

**NOTES**

- EXISTING LAND USE: VACANT RESIDENTIAL.
- PROPOSED LAND USE: RESIDENTIAL.
- FUTURE DEVELOPMENT OF PROJECT AREA SHALL BE SUBJECT TO THE REQUIREMENTS OF THE LADERA PLANNED COMMUNITY.
- ZONING: PROJECT AREA IS ZONED AS TRABUCO CANYON RESIDENTIAL (TCR) DISTRICT BY THE FOOTHILL-TRABUCO CANYON SPECIFIC PLAN.
- PROJECT SITE IS WITHIN THE SADDLEBACK VALLEY UNIFIED SCHOOL DISTRICT.
- SITE ACCESS: ACCESS TO THE SITE IS PROPOSED VIA: SKY RANCH ROAD. ALL STREETS ARE PRIVATE.
- OPEN SPACE, PRIVATE STREETS TO BE MAINTAINED BY PRIVATE HOA.
- ALL STREETS ARE PRIVATE TO BE MAINTAINED BY PRIVATE HOA.
- UTILITY PROVIDERS:

SANITARY SEWER: TRABUCO CANYON WATER DISTRICT  
 DOMESTIC WATER: TRABUCO CANYON WATER DISTRICT  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY  
 ELECTRIC: SOUTHERN CALIFORNIA EDISON  
 PHONE: AT&T AND COX COMMUNICATIONS  
 CABLE: COX COMMUNICATIONS

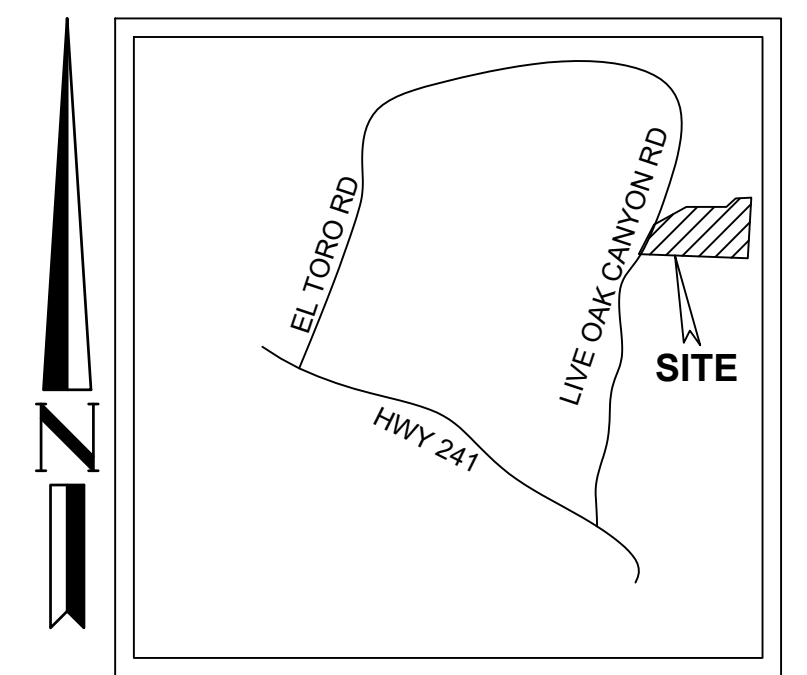
# SITE DEVELOPMENT PLAN FOR THE OAKS AT TRABUCO TRACT NO. 14749

LOTS 3, 4, 6, 7, AND 8 OF TRACT NO. 14749, PER MB 589/42-46, RECORDS OF ORANGE COUNTY, CALIFORNIA  
 APN: 586-171-03, APN:586-171-04, APN: 586-171-06, APN: 586-171-07, AND APN: 586-171-08

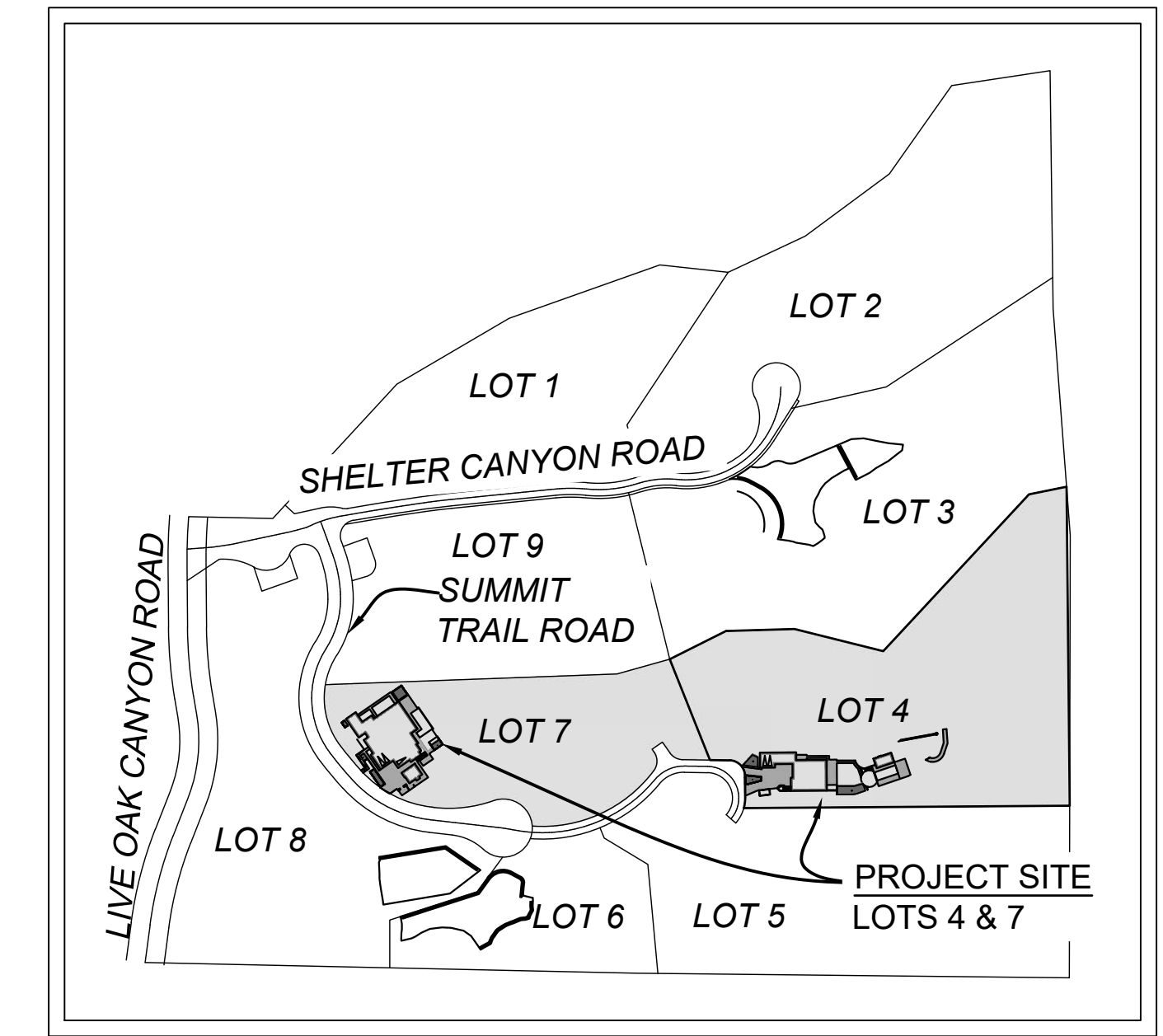
**SHEET INDEX**

**CIVIL**

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| 4 OF 7 | LOT 7 OVERALL SITE PLAN       |
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| 7 OF 7 | LOT 7 CONCEPTUAL GRADING PLAN |



VICINITY MAP  
NTS



INDEX MAP  
NTS

**LEGEND OF ABBREVIATIONS AND LINETYPES**

FF	FINISHED FLOOR
TW	TOP OF WALL
BW	BOTTOM OF WALL
FL	FLOWLINE
PE	PAD ELEVATION
FG	FINISHED GRADE
EG	EXISTING GRADE
---	PROPERTY LINE
- - - -	EASEMENT
---	RIGHT OF WAY
---	CENTER LINE
---	LIMITS OF GRADING
---	EDGE OF CONCRETE
---	HARDSCAPE PER LANDSCAPE PLANS
---	BUILDING EXTERIOR LIMITS
---	PROPOSED WALL
---	STORMWATER QUALITY PLANTER
---	TOP OF SLOPE
---	TOE OF SLOPE

**GOVERNING CODES**

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE (CFC)



**OWNER:**  
 THE OAKS AT TRABUCO, LLC  
 10866 WILSHIRE BLVD., 11TH FLOOR  
 LOS ANGELES, CA 90024  
 (351)441-8411  
 ATTN: BRUCE GOREN

**APPLICANT:**  
 THE OAKS AT TRABUCO, LLC  
 10866 WILSHIRE BLVD., 11TH FLOOR  
 LOS ANGELES, CA 90024  
 (351)441-8411  
 ATTN: BRUCE GOREN

**ENGINEER:**  
 DAVID EVANS AND ASSOCIATES, INC.  
 17542 E. 17TH STREET, SUITE 150  
 TUSTIN, CA 92780  
 (714) 665-4500  
 ATTN: LINDA SANDUSKY

**ARCHITECT:**  
 PEKAREK ARCHITECTS, INC.  
 31411 GAMINO CAPISTRANO, SUITE 300  
 SAN JUAN CAPISTRANO, CA 92675  
 (949) 487-2320  
 ATTN: PHIL PEKAREK

**LANDSCAPE ARCHITECT:**  
 KOHEID DESIGN  
 5312 BOLSA AVE.  
 HUNTINGTON BEACH, CA 92649  
 (714)403-5798  
 ATTN: TRAVIS GRAMBERG

**SOILS ENGINEER/GEOLOGIST**  
 GMU  
 23241 ARROYO VISTA  
 RANCHO SANTA MARGARITA, CA 92688  
 (949) 886-8513  
 ATTN: DAVID HANSEN

**THE OAKS AT TRABUCO**  
 TR 14749, LOTS 3, 4, 6, 7 & 8  
 30502 SHELTER CANYON ROAD  
 19942, 19961, 19991, AND 20062 SUMMIT TRAIL  
 TRABUCO CANYON, CA  
 COVER SHEET

**DAVID EVANS AND ASSOCIATES INC.**  
 17542 E. 17TH STREET, SUITE 150  
 TUSTIN, CALIFORNIA 92780  
 Phone: 714.665.4500



REVISIONS: APPD.

DATE: 1/18/2023  
 DESIGN: ATR  
 DRAWN: SFMO  
 CHECKED: LS  
 REVISION NUMBER:

SCALE: AS NOTED

PROJECT NUMBER:

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SHEET NO.

1

OF 7

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 By: Niz Zammit  
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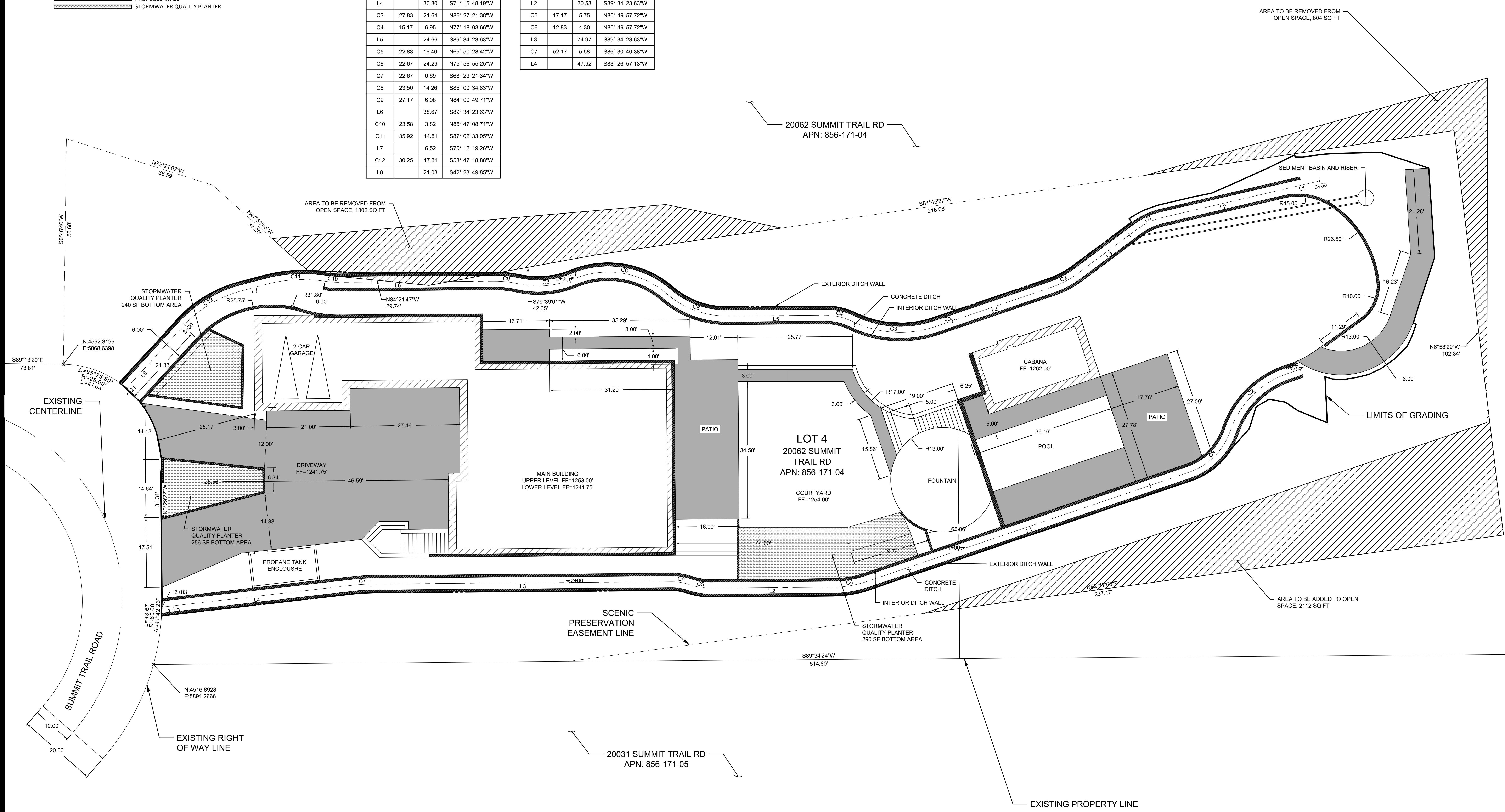


LEGEND OF ABBREVIATIONS AND LINETYPES

FF	FINISHED FLOOR
---	PROPERTY LINE
- - -	EASEMENT
---	RIGHT OF WAY
---	CENTER LINE
---	LIMITS OF GRADING
---	EDGE OF CONCRETE
---	HARDSCAPE PER LANDSCAPE PLANS
---	BUILDING EXTERIOR LIMITS
---	PROPOSED WALL
---	STORMWATER QUALITY PLANTER

LOT 4 - Wall North			
Number	Radius	Length	Line/Chord Direction
L1	9.56	S76° 54' 32.79"W	
L2	30.97	S76° 54' 32.79"W	
C1	17.17	7.07	S65° 06' 59.07"W
L3	18.77	S53° 19' 25.36"W	
C2	22.83	7.15	S62° 17' 36.77"W
L4	30.80	S71° 15' 48.19"W	
C3	27.83	21.64	N86° 27' 21.38"W
C4	15.17	6.95	N77° 18' 03.66"W
L5	24.66	S89° 34' 23.63"W	
C5	22.83	16.40	N69° 50' 28.42"W
C6	22.67	24.29	N79° 56' 55.25"W
C7	22.67	0.69	S68° 29' 21.34"W
C8	23.50	14.26	S85° 00' 34.83"W
C9	27.17	6.08	N84° 00' 49.71"W
L6	38.67	S89° 34' 23.63"W	
C10	23.58	3.82	N85° 47' 08.71"W
C11	35.92	14.81	S87° 02' 33.05"W
L7	6.52	S75° 12' 19.26"W	
C12	30.25	17.31	S68° 47' 18.88"W
L8	21.03	S42° 23' 49.85"W	

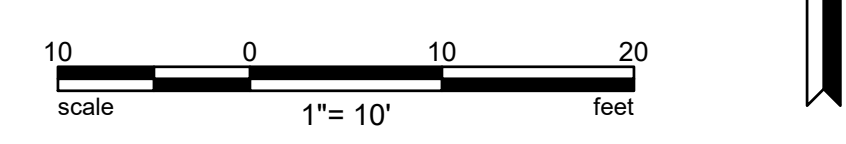
LOT 4 - Wall South			
Number	Radius	Length	Line/Chord Direction
C1	27.17	2.78	S69° 54' 00.94"W
C2	22.83	21.59	S45° 44' 07.89"W
C3	16.67	15.31	S44° 57' 08.92"W
L1	85.38	S71° 15' 48.19"W	
C4	27.17	8.68	S80° 25' 05.91"W
L2	30.53	S89° 34' 23.63"W	
C5	17.17	6.75	N80° 49' 57.72"W
C6	12.83	4.30	N80° 49' 57.72"W
L3	74.97	S89° 34' 23.63"W	
C7	52.17	6.58	S86° 30' 40.38"W
L4	47.92	S83° 26' 57.13"W	



THE OAKS AT TRABUCO  
 TR 14749, LOTS 3, 4, 6, 7 & 8  
 30502 SHELTER CANYON ROAD  
 19942, 19951, 19991, AND 20062 SUMMIT TRAIL  
 TRABUCO CANYON, CA  
 LOT 4 SITE DEVELOPMENT PLAN

DAVID EVANS  
 AND ASSOCIATES INC.  
 17542 E. 17TH Street, Suite 150  
 Tustin, California 92780  
 Phone: 714.665.4500

REVISIONS:	APPD.
DATE:	1/18/2023
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LEGEND OF ABBREVIATIONS AND LINETYPES

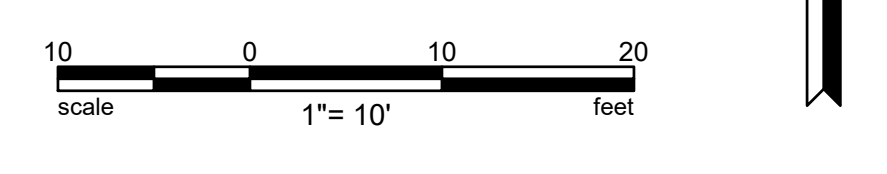
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- - - -	EASEMENT
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THE OAKS AT TRABUCO  
 TR 14749, LOTS 3, 4, 6, 7 & 8  
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 19942, 19951, 19991, AND 20062 SUMMIT TRAIL  
 TRABUCO CANYON, CA  
 LOT 7 SITE DEVELOPMENT PLAN

DAVID EVANS  
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 17542 E. 17TH Street, Suite 150  
 Tustin, California 92780  
 Phone: 714.665.4500

REVISIONS:	APPD.
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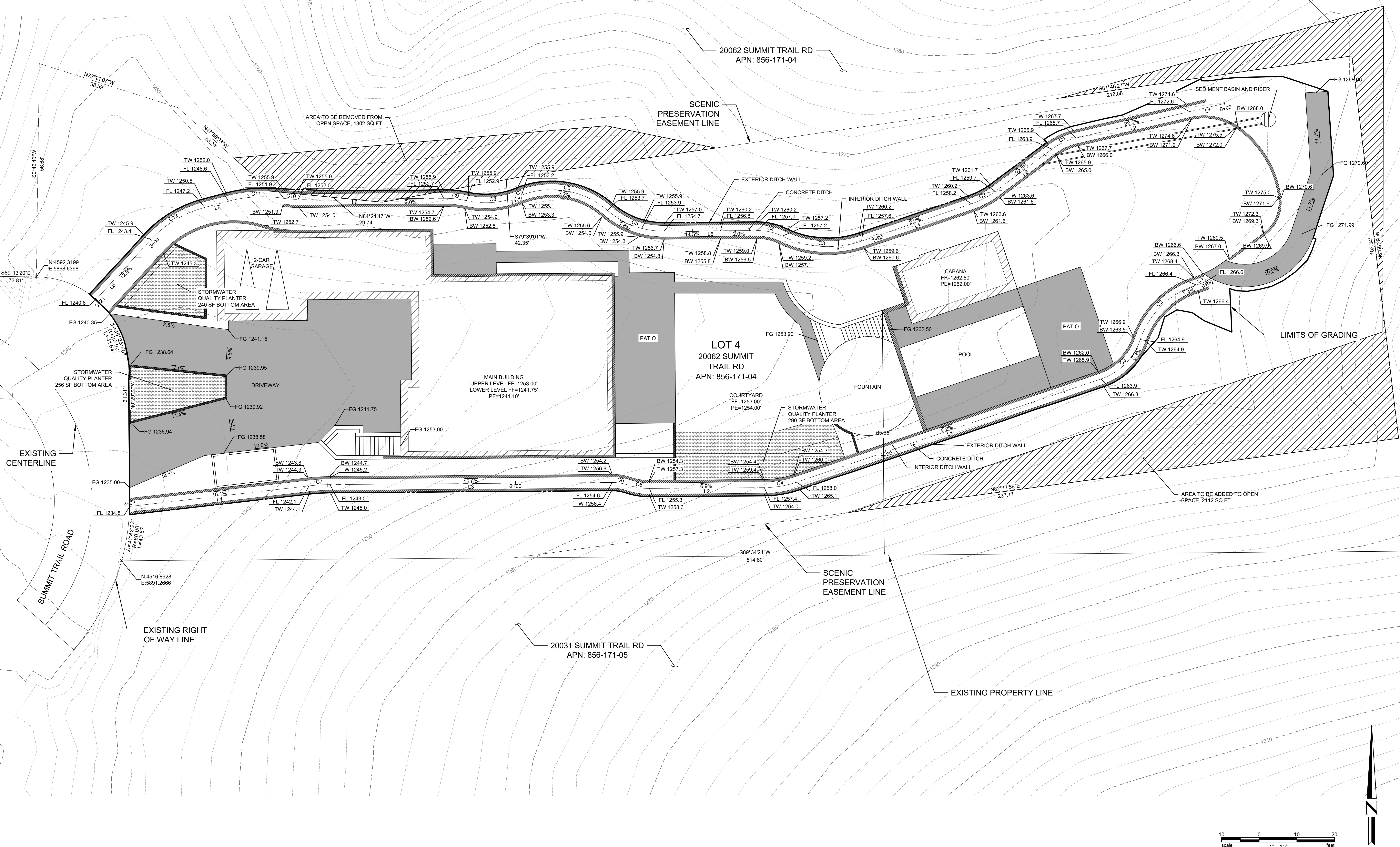
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LEGEND OF ABBREVIATIONS AND LINETYPES

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ROUGH EARTHWORK QUANTITIES

CUT	666 CY
FILL	1,704 CY
NET FILL	1,038 CY



THE OAKS AT TRABUCO  
 TR 14749, LOTS 3, 4, 6, 7 & 8  
 30502 SHELTER CANYON ROAD  
 19942, 19951, 19991, AND 20062 SUMMIT TRAIL  
 TRABUCO CANYON, CA

LOT 4 CONCEPTUAL GRADING PLAN

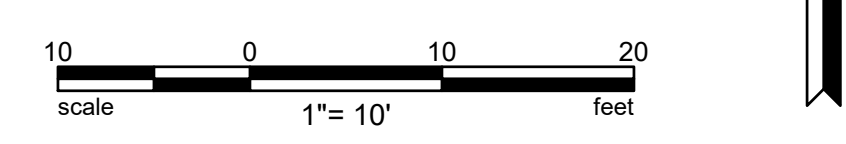
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6  
 OF 7

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LEGEND OF ABBREVIATIONS AND LINETYPES

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---	TOP OF SLOPE
---	TOE OF SLOPE

ROUGH EARTHWORK QUANTITIES

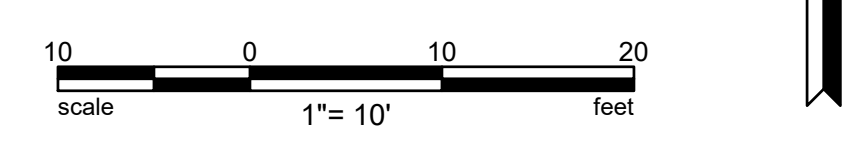
CUT	2,087 CY
FILL	581 CY
NET CUT	1,506 CY



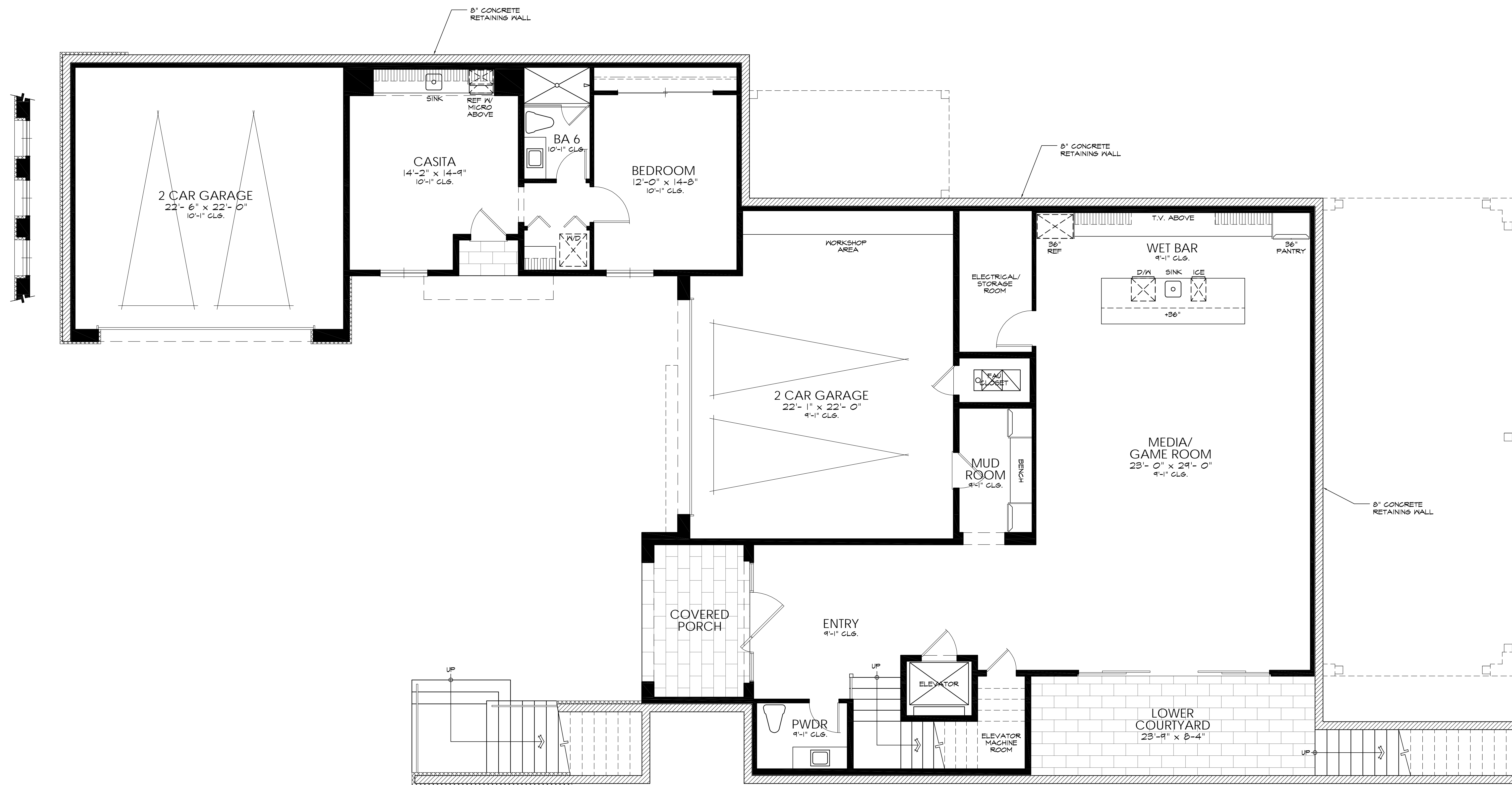
**THE OAKS AT TRABUCO**  
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 TRABUCO CANYON, CA  
 LOT 7 CONCEPTUAL GRADING PLAN

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LOWER LEVEL NOTE: ALL DIMENSIONS TO ROUGH FRAMING, U.N.O.

SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
LOWER LEVEL:	1,522 SQ. FT.
MAIN LEVEL:	3,110 SQ. FT.
UPPER LEVEL:	2,180 SQ. FT.
CASITA:	562 SQ. FT.
TOTAL LIVEABLE:	7,374 SQ. FT.
GARAGES:	1,174 SQ. FT.
LIGHTWELL:	198 SQ. FT.

**PEKAREK**  
architects, inc.

architecture • planning  
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**THE OAKS AT TRABUCO, LLC**  
10866 WILSHIRE BLVD. 11TH FLOOR  
LOS ANGELES, CA 90024  
(661) 222-9207

**THE OAKS AT TRABUCO**  
LOT 4  
COUNTY OF ORANGE, CA

SEAL

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NO.	DESCRIPTION OF REVISION	DATE

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LOT 4  
LOWER LEVEL  
FLOOR PLAN

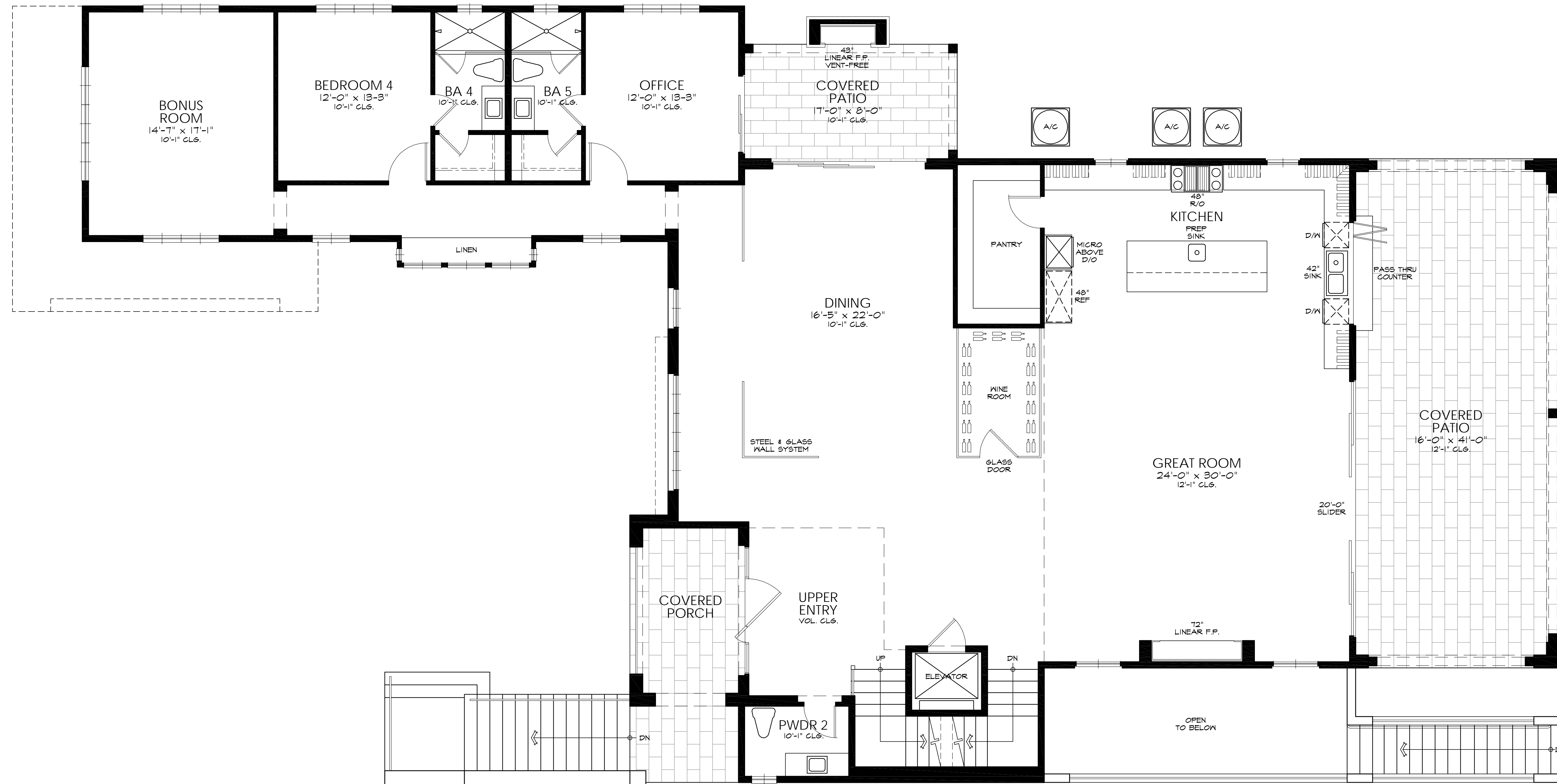
PLOT DATE  
12-22-22

JOB NO.  
20-26

DRAWN BY

SHEET  
A-1





MAIN LEVEL NOTE: ALL DIMENSIONS TO ROUGH FRAMING, U.N.O.

SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
LOWER LEVEL:	1,522 SQ. FT.
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**PEKAREK**  
**architects, inc.**  
 architecture • planning  
 31411 camino capistrano  
 suite 300  
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 ca, 92675  
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**THE OAKS AT TRABUCO, LLC**  
 10866 WILSHIRE BLVD. 11TH FLOOR  
 LOS ANGELES, CA 90024  
 (661) 222-9207

**THE OAKS AT TRABUCO**  
**LOT 4**  
 COUNTY OF ORANGE, CA

SEAL

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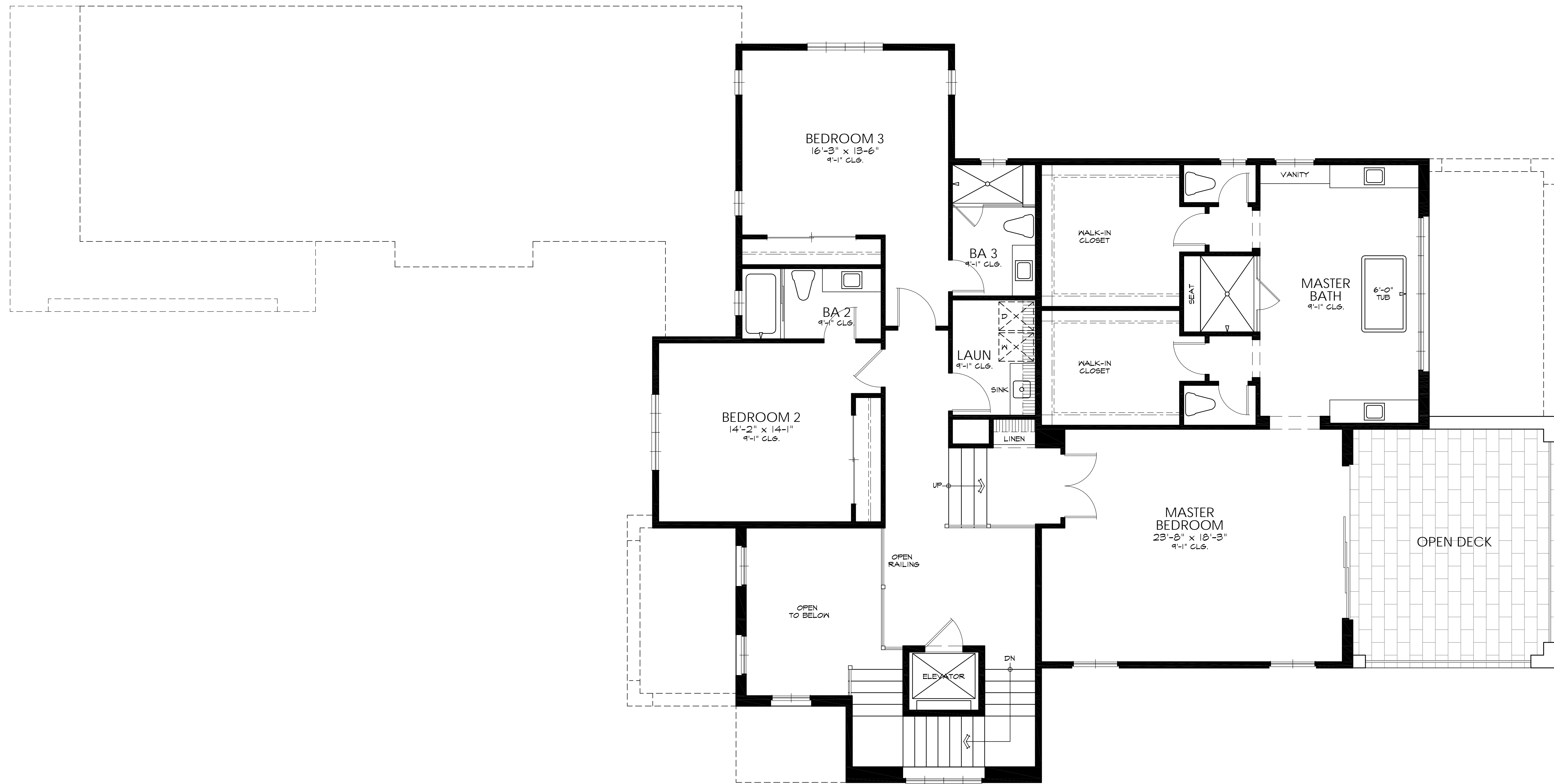
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**LOT 4**  
**MAIN LEVEL**  
**FLOOR PLAN**

**PLOT DATE**  
12-22-22

**JOB NO.**  
20-26

**DRAWN BY**

**SHEET**  
A-2



UPPER LEVEL NOTE: ALL DIMENSIONS TO ROUGH FRAMING, U.N.O.

SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
LOWER LEVEL:	1,522 SQ. FT.
MAIN LEVEL:	3,110 SQ. FT.
UPPER LEVEL:	2,180 SQ. FT.
CASITA:	562 SQ. FT.
TOTAL LIVEABLE:	7,374 SQ. FT.
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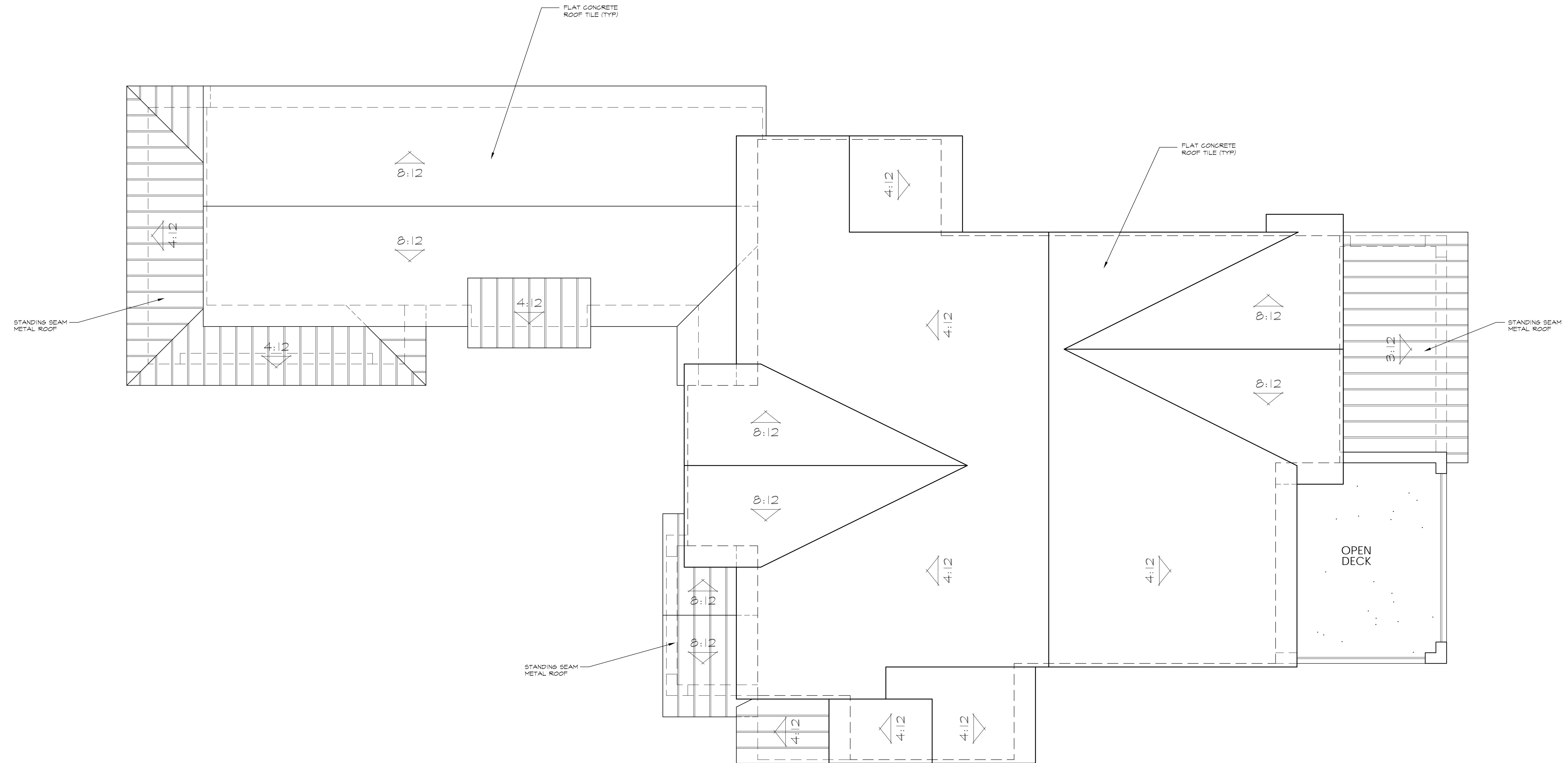
**THE OAKS AT TRABUCO**  
**LOT 4**  
 COUNTY OF ORANGE, CA

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NO.	DESCRIPTION OF REVISION	DATE

**SHEET DESCRIPTION**  
**LOT 4**  
**UPPER LEVEL**  
**FLOOR PLAN**

<b>PLOT DATE</b> 12-22-22	<b>SHEET</b> <b>A-3</b>
<b>JOB NO.</b> 20-26	
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ROOF PLAN

SCALE 1/4" = 1' - 0"

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 architects, inc.  
 architecture • planning  
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 suite 300  
 san juan capistrano  
 ca, 92675  
 (949) 487-2320

**THE OAKS AT TRABUCO, LLC**  
 10866 WILSHIRE BLVD. 11TH FLOOR  
 LOS ANGELES, CA 90024  
 (661) 222-9207

**THE OAKS AT TRABUCO**  
**LOT 4**  
 COUNTY OF ORANGE, CA

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NO.	DESCRIPTION OF REVISION	DATE

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**ROOF PLAN**

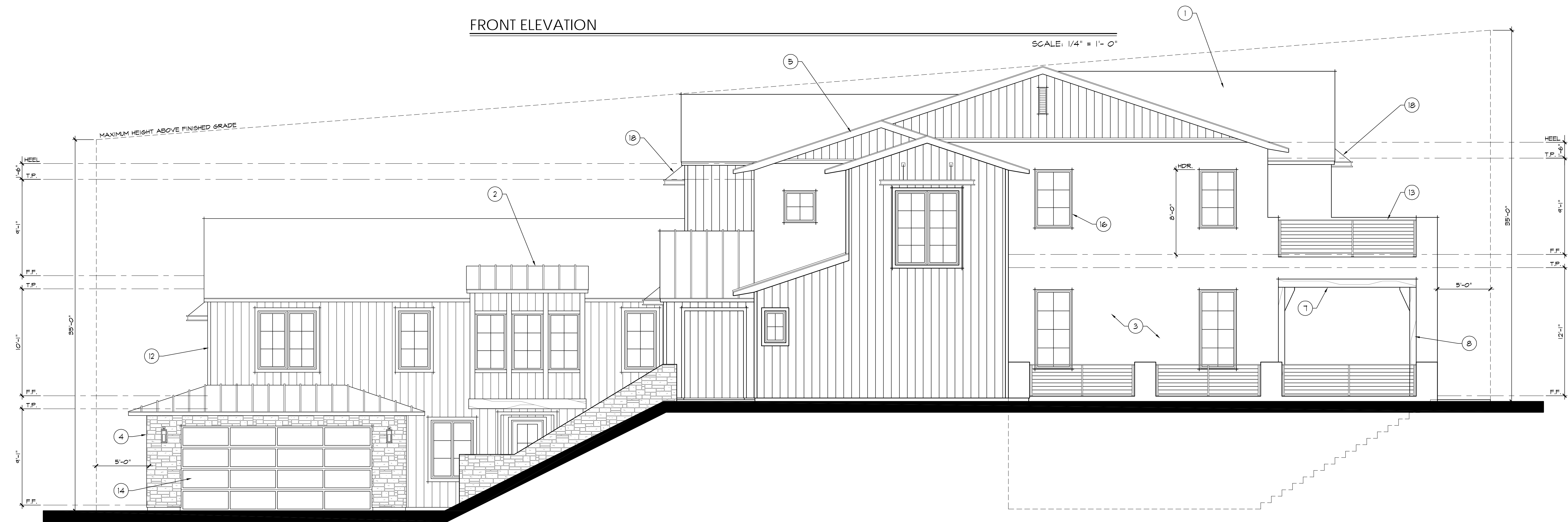
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JOB NO. 20-26	
DRAWN BY	



- EXTERIOR MATERIALS**
1. CONCRETE FLAT TILE BY 'BORAL ROOFING'
  2. METAL STANDING SEAM ROOFING
  3. SMOOTH STUCCO
  4. STONE VENEER
  5. 4 x 8 RESAWN WOOD BARGE BOARD
  6. 2 x 4 RESAWN WOOD TRIMMER O/ 4 x 8 TAILS
  7. RESAWN WOOD BEAM
  8. RESAWN WOOD POST
  9. RESAWN WOOD CORBEL
  10. RESAWN WOOD TRIM
  11. 1x10 POLY ASH NICKEL GAP SMOOTH SHIPLAP SIDING
  12. POLY ASH TRIM
  13. METAL RAILING
  14. METAL & GLASS SECTIONAL GARAGE DOOR
  15. METAL GABLE END VENT
  16. ALUMINUM WINDOWS & DOORS
  17. 10' TALL ALUMINUM SLIDING DOORS
  18. IRON I-BEAM AWNING W/ HANGER RODS

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

**PEKAREK**  
**architects, inc.**

architecture • planning  
 31411 camino capistrano  
 suite 300  
 san juan capistrano  
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 LOS ANGELES, CA 90024  
 (661) 222-9207

**THE OAKS AT TRABUCO**  
**LOT 4**  
 COUNTY OF ORANGE, CA

SEAL

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**SHEET DESCRIPTION**  
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**EXTERIOR**  
**ELEVATIONS**

**PLOT DATE**  
12-22-22

**JOB NO.**  
20-26

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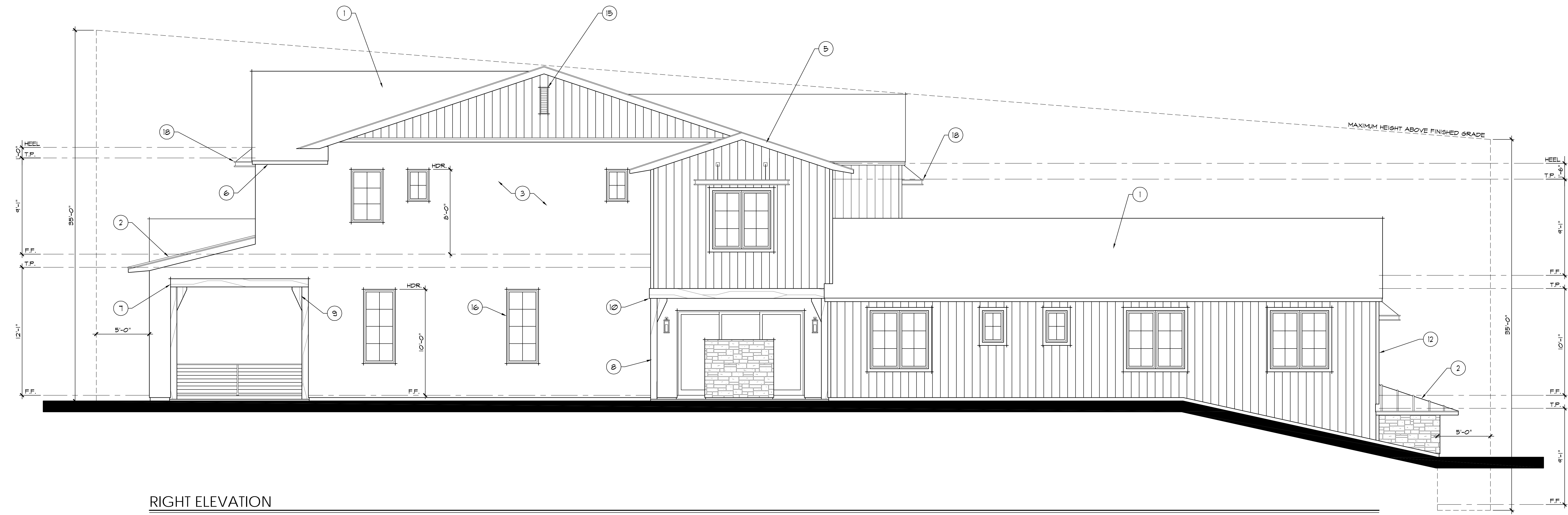
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**A-5**



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIALS**
1. CONCRETE FLAT TILE BY "BORAL ROOFING"
  2. METAL STANDING SEAM ROOFING
  3. SMOOTH STUCCO
  4. STONE VENEER
  5. 4 x 8 RESAWN WOOD BARGE BOARD
  6. 2 x 4 RESAWN WOOD TRIMMER O/ 4 x 8 TAILS
  7. RESAWN WOOD BEAM
  8. RESAWN WOOD POST
  9. RESAWN WOOD CORBEL
  10. RESAWN WOOD TRIM
  11. 1x10 POLY ASH NICKEL GAP SMOOTH SHIPLAP SIDING
  12. POLY ASH TRIM
  13. METAL RAILING
  14. METAL & GLASS SECTIONAL GARAGE DOOR
  15. METAL GABLE END VENT
  16. ALUMINUM WINDOWS & DOORS
  17. 10' TALL ALUMINUM SLIDING DOORS
  18. IRON I-BEAM AWNING W/ HANGER RODS



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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 (661) 222-9207

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**LOT 4**  
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NO.	DESCRIPTION OF REVISION	DATE

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**LOT 4**  
**EXTERIOR**  
**ELEVATIONS**

**PLOT DATE**  
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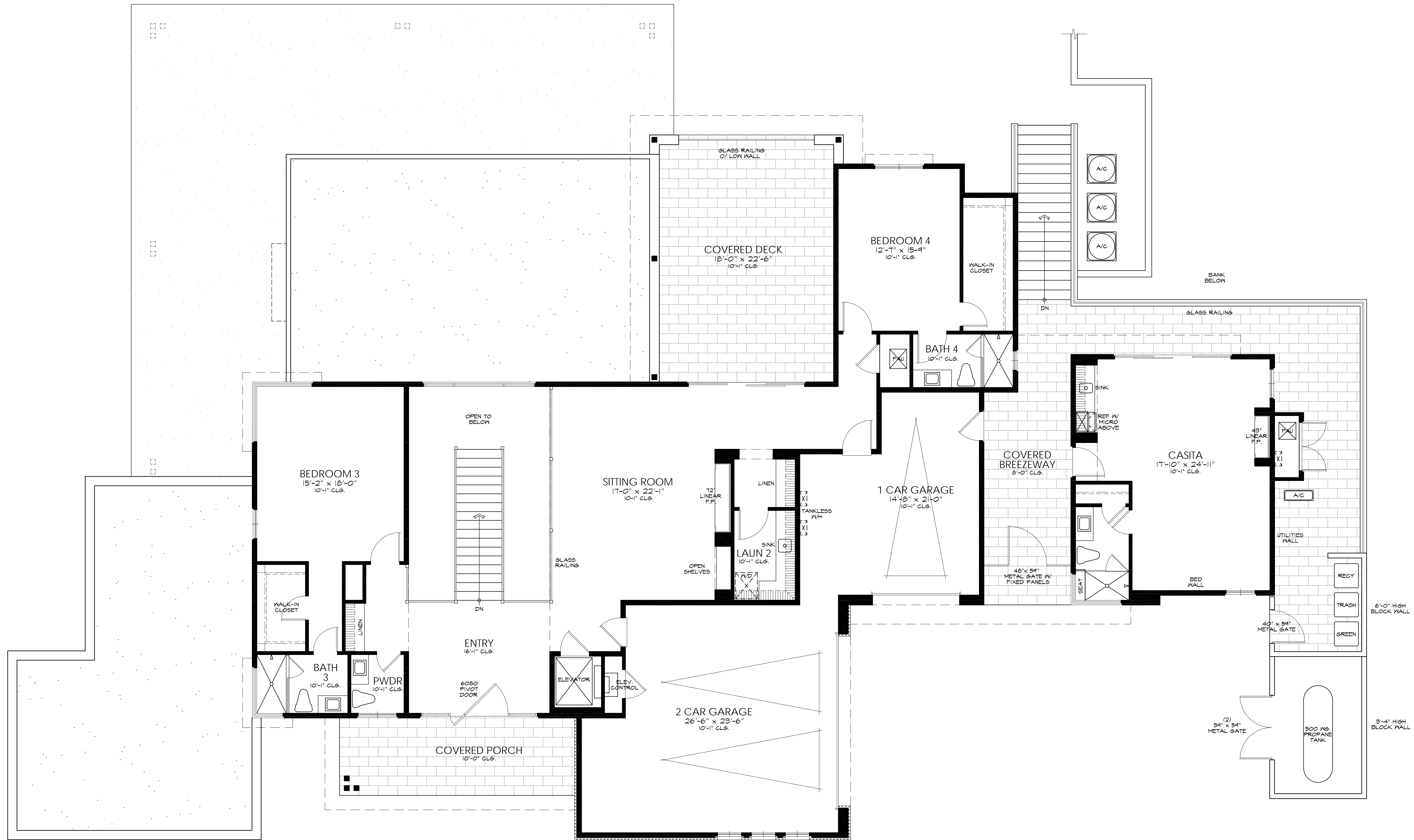
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**SHEET DESCRIPTION**  
**LOT 4**  
**RENDERED**  
**ELEVATIONS**

**PLOT DATE**  
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UPPER LEVEL FLOOR PLAN NOTE: ALL DIMENSIONS TO ROUGH FRAMING, UNO.

SCALE 1/4" = 1' - 0"

SQUARE FOOTAGE	
UPPER LEVEL:	1,859 SQ. FT.
CASITA:	531 SQ. FT.
LOWER LEVEL:	4,240 SQ. FT.
TOTAL LIVEABLE:	6,630 SQ. FT.
GARAGES:	999 SQ. FT.
COVERED PORCH & DECK:	668 SQ. FT.
COVERED PATIO:	1,158 SQ. FT.

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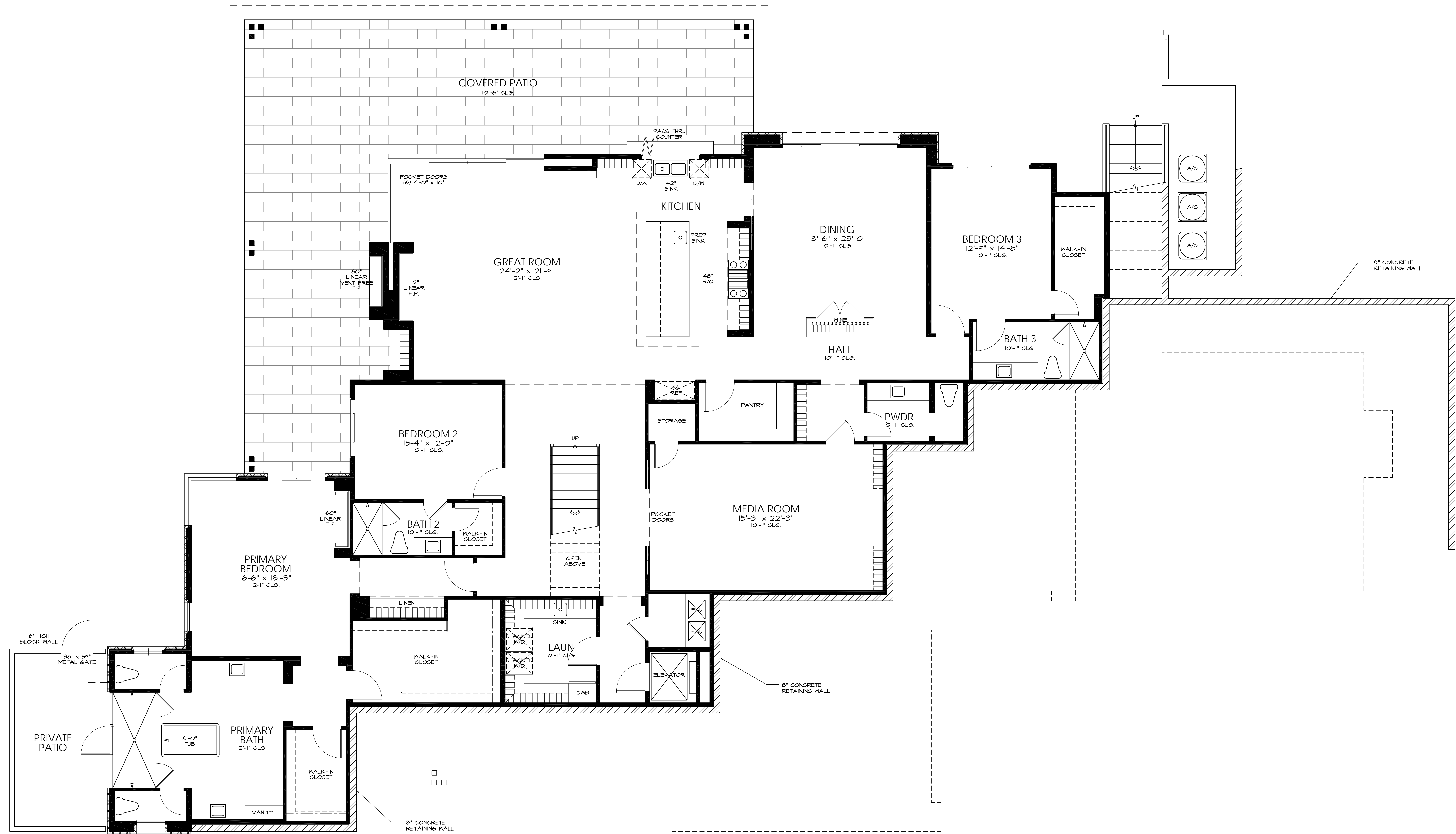
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LOT 7  
COUNTY OF ORANGE, CA

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LOT 7 UPPER LEVEL FLOOR PLAN		12-22-22	A-1
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LOWER LEVEL FLOOR PLAN NOTE: ALL DIMENSIONS TO ROUGH FRAMING, U.N.O.

SCALE 1/4" = 1'-0"

SQUARE FOOTAGE	
UPPER LEVEL:	1,859 SQ. FT.
CASITA:	531 SQ. FT.
LOWER LEVEL:	4,240 SQ. FT.
TOTAL LIVEABLE:	6,630 SQ. FT.
GARAGES:	999 SQ. FT.
COVERED PORCH & DECK:	668 SQ. FT.
COVERED PATIO:	1,158 SQ. FT.

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**THE OAKS AT TRABUCO**  
 LOT 7  
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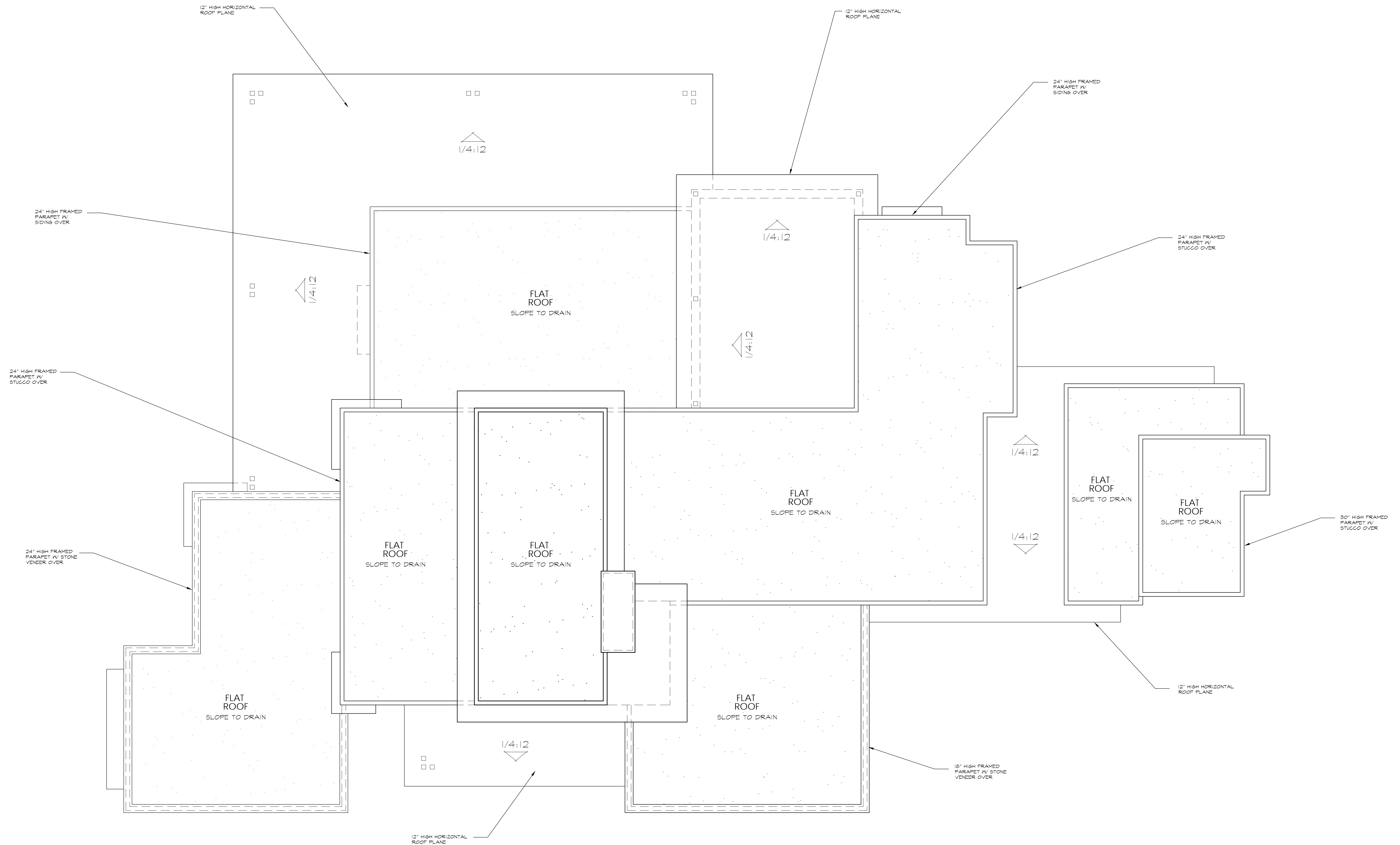
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 LOWER LEVEL  
 FLOOR PLAN

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ROOF PLAN

SCALE 1/4" = 1'-0"

SEAL

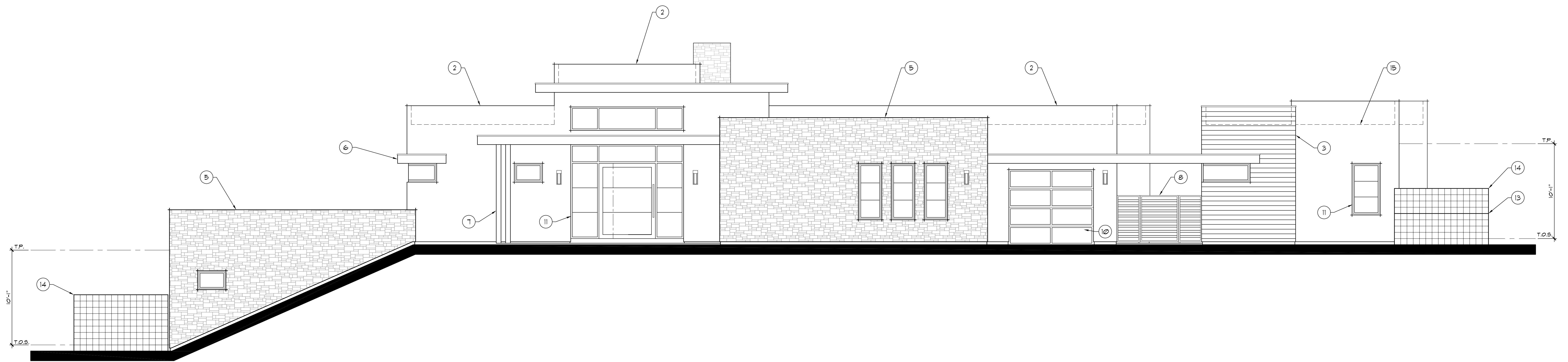
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ROOF PLAN**

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

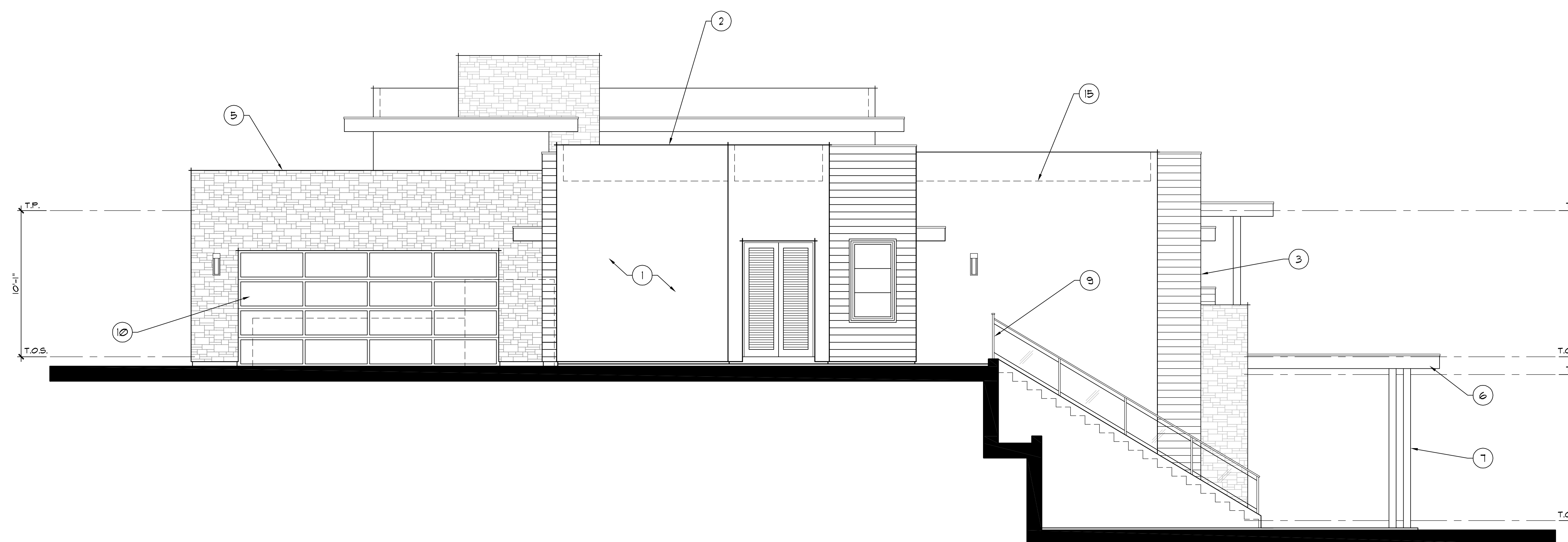
- 1. SMOOTH STUCCO
- 2. STUCCO O/ FLAT PARAPET
- 3. WOOD CLADDING
- 4. STONE VENER
- 5. STONE VENER O/ FLAT PARAPET
- 6. METAL O/ WOOD FACIA @ FLAT ROOF PLANE
- 7. METAL POST
- 8. METAL GATE
- 9. METAL & GLASS RAILING
- 10. METAL & GLASS SECTIONAL GARAGE DOOR
- 11. ALUMINUM WINDOWS & DOORS
- 12. 10' TALL ALUMINUM SLIDING DOORS
- 13. 3'-4" HIGH CONCRETE BLOCK WALL
- 14. 6'-0" HIGH CONCRETE BLOCK WALL
- 15. FLAT ROOF BEHIND PARAPET

NO.	DESCRIPTION OF REVISION	DATE



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

- 1. SMOOTH STUCCO
- 2. STUCCO O/ FLAT PARAPET
- 3. WOOD CLADDING
- 4. STONE VENER
- 5. STONE VENER O/ FLAT PARAPET
- 6. METAL O/ WOOD FACIA @ FLAT ROOF PLANE
- 7. METAL POST
- 8. METAL GATE
- 9. METAL & GLASS RAILING
- 10. METAL & GLASS SECTIONAL GARAGE DOOR
- 11. ALUMINUM WINDOWS & DOORS
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- 14. 6'-0" HIGH CONCRETE BLOCK WALL
- 15. FLAT ROOF BEHIND PARAPET

SEAL

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