

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF ORANGE, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: (APN 501-071-07)

THAT PORTION OF LOT 331 IN BLOCK 13, OF IRVINE SUBDIVISION, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF RECORDED IN BOOK 1, PAGE 88, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CENTERLINE OF WASS STREET AS SAID STREET WAS CONVEYED TO THE COUNTY OF ORANGE WHICH POINT IS DISTANT THEREON 85 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF THE NORTH-EASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT AND RUNNING THENCE NORTH-EASTERLY PARALLEL TO THE SOUTHEASTERLY LINE OF THE NORTH-EASTERLY ONE-HALF OF SAID LOT 331, 198 FEET; THENCE NORTHWESTERLY PARALLEL WITH THE CENTERLINE OF WASS STREET 85 FEET; THENCE SOUTHWESTERLY IN A DIRECTION LINE 198 FEET TO A POINT IN THE CENTERLINE OF WASS STREET WHICH IS A DISTANT THEREON 170 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF THE NORTH-EASTERLY ONE-HALF OF THE NORTHWESTERLY ONE-HALF OF SAID LOT; THENCE SOUTHEASTERLY ALONG SAID CENTERLINE 85 FEET TO A POINT OF BEGINNING.

EXCEPTING THEREFROM THE SOUTHWESTERLY 20 FEET THEREON INCLUDED IN WASS STREET.

PARCEL B: (APN 501-071-08)

THAT PORTION OF LOT THREE HUNDRED THIRTY-ONE (331) IN BLOCK THIRTEEN (13) OF IRVINE SUBDIVISION, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF RECORDED IN BOOK 1 PAGE 88, OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

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EXCEPTING THEREFROM THE SOUTHWESTERLY 20 FEET THEREOF INCLUDED IN WASS STREET.

PARCEL C: (APN 501-071-09)

THE PORTION OF LOT 331 IN BLOCK 13 OF IRVINE'S SUBDIVISION, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT ONE IN TRACT NO. 1293, AS SHOWN ON A MAP RECORDED IN BOOK 47, PAGE 10 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; THENCE SOUTH 39°59'20" WEST 136.98 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 18 FEET; THENCE NORTH 49°57'40" WEST ALONG SAID TANGENT LINE 115.5 FEET; THENCE NORTH 39°59'20" EAST 155 FEET THE MOST WESTERLY CORNER OF LOT 1 IN SAID TRACT NO. 1293 AND THENCE SOUTH 49°57'40" EAST ALONG THE SOUTHWESTERLY LINE OF SAID LOT 1, 133.5 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE LAND DESCRIBED IN DEED TO WILLIAM WADE COWAN MARtha GERTRUDE COWAN, HUSBAND AND WIFE AS JOINT TENANTS RECORDED APRIL 3, 1957 IN BOOK 3859, PAGE 189 OF OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.

**NOTES**

- EXISTING LAND USE: TWO VACANT LOTS & EXISTING SINGLE-FAMILY HOME
- PROPOSED LAND USE: DETACHED CONDOMINIUMS (10 UNITS)
- EXISTING GENERAL PLAN LAND USE DESIGNATION: 1B SUBURBAN RESIDENTIAL (0.5-18 DWELLING UNITS PER ACRE)
- EXISTING ZONING: 1091 & 1111 WASS STREET - NORTH TUSTIN SPECIFIC PLAN (NTSP), RESIDENTIAL MULTIPLE FAMILY (RMF) DISTRICT & 1121 WASS STREET - SINGLE FAMILY RESIDENCE (R1)
- ASSESSOR PARCEL NUMBER(S): 501-071-07, 501-071-08, 501-071-09
- SITE ADDRESSES: 1091 WASS STREET, 1111 WASS STREET & 1121 WASS STREET.
- UTILITY/SERVICE PROVIDERS:  
 GAS - SOUTHERN CALIFORNIA GAS COMPANY  
 ELECTRIC - SOUTHERN CALIFORNIA EDISON (REFER TO SHEET C-1, "EXISTING CONDITIONS MAP", FOR COMPLETE EASEMENT DESCRIPTION)  
 CABLE TELEVISION/INTERNET - AT&T  
 PHONE - AT&T  
 WATER - CITY OF TUSTIN  
 SEWER - EAST ORANGE COUNTY WATER DISTRICT  
 TRASH - WASTE MANAGEMENT OF ORANGE COUNTY
- THE PROPERTY IS LOCATED WITHIN TUSTIN UNIFIED SCHOOL DISTRICT.
- THE PROPERTY IS LOCATED WITHIN ZONE X OF THE 1% ANNUAL SPECIAL FLOOD HAZARD AREA (100-YEAR FLOOD PLAIN) PER FIRM MAP NUMBER 06059C0281J DATED DECEMBER 3, 2009.
- THE PROPERTY IS LOCATED WITHIN THE SANTA ANA WATERSHED OF SANTA ANA REGIONAL WATER QUALITY CONTROL BOARD.
- THERE ARE (NO KNOWN) EXISTING WELLS WITHIN THE PROPERTY BOUNDARY.
- ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH ORANGE COUNTY PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS OR AS SPECIFIED ON THIS TENTATIVE MAP.
- PROPOSED GRADING AND DRAINAGE SHALL COMPLY WITH OC GRADING AND EXCAVATION MUNICIPAL CODE.
- THE PROPOSED SUBDIVISION IS A VESTING TENTATIVE TRACT MAP AND SHALL PROVIDE THE VESTED DEVELOPMENT RIGHTS ESTABLISHED BY THE SUBDIVISION MAP ACT AND THE ORANGE COUNTY SUBDIVISION CODE.
- THE PROPOSED SUBDIVISION IS FOR CONDOMINIUM PURPOSES AND ESTABLISHES THE RIGHT TO CREATE CONDOMINIUM AIR SPACE WITH THE RECORDATION OF FINAL TRACT MAP(S) AND CONDOMINIUM PLANS.

**EASEMENT NOTES:**

- EXISTING 6' WIDE SOUTHERN CALIFORNIA EDISON COMPANY EASEMENT.

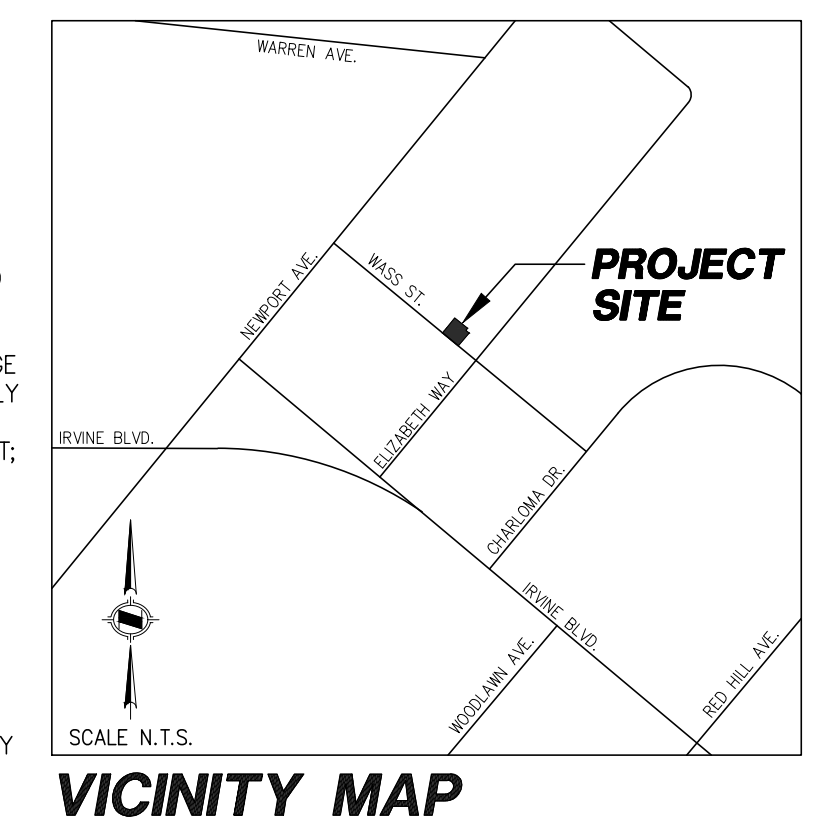
**AREA SUMMARY**

GROSS AREA: 0.87 AC (38,008 SF)  
 ROW DEDICATION AREA: 0.04 AC (1,950 SF)  
 NET AREA (LOT 1): 0.83 AC (36,058 SF)  
 DWELLING UNITS: 10 D.U.  
 NET RESIDENTIAL DENSITY: 12.0 (D.U./AC)

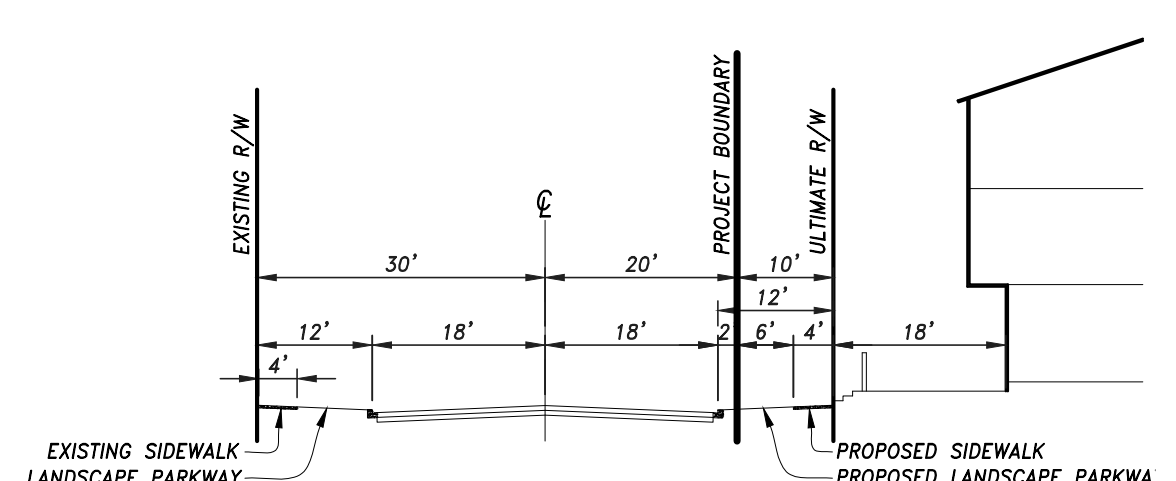
**STATEMENT OF OWNERSHIP**

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

*Doug Smaly* DATE 09/08/2020



- LEGEND**
- RIGHT OF WAY
  - LOT LINE
  - TRACT BOUNDARY
  - EASEMENT
  - PROPOSED CURB
  - EXISTING CURB
  - PROPOSED CENTER LINE
  - PROPOSED SIDEWALK
  - EXISTING CONTOURS
  - PROPOSED STORM DRAIN
  - EXISTING STORM DRAIN
  - PROPOSED WATER
  - EXISTING WATER
  - PROPOSED SEWER
  - EXISTING SEWER
  - PROPOSED RETAINING WALL
  - PROPOSED 6" BLOCK WALL
  - LINE OF SIGHT
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT



**WASS STREET**  
PUBLIC STREET  
SCALE: 1" = 20'

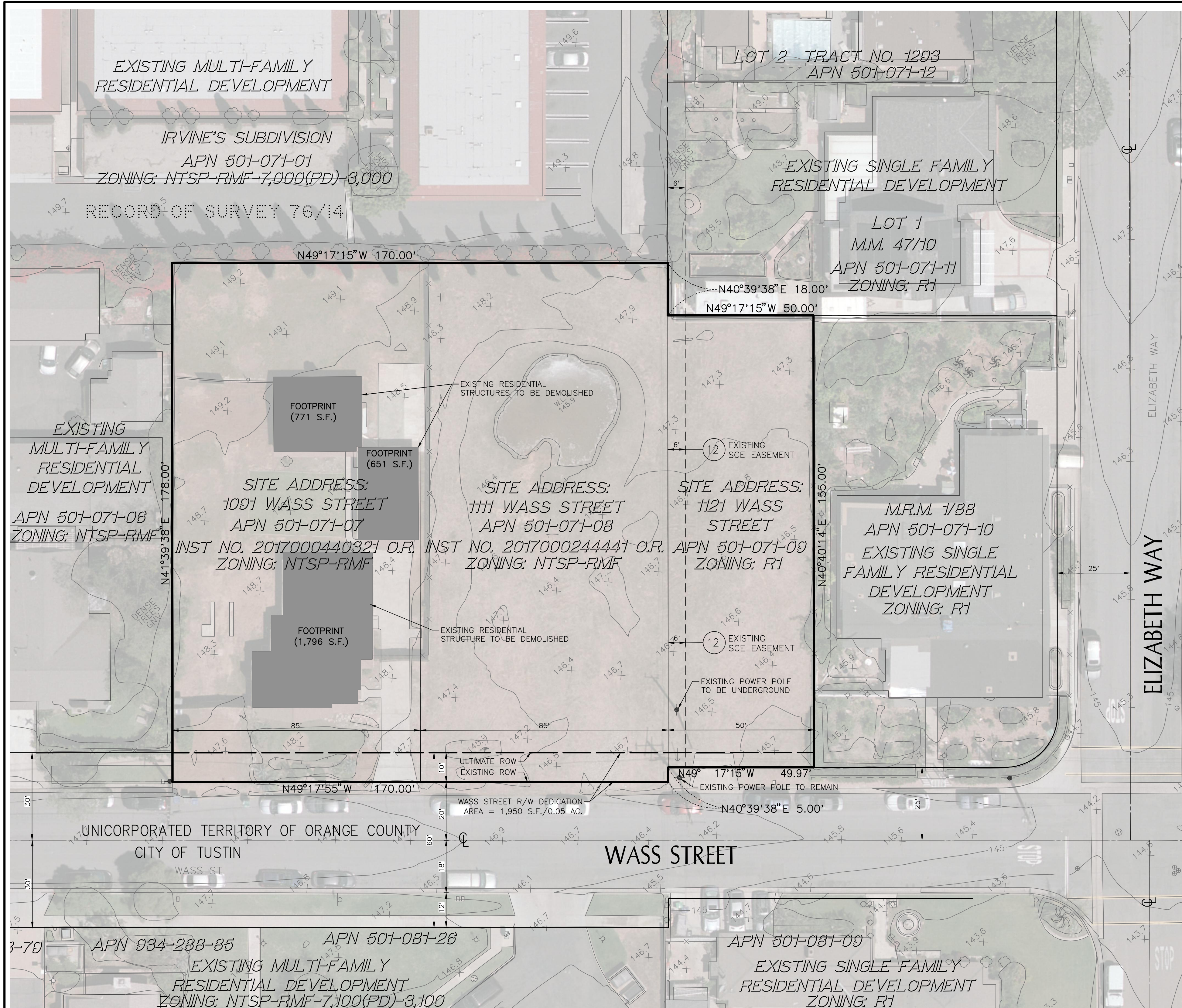
NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	TF

PREPARED FOR:  
**Reeco**  
 76 DISCOVERY  
 IRVINE, CA 92618  
 PHONE: (877) 967-3326

PREPARED BY:  
**HUNSAKER & ASSOCIATES**  
 IRVINE, INC.  
 PLANNING ■ ENGINEERING ■ SURVEYING  
 Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

1091, 1111 & 1121 WASS STREET  
**VESTING TENTATIVE TRACT MAP 19116**  
**FOR CONDOMINIUM PURPOSES**  
 UNINCORPORATED TERRITORY OF ORANGE COUNTY

**SHEET**  
**C-2**



**TITLE REPORT:**

THIS MAP WAS BASED ON THE FNTG TITLE COMPANY ORDER NO. 00128862-996-S01-RT4 DATED MARCH 18, 2020

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PARCEL A: (APN 501-071-07)

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EXCEPTING THEREFROM THE SOUTHWESTERLY 20 FEET THEREON INCLUDED IN WASS STREET.

PARCEL B:

PARCEL 1: (APN 501-071-08)

THAT PORTION OF LOT THREE HUNDRED THIRTY-ONE (331) IN BLOCK THIRTEEN (13) OF IRVINE SUBDIVISION, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP THEREOF RECORDED IN BOOK 1 PAGE 88, OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY, DESCRIBED AS FOLLOWS:

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EXCEPTING THEREFROM THE SOUTHWESTERLY 20 FEET THEREOF INCLUDED IN WASS STREET.

PARCEL 2: (APN 501-071-09)

THAT PORTION OF LOT 331 IN BLOCK 13 OF IRVINE'S SUBDIVISION, AS SHOWN ON A MAP RECORDED IN BOOK 1, PAGE 88 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

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EXCEPTING THEREFROM THE LAND DESCRIBED IN DEED TO WILLIAM WADE COWAN AND MARTHA GERTRUDE COWAN, HUSBAND AND WIFE AS JOINT TENANTS RECORDED APRIL 3, 1957 IN BOOK 3859, PAGE 189 OF OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA.

**SCHEDULE B EXCEPTIONS:**

AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:

- A TAXES
- B TAXES, AFFECTS: PARCEL A
- C TAXES, AFFECTS PARCEL B
- D TAXES, AFFECTS PARCEL B
- E THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES.

1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

**THE FOLLOWING MATTERS AFFECT PARCEL A:**

- 2 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT PURPOSE: PUBLIC UTILITIES RECORDING NO: IN BOOK 126 PAGE 114, OF DEEDS (DOCUMENT ILLEGIBLE) THE EFFECT OF A CORPORATION QUITCLAIM DEED, EXECUTED BY THE IRVINE COMPANY, WHICH PURPORTS TO QUITCLAIM CERTAIN RIGHTS, RECORDED JULY 20, 1965 IN BOOK 7599 PAGE 524, OF OFFICIAL RECORDS.
- 3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN DOCUMENT: PURPOSE: ROAD RECORDING NO: IN BOOK 205 PAGE 202, OF DEEDS (DOCUMENT ILLEGIBLE) AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN
- 4 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN DOCUMENT: PURPOSE: PUBLIC UTILITIES RECORDING NO: IN BOOK 248 PAGE 63, OF DEEDS (DOCUMENT ILLEGIBLE) AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN
- 5 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN DOCUMENT: PURPOSE: ROAD AND PIPELINES. RECORDING NO: IN BOOK 358 PAGE 4, OF DEEDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN AND RECORDING NO: IN BOOK 398 PAGE 375, OF DEEDS AND RECORDING NO: IN BOOK 496 PAGE 225, OF DEEDS

SURVEYORS NOTE: EASEMENTS ARE IN STREET RIGHT OF WAYS, NOT PLOTTED

6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY PURPOSE: PUBLIC UTILITIES RECORDING NO: IN BOOK 2872 PAGE 111, OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN

SURVEYORS NOTE: WAITING FOR TITLE CO. TO SUPPLY REFERENCED DOC BK 1140 PG 411

7 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY PURPOSE: PUBLIC UTILITIES RECORDING NO: IN BOOK 2872 PAGE 113, OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN

SURVEYORS NOTE: WAITING FOR TITLE CO. TO SUPPLY REFERENCED DOC BK 1140 PG 411

8 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON MAP: RECORD OF SURVEY RECORDING NO: IN BOOK 7 PAGE 10, OF RECORD OF SURVEYS

9 A DEED OF TRUST

**THE FOLLOWING MATTERS AFFECT PARCEL B:**

10 DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS SHOWN ON MAP: RECORD OF SURVEY FILED SEPTEMBER 18, 1936 IN BOOK 7, PAGE 10

11 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS. RECORDING DATE: SEPTEMBER 2, 1952 RECORDING NO: AS INSTRUMENT NO. 45103 OF OFFICIAL RECORDS

SURVEYOR'S NOTE: NO EASEMENTS DESCRIBED IN THIS DOC

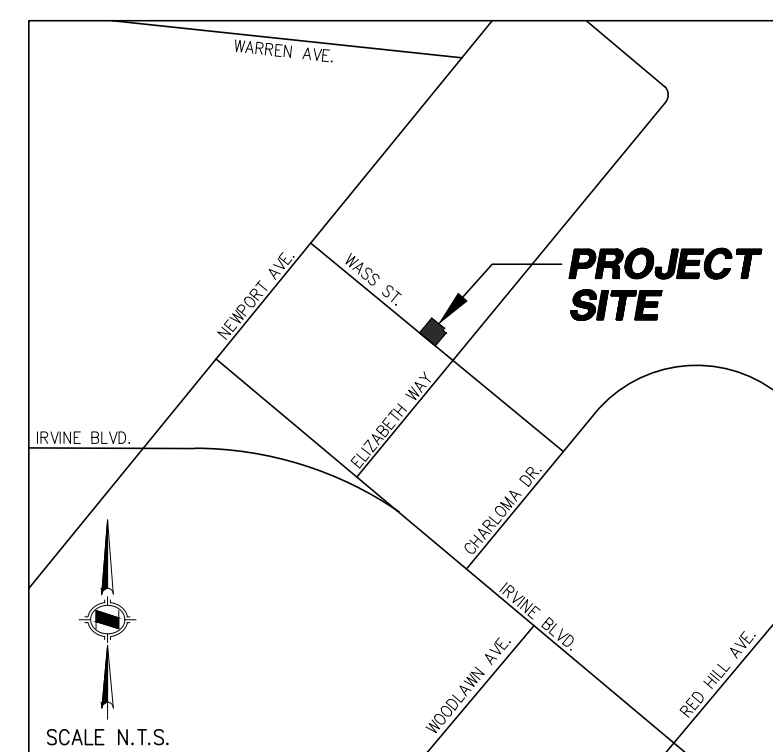
12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHT INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION PURPOSE: PUBLIC UTILITIES RECORDING DATE: SEPTEMBER 10, 1952 RECORDING NO: AS INSTRUMENT NO. 46741 IN BOOK 2381, PAGE 45 OF OFFICIAL RECORDS AFFECTS: A PORTION OF PARCEL 2

SURVEYOR'S NOTE: PLOTTED HEREON AS 12

13 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION PURPOSE: PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDING DATE: NOVEMBER 17, 1954 RECORDING NO: IN BOOK 2872, PAGE 111 OF OFFICIAL RECORDS AFFECTS PORTION OF SAID LAND (SAME ITEM 6 ABOVE)

14 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION PURPOSE: PUBLIC UTILITIES, RECORDING DATE: NOVEMBER 17, 1954, RECORDING NO: IN BOOK 2872, PAGE 113 OF OFFICIAL RECORDS AFFECTS: A PORTION OF SAID LAND (SAME AS ITEM 7 ABOVE)

15 DEED OF TRUST



**SITE ADDRESSES:**

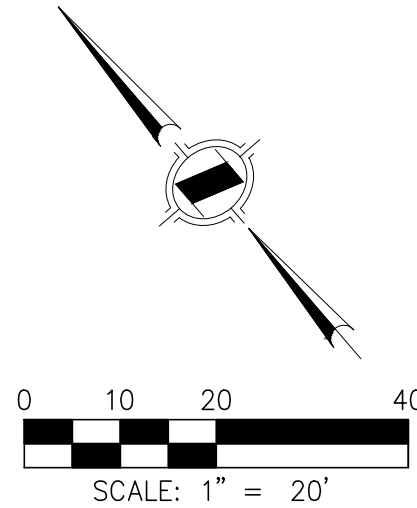
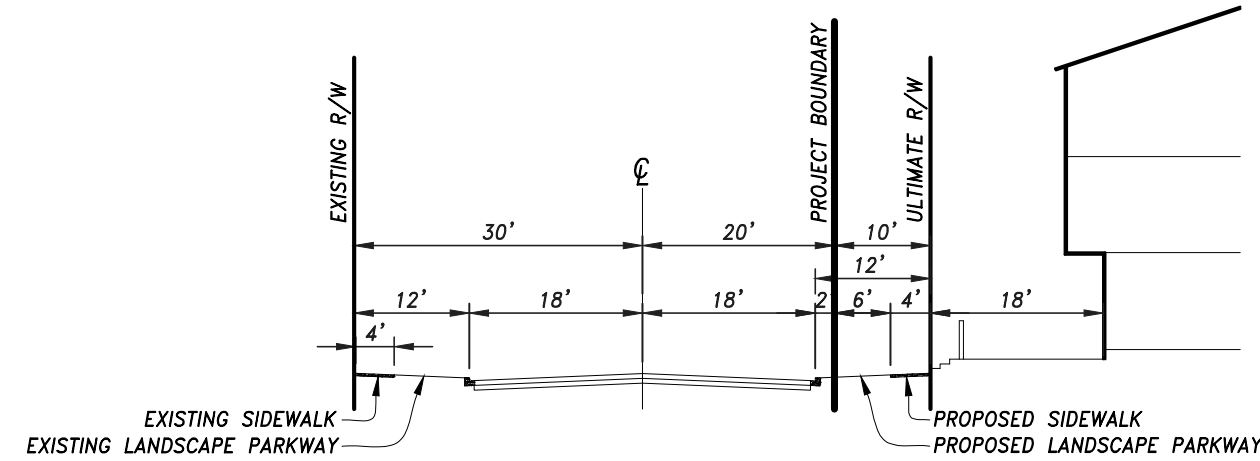
- 1091 WASS STREET, TUSTIN, CA
- 1111 WASS STREET, TUSTIN, CA
- 1121 WASS STREET, TUSTIN, CA

**AREA SUMMARY**

**GROSS AREA:** 0.87 AC (38,008 SF)  
**ROW DEDICATION AREA:** 0.04 AC (1,950 SF)  
**NET AREA (LOT 1):** 0.83 AC (36,058 SF)  
**NET RESIDENTIAL DENSITY:** 12.0 (D.U./AC)

**LEGEND**

- PROJECT BOUNDARY
- EASEMENT LINE
- EXISTING RIGHT OF WAY
- ULTIMATE RIGHT OF WAY
- EXISTING LOT/PARCEL LINES
- STREET CENTERLINE
- INDICATES RECORD DISTANCE PER LEGAL DESCRIPTION



NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	TF


PREPARED FOR:

**Reeco**

76 DISCOVERY  
 IRVINE, CA 92618  
 PHONE: (877) 967-3326

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1091, 1111 & 1121 WASS STREET

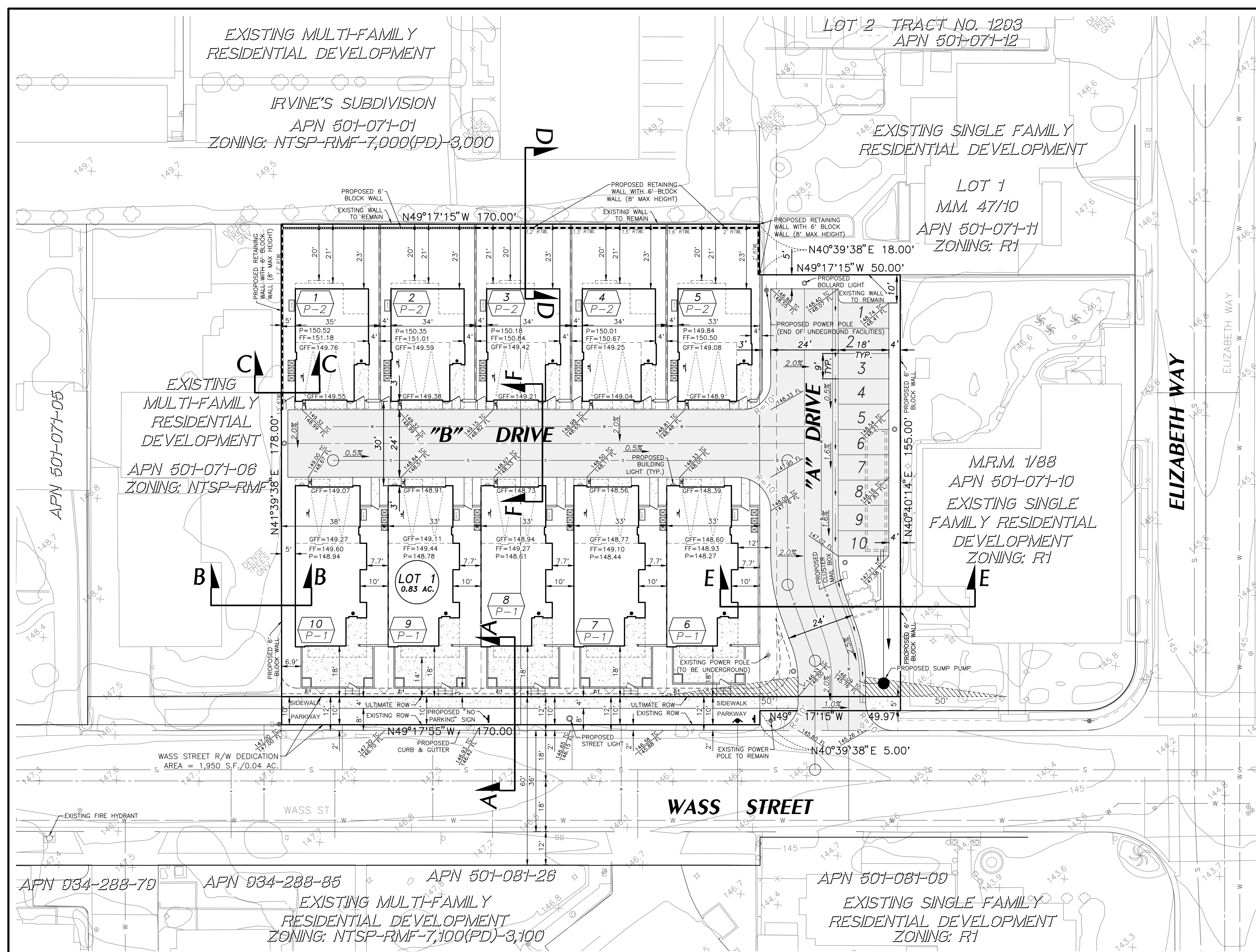
**EXISTING CONDITIONS MAP**

UNINCORPORATED TERRITORY OF ORANGE COUNTY

DATE: SEPTEMBER 8, 2020

**SHEET**

**C-1**



**NOTES**

- EXISTING LAND USE: TWO VACANT LOTS & EXISTING SINGLE-FAMILY HOME
- PROPOSED LAND USE: DETACHED CONDOMINIUMS (10 UNITS)
- EXISTING GENERAL PLAN LAND USE DESIGNATION: 1B SUBURBAN RESIDENTIAL (0.5-18 DWELLING UNITS PER ACRE)
- EXISTING ZONING: 1091 & 1111 WASS STREET - NORTH TUSTIN SPECIFIC PLAN (NTSP), RESIDENTIAL MULTIPLE FAMILY (RMF) DISTRICT & 1121 WASS STREET - SINGLE FAMILY RESIDENCE (R1)
- ASSESSOR PARCEL NUMBER(S): 501-071-07, 501-071-08, 501-071-09
- SITE ADDRESSES: 1091 WASS STREET, 1111 WASS STREET & 1121 WASS STREET.

**SITE DEVELOPMENT STANDARDS**

THE ESTABLISHMENT, OPERATION AND MAINTENANCE OF USES PERMITTED IN THE RMF DISTRICT (NORTH TUSTIN SPECIFIC PLAN) SHALL BE IN COMPLIANCE WITH THE FOLLOWING:

- BUILDING SITE AREA: TEN THOUSAND (10,000) SQUARE FEET MINIMUM REQUIRED UNLESS OTHERWISE SPECIFIED ON THE LAND USE DISTRICT MAP OF THE NORTH TUSTIN SPECIFIC PLAN.
- AREA PER UNIT: EIGHTEEN HUNDRED (1,800) SQUARE FEET MINIMUM NET LAND AREA PER DWELLING UNIT UNLESS OTHERWISE SPECIFIED ON THE LAND USE DISTRICT MAP OF THE NORTH TUSTIN SPECIFIC PLAN.
- BUILDING SITE WIDTH: SEVENTY-FIVE (75) FEET MINIMUM REQUIRED UNLESS OTHERWISE SPECIFIED ON THE LAND USE DISTRICT MAP OF THE NORTH TUSTIN SPECIFIC PLAN.

OFF-STREET PARKING: PER ZONING CODE SECTION 7-9-145, EXCEPT THAT ALL PARKING SHALL BE ON THE REAR HALF OF THE BUILDING SITE.

**LANDSCAPING - PLANNED (UNIT) DEVELOPMENTS (NORTH TUSTIN SPECIFIC PLAN)**

- A MINIMUM OF FIFTEEN (15) PERCENT (AND TWENTY (20) PERCENT FOR PLANNED DEVELOPMENTS) OF BUILDING SITE OR PROJECT NET AREA SHALL BE LANDSCAPED. A LANDSCAPED AREA SHALL CONSIST OF TREES, SHRUBS, VINES, GROUND COVER, OR ANY COMBINATION THEREOF. LANDSCAPED AREA SHALL NOT INCLUDE BUILDINGS, PAVING, SWIMMING POOLS, GRAVEL OR ANY OTHER ASSEMBLAGE OF BUILDING MATERIALS UPON OR OVER THE LAND.
- EXISTING MATURE TREES SHALL BE PRESERVED AND INTEGRATED INTO THE LANDSCAPE PLAN WHEREVER POSSIBLE. EXISTING MATURE TREES WHICH ARE REMOVED SHALL BE REPLACED AT A MINIMUM RATE OF ONE (1) SPECIMEN OF TWENTY-FOUR (24) INCH BOX SIZE PER ONE (1) MATURE TREE REMOVED.
- BOUNDARY LANDSCAPING ALONG PRIMARY AND MAJOR ARTERIAL HIGHWAYS SHALL CREATE A PARKWAY APPEARANCE WHICH SOFTENS/SOFTENS UNDESIRABLE VIEWS. STREET TREES SHALL BE RANDOMLY GROUPED TO CREATE AN INFORMAL OR NATURAL CHARACTER AND BE PROVIDED AT A RATE OF NOT LESS THAN ONE (1) TREE PER TWENTY-FIVE (25) FEET OF ROAD FRONTAGE.
- IN THE INTEREST OF PUBLIC SAFETY, STREET TREES SHALL BE PLANTED A MINIMUM OF TWENTY-FIVE (25) FEET FROM THE BEGINNING OF CURB RETURNS AT INTERSECTIONS AND A MINIMUM OF TEN (10) FEET FROM STREET LIGHTS, FIRE HYDRANTS AND DRIVEWAYS.
- OUTDOOR OFF-STREET PARKING AREAS SHALL BE PLANTED AT A RATE OF ONE (1) TREE PER ONE THOUSAND (1,000) SQUARE FEET OF PARKING AREA SURFACE AND AT A MINIMUM OF EVERY FIFTH PARKING SPACE IN PARKING BAYS EXCEEDING TEN (10) SPACES IN LENGTH.
- THE REQUIRED USE PERMIT OR SITE DEVELOPMENT PERMIT SHALL INCLUDE A LANDSCAPE PLAN IN COMPLIANCE WITH THE ABOVE REQUIREMENTS.

PLANNED (UNIT) DEVELOPMENT FOR RESIDENTIAL USES PER ZONING CODE SECTION 7-9-110 AND CHAPTER 5, 6, AND 7 HEREIN WITH 28 FEET MAXIMUM BUILDING HEIGHT.

BUILDING SITE COVERAGE: FOR PLANNED DEVELOPMENTS, THERE SHALL BE NO MAXIMUM BUILDING COVERAGE FOR ANY INDIVIDUAL SITE. HOWEVER, THE PROJECT NET AREA SHALL NOT EXCEED THE FOLLOWING BUILDING COVERAGE:

- FORTY (40) PERCENT FOR RESIDENTIAL PROJECTS.
  - AREA PER UNIT: FOR RESIDENTIAL PLANNED DEVELOPMENTS, THERE SHALL BE NO MINIMUM LAND AREA PER UNIT FOR ANY INDIVIDUAL SITE. HOWEVER, THE PROJECT NET AREA SHALL HAVE AN AVERAGE LAND AREA PER UNIT NO LESS THAN THE MINIMUM AREA PER UNIT REQUIRED BY THE BASE DISTRICT OR PER SECTION 7-9-126.1
- BUILDING SETBACKS: FOR PLANNED DEVELOPMENTS, BUILDING LOCATIONS NEED NOT SATISFY THE BASE DISTRICT SETBACK REGULATIONS BUT SHALL BE DETERMINED BY THE APPROVED USE PERMIT. BUILDING LOCATIONS SHALL BE DIMENSIONED ON THE USE PERMIT PLANS INCLUDING DISTANCES BETWEEN BUILDINGS AND DISTANCES FROM STREETS AND COMMON DRIVEWAYS.

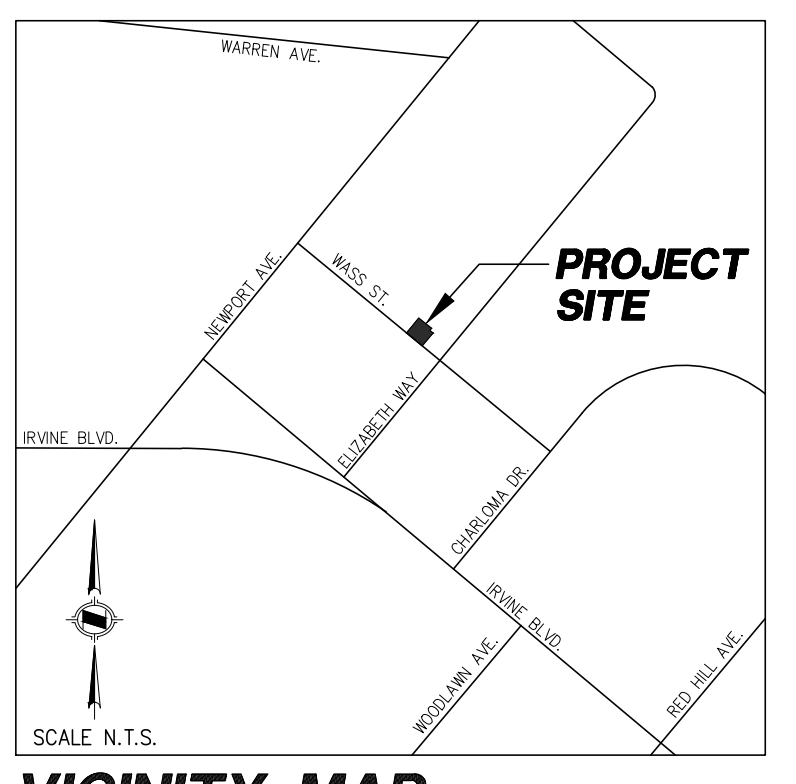
**PROJECT SUMMARY**

Gross Area	38,008 s.f. / 0.87 ac.		
Net Area	36,058 s.f. / 0.83 ac.		
Wass Street Right of Way Dedication Area	1,950 s.f. / 0.04 ac.		
Site Development Standards	RMF District	Planned Development	Proposed
Building Site Area (net ac)	10,000 s.f. minimum	Project Net Area	36,058 s.f. / 0.83 ac.
Area Per Unit	1,800 s.f./unit	1,800 sq./unit	2,175 s.f./0.05 ac. per unit Min.
Building Site Width	75 ft. Minimum		170 ft. Min.
Building Site Coverage	60% Maximum	40% Maximum	31%
Maximum Height	35 Feet/28 Feet (PD)		28 Feet (Plan 1)/35 Feet (Plan 2)
Minimum Front Setback	20 Feet	Per Use Permit	18 Feet
Minimum Rear Setback	25 Feet	Per Use Permit	20 Feet
Minimum Side Setback	5 Feet	Per Use Permit	5 Feet
Building to Building	15 Feet	Per Use Permit	7.6 Feet
Landscaping	20% Minimum		20% (7,212 s.f. / 0.16 ac.)

**PARKING SUMMARY**

Use	Number of Dwelling Units	Required Parking			Provided Parking
		Type of Parking	Required Parking Per Dwelling Unit	Total Required Parking	
Attached/Detached Single-Family Dwellings	10	Covered	2 spaces	20 spaces	20 garage spaces (2 per unit)
		Visitor/Guest Off-Street	1 space within 200' of dwelling unit	10 spaces	
<b>Total</b>	<b>10</b>			<b>30 spaces</b>	<b>30 spaces</b>

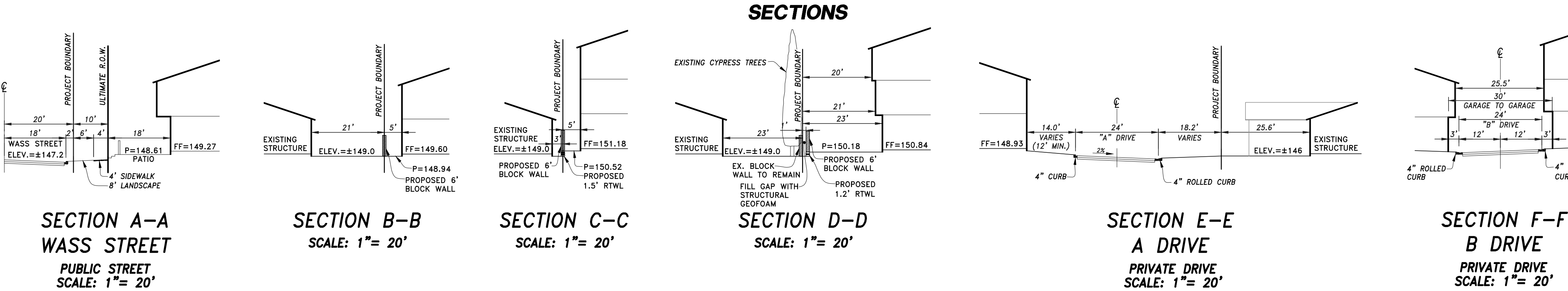
Note: Additional on-street parking is also available on Wass Street.



**VICINITY MAP**

**LEGEND**

- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- - - EASEMENT
- - - PROPOSED CURB
- - - EXISTING CURB
- - - PROPOSED CENTER LINE
- - - PROPOSED SIDEWALK
- - - EXISTING CONTOURS
- - - SD - PROPOSED STORM DRAIN
- - - SD - EXISTING STORM DRAIN
- - - W - PROPOSED WATER
- - - W - EXISTING WATER
- - - S - PROPOSED SEWER
- - - S - EXISTING SEWER
- - - PROPOSED RETAINING WALL
- - - PROPOSED 6" BLOCK WALL
- - - LINE OF SIGHT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED MODULAR WEILAND SYSTEM
- ▨ PROPOSED UNDERGROUND DETENTION VAULT
- PROPOSED SUMP PUMP
- EXISTING POWER POLE
- PROPOSED POWER POLE
- PROPOSED BUILDING LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED STREET LIGHT
- PROPOSED "NO PARKING" SIGN (NO PARKING DURING TRASH PICK UP HOURS)



NO.	DATE	REVISIONS	APPROVED	CHECKED BY:

DRAWN BY:	LP
DESIGNED BY:	--
CHECKED BY:	TF

PREPARED FOR:

76 DISCOVERY  
IRVINE, CA 92618  
PHONE: (877) 967-3326

PREPARED BY:

**HUNSAKER & ASSOCIATES**  
IRVINE, INC.  
PLANNING ■ ENGINEERING ■ SURVEYING  
Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

1091, 1111 & 1121 WASS STREET

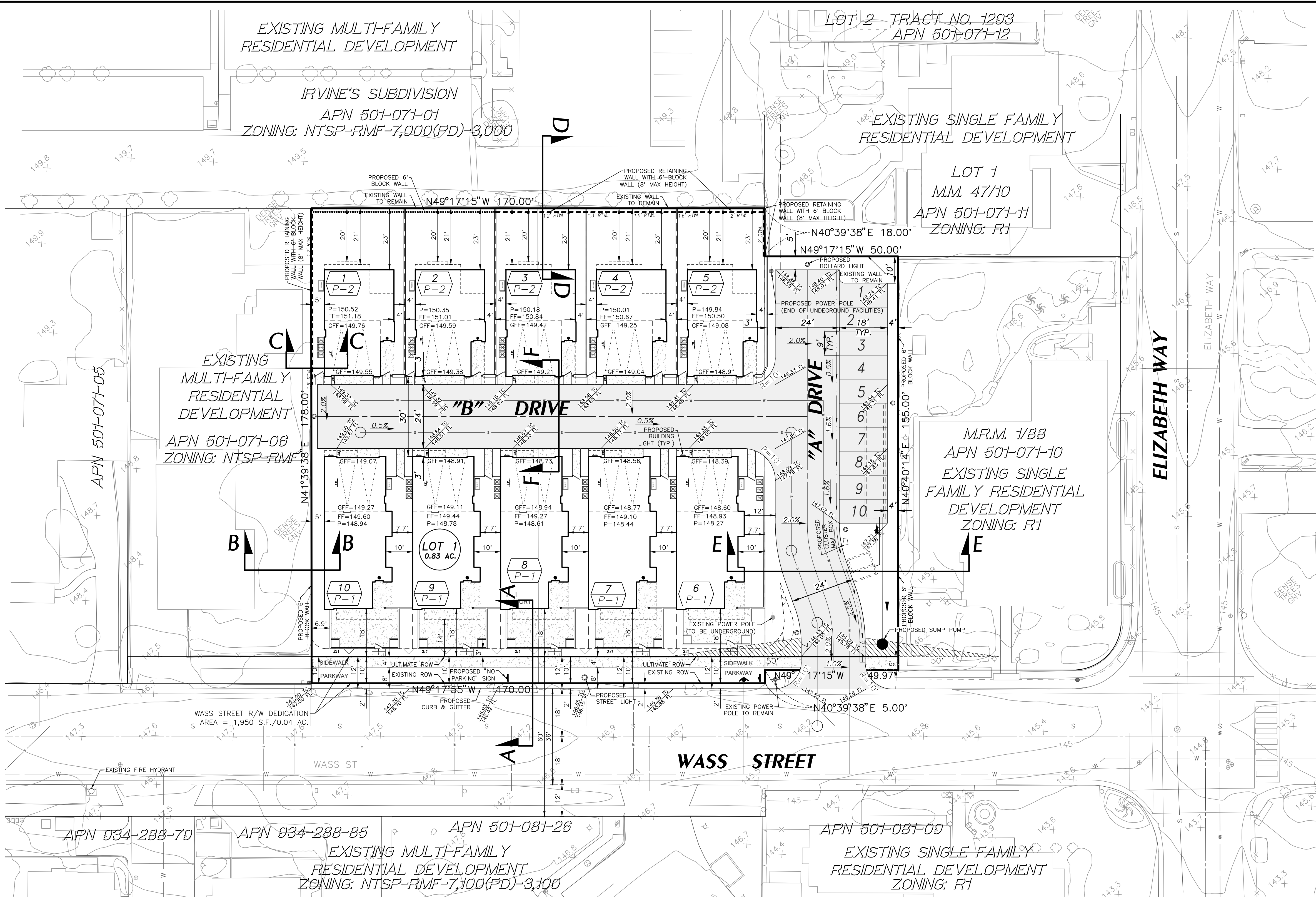
**SITE PLAN**

UNINCORPORATED TERRITORY OF ORANGE COUNTY

DATE: SEPTEMBER 8, 2020

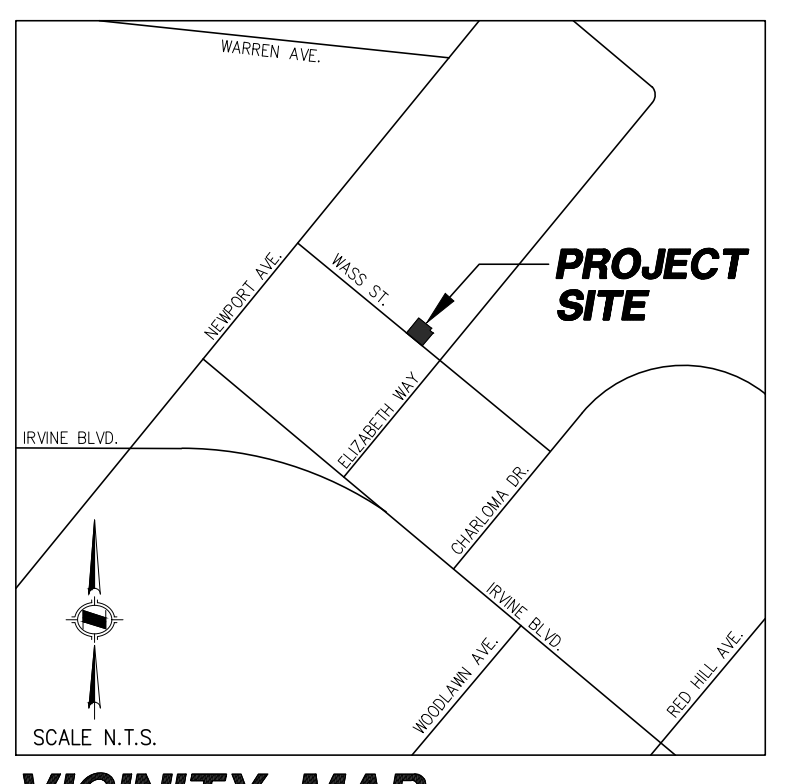
SHEET **C-3**

PLOTTED BY: Alex Martinez DATE: Sep. 08, 2020 10:13:22 AM FILE: F:\1137\Planning\SAL\_TTM\_19116\C-3\_Site Plan.dwg



**NOTES**

1. THE PROPERTY IS LOCATED WITHIN ZONE X OF THE 1% ANNUAL SPECIAL FLOOD HAZARD AREA (100-YEAR FLOOD PLAIN) PER FIRM MAP NUMBER 06059C0281J DATED DECEMBER 3, 2009.
2. THE PROPERTY IS LOCATED WITHIN THE SANTA ANA WATERSHED OF SANTA ANA REGIONAL WATER QUALITY CONTROL BOARD.
3. ALL PROPOSED IMPROVEMENTS SHALL COMPLY WITH ORANGE COUNTY PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS OR AS SPECIFIED ON THIS EXHIBIT.
4. PROPOSED GRADING AND DRAINAGE SHALL COMPLY WITH QC GRADING AND EXCAVATION MUNICIPAL CODE.
5. ESTIMATED EARTHWORK QUANTITIES ARE APPROXIMATE AND PRELIMINARY AND SUBJECT TO MINOR CHANGES IN FINAL DESIGN.
6. EXISTING RESIDENTIAL STRUCTURES ON-SITE SHALL BE DEMOLISHED PRIOR TO CONSTRUCTION PURSUANT TO AN APPROVED DEMOLITION PERMIT.



**AREA SUMMARY**

GROSS AREA: 0.87 AC (38,008 SF)  
 ROW DEDICATION AREA: 0.04 AC (1,950 SF)  
 NET AREA (LOT 1): 0.83 AC (36,058 SF)  
 DWELLING UNITS: 10 D.U.  
 NET RESIDENTIAL DENSITY: 12.0 (D.U./AC)

**ESTIMATED EARTHWORK QUANTITIES:**

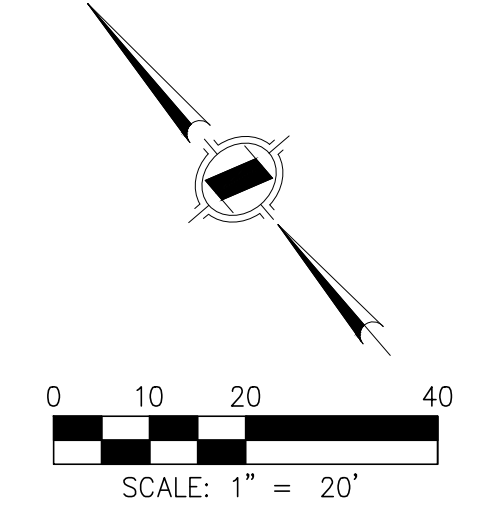
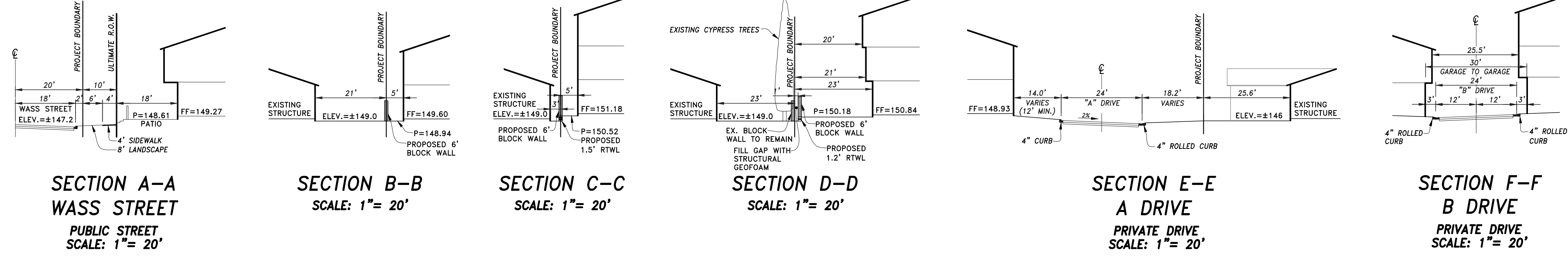
	RAW QUANTITIES	REMEDIAL QUANTITIES	TOTAL ESTIMATED EARTHWORK QUANTITIES
CUT:	840 CUBIC YARDS	4,223 CUBIC YARDS	5,063 CUBIC YARDS
FILL:	840 CUBIC YARDS	4,223 CUBIC YARDS	5,063 CUBIC YARDS

- ASSUMPTIONS
1. 3-FOOT OVERCAVATION OF ENTIRE PROJECT SITE-REMEDIAL GRADING.
  2. ACCESS DRIVE UNDERCUT OF 2 FEET DEPTH FROM FINISHED CURB GRADE.
  3. SURFACE PARKING AREA UNDERCUT OF 1 FEET DEPTH FROM FINISHED CURB GRADE.
  4. GARAGE UNDERCUT FOR UNITS 1-5 ONLY (REAR UNITS) - 8" DEPTH FROM GARAGE FINISH FLOOR ELEVATION.

**LEGEND**

- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- - - EASEMENT
- PROPOSED CURB
- EXISTING CURB
- PROPOSED CENTER LINE
- PROPOSED SIDEWALK
- EXISTING CONTOURS
- PROPOSED STORM DRAIN
- - - SD - - - EXISTING STORM DRAIN
- W - - - PROPOSED WATER
- - - W - - - EXISTING WATER
- S - - - PROPOSED SEWER
- - - S - - - EXISTING SEWER
- PROPOSED RETAINING WALL
- PROPOSED 6" BLOCK WALL
- LINE OF SIGHT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED MODULAR WETLAND SYSTEM
- ▨ PROPOSED UNDERGROUND DETENTION VAULT
- PROPOSED SUMP PUMP
- EXISTING POWER POLE
- PROPOSED POWER POLE
- PROPOSED BUILDING LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED STREET LIGHT
- ▲ PROPOSED "NO PARKING" SIGN (NO PARKING DURING TRASH PICK UP HOURS)

**SECTIONS**



NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	TF

PREPARED FOR:

76 DISCOVERY  
 IRVINE, CA 92618  
 PHONE: (877) 967-3326

PREPARED BY:

**HUNSAKER & ASSOCIATES**  
 IRVINE, INC.  
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 Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

1091, 1111 & 1121 WASS STREET

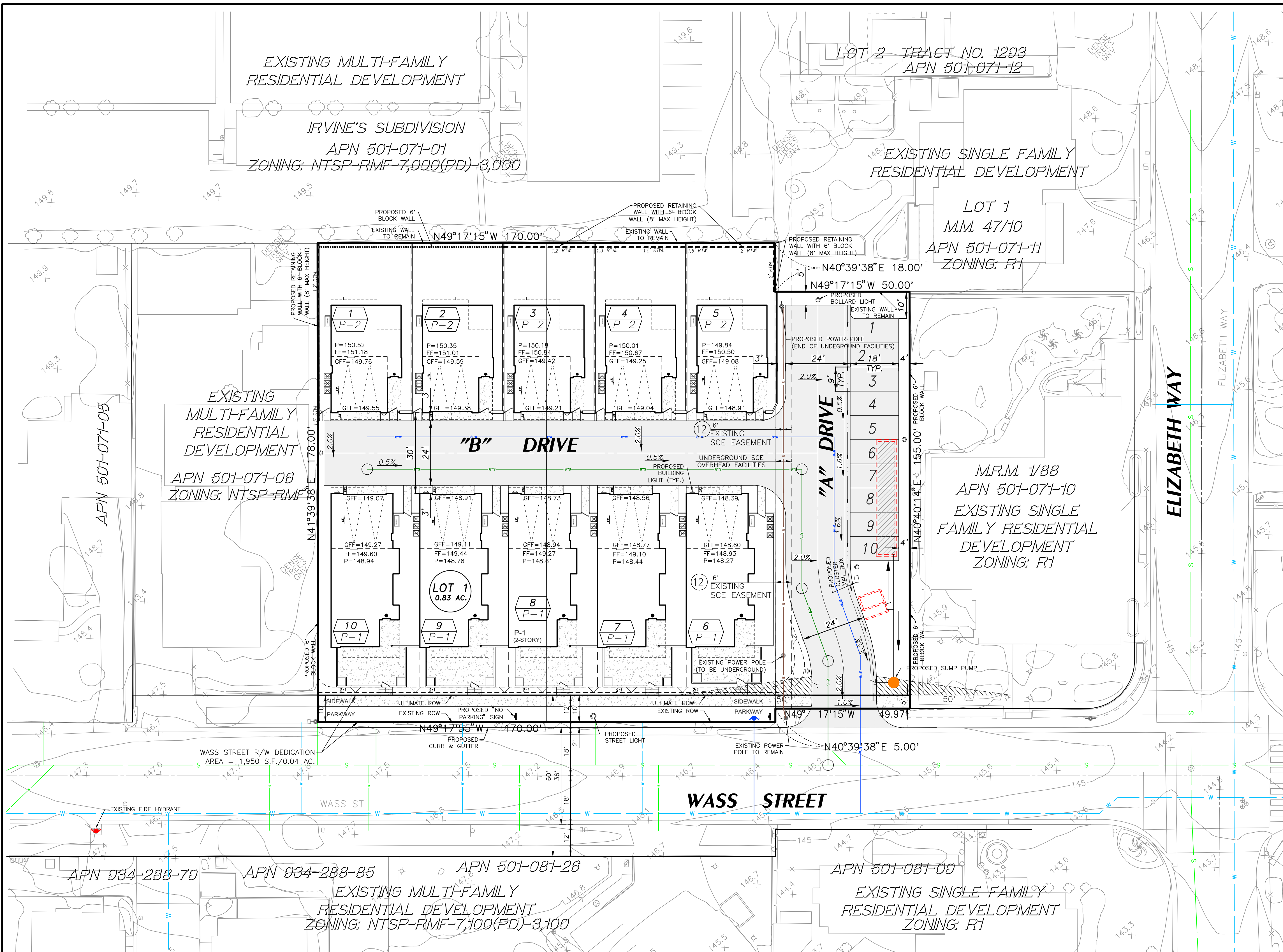
**CONCEPTUAL GRADING PLAN**

UNINCORPORATED TERRITORY OF ORANGE COUNTY

SHEET

**C-4**

DATE: SEPTEMBER 8, 2020



**LEGEND**

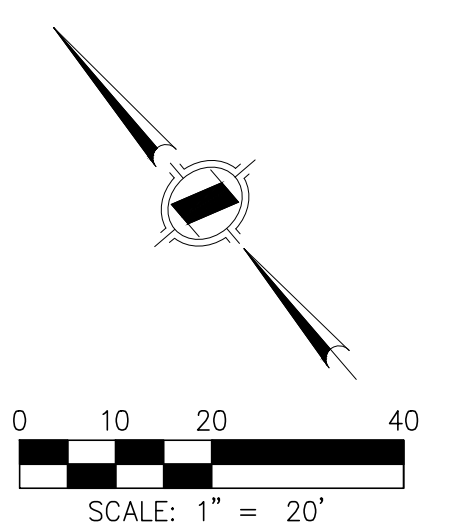
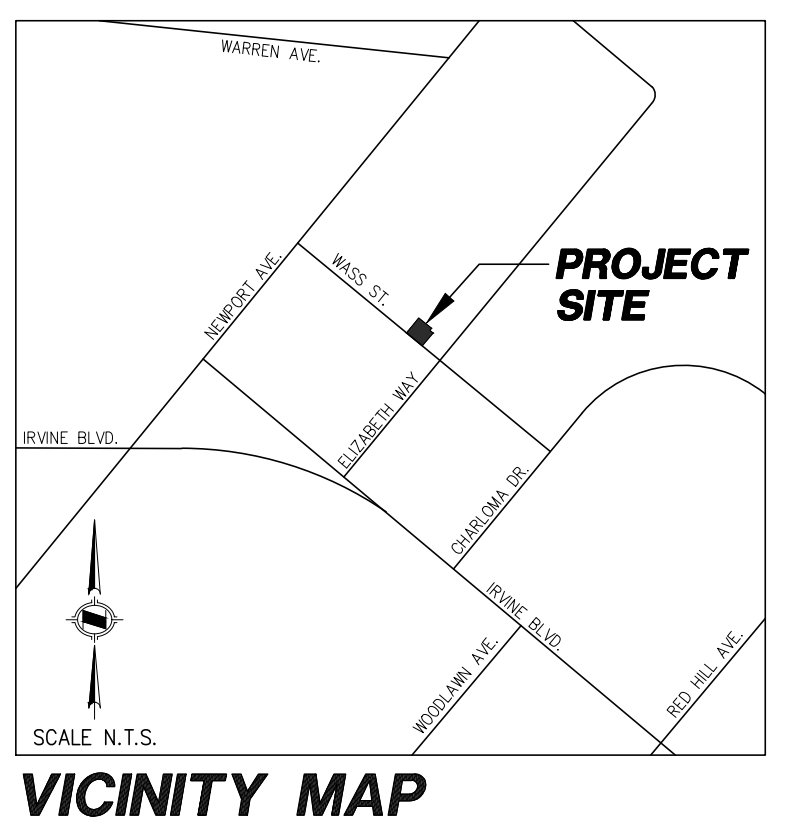
- TRACT BOUNDARY
- PROPOSED LOT LINE
- GRADING DAYLIGHT LINE
- TOP OF SLOPE
- PROPOSED CONTOUR
- TOE OF SLOPE
- PROPOSED RETAINING WALL
- PROPOSED 6" BLOCK WALL
- PROPOSED CURB
- PROPOSED CENTER LINE
- PROPOSED SIDEWALK
- EXISTING CONTOURS
- EX. EASEMENT LINE
- LINE OF SIGHT
- PROPOSED WATER
- EXISTING WATER
- PROPOSED SEWER
- EXISTING SEWER
- PROPOSED ELECTRICAL
- PROPOSED MODULAR WETLAND SYSTEM
- PROPOSED UNDERGROUND DETENTION VAULT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED SUMP PUMP
- EXISTING POWER POLE
- PROPOSED POWER POLE
- PROPOSED BUILDING LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED STREET LIGHT
- PROPOSED "NO PARKING" SIGN  
(NO PARKING DURING TRASH PICK UP HOURS)

**NOTES**

1. UTILITY/SERVICE PROVIDERS:  
 GAS - SOUTHERN CALIFORNIA GAS COMPANY  
 ELECTRIC - SOUTHERN CALIFORNIA EDISON (REFER TO SHEET C-1, "EXISTING CONDITIONS MAP", FOR COMPLETE EASEMENT DESCRIPTION)  
 CABLE TELEVISION/INTERNET - AT&T  
 PHONE - AT&T  
 WATER - CITY OF TUSTIN  
 SEWER - EAST ORANGE COUNTY WATER DISTRICT  
 TRASH - WASTE MANAGEMENT OF ORANGE COUNTY
2. WATER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED PER CITY OF TUSTIN STANDARD PLANS AND DESIGN STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
3. SEWER IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED PER ECOWD SEWER SYSTEM MANAGEMENT PLAN - APPENDIX M DESIGN, CONSTRUCTION AND REPAIR STANDARDS FOR SANITARY SEWERS.
4. DRAINAGE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED PER ORANGE COUNTY PUBLIC WORKS STANDARD PLANS AND SPECIFICATIONS.
5. UNDERGROUND OF ON-SITE ELECTRIC FACILITIES SHALL BE COORDINATED WITH SOUTHERN CALIFORNIA EDISON COMPANY.

**EASEMENT NOTES:**

- SURVEYOR'S NOTE: PLOTTED HEREON AS 12
1. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
 GRANTED TO: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION  
 PURPOSE: PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDING  
 DATE: NOVEMBER 17, 1954  
 RECORDING NO: IN BOOK 2872, PAGE 111 OF OFFICIAL RECORDS AFFECTS PORTION OF SAID LAND (SAME ITEM 6 ABOVE)



DATE: SEPTEMBER 8, 2020

NO.	DATE	REVISIONS	APPROVED	CHECKED BY:	TF

DRAWN BY: LP  
 DESIGNED BY: --  
 CHECKED BY: TF

PREPARED FOR:

76 DISCOVERY  
 IRVINE, CA 92618  
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1091, 1111 & 1121 WASS STREET  
**CONCEPTUAL UTILITY PLAN**  
 UNINCORPORATED TERRITORY OF ORANGE COUNTY

**SHEET**  
**C-5**

**ATTACHMENT 1**

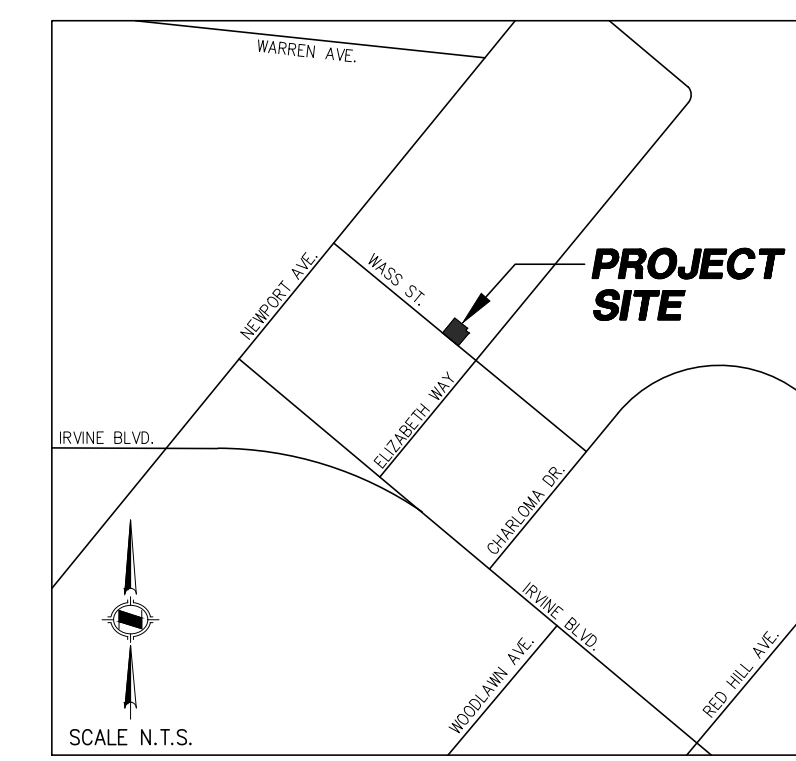
**OCFA Fire Master Plan Notes (1-1-17)**

All of the notes listed in the **INSPECTION REQUIREMENTS** and **GENERAL REQUIREMENTS** sections shall be placed, verbatim, on the plan under the heading "FIRE AUTHORITY NOTES." Include individual notes, as applicable, from the **PROJECT-SPECIFIC REQUIREMENTS** section.

- INSPECTION REQUIREMENTS**
- OCFA site inspections are required for this project. Please schedule all field inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a re-inspection fee. Call OCFA Inspection Scheduling at (714) 573-6150.
  - A lumber drop inspection shall be performed prior to bringing combustible materials (or combustible fixtures and finishes for structures of non-combustible construction). All-weather access roads capable of supporting 94,000 lbs., topped with asphalt, concrete, or equivalent shall be in place and hydrants operational at time of lumber drop inspection.
  - For projects with fuel modification, a vegetation clearance inspection is required prior to a lumber drop inspection. Use the fuel modification plan service request number to schedule the vegetation clearance inspection.
  - Phased installation of fire access roads requires additional inspections not covered by the fees paid at plan submittal. Contact Inspection Scheduling to arrange for additional inspections that may be needed and any fees that may be due.
  - An original approved, signed, wet-stamped OCFA fire master plan shall be available on-site at time of inspection.
  - Access roads and hydrants shall be maintained and remain clear of obstructions at all times during and after construction. Areas where parking is not permitted shall be clearly identified at all times. Obstruction of fire lanes and hydrants may result in cancellation or suspension of inspections.
  - Temporary fuel tanks of 60 or more gallons shall be reviewed, inspected, and permitted by the OCFA prior to use.
  - The project address shall be clearly posted and visible from the public road during construction.
  - All gates in construction fencing shall be equipped with either a Knox or breakaway padlock.
  - Buildings of four or more stories shall be provided with stairs and a standpipe before reaching 40 feet in height.

- GENERAL REQUIREMENTS**
- Fire lane widths shall be measured from top face of the curb to top face of the curb for fire lanes with standard curbs and gutters and from flow-line to flow-line for fire lanes with modified curb designs (e.g., rolled, ramped, etc.). The developer is responsible to verify that all approved public works or grading department street improvement plans or precise grading plans conform to the minimum street width measurements per the approved OCFA fire master plan and standards identified in OCFA Guideline B-09 for all portions of the fire access roads.
  - Permanent, temporary, and phased emergency access roads shall be designed and maintained to support an imposed load of 94,000 lbs. and surfaced to provide all-weather driving capabilities.
  - Fire lane signs and red curbs shall meet the specifications shown in OCFA Guideline B-09 and shall be installed as described therein. Additional fire lane markings may be required at the time of inspection depending on field conditions.
  - All fire hydrants shall have a "Blue Reflective Pavement Marker" indicating their location per the OCFA standard. On private property markers are to be maintained in good condition by the property owner.
  - Address numbers shall be located and be of a color and size so as to be plainly visible and legible from the roadway from which the building is addressed in accordance with OCFA Guideline B-09. Wayfinding signs, when required by the local AHJ, shall comply with the standards of that agency. When wayfinding signs are also required by the OCFA, they may be designed to local AHJ requirements provided that such standards facilitate location of structures, suites, and dwelling units by emergency personnel.
  - Access gates shall be approved prior to installation and shall be in compliance with Chapter 5 of the CFC and OCFA guidelines.
  - Approved access walkways shall be provided to all required openings and all rescue windows.
  - Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, fire department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
  - Dumpsters and trash containers larger than 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system.
  - Any future modification to the approved Fire Master Plan or approved site plan, including but not limited to road width, grade, speed humps, turning radii, gates or other obstructions, shall require review, inspection, and approval by the OCFA.
  - Approval of this plan shall not be construed as approval of any information or project conditions other than those items and requirements identified in OCFA Guideline B-09 and related portions of the 2016 CFC and CBC. This project may be subject to additional requirements not stated herein upon examination of actual site and project conditions or disclosure of additional information.

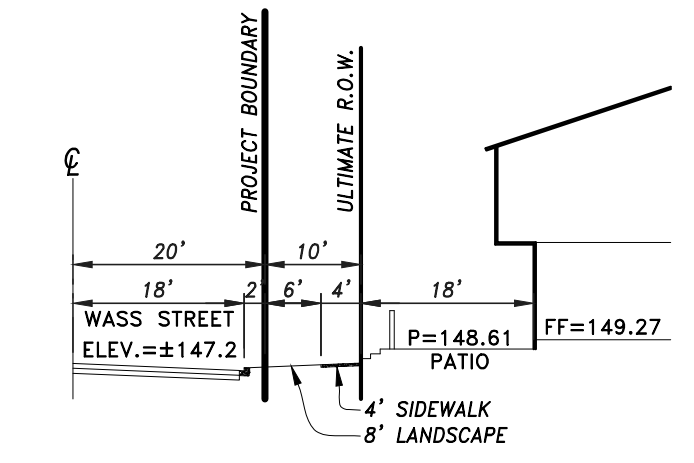
- PROJECT-SPECIFIC REQUIREMENTS (Include only those notes that are applicable to the project as designed; some notes may need to be modified to address specific project conditions)**
- An underground piping plan is required for the installation of an automatic fire sprinkler system or for a private fire hydrant system. A separate plan submittal is required.
  - An architectural plan is required to be submitted to the OCFA for review and approval for projects containing A, C, E, F, H, I, L, and R-4 occupancies. A plan may also be required for R-1 and R-2 occupancies over two stories or those utilizing sprinklers or fire walls to increase the maximum building size allowed—see OCFA Info Bulletin 02-13.
  - A chemical classification and hazardous materials compliance plan shall be approved by the OCFA prior to any hazardous materials being stored or used on site. A separate plan submittal is required.
  - Buildings used for high-piled storage shall comply with CFC requirements. A separate plan submittal is required if materials will be stored higher than 12 feet for lower-hazard commodities, or higher than six feet for high-hazard commodities such as plastics, rubber, flammable/combustible liquids, tires, carpet, etc.
  - An automatic fire sprinkler system shall be installed in accordance with applicable codes and local ordinances, amendments, and guidelines. Sprinkler systems, other than those listed in CFC 903.4, shall be monitored by an approved central station. Separate plan submittals for the sprinkler and monitoring systems are required.
  - Buildings containing industrial refrigeration systems shall comply with CFC requirements. A separate plan submittal is required if refrigerant quantities exceed thresholds.
  - A fire alarm system shall be installed in accordance with applicable codes and local ordinances, amendments, and guidelines. A separate plan submittal is required.
  - Structures located in a Fire Hazard Severity Zone or Wildland-Urban Interface area are subject to the construction requirements prescribed in Chapter 7A of the 2016 CBC and/or Section 337 of the 2016 CRC. Construction materials/methods are reviewed and inspected by the Building Department.
  - One or more structures shown on this plan are located adjacent to a fuel modification area. Changes to the fuel modification zone landscaping, new structures, or addition/alteration to existing structures requires review and approval by the OCFA.
  - Projects located in State Responsibility Areas and in Local Responsibility Area VHFHSZ shall also comply with all applicable requirements from Title 14, Div. 1.5, Ch. 7, SubCh. 2 "SRA Fire Safe Regulations" and Guideline B-09a.
  - Structures meeting the criteria in CFC 510.1 shall be provided with an emergency responder radio system. Refer to CFC 510.2 through 510.6.3 and DAS/BDA guidelines published by OC Sheriff's Communication and Technology Division for technical and submittal information.



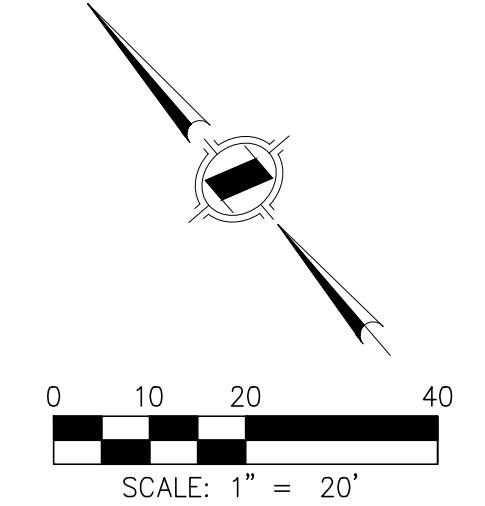
**VICINITY MAP**

**LEGEND**

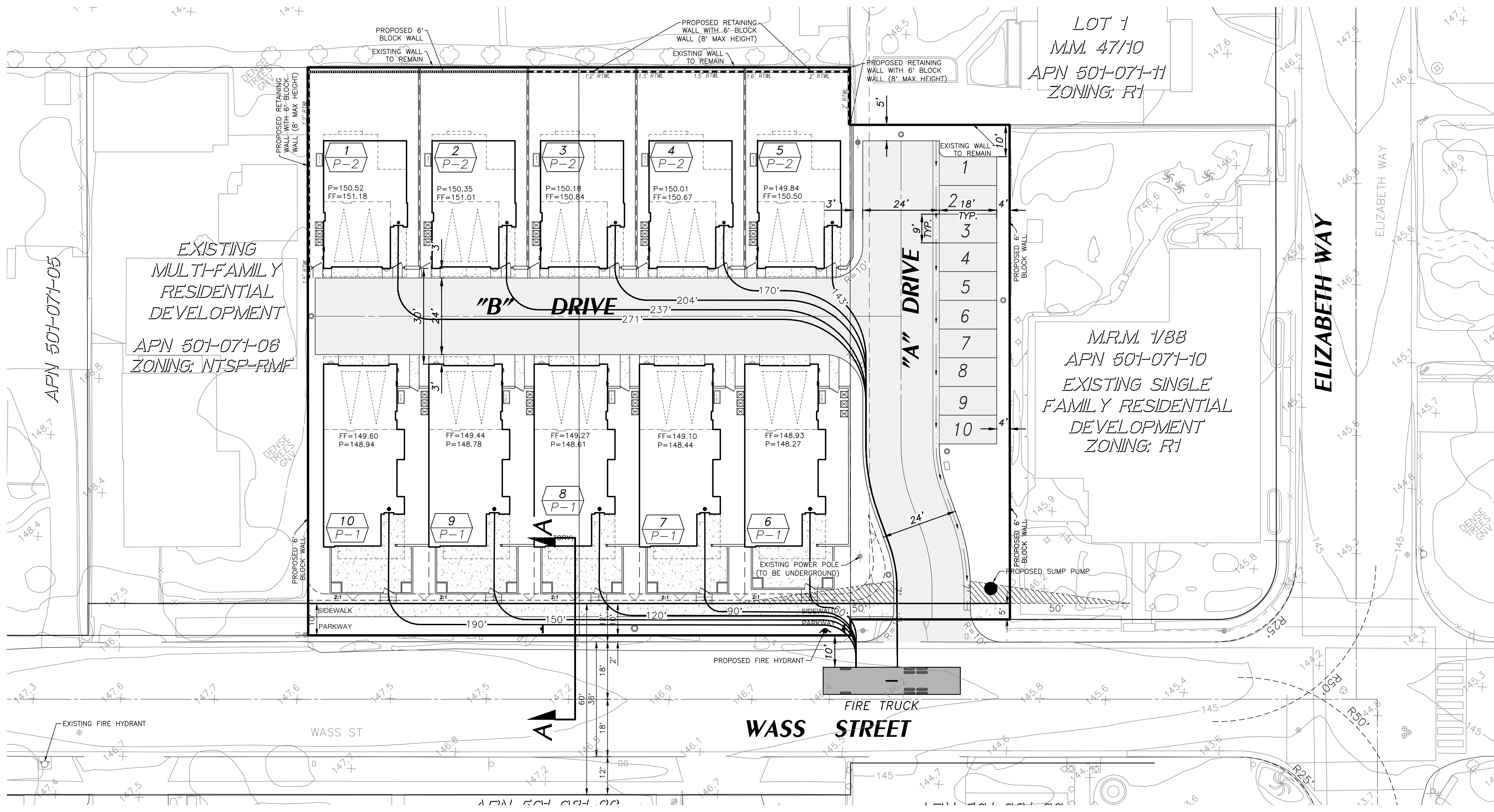
- RIGHT OF WAY
- LOT LINE
- TRACT BOUNDARY
- EASEMENT
- PROPOSED CURB
- EXISTING CURB
- PROPOSED CENTER LINE
- PROPOSED SIDEWALK
- EXISTING CONTOURS
- PROPOSED RETAINING WALL
- PROPOSED 6' BLOCK WALL
- LINE OF SIGHT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- DISTANCE TO FRONT DOOR
- PROPOSED BUILDING LIGHT
- PROPOSED BOLLARD LIGHT
- PROPOSED STREET LIGHT



**SECTION A-A  
WASS STREET  
PUBLIC STREET  
SCALE: 1" = 20'**



DATE: SEPTEMBER 8, 2020



**OCFA WATER AVAILABILITY FORM**

**SECTION A: To be completed by customer**

Project Name: \_\_\_\_\_ OCFA SR #: \_\_\_\_\_  
 Project Address: 1091 WASS ST. City: North Tustin  
 Applicant Phone #: ( ) Fax #: ( )  
 Area of largest building \_\_\_\_\_ ft<sup>2</sup> Construction type? (check one)  IA  IIA  IIB  IIC  IIV  VA  VB  
 Is this building sprinklered throughout? (check one)  YES  NO

**SECTION B: To be completed by local water department/district  
Customer to provide results to OCFA**

Water Department/District: Tustin Water District  
 Test location (indicate address or cross-streets & provide reference map): See SoCal Flow Testing report on 8/27/20  
 Hydrant number(s) (if applicable): Test: N/A Flow: 1368  
 Elevation of test hydrant: grade feet above sea level  
 Date of Test: 8/27/20 Time of test: 8:00 - 8:40  
\* Test to be performed as close as possible to the time that the lowest flows and pressures are expected (e.g., 14F, 8:00 - 9:00 am and 5:00 - 6:00 pm)

**FLOW TEST RESULTS**  
TEST INFORMATION IS VALID FOR 6 MONTHS FROM DATE TEST IS PERFORMED

Static pressure: 63 psi Residual pressure: 60 psi  
 Observed flow: 1021 @ 37 psi Flow calc'd at 20 psi: 4298 gpm  
 Check the box if the test information above was obtained in a manner other than an actual flow test (i.e. by computer modeling).

Based on fluctuations known to exist at the site of the test, provide estimated values for the following:

Maximum static pressure	psi	Minimum static pressure	psi
Minimum residual pressure	psi	Minimum residual flow	gpm

I have witnessed and/or reviewed this water flow information and by personal knowledge and/or on-site observation certify that the above information is correct.  
 Name: Randy Medina Company/Agency: City of Tustin  
 Signature: [Signature] Title: Water Const. + Maint. Supervisor  
 Date: 8/27/2020

SoCal Flow Testing  
 3741 Rose Dr, Yorba Linda, CA 92886  
 714-261-5716 \*\*\* 714-393-3877  
 email: info@socalflowtest.com

**Hydrant Flow Test Report**

Project: 1091 - 1121 WASS ST Test date: 8/27/20  
 Address: North Tustin State: CA Test time: 08:40  
 City: North Tustin File no. \_\_\_\_\_

Test hydrant location: Hydrant across from 1081 WASS ST

Flow hydrant location	Hydr #	N/A	Elev (ft +/-)	Grade
North east corner of WASS ST & Elizabeth Way	1368			

Static Pressure: 63 PSI Report Date: 8/27/20

Outlet	C-value	Diam	Pilot	Volume
A	0.9	2.0	0 PSI	0 GPM
B	0.9	2.5	37 PSI	1021 GPM
C	0.9	3.0	0 PSI	0 GPM
D	0.83	4.0	0 PSI	0 GPM

Residual Pressure: 60 PSI at an observed volume of 1021 GPM  
 Projected Pressure: 20 PSI calculates to a volume of 4298 GPM

Although the results are accurate for the date and time given, they may not accurately reflect higher or lower readings which vary due to seasonal conditions and time of day.  
 Per NFPA 24-10, Table C.4.10.1(a), note 1,  $Q = 29.84 \times c(d)^2 (p)^{0.5}$   
 Per NFPA 24-10, Paragraph C.4.10.1.2,  $Q_c = Q_c \times (h/h_c)^{0.54}$

Test by: Dan Hildebrandt  
 Witness: Dave Wallick, Tustin Water District, dwallick@tustincity.org  
 Client: Quinn Paulin Aguiro, Hunsaker & Associates, (949) 330-0157  
 cc: rmedina@tustincity.org, qpaulin@hunsaker.com

NO.	DATE	REVISIONS	APPROVED	CHECKED BY:

PREPARED FOR:

76 DISCOVERY  
 IRVINE, CA 92618  
 PHONE: (877) 967-3326

PREPARED BY:

**HUNSAKER & ASSOCIATES**  
 IRVINE, INC.  
 PLANNING ■ ENGINEERING ■ SURVEYING  
 Three Hughes ■ Irvine, CA 92618 ■ PH: (949) 583-1010 ■ FX: (949) 583-0759

1091, 1111 & 1121 WASS STREET  
**FIRE MASTER PLAN**  
 UNINCORPORATED TERRITORY OF ORANGE COUNTY

DRAWN BY: LP  
 DESIGNED BY: --  
 CHECKED BY: TF

SHEET  
**C-6**

DATE: SEPTEMBER 8, 2020