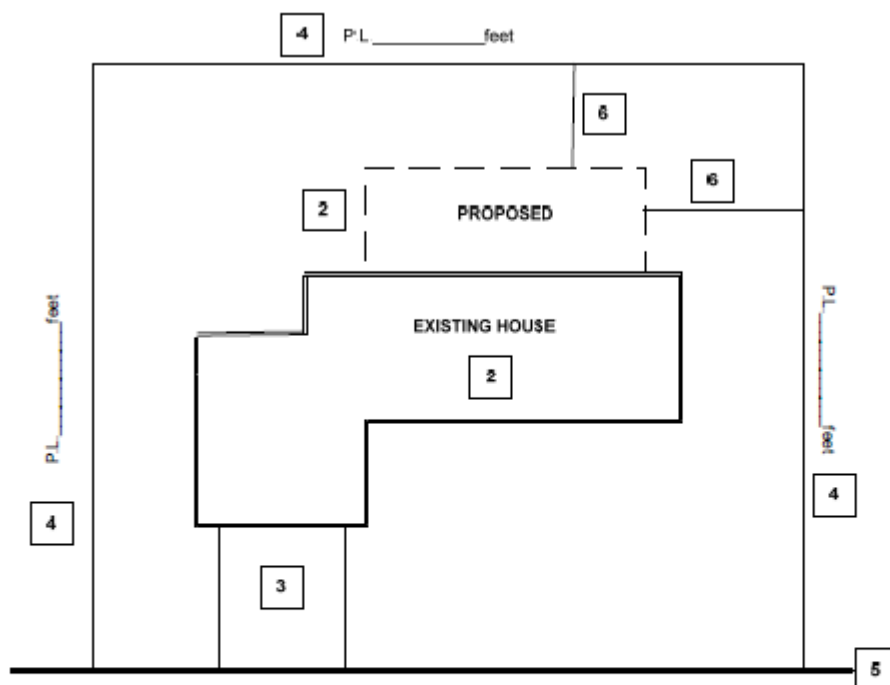


SWIMMING POOL AND SPA PACKET

SWIMMING POOL AND SPA PACKET

Typical Plot Plan Guidelines



STREET NAME



Scale: _____ = _____

1. Project Location information (i.e. APN/ Tract and Lot).
2. Building footprints and rooflines – location and use of all existing and proposed structures and landscape areas, including size, dimensions and distances to property lines.
3. Access – including driveways, existing and proposed.
4. Property lines – include and label all building site dimensions and ownership boundaries.
5. Ultimate street right-of-way lines – including name, location, size and distance from property lines, and location of sidewalks, curb and gutter, and edge of pavement, public or private.
6. Show setbacks from property lines.
7. Easements – including location, purpose, and dimensions. (i.e. Flood Plain, Utilities, Ingress/Egress, Open Space Conservation / Scenic, etc.)
8. Fencing and Walls – include retaining walls, existing and proposed, with heights from grade inside the outside at all turning points and the center points of all straight sections.

Building Permit Plan Check Process For Pools / Spas

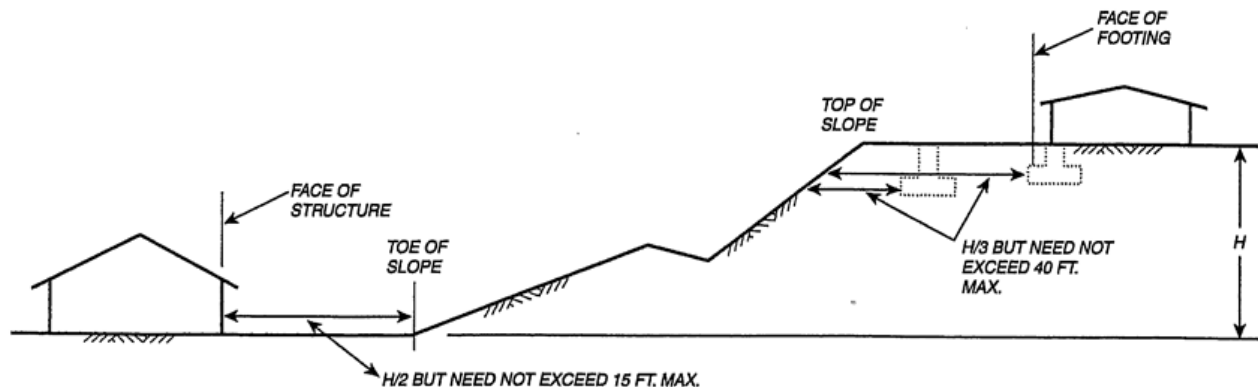
To ensure that construction complies with building regulations and standards, the County requires building permits to be obtained before construction or change in occupancy can begin. Building plans are required for permit issuance.

Plans submitted for building permits are reviewed for compliance with County Building Ordinances (Building, Plumbing, Mechanical and Electrical Codes) and State building regulation such as Energy Conservation Regulations and Handicapped Accessibility Standards.

The plan check process is summarized below to help you get acquainted with the building permit and plan check process:

1. Applicant submits Building Permit Application and Pool/Spa Questionnaire at <https://myOCeservices.ocgov.com/>
2. Applicant submits plans in pdf format which consist of the following:
 - Site plan showing all existing and new structures with set-back dimensions and proposed pool safety fencing. Site plan must be reviewed and approved by the pool/spa design engineer.
 - Cross-section in both directions to 5' (minimum) beyond property lines including all existing slopes and retaining wall, if any.
 - Pool/ Spa plan including structural details and material specifications.
 - Structural Calculations if non-standard plan used.
 - Soil Report is required for all pools located in Ladera Ranch and Rancho Mission Viejo.
 - For other locations, a Soil Report required if the pool is located less than 15' from the top of a slope or 8' from the toe of a slope where the slope is steeper than one unit vertical in three units horizontal (1 to 3).
Exception: Soil report is not required if complying with all of the following applicable items:
 1. Pool is located at the top of slope with deepened foundation (e.g. keyway) daylight set back of H/3 or greater (minimum 15' and maximum 40').
 2. Pool is located at the bottom of slope with setback of H/2 or greater from the toe of slope (maximum 8').
 3. Plumbing pipes and joints must accommodate the potential soil movement.
3. Planning approval is required prior to permit issuance.
4. Pay Plan Check Fee.
5. Typical 1st Plan Check will be completed in approximately 5 working days if the **County of Orange approved standard pool plans** are used. For non-standard plans, 1st Plan Check will be completed in approximately 15 working days.
6. Typical 1st Plan **Re-Check** will be completed in approximately 5 working days if the **County of Orange approved standard pool plans** are used. For non-standard plans, 1st Plan Re-Check will be completed in approximately 10 working days.
7. After plans are approved and all clearances are obtained, permit issuance will be processed:
 - Building permit issuance requires Workmen Compensation Insurance
 - Building permit issuance required California licensed contractor ID.
 - Building permit issuance may be issued as Owner-Builder.
8. Applicant will schedule inspection at <https://myOCeservices.ocgov.com/>.

Pool/Spa Slope Setback Requirements Per California Building Code



For SI: 1 foot = 304.8 mm.

**FIGURE 1808.7.1
FOUNDATION CLEARANCES FROM SLOPES**

1808.7.1 Building clearance from ascending slopes. In general, buildings below slopes shall be set a sufficient distance from the slope to provide protection from slope drainage, erosion and shallow failures. Except as provided for in Section 1808.7.5 and Figure 1808.7.1, the following criteria will be assumed to provide this protection. Where the existing slope is steeper than one unit vertical in one unit horizontal (100-percent slope), the toe of the slope shall be assumed to be at the intersection of a horizontal plane drawn from the top of the foundation and a plane drawn tangent to the slope at an angle of 45 degrees (0.79 rad) to the horizontal. Where a retaining wall is constructed at the toe of the slope, the height of the slope shall be measured from the top of the wall to the top of the slope.

1808.7.2 Footing setback from descending slope surface. Footings on or adjacent to slope surfaces shall be founded in firm material with an embedment and set back from the slope surface sufficient to provide vertical and lateral support for the footing without detrimental settlement. Except as provided for in Section 1808.7.5 and Figure 1808.7.1, the following setback is deemed adequate to meet the criteria. Where the slope is steeper than 1 unit vertical in 1 unit horizontal (100-percent slope), the required set-back shall be measured from an imaginary plane 45 degrees (0.79 rad) to the horizontal, projected upward from the toe of the slope.

1808.7.3 Pools. The setback between pools regulated by this code and slopes shall be equal to one-half the building footing setback distance required by this section. That portion of the pool wall within a horizontal distance of 7 feet (2134 mm) from the top of the slope shall be capable of supporting the water in the pool without soil support.

Swimming Pool/Spa

APPLICATION QUESTIONNAIRE

(TO BE COMPLETED BY APPLICANT)

Building Permit/Plan Check Number: _____

		YES	NO
1.	Is the Pool/Spa for a single-family dwelling?	<input type="checkbox"/>	<input type="checkbox"/>
2.	Do you have an approved Orange County Standard Plans?	<input type="checkbox"/>	<input type="checkbox"/>
	Indicate number: <input type="text"/>		
3.	Do you have an approved Erosion and Sediment control plan approved by Building Permit Services?	<input type="checkbox"/>	<input type="checkbox"/>
4.	Do you have an approved fire ant form?	<input type="checkbox"/>	<input type="checkbox"/>
5.	Does the project site have an active grading permit?	<input type="checkbox"/>	<input type="checkbox"/>
6.	Is the project located in a floodplain?	<input type="checkbox"/>	<input type="checkbox"/>
7.	Is the project site served by a septic system?	<input type="checkbox"/>	<input type="checkbox"/>

Declaration:

I declare that the foregoing is true and correct to the best of my knowledge. I understand that incorrect answer will cause delay to inspection approval and issuance of a stop work order.

SITE ADDRESS

SIGNATURE OF APPLICANT

DATE

2022 Swimming Pool/Spa Note Sheet

1. Pool and/or spa shall be completely enclosed by 5' minimum high fencing and gates with no openings greater than 4". Gates to be self-closing and self-latching with latch a minimum of 5' high and must be swinging outward. Any walls of residential structure or accessory structure used to complete the enclosure shall have door openings equipped with exit alarms or have a self-closing, self-latching device 60" minimum above the floor.
2. Per County of Orange Ordinance number 22-004, a secondary pool barrier consisting of either removable mesh fence located more than 20" from the water edge with self-closing, self-latching gate that can accommodate a key lockable device, a safety pool cover, a pool alarm for entrance into the water, or other means with greater protection as approved by the building official is required.
3. Glazing within 5' of water edge shall be tempered.
4. Pool equipment not to exceed noise level required by Orange County Noise Ordinance Section 4-6-5 of Division 6 Orange County Codified Ordinance.
5. Special Inspection is required on pools/spas during gunite or shotcrete placement in accordance with 2022 CBC Sections 1705.3, 1908 and Table 1705.3.
6. Concrete, gunite and shotcrete used in pools/spas construction shall be resistant to sulfates per 2022 CBC Chapter 19 and ACI 318-19 Table 19.3.1.1. Use $F'_c=4500$ psi 28-day compressive strength with Type V Cement (maximum water/cement ratio = 0.45 per ACI 318-19 Table 19.3.2.1) unless otherwise specify by soil report.
7. For expansive soils, use an Equivalent Fluid Pressure of 100 PCF (for level lot) and 125 PCF (for slopes) when soils report is not available.
8. All electrical shall be in conformance with the 2022 CEC.
9. Pool shell and perimeter paved, and unpaved surfaces shall be bonded in accordance with CEC 680.26(B). Bonding to perimeter surfaces shall be provided as specified in CEC 680.26(B)(2)(a) or (2)(b) and shall be attached to the pool reinforcing steel or copper conductor grid at a minimum of four (4) points uniformly spaced around the perimeter of the pool.
10. Pool/spa water heater and gas piping installation to be in conformance with the 2022 CPC.
11. Pool/Spa shall have at least two circulation suction outlets covered with anti-entrapment grates and be at least 3' apart in any dimension and shall be balanced and plumbed through one or more "T" fittings.
12. All drains, grates, protective devices & skimmer cover for swimming pools/spas must be approved by this agency prior to installation.
13. All equipment shall be installed per manufacturers' recommendations and in accordance with the County of Orange regulations.
14. Prior to steel inspection, Building Inspection will require a memo from the Soil/Geotechnical Engineer stating, "Pool excavation is suitable for the support of the structure and the design assumptions are considered adequate."
15. Any pool or spa heating system or equipment shall be installed only if the manufacturer has certified the system per 2022 California Energy Code section 110.4. Cover shall be installed if outdoor pool/spa has a heat pump or gas heater.
16. Dirt and construction debris shall go to a legal dump site.
17. Property markers must be visible at the time of inspection or a survey will be required.

NOTICE Encroachment PERMIT REQUIRED

CURB CUTS, DRIVEWAYS, EXCAVATIONS, STORAGE OF MATERIAL OR ANY REPAIR WORK IN, OVER, ALONG ACROSS OR THROUGH ANY HIGHWAY WITHOUT FIRST OBTAINING A PERMIT TO DO SO FROM OC PUBLIC WORKS/ OC DEVELOPMENT SERVICES IS AN UNLAWFUL ACT. Sec 6-1-2 Orange County Code (may take 4-6 weeks to obtain permit).

NPDES Notes

Notes must be shown as worded, on the title sheet of the plan.

1. In the case of emergency, call _____
at Work Phone # _____
or Home Phone # _____
2. Sediment from areas disturbed by construction shall be retained on site using structural controls to the maximum extent practicable.
3. Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tacking, or wind.
4. Appropriate BMP's for construction-related materials, wastes, spills shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
5. Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to reduce or remove sediment and other pollutants.
6. All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
7. At the end of each day of construction activity all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
8. Construction sites shall be maintained in such a condition that an anticipated storm does not carry wastes or pollutants off the site. Discharges of material other than stormwater only when necessary for performance and completion of construction practices and where they do not: cause or contribute to a violation of any water quality standard; cause or threaten to cause pollution, contamination, or nuisance; or contain a hazardous substance in a quantity reportable under Federal Regulations 40 CFR Parts 117 and 302.
9. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, glues, limes, pesticides, herbicides, wood preservatives and solvents; asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; fertilizers, vehicle/equipment wash water and concrete wash water; concrete, detergent or floatable wastes; wastes from any engine/equipment steam cleaning or chemical degreasing and super chlorinated potable water line flushing. During construction, permittee shall dispose of such materials in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
10. Dewatering of contaminated groundwater, or discharging contaminated soils via surface erosion is prohibited. Dewatering of non-contaminated groundwater requires a National Pollutant Discharge Elimination System Permit from the respective State Regional Water Quality Control Board.
11. Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage is to be directed toward desilting facilities.
12. The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.
13. The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plans.
14. The permittee shall notify all general contractors, subcontractors, material suppliers, lessees, and property owners: that dumping of chemicals into the storm drain system or the watershed is prohibited.
15. Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.
16. All removable erosion protective devices shall be in place at the end of each working day when the 5-Day Rain Probability Forecast exceeds 40%.
17. Sediments from areas disturbed by construction shall be retained on site using an effective combination of erosion and sediment controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
18. Appropriate BMPs for construction-related materials, wastes, spills or residues shall be implemented and retained on site to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff.



Special Inspection Program and Designation of Special Inspectors

SPECIAL INSPECTIONS (Only checked items are required)

INSPECTION ITEMS	SPECIAL INSPECTORS(S) NAME, PHONE NUMBER, REGISTRATION #
<input type="checkbox"/> Concrete (Design Mix, Form Work, Placement, etc., per table 1705.3)	
<input type="checkbox"/> Erection of Pre-Cast Concrete Members	
<input type="checkbox"/> Bolts Installed in Concrete	
<input type="checkbox"/> Reinforcing Steel and Pre-Stressing Steel Tendons	
<input type="checkbox"/> Structural Welding/Rebar Welding	
<input type="checkbox"/> High-Strength Bolting/Material Verification	
<input type="checkbox"/> Steel Frame Joint Details	
<input type="checkbox"/> All Masonry Construction	
<input type="checkbox"/> Sprayed Fire-Resistive Materials	
<input type="checkbox"/> Shotcrete (Curing Temperature, Design Mix, Placement, Strength etc. per table 1705.3)	
<input type="checkbox"/> Soils (Excavation, Fill, etc. per table 1705.6)	
<input type="checkbox"/> Smoke-Control System	
<input type="checkbox"/> Driven Piles per Table 1705.7	
<input type="checkbox"/> Cast in Place Piles per Table 1705.8	
<input type="checkbox"/> Mastic and Intumescent Fire-Resistant Coatings	
<input type="checkbox"/> Exterior Insulation and Finish Systems (EIFS)	
<input type="checkbox"/> Wood for High-Load Diaphragms	
<input type="checkbox"/> Others	
<input type="checkbox"/> Others	
<input type="checkbox"/> Others	
<input type="checkbox"/> Others	

DECLARATION BY OWNER OR ARCHITECT/ENGINEER OF RECORD:

I, the ☐ Owner ☐ Engineer or ☐ Architect of record, declare that the above listed Special Inspector(s) is/are hired by me.

Print Name

Signature

Date

Red Imported Fire Ant

Orange, Los Angeles, and Riverside County Agricultural Commissioners – CDFA

California Department of Food and Agriculture (CDFA)

Red Imported Fire Ant-Pest Exclusion Program

6819 E. Gage Ave., Commerce, CA 90040

PH. (CELL): (562) 505-6415 FAX: (562) 776-1385

EMAIL: sonia.oran@cdfa.ca.gov

TO ALL CONCERNED WITH SOIL MOVEMENT IN ORANGE COUNTY AND THE QUARANTINED AREAS OF RIVERSIDE AND LOS ANGELES COUNTIES:

There are quarantines established against the red imported fire ant (RIFA) in all of Orange County and parts of Los Angeles and Riverside Counties (California Code of Regulations 3432 and Code of Federal Regulation 301.81). Articles and commodities regulated include soil; baled hay and baled straw stored in direct contact with ground; plants and sod with roots and soil attached; used soil moving equipment, unless free of all non-compacted soil and any other product, article, or means of conveyance when it is determined by the department or county agricultural commissioner to present hazard of spreading live red imported fire ant and the person in possession has been so notified. It is unlawful to move within or from the quarantine area a commercial shipment of any commodity mentioned, except when certified by the department or county agricultural commissioner in accordance with the regulations.

RIFA Project would certify movement of soil from or within the quarantine area. The inspections are free. Please contact at least 3 days in advance to schedule an inspection, by sending a fax of this document and attached RIFA Form CA-1 (Notification of Intent to Move Soil). Inspection consists of determining if RIFA are present by visual survey or by trapping the area using protein baits (canned lunch meat). Certification for movement of soil within the quarantined area will be based on the severity of RIFA in the general area where the soil is being excavated in conjunction with where the soil is to be moved. RIFA Form CA-1 (attached) may be faxed to RIFA Project office with the appropriate information each time you have soil-moving project. If no RIFA are found at the site of origination, movement is permitted and a certification will be provided stating that the site found negative for RIFA. If RIFA are found at the origination site, movement is prohibited until a pesticide treatment plan is established as required by Project personnel.

The certification requirement for movement of soil would apply to persons dealing in soil movement such as grading, digging, landscaping, and other building projects. If you are unsure as to whether or not your project is subject to these requirements, please fax a copy of RIFA Form CA-1 to (562) 776-1385. We will respond within 3 to 4 business days (Mon-Fri).

Thank you for your cooperation and help in this matter.

I have read and understand this document:

(print name)

(signature)

Company: _____

Phone #: _____

Address: _____

Date: _____

Job Site Address: _____

Red Imported Fire Ant

It is the responsibility of each person involved in the movement of soil to report sightings of ants.

***We will assign you an identification number (RIFA Compliance Agreement Number) when you fax or mail in your request for an inspection.**

Revised 11/7/11

CALIFORNIA DEPARTMENT OF FOOD AND AGRICULTURE (CDFA)

RED IMPORTED FIRE ANT - PEST EXCLUSION PROGRAM

Notification of Intent to Move Soil

From or Within Quarantined Areas of

Riverside, Orange, and Los Angeles Counties

PH. (CELL): (562) 505-6415 FAX: (562) 776-1385

EMAIL: sonia.oran@cdfa.ca.gov

		Permit #	
		Issuing Agency	
		City / County	

Name of Company Requesting Approval: _____

Contact Person: _____

Address: _____ City: _____ Zip: _____

Telephone: _____ Fax: _____

Excavation Location: _____ TB*: _____

Acres: _____

Destination Location: _____ TB*: _____

Acres: _____

Estimated Quantity of Soil (e.g. # Cubic Yards): _____

Anticipated Date of Movement: _____

Urgency Level for Immediate Inspection and Release: [Circle One] High Medium Low

TO BE COMPLETED BY CDFA PROGRAM REGULATORY OFFICIAL ONLY:

☐ Movement of Soil is Permitted.

☐ Hold Movement Until Site Checked – WE WILL CALL AS SOON AS POSSIBLE TO SCHEDULE INSPECTION DATE AND TIME.

Date Trapped: _____ # of Traps: _____ Trapped by: _____ Acres: _____

Date Picked Up: _____ Comments: _____ PDR #: _____

☐ Movement of Soil is on Hold for the Following Reason(s): _____

Name of RIFA Project Regulatory Official: _____ Date: _____

Signature: _____ Rev. 10/2020

*TB is Thomas Brothers page and grid designation **Please allow 2-4 working days for inspection (Monday – Friday)

Swimming Pool Demolition Requirements

Demolition of a swimming pool requires preparing the pool for fill placement and the placement and compaction of backfill material within the pool excavation until finish grade is achieved.

The demolition and backfill procedure is authorized by issuance of a demolition permit which may be obtained at www.myOCeServices.ocgov.com.

- Break out at least two 12" minimum diameter or equivalent holes in the pool bottom for drainage. One of the holes shall be at the low point in the pool. This portion of procedure will require a "Bottom Removal Inspection" prior to any backfill being placed.
- A minimum of 12 inches of #4 rock (1 inch to 2 ½ inches in size) shall be placed at the bottom of the pool. Demo materials from the decking or coping may be placed on the gravel prior to backfill. The dimension of the decking or coping material shall not exceed 3 inches.
- Continue to backfill the swimming pool with easily compacted" fill sand", which can typically be obtained at local building supply outlets. Fill sand may be utilized to complete the backfill.
- If the swimming pool backfill is to be considered non-structural/landscape backfill, the backfill materials shall be moisture conditioned, placed in lifts and tractor rolled or tamped into place with hand equipment (i.e. whacker). No specific compaction criteria will be required.
- If the backfilled pool area is to be non-structural/landscape, the upper 18" may be backfilled with suitable planting medium.
- If the swimming pool backfill is to be considered structural backfill suitable for support of a future structural improvement, the backfill will need to be placed in lifts and compacted to a minimum of ninety percent (90%) relative compaction. A compaction report from a geotechnical consultant to document the backfill operations will be required for "Final Inspection" and demo permit closure.
- The area of the swimming pool backfill will not be considered suitable for construction of structural improvement(s), such as a room addition, until a geotechnical foundation investigation is performed. The geotechnical foundation investigation report will provide recommendations for design and construction of the proposed improvement(s).
- Final grading of the area shall be done to avoid ponding of irrigation or rainfall.
- Inspections by a Building Inspector will be required of the following aspects of work:
 1. Wiring System to pumps and/or lighting shall be disconnected and all wiring associated with pool shall be removed with conduits or raceways
 2. Gas line shall be disconnected and capped off at meter and equipment.
 3. The "drain" holes at the bottom of the pool must be inspected by County Staff prior to start of backfill operations.
 4. The correct backfill of rock and/or sand must be observed or verified by geotechnical consultant.
 5. Finished grading will be inspected for proper drainage.