COUNTY OF ORANGE

TENTATIVE PARCEL MAP NO. 2021-131

LEGAL DESCRIPTION

PARCEL 1: (APN: 104-290-016)

PARCEL 1, BEING A PORTION OF BLOCKS 15 AND 41 OF IRVINE'S SUBDIVISION, AS SHOWN BY GRANT DEED TO WILLIAM W. CRAWMER AND WIFE, RECORDED JANUARY 17, 1955 IN BOOK 2926, PAGE 226 ON PAGES 233-235 OF BOOK 401 OF OFFICIAL RECORDS OF ORANGE COUNTY, EXCEPTING THEREFROM PORTIONS CONVEYED TO ORANGE COUNTY SANITATION DISTRICT.

PROPERTY OWNERSHIP INFORMATION

SECTION A-A

APN: 104-290-016 10591 BENT TREE RD

DAVID HERNANDEZ 8136 CALMADA AVE WHITTIER, CA 90602

ORANGE COUNTY BENCHMARK

ORANGE COUNTY DESIGNATION "3A-126-05"

FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED 3A-126-05", SET IN THE NORTHWESTERLY CORNER OF A 3.5' X 9.0' CONCRETE CATCH BASIN LOCATED IN THE NORTHEASTERLY PORTION OF THE INTERSECTION OF LOWER LAKE AND EAST LEMON HEIGHTS, SOUTH 21.0 FEET.

ELEVATION (FEET) 454.882 (NAVD88) BASIS OF BEARING

N 49^14'21" W, BEING THE CENTERLINE OF LOWER LAKE DRIVE AT ITS INTERSECTION WITH BENT TREE ROAD AS SHOWN BY RECORD OF SURVEY NO. 86-1030 IN THE OFFICE OF THE RECORDER OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA.

EASEMENTS

ORANGE COUNTY.

ITEMS SHOWN HEREON WERE PLOTTED FROM RECORD DATA BASED ON SCHEDULE "B" DOCUMENTS FROM THE USA TITLE COMPANY, UPDATED PRELIMINARY REPORT NO. 061521390-20, DATED APRIL 8, 2015. PLOTTABLE EASEMENTS ARE INDICATED BY ▲"

AN EASEMENT IN FAVOR OF C.E. OTT FOR ROADS, UTILITIES, ETC. , RECORDED JULY 16, 1930 IN BOOK 401 PAGE 233 OF OFFICIAL RECORDS OF ORANGE COUNTY.

NON-PLOTTABLE EASEMENTS ARE INDICATED BY A "

- AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES, RECORDED DECEMBER 24, 1958 IN BOOK 4527, PAGE 514 OF OFFICIAL RECORDS OF ORANGE COUNTY.
- A NON-EXCLUSIVE EASEMENT IN FAVOR OF JOHN P. AND GRACE F HOLCOMB, JOHN A. & CATHERINE H. SIEGEL, JOHN H. & JEANE P. SIEGEL, WILLIAM H. & ELIZABETH L. CRAWMER, K. E. & VIRGINIA M. REAFSNYDER, BART K. & ANNA F. BAKER, AND LEIGH A. & BETTY J. BRITE FOR VEHICULAR TRAFFIC ONLY AND PUBLIC UTILITIES, RECORDED

APRIL 7, 1961 IN BOOK 5682 PAGE 28 OF OFFICIAL RECORDS OF

- AN EASEMENT IN FAVOR OF K. E. & VIRGINIA M. REAFSNYDER AND BART M. & ANNA F. BAKER FOR ROAD AND PUBLIC UTILITIES, RECORDED APRIL 7, 1961 IN BOOK 5682, PAGE 37 OF OFFICIAL RECORDS OF ORANGE COUNTY.
- AN EASEMENT IN FAVOR OF SHADY CANYON INC. FOR ROAD AND △ UTILITIES, RECORDED SEPTEMBER 13, 1985 AS INSTRUMENT 85-349669 OF OFFICIAL RECORDS OF ORANGE COUNTY.
- A NON-EXCLUSIVE EASEMENT IN FAVOR OF JACK CHOU, DORIS CHOU, DAVID CHOU, THOMAS CHOU, AND DANIEL CHOU FOR VEHICULAR TRAFFIC ONLY AND PUBLIC UTILITIES, RECORDED AUGUST 3, 1989 AS INSTRUMENT 89-411573 OF OFFICIAL RECORDS OF ORANGE COUNTY.
- AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES, RECORDED OCTOBER 16, 1990 AS INSTRUMENT 90-550698 OF OFFICIAL RECORDS OF ORANGE COUNTY.

OWNER/DEVELOPER

DAVID HERNANDEZ 8136 CALMADA AVE WHITTIER, CA 90602

ENGINEER

WILFRIDO MORALES 6834 GEORGIA AVE BELL, CA 90201 (323) 715-2379

LEGEND

		- EXISTING SEWER
=		≡ EXISTING STORM DRAIN
	- 365	- EXISTING CONTOUR ELEVATION
	-365	- PROPOSED SURFACE ELEVATION
	1365.3	PROPOSED PAD ELEVATION
	ELEV.	= ELEVATION
	FG	= FINISH GRADE
	FL	= FLOWLINE
	FS	= FINISHED SURFACE
	D.G.	= DECOMPOSED GRANITE
	L	= LENGTH
	W	= WIDTH
	MIN.	= MINIMUM
	PL	= PROPERTY LINE
	R/W	= RIGHT OF WAY
	GB	= GRADE BREAK
	TC	= TOP OF CURB
	45	= LOT NUMBER

GENERAL NOTES

- 1. ORIGINALLY PREPARED: SEPTEMBER 2021
- 2. TOTAL PROJECT GROSS ACREAGE IS 5.15 ACRES.

ACREAGE SUMMARY					
 ITEM		<u>ACREAGE</u>	<u>PERCENT</u>		
A. USEABLE AREA (3 L	OTS)	1.13	22.0%		
B. STREETS (LOT 'A')	1.34	26.0%			
C. SLOPES		2.68	52.0%		
	TOTAL	5.15	100.0%		
TOTAL DISTURBED AREA = 2.39 ACRES					

- 4. PROPOSED NO. OF DWELLING UNITS: 3 LOTS.
- 5. EXISTING GENERAL PLAN DESIGNATION: 1B SUBURBAN RESIDENTIAL .5-.18 DU/AC (ORANGE COUNTY GENERAL PLAN)
- 6. PROPOSED GENERAL PLAN DESIGNATION: TO REMAIN THE SAME (1B SUBURBAN RESIDENTIAL)
- 7. EXISTING ZONING: R1-1 SINGLE FAMILY RESIDENTIAL (1 ACRE MINIMUM BUILDING SITE AREA) (ZONE CHANGE 16-01)

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ADJACENT LAND USE:
     <u>NORTH:</u>
GENERAL PLAN — SUBURBAN RESIDENTIAL
     ZONING - RHE 1.5 RESIDENTIAL
     EXISTING USE - SUBURBAN RESIDENTIAL
     GENERAL PLAN - PLANNED COMMUNITY PUBLIC AND
     INSTITUTIONAL
     ZONING - PLANNED COMMUNITY PUBLIC AND
         INSTITUTIONAL
     EXISTING USE - OPEN SPACE-CONSERVATION HABITAT
     GENERAL PLAN - PLANNED COMMUNITY PUBLIC AND
     INSTITUTIONAL
     ZONING - PLANNED COMMUNITY PUBLIC AND
        INSTITUTIONAL
     EXISTING USE - OPEN SPACE-CONSERVATION HABITAT
     GENERAL PLAN - SUBURBAN RESIDENTIAL
     ZONING - R1-18000/20000 RESIDENTIAL
     EXISTING USE - SUBURBAN RESIDENTIAL
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- 8. SOURCE OF TOPOGRAPHY IS AERIAL TOPOGRAPHY FLOWN OCTOBER 2017 BY RICK ENGINEERING.
- 9. ALL LOT LINES AND DIMENSIONS ARE APPROXIMATE.
- 10. ALL EXISTING EASEMENTS AND IRREVOCABLE OFFERS OF DEDICATION THAT AFFECT THE PROPERTY BEING SUBDIVIDED ARE SHOWN ON THIS TENTATIVE PARCEL MAP.
- 11. ALL EXISTING EASEMENTS ARE TO REMAIN IN THEIR DESIGNATED LOCATIONS UNLESS NOTED OTHERWISE.
- 12. DRIVEWAY GRADE MAXIMUM SHALL BE 12.5%.
- 13. ALL CONC. GUTTERS AND SWALES SHALL HAVE A MINIMUM GRADE

GRAPHIC SCALE 1" = 40'

14. ALL A.C. PAVING SHALL HAVE A MINIMUM GRADE OF: 1.0%.

VICINITY MAP UTILITY NOTES GOLDEN STATE WATER COMPANY 500 CAMERON ST PLACENTIA, CA (714) 528-1462 ORANGE COUNTY SANITATION DISTRICT 10844 ELLIS AVE. FOUNTAIN VALLEY, CA 92708 (714) 962 - 2411SOUTHERN CALIFORNIA EDISON CO. POWER:

GENERAL NOTES CONT.

1325 S GRAND AVE SANTA ANA, CA (800) 655-4555

ANAHEIM, CA 92806

ANAHEIM, CA 92807

(714) 666-5423

(800) 920-1166

15. ESTIMATED DISTURBED AREA FOR THE PROJECT SITE IS 2.39 ACRES, COMPRISING OF 46.4% OF THE TOTAL PROJECT AREA.

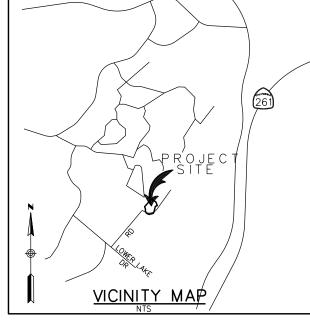
1919 S STATE COLLEGE BLVD

1265 N. VAN BUREN ST., #180

- 16. ALL SLOPES ADJACENT TO STREET R.O.W. TO BE MAINTAINED BY
- 17. ALL SLOPES SHOWN HEREON ARE 2:1 MAXIMUM UNLESS OTHERWISE
- 18. ALL SLOPES ARE PRIVATELY MAINTAINED.

THIS TENTATIVE PARCEL MAP.

- 19. THE SUBJECT PROPERTY IS CURRENTLY WITHIN THE GOLDEN STATE WATER COMPANY SERVICE AREA.
- 20. PROPOSED WATER TO TIE INTO EXISTING WATER SUPPLY IN SHADY CANYON ROAD.
- 21. DRAINAGE SYSTEM WILL BE DEVELOPED IN ACCORDANCE WITH ORANGE COUNTY FLOOD CONTROL DISTRICT STANDARDS AND SPECIFICATIONS. DRAINAGE ON THIS SITE WILL BE CONVEYED TO THE EXISTING DRAINAGE FACILITIES. THESE FACILITIES COMPRISE OF CATCH BASINS AND A STORM DRAIN PIPE NETWORK.
- 22. THE SUBJECT PROPERTY IS WITHIN THE NEWPORT BAY WATERSHED. 23. THE SUBJECT PROPERTY IS WITHIN A 'VERY HIGH' FIRE HAZARD
- SEVERITY ZONE. 24. ALL PARTIES HAVING A BENEFICIARY INTEREST IN THE PROPERTY BEING SUBDIVIDED ARE AWARE OF AND CONSENT TO THE FILING OF
- 25. PARCEL 'A' TO BE A DEDICATED AS A PRIVATE STREET. SAID PARCEL 'A' IS TO BE MAINTAINED BY HOMEOWNERS FOR INGRESS AND EGRESS TO AND FROM THE PARCELS HEREON AS WELL AS TO ADJACENT PROPERTIES. INTENT OF THIS MAP IS TO UTILIZE THE EXISTING ROAD AS IS FOR ACCESS TO THE SITE AND ADJACENT PROPERTIES TO THE EAST.
- 26. EASEMENT #3 AS SHOWN HEREON GRANTS ACCESS RIGHTS TO THIS



SCALE: AS SHOWN JOB No: SHEET TITLE:

m date identifiei /1/2020 BY: DMB DATE OF THIS PLOT 10/1/2020

TENTATIVE PARCEL MAP NO. 2021-131 COUNTY OF ORANGE

TENTATIVE PARCEL SHEET 1 OF 2

SHEET

REVISIONS

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BY:

DRAWN

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PROJECT

INFORMA

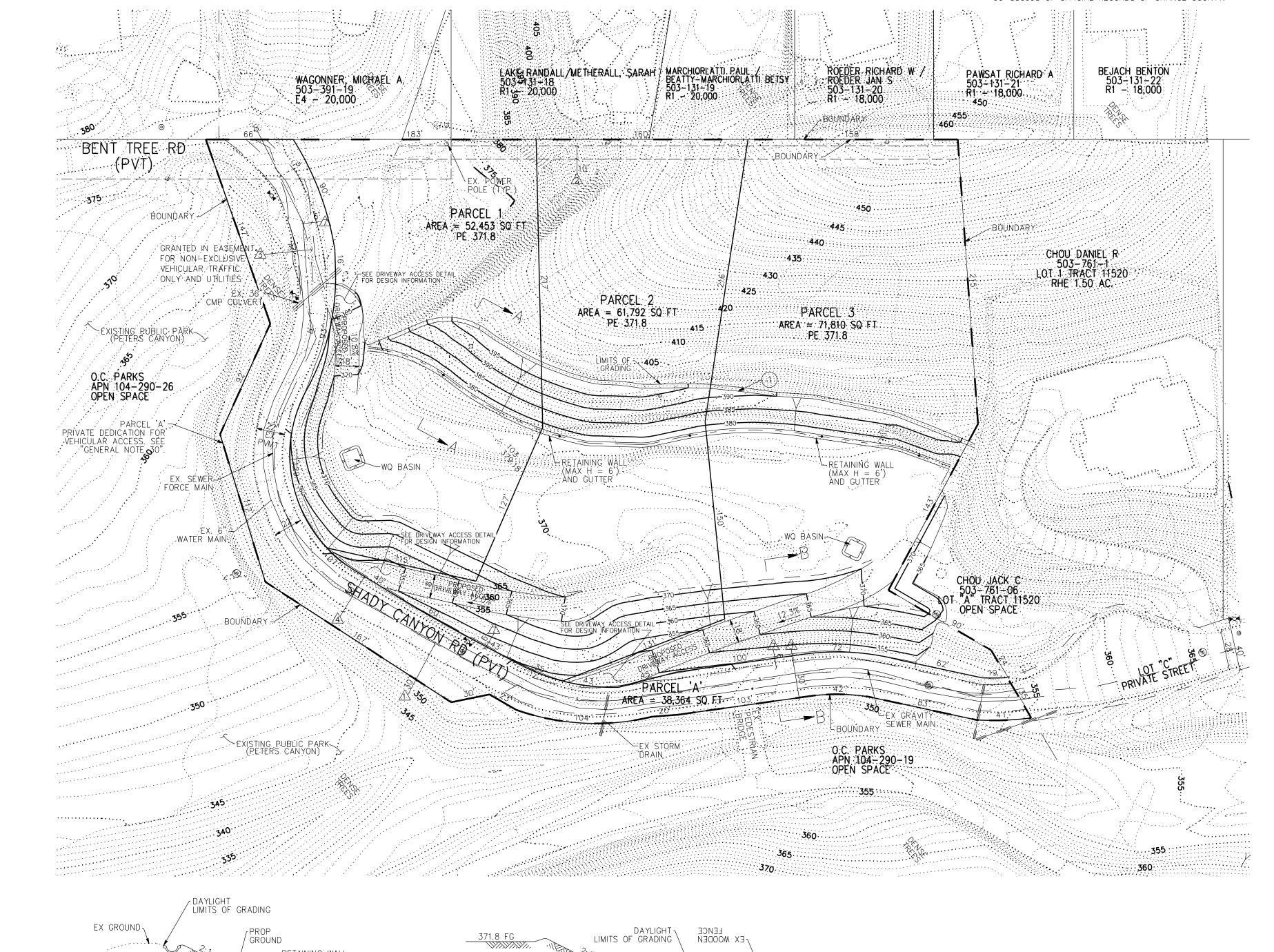
JER

OWN

DRAWN: W.M.

CHECKED:

DATE: NOVEMBER 2021



PROP 18' DRIVEWAY

SECTION B-B

VARIES