 Comments 1
2/7/23	CEP Approval
3/6/23	OCFA22-0208 Response 1

OCFA SR#
Grading Permit
Bid - DD
BLDG Submit
BLDG 1 Corrections
BLDG 1 Resubmit
BLDG 2 Corrections
BLDG 2 Resubmit
Bid - CD
BLDG App'l - Permit
GC Contract

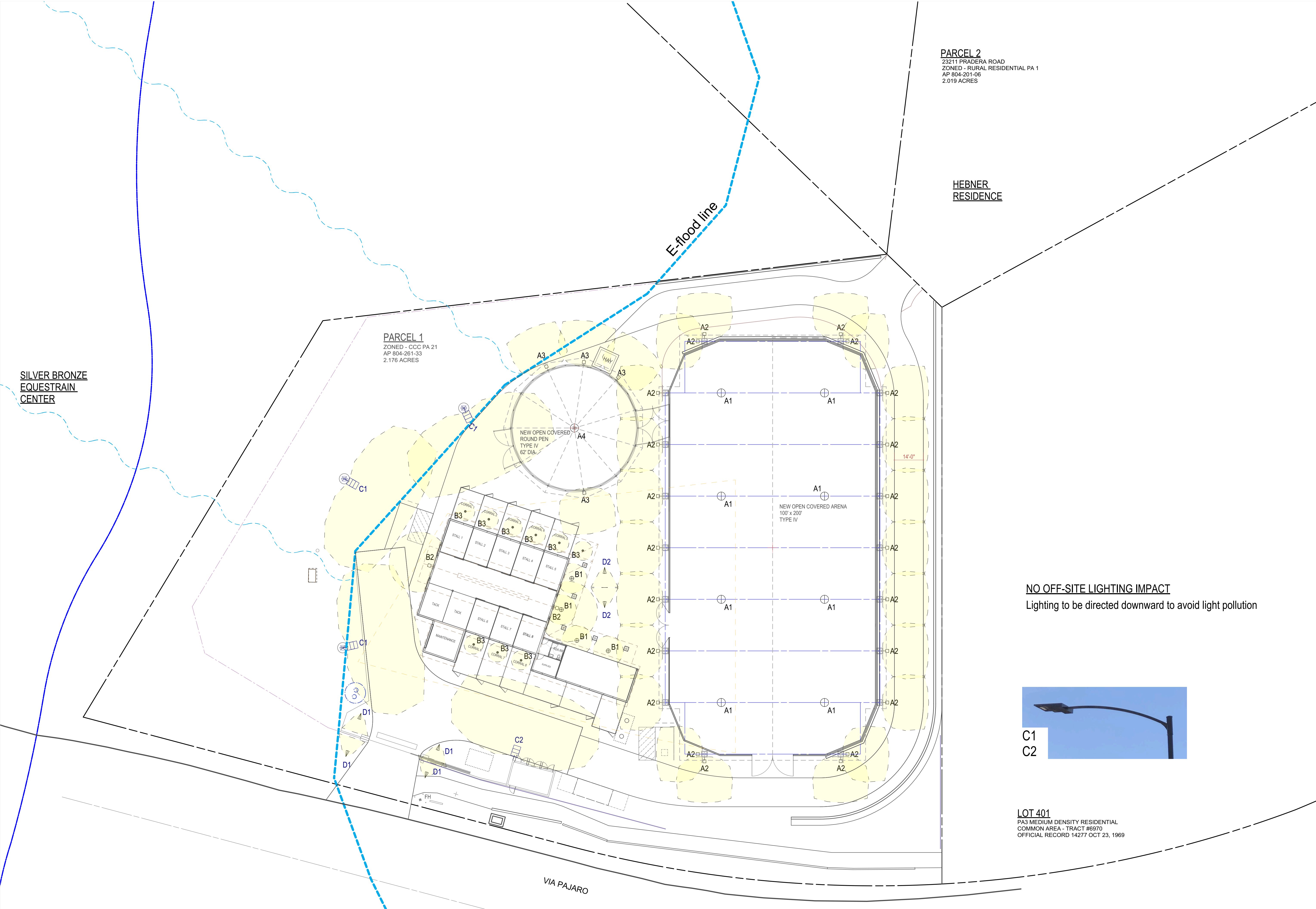
GC	BID REVISIONS	
#	DATE	DESCRIPTION

PLOT	3/3/23
------	--------

E1

ROUND PEN





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MOE

ARCHITECTURE

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OCp SUBMITTAL  
CONCEPTUAL  
SITE LIGHTING STUDY

DATES	DESCRIPTIONS
9/28/20	CEP App'l in Concept
11/16/20	OCp Informal
3/3/21	OCFA 293-130
7/28/22	OCp MP21-0030 App'l
11/28/22	OC Proj #22-38435
1/12/23	OCp PA22-0208 Submits
1/9/23	OCFA22-0208 Comments 1
2/7/23	CEP Approval
3/6/23	OCFA22-0208 Response 1

OCFA SR#  
Grading Permit  
Bid - DD  
BLDG Submit  
BLDG 1 Corrections  
BLDG 1 Resubmit  
BLDG 2 Corrections  
BLDG 2 Resubmit  
Bid - CD  
BLDG App'l - Permit  
GC Contract

GC	BID REVISIONS	
#	DATE	DESCRIPTION

PLOT 3/3/23

E2