

SCOPE OF WORK

SCOPE OF WORK

DEVELOPMENT IS LOCATED ON A COMMERCIAL PROPERTY ADJACENT TO THE HEBNER RESIDENCE. DEVELOPMENT TO BE USED AS AN EXTENSION OF THE HEBNER RESIDENCE FOR THEIR PERSONAL USE AND ENJOYMENT. DEVELOPMENT IMPROVEMENTS INCLUDE:
 OPEN COVERED ARENA
 OPEN COVERED ROUND PEN
 BARN
 SITE IMPROVEMENTS TO SUPPORT STRUCTURES & USES

PHASING SCOPE OF WORK

PHASE 1 - Site Work and Covered Open Structures. (No Fire Water, Potable Water, or Sewer needed)

FIRE	New Gate Controls @ Existing Gate
CIVIL	WQMP Hydrology Underground - Tanks, Piping and Stubs Drainage Grading Retaining Walls Access Drives Rough Pad for Phase 2 Barn
ARCHITECTURE	Site Improvements to support structures and uses Open Covered Arena Open Covered Round Pen Arena Footing
ELECTRICAL & COMMUNICATION	Remove/Relocate existing pole lights on site Phase 2 Site Improvements, including new site lighting Covered Arena - Lights, Power & Communication Covered Round Pen - Lights, Power & Communication
LANDSCAPE	DG & Naturalized Planting; such as Oaks, Elms & Lemonade Berry

PHASE 2 - Enclosed Structures - Barn (Fire Water & Fire Access needed)

FIRE	Fire Hydrant Fire Access & Signs
ARCHITECTURE	Site Improvements to support structures and uses New Enclosed Barn - No Sprinklers less than 5,000 SF New Gate and Relocate Controls
ELECTRICAL & COMMUNICATION	Barn - Lights, Power & Communication Phase 2 Site Improvements
CIVIL	Hammerhead Fire Access Surface Barn - Connect Roof Drains Water - Fire Hydrant Water - Potable Water - Landscape Sewer
PLUMBING - POTABLE WATER	Equine automatic waterers and hose bibs at corrals & arenas
PLUMBING - SEWER	Plumbing Fixtures: Sinks, Toilets, Wash Racks with Drains and Floor Drains

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
ADA CHAPTER 11B
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE

NOTE:
ALL WORK TO BE EXECUTED IN ACCORDANCE WITH ALL APPLICABLE CODES

SHEET INDEX

ARCHITECTURE

- AO COVER SHEET
- SITE**
 AS1.1 SITE PLAN - PHASE I
 AS1.2 SITE PLAN - PHASE 2
 AS2 SITE DETAILS, MATERIALS, GATE, ROUND PEN

ARENA

- A1.1 FLOOR PLAN
 A3.1 ROOF PLAN
 A4.1 EXTERIOR ELEVATIONS
 A5.1 SECTIONS & 3D VIEWS

BARN

- B1.1 FLOOR PLAN & 3D VIEWS
 B3.1 ROOF PLAN & 3D VIEWS
 B4.1 EXTERIOR ELEVATIONS & 3D VIEWS

ELECTRICAL - LIGHTING

- E1 EXISTING SITE LIGHTING
 E2 CONCEPTUAL SITE LIGHTING

PROJECT DATA

SITE ADDRESS	23411 Via Pajaro, Coto De Caza, CA
APN	804-261-33
ZONING	CCC - PLANNING AREA 21
OWNER	FOUR PINES RANCH, LLC Attn: Mark & Beth Hebner 23211 Pradera Road, Coto De Caza, CA
ARCHITECT	MOEzARC Attn: Cheryl Moe - MOEzARC@gmail.com 205 Ave. Del Mar #287, San Clemente, CA
CIVIL ENG	HUITT-ZOLLARS Attn: Jeffrey Okamoto - okamoto@Huitt-Zollars.com 2603 Main Street, Suite 400, Irvine, CA

ZONING & SETBACKS

SETBACKS	OC STANDARD	PROPOSED
FRONT - MIN	20'	55'
SIDE - MIN	20'	100' & 27'
REAR - MIN	20'	27'
OPEN SPACE	5'	NA
HEIGHT - MAX	40'	33'

PARKING

PARKING CRITERIA	HORSES	REQUIRED	PROVIDED
1 Each 5 HORSES	11 STALLS	3	3

CONSTRUCTION, OCCUPANCY & SF

OPEN COVERED ARENA Non-Combustible Construction Type IV	U-Occupancy	19,270 SF
OPEN COVERED ROUND PEN Non-Combustible Construction Type IV	U-Occupancy	2,889 SF
ENCLOSED BARN Construction Type IV	U-Occupancy	4,158 SF

MOEzARC
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San Clemente, CA 92674
MOEzARC@gmail.com



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HEBNER'S ARENAS & BARN
23411 VIA PAJARO
COTO DE CAZA, CA 92679

OCIP SUBMITTAL
COVER SHEET

DATES	DESCRIPTIONS
9/28/20	CEP App'l in Concept
11/16/20	OCIP Informal
3/3/21	OCFA 293-130
7/28/22	OCIP MP21-0030 App'l
11/28/22	OC Proj #22-38435
1/23/22	OCIP PA22-0208 Submit
1/9/23	OCIP PA22-0208 Comments 1
2/7/23	CEP Approval
3/6/23	OCIP PA22-0208 Response 1

OCFA SR#
Grading Permit
Bldg - DD
BLDG Submit
BLDG 1 Corrections
BLDG 1 Resubmit
BLDG 2 Corrections
BLDG 2 Resubmit
Bldg - CD
BLDG App'l - Permit
GC Contract

GC	BID REVISIONS
# DATE	DESCRIPTION

PLOT 3/3/23

AO

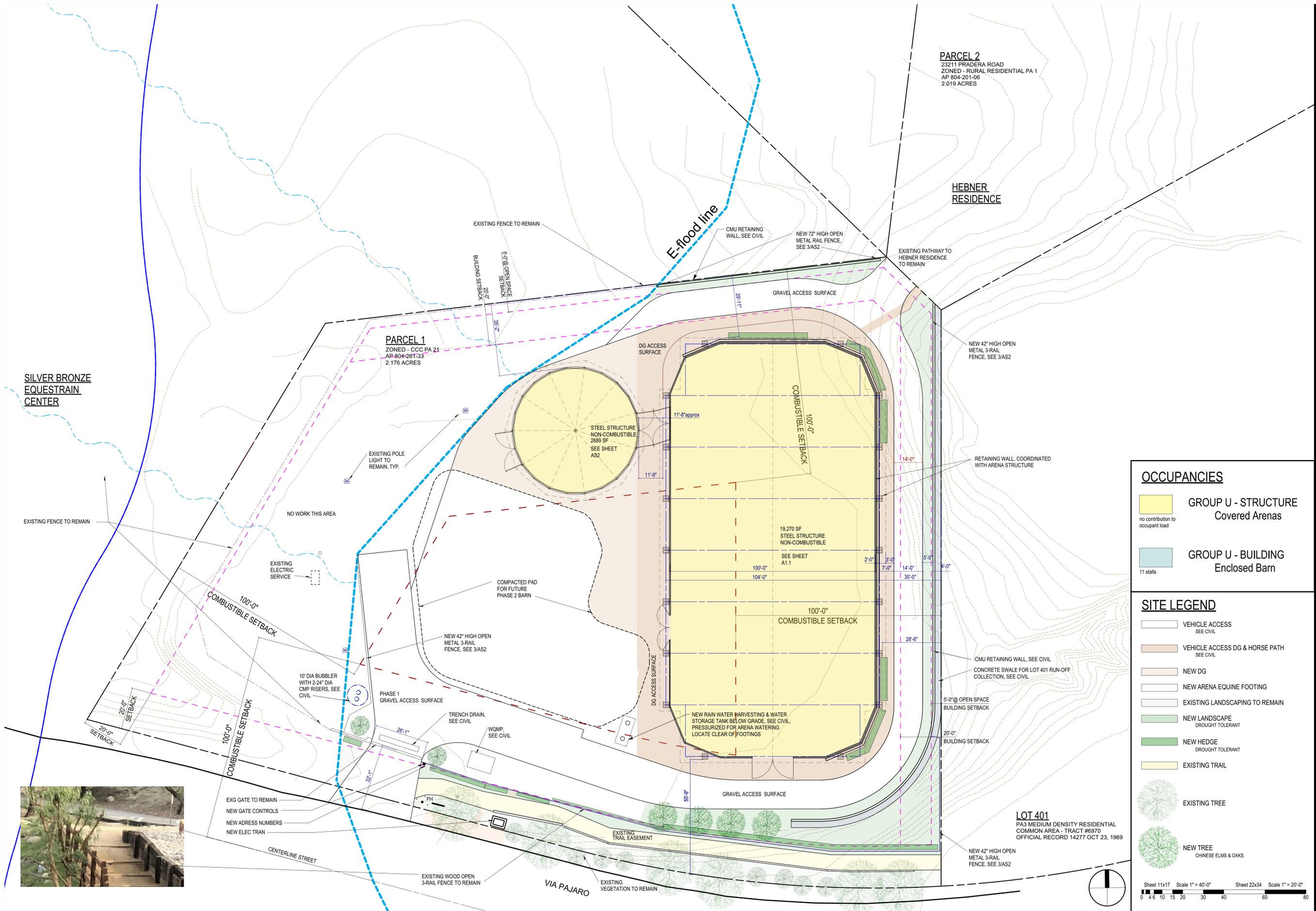
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PLOT 3/3/23

AS1.1



OCCUPANCIES

GROUP U - STRUCTURE
Covered Arenas

GROUP U - BUILDING
Enclosed Barn

SITE LEGEND

- VEHICLE ACCESS
SEE CIVIL
- VEHICLE ACCESS DG & HORSE PATH
SEE CIVIL
- NEW DG
- NEW ARENA EQUINE FOOTING
- EXISTING LANDSCAPING TO REMAIN
- NEW LANDSCAPE
DROUGHT TOLERANT
- NEW HEDGE
DROUGHT TOLERANT
- EXISTING TRAIL
- EXISTING TREE
- NEW TREE
CHINESE ELMS & OAKS

Sheet 11x17 Scale 1" = 40'-0"
Sheet 22x34 Scale 1" = 20'-0"
0 4 8 10 15 20 30 40 60 80

SILVER BRONZE
EQUESTRAIN
CENTER

PARCEL 2
23211 PRADERA ROAD
ZONED - RURAL RESIDENTIAL PA 1
AP 804-201-06
2.019 ACRES

HEBNER
RESIDENCE

PARCEL 1
ZONED - CCC PA 21
AP 804-261-33
2.176 ACRES

LOT 401
PA3 MEDIUM DENSITY RESIDENTIAL
COMMON AREA - TRACT #6970
OFFICIAL RECORD 14277 OCT 23, 1969





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HEBNER'S ARENAS & BARN
 23411 VIA PAJARO
 COTO DE CAZA, CA 92679

OCIP SUBMITTAL
 SITE PLAN
 PHASE 2

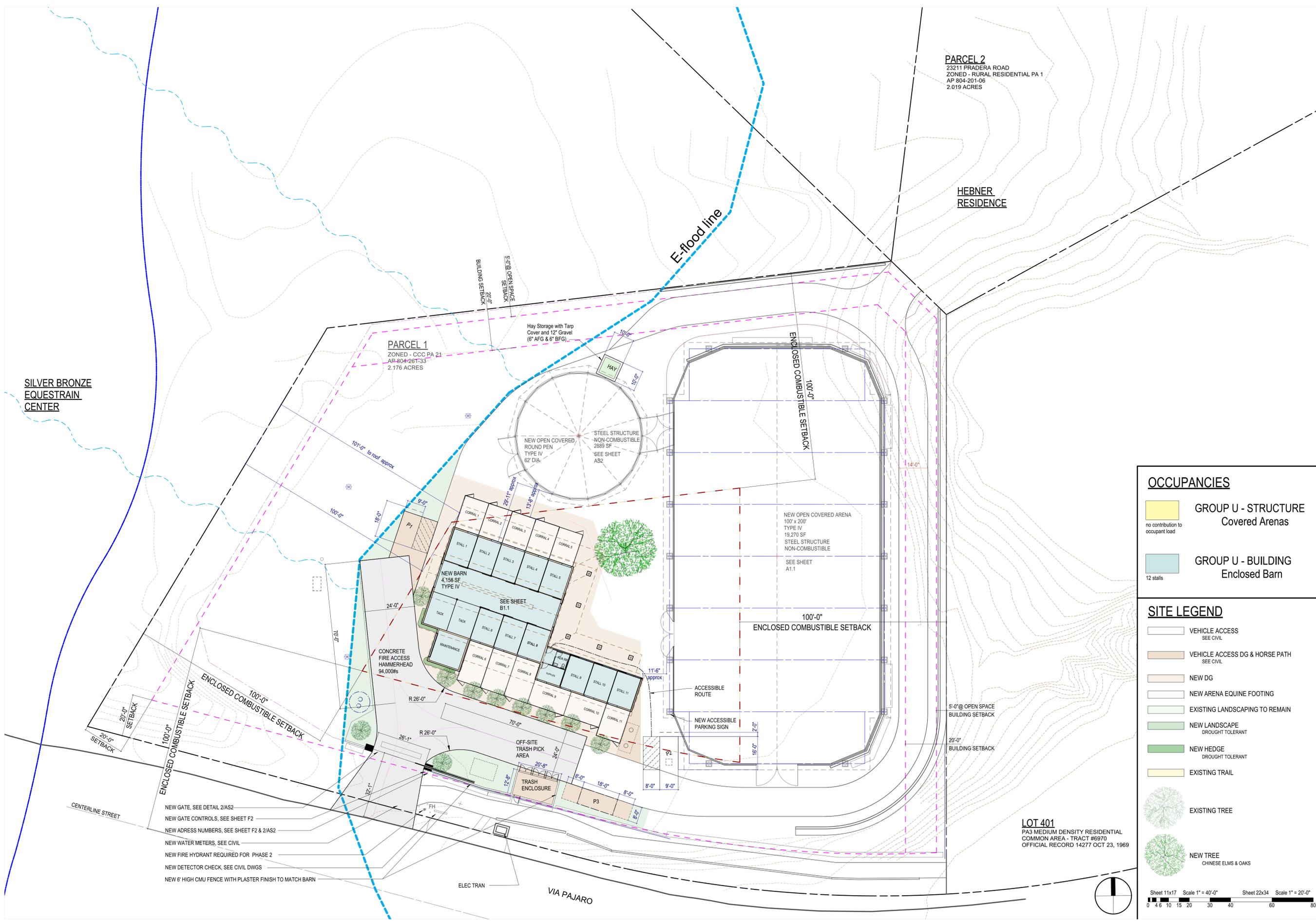
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BLDG 2 Resubmit	
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GC Contract	

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PLOT 3/3/23

AS1.2

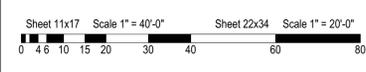


OCCUPANCIES

- GROUP U - STRUCTURE Covered Arenas
- GROUP U - BUILDING Enclosed Barn

SITE LEGEND

- VEHICLE ACCESS
- VEHICLE ACCESS DG & HORSE PATH
- NEW DG
- NEW ARENA EQUINE FOOTING
- EXISTING LANDSCAPING TO REMAIN
- NEW LANDSCAPE DROUGHT TOLERANT
- NEW HEDGE DROUGHT TOLERANT
- EXISTING TRAIL
- EXISTING TREE
- NEW TREE CHINESE ELMS & OAKS



SILVER BRONZE EQUESTRAIN CENTER

- NEW GATE, SEE DETAIL 2/AS2
- NEW GATE CONTROLS, SEE SHEET F2
- NEW ADDRESS NUMBERS, SEE SHEET F2 & 2/AS2
- NEW WATER METERS, SEE CIVIL
- NEW FIRE HYDRANT REQUIRED FOR PHASE 2
- NEW DETECTOR CHECK, SEE CIVIL DWGS
- NEW 6' HIGH CMU FENCE WITH PLASTER FINISH TO MATCH BARN

ELEC TRAN
 VIA PAJARO

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	BLDG 1 Resubmit
	BLDG 2 Corrections
	BLDG 2 Resubmit
	Blid - CC
	BLDG App'l - Permit
	GC Contract

GC BID REVISIONS

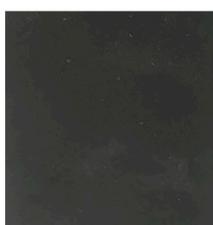
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PLOT	3/3/23
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AS2



ROOF
Castlebrook, metal panel roof
Color Noble



STEEL STRUCTURE
Castlebrook, metal structural members
Color Matt Black



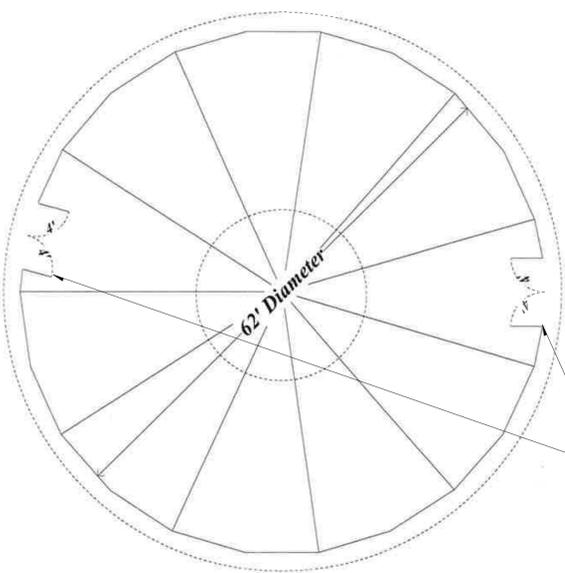
FENCE, METAL 3-RAIL
Buckley, Steel board fencing



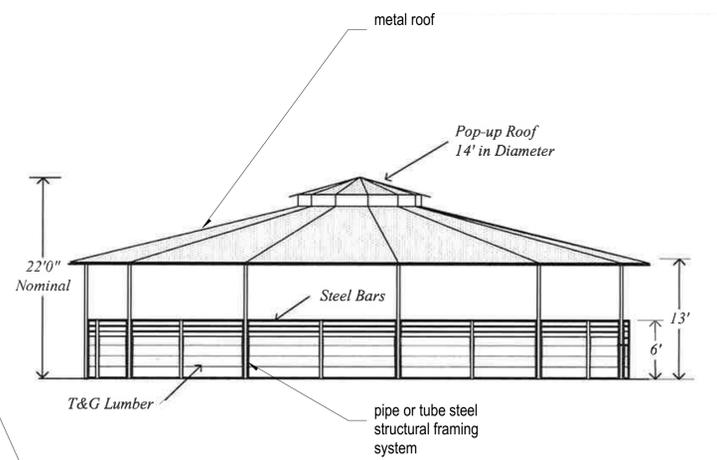
STONE
Sepulveda, Saint Bart Natural
Chopped Thin Vanner

MATERIALS 3

PLAN



ELEVATION



Castlebrook 62' Round Pen Proposal

Original Submittal 1 of 1
Date: August 31, 2022
For: Mark Hebner
23211 Pradera Road
Coto de Caza, CA 92679

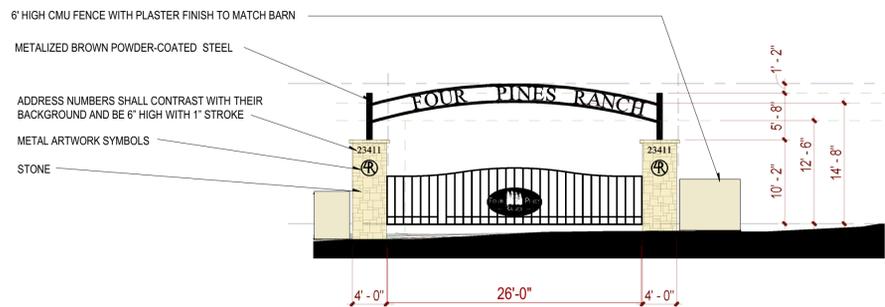
QTY	DESCRIPTION
1.0	62' Round Pen w/ 6' high walls
1.0	62' Round Pen Cover
1.0	Raise center portion of roof
1.0	Custom Color (Frame) Matte, Flat Finish only, Non-metallic
*Paint brand and color code must be provided	
Custom Color (Roof) Matte, Flat Finish only, Non-metallic	
1.0	Optional door conv. removing framework and center post
1.0	Modified 10' Hinged Gate
1.0	Fire-X Treatment for T&G lumber for round pen panels
QTY	ENGINEERING
1.0	Blueprints & Structural Calculations
Out of State	
Custom Charge	
QTY	ESTIMATED INSTALLATION FOUNDATION / \$1,500 min.
1.0	62' Round Pen w/ 6' high walls
1.0	62' Round Pen w/ 8' high walls
1.0	62' Cover (includes excavator, forklift & scissor lift)
1.0	Raise center portion of roof
1.0	Optional door conv. removing framework and center post
1.0	Modified 10' Hinged Gate

Design Notes

- Not For Construction
- All dimensions are Nominal.
- Pictorial representations are for general design only. Actual design may vary per structure.
- X Bracing for lateral support is part of CB's standard design. The location and quantity of X Brace will be determined once CB's production commences. Final X Brace locations may affect window, grill or barwork, and accessory placement. Therefore the customer should make special note of this when determining window or accessory placement.
- Unless specifically dimensioned on this drawing, all framed openings, doors and windows shall be located against the nearest post with the height to be set by the installer.
- Upper and lower RCA roof pitches vary slightly. Shedrow overhang roof pitch vary slightly from the roof pitch over the stall depending on overhang size.

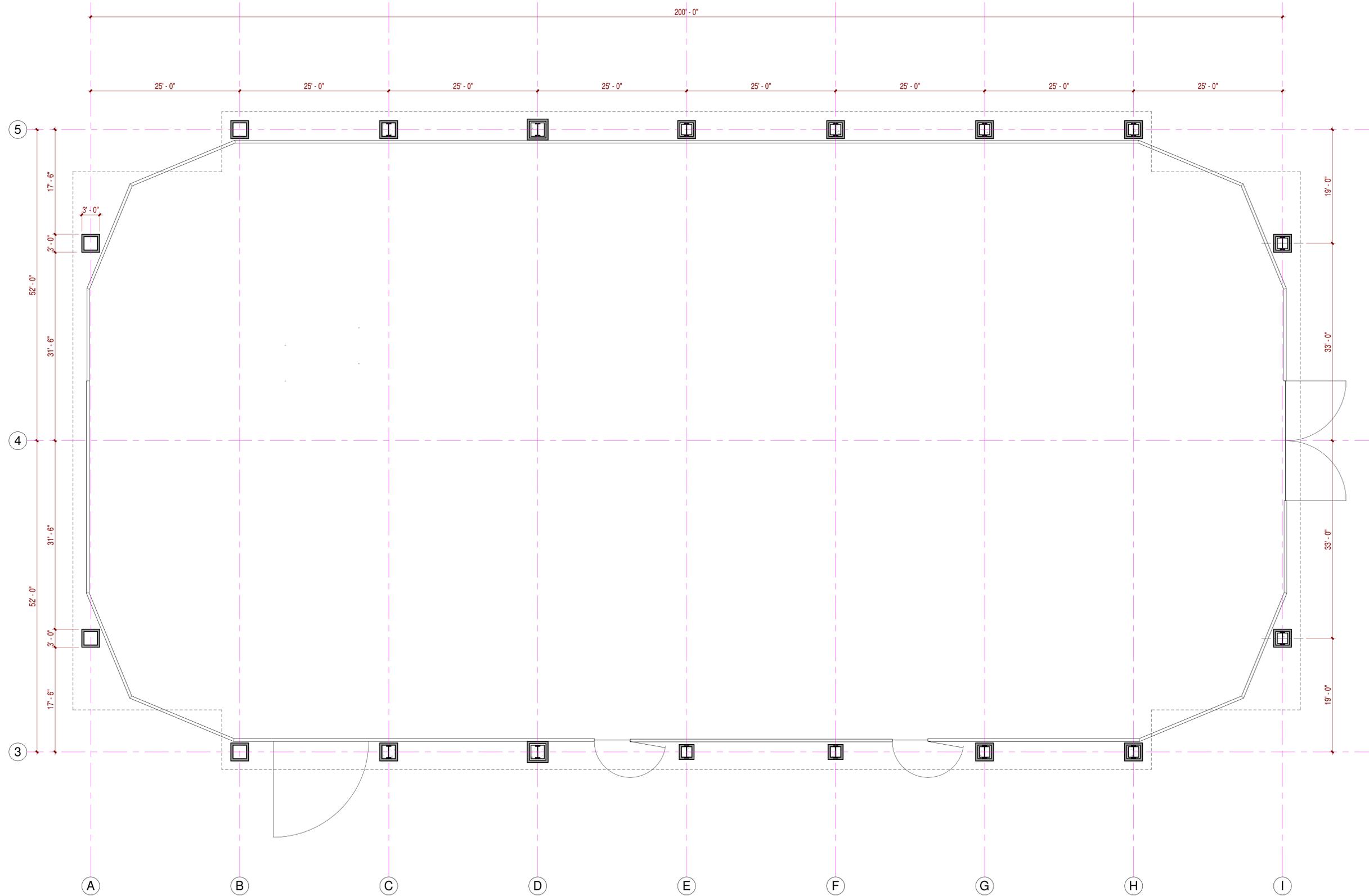
Design Criteria

CB's standard will meet or exceed the following:
Design Code CBC 2019 Wind Load
Roof Load 20# Exposure C
Seismic Zone 4 Structure 110 MPH 3 Sec. Gust
Foundation 110 MPH 3 Sec. Gust
Unless specifically denoted to the contrary on the contract these design values shall be used.



ENTRY GATE 2

ROUND PEN 1



FLOOR PLAN
1/8" = 1'-0"

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PLANNING SUBMITTAL

HEBNER'S ARENAS & BARN
23411 VIA PAJARO
COTO DE CAZA, CA 92679

OCP SUBMITTAL
ARENA FLOOR PLAN

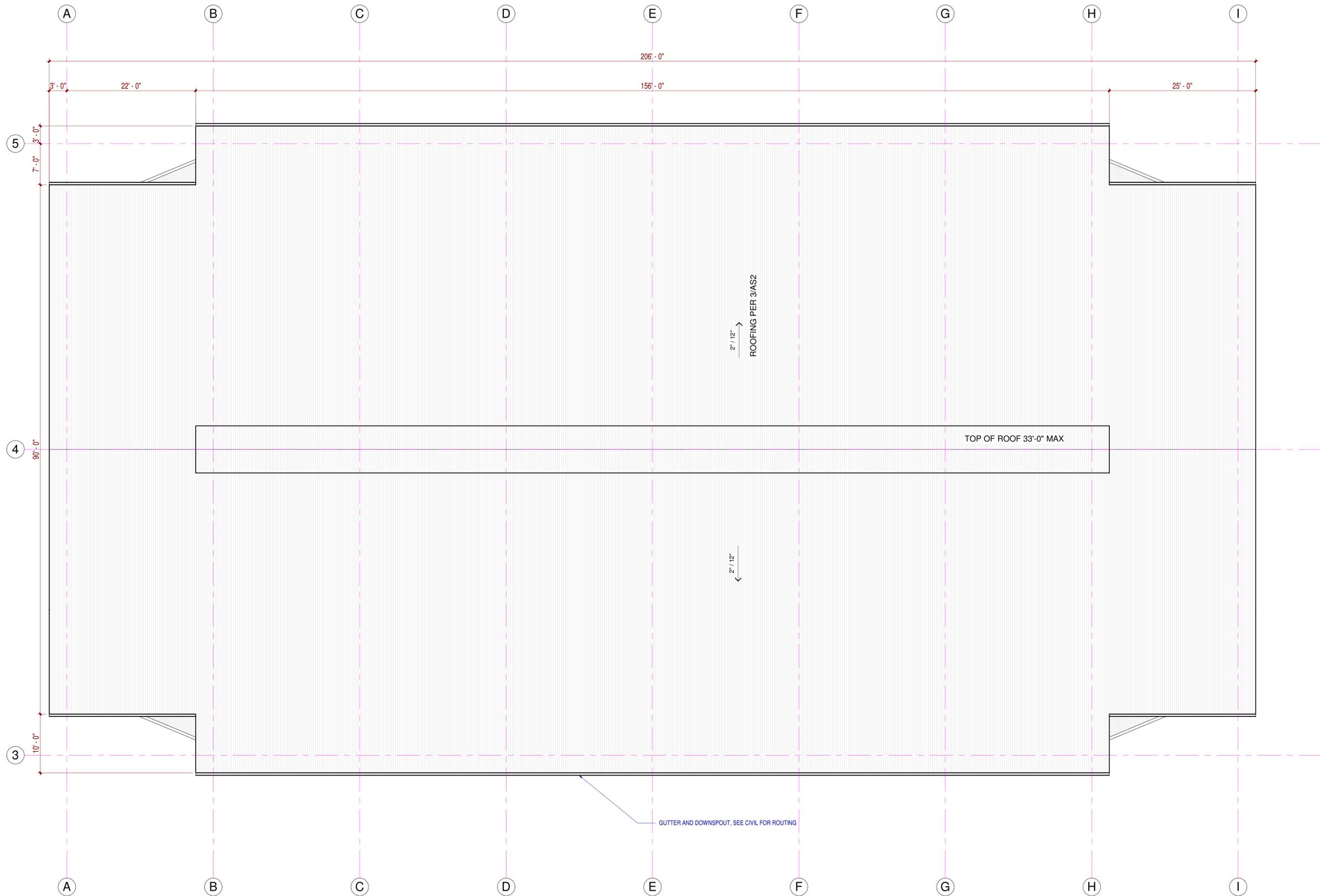
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7/28/22	OCP MP21-0030 App1
11/28/22	OCP Submit
	OCFA SR#

- Grading Permit
- Bid - DD
- BLDG Submit
- BLDG 1 Corrections
- BLDG 1 Resubmit
- BLDG 2 Corrections
- BLDG 2 Resubmit
- Bid - CD
- BLDG App1 - Permit
- Contract GC

GC	BID REVISION
# DATE	DESCRIPTION

PLOT	11/28/2022
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A1.1



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PLANNING SUBMITTAL

HEBNER'S ARENAS & BARN
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OCF SUBMITTAL
 ARENA ROOF PLAN

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PLOT 11/28/2022

ROOF PLAN
 1/8" = 1'-0"

A3.1

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HEBNER'S ARENAS & BARN
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PLANNING SUBMITTAL
 OCP SUBMITTAL
 ARENA EXTERIOR ELEVATIONS

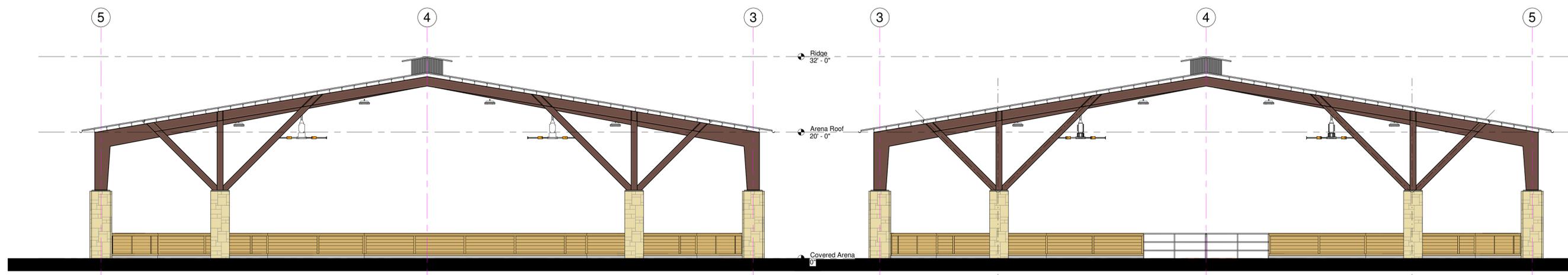
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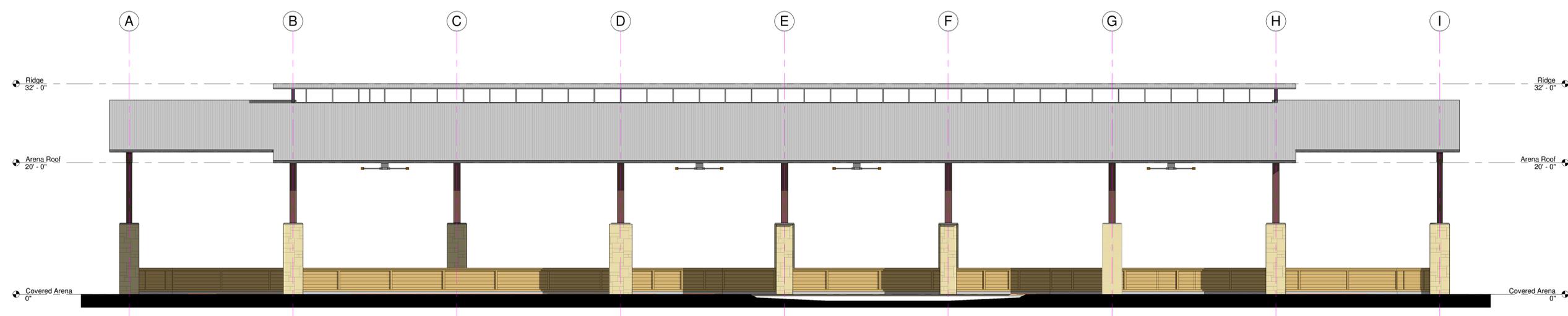
PLOT 11/28/2022

A4.1

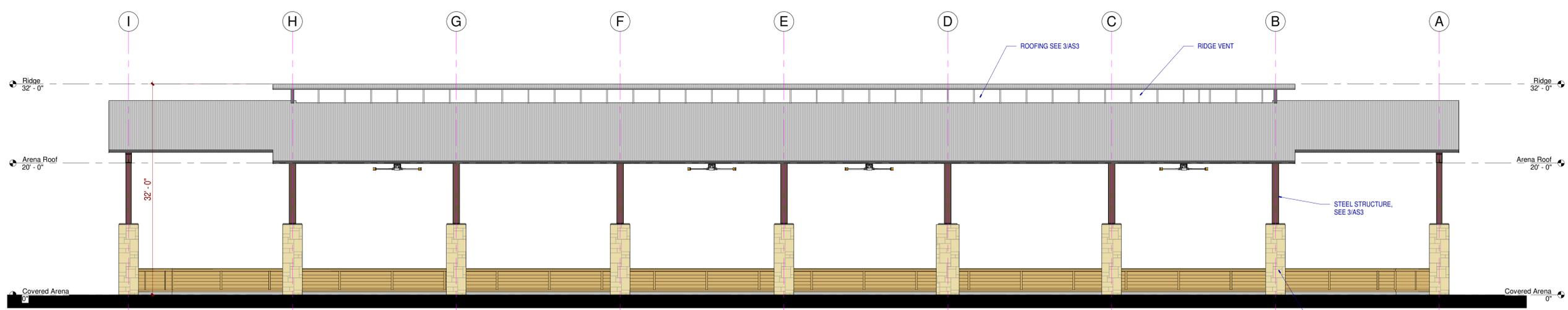


① NORTH ELEVATION
 1/8" = 1'-0"

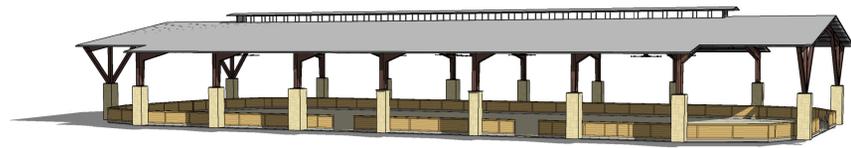
② SOUTH ELEVATION
 1/8" = 1'-0"



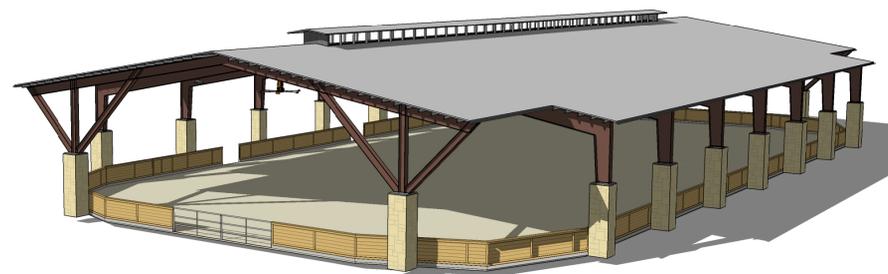
③ WEST ELEVATION
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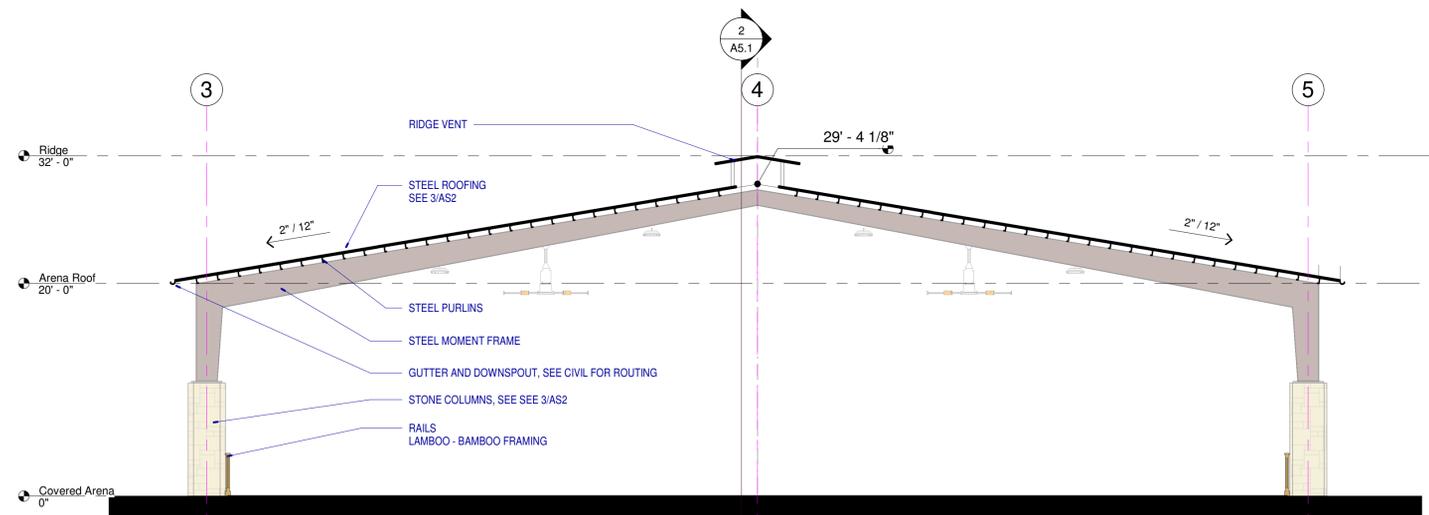
④ EAST ELEVATION
 1/8" = 1'-0"



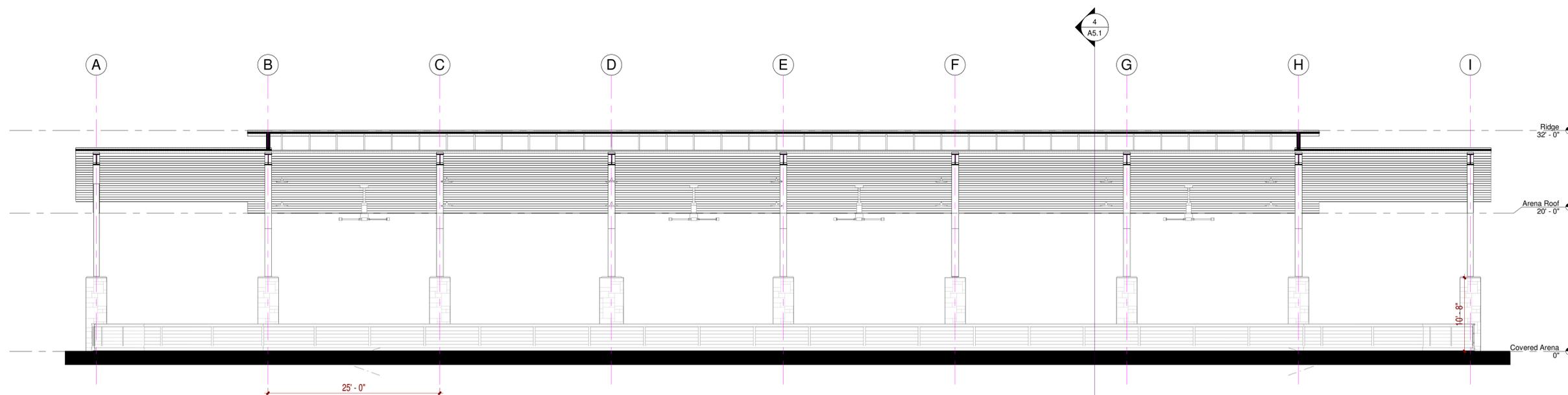
③ SOUTHEAST VIEW



⑤ SOUTHWEST VIEW



④ SHORT SECTION 1
1/8" = 1'-0"



② LONG SECTION @ COVERED ARENA
1/8" = 1'-0"

PLANNING SUBMITTAL

OCP SUBMITTAL
ARENA SECTIONS

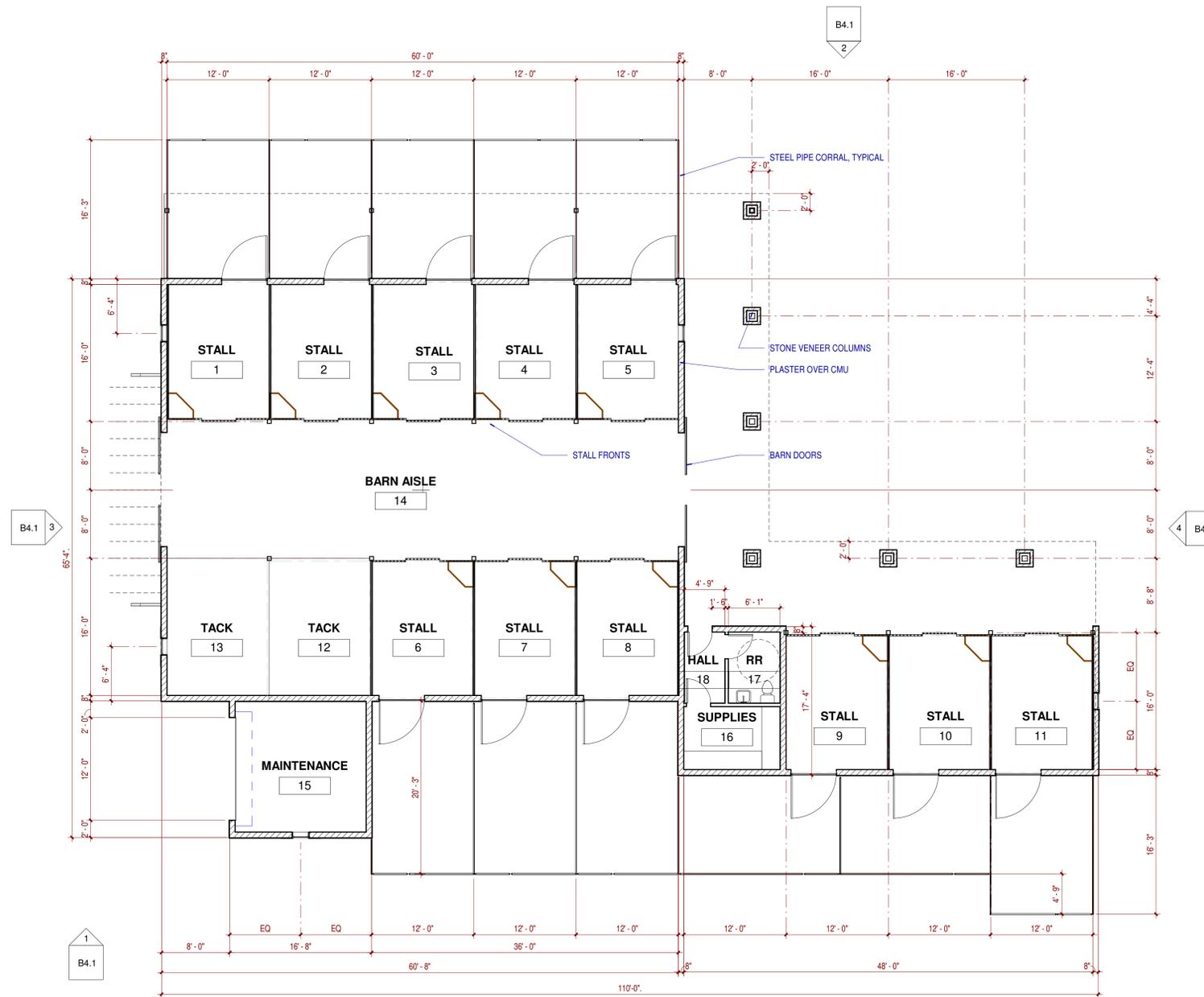
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PLOT 11/28/2022

A5.1



1 FIRST FLOOR
1/8" = 1'-0"

TYPE IV CONSTRUCTION

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HEBNER'S ARENA & BARN
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PLANNING SUBMITTAL

OCP SUBMITTAL
FLOOR PLAN

DATES DESCRIPTIONS

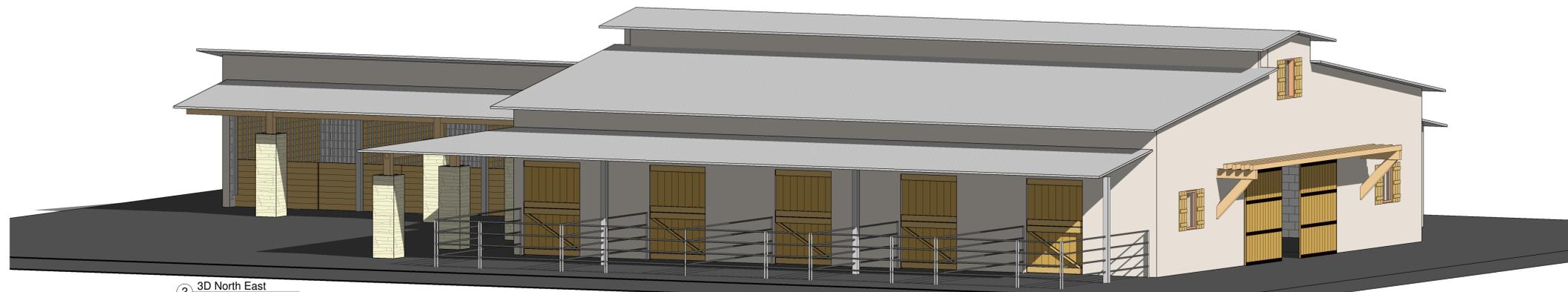
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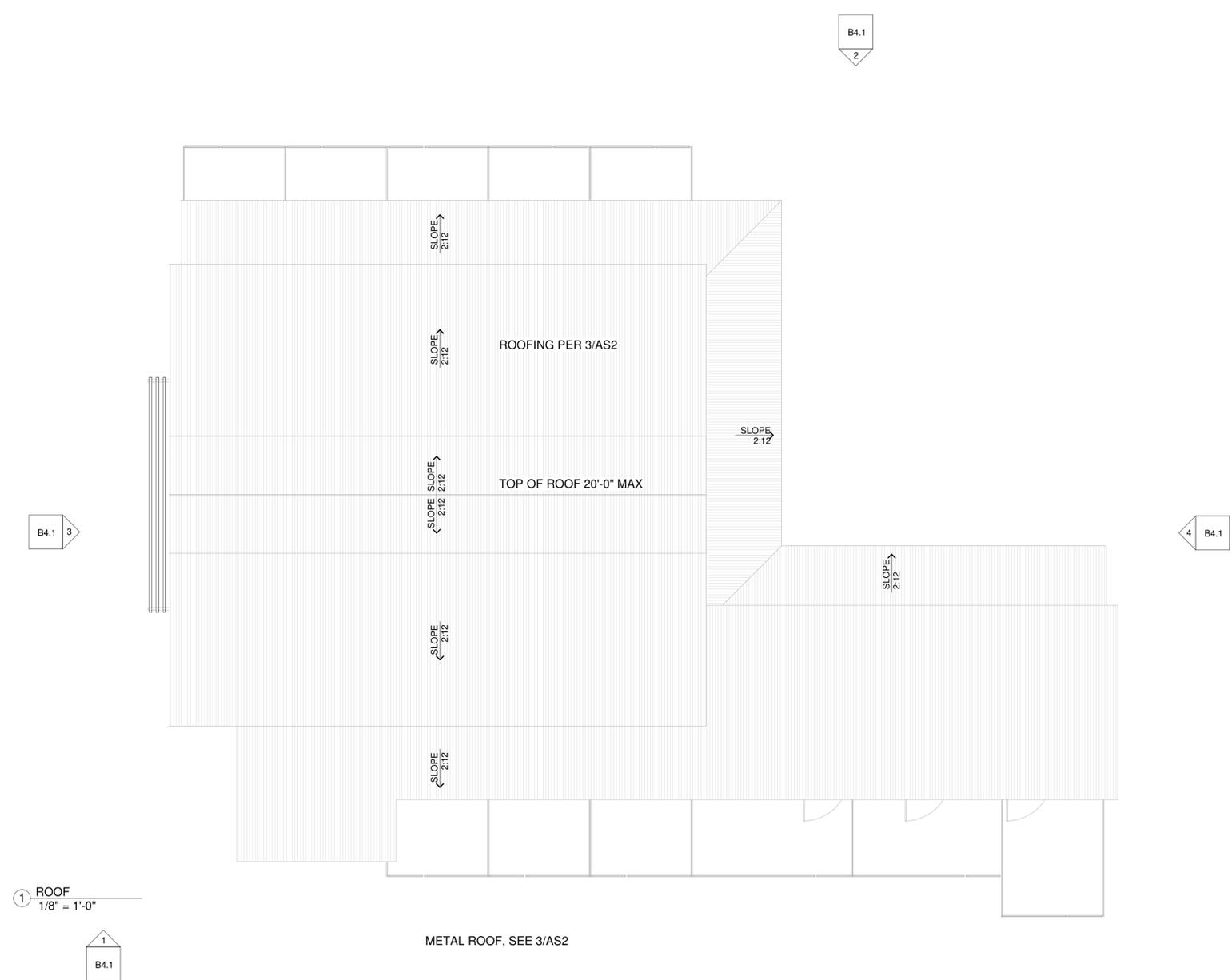
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PLOT 11/28/22

B1.1



② 3D North East



① ROOF
1/8" = 1'-0"



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OCP SUBMITTAL
ROOF PLAN

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B3.1

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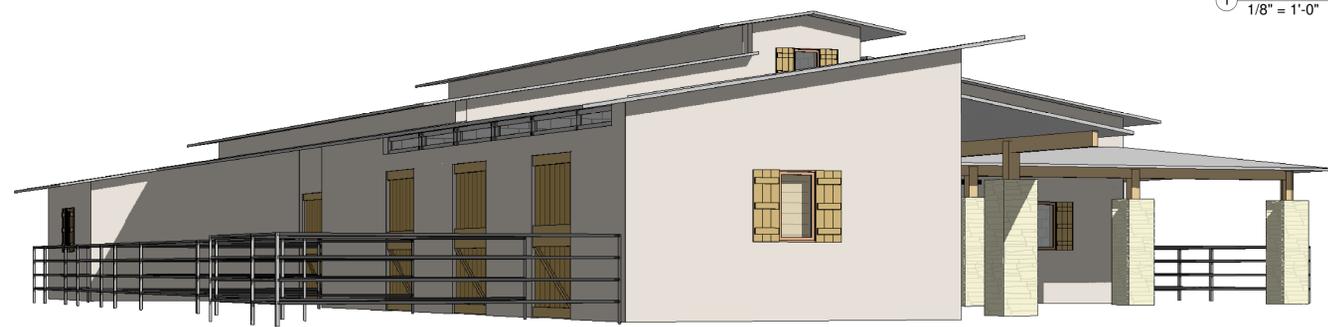
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#	DATE	DESCRIPTION

PLOT	11/28/22

B4.1



① South
 1/8" = 1'-0"



② North
 1/8" = 1'-0"



③ West
 1/8" = 1'-0"



④ East
 1/8" = 1'-0"

PLANING SUBMITTAL

DATES	DESCRIPTIONS
9/28/20	CEP App'l in Concept
11/16/20	OCF Informal
3/3/21	OCFA 293-130
7/28/22	OCF MP21-0030 App'l
11/28/22	OC Proj #22-38435
11/28/22	OCF PA22-0208 Submit
1/9/23	OCFA22-0208 Comments 1
2/7/23	CEP Approval
3/6/23	OCFA22-0208 Response 1

OCFA SR#	BID REVISIONS
Grading Permit	
Blid - DD	
BLDG Submit	
BLDG 1 Corrections	
BLDG 1 Resubmit	
BLDG 2 Corrections	
BLDG 2 Resubmit	
Blid - CD	
BLDG App'l - Permit	
GC Contract	

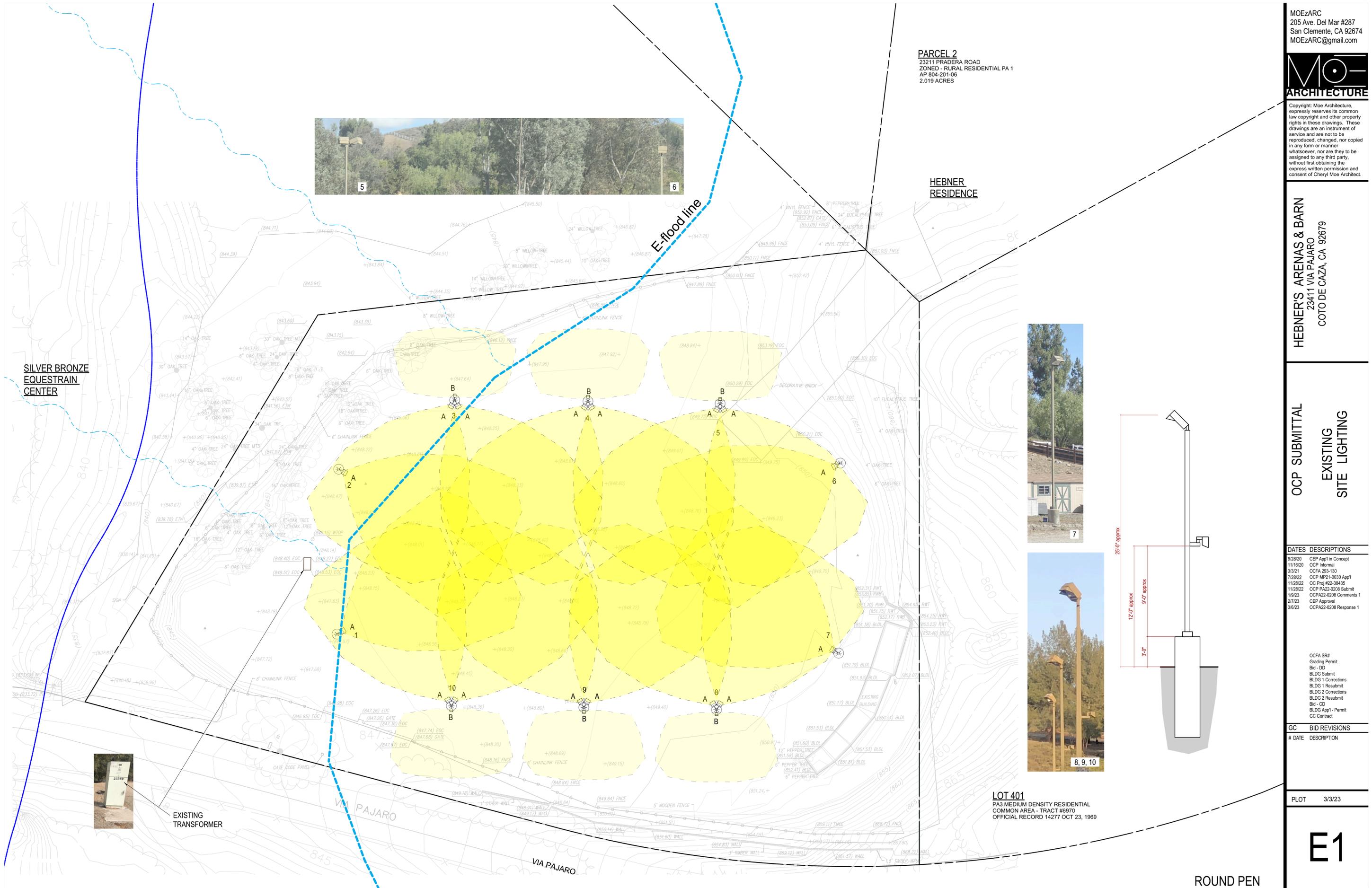
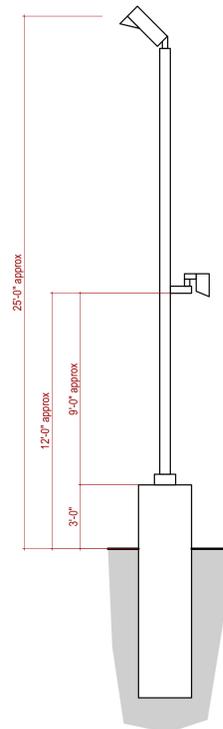
GC	BID REVISIONS
# DATE	DESCRIPTION

PLOT	3/3/23
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PARCEL 2
23211 PRADERA ROAD
ZONED - RURAL RESIDENTIAL PA 1
AP 804-201-06
2.019 ACRES

HEBNER RESIDENCE

LOT 401
PA3 MEDIUM DENSITY RESIDENTIAL
COMMON AREA - TRACT #6970
OFFICIAL RECORD 14277 OCT 23, 1969



SILVER BRONZE
EQUESTRIAN
CENTER

EXISTING
TRANSFORMER

ROUND PEN

SILVER BRONZE
EQUESTRAIN
CENTER

PARCEL 1
ZONED - CCC PA 21
AP 804-261-33
2.176 ACRES

PARCEL 2
23211 PRADERA ROAD
ZONED - RURAL RESIDENTIAL PA 1
AP 804-201-06
2.019 ACRES

HEBNER
RESIDENCE

E-flood line

NEW OPEN COVERED
ROUND PEN
TYPE IV
62' DIA.

NEW OPEN COVERED ARENA
100' x 200'
TYPE IV

NO OFF-SITE LIGHTING IMPACT
Lighting to be directed downward to avoid light pollution



C1
C2

LOT 401
PA3 MEDIUM DENSITY RESIDENTIAL
COMMON AREA - TRACT #6970
OFFICIAL RECORD 14277 OCT 23, 1969

VIA PAJARO

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HEBNER'S ARENAS & BARN
23411 VIA PAJARO
COTO DE CAZA, CA 92679

OCF SUBMITTAL
CONCEPTUAL
SITE LIGHTING STUDY

DATES	DESCRIPTIONS
9/28/20	CEP App1 in Concept
11/16/20	OCF Informal
3/3/21	OCFA 293-130
7/28/22	OCF MP21-0030 App1
11/28/22	OCF Proj #22-38435
1/9/23	OCFA22-0208 Submit
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- OCFA SR#
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- BLDG 2 Resubmit
- Blid - CD
- BLDG App1 - Permit
- GC Contract

GC	BID REVISIONS
# DATE	DESCRIPTION

PLOT 3/3/23

E2