

Cielo Vista Model Site Development Permit

OUR TEAM

Lot 72

Lennar Homes

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WHA. Architects . Planners . Designers . Contact: Fernando Laullon, AIA, NCARB, EVP 680 Newport Center Drive, Suite 300 Newport Beach, CA 92660 949.250.0607 | www.WHAinc.com

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Lot 74



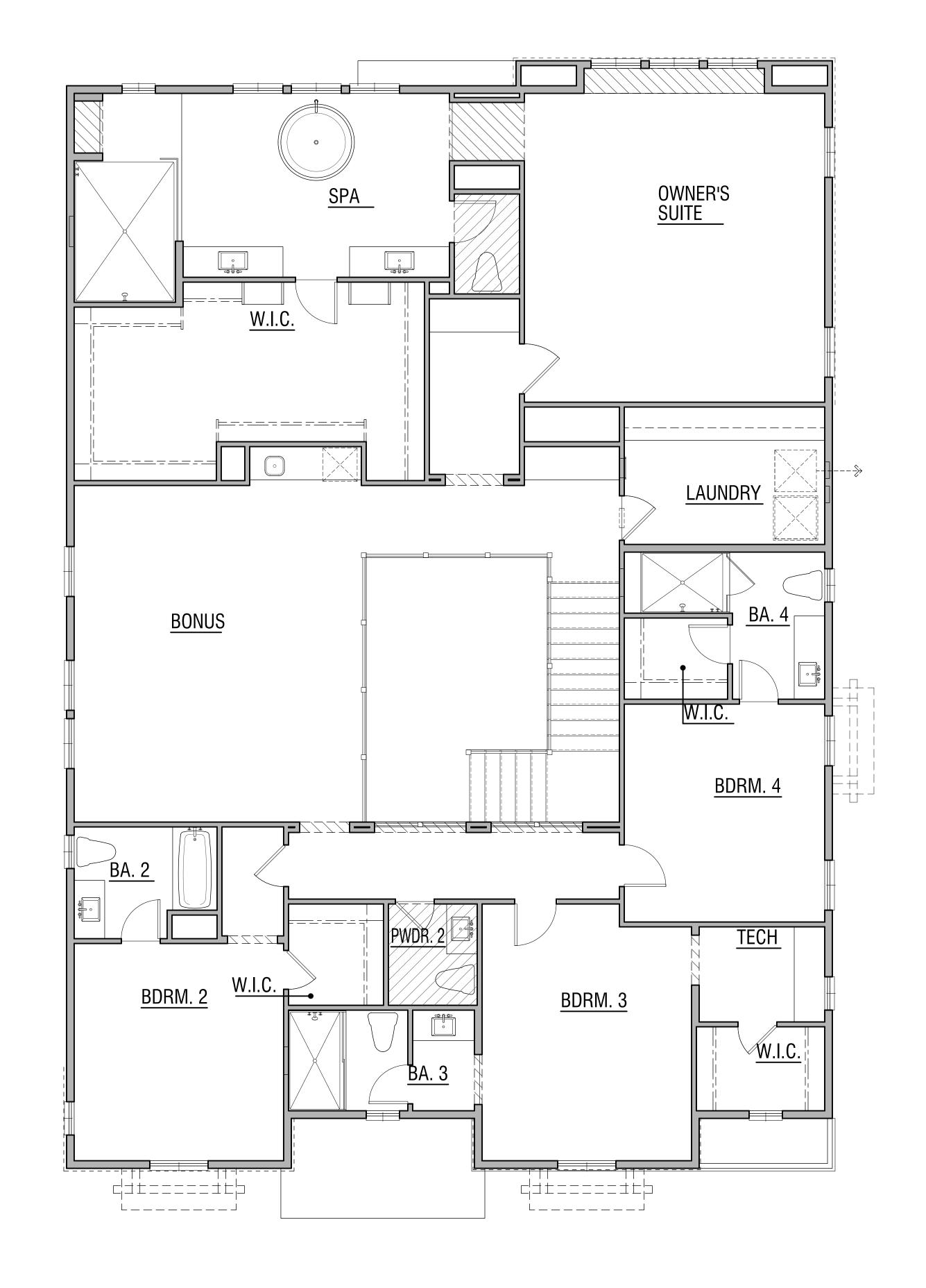
Conceptual Street Scene

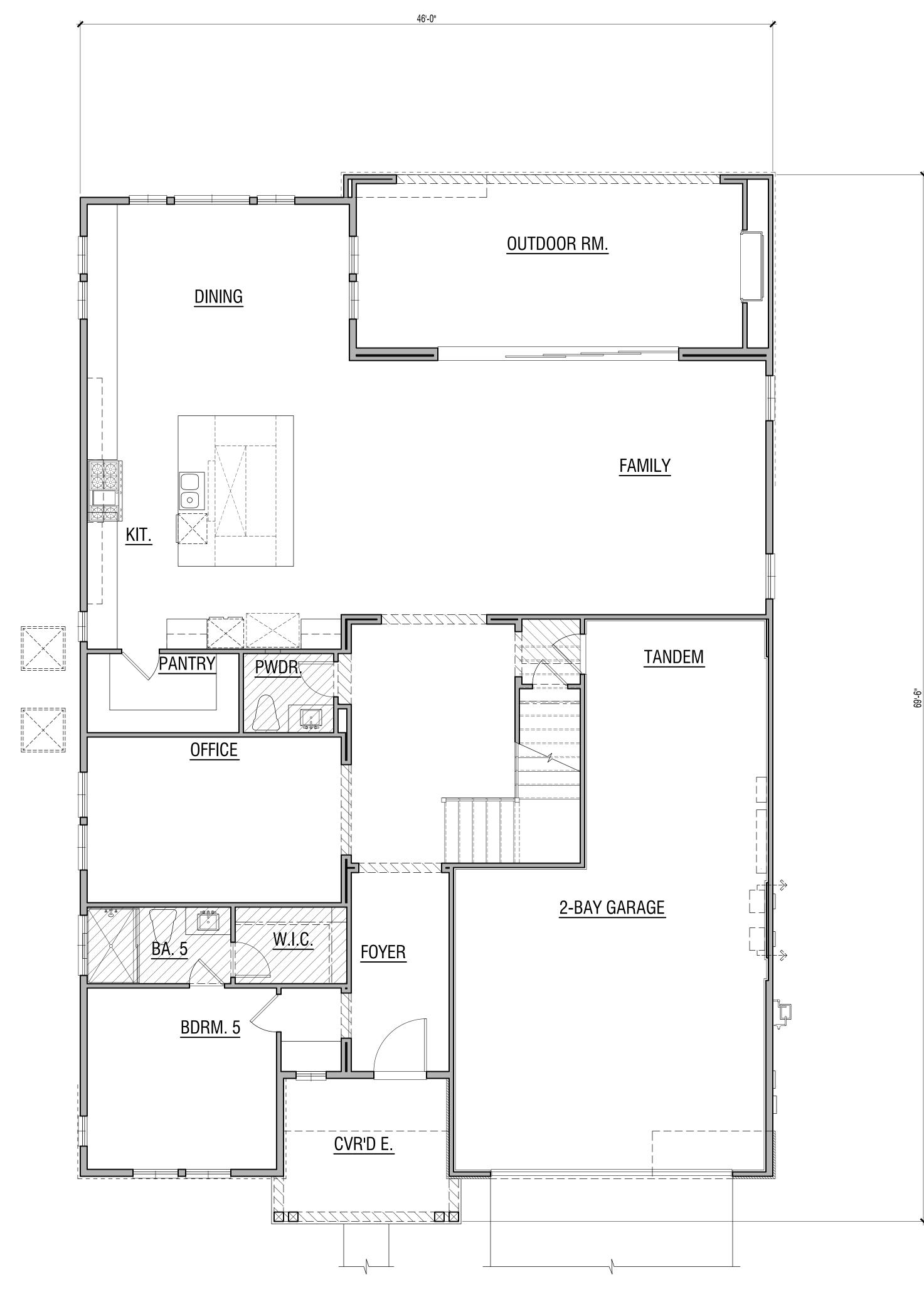
CIELO VISTA

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ARCHITECTS . PLANNERS . DESIGNERS





4,697 SF
5 Bedroom | 5.5 Bath + Powder
Bonus / Office
2-Bay Garage + Tandem

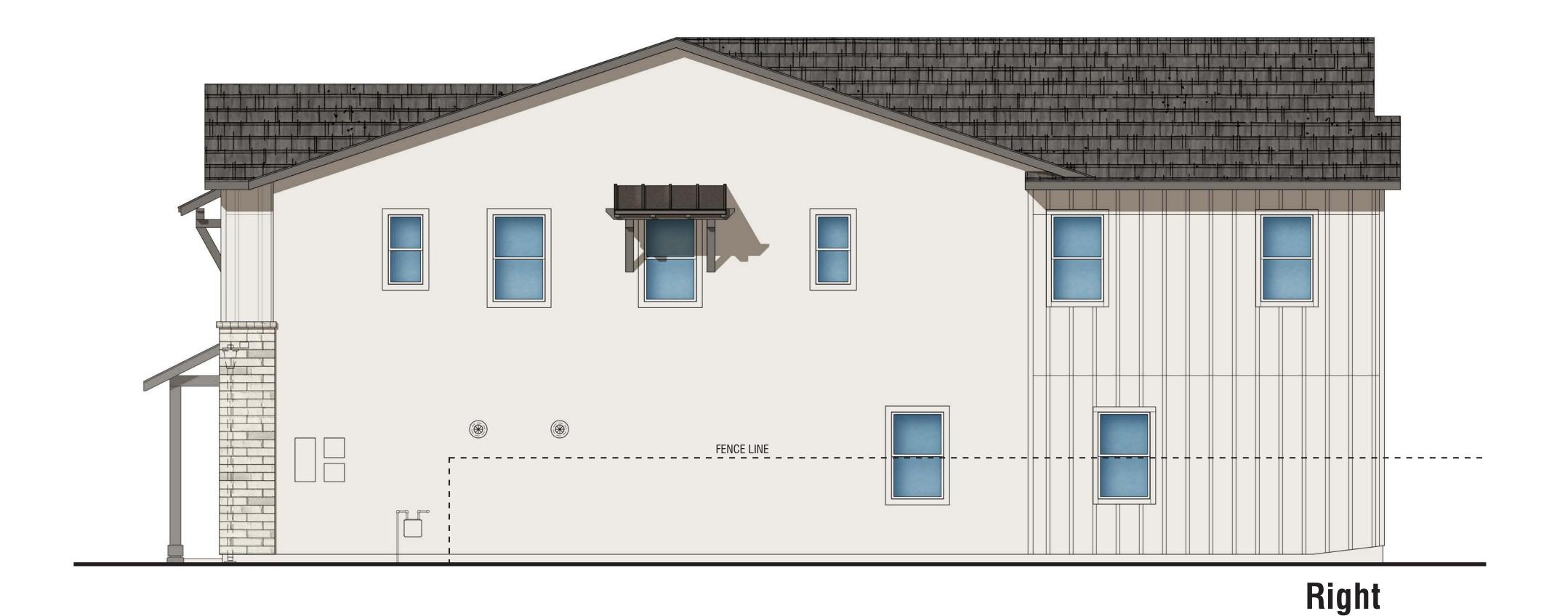
3BR | Floor Plan Lot 74 - Model

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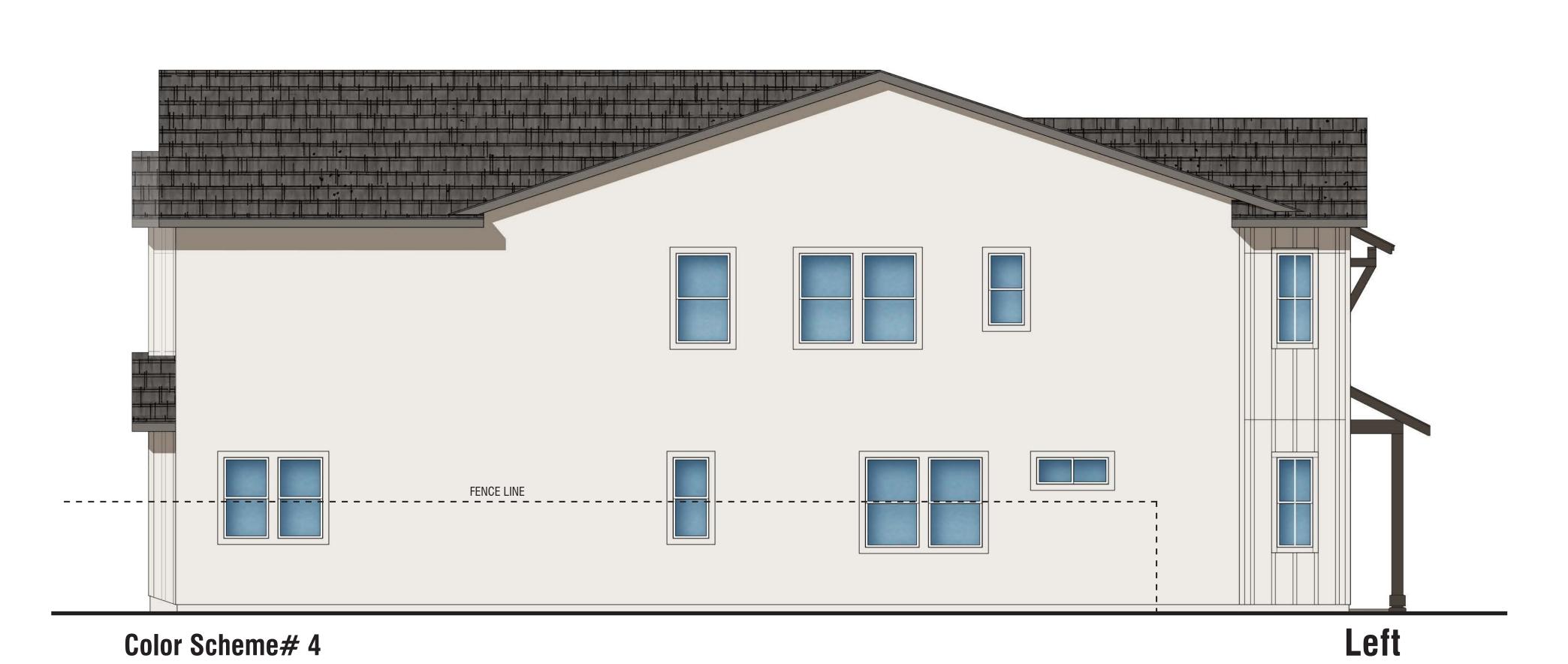
FLOOR AREA TABLE	PLAN 3B-R		
FIRST LEVEL	1999 SQ. FT.		
SECOND LEVEL	2698 SQ. FT.		
TOTAL	4697 SQ. FT.		
2-BAY GARAGE + TANDEM	643 SQ. FT.		
COVERED ENTRY	111 SQ. FT.		
OUTDOOR ROOM	319 SQ. FT.		
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION			

A1.1









Note: Artist's Conception; Colors, Materials and Application May Vary.

LENNAR®



Concrete Slate Tile

2X Wood Fascia

Wood Barge Board

Foam and Wood Trim

Wood Braces with Metal Roof

Manufactured Brick Veneer

Stucco with Board + Batts Siding

Decorative Front Entry Door with Glass Lites

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Decorative Metal Roll-Up Garage Door with Glass Lites

3BR | Farmhouse Exterior Elevations Lot 74 - Model

Roof:

Barge:

Brick:

Exterior:

Entry Door:

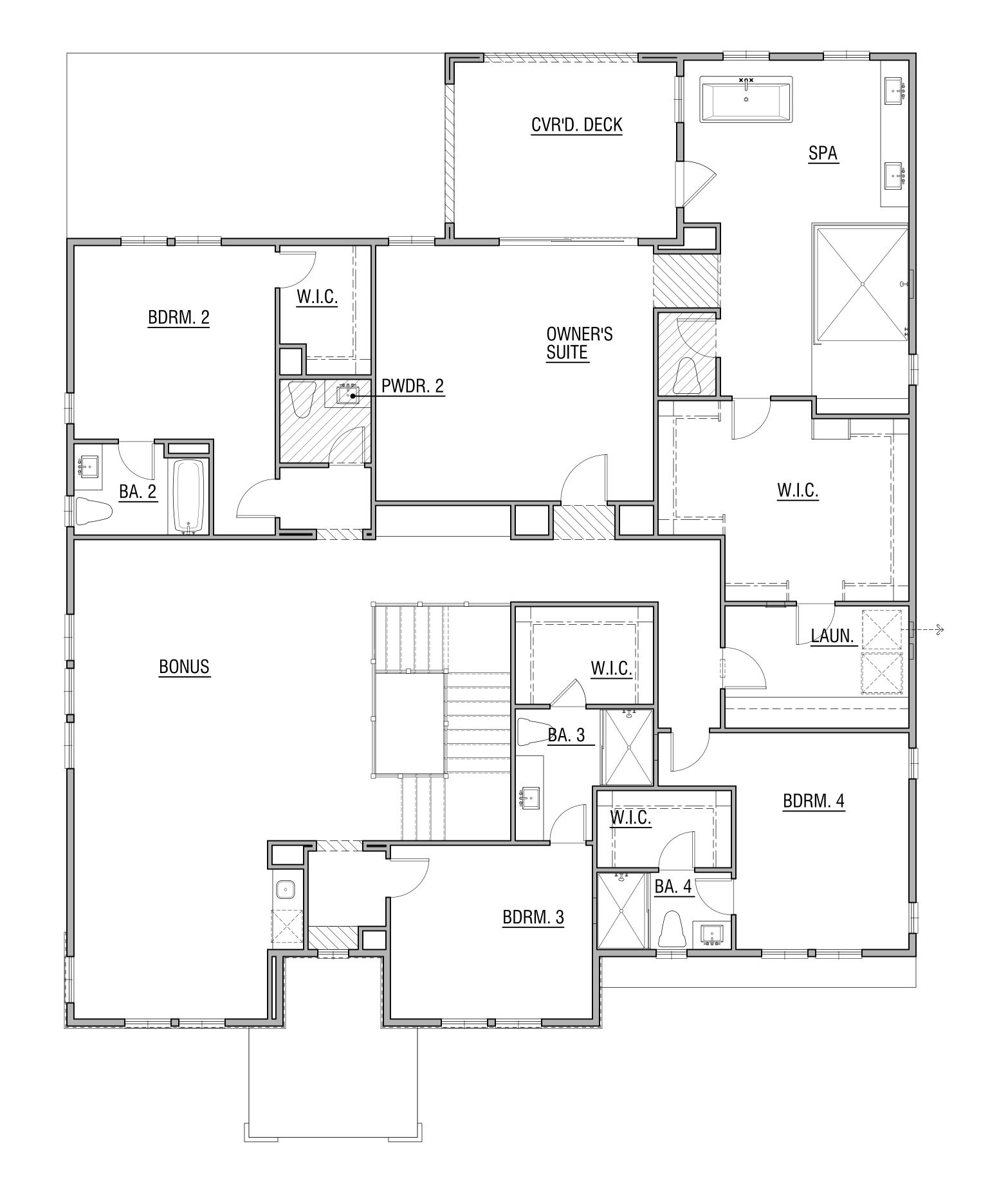
Garage Door:

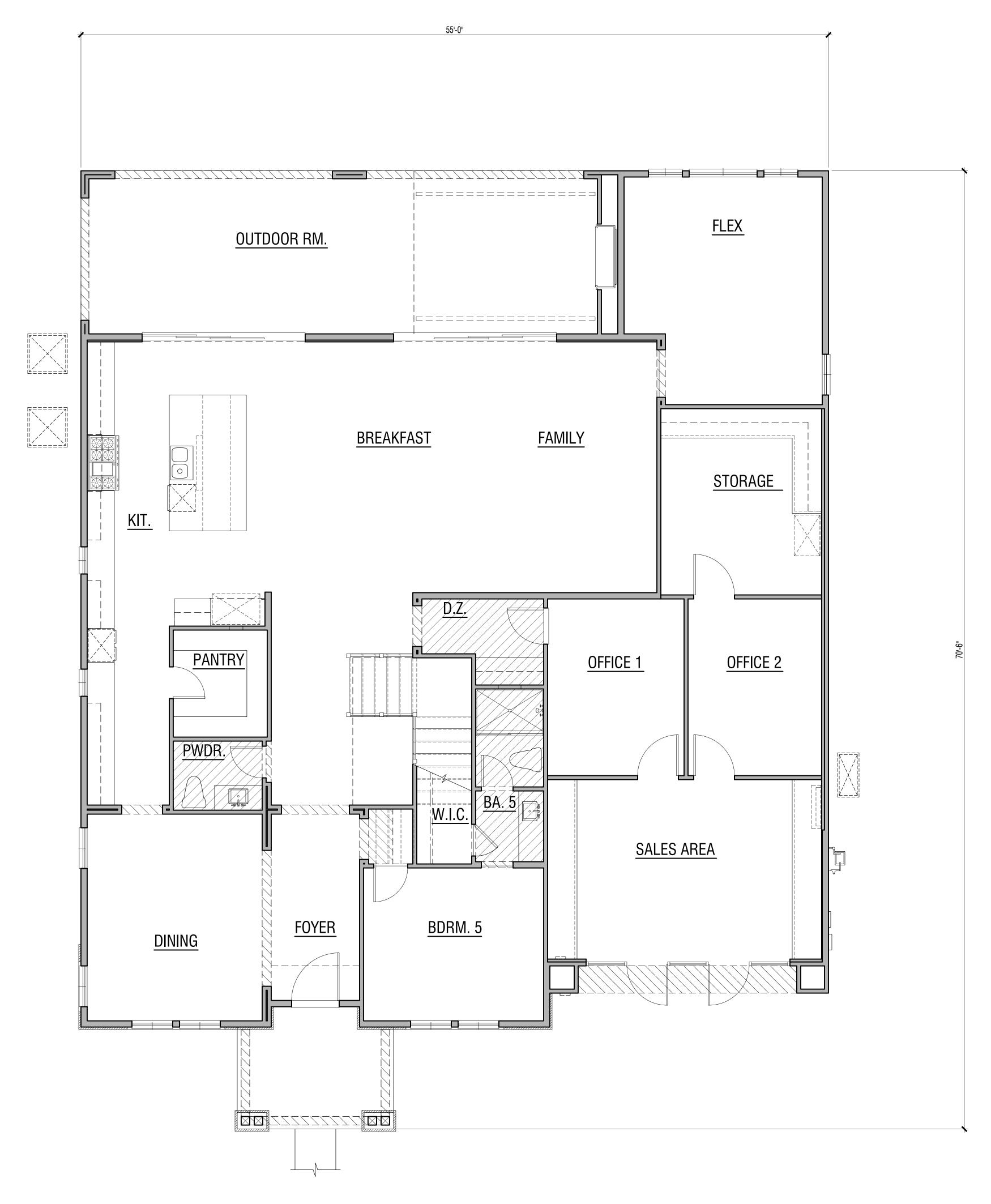
Window & Door Trim:

Shed Roof:

SDP SUBMITTAL







4,903 SF 5 Bedroom | 5.5 Bath + Powder Bonus / Flex / Office 1 / Office 2 Sales Area / Storage

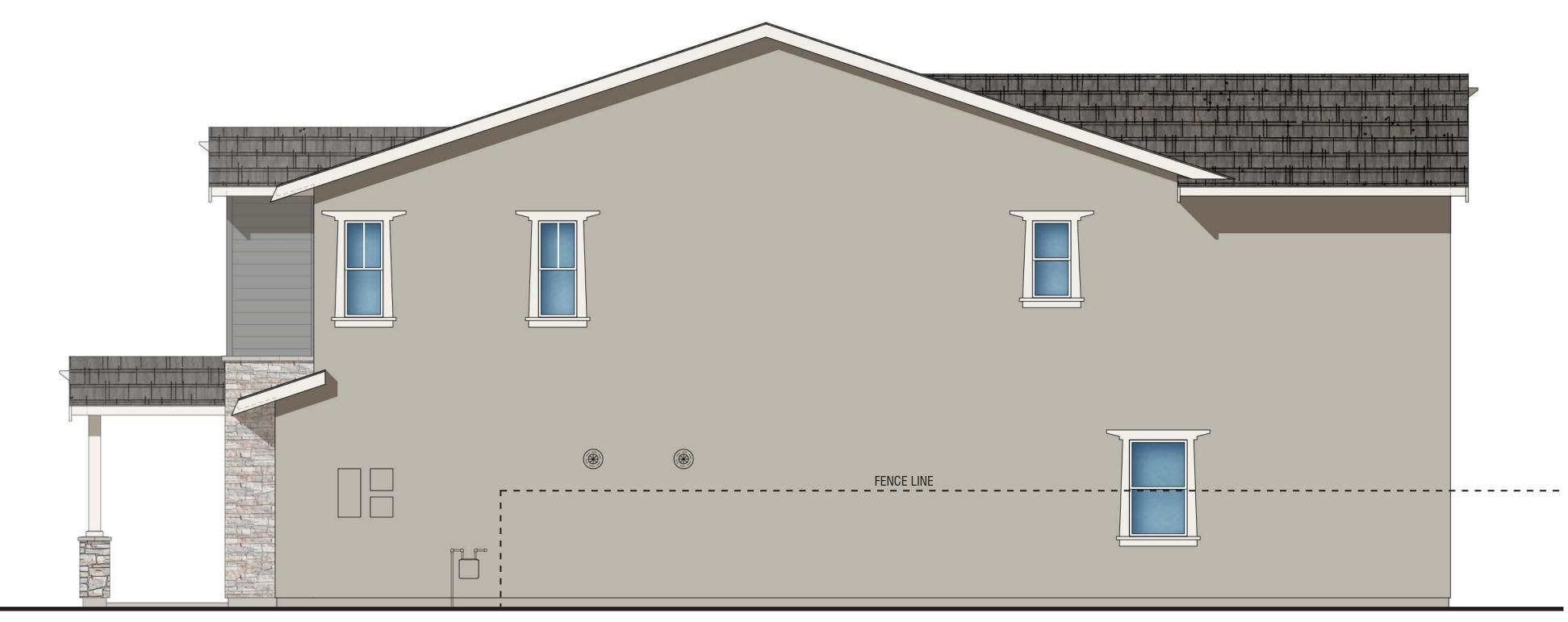
4AR | Floor Plan Lot 72 - Model

CIELO VISTA

FLOOR AREA TABLE	PLAN 4A		
FIRST LEVEL	2158 SQ. FT.		
SECOND LEVEL	2745 SQ. FT.		
TOTAL	4903 SQ. FT.		
SALES OFFICE	731 SQ. FT.		
COVERED ENTRY	96 SQ. FT.		
OUTDOOR ROOM	474 SQ. FT.		
COVERED DECK	180 SQ. FT.		
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION			

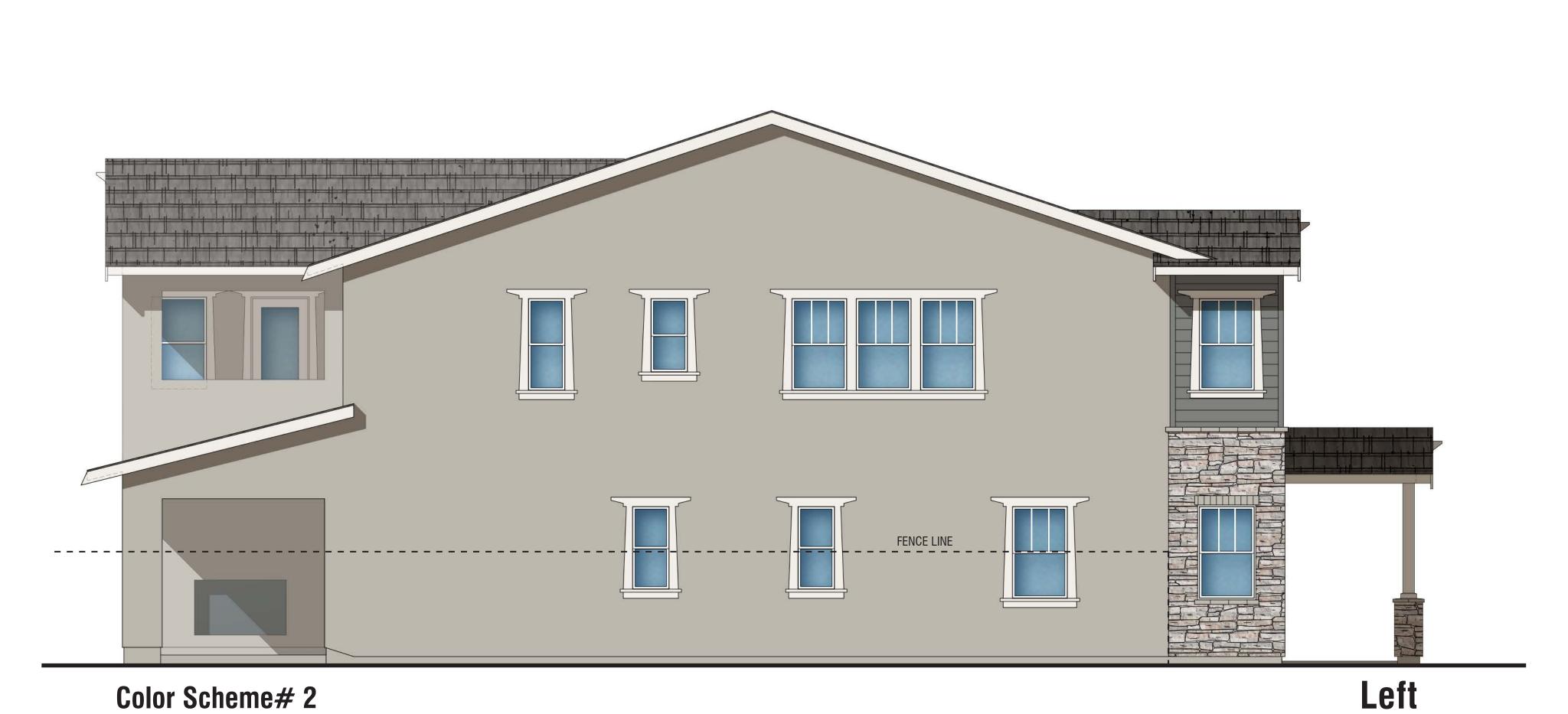
SDP SUBMITTAL







Right



Note: Artist's Conception; Colors, Materials and Application May Vary.



4AR | Bungalow Exterior Elevations Lot 72 - Model MATERIALS: BUNGALOW

Front

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Roof: Concrete Shake Tile Fascia: 2X Wood Fascia Wood Barge Board

Gable: Board + Batts Siding with Wood Outlookers at Front and Rear Elevations

Stone: Manufactured Stone Veneer with Brick Cap

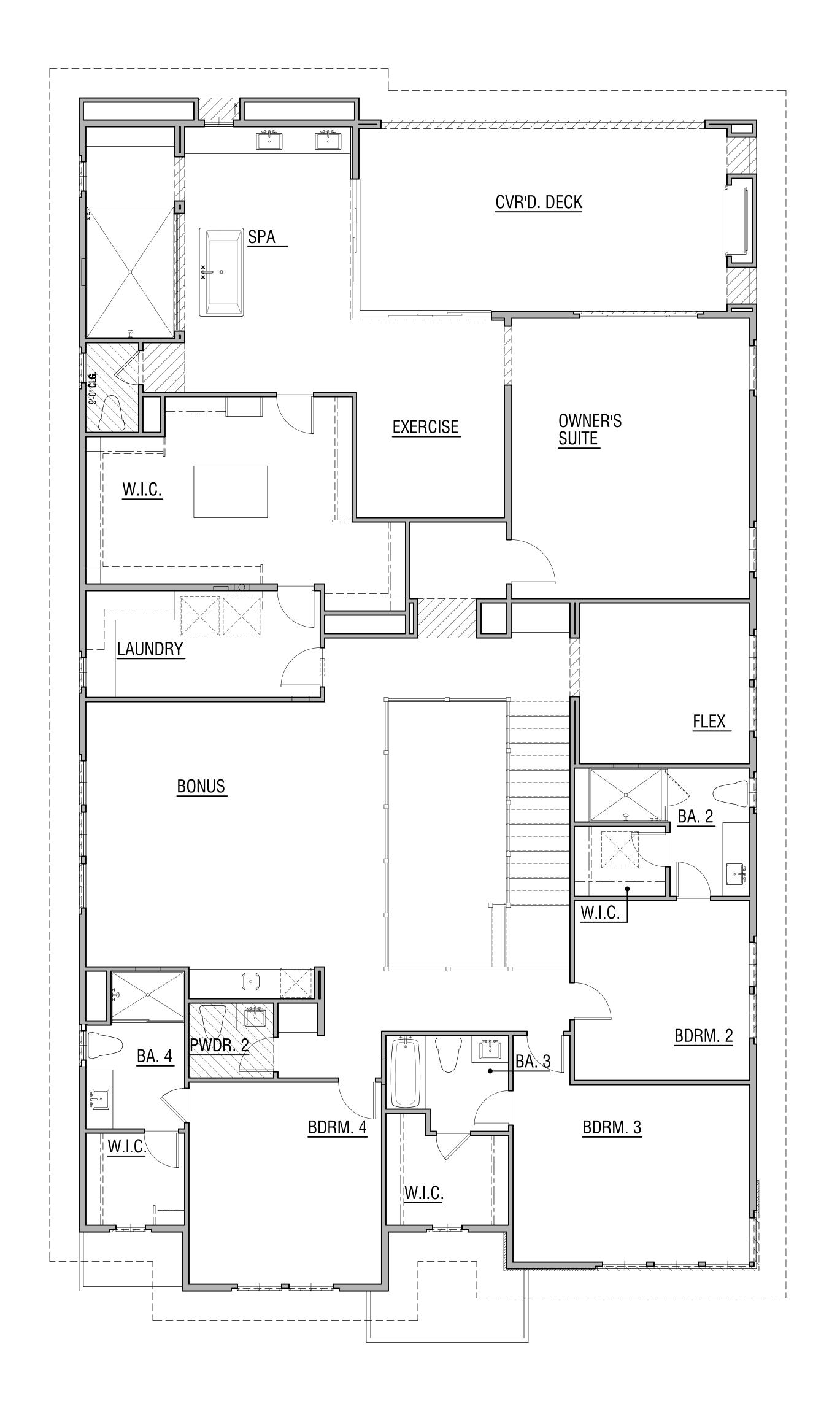
Exterior: Stucco with Horizontal Siding

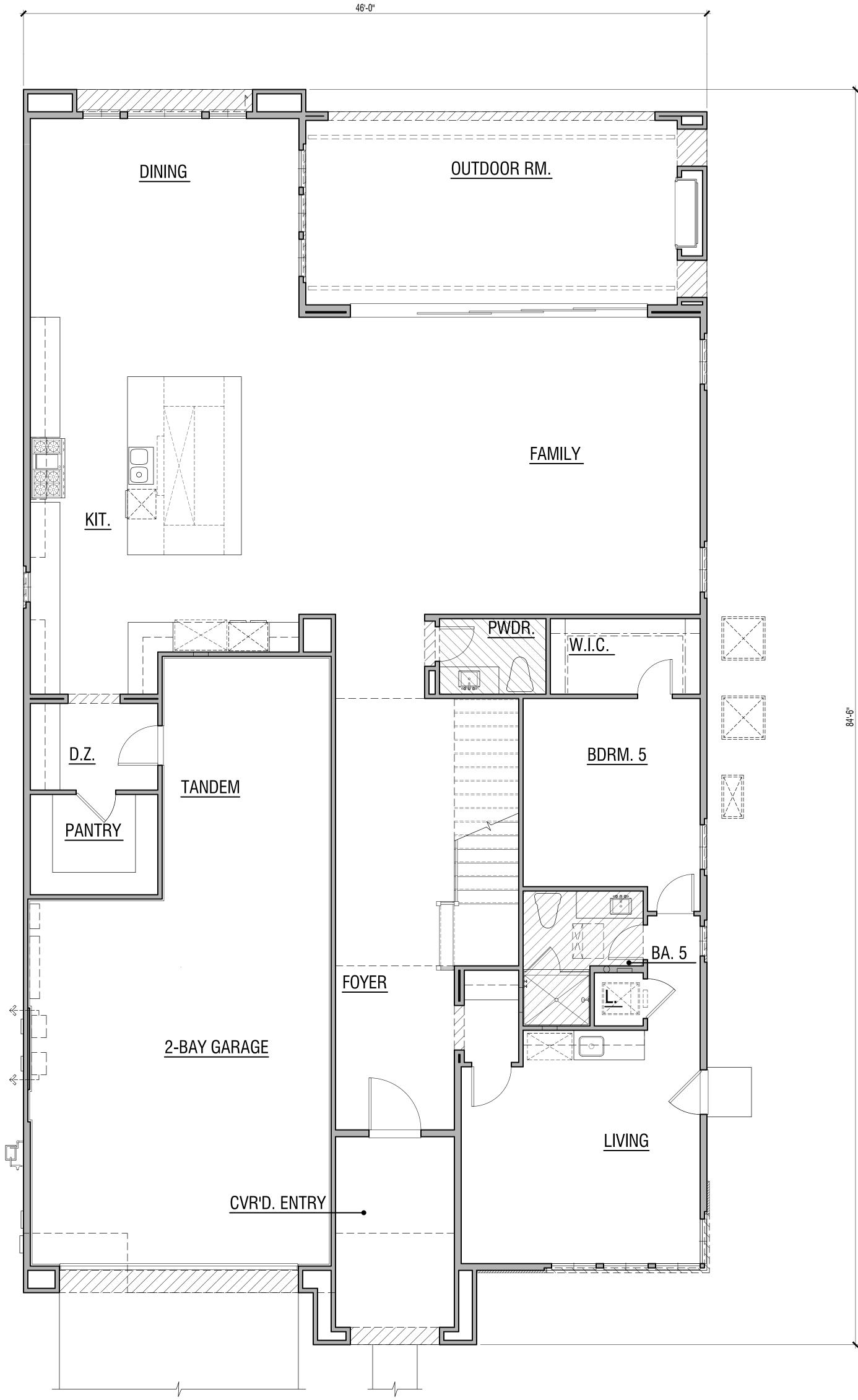
Window & Door Trim: Foam and Wood Trim

Entry Door: Decorative Front Entry Door with Glass Lites
Sales Office: Metal with Glass Door and Window Panels

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5,458 SF
5 Bedroom | 5.5 Bath + Powder
Bonus / Exercise
2-Bay Garage + Tandem

5D | Floor Plan Lot 73 - Model

CIELO VISTA

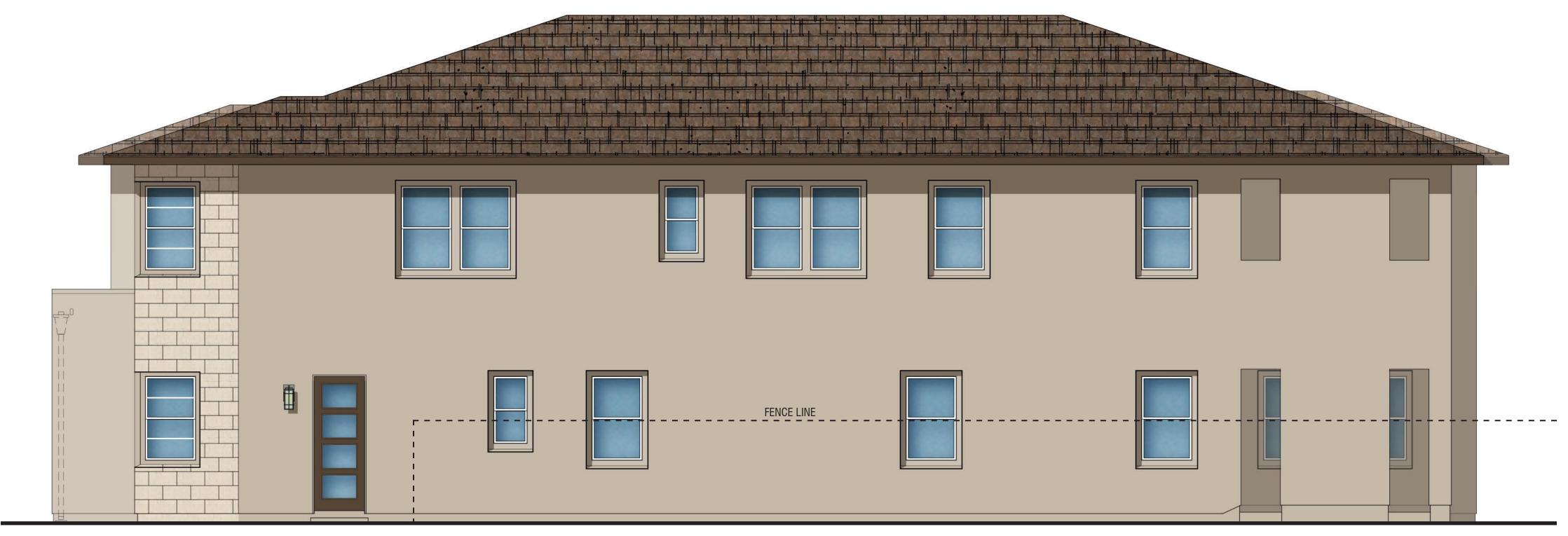
FLOOR AREA TABLE	PLAN 5D		
FIRST LEVEL	2459 SQ. FT.		
SECOND LEVEL	2999 SQ. FT.		
TOTAL	5458 SQ. FT.		
2-BAY GARAGE + TANDEM	706 SQ. FT.		
COVERED ENTRY	115 SQ. FT.		
OUTDOOR ROOM	351 SQ. FT.		
COVERED DECK	351 SQ. FT.		
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION			

3.1

WHA.

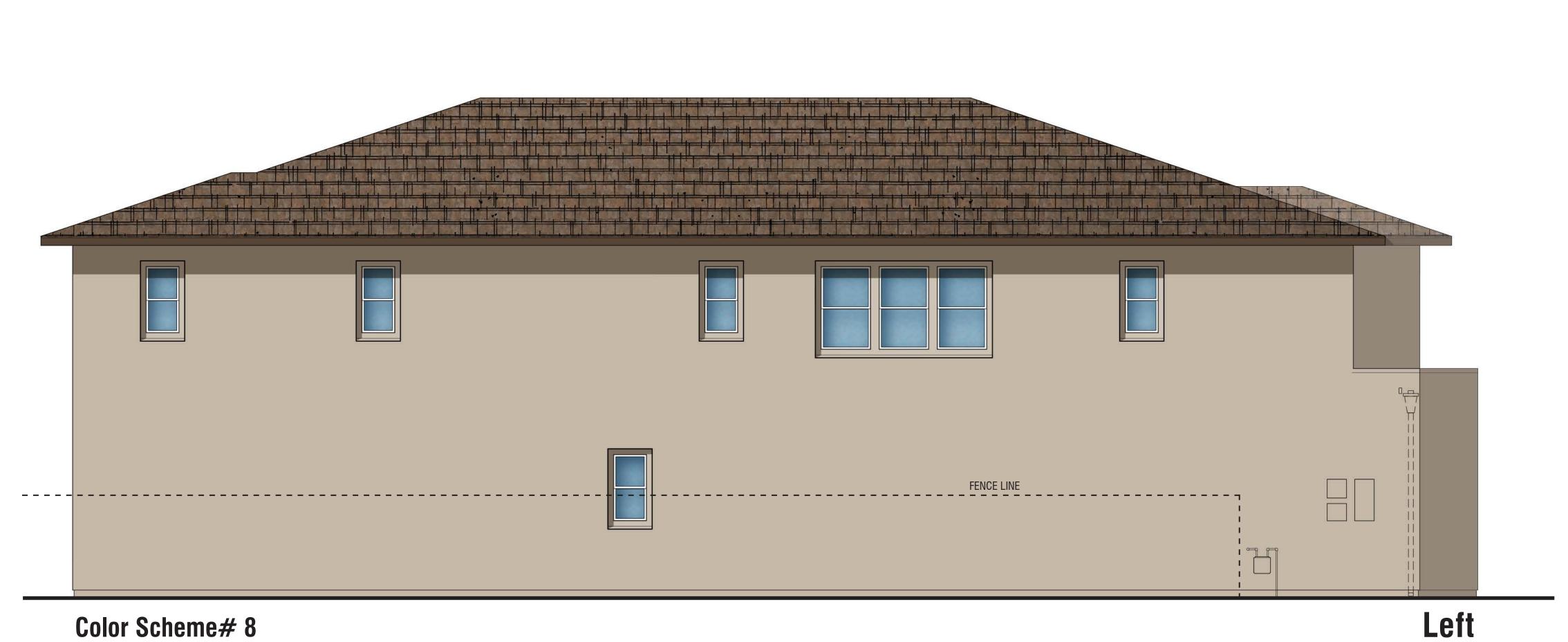
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Rear





Concrete Slate Tile Roof: 2X Wood Fascia Manufactured Stone Veneer

Exterior:

MATERIALS:

Entry Door: Decorative Front Entry Door with Glass Lites Decorative Metal Roll-Up Garage Door Garage Door:

CONTEMPORARY

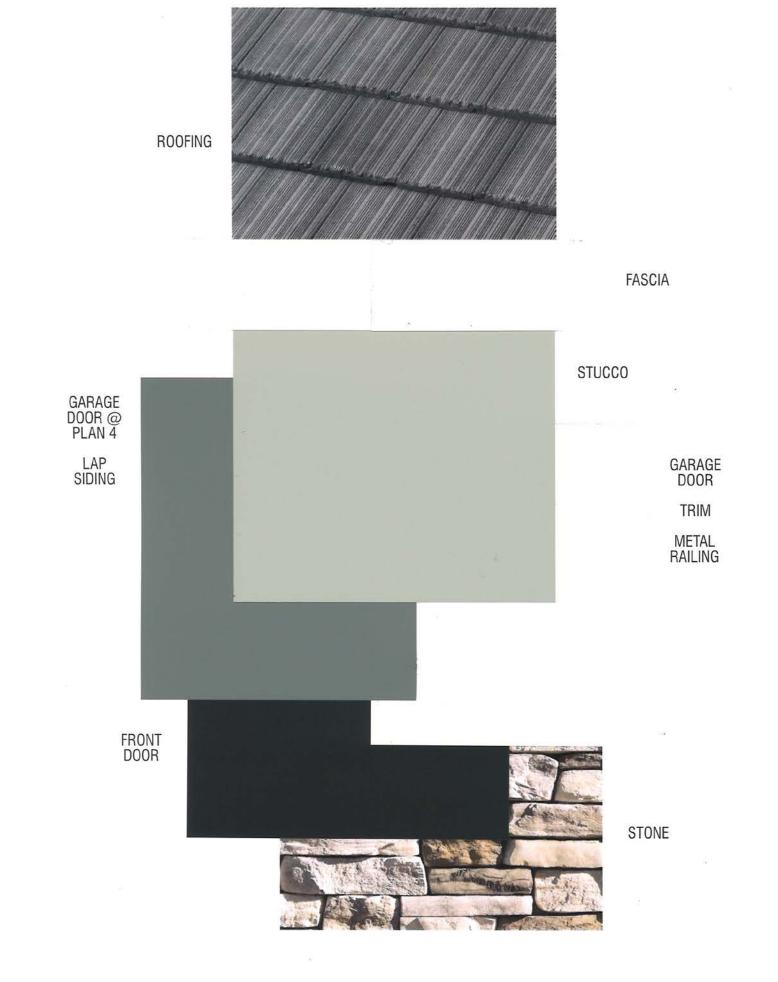
5D | Contemporary Exterior Elevations Lot 73 - Model

CIELO VISTA

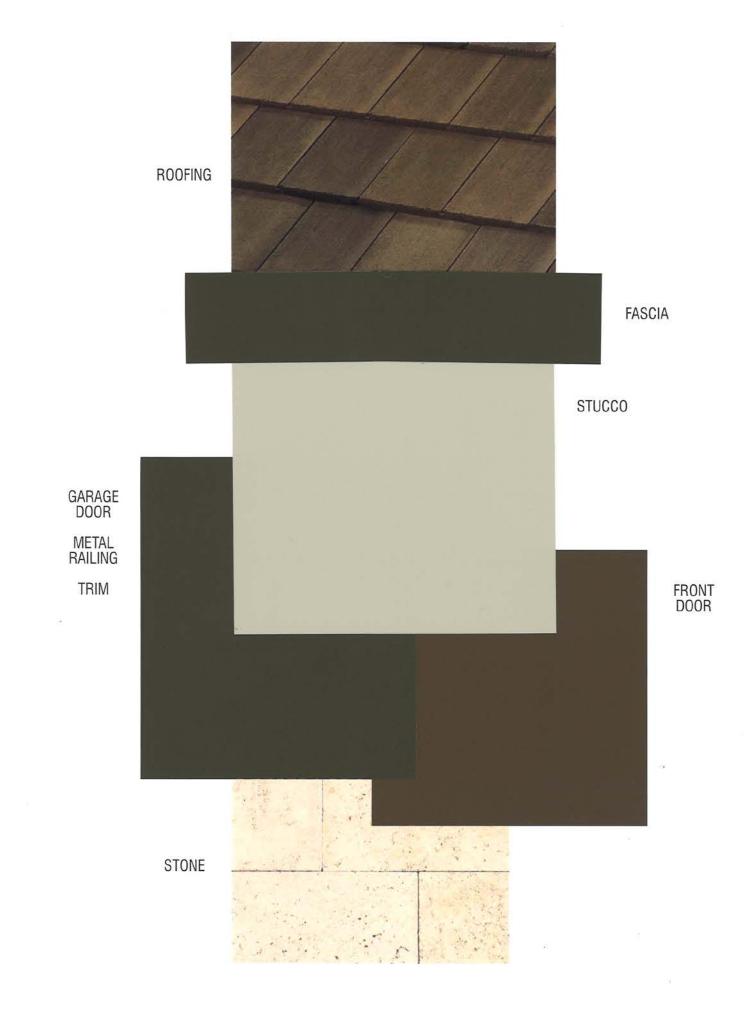


Front

LENNAR®



METAL ROOF **FASCIA** STUCCO BOARD & BATTENS TRIM FRONT DOOR



CIELO VISTA Yorba Linda, California LENNAR HOMES October 21, 2022 | 2019288

For exact color refer to manufacturers' actual samples. © 2022 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA

WHA. ORANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO

SCHEME 2
'A' Elevations Only

CIELO VISTA Yorba Linda, California LENNAR HOMES October 21, 2022 | 2019288

For exact color refer to manufacturers' actual samples.

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SCHEME 4 'B' Elevations Only Farmhouse

ORANGE COUNTY . LOS ANGELES . BAY AREA . SACRAMENTO

SCHEME 8 'D' Elevations Only

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DRANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO

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Exterior Color & Materials

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Yorba Linda, California

PAGE 2 OF 9

HEME 2 OF 9	Ή.	A' ELEVATIONS ONLY, BUNGA
Material	Color	Manufacturer
Roofing: Concrete Shake Tile	1FBCJ 1430 Charcoal Blend Ref: .17 Emi: .91 A.SRI: 17 CRRC: 0942-0072	Westlake Royal (Boral)
Vinyl Windows (factory finish)	White	TBD
Gutters & Downspouts (factory finish)	¹Linen	RGS
Manufactured Stone (dry-stacked joints)	Whitebark Cliffstone	Eldorado
Manufactured Brick Cap	Ashland - Tundra Brick	Eldorado
Grout @ Brick Cap	Mac Soft White	Orco
Stucco (16/20 sand finish)	¹ T 35 (Similar to Sherwin Williams SW 7016 Mindful Gray)	Omega
Siding Color (applied to): Corner Boards Garage Door @ Plan 4 Lap Siding Secondary Doors	SW 7067 Cityscape	Sherwin Williams
Trim Color (applied to): Barge Boards Braces Eaves Fascia Garage Door Metal Railing Outlookers Posts Secondary Doors Trim	SW 7009 Pearly White	Sherwin Williams
Accent Color (applied to): Front Door	SW 6991 Black Magic	Sherwin Williams
Trim @ Stone Only	SW 7016 Mindful Gray	Sherwin Williams
Fiber Board Panel @ Gable	SW 7048 Urbane Bronze	Sherwin Williams
Deck Coating (factory finish)	¹ Executive Gray	Pli-Dek
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

Exterior Color & Materials

Material	Color	Manufacturer
Roofing: Concrete Slate Tile	1FACS 1430 Charcoal Blend Ref: .17 Emi: .91 A.SRI: 17 CRRC: 0942-0072	Westlake Royal (Boral)
Metal Roof (factory finish)	Midnight Bronze	Custom-Bilt Metals
Vinyl Windows (factory finish)	White	TBD
Gutters & Downspouts (factory finish)	¹ Bronze	RGS
Manufactured Brick (standard brick joints)	Chalkdust Tundra Brick	Eldorado
Grout @ Brick	¹ Mac Snow White	Orco
Stucco (16/20 sand finish)	¹ 3/4 432 (Similar to Sherwin Williams SW 7004 Snowbound)	Omega
Siding Color (applied to): Board & Battens Corner Boards Garage Door Trim	SW 7004 Snowbound	Sherwin Williams
Trim Color (applied to): Barge Boards Eaves Fascia Secondary Doors	SW 7019 Gauntlet Gray	Sherwin Williams
Wood Finish (applied to): Wood Beam Wood Posts	Clear Coat	Sherwin Williams
Accent Color (applied to): Front Door Metal Railing	SW 7069 Iron Ore	Sherwin Williams
Deck Coating (factory finish)	¹ Executive Gray	Pli-Dek
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

Exterior Color & Materials

Material	Color	Manufacturer		
Roofing: Concrete Slate Tile	1FACS 1132 Charcoal Brown Blend Ref: .17 Emi: .91 A.SRI: 16 CRRC: 0942-0005	Westlake Royal (Boral)		
TPO Roofing (factory finish)	White Ref: .79 Emi: .85 A.SRI: 83 CRRC: 0608-0008	Firestone		
Vinyl Windows (factory finish)	White	TBD		
Gutters & Downspouts (factory finish)	¹ Rustic	RGS		
Manufactured Stone (1/4" raked joints)	Sanderling Marquee 24	Eldorado		
Grout @ Stone	¹ Mac Cream	Orco		
Stucco (16/20 sand finish)	11/2 720 (Similar to Sherwin Williams SW 7506 Loggia)	Omega		
Trim Color (applied to): Fascia Garage Door Metal Railing Secondary Doors Trim	SW 7041 Van Dyke Brown	Sherwin Williams		
Accent Color (applied to): Front Door	SW 6090 Java	Sherwin Williams		
Trim at Stone Only	SW 7506 Loggia	Sherwin Williams		
Deck Coating (factory finish)	¹ Putty	Pli-Dek		
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD		

Exterior Color & Materials

CIELO VISTA



schemes and the construction documents prior to purchase.

Contact Judith Martinez (949) 250-0607.

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GRADING NOTES

ADDITIONAL FILLS.

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE, AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF OC PUBLIC WORKS STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE DISTRICT GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, DISTRICT GRADING INSPECTOR, AND WHEN REQUIRED, THE ARCHAEOLOGIST AND
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.

PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THE MEETING.

- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS, AND ALL SUBSEQUENT REPORTS AS APPROVED BY OC PLANNING, GRADING SECTION, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- 6. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW. SOILS REPORT TITLED: GEOTECHNICAL REVIEW OF GRADING PLANS, CIELO VISTA DEVELOPMENT DATED: DECEMBER 14, 2016.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS,
- SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY. AND TO DETERMINE THE

PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE

SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.

DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.

- IO. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
- . AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
- 12. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER OC PUBLIC WORKS STANDARD PLAN NO 1322. 13. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING
- 14. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY SHALL BE DETERMINED BY UNIFORM BUILDING CODE STANDARD GO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE NO. 70-2 OR APPROVED EQUIVALENT.
- 15. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2-FEET HORIZONTAL TO 1-FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE
- 16. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEMS EXIST. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- . WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION
- 8. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED, AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE
- 19. ALL TRENCH BACKFILL SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE. 20. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY AND DIVISION OF ENVIRONMENTAL HEALTH.
- 22. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF OC PLANNING/BUILDING INSPECTION.

23. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY HE BUILDING OFFICIAL PRIOR TO EXCAVATION.

- 24. EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE DISTRICT BUILDING INSPECTOR.
- 25. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC
- 26. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- 27. THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDING PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- 28. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- 29. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.
- 30. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL, HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- 31. SANITARY FACILITIES SHALL BE MAINTAINED ON SITE.

A FEDERAL HOLIDAY.

- 32. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- 33. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING. 34. GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE-MILE OF A HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8:00 P.M. AND 7:00 A.M. DAILY, ON SUNDAY OR ON
- a. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATIONAL AND MAINTAINED MUFFLERS.
- b. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
- c. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICAL FROM DWELLINGS AND WITHIN THE LIMITS OF THE GRADING PERMIT.
- 35. GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER EXTREME CONDITIONS SUCH AS SANTA ANA WIND CONDITIONS.
- 36. ASPHALT SECTIONS MUST BE PER CODE: PARKING STALL 3" A/C OVER 6" A/B, DRIVES 3" A/C OVER 10" (COMMERCIAL) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE DISTRICT GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL PAVEMENT SECTION
- 77. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF OC PUBLIC WORKS STANDARD PLAN NO.1805.
- 38. AGGREGATE BASE SECTION SHALL BE CONSTRUCTED PER OC PUBLIC WORKS STANDARD PLAN NO. 1804. 39. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED
- 40. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS, AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH-POINT
- 41. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.

REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.

42. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT

- 43. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- 44. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- 45. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY THE HEALTH CARE AGENCY/ENVIRONMENTAL HEALTH AND

EROSION CONTROL

- 1. IN THE CASE OF EMERGENCY, CALL
- NAME: TREVOR DODSON AT WORK TELEPHONE # (949) 695-4965
- . EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS
- EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE
- . ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%,
- 5. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND
- 6. GRADED AREAS OF THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARDS DESILTING FACILITIES. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS

TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS

8. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLAN.

ENVIRONMENTAL NOTES

- THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE
- PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINT, STAINS, SEALANTS, GLUES. LIMES. PESTICIDES HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE: OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATION 40 CFR, PARTS 117 AND 302.
- . DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- "SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONAL CODE."

CONCRETE NOTES:

- 1. CONCRETE FOR SURFACE DRAINAGE IMPROVEMENTS SHALL BE CLASS 520-CSE-2500 AS SPECIFIED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. GUNITE FOR SURFACE DRAINAGE IMPROVEMENTS SHALL BE AS SPECIFIED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- . ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON SITE SOIL SHALL BE CONSTRUCTED WITH SULFATE RESISTANCE MIX UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE - CONTENT TESTS CONDUCTED BY THE SOILS ENGINEER. (SEE SOILS REPORT FOR FINAL RECOMMENDATIONS.)
- . CONCRETE CURB AND INTEGRAL CONCRETE CURB AND GUTTER SHALL HAVE WEAKENED PLANE JOINTS AT 10 FEET INTERVALS.

- EROSION CONTROL FACILITIES TO BE INSTALLED AND FUNCTIONAL YEAR ROUND.
- 2. ALL LOT MONUMENTATION SHALL BE IN ACCORDANCE WITH THE RECORDED TRACT MAP.
- . ALL RETAINING WALLS SHOWN HEREON TO BE CONSTRUCTED BY SEPARATE PERMIT. SEE LANDSCAPE PLANS FOR ALL FINISHES, DETAILS, & MATERIALS.
- 4. ALL STORM DRAIN REDUCER FITTINGS SHALL BE ECCENTRIC AS TO PROVIDE ONE CONTINUOUS SLOPE 5. ALL CONSTRUCTION CONTRACTORS SHALL COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) REGULATIONS, INCLUDING RULE 403, FUGITIVE DUST, AND RULE 402, NUISANCE. ALL GRADING (REGARDLESS OF ACREAGE) SHALL APPLY BEST AVAILABLE CONTROL MEASURES FOR FUGITIVE DUST IN ACCORDANCE WITH RULE 403. TO ENSURE THAT THE PROJECT IS IN FULL COMPLIANCE WITH APPLICABLE SCAQMD DUST REGULATIONS AND THAT THERE IS NO NUISANCE IMPACT OFF THE SITE,
- THE CONTRACTOR SHALL IMPLEMENT EACH OF THE FOLLOWING: A. MOISTEN SOIL NOT MORE THAN 15 MINUTES PRIOR TO MOVING SOIL OR CONDUCT
- WHATEVER WATERING IS NECESSARY TO PREVENT VISIBLE DUST EMISSIONS FROM TRAVELING MORE THAN 100FT IN ANY DIRECTION B. APPLY CHEMICAL STABILIZERS TO DISTURBED SURFACE AREAS (i.e. COMPLETED GRADING AREAS) WITHIN 5 DAYS OF COMPLETING GRADING OR APPLY DUST
- SUPPRESSANTS OR VEGETATION SUFFICIENT TO MAINTAIN A STABILIZED SURFACE. C. WATER EXCAVATED SOIL PILES HOURLY OR COVER WITH TEMPORARY COVERINGS. D. WATER EXPOSED SURFACES AT LEAST TWICE A DAY UNDER CALM CONDITIONS. WATER AS OFTEN AS NEEDED ON WINDY DAYS WHEN WINDS ARE LESS THAN 25 MILES
- PER DAY OR DURING VERY DRY WEATHER IN ORDER TO MAINTAIN A SURFACE CRUST AND PREVENT THE RELEASE OF VISIBLE EMISSIONS FROM THE CONSTRUCTION SITE.
- E. WASH MUD-COVERED TIRES AND UNDER-CARRIAGES OF TRUCKS LEAVING CONSTRUCTION SITES. F. PROVIDE FOR STREET SWEEPING, AS NEEDED, ON ADJACENT ROADWAYS TO REMOVE DIRT DROPPED BY CONSTRUCTION VEHICLES OR MUD, WHICH WOULD OTHERWISE BE
- CARRIED OFF BY TRUCKS DEPARTING FROM PROJECT SITES. RECOMMENDATIONS BASED ON "R" VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC 6. CONTRACTOR TO COMPLY WITH FOLLOWING MEASURES. AS FEASIBLE. TO REDUCE NOX AND ROC FROM HEAVY EQUIPMENT:
 - A. TURN EQUIPMENT OFF WHEN NOT IN USE FOR MORE THAN FIVE MINUTES B. MAINTAIN EQUIPMENT ENGINES IN GOOD CONDITION AND IN PROPER TUNE AS PER
 - MANUFACTURERS' SPECIFICATIONS C. LENGTHEN THE CONSTRUCTION PERIOD DURING SMOG SEASON (MAY - OCTOBER) TO MINIMIZE THE NUMBER OF VEHICLES AND EQUIPMENT OPERATING AT THE SAME TIME. LEGAL DESCRIPTION:
 - THOSE CERTAIN PARCELS OF LAND IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA BEING PARCEL 2 AS SHOWN ON EXHIBIT "B" ATTACHED TO THAT CERTAIN APPLICATION FOR LOT LINE ADJUSTMENT NO. 87-10 RECORDED JULY 25, 1988 AS INSTRUMENT NO. 88-358348 OF OFFICIAL RECORDS TOGETHER WITH A PORTION OF THE CARILLO RANCH PROPERTY AS SHOWN ON A MAP FILED IN BOOK 37 PAGE 33 OF RECORD OF SURVEYS BOTH IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY. APN#S 351-031-05, 351-852-05, 351-031-17, AND 351-661-10

MODEL PRECISE GRADING PLAN

LOTs 72, 73 and 74 at Cielo Vista STONEHAVEN & VIA DEL AGUA **Tract No.17341**



INDEX MAP

- 1. RULE 403, AIR QUALITY CONTROL MANAGEMENT DISTRICT, MUST BE IMPLEMENTED DURING CONSTRUCTION. a. A PERSON SHALL NOT CAUSE OR ALLOW THE EMISSIONS OF FUGITIVE DUST FROM ANY TRANSPORT, (A) HANDLING, CONSTRUCTION OR STORAGE ACTIVITY SO THAT THE PRESENCE OF SUCH DUST REMAINS VISIBLE IN THE ATMOSPHERE BEYOND THE PROPERTY LINE OF THE EMISSION SOURCE. (DOES NO APPLY TO EMISSION EMANATING FROM UNPAVED ROADWAYS OPEN TO PUBLIC TRAVEL OR FARM
- ROADS. THIS EXCLUSION SHALL NOT APPLY TO INDUSTRIAL OR COMMERCIAL FACILITIES). b. A PERSON SHALL TAKE EVERY REASONABLE PRECAUTION TO MINIMIZE FUGITIVE DUST EMISSIONS FROM WRECKING, EXCAVATION, GRADING, CLEARING OF LAND AND SOLID WASTE DISPOSAL OPERATIONS. c. A PERSON SHALL NOT CAUSE OR ALLOW PARTICULATE MATTER TO EXCEED 100 MICROGRAMS PER CUBIC METER WHEN DETERMINED AS THE DIFFERENCE BETWEEN UPWIND AND DOWNWIND SAMPLES
- COLLECTED ON HIGH VOLUME SAMPLERS AT THE PROPERTY LINE FOR A MINIMUM OF FIVE HOURS. d. A PERSON SHALL TAKE EVERY REASONABLE PRECAUTION TO PREVENT VISIBLE PARTICULATE MATTER FROM BEING DEPOSITED UPON PUBLIC ROADWAYS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE REMOVAL OF PARTICULATE MATTER FROM EQUIPMENT PRIOR TO MOVEMENT ON PAVED STREETS ONTO WHICH SUCH MATERIAL HAS BEEN DEPOSITED.
- e. SUBSECTIONS (A) AND (B) SHALL NOT BE APPLICABLE WHEN THE WIND SPEED INSTANTANEOUSLY EXCEEDS 40 KILOMETERS (25 MILES) PER HOUR, OR WHEN THE AVERAGE WIND SPEED IS GREATER THAN 24 KILOMETERS 15 MILES) PER HOUR. THE AVERAGE WIND SPEED DETERMINATIONS SHALL BE ON A 15 MINUTE AVERAGE AT THE NEAREST OFFICIAL AIR-MONITORING STATION OR BY WIND INSTRUMENT LOCATED AT THE SITE BEING CHECKED.
- f. THE PROVISIONS OF THIS RULE SHALL NOT APPLY TO AGRICULTURAL OPERATIONS.
- 2. PRIOR TO ISSUANCE OF GRADING PERMIT, THE LANDOWNER OR SUBSEQUENT PROJECT APPLICANT SHALL ENSURE THAT ALL NOISE GENERATING ACTIVITIES BE LIMITED TO THE HOURS OF 7:00 A.M. TO 8:00 P.M. ON MONDAY THROUGH FRIDAY, AND SATURDAY, AND PROHIBITS WORKS ON SUNDAYS AND HOLIDAYS, IN ACCORDANCE WITH THE COUNTY OF ORANGE NOISE ORDINANCE
- 3. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FT OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS (COUNTY STANDARD CONDITION 4. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL)
- (COUNTY STANDARD CONDITION N10) 5. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS. (COUNTY STANDARD CONDITION N10)

- 1. QUANTITIES SHOWN ARE FOR BONDING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES PRIOR TO BIDDING AND CONSTRUCTION.
- 2. LANDSCAPE PLANS, FENCE AND WALL PLANS, STREET AND STORM DRAIN PLANS ARE SEPARATE PLANS WITH THEIR RESPECTIVE PERMIT NUMBERS AND ARE PROCESSED SEPARATELY. 3. GRADING PLAN WILL BE CONSISTENT WITH ALL OTHER APPLICATIONS BEING REVIEWED AND PLAN
- CHECKED FOR THE PROJECT. 4. THE PROJECT WILL COMPLY WITH COA 1c AND 2 AS ESTABLISHED WITH THE APPROVAL OF
- TT 17599 WHICH REQUIRES COMPLIANCE PRIOR TO THE APPROVAL OF A GRADING PERMIT.

MITIGATION MEASURE NOTES

M.M. 4.2-1 - PRIOR TO THE ISSUANCE OF GRADING PERMITS, THE CONTRACTOR SHALL PROVIDE EVIDENCE TO THE MANAGER. PERMIT SERVICES THAT COMPLIANT WITH SCAOMD RULE 403 AND DURING CONSTRUCTION, THAT THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO REDUCE FUGITIVE DUST **EMISSIONS:**

 APPLY WATER AND/OR NONTOXIC CHEMICAL SOIL STABILIZERS ACCORDING TO MANUFACTURER'S SPECIFICATION TO ALL CONSTRUCTION AREAS EXPECTED TO BE INACTIVE FOR 10 OR MORE DAYS. REAPPLY AS NEEDED TO MINIMIZE VISIBLE DUST. APPLY WATER THREE TIMES DAILY OR NONTOXIC CHEMICAL SOIL STABILIZERS ACCORDING TO MANUFACTURER'S SPECIFICATIONS TO ALL UNPAVED PARKING OR STAGING AREAS OR UNPAVED ROAD SURFACES.

MITIGATION MEASURE NOTES (CONTINUED):

- ENCLOSE, COVER, WATER THREE TIMES DAILY, OR APPLY APPROVED CHEMICAL SOIL STABILIZERS TO EXPOSED PILES OF DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS. SUSPEND ALL EXCAVATING AND GRADING OPERATIONS WHEN WIND SPEEDS (AS INSTANTANEOUS) GUSTS) EXCEED 25 MILES PER HOUR OVER A 30-MINUTE PERIOD
- THE DETERMINATION OF WIND SPEED CONDITIONS IN EXCESS OF 25 MILES PER HOUR SHALL BE BASED ON THE FOLLOWING CRITERIA:
- (A) FOR FACILITIES WITH AN ON-SITE ANEMOMETER: i) WHEN THE ON-SITE ANEMOMETER REGISTERS AT LEAST TWO WIND GUSTS IN EXCESS OF 25 MILES PER HOUR WITHIN A CONSECUTIVE 30-MINUTE PERIOD. WIND SPEEDS SHALL BE DEEMED TO BE BELOW 25 MILES PER HOUR IF THERE IS NO RECURRING WIND GUST IN EXCESS OF 25 MILES PER HOUR WITHIN A CONSECUTIVE 30-MINUTE PERIOD; OR
- (B) FOR SITES WITHOUT AN ON-SITE ANEMOMETER: (i) WHEN WIND SPEEDS IN EXCESS OF 25 MILES PER HOUR ARE FORECAST TO OCCUR IN YORBA LINDA FOR THAT DAY. THIS CONDITION SHALL APPLY TO THE FULL CALENDAR DAY FOR WHICH
- THE FORECAST IS VALID; OR (ii) WHEN WIND SPEEDS IN EXCESS OF 25 MILES PER HOUR ARE NOT FORECAST TO OCCUR, AND FUGITIVE DUST EMISSIONS ARE VISIBLE FOR A DISTANCE OF AT LEAST 100 FEET FROM THE ORIGIN OF SUCH EMISSIONS, AND THERE IS VISIBLE EVIDENCE OF WIND DRIVEN FUGITIVE DUST.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHOULD MAINTAIN AT LEAST TWO FEET OF FREEBOARD (I.E. MINIMUM VERTICAL DISTANCE BETWEEN TOP OF THE LOAD AND THE TOP OF THE TRAILER), IN ACCORDANCE WITH SECTION 23114 OF THE CALIFORNIA VEHICLE CODE. SWEEP STREETS AT THE END OF THE DAY, OR MORE FREQUENTLY AS NEEDED TO CONTROL
- TO PREVENT DIRT AND DUST FROM UNPAVED CONSTRUCTION ROADS FROM IMPACTING THE SURROUNDING AREAS, INSTALL ROADWAY DIRT CONTROL MEASURES AT EGRESS POINTS FROM THE PROJECT SITE (OR AREAS OF THE SITE ACTIVELY GRADING). THESE MAY BE WHEEL WASHERS. RUMBLE STRIPS, MANUAL SWEEPING, OR OTHER MEANS EFFECTIVE AT REMOVING LOOSE DIRT FROM TRUCKS OR OTHER EQUIPMENT BEFORE LEAVING THE SITE.
- POST AND ENFORCE TRAFFIC SPEED LIMITS OF 15 MILES PER HOUR OR LESS ON ALL UNPAVED. PLANT GROUND COVER IN PLANNED AREAS AS QUICKLY AS POSSIBLE AFTER GRADING. ALL ON-SITE ROADS SHALL BE PAVED AS SOON AS FEASIBLE OR WATERED PERIODICALLY OR

CHEMICALLY STABILIZED. M.M. 4.2-2 - PRIOR TO THE ISSUANCE OF GRADING PERMITS, THE CONTRACTOR SHALL PROVIDE EVIDENCE TO THE MANAGER, PERMIT SERVICES THAT COMPLIANT WITH SCAQMD RULE 403 TRAFFIC

M.M. 4.3-3 - PRIOR TO ISSUANCE OF A GRADING PERMIT, THE PROJECT APPLICANT SHALL DEMONSTRATE TO THE SATISFACTION OF THE MANAGER, OC DEVELOPMENT SERVICES THAT THE FOLLOWING REQUIREMENTS HAVE BEEN INCLUDED IN THE PROJECT CONSTRUCTION PLAN: 1. VEGETATION REMOVAL ACTIVITIES SHALL BE SCHEDULED OUTSIDE THE NESTING SEASON (SEPTEMBER 1 TO FEBRUARY 14 FOR SONGBIRDS; SEPTEMBER 1 TO JANUARY 14 FOR RAPTORS) TO AVOID POTENTIAL IMPACTS TO NESTING BIRDS.

SPEEDS ON UNPAVED ROADS AND PROJECT SITE AREAS SHALL BE REDUCED TO 15 MILES PER HOUR

2. ANY CONSTRUCTION ACTIVITIES THAT OCCUR DURING THE NESTING SEASON (FEBRUARY 15 TO AUGUST 31 FOR SONGBIRDS; JANUARY 15 TO AUGUST 31 FOR RAPTORS) SHALL REQUIRE THAT ALL SUITABLE HABITAT BE THROUGHLY SURVEYED FOR THE PRESENCE OF NESTING BIRDS BY A QUALIFIED BIOLOGIST BEFORE COMMENCEMENT OF CLEARING. IF ANY ACTIVE NESTS ARE DETECTED, A BUFFER OF AT LEAST 300 FEET (500 FEET FOR RAPTORS), OR AS DETERMINED APPROPRIATE BY THE BIOLOGICAL MONITOR, SHALL BE DELINEATED, FLAGGED, AND AVOIDED UNTIL THE NESTING CYCLE IS COMPLETE AS DETERMINED BY THE BIOLOGICAL MONITOR TO MINIMIZE IMPACTS. A QUALIFIED BIOLOGIST SHALL SURVEY FOR ACTIVE BIRD NESTS OR MAMMAL BURROWS IN ALL PROJECT SITE AREAS THAT COULD POTENTIALLY BE EXPOSED TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DBA. WHERE ACTIVE BIRD NESTS OR MAMMAL BURROWS ARE DISCOVERED, NO CONSTRUCTION ACTIVITIES SHALL OCCUR THAT WOULD RESULT IN NOISE LEVELS EXCEEDING 60

DBA AT THE ACTIVE NEST OR BURROW LOCATION. CONSTRUCTION RESTRICTION AREAS SHALL BE

STAKED OR FENCED UNDER THE SUPERVISION OF THE QUALIFIED BIOLOGIST PRIOR TO THE

COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON DATES LISTED

M.M. 4.10-1 - DURING ALL PROJECT SITE CONSTRUCTION. THE CONSTRUCTION CONTRACTORS SHALL EQUIP ALL CONSTRUCTION EQUIPMENT, FIXED OR MOBILE, WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS, CONSISTENT WITH MANUFACTURERS' STANDARDS. THE CONSTRUCTION CONTRACTOR SHALL PLACE ALL STATIONARY CONSTRUCTION EQUIPMENT SO THAT EMITTED NOISE IS DIRECTED AWAY FROM THE NOISE SENSITIVE RECEPTORS NEAREST THE PROJECT SITE. ALL OPERATIONS SHALL COMPLY WITH THE COUNTY OF ORANGE CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL). THE CONTRACTOR SHALL PRODUCE EVIDENCE THAT THE MEASURES ARE IN PLACE PRIOR TO ISSUANCE OF ANY GRADING PERMITS AND AS APPROVED BY THE COUNTY OF ORANGE MANAGER, PLANNING SERVICES.

M.M. 4.10-2 - THE CONSTRUCTION CONTRACTOR SHALL LOCATE EQUIPMENT STAGING IN AREAS THAT WOULD CREATE THE GREATEST DISTANCE BETWEEN CONSTRUCTION-RELATED NOISE SOURCES AND NOISE SENSITIVE RECEPTORS NEAREST THE PROJECT SITE DURING ALL PROJECT CONSTRUCTION. ALL OPERATIONS SHALL COMPLY WITH THE COUNTY OF ORANGE CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL). PRIOR TO ISSUANCE OF ANY GRADING PERMITS THE COUNTY OF ORANGE MANAGER. PLANNING SERVICES SHALL APPROVE THE LOCATION OF THE STAGING AREA.

M.M. 4.10-3 - THE CONSTRUCTION CONTRACTOR SHALL LIMIT HAUL TRUCK DELIVERIES TO THE SAME HOURS SPECIFIED FOR CONSTRUCTION EQUIPMENT. HAUL ROUTES SHALL BE SELECTED SO THAT TRIPS PASSING SENSITIVE LAND USES OR RESIDENTIAL DWELLINGS WILL BE MINIMIZED. FURTHER, HAUL ROUTES SHALL BE LOCATED TO AVOID CONCURRENT USE OF HAUL ROUTES FROM OTHER RELATED PROJECTS WHERE SENSITIVE RECEPTORS ARE LOCATED ALONG SUCH ROUTES. HAUL ROUTES SHALL BE APPROVED BY THE MANAGER, OC DEVELOPMENT SERVICES PRIOR TO THE ISSUANCE OF ANY GRADING

NPDES NOTES:

REQUIREMENTS.

- 1. IN THE CASE OF EMERGENCY, CALL BRETT HAMARA AT PHONE # (949) 371-7890 2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- 3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
- 4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- 5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS. 6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OR THE
- REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE

MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.

- 8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- 9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL
- 10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- 11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.

APPROVED _

COUNTY OF ORANGE PUBLIC WORKS

THIS PLAN IS SIGNED BY THE ORANGE COUNTY PUBLIC WORKS DEPARTMENT FOR CONCEPT AND ADHERENCE 1 COUNTY STANDARDS AND REQUIREMENTS ONLY. O.C. PUBLIC WORKS IS NOT RESPONSIBLE FOR THE DESIGN, ASSUMPTIONS OR ACCURACY.

> 2000 FIVEPOINT, SUITE 365 IRVINE, CA 92618 OFFICE: (949) 349-8110

FUSCOE 16795 Von Karman, Suite 100 Irvine, California 92606 tel 949.474.1960 fax•949.474.5315 www.fuscoe.com CONTACT PERSON: REVOR S. DODSON OFFICE: (949)474-1960

MODEL PRECISE GRADING PLAN CIELO VISTA TRACT NO. 17341

YORBA LINDA BLVD LOCATION MAP NPDES NOTES (CONTINUED) 12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY 13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT

CITY OF YORBA LINDA

PROJECT

SITE

- PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS. 14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS,
- SYSTEM OR THE WATERSHED IS PROHIBITED. 15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY

LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN

DEVICES WHEN RAIN IS IMMINENT. 16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH

WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.

- 17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA
- 18. APPROPRIATE BMPS FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

FLOOD HAZARD ZONE

RUNOFF, VEHICLE TRACKING, OR WIND.

THIS PROJECT IS IN ZONE X OF FIRM MAP NO. 06059C0069J, COMMUNITY NO. 060238 DATED DECEMBER 3, 2009. THE AREA WILL BE PROTECTED FROM THE THEORETICAL 100 YEAR STORM.

EARTHWORK RAW CUT: 520 cy RAW FILL: 520 cy

PROJECT SITE DATA:

PROJECT AREA: 0.95 acres DISTURBED AREA: 0.71 acres TOTAL IMPERVIOUS AREA: 0.24 acres TOTAL PERVIOUS AREA: 0.71 acres

Applicable Reference Permits:

Tentative Tract Map 17341 Rough Grading Plan: GRD21-0127 WDID No: #8 30C394473 BNR21-0387 Retaining Wall Plan:

Bridge Plan: BNR #21-0533 Street & Storm Drain Plan: STP21-0011

MWD Lower Feeder Substructures Job No. 2016-15-011

SHEET INDEX SHEET NO TITLE SHEET INDEX MAP. CONSTRUCTION NOTES & QUANTITIES NOTES. DETAILS & SECTIONS MODEL PRECISE GRADING PLAN CROSS-SECTION PLAN. CROSS-SECTION PLAN

RELATED PERMIT NUMBERS

HORIZONTAL CONTROL PLAN.

- 1. STREETS ARE TO BE CONSTRUCTED UNDER A SEPARATE PERMIT. PERMIT NUMBER STP21-0011. 2. STORM DRAIN ARE TO BE CONSTRUCTED UNDER A SEPARATE PERMIT, PERMIT NUMBER STP21-0011. 3. RETAINING WALLS ARE TO BE CONSTRUCTED UNDER A SEPARATE PERMIT. PERMIT NUMBER BNR21-0387,
- RW180184 & RW180185 4. BRIDGE IS TO BE CONSTRUCTED UNDER A SEPARATE PERMIT. PERMIT NUMBER BNR#21-0533.
- 5. MWD Lower Feeder Substructures Job No. 2016-15-011

Cal/OSHA NOTE:

THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN PERMIT FROM THE STATE OF CALIFORNIA. DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (Cal/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCE OF ANY WORK, CONTACT Cal/OSHA AT (714) 558-4451 FOR ADDITIONAL INFORMATION.

WDID #8 30C394473

DRAWN: NSM TITLE SHEET DESIGN: NSM

COUNTY OF ORANGE, CALIFORNIA

CALIFORNIA BEING PARCEL 2 AS SHOWN ON EXHIBIT "B" ATTACHED TO THAT CERTAIN APPLICATION FOR LOT LINE ADJUSTMENT NO. 87-10 RECORDED JULY 25, 1988 AS INSTRUMENT NO. 88-358348 OF OFFICIAL RECORDS TOGETHER WITH A PORTION OF THE CARILLO RANCH PROPERTY AS SHOWN ON A MAP FILED IN BOOK 37 PAGE 33 OF RECORD OF SURVEYS BOTH IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY.

ARCHAEOLOGIST/PALEONTOLOGIST

30900 RANCHO VIEJO ROAD, SUITE 100

SAN JUAN CAPISTRANO, CALIFORNIA 92675

VCS ENVIRONMENTAL

TEL: 949.489.2700

JULIE BEEMAN

PRESIDENT

LEGAL DESCRIPTION: THOSE CERTAIN PARCELS OF LAND IN THE COUNTY OF ORANGE, STATE OF

APN#'S 351-031-05, 351-852-05, 351-031-17, AND 351-661-10

BEING N 01°01'48" W

Know what's **below**.

Call before you dig.

BASIS OF BEARINGS:

RETAINING WALLS PER SEPARATE PERMIT

'PERMIT APPLICANT SHALL INFORM

WRITING AT THE TIME OF ROUGH

MEPS INSPECTION OF ANY BUILDER

OPTION THAT HAS BEEN SELECTED

PERMIT NUMBER BNR21-0387

FOR EACH DWELLING UNIT."

THE COUNTY BUILDING INSPECTOR IN

THE BEARINGS SHOWN HEREON ARE BASED ON THE EASTERLY LINE OF TRACT NO. 10519, MM 451/48-50,

NAVD88 ADJUSTED 2006 ELEV. 534.801

32 FT. WEST OF THE CENTERLINE OF SAN ANTONIO, 117FT NORTH OF YORBA LINDA BLVD, BACK OF THE CURB FACE ON THE NORTHEAST CORNER OF A 4 FT. BY 8 FT. CATCH BASIN.

CONSTRUCTION, INCLUDING CONSTRUCTION

SHALL BE CONTAINED WITHIN EXISTING

PUBLIC RIGHT-OF-WAY/TEMPORARY

STAGING, FOR ALL OFF-SITE IMPROVEMENTS

CONSTRUCTION EASEMENT AREAS FOR THE SOILS ENGINEER/GEOLOGIST: GMU Geotechnical 23241 ARROYO VISTA RANCHO SANTA MARGARITA, CA. 92688 TEL: 949.888.6513/

10/11/2022 DAVID HANSEN, PE. GE ASSOCIATE ENGINEER WISH 10/11/2022 LISA L. BATES, PG, CEG Associate Geologist

APP'D. DATE DEVELOPER: **REVISIONS**

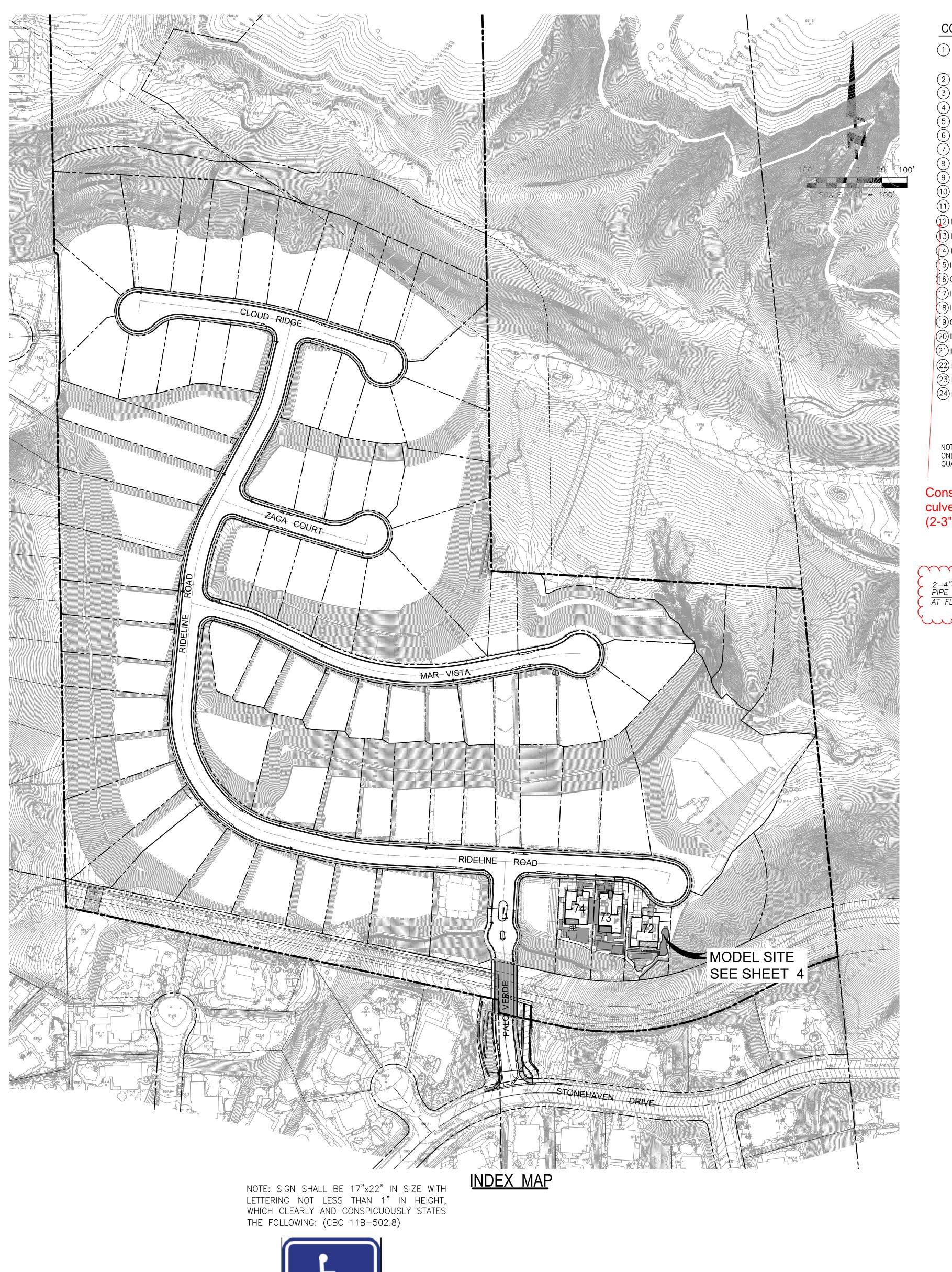
NO. Ç42029

CHECKED: TD SCALE: AS SHOWN JOB NO.: 1296.01A SHEET 1 OF

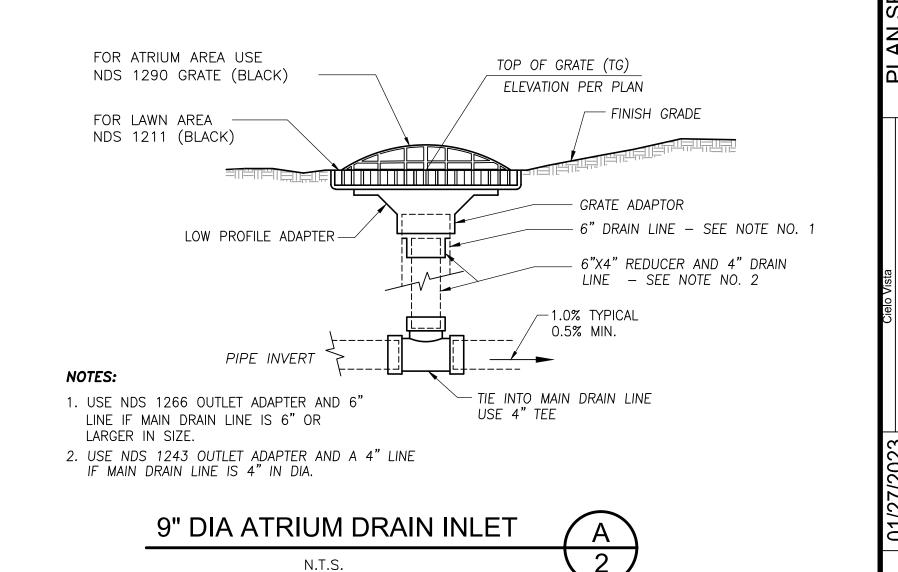
GRD22-0070

F:\PROJECTS\1296\001A\PLANS\MODEL PRECISE GRADING PLANS\1296-001A-MDL01PGP.DWG (01-19-23 3:15:32PM) Plotted by: NMateo

RELATED IMPROVEMENTS. BENCHMARK: O.C. B.M. #2A-52-06 STD. O.C.S.B.M. DISC IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF YORBA LINDA BLVD. AND SAN



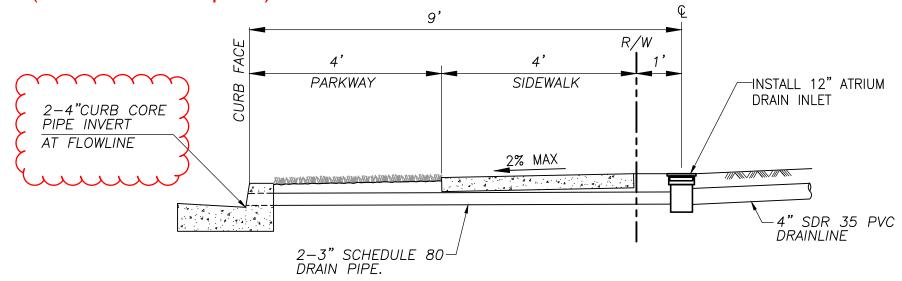
CONSTRUCTION NOTES AND QUANTITIES: (1) CONSTRUCT 6" PCC DRIVEWAY WITH TYPE 11/V CEMENT. NO.3 BARS SHALL EXTEND INTO THCIKENED EDGE AT 24" O.C. WITH ONE NO.3 STRUCTURES AND ACROSS COLD JOINTS/EXPANSION JOINTS. 2 INSTALL 4" DIA SDR 35 PVC PIPE (3) INSTALL 9" ATRIUM GRATE INLET WITH LOW PROFILE HOUSING ADAPTER PER DETAIL A/2 (4) CONSTRUCT 3' WIDE SIDEWALK PER O.C.P.W. STD PLAN 112-2-OC (5) INSTALL 6' CMU WALL PER LANDSCAPE PLANS. SEE LANDSCAPE DETAILS D AND E ON SHEET 3 (6) INSTALL VINYL GATE PER LANDSCAPE PLANS. SEE LANDSCAPE DETAIL A ON SHEET 3 ... (7) INSTALL 6" ATRIUM GRATE INLET WITH LOW PROFILE HOUSING ADAPTER PER DETAIL A/2..... (8) CONSTRUCT HARDSCAPE PER LANDSCAPE PLANS..... (9) PAINT TEMPORARY 4" WIDE WHITE PARKING STRIPES (10) CONSTRUCT LOW WALL PER LANDSCAPE PLANS (11) PAINT TEMPORARY ADA SYMBOL PER ADA STANDARDS ... (12) INSTALL 2-4" CURB CORES PER DETAIL B/2...... (13)INSTALL COMBO TUBULAR STEEL WITH CMU WALL PER LANDSCAPE PLANS (14)INSTALL AREA DRAIN CLEANOUT PER DETAIL C/2....... 15)INSTALL 6" ROUND BRASS GRATE INLET..... (16)CONSTRUCT DECOMPOSED GRANITE PER SOILS REPORT AND LANDSCAPE PLANS...... 2,010 SF 2,170 SF (17)INSTALL ARTIFICIAL TURF PER LANDSCAPE PLANS.... (18)INSTALL BARBEQUE GRILL AND COUNTER PER LANDSCAPE PLAN..... (19)CONSTRUCT GRAVEL SIDEYARD PER SOILS REPORT AND LANDSCAPE PLANS.... (20)INSTALL TEMPORARY ACCESSIBLE RESTROOM (21)INSTALL ACCESSIBILITY ENTRANCE SIGN PER DETAIL D/2..... (22) INSTALL ADA DIRECTIONAL SIGN PER DETAIL F/2 (23)INSTALL CONCRETE WHEEL STOPPER PER DETAIL E/2 (24)INSTALL TYPICAL SIGN POST PER DETAIL G/2 ...



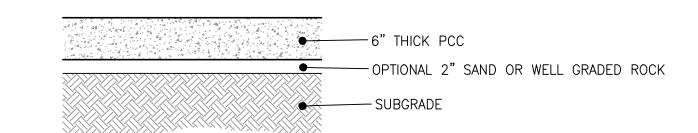
NOTE: QUANTITIES SHOWN ARE FOR BONDING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES PRIOR TO BIDDING AND CONSTRUCTION.

Construct per OCPW Std plan 1309 parkway culvert TYPE 'C'

(2-3" core is an option)



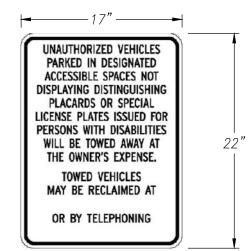
DRAIN PIPE OUTLET DETAIL



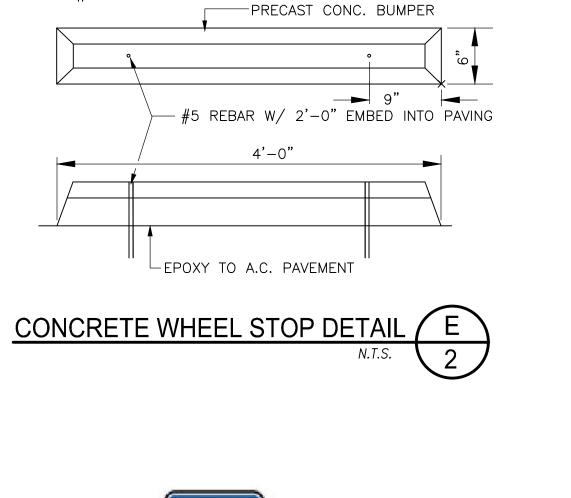
REINFORCEMENT PER TABLE $B\!-\!1$ CONCRETE FLATWORK RECOMMENDATIONS ON APPENDIX B PRODUCTION PRECISE GRADING PLAN SOILS REPORT DATED 10/10/2022



NOTE: SIGN SHALL BE 17"x22" IN SIZE WITH LETTERING NOT LESS THAN 1" IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING: (CBC 11B-502.8)

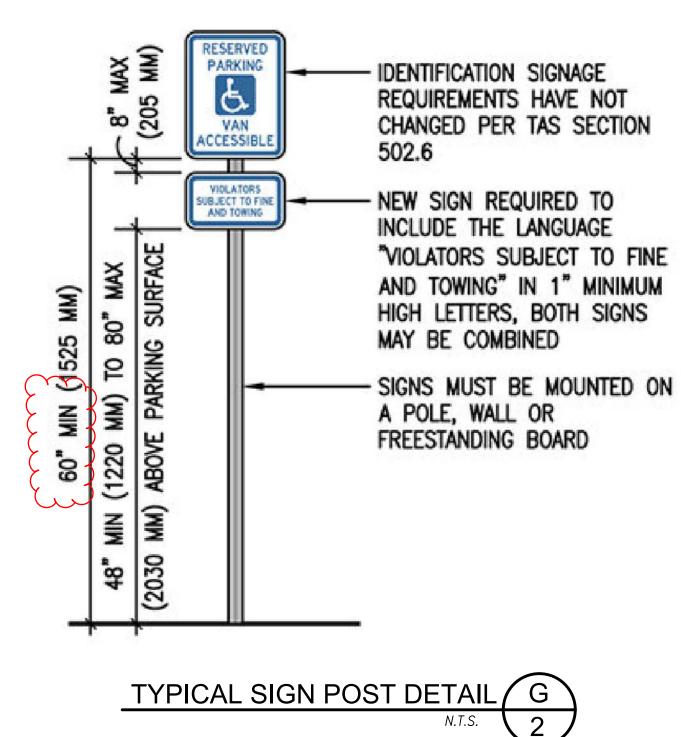






TOP OF PAVEMENT

— 2- #3 REBARS









No. 2293 CERTIFIED ENGINEERING GEOLOGIST PLACE OF CALIFORNIA

1		
	SOILS ENGINEER/GEOLOGIST: GMU Geotechnical	
	23241 ARROYO VISTA RANCHO SANTA MARGARITA, CA. 9268	8
GIS!	TEL: 949.888.6513	_
	It of a	10/11/202
Z	DAVID HANSEN, PE, GE ASSOCIATE ENGINEER	
	118AA	10/11/202
	LISA L. BATES, PG, CEG	10/11/202
	Associate Geologist	

) Geotechnical	L					
41 ARROYO VISTA,	ė	NO.	REVISIONS	APP'D.	DATE	DEVELOPER:
CHO SANTA MARGARITA, CA. 92688 949.888.6513	3					
12 11 -	10/11/2022					
'ID HANSEN, I PE, GE SOCIATE ENGINEER						2000 FIVE IRVINE,
TAMA						OFFICE:
MATERIA DE OFFI	10/11/2022					İ
A L. BATES, PG, CEG	-					i

LENNAR 2000 FIVEPOINT, SUITE 365 IRVINE, CA 92618 OFFICE: (949) 349-8110



INDEX MAP & CONSTRUCTION NOTES FOR

CIELO VISTA TRACT NO. 17341

COUNTY OF ORANGE, CALIFORNIA

GRD22-0070

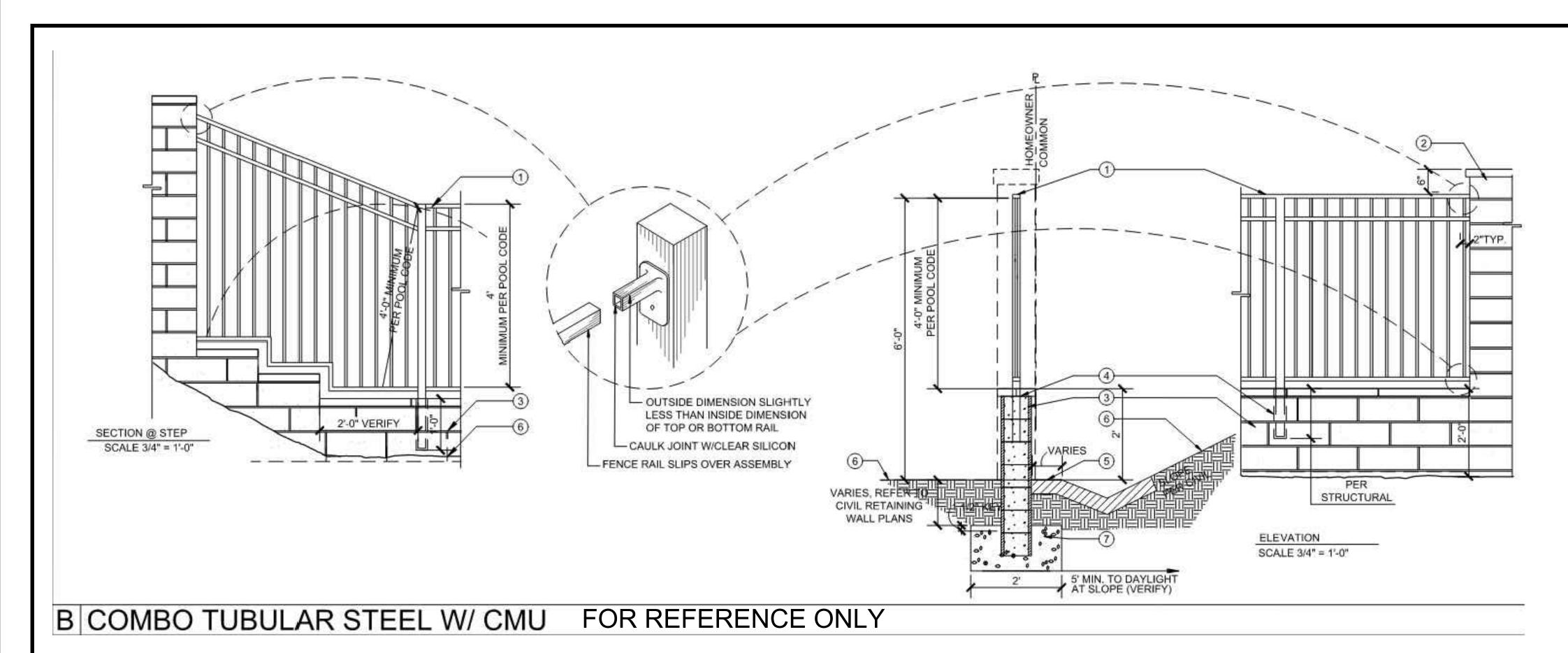
DESIGN: NSM

CHECKED: TD

SCALE: AS SHOWN

JOB NO.: 1296.01A

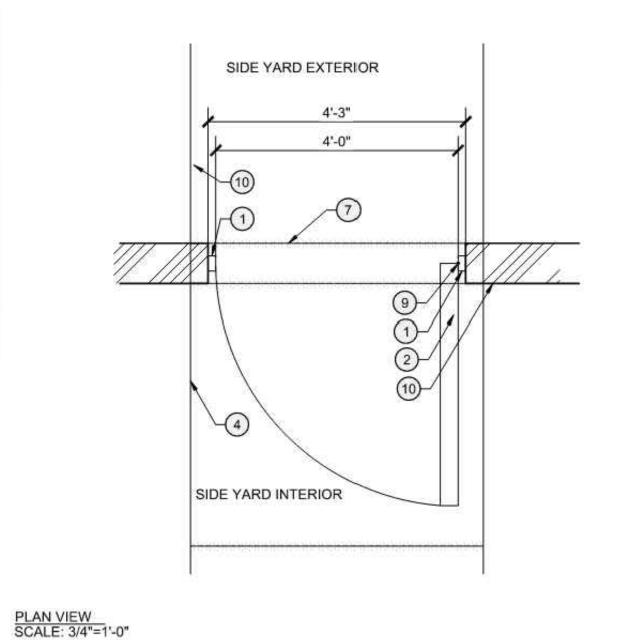
SHEET 2 OF



- 1 AMERISTAR MONTAGE PLUS ATF MAJESTIC 2 RAIL FENCE, DETAILS AVAILABLE FROM NEWHALL LAND.
- CMU PILASTER, PER CONSTRUCTION PLAN. AND DETAIL 'B', THIS SHEET.
- 3) 8"x x16" CMU
- (4) PVC SLEEVE TO RECEIVE POSTS @ 8'-0" O.C. SET POST INTO WALL W/ COVERT BRAND EPOXY. CROWN TO DRAIN
- 5 'V' DRAIN AT TOE OF SLOPE PER CIVIL ENGINEERS PLANS
- (6) FINISH GRADE PER CIVIL ENG.'S PLAN
- 7 CONC. FTG. 2500 P.S.I. @ 28 DAYS. SEE STEP FOOTING.

NOTES:

- . POUR CONC. FTG. AGAINST FIRM UNDISTURBED SOIL OR PROPERLY RECOMPACTED FILL PER GEOTECHNICAL REPORT.
- 2. GROUT COLOR TO MATCH CMU.



- A. DETAIL IS DIAGRAMMATIC AND FOR DESIGN INTENT
 ONLY, REFER TO STRUCTURAL ENGINEER'S

 OF ATTACHMENT OF THE PROPERTY OF THE PRO
- B. ALL WELDS SHALL BE 1/8" FILLET WELD ALL AROUND. GRIND ALL WELDS SMOOTH.
- ALL MATERIAL PRE-GALVANIZED WITH ZINC RICH PRIMER & POWDER COATED FINISH
- D. POUR CONCRETE FOOTING AGAINST FIRM,

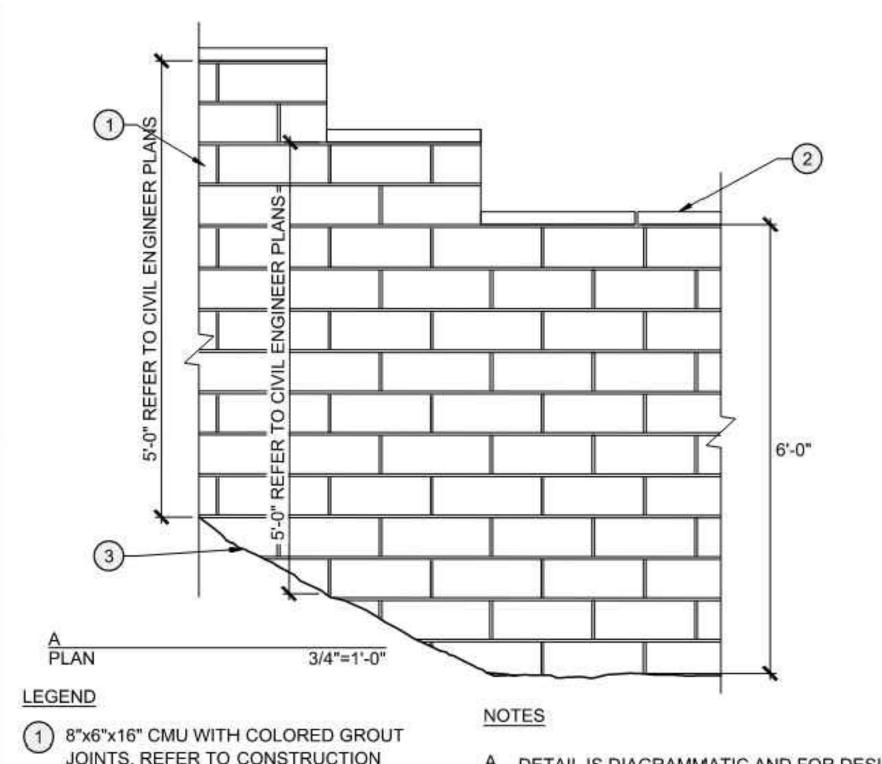
F. GATE CONTRACTOR TO COORDINATE SIDEYARD

WALL RETURN OPENING TO ACCOMODATE GATE WITH CMU CONTRACTOR.

- FILL PER GEOTECHNICAL REPORT. E. MANUFACTURER / CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CLIENT / LANDSCAPE ARCHITECT REVIEW PRIOR TO FABRICATION.

- (6) HEAVY DUTY LOCKABLE GATE LATCH. AVAILABLE FROM HOME DEPOT "D&D BLACK KEY-LOCKABLE GATE LATCH" OR SIMILAR PRODUCT
- (7) EXPANSION JOINT PER SEPARATE DETAIL
- UNDISTURBED SOIL OR PROPERLY RECOMPACTED

 8
 USE MANUFACTURER RECOMMENDED HIDDEN
 FASTENER
 - 9 THREE GALVANIZED SELF CLOSING HINGES EQUALLY SPACED
 - 10 ADJACENT CMU SIDEYARD WALL



- JOINTS. REFER TO CONSTRUCTION LEGEND FOR COLORS.
- (2) PRECISION CAP WITH COLORED GROUT JOINTS. REFER TO CONSTRUCTION LEGEND FOR COLOR.
- A. DETAIL IS DIAGRAMMATIC AND FOR DESIGN INTENT ONLY. REFER TO DETAILS ENGINEER FOR FOOTING AND REINFORCEMENT INFORMATION.
- B. CONTRACTOR TO PROVIDE SUBMITTAL OF MATERIAL FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT/ OWNER.

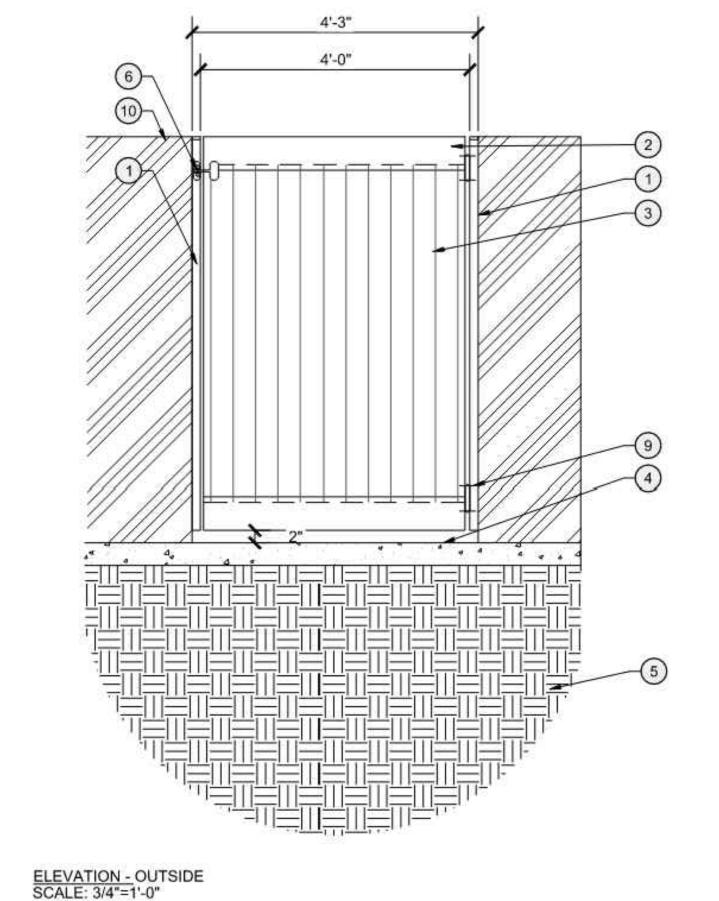
SECTION - WALL

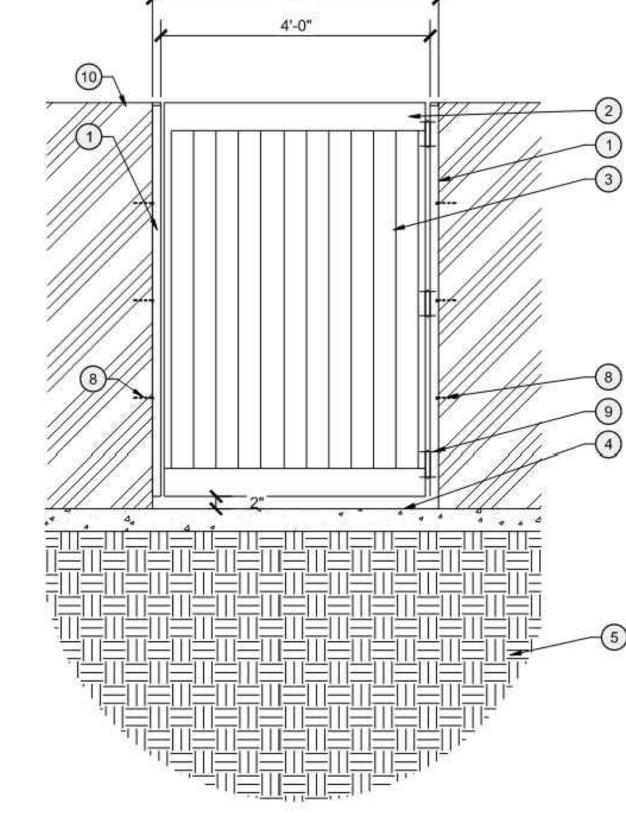
- 1 PRECISION BLOCK WITH COLORED GROUT JOINTS. REFER TO CONSTRUCTION LEGEND FOR FINISH AND COLORS.
- PRECISION CAP WITH COLORED GROUT JOINTS. REFER TO CONSTRUCTION LEGEND FOR FINISH AND COLOR.
- 3 COMPACTED SUBGRADE PER GEOTECHNICAL

- 6 ADJACENT PLANTING AREA. REFER TO

- A. DETAIL IS DIAGRAMMATIC AND FOR DESIGN INTENT ONLY. REFER TO DETAILS PREPARED BY THE STRUCTURAL ENGINEER FOR FOOTING AND REINFORCEMENT INFORMATION.
- CONTRACTOR TO PROVIDE SUBMITTAL OF MATERIAL FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT/ OWNER.

E CMU WALL WITH STUCCO FINISH FOR REFERENCE ONLY





4'-3"

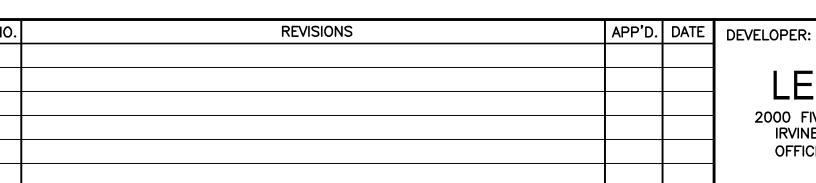
ELEVATION - STRUCTURAL INTERIOR SCALE: 3/4"=1'-0"

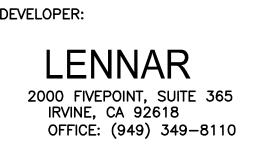
A VINYL GATE FOR REFERENCE ONLY

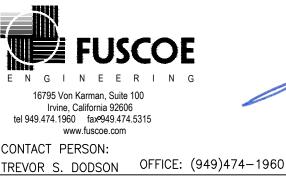


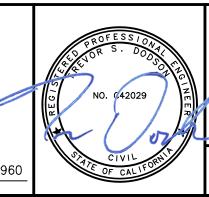


SOILS ENGINEER/GEOLOGIST:	
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TEL: 949.888.6513//	1
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10/11/2022	
DAVID HANSEN, PE, GE	1
ASSOCIATE ENGINEER	
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10/11/2022	
LISA L. BATES, PG, CEG	_





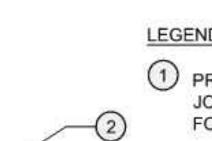




DETAILS FOR CIELO VISTA

DESIGN: NSM CHECKED: TD SCALE: AS SHOWN JOB NO.: 1296.01A

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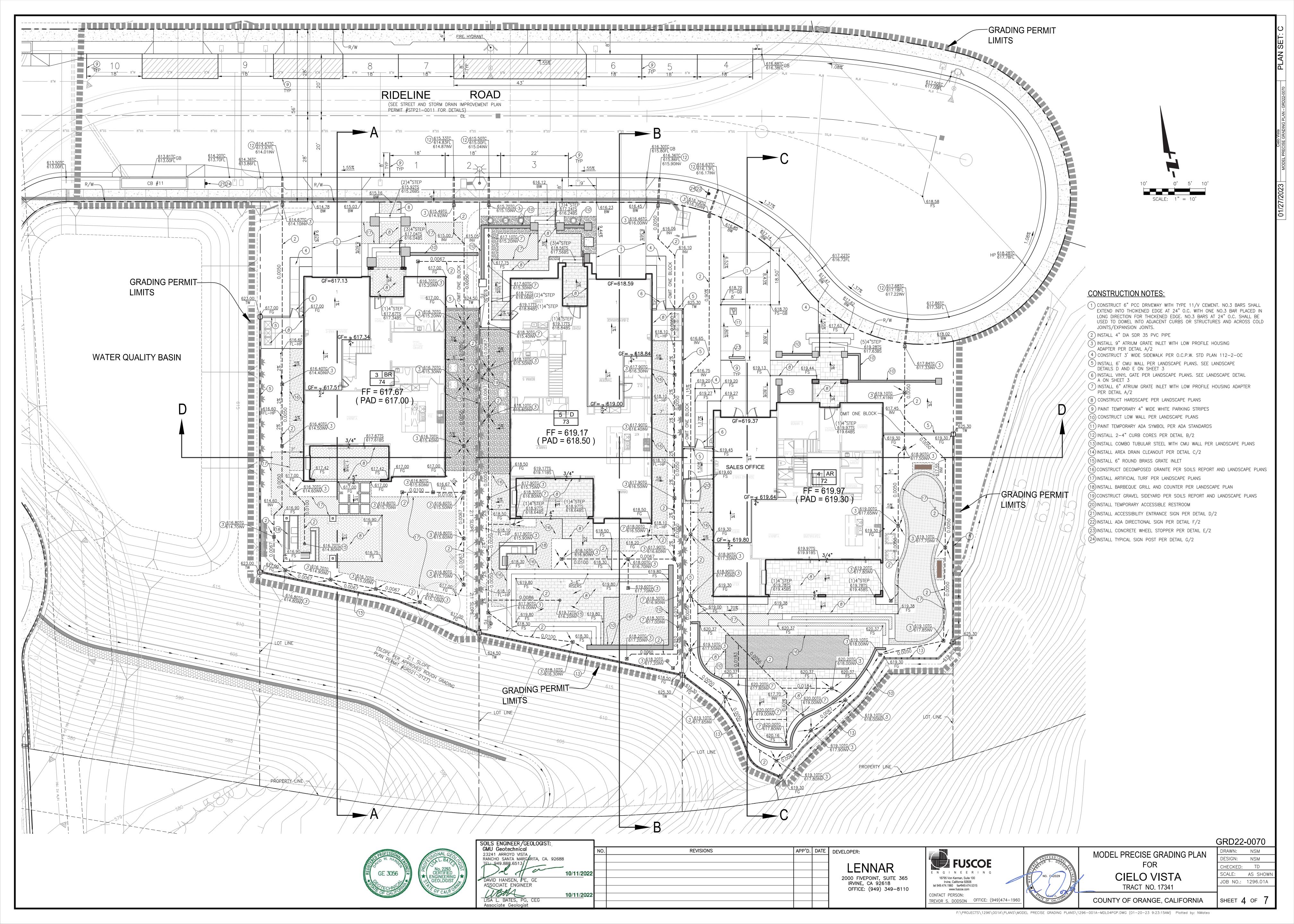


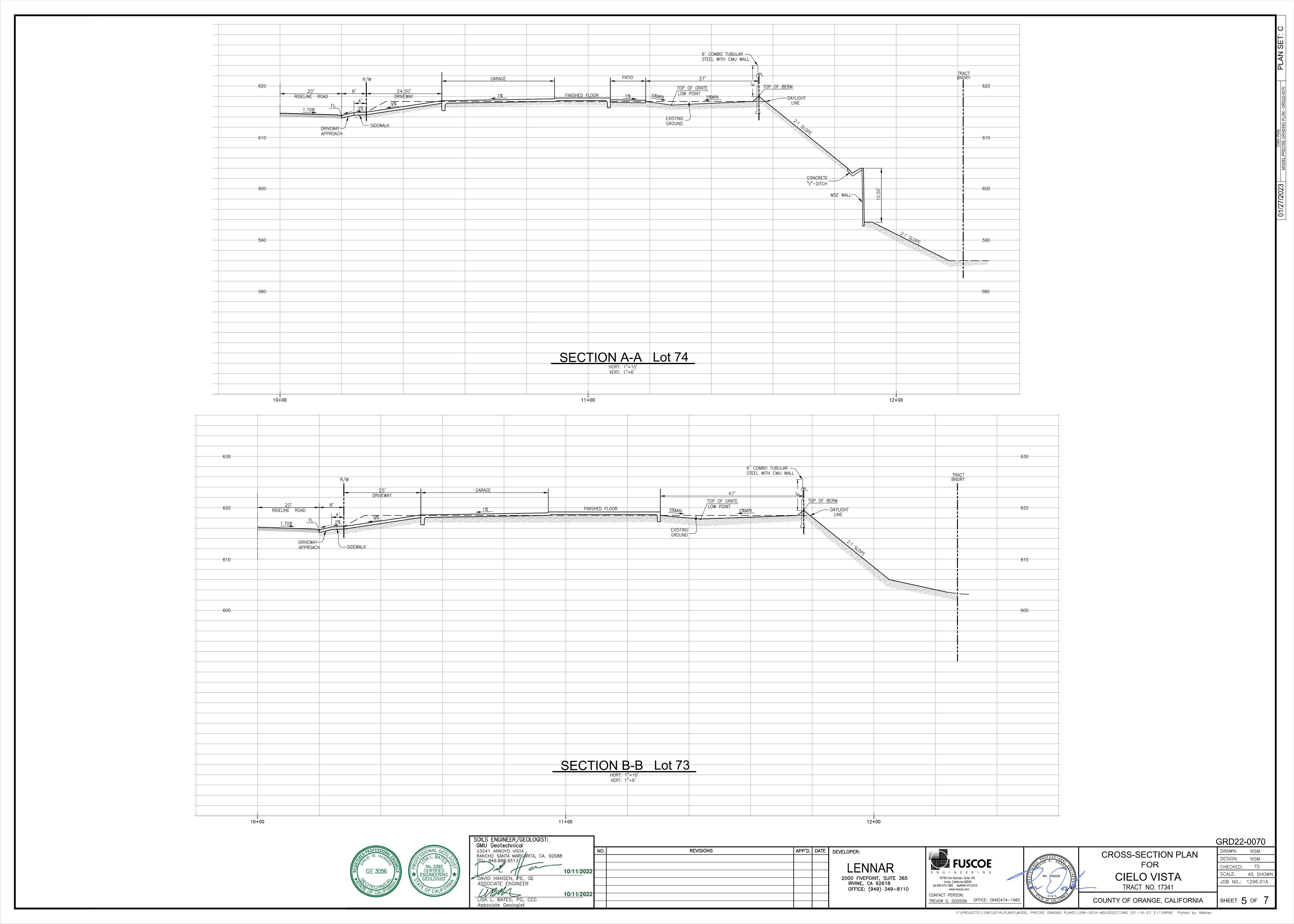
- 4 CONCRETE FOOTING PER STRUCTURAL
- 5 SPLITFACE EXTERIOR FINISH. REFER TO CONSTRUCTION LEGEND

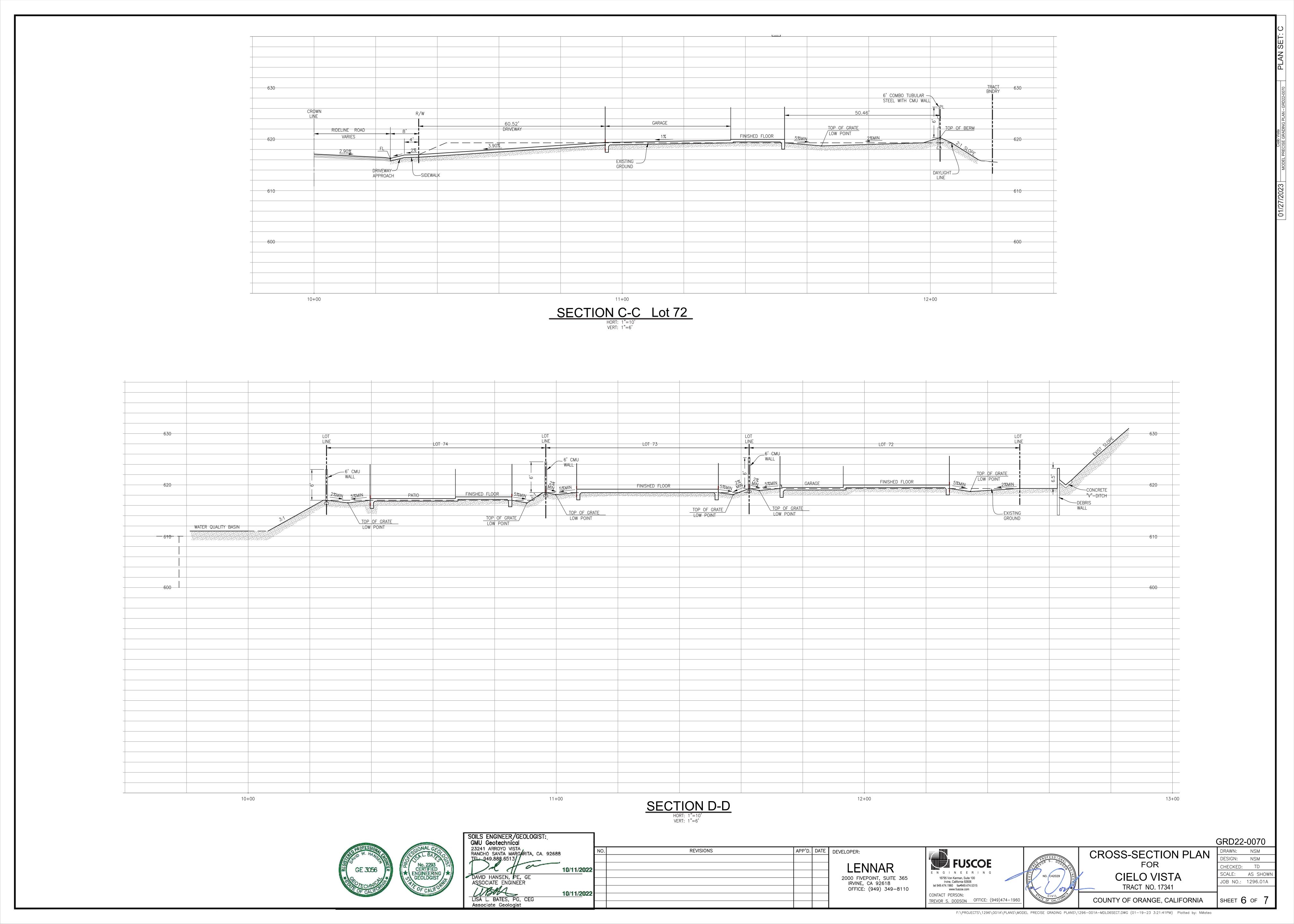


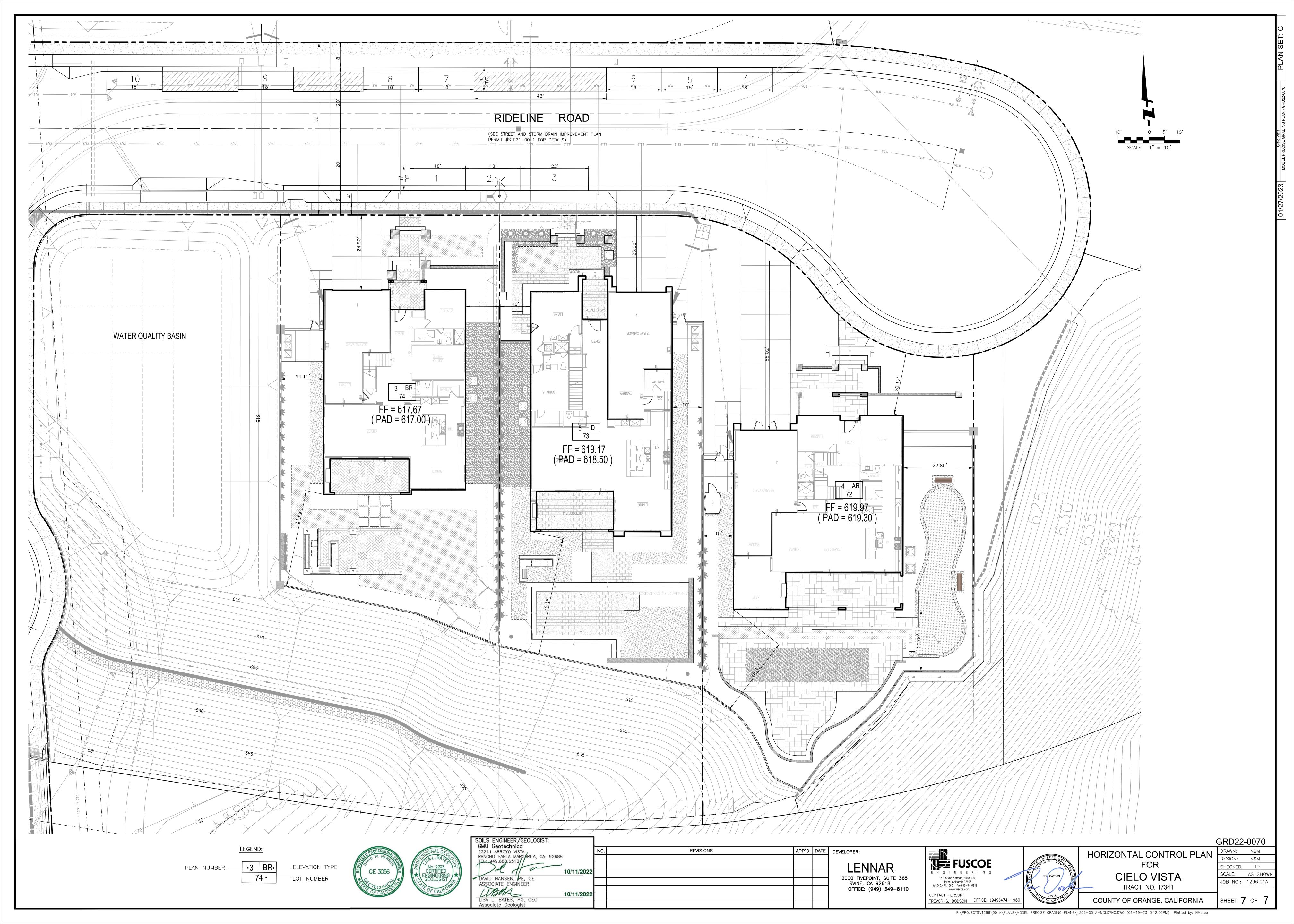
3 FINISH GRADE, REFER TO CIVIL ENGINEER D CMU WALL STEPPED FOR REFERENCE ONLY

TRACT NO. 17341 COUNTY OF ORANGE, CALIFORNIA GRD22-0070



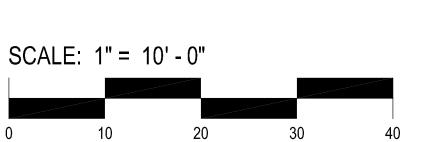








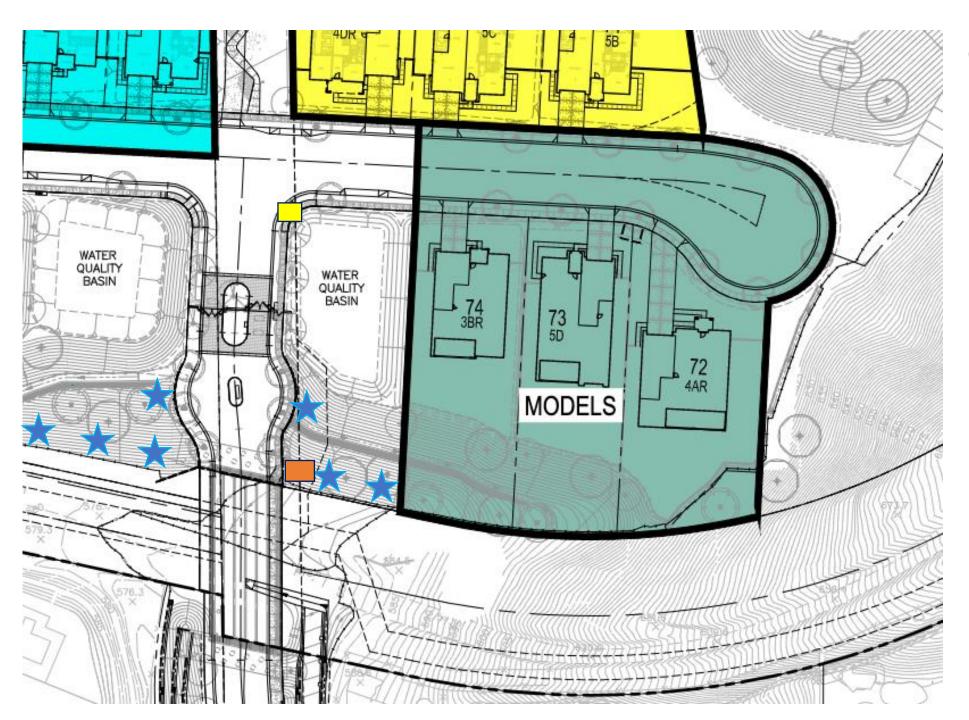




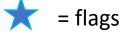


Cielo Vista

Preliminary marketing signage plan

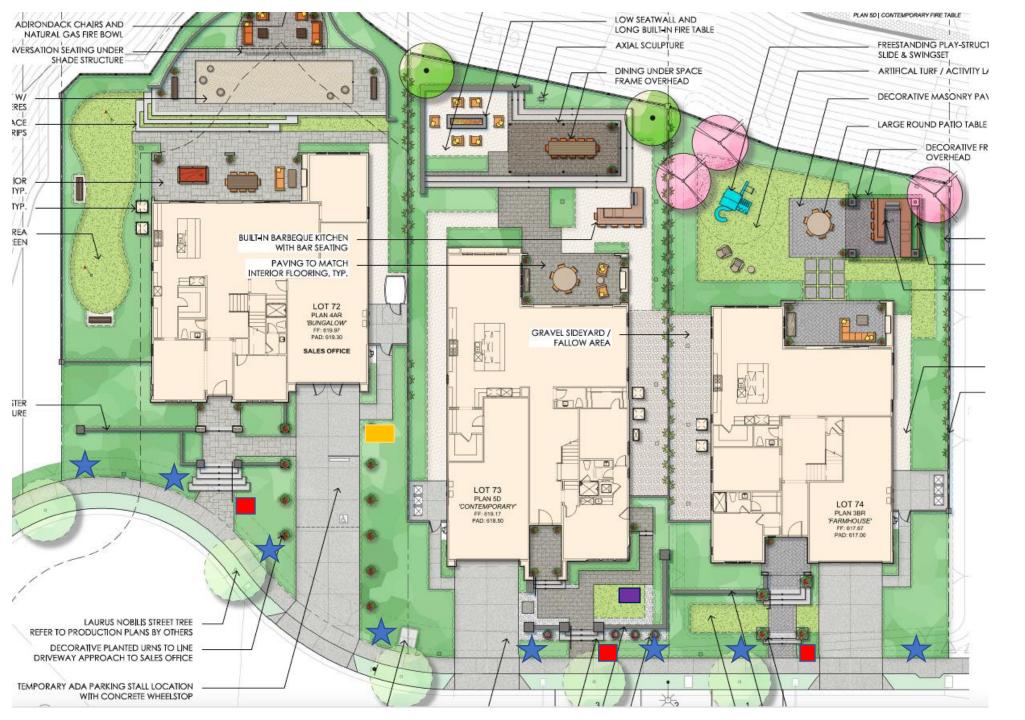


Community entrance signage



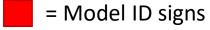
= directional sign (right arrow)

= community ID





= Flags



= Next Gen sign

= Info Center sign

Flags

(at entrance and around models)

Flags - vertical

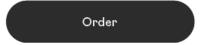
About

Available sizes include:

- · 5' x 3'
- · 6' x 4' (Figure A)
- · 8' x 3'
- · Feather/tear-drop

Getting started

This is a pre-produced item, available for order from The Lennar Store¹ - click below to order.



¹To create a profile for The Lennar Store, download and complete the New User Form, and then email it to TheLennarStore@Lennar.com.

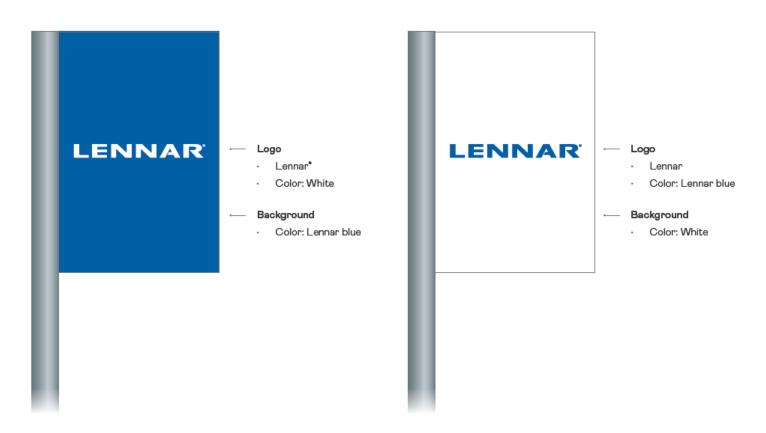


Figure A - 6' x 4'

Community ID

(SAMPLE – not final)

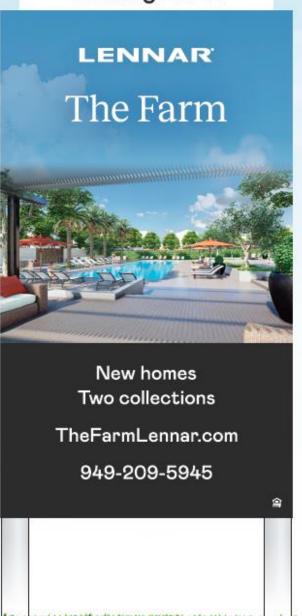
OCH The Farm Community ID Sign

- 4'x7'
- Match dark grey to PMS Black C
- Sign posts painted white

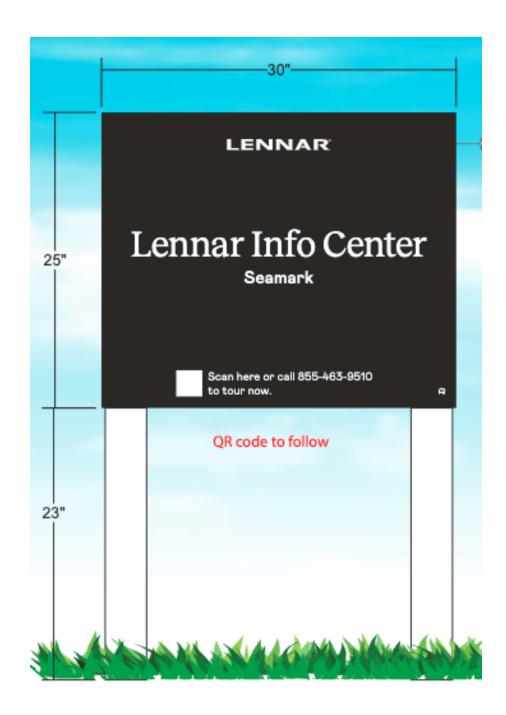
Rider

- 42" x 7"

Coming 2022



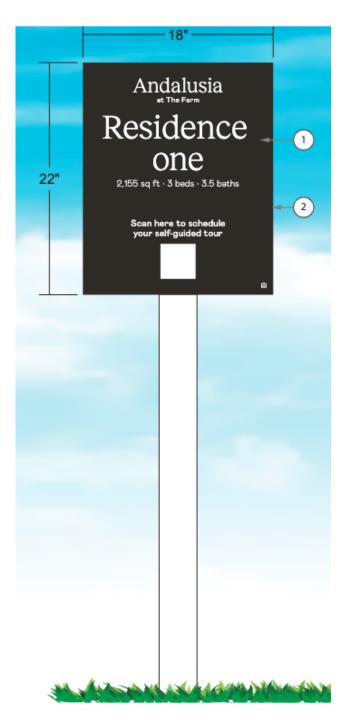
Info Center sign (SAMPLE – not final)



Model signage

(SAMPLE - not final)

Model ID – 1 per model



Model signage – NextGen® plan 5 only

NextGen® sign

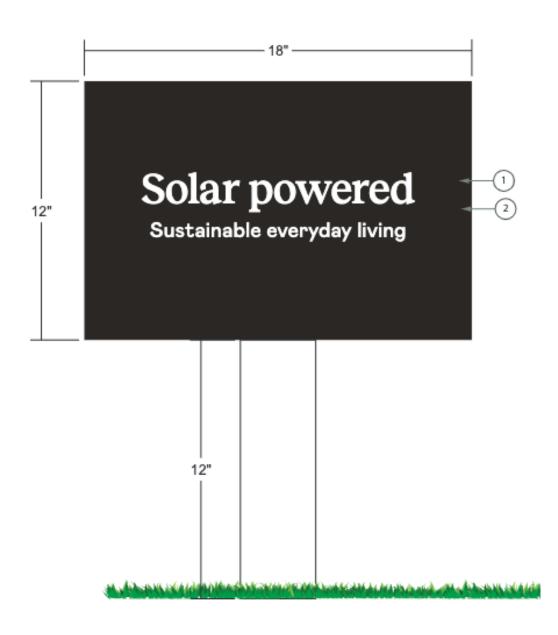


Exterior door plaque



Model signage – Solar sign

1 per community



Model signage – Watch Your Step sign 1 per model

Model signs

Please watch your step

About

- Measures 7" x 5.5"
- · Double-sided (identical reverse side)
- · White post

Getting started

This is a pre-produced item, available for order from The Lennar Store¹ - click below to order.



¹To create a profile for The Lennar Store, download and complete the <u>New User Form</u>, and then email it to TheLennarStore@Lennar.com.

Please watch your step

LENNAR

Layout notes

- Background color: Dark gray
- Text color: White
- · Drop shadows: None

Text

· Font: Reckless Regular

Reverse side is identical

Steps may also have safety tape adhered to edge to ensure visibility

Directional signs leading to models

