



ITEM #1

OC DEVELOPMENT SERVICES REPORT

DATE: February 15, 2024

TO: Orange County Zoning Administrator

FROM: OC Development Services / Land Development Division

SUBJECT: Planning Application PA23-0055 for a Site Development Permit including a Project

Specific Alternative Site Development Standard for the Esencia Mixed-Use Center

(Ranch Plan Planning Area 2, Subarea 2.4)

PROPOSAL: Esencia Retail, LLC requests approval of a Site Development Permit to allow for the

construction of the third and final phase of the Esencia Mixed-Use Center and a Project Specific Alternative Site Development Standard. The final phase will comprise 14 buildings including 174,800 square feet of retail, restaurant, medical office, health/fitness uses and a gas station. The project will also include an additional 7,200 square feet of designated outdoor eating areas associated with restaurant uses. The Project Specific Alternative Site Development Standard would allow for a modification to the Hours of Operation to permit 24-hour business operations for the Esencia Mixed-Use Center, instead of the permitted 7:00am to 11:00pm

timeframe.

ZONING: Ranch Plan Planned Community (PC) – Urban Activity Center (PC Section III.D)

GENERAL

PLAN:

"6 Urban Activity Center"

LOCATION: The project site is located in southeastern, unincorporated Orange County, within

Subarea 2.4 of the Ranch Plan Planned Community, in the Fifth (5th) Supervisorial District. The project site is located on Lots 10 through 18, 20 through 36, C and D of

Vesting Tentative Tract Map 17575.

APPLICANT: Esencia Retail, LLC

Jay Bullock, RMV Vice President, Planning and Entitlement

STAFF Robert Zegarra, Contract Planner, Land Development Division

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RECOMMENDED ACTION(S):

Land Development recommends OC Zoning Administrator:

- 1) Receive staff report and public testimony as appropriate.
- 2) Find that Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 2006, Addendum 1.1 (PA110003-06) approved February 24, 2011, the Planning Area 2 Addendum (PA130001-06) approved March 27, 2013, and Addendum 3.1 (PA140072-81) approved February 25, 2015, reflect the independent judgment of the County and are adequate to satisfy the requirements of CEQA for approval of PA23-0055, which is a necessarily included element contemplated as part of the whole of the action considered in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1.
 - a. The circumstances of the project are substantially the same as described in Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1, which adequately addressed the effects of the project proposed in PA23-0055. No substantial changes have been made in the project that involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes have occurred in the circumstances under which the project is being undertaken, that involve new significant environmental effects or a substantial increase in the severity of previously identified environmental effects; and no new information of substantial importance to the project which was not known or could not have been known when Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1 were certified and approved has become known; therefore, no further environmental review is required.
 - b. Final EIR 589, Addendum 1.0, Addendum 1.1, the Planning Area 2 Addendum, and Addendum 3.1 are adequate to satisfy the requirements of CEQA for PA23-0055.
 - c. All mitigation measures are fully enforceable pursuant to Public Resources Code section 21081.6(b) and have either been adopted as conditions, incorporated as part of the project design, or included in the procedures of project implementation.
- 3) Approve Planning Application PA23-0055, subject to the attached Findings and Conditions of Approval.

BACKGROUND AND EXISTING CONDITIONS:

In November 2004, the County of Orange approved the Ranch Plan Planned Community, which encompasses approximately 22,815 acres located east of I-5, north and south of Ortega Highway at Antonio Parkway/La Pata Avenue, within the Fifth Supervisorial District. As approved, the Ranch Plan Planned Community comprises 75 percent permanent open space and allows for the development of 14,000 dwelling units and 5,200,000 square feet (SF) of non-residential uses in the remaining 25 percent. It is regulated by the Ranch Plan PC Program Text which addresses the unique characteristics of the property and a development plan for the transition to suburban/urban uses occurring over a 25- to 30-year period.

The Master Area Plan (PA130006) and Subarea Plans (PA130001 - PA130004) for Planning Area 2 were approved on March 27, 2013. PA2 Master Area and Subarea Plan Amendments (PA150047) were approved May 22, 2017. Final Tract Map 17564 for Subarea 2.4 was approved on October 20, 201,5 by the County of Orange Board of Supervisors and was recorded on October 28, 2015. Vesting Tentative Tract Map (VTTM) 17575 was approved on April 3, 2019, for the entire Esencia Mixed-Use Center with the intent of developing the site in three phases. Final Tract Map 18194 for Phases 1 and 2 was approved on August 13, 2019, by the County of Orange Board of Supervisors and was recorded on September 4, 2019.

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On May 2, 2019, the Orange County Zoning Administrator approved Site Development Permit PA180026, for Phase 1 of the Esencia Mixed-Use Project. PA180026 allowed for the construction of 7 buildings including a 40,000 square foot fitness club, a 27,300 square foot roller-skating rink, 99,200 square feet of multi-tenant flex space, 135,136 square feet of mini-storage space, 876 off-street parking spaces, and two Project Specific Alternative Site Development Standards (ASDS). The first Project Specific ASDS allows a minimum building setback of 12 feet from an arterial highway where 25 feet is the minimum permitted. The second Project Specific ASDS allows for modifications of off-street parking regulations. Except for the fitness club (Lot 6) and roller-skating rink (Lot 9), all buildings and project site improvements approved by PA180026 have been constructed and are currently in operation.

On July 25, 2019, the Deputy Director, OC Development Services approved Changed Plan CP19-0038 to expand the project boundary and increase the total off-street parking to 896 spaces. on October 2, 2019, the Deputy Director, OC Development Services approved Changed Plan CP19-0071 to revise the square footages of the mini-storage buildings from 135,136 square feet to 129,942 square feet and decrease off-street parking from 896 to 894.

Phase 2 of the Esencia Mixed Use Center was approved under Site Development Permit PA190103 by the Deputy Director on July 10, 2020. PA190103 allowed for the construction of Los Patrones Apartments, a 92-unit residential apartment complex with a community recreation building on a 5.7-acre site. The apartment complex has been constructed and tenants are currently residing at the site.

On August 4, 2022, the Orange County Zoning Administrator approved Site Development Permit PA21-0077, for the Esencia Mixed-Use Center. PA21-0077 allowed for changes to uses allowed within Phase 1 and a Project Specific Alternative Site Development Standard. The proposal included a change of use from a 40,000 square foot fitness center to a 25,844 square foot flex space building on Lot 6, and a change of use from a 27,300 square foot roller skating rink to a 10,482 square foot day care center on Lot 9. The proposal also included a change of use to allow restaurants within the existing multi-tenant flex space buildings and a reduction of off-street parking from 894 to 835. The Project Specific Alternative Site Development Standard allows for reductions to off-street parking requirements for existing and future phases of the Esencia Mixed-Use Center.

On January 26, 2023, the Deputy Director, OC Development Services approved Changed Plan CP22-0075 to allow for a decrease of off-street parking from 835 to 828.

Proposed Project

The applicant Esencia Retail, LLC requests approval of a Site Development Permit to allow for the construction of the third and final phase of the Esencia Mixed-Use Center and a Project Specific Alternative Site Development Standard. The final phase will comprise of 14 buildings including 174,800 square feet of retail, restaurant, medical office, health/fitness uses, and a gas station. The project will also include an additional 7,200 square feet of designated outdoor eating areas associated with restaurant uses. The Project Specific Alternative Site Development Standard would allow for a modification to the Hours of Operation to permit 24-hour business operations for the Esencia Mixed-Use Center, instead of the permitted 7:00am to 11:00pm timeframe. The inclusion of Project Specific Alternative Site Development Standard requires that the Zoning Administrator, in a public hearing, be the approving authority for this project proposal per the Ranch Plan Planned Community Program Text and the 2020 County of Orange Zoning Code.

SURROUNDING LAND USE:

Land uses immediately surrounding the project site include the following:

• North: Phases 1 and 2 of the Esencia Mixed-Use Center

East: Los Patrones ParkwaySouth: Chiquita Canyon Drive

• West: Residential

Please refer to The Ranch Plan General Vicinity Map, Exhibit 1, and the Project Site Map, Exhibit 2 on the following page.

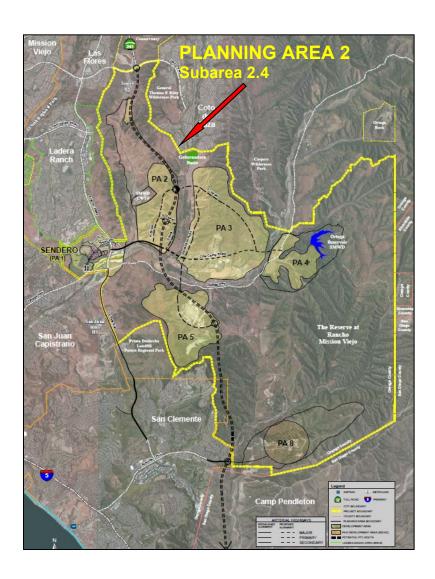


Exhibit 1 - General Vicinity Map

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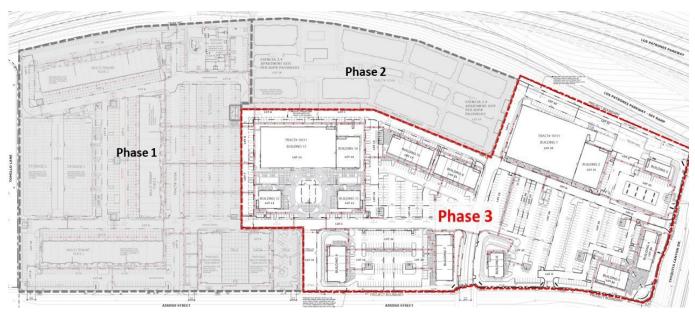


Exhibit 2 – Project Site Map

DISCUSSION/ANALYSIS:

General Description

The project proposes the construction of 174,800 square feet of commercial uses on an 18.37-acre site, located within Planning Area 2, Subarea 2.4. The project is the third and final phase of the Esencia Mixed-Use Center and will comprise 14 buildings including 88,600 square feet of general retail uses, 38,600 square feet of health/fitness uses, 36,400 square feet of restaurant uses, 9,200 square feet medical office uses, and a gas station with a 2,000 square foot automatic car wash. The project will also include six separate designated outdoor dining areas totaling 7,200 square feet. These designated outdoor dining areas will be associated with the restaurant uses located in buildings 4, 5, 7, 8, 11, and 12. The project has also incorporated an approximately 30,000 square foot open air plaza area into the project design. The plaza area will include pedestrian paths, water features, seating areas, and a 7000 square foot open turf area, referred to as the Plaza. The Plaza area will be located between buildings 11, 12, 13, and 14 and will serve as a central feature of the Esencia Mixed-Use Center.

The final phase will be located at the northeast corner of Chiquita Canyon Drive and Airoso Street, directly south of existing Phases 1 and 2. The project site plan has been designed to align with the existing pedestrian and vehicular paths of travel within Phases 1 and 2, and to be consistent with the existing hardscape/landscape layout. The scale and architectural style of the proposed buildings in the final phase will also be consistent with existing development to create a uniform project design across all phases.

Site Development Permits PA180026 and PA21-0077 approved the construction of 265,468 square feet of mixed-use commercial and light industrial uses in Phase 1 of the Esencia Mixed Use Center. A breakdown of the approved uses in Phase 1 is provided in the following Table.

Phase 1 Approved Uses

Approved Use	Square Footage
Day Care Center	10,482
	(22 emp, 192 stud)
Mini-Storage Facilities	129,942
Multi-Tenant Flex Space	Total 125,044
(4 Buildings)	
- General Office	40,391
- Medical Office	3,020
- Restaurant	10,065
- Health/Fitness	24,937
- Light Industrial	46,631
TOTAL	265,468

Except for the day care center, all approved uses in Phase 1 have been constructed and are currently in operation. Phase 2 of the Esencia Mixed Use Center, the 92-unit apartment complex, has also been constructed and currently has residents. However, the apartment complex is a stand-alone project that did not add any non-residential square footage to Phase 1 or have any impact on parking requirements.

Phase 3 proposes to add 174,800 square feet of commercial uses and 7,200 square feet of designated outdoor dining area, This will bring the Esencia Mixed Uce Center's total of mixed-use commercial and light industrial uses to 447,468 square feet. A breakdown of the proposed uses in Phase 3 is proved in the Table below.

Phase 3 Proposed Uses

Building / Suite	Proposed Use	Square Footage
1	Retail	46,800
2	Retail - Grocery	12,200
3a	Retail – Convenience	3,500
3b	Car-Wash	2,000
4a	Retail -Wireless	1,623
4b	Restaurant	1,377
4c	Restaurant	1,500
4d	Restaurant	2,000
	Designated Outdoor Dining	800
5a	Restaurant	2,024
5b	Restaurant	1,250
5c	Medical-Urgent Care	1,512
5d	Medical-Urgent Care	1,714
	Designated Outdoor Dining	800
6a	Restaurant - Drive Thru	2,212
6b	Restaurant	1,207
6c	Restaurant	1,081

Building / Suite	Proposed Use	Square Footage
7a	Restaurant	1,868
7b	Retail	1,657
7c	Retail	1,875
7d	Restaurant	1,600
7e	Restaurant	2,200
	Designated Outdoor Dining	1,300
8a	Restaurant - Drive Thru	2,500
8b	Restaurant	1,856
8c	Restaurant	1,541
8d	Restaurant	1,903
	Designated Outdoor Dining	800
9a	Medical	2,000
9b	Retail	1,200
9с	Fitness	1,600
9d	Medical	1200
9e	Retail	1,417
9f	Retail	2,583
10a	Medical	2,783
10b	Retail	1,500
10c	Retail	1,717
10d	Retail	1250
10e	Retail	2,750
11	Restaurant	5,000
	Designated Outdoor Dining	1,750
12	Restaurant	5,000
	Designated Outdoor Dining	1,750
13	Health/Fitness Club	37,000
14	Retail	8,800
Building Squ	uare Footage	174,800
Designated	Outdoor Dining	<u>7,200</u>
Phase 3 Tot	al	182,000
Phase 1 Tot	al	265,468
TOTAL		447,468

A total of 828 parking spaces are currently available within several parking areas dispersed throughout Phase 1 of Esencia Mixed Use Center. 42 of the existing parking spaces will be revised to accommodate the proposed development in Phase 3. Phase 3 will also add 710 new parking spaces to the Esencia Mixed Use Center, bringing the parking total to 1,538 spaces. The proposed parking for the overall Esencia Mixed Use Center is further discussed on Page 9 of this report.

Site Development Standards

Except for the proposed Project Specific ASDS, the proposed project complies with the standards and requirements set forth in the Ranch Plan Planned Community Program Text and applicable Orange County Zoning Code (ZC) regulations. The proposed commercial uses are principal permitted uses under Urban Activity Center, subject to a Subarea Plan and a Site Development Permit pursuant to PC Text Section III.D.1.a.2)

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Below is a comparison of the existing Phase 1 project site and the proposed uses with the Ranch Plan PC Program Text Use Regulations & Development Standards for "Urban Activity Center" (PC Section III.D.1.d.).

Project Comparison with the Urban Activity Center Site Development Standards

Standard	Required/Permitted	Proposed		
1) Minimum Site Area	No minimum	Complies. 18.3 acres (Phase 3)		
2) Maximum Bldg. Height	45' plus 10'/10% Arch Features (plus up to 60' tall, 20' by 20' wide architectural feature that includes wireless facilities (as allowed by PA2 Area Wide ADS (PA130006))	Complies. • Building 1 – Max height 38', with 60' high arch feature for future wireless facility • All other buildings – Max height 35'		
	a) 20' from property line abutting residential	Complies. 46' to nearest residential property line		
_, _ , , ,	b) 25' from arterial highway R-O-W	Complies. 41'		
3) Building setbacks	c) 20' from Collector Street	Complies. 22'-6"		
	d) 15' from Local Street	Complies. 21'-6"		
	e) From interior property lines: No minimum	Not Applicable		
4) Hours of Operation	7:00 a.m. to 11:00 p.m.	12:00am to 12:00am (24-hours)*		
5) Parking	PC Text § III.K.3 Exceptions or modifications of Off-Street Parking Requirements	1,538 Off-Street Parking Spaces. Fehr and Peers parking assessment (2-22-22) **		
6) Signs	PC Text § III.L	Complies. See Monument sign plans (Sheets SP, MX, M1-M5)		
	a) Within areas where main buildings may be placed: 45'	Complies. Screen Walls Max height 8'		
7) Fences and Walls	b) Front Setback Area: 3½'	Not applicable		
	c) Other Setback Areas: 6'	Not applicable		
	d) Along alleys: 7'	Not applicable		
9) Trash & Refuse Disposal	Shielded from view by 6'+ wall	Complies. See trash enclosure plans (Sheet L4)		

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Standard	Required/Permitted	Proposed		
	a) Abutting areas zoned Residential: 6' to 7'	Not applicable: The abutting Los Patrones Apartments is zoned Urban Activity Center		
	b) Parking Abutting Hwy: 36" to 42"	Complies. 36"-42" landscape screening proposed along east property line abutting Los Patrones Parkway (Sheet L6)		
10) Screening	c) Where finished property elevation is higher/lower than abutting property, changes in elevation may be used in combination with additional screening to satisfy screening requirements	Complies. Elevation change between project site and adjacent Los Patrones Pkwy in combination with proposed landscaping shall provide adequate screening.		
	d) Screening shall consist of one or any combination of walls, berms, fences, and landscaping	Complies. Refer to a), b), and c) above.		
	e) Mech. Equipment Screening	Complies per elevation plans of proposed uses		
	a) 15' Depth Abutting Arterial Hwy	Complies. 15'		
11) Landscaping	b) 10% landscaping (incl. parking lot)	Complies. Approx. 17.5% of project site is landscape lots. Parking lot areas have been designed with shade trees. See Landscape Plan Sheet L6		
	c) Parking Lot Curb	Complies. Curbs provided		
	d) Irrigation	Complies. Per note on Landscape Plan		
12) Lighting	Direct rays to the premises	Complies per Site Photometric Plan (Sheet EP-1)		
13) Loading	Loading platform screened from adjacent streets, residential	Complies. Loading areas behind buildings, screen walls		
14) Enclosed Uses	All uses enclosed except off-street parking, loading areas, outdoor dining areas, etc.	Complies.		
15) Service Station	a) Reverse Mode: Mechanical bays shall face away from public streets	Not applicable. No mechanical bays proposed		
Requirements	b) 25' building height	Complies. Max height 24'		

Standard	Required/Permitted	Proposed
	c) 17' setback from street R-O-W	Complies. 55'
	d) No automobile storage	Not applicable. No automobile storage proposed
	e) Screening landscaping, lighting, loading and enclosed uses are all per the Urban Activity Center standards	Complies.

^{*} A Project Specific ASDS is being requested by the applicant.

Parking

Previously approved Project Specific ASDS

Site Development Permit PA21-0077 approved a Project Specific ASDS for modified off-street parking requirements for the entire Esencia Mixed-Use Center. The parking assessment dated February 22, 2022, prepared by Fehr & Peers, established modified minimum parking standards by utilizing parking demand rates from *Parking Generation*, 5th Edition (Institute of Transportation Engineers (ITE), 2019), and monthly variation and time-of-day factors from *Shared Parking*, *Third Edition* (Urban Land Institute (ULI), 2020). To calculate the amount of parking required for the entire Esencia Mixed Use Center, the parking assessment established a maximum square footage for each type of use to be established in the overall project site.

The following table shows the existing uses in Phase 1 and future uses in Phase 3 that the parking assessment analyzed for the entire Esencia Mixed-Use Center under PA21-0077.

Approved Esencia Mixed-Use Center Modified Parking Standards (PA21-0077)

Proposed Use	Square Feet	Spaces per Parking Assessment*			
		Weekday	Weekend		
Day Care Center (Phase 1)	10,482 (22 emp, 192 stud)	15	15		
Mini-Storage Facilities (Phase 1)	129,942	9	7		
Multi-Tenant Flex Space	Total 125,044				
(Phase 1)	(99,200 existing, 25,844 proposed)				
- General Office	40,391	87	11		
- Medical Office	3,020	6	0		
- Restaurant	10,065	103	133		
- Health/Fitness	24,937	77	44		
- Light Industrial	46,631	28	3		

^{**}A Project Specific ASDS establishing modified shared parking standards was previously approved for the Esencia Mixed Use Center under PA21-0077.

Proposed Use	Square Feet	Spaces per Parking Assessment*		
		Weekday	Weekend	
Restaurant (future phases)	45,250	460	599	
Retail (future phases)	129,282	526	613	
TOTAL	440,000	1,311	1,425	
* Reflects the proposed modified par	king standards per Fehr &	Peers Parking Ass	essment	

The table shows the Spaces per Parking Assessment based on the evaluation of peak demands at different times of the day and the week. Based on the listed uses and square footages, the parking assessment established that peak parking demand for the entire Esencia Mixed Use Center would occur on weekends requiring a minimum of 1,425 spaces. To ensure future phases of development are consistent with the analysis and determination made for reduced parking standards, Site Development Permit PA21-0077 included the following Condition of Approval #14:

A site development permit shall be required for all future phases of development within the Esencia Mixed Use Center that were not a part of the precise plans for Phase 1 (site development permits PA180026 and PA21-0077) or the precise plans for Phase 2 (site development permit PA190103). All site development permits for future phases shall be consistent with Site Development Permit PA21-0077 in their uses and parking provided. Site Development Permit PA21-0077 approved a minimum project-wide parking requirement of 1,425 parking spaces for the entire Esencia Mixed Use Center based on the specific uses described in the February 22, 2022, Fehr & Peers PA21-0077 Parking Assessment. A site development permit resulting in a minimum project-wide parking requirement equal to or less than 1,425 spaces shall be subject to Director approval. A site development permit resulting in a minimum project-wide parking requirement greater than 1,425 spaces shall be subject to approval by the Zoning Administrator in a public hearing.

Consistent with Condition of Approval #14, the applicant has submitted this site development permit for the third and final phase of development within the Esencia Mixed Use Center. This site development permit also includes an updated parking assessment dated December 11, 2023, prepared by Fehr & Peers, to account for the specific uses and square footages proposed for this phase. The assessment utilizes the same parking demand rates and monthly variation and time-of-day factors that were used in the previous assessment. The following table shows the parking requirements for the existing uses in Phase 1 and the proposed uses in Phase 3 based on the updated parking assessment.

Approved Esencia Mixed-Use Center Modified Parking Standards

Proposed Use	Square Feet	Spaces per Parking Assessment*			
		Weekday	Weekend		
Day Care Center (Phase 1)	10,482	15	15		
	(22 emp, 192 stud)				
Storage Facilities (Phase 1) (mini-storage)	129,942	9	7		
Multi-Tenant Flex Space	Total 125,044				
(Phase 1)	(99,200 existing, 25,844				
	proposed)				
- General Office	40,391	90	11		
- Medical Office	3,020	6	0		
- Restaurant	10,065	103	133		
- Health/Fitness	24,937	77	44		
- Light Industrial	46,631	29	3		
Restaurant** (Proposed Phase 3)	40,859	371	541		
Retail (Proposed Phase 3)	80,624	328	383		
Health/Fitness(Proposed Phase 3)	46,952	180	83		
Medical Office(Proposed Phase 3)	9,273	35	0		
TOTAL	443,176	1,243	1,220		

^{*} Reflects the proposed modified parking standards per Fehr & Peers Parking Assessment

Based on the updated list of proposed uses and square footages, the parking assessment established that peak parking demand for the entire Esencia Mixed Use Center would occur on weekdays requiring a minimum of 1,243 spaces. Based on the revised peak parking demand determined for the Esencia Mixed Use Center, the 1,538 parking spaces proposed for the project would exceed the project's peak parking demand by 295 spaces.

OC Traffic Engineering reviewed the proposed parking assessment for consistency with the cited references; *Parking Generation, 5th Edition* (ITE) and *Shared Parking, Third Edition* (*ULI*). The Division's determination was that the updated modified parking standards are consistent with the metrics found in the cited references, and that the proposed modified parking standards would be adequate for the project based on the specific mix of uses identified. Land Development staff has reviewed the parking assessment and concurs with OC Traffic Engineering's determination. The proposed modified parking standards are adequate for the Esencia Mixed Use Center.

^{**}Includes proposed designated outdoor dining area

Project Specific Alternative Site Development Standard (ASDS)

The current proposal includes a request for a Project Specific ASDS to allow the Hours of Operation for the project site to be 12:00 a.m. to 12:00 a.m. (24-hours), instead of the standard 7:00 a.m. to 11:00 p.m. timeframe permitted. The proposed PSASDS for Hours of Operation would be applicable to the entire Esencia Mixed-Use project site (Phases 1 and 3). The inclusion of this Project Specific Alternative Site Development Standard requires that the Zoning Administrator, in a public hearing, be the approving authority for this project proposal per Ranch Plan Planned Community Program Text Section II.C.4.b. The Ranch Plan PC Text Section I.C.4.c. states that the Zoning Administrator shall make the findings listed in bold below as part of its approval of a Site Development Permit:

1) General Plan: The use or project proposed is consistent with the General Plan.

The proposed project is consistent with the General Plan which calls for this area to be developed as Urban Activity Center.

2) Ranch Plan PC Text and Zoning Code: The use, activity or improvements proposed by the application are consistent with the provisions of the Ranch Plan PC Text and provisions of the Zoning Code.

The applicant is requesting a Project Specific ASDS to allow the Hours of Operation for the project site to be 12:00 a.m. to 12:00 a.m. (24-hours), instead of the standard 7:00 a.m. to 11:00 p.m. timeframe permitted. Per the PC Text Section II.C.4.b., a Site Development Permit may be approved which establishes alternative site development standards for residential and non-residential projects and uses. The Zoning Administrator, in a public hearing, shall be the approving authority for all Site Development Permits proposing to modify site development standards, per 2020 Zoning Code Section 7-9-126.

If this PSASDS is approved, all other improvements proposed by the applicant are consistent with the provision of the Ranch Plan PC Text and 2020 Zoning Code.

3) CEQA: The approval of the development application is in compliance with the requirements of the California Environmental Quality Act.

The request complies with CEQA as stated on Page 16 of this report under "CEQA Compliance."

4) Compatibility: the location, size, design and operating characteristics of the proposed use will not create significant noise, traffic or other condition or situations that are objectionable, detrimental or incompatible with other permitted uses in the vicinity of the project area.

The proposed Site Development Permit is consistent with the location, size, design, and operating characteristics of the Urban Activity Center section of the Ranch Plan PC Text and would not have an adverse effect on noise, traffic, or other site conditions in the vicinity of the project area.

The PSADS to allow to allow the Hours of Operation for the project site to be 12:00 a.m. to 12:00 a.m. (24-hours) will not result in significant noise, traffic or other conditions or situations that are objectionable, detrimental or incompatible with other permitted uses in the vicinity of the project area. The proposed deviation would allow potential tenants the opportunity to establish hours of operation in line with the services they intend to provide. In turn, these services would be more readily available to residents and commuters in the area who do not have the opportunity to patronize the Esencia Mixed-Use Center during standard hours of operation. Although the proposed 24-hour business operations are being requested for the entire project site, it is not anticipated that all future tenants will operate 24 hours a day. Allowing 24-hour operations across the entire site is

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intended to provide future tenants the flexibility to be located anywhere on the project site. It is anticipated that the commercial uses which may operate 24 hours a day include a future supermarket, pharmacy, coffee/donut shops, fitness gym, and the gas station.

Potential noise impacts resulting from the extended hours of operations would be minimized due to location of the project site, orientation of the buildings, and distance of uses from surrounding residences. The closest residents will be the Los Patrones Apartments (Phase 2), which is located between Los Patrones Parkway and the eastern edge of the project site. The apartments were approved as part of the mixed-use project overall with commercial building orientation proposed to face away from the apartment site. The proposed buildings are approximately 80 to 100 feet away from the apartment site, with all building frontages facing away from the apartments. Around the project site, existing residential tracts are located west of Airoso Street and south of Chaquita Canyon Drive. Both areas have homes screened by 6-foot block walls, have elevation grade changes, and are also facing away from the project site separated by major streets. To the west, the closest homes are approximately 120-feet away from the nearest commercial building and to the south, the nearest homes are approximately 200-feet away.

To further minimize any potential noise impacts to the surrounding community, all outdoor events and activities (including outdoor dining) shall be prohibited from allowing the sales and service of alcohol and the use of amplified sound/music after 10 p.m. Condition of approval #14 has been included to address this requirement. Additionally, regardless of the extended hours of operation, the project shall comply with County of Orange Noise Ordinance, which establishes a maximum noise level of 50 dB(A) for the hours of 10:00 p.m. to 7:00 a.m.

5) General Welfare: the application will not result in conditions or circumstances contrary to the public health, safety and general welfare.

The proposed site development permit will not result in conditions or circumstances contrary to public health, safety and general welfare.

Per Ranch Plan PC Text §II.C.4.c, if a Site Development Permit proposes to modify site development standards, the following finding shall be made in addition to the findings above:

6) Equivalent or better project: The alternative development standard will result in an equivalent or better project in terms of reducing adverse impacts and/or providing additional or superior public benefits to the immediate and surrounding community.

The requested PSASDS to allow the Hours of Operation to be 12:00 a.m. to 12:00 a.m. (24-hours) will result in a better project as it will allow for expanded use of the Esencia Mixed Use Center by the surrounding community. Residents who are typically not able to utilize the site during the standard hours will now have an opportunity to do so. The proposed expanded hours of service will be provided without any compatibility, health, safety and welfare impacts to the community. As previously discussed, there are no potential adverse effects from the proposed PSASDS.

Staff supports the request for a Project Specific Alternative Site Development Standard based on the discussion above. With the approval of these Project Specific Alternative Site Development Standards, the project will result in an equivalent or better project that will be a benefit to the public and the surrounding community.

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Circulation

Vehicular access to the project site will be provided via one existing and two proposed ingress/egress points from Airoso Street on the west side of the project site, and one proposed ingress/egress point from Chiquita Canyon Drive on the south side. A system of drive aisles will traverse the project site providing adequate two-way vehicular circulation and allowing for direct vehicular access to the individual buildings.

Pedestrian circulation for the project site is provided via a system of 5-foot-wide pedestrian walkways that run throughout the project site. The pedestrian walkways will serve as a link between the individual buildings and parking areas. The walkways will also provide a link to the public sidewalks along Airoso Street and Chiquita Canyon Drive.

Landscape

The applicant has provided a conceptual landscape plan for the proposed project indicating all proposed landscaping and screening will be in compliance with the requirements of the Ranch Plan PC Text. Prior to grading permit issuance, the applicant shall provide detailed landscape plans that include more detailed information demonstrating compliance with the requirements of the 2016 Landscape Irrigation Code and Implementation Guidelines (Condition no.8).

<u>Signage</u>

A sign program for Phase 1 of the Esencia Mixed-Use Center was approved on March 19, 2020, by the Orange County Zoning Administrator under PA190211. All future signage within Phase 3 shall be consistent with the existing sign design established for the Esencia Mixed-Use Center. Condition of Approval #16 has been included to require that a revision to the Sign Program addressing the proposed buildings in Phase 3 be approved prior to the issuance of any sign permits.

Legal Building Site

The proposed project site is located on Lots 10 through 18, 20 through 36, C and D of VTTM 17575, which was approved by the Orange County Subdivision Committee on March 3, 2019. Final Map 19311 has been filed for the indicated lots and is being reviewed concurrently with this project. The lot configurations for the indicated lots have been revised on the final map with no change to the lot count. The site plan for this project has been designed to be consistent with the lot configurations as shown in Final Map 19311 and will become a legal building site upon recordation of the final map.

Fire Master Plan

The applicant has provided a copy of the Orange County Fire Authority (OCFA) Fire Master Plan, Service Request number 542475, approved on November 9, 2023. OCFA reviewed the proposed project and concurred with the proposal. OCFA and Land Development will continue to coordinate necessary plan reviews during the plan check review, permitting and construction process to ensure compliance with associated fire safety and fire protection requirements.

REFERRAL FOR COMMENT AND PUBLIC NOTICE:

Copies of the site development permit submittal package were distributed for review and comment to County staff and consultants, including Land Development, Traffic Engineering, and Building & Safety.

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Through a collaborative effort with County staff, the applicant adequately addressed all comments. As of the writing of this staff report, no further comments have been received from any County divisions.

A Notice of Public Hearing was mailed to all property owners of record within 300 feet of the subject site on February 1, 2024. Additionally, notices were posted at the project site, at the County Administration North (CAN) Building, at the Tustin Library and on the Orange County Public Works website as required by established public meeting posting procedures. No public comments have been received to date.

CEQA COMPLIANCE:

This project is a necessarily included element of the project considered in Final Program EIR 589, which was certified on November 8, 2004; Addendum 1.0, certified on July 26, 2006; Addendum 1.1, certified on February 24, 2011; and the Planning Area 2 Addendum, certified on March 27, 2013, which adequately addressed the effects of the proposed project. No substantial changes have been made in the project, no substantial changes have occurred in the circumstances under which the project is being undertaken, and no new information of substantial importance to the project which was not known or could not have been known when Final Program EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum were certified has become known; therefore no further environmental review is required for planning application PA23-0055.

CONCLUSION:

Based upon a review of the subject submittal, staff has determined that the proposed Site Development Permit to allow for changes to uses within Phase 1 of the Esencia Mixed-Use Center consists of principal permitted uses, subject to a Site Development Permit, under the Ranch Plan PC Program Text "Urban Activity Center" Section III.D. The proposed project is consistent with Ranch Plan PC Program Text and is compatible with the surrounding development. The proposed Project Specific Alternative Site Development Standard is consistent with Ranch Plan PC Text Section II.C.4 b, which provides for requests for Project Specific Alternative Site Development Standards subject to the approval of the Zoning Administrator in a public hearing. This project meets the findings in the Ranch Plan PC Text Section II.C.4.c. and is compatible with the surrounding development.

Staff recommends approval of the planning application PA23-0055 for a Site Development Permit including a Project Specific Alternative Site Development Standard, subject to the attached Findings and Conditions of Approval.

Sul	omi	tted	by:
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Bea Bea Fiménez

boxsign 110076121-1811PQ07Q

Bea Bea Jiménez, Division Manager, Land Development, OC Development Services Approved by,

Justin Kirk

Justin Kirk, Deputy Director OC Public Works, OC Development Services

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APPENDICES:

- A. Recommended Findings
- B. Recommended Conditions of Approval
- C. Ranch Plan Regulation Compliance Matrix- Site Development Permit Items

ATTACHMENTS:

- 1. Applicant's Letter of Project Proposal
- 2. Project Plans with Fire Master Plan
- 3. Fehr and Peers Parking Assessment December 11, 2023)

APPEAL PROCEDURE:

Any interested person may appeal the decision of the Zoning Administrator on this application to the Orange County Planning Commission within 10 calendar days of the decision upon submittal of required documents and a filing deposit of \$500.00 filed at the County Administration South (CAS) Building, 601 North Ross Street, Santa Ana. If you challenge the action taken on this proposal in court, you may be limited to raising only those issues you or someone else raised in written correspondence delivered to OC Development Services.

APPENDIX A



Appendix A Findings PA23-0055

1 EIR AND ADDENDUM PA23-0055 (Custom)

That the decision-maker has considered Final EIR 589, previously certified on November 8, 2004; Addendum 1.0 (PA060023) approved July 2006; Addendum 1.1 (PA110002-PA110006) approved February 24, 2011; and the Planning Area 2 Addendum (PA130001-PA130004) and PA130006) approved on March 27, 2013 prior to project approval.:

- a. Together, these documents reflect the independent judgment of the County and satisfy the requirements of CEQA for approval of PA23-0055, which is a necessarily included element contemplated as part of the whole of the action considered in Final EIR 589, Addendum 1.0, Addendum 1.1, and the Planning area 2 Addendum.;
- b. The circumstances of the project are substantially the same as described in Final EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum which adequately addressed the effects of the project proposed in PA23-0055. No substantial changes have been made in the project that involve new significant environmental effects or a substantial increase in the severity of previously identified significant effects; no substantial changes have occurred in the circumstances under which the project is being undertaken, that involve new significant environmental effects or a substantial increase in the severity of previously identified environmental effects; and no new information of substantial importance to the project which was not known or could not have been known when Final EIR 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum were certified and approved has become known; therefore, no further environmental review is required.
- c. All mitigation measures are fully enforceable pursuant to Public Resources Code section 21081.6(b) and have either been adopted as conditions, incorporated as part of the project design, or included in the procedures of project implementation.

2 ENVIRONMENTAL MONITORING PA23-0055 (Custom)

That the monitoring requirements of Public Resources Code Section 21081.6 (AB 3180) will be considered as having been met in that the design of the subject project, the satisfaction of the requirements of the County's building, grading, fire, and other codes and ordinances and the satisfaction of the conditions of approval applied to the project will implement the mitigation measures contained in EIR No. 589, Addendum 1 (PA06-0023), Addendum 1.1 (PA110003-0006), and the Planning Area 2 Addendum (PA130001-0004 and PA130006).

3 GENERAL PLAN PA23-0055

That the use or project proposed is consistent with the objectives, policies, and general land uses and programs specified in the General Plan adopted pursuant to the State Planning and Zoning Law.

4 ZONING PA23-0055 (Custom)

That the use, activity or improvement(s) proposed, subject to the specified conditions, is consistent with the Ranch Plan Planned Community Program Text and provisions of the Zoning Code.

5 COMPATIBILITY PA23-0055 (Custom)

That the location, size, design and operating characteristics of the proposed use will not create significant noise, traffic or other conditions or situations that are objectionable, detrimental or incompatible with other permitted uses in the vicinity of the project area.

6 GENERAL WELFARE PA23-0055

That the application will not result in conditions or circumstances contrary to the public health and safety and the general welfare.

7 PUBLIC FACILITIES PA23-0055

That the approval of the permit application is in compliance with Codified Ordinance Section 7-9-711 regarding public facilities (fire station, library, sheriff, etc.).

8 ALTERNATIVE DEVELOPMENT STANDARDS PA23-0055 (Custom)

That the alternative development standards will result in an equivalent or better project in terms of reducing adverse impacts and/or providing additional or superior public benefits to the immediate and surrounding community.

APPENDIX B

521: EIR 589 Standard Condition 4.4-1 (G01) - Geotechnical report

522: EIR 589 Standard Condition 4.4-2 (G02) – Conformance with TT Map 523: EIR 589 Standard Condition 4.4-2 (G02) – Revised TT Map (if necessary) 524: EIR 589 Stand. Cond. 4.4-3 (G04) – Off-site Letter of Consent (if necessary)



a. Prior to Issuance of Grading Permits

Appendix B Conditions of Approval

PA23-0055

1 RANCH PLAN REGULATION COMPLIANCE MATRIX PA23-0055 (Custom)

The applicant shall comply with all applicable requirements of the Ranch Plan Regulation Compliance Matrix: to the satisfaction of the appropriate decision maker listed in each applicable Regulation Compliance Matrix item. The applicable requirements are listed below and attached as Appendix C:

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525: EIR 589 Standard Condition 4.4-4 (G09) – Consistency with Planning Approval 527 & 527.1: EIR 589 Standard Condition 4.5-1 (D01a) – Drainage Study
527 & 527.1: EIR 589 Standard Condition 4.5-1 (DU1a) – Drainage Study
528 & 528.1: EIR 589 Standard Condition 4.5-2 (D02a) – Drainage Improvements
530 & 530.1: EIR 589 Standard Condition 4.5-3 (D02b) – Drainage Improvements
537 & 537.1: EIR 589 St. Cond. 4.5-8 (WQ01) – Water Quality Management Plan (WQMP)
538: EIR 589 St. Cond. 4.5-8 (WQ03) – Water Quality Management Plan (WQMP)
540: EIR 589 St. Cond. 4.5-10 (WQ04) – Stormwater Pollution Prevention (SWPPP)
541: EIR 589 St. Cond. 4.5-11 (WQ05) – Erosion and Sediment Control Plan
548: EIR 589 Standard Condition 4.6.5 (T07). Sight Distances
541: EIR 589 St. Cond. 4.5-11 (WQU5) – Erosion and Sediment Control Plan
548: EIR 589 Standard Condition 4.6-6 (T07) – Sight Distance
555, 555.1 through 555.5: EIR 589 Standard Condition 4.7-1 – Fugitive Dust
556, 556.1, 556.2 & 556.3: EIR 589 Standard Condition 4.7-2 – Emission Control
557: EIR 589 Standard Condition 4.8-1 (N10) – Hours of Construction
558, 558.1, 558.2, 558.3 & 558.4: EIR 589 St. Condition 4.8-2 (N10) – Construction Noise
 559 & 559.1: EIR 589 Standard Condition 4.8-3 (N01) - Sound Attenuation
 562: EIR 589 Standard Condition 4.8-6 (N08) - Noise Generating Equipment (Non-Residential
 567: EIR 589 Standard Condition 4.10-2 (LA02b) - Private Area Landscaping
 571: EIR 589 Standard Condition 4.11-1 (A04) – Archaeology Grading Observation and Salvage 574: EIR 589 Standard Condition 4.11-2 (A07) – Paleontology Resource Surveillance
 589: EIR 589 Standard Condition 4.14-2 - Hazardous Materials
 616: Ranch Plan Fire Prot. Program Cond. 3.d. - Precise Fuel Modification Plan
b. Prior to Precise Fuel Modification Plans:
 138: EIR 589 Mitigation Measure 4.9-27 - Invasive Plants and Fuel Modification
 c. Prior to Issuance of Building Permit:
 111: EIR 589 Mitigation Measure 4.7-3 - Use of Light-Colored Roof Materials
 140: EIR 589 Mitigation Measure 4.9-28 - Open Space habitat, light shields
 206: EIR 589 Mitigation Measure 4.15-5 – Capistrano Unified School District fees 526: EIR 589 Standard Condition 4.4-5 – Compliance with Code
537 & 537.1: EIR 589 St. Cond. 4.5-8 (WQ01) – Water Quality Management Plan (WQMP) 538: EIR 589 St. Cond. 4.5-8 (WQ03) – Water Quality Management Plan (WQMP) 540: EIR 589 St. Cond. 4.5-10 (WQ04) – Stormwater Pollution Prevention (SWPPP) 541: EIR 589 St. Cond. 4.5-11 (WQ05) – Erosion and Sediment Control Plan
 547: EIR 589 Standard Condition 4.6-5 (T05) - Major Thoroughfare & Bridge Fees
 550, 550.1, 550.2 & 550.4: EIR 589 Standard Condition 4.6-8 (T12) - Internal Circulation
 559.2 & 559.3: EIR 589 Standard Condition 4.8-3 (N01) - Sound Attenuation
 561 & 561.1: EIR 589 Standard Condition 4.8-5 (N02) – Non-Residential Development 562: EIR 589 Standard Condition 4.8-6 (N08) – Noise Generating Equipment (Non-Residential
562. EIR 589 Standard Condition 4.10-1 (LA01b) – Public Area Landscaping 570: EIR 589 Standard Condition 4.10-3 (LG01) – Light and Glare
 589: EIR 589 Standard Condition 4.14-2 – Hazardous Materials
617: Ranch Plan Fire Prot. Program Cond. 3.e. - Vegetation Clearance
d. Prior to Combustible Construction:
609: Ranch Plan Fire Prot. Program Cond. 2.d. - Emergency Access & Water Supply
 e. During Construction:
 197: EIR 589 Mitigation Measure 4.14-13 - ESA Remedial Measures
f. Prior to Certificates of Occupancy:
 529: EIR 589 Standard Condition 4.5-2 (D02a) – Drainage Improvements 531: EIR 589 Standard Condition 4.5-3 (D02b) – Drainage Improvements
 539, 539.1 & 539.2: EIR 589 Standard Condition 4.5-9 (WQ03) – Compliance with Water Quality Management Plan (WQMP)
 560: EIR 589 Standard Condition 4.8-4 (N09) – Multi-Family Residential Development 563: EIR 589 Standard Condition 4.8-7 (N12) – Transportation Corridor Notification
 565 & 566: EIR 589 Standard Condition 4.10-1 (LA01b) - Public Area Landscaping
 568 & 569: EIR 589 Standard Condition 4.10-2 (LA02b) - Private Area Landscaping
 618: Ranch Plan Fire Prot. Program Cond. 3.f. - Fuel Modification Zones
 g. Prior to Release of Grading Bond:
572 & 573: EIR 589 Standard Condition 4.11-1 (A04) – Archaeology Grading Observation and Salvage 575 & 576: EIR 589 Standard Condition 4.11-2 (A07) – Paleontology Resource Surveillance
                                              BASIC/ZONING REGULATIONS
                                                                                                                      PA23-0055
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ordinance, regulation or requirement.

BASIC/TIME LIMIT

This approval is valid for a period of 36 months from the date of final determination. If the use approved by this action is not established within such period of time, this approval shall be terminated and shall thereafter be null and void.

PA23-0055

This approval constitutes approval of the proposed project only to the extent that the project complies with the Orange County Zoning Code and any other applicable zoning regulations. Approval does not include any action or finding as to compliance or approval of the project regarding any other applicable

4 BASIC/PRECISE PLAN PA23-0055

Except as otherwise provided herein, this permit is approved as a precise plan. If the applicant proposes changes regarding the location or alteration of any use or structure, the applicant shall submit a changed plan to the Director, OC Planning, for approval. If the Director, OC Planning, determines that the proposed change complies with the provisions and the spirit and intent of the original approval action, and that the action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.

5 BASIC/COMPLIANCE PA23-0055

Failure to abide by and faithfully comply with any and all conditions attached to this approving action shall constitute grounds for the revocation of said action by the Orange County Planning Commission.

6 INDEMNIFICATION PA23-0055

Applicant shall defend with counsel approved by the County of Orange in writing, indemnify and hold harmless the County of Orange, its officers, agents and employees from any claim, action or proceeding against the County, its officers, agents or employees to attack, set aside, void, or annul any approval of the application or related decision, or the adoption of any environmental documents, findings or other environmental determination, by the County of Orange, its Board of Supervisors, Planning Commission, Zoning Administrator, Director of OC Public Works, or Director of Planning concerning this application. The County may, at its sole discretion, participate in the defense of any action, but such participation shall not relieve applicant of his/her obligations under this condition. Applicant shall reimburse the County for any court costs and attorney's fees that the County may be required to pay as a result of such action. The County shall promptly notify the applicant of any such claim, action or proceeding.

7 BASIC/APPEAL EXACTIONS PA23-0055

Pursuant to Government Code Section 66020, the applicant is hereby informed that the 90-day approval period in which the applicant may protest the fees, dedications, reservations or other exactions imposed on this project through the conditions of approval has begun.

8 PRIVATE LANDSCAPING PA23-0055

A. Prior to the issuance of precise grading permits, the applicant shall submit a detailed landscape plan for the project area which shall be approved by the Manager, Permit Services in consultation with the Manager, OC Planning. The plan shall be certified by a licensed landscape architect or a licensed landscape contractor, as required, as taking into account approved preliminary landscape plan (if any), County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, and water conservation measures contained in the County of Orange Landscape Code (Ord. No. 09-010) and shall comply with State's Model Water Efficient Landscape Ordinance (MWELO - Sections 490-495, Chapter 2.7, Division 2, Title 23 in the California Code of Regulations).

- B. Prior to the approval of final inspection, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan.
- C. Prior to the approval of final inspection, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Permit Services.

9 WATER QUALITY MANAGEMENT PLAN PA23-0055

Prior to the issuance of any grading or building permits, the applicant shall submit for review and approval by the Manager, Permit Services, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. The applicant shall utilize the Orange County Drainage Area Management Plan (DAMP), Model WQMP, and Technical Guidance Manual for reference, and the County's WQMP template for submittal. This WQMP shall include the following:

- Detailed site and project description
- Potential stormwater pollutants

10

- Post-development drainage characteristics
- Low Impact Development (LID) BMP selection and analysis
- Structural and Non-Structural source control BMPs
- Site design and drainage plan (BMP Exhibit)
- GIS coordinates for all LID and Treatment Control BMPs
- Operation and Maintenance (O&M) Plan that (1) describes the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identifies the entity that will be responsible for long-term operation and maintenance of the referenced BMPs; and (3) describes the mechanism for funding the long-term operation and maintenance of the referenced BMPs

The BMP Exhibit from the approved WQMP shall be included as a sheet in all plan sets submitted for plan check and all BMPs shall be depicted on these plans. Grading and building plans must be consistent with the approved BMP exhibit.

COMPLIANCE WITH THE NPDES IMPLEMENTATION PA23-0055 PROGRAM

Prior to the issuance of a certificate of use and occupancy, the applicant shall demonstrate compliance with the County's NPDES Implementation Program in a manner meeting the satisfaction of the Manager, OC Inspection, including:

- Demonstrate that all structural Best Management Practices (BMPs) described in the BMP Exhibit from the project's approved WQMP have been implemented, constructed and installed in conformance with approved plans and specifications
- Demonstrate that the applicant has complied with all non-structural BMPs described in the project's WQMP
- Submit for review and approval an Operations and Maintenance (O&M) Plan for all structural BMPs (the O&M Plan shall become an attachment to the WQMP;
- Demonstrate that copies of the project's approved WQMP (with attached O&M Plan) are available for each of the initial occupants;
- Agree to pay for a Special Investigation from the County of Orange for a date twelve (12) months after the issuance of a Certificate of Use and Occupancy for the project to verify compliance with the approved WQMP and O&M Plan
- Demonstrate that the applicant has RECORDED one of the following:
- 1. The CC&R's (that must include the approved WQMP and O&M Plan) for the project's Home Owner's Association;
- 2. A water quality implementation agreement that has the approved WQMP and O&M Plan attached; or
- 3. The final approved Water Quality Management Plan (WQMP) and Operations and Maintenance (O&M) Plan.

11 EROSION AND SEDIMENT CONTROL PLAN PA23-0055

Prior to the issuance of any grading or building permit, the applicant shall submit a Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Permit Intake, to demonstrate compliance with the County's NPDES Implementation Program and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. The ESCP shall be updated as needed to address the changing circumstances of the project site. A copy of the current ESCP shall be kept at the project site and be available for County review on request.

12 BEST MANAGEMENT PRACTICES PA23-0055

Prior to issuance of a building permit, the off-site regional Best Management Practices (BMPs) relied upon by this project (e.g., basins, swales, etc.) must be built and/or installed, and operational. The location and operation of these regional BMPs must be in compliance with the Final Project-Specific WQMP for the regional BMP(s). The location and operation of the regional BMP(s) must be demonstrated to the satisfaction of the Manager, Grading and Building Plan Check

13 FUTURE PHASES OF DEVELOPMENT PA23-0055 (Custom)

Site Development Permit PA23-0055 approved a minimum project-wide parking requirement of 1,243 parking spaces for the entire Esencia Mixed Use Center based on the specific uses and square footages described in the December 11, 2023, Fehr & Peers Parking Assessment. Prior to the issuance of a building permit, all future tenants/uses shall be determined to be consistent with the December 11, 2023, Fehr & Peers Parking Assessment, subject to the satisfaction of the Manager, Land Development. Any proposed future use resulting in a change to the specific uses and/or square footages approved under PA23-0055 shall require an updated Parking Assessment. A Parking Assessment resulting in a minimum project-wide parking requirement equal to or less than 1,243 spaces shall be approved under a Changed Plan subject to Director approval. A Parking Assessment resulting in a minimum project-wide parking requirement greater than 1,243 spaces shall require a site development permit subject to approval by the Zoning Administrator in a public hearing.

4 OUTDOOR USES PA23-0055 (Custom)

All outdoor events and activities (including outdoor dining) shall be prohibited from allowing the sales and service of alcohol and the use of amplified sound/music after 10PM.

15 MULTI-USE FLEX SPACE BUILDINGS PA23-0055 (Custom)

All existing and future uses within the Flex Space Buildings located on Lots 2, 3, 4, and 6 (125,044 SF total) shall be consistent with uses listed under flex space in the parking assessment (December 11, 2023) and the maximum square footage provided for each use (Attachment 3).

16 SIGN PROGRAM AMENDMENT PA23-0055 (Custom)

Prior to the issuance of any sign permits for Phase 3, an amendment to Sign Program PA190211 shall be approved addressing the proposed buildings in Phase 3 and the intended signage.

APPENDIX C

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
a. Pı	rior to I	ssuanc	e of Gra	ding Permi	ts							
521		EIR 589		Prior to the issuance of a grading permit	Geology and Soils:		Geology and Soils:	Prior to the issuance of a grading permit, the applicant shall submit a geotechnical report to the Manager of Subdivision—Manager OC Land Development and Grading, for approval. The report shall meet the requirements outlined in the County of Orange Grading Code and Manual. (County Standard Condition G01)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Submittal of satisfactory geotechnical report		Each PA
522		EIR 589		Prior to the issuance of a grading permit	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to the issuance of any grading permits, the Manager of Subdivision and Grading shall review the grading plan for conformance with the grading shown on the approved tentative map. If the applicant submits a grading plan which the Manager of Subdivision and Grading-Manager OC Land Development determines to show a significant deviation from the grading shown on the approved tentative map, specifically with regard to slope heights, slope ratios, pad elevations or configurations, the Subdivision Committee shall review the plan for a finding of substantial conformance. (County Standard Condition G02)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Approval of grading plan demonstrating submittal conformance with the grading shown on the approved TTM		Each PA
523		EIR 589	(cont.)	Prior to the issuance of a grading permit	Geology and Soils (cont.):		Geology and Soils (cont.):	If the Subdivision Committee fails to make such a finding, the applicant shall process a revised tentative map; or, if a final map has been recorded, the applicant shall process a new tentative map or a site development permit application per Orange County Zoning Code Sections 7-9-139 and 7-9-150. Additionally, the applicant shall process a new environmental assessment for determination by the decision making entity. (County Standard Condition G02)	Subdivision Committee review for substantial conformance, if required	Process new subdivision, if necessary		Each PA
524		EIR 589		Prior to the recordation of a subdivision map or prior to issuance of a Grading Permit, whichever comes first	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to the recordation of a subdivision map or prior to the issuance of any grading permit, whichever comes first, and if determined necessary by the County of Orange Manager, Subdivision and Grading, the applicant shall record a letter of consent from the affected property owners permitting off-site grading, cross lot drainage, drainage diversions and/or unnatural concentrations. The applicant shall obtain approval of the form of the letter of consent from the Manager, Subdivision and Grading Services before recordation of the letter. (County Standard Condition G04)	Planning & Development Services, Director, OC Public Works	Recordation of a letter of consent from affected property owners if determined necessary by County of Orange Director of Planning & Development Services		Each PA

Page 1

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
525		EIR 589		Prior to the issuance of grading permits	Geology and Soils (cont.):		Geology and Soils (cont.):	Prior to issuance of grading permits, the Manager of Subdivision and Grading Manager OC Land Development shall determine that the proposed grading is consistent with the grading depicted within the approved planning application. (County Standard Condition G09)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Approval of grading plan		Each PA
527		EIR 589		Prior to recordation of a Subdivision Map or issuance of a Grading Permit, whichever comes first	Drainage Study:		Drainage Study:	Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading permits, whichever comes first, the following drainage studies shall be submitted to and approved by the Manager, Subdivision and Grading: (County Standard Condition D01a)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Submittal of satisfactory of drainage study		Each PA
527.1		EIR 589	SC 4.5-1 (cont.)	See above	Drainage Study (cont.):		Drainage Study (cont.):	A. A drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; and B. When applicable, a drainage study evidencing that proposed drainage patterns will not overload existing storm drains; and C. Detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood. (County Standard Condition D01a)		See above		Each PA
528		EIR 589	SC 4.5-2	Prior to recordation of a Subdivision Map or Issuance of a Grading Permit, whichever comes first	Drainage Improvements:		Drainage Improvements:	A. Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any grading permits, whichever comes first, the applicant shall in a manner meeting the approval of the Manager, Subdivision and Grading: (County Standard Condition D02a)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Approval of storm drain drainage plans and offer(s) of dedication, if necessary		Each PA
528.1		EIR 589	SC 4.5-2 (cont.)	See above	Drainage Improvements (cont.):		Drainage Improvements (cont.):	1) Design provisions for surface drainage; 2) Design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and 3) Dedicate the associated easements to the County of Orange, if determined necessary. (County Standard Condition D02a)	See above	See above		Each PA

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
530		EIR 589	SC 4.5-3	Prior to the issuance of Grading Permits	Drainage Improvements (cont.):		Drainage Improvements (cont.):	A. Prior to the issuance of any grading permits, the applicant shall in a manner meeting the approval of the Manager, Subdivision and Grading: (County Standard Condition D02b)	County of Orange Director of Planning & Development Services, Director, OC Public Works	satisfactory drainage plans		Each PA
530.1		EIR 589	SC 4.5-3 (cont.)	See above	Drainage Improvements (cont.):		Drainage Improvements (cont.):	1) Design provisions for surface drainage; and 2) Design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and 3) Dedicate the associated easements to the County of Orange, if determined necessary. (County Standard Condition D02b)		See above		Each PA
537		EIR 589	SC 4.5-8	Prior to the recordation of a Subdivision Map or the issuance of any Grading or Building Permit, whichever comes first	Water Quality Management Plan:		Water Quality Management Plan:	Prior to the recordation of any final subdivision map (except those maps for financing or conveyance purposes only) or the issuance of any grading or building permit (whichever comes first), the applicant shall submit for review and approval by the Manager, Inspection Services Division, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. This WQMP shall identify, at a minimum, the routine structural and non-structural measures specified in the current Drainage Area Management Plan (DAMP). The WQMP may include one or more of the following: (County Standard Condition WQ01)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Submittal of satisfactory Water Quality Management Plan		Each PA
537.1		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Discuss regional water quality and/or watershed programs (if available for the project); Address Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas; Include the applicable Routine Source Control BMPs as defined in the DAMP. (County Standard Condition WQ01)		See above		Each PA
538		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Demonstrate how surface runoff and subsurface drainage shall be managed and directed to the nearest acceptable drainage facility (as applicable), via sump pumps if necessary. (Standard Condition of Approval, WQ03)	See above	See above		Each PA

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540		EIR 589	SC 4.5-10	issuance of any	Stormwater Pollution Prevention Plan.		Stormwater Pollution Prevention Plan.	Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a	Inspection Manager, OC Inspection Division (Regional Water	Provision of Notice of Intent and verification of a copy of the Storm Water Pollution Prevention Plan (SWPPP); at the project site		Each PA
541		EIR 589	SC 4.5-11	issuance of any	Erosion and Sediment Control Plan.		Erosion and Sediment Control Plan.	Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of	_	satisfactory Erosion and		Each PA

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548		EIR 589		Prior to the issuance of Grading Permits	Sight Distance:			Prior to the issuance of any grading permits, the applicant shall provide adequate sight distance per Standard Plan 1117 at all street intersections, in a manner meeting the approval of the Manager, Subdivision and Grading. The applicant shall make all necessary revisions to the plan to meet the sight distance requirement such as removing slopes or other encroachments from the limited use area in a manner meeting the approval of the Manager, Subdivision and Grading Services. (Standard Condition of Approval T07)	Planning & Development Services, Director, OC Public Works	Approved grading plans verifying adequate sight distance		Each PA

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555		EIR 589		Prior to the issuance of a grading permit	Fugitive Dust:		Fugitive Dust:	All construction contractors shall comply with South Coast Air Quality Management District (SCAQMD) regulations, including Rule 403, Fugitive Dust, and Rule 402, Nuisance. All grading (regardless of acreage) shall apply best available control measures for fugitive dust in accordance with Rule 403. To ensure that the project is in full compliance with applicable SCAQMD dust regulations and that there is no nuisance impact off the site, the contractor would implement each of the following:	County of Orange Director of Planning & Development Services, Director, OC Public Works	Verification of compliance with Rule 403 and Rule 402		Each PA
555.1		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	a. Moisten soil not more than 15 minutes prior to moving soil or conduct whatever watering is necessary to prevent visible dust emissions from traveling more than 100 feet in any direction.	See above	See above		Each PA
555.2		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	b. Apply chemical stabilizers to disturbed surface areas (i.e., completed grading areas) within five days of completing grading or apply dust suppressants or vegetation sufficient to maintain a stabilized surface.	See above	See above		Each PA
555.3		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	c. Water excavated soil piles hourly or cover with temporary coverings.	See above	See above		Each PA
555.4		EIR 589	_ ,	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	· · · · · · · · · · · · · · · · · · ·	See above	See above		Each PA
555.5		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	e. Wash mud-covered tires and under- carriages of trucks leaving construction sites.	See above	See above		Each PA
555.5		EIR 589	SC 4.7-1 (cont.)	See above	Fugitive Dust (cont.):		Fugitive Dust (cont.):	f. Provide for street sweeping, as needed, on adjacent roadways to remove dirt dropped by construction vehicles or mud, which would otherwise be carried off by trucks departing from project sites.	See above	See above		Each PA
556		EIR 589		Prior to issuance of a grading permit	Construction - ROC and NOX Emissions:		Construction - ROC and NOX Emissions:	The applicant shall comply with the following measures, as feasible, to reduce NO _X and ROC from heavy equipment.	County of Orange Director of Planning & Development Services, Director, OC Public Works	Place as general notes on approved grading plan		Each PA
556.1		EIR 589	(cont.)	See above	Construction Emissions:		Construction Emissions:	a. Turn equipment off when not in use for more than five minutes.		See above		Each PA
556.2		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions (cont.):		Construction Emissions (cont.):	b. Maintain equipment engines in good condition and in proper tune as per manufacturers' specifications.	See above	See above		Each PA

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556.3		EIR 589	SC 4.7-2 (cont.)	See above	Construction Emissions (cont.):		Emissions (cont.):	c. Lengthen the construction period during smog season (May through October) to minimize the number of vehicles and equipment operating at the same time.	See above	See above		Each PA

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
557		EIR 589		Prior to the issuance of grading permits	Hours of Construction:		Hours of Construction:	During construction, the project applicant shall ensure that all noise generating activities be limited to the hours of 7 a.m. to 8 p.m. on weekdays and Saturdays. No noise generating activities shall occur on Sundays and holidays in accordance with the County of Orange Noise Ordinance.		General note on approved grading plan		Each PA
558		EIR 589		Prior to the issuance of grading permits	Construction Noise:		Construction Noise:	A. Prior to the issuance of any grading permits, the project proponent shall produce evidence acceptable to the Manager, Building Permits Services, that: (County Standard Condition N10)		General note on approved grading plan		Each PA
558.1		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(1) All construction vehicles or equipment, fixed or mobile, operated within 1,000' of a dwelling shall be equipped with properly operating and maintained mufflers. (County Standard Condition N10)		See above		Each PA
558.2		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(2) All operations shall comply with Orange County Codified Ordinance Division 6 (Noise Control). (County Standard Condition N10)	See above	See above		Each PA
558.3		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	(3) Stockpiling and/or vehicle staging areas shall be located as far as practicable from dwellings. (County Standard Condition N10)	See above	See above		Each PA
558.4		EIR 589	SC 4.8-2 (cont.)	See above	Construction Noise (cont.):		Construction Noise (cont.):	B. Notations in the above format, appropriately numbered and included with other notations on the front sheet of the project's permitted grading plans, will be considered as adequate evidence of compliance with this condition. (County Standard Condition N10)	See above	See above		Each PA
559		EIR 589	SC 4.8-3	See below	Sound Attenuation:		Sound Attenuation:	The applicant shall sound attenuate all residential lots and dwellings against present and projected noise (which shall be the sum of all noise impacting the project) so that the composite interior standard of 45 dBA CNEL for habitable rooms and a source specific exterior standard of 65 dBA CNEL for outdoor living areas is not exceeded. The applicant shall provide a report prepared by a County-certified acoustical consultant, which demonstrates that these standards will be satisfied in a manner consistent with Zoning Code Section 7-9-137.5, as follows: (County Standard Condition N01)	Planning & Development Services and County of Orange	satisfactory acoustical analysis	Staff may determine that no attenuation is necessary, and no action is required (as occurred in PA1). In such a case a "not applicable" memo is to be prepared. Applicant and County staff to address AC units in side yards as soon as possible.	Each PA

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559.1		EIR 589	(cont.)	Prior to the recordation of a subdivision map or prior to the issuance of grading permits			Sound Attenuation (cont.):	a. Prior to the recordation of a subdivision map or prior to the issuance of grading permits, as determined by the Manager, Building Permits Services, the applicant shall submit an acoustical analysis report to the Manager, Building Permits Services, for approval. The report shall describe in detail the exterior noise environment and preliminary mitigation measures. Acoustical design features to achieve interior noise standards may be included in the report in which case it may also satisfy Condition B below. (County Standard Condition N01)		See above		Each PA
562		EIR 589		Prior to the issuance of building or grading permits	Noise- Generating Equipment (Non- Residential Projects):		Noise- Generating Equipment (Non- Residential Projects):	Prior to the issuance of any building or grading permits, the applicant shall obtain the approval of the Manager, Building Permits Services of an acoustical analysis report and appropriate plans which demonstrate that the noise levels generated by this project during its operation shall be controlled in compliance with Orange County Codified Ordinance, Division 6 (Noise Control). The report shall be prepared under the supervision of a County-certified Acoustical Consultant and shall describe the noise generation potential of the project during its operation and the noise mitigation measures, if needed, which shall be included in the plans and specifications of the project to assure compliance with Orange County Codified Ordinance, Division 6 (Noise Control). (County Standard Condition N08)	Building Permits, Manager, Permit Services (Building Plan Check)	Approved acoustical analysis		Each PA
567		EIR 589		Prior to the issuance of precise grading permits	Private Area Landscaping:		Private Area Landscaping:		Planning & Development Services, Director, OC	Approved detailed landscape plan for privately maintained common areas		Each PA

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571	172-176 (MM 4.11-3)	EIR 589	SC 4.11-1	issuance of any grading permits	Archaeology Grading Observation and Salvage:		Archaeology Grading Observation and Salvage:	archaeologist to observe grading activities	Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities	evidence that a County- certified archaeologist has been retained to observe grading and	If prior to rough grade (GA permit) applicant has obtained archaeological clearance, no additional review or clearance required if precise grading (GB) permit is in compliance with GA permit.	Each PA
574		EIR 589	SC 4.11-2	Prior to the issuance of any grading permits			Paleontology Resource Surveillance:	evidence to the Manager, Subdivision and Grading, that contractor has retained a County certified paleontologist to observe grading activities and salvage and catalogue fossils as necessary. The paleontologist shall be present at the pre-	Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works	evidence that a County- certified		Each PA
589		EIR 589		Prior to issuance of a grading and/or building permit	Hazardous Materials:		Hazardous Materials:	building permit, the contractor shall submit to the Fire Chief a list of all hazardous, flammable and combustible liquids, solids	County of Orange Director of Planning & Development Services Director, OC Public Works (OCFA)	Submittal of Hazardous Materials Assessment and Disclosure Statement		Each PA

Appendix C

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
616		Fire Prot. Prog.		Prior to the issuance of a GB precise grading permit	Precise Fuel Mod:		Precise Fuel Mod:	d) Prior to the issuance of a GB precise grading permit, the applicant shall provide the Manager, PDS Subdivision and Infrastructure Manager OC Land Development, with a clearance from OCFA indicating their review and approval of a Precise Fuel Modification Plan per RPFPP Section C.3.	Director, PDS, Director, OC Public Works	Provide the Manager, PDS- Subdivision and- Infrastructure- Manager OC Planned Communities with a clearance from OCFA demonstrating approval of a Conceptual Fuel Modification Plan		
COA# 3		PA2.3 "B" Map COAs		Prior to the issuance of any grading or building permits	WQMP			Prior to the issuance of any grading or building permits, the applicant shall submit for review and approval by the Manager, Permit Services, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. The applicant shall utilize the Orange County Drainage Area Management Plan (DAMP), Model WQMP, and Technical Guidance Manual for reference, and the County's WQMP template for submittal.	County of Orange Manager, Building Inspection Services, Manager, OC Inspection Division			Each PA

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COA# 3 (cont.)		PA2.3 "B" Map COAs		See above	WQMP			This WQMP shall include the following: - Detailed site and project description - Potential stormwater pollutants - Post-development drainage characteristics - Low Impact Development (LID) BMP selection and analysis - Structural and Non-Structural source control BMPs - Site design and drainage plan (BMP Exhibit) - GIS coordinates for all LID and Treatment Control BMPs - Operation and Maintenance (O&M) Plan that (1) describes the long-term operation and maintenance requirements for BMPs identified in the BMP Exhibit; (2) identifies the entity that will be responsible for long- term operation and maintenance of the referenced BMPs; and (3) describes the mechanism for funding the long-term operation and maintenance of the referenced BMPs The BMP Exhibit from the approved WQMP shall be included as a sheet in all plan sets submitted for plan check and all BMPs shall be depicted on these plans. Grading and building plans must be consistent with the approved BMP exhibit.	County of Orange Manager, Building Inspection Services, Manager, OC Inspection Division			Each PA

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b. P	rior to F	Precise	Fuel Mo	odification F	lans							
138	137 and 139 (EIR 589, MM 4.9-27) 514 (ROSA Exhibit G)	EIR 589	(cont.)	Prior to the approval of Precise Fuel Modification Plans	Biological Resources	California Exotic Pest Plant Council, OCFA Fuel Modification Plant List	Invasive Plants and Fuel Modification		Director, OC	authorized	Signature of Landscape Architect on approved Precise Fuel Modification Plan certifying plant palette: (a) complies with current OCFA plant list, and (b) does not include plants listed on the current invasive species list.	Each PA
c. P	rior to I	ssuanc	e of Bui	lding Permi	†							
111			MM 4.7-3	Prior to issuance of building permits		Light-colored roof materials	Use Light- Colored Roof Materials to Reflect Heat (Item Nos. 110- 111)	Prior to issuance of building permits, the applicant shall identify how the use of light-colored roof materials and paint to reflect heat to the extent feasible has been incorporated into the design plans.	Public Works	Issuance of Building Permit (Evidence of reflection of heat through home design)	Sustainability Issue	Each PA
140	141 (MM 4.9-28) 515 (ROSA Exhibit G)	EIR 589		Prior to the issuance of Building permits on streets for tracts with public street lighting adjacent to RMV Open Space habitat areas		Open Space habitat, light shields	Streetlight Shielding Adjacent to Open Space	, ,	Director, PDS Director, OC Public Works		Preparation of street improvement plans for public streets that detail how street lighting is to be directed away from RMV Open Space areas	Each Applica ble PA
206		EIR 589		Prior to issuance of residential building permits (excluding agequalified units)		California Government Code Section 65995	CUSD Agreement	Prior to issuance of any residential building permit, excluding senior housing, the applicant shall enter into an agreement with CUSD regarding the development of future facilities and payment of costs. The agreement shall, at a minimum, provide for the payment of fees pursuant to California Government Code Section 65995. If fees are paid, the amount of fees to be paid will be determined based on the established State formula for determining construction costs. Applicable fees shall be paid prior to the issuance of each building permit.	Unified School District (CUSD)	Negotiate and execute Mitigation Agreement regarding future school facilities and payment of costs		PC- Wide
526		EIR 589		Prior to the issuance of building permits	Geology and Soils (cont.):		Geology and Soils (cont.):	The proposed development shall be designed in compliance with the Uniform Building Code (UBC), accepted industry standards, and the County's earthquake safety Municipal Code requirements.	Development- Services, Director, OC	Verification of design development compliance with the UBC and Municipal Code requirements		Each PA

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537		EIR 589		Prior to the recordation of a Subdivision Map or the issuance of any Grading or Building Permit, whichever comes first	Water Quality Management Plan:		Water Quality Management Plan:	Prior to the recordation of any final subdivision map (except those maps for financing or conveyance purposes only) or the issuance of any grading or building permit (whichever comes first), the applicant shall submit for review and approval by the Manager, Inspection Services Division, a Water Quality Management Plan (WQMP) specifically identifying Best Management Practices (BMPs) that will be used onsite to control predictable pollutant runoff. This WQMP shall identify, at a minimum, the routine structural and non-structural measures specified in the current Drainage Area Management Plan (DAMP). The WQMP may include one or more of the following: (County Standard Condition WQ01)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Submittal of satisfactory Water Quality Management Plan		Each PA
537.1		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Discuss regional water quality and/or watershed programs (if available for the project); Address Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas; Include the applicable Routine Source Control BMPs as defined in the DAMP. (County Standard Condition WQ01)		See above		Each PA
538		EIR 589	SC 4.5-8 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Demonstrate how surface runoff and subsurface drainage shall be managed and directed to the nearest acceptable drainage facility (as applicable), via sump pumps if necessary. (Standard Condition of Approval, WQ03)		See above		Each PA

Item No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
540		EIR 589		,	Stormwater Pollution Prevention Plan.		Prevention Plan.	Prior to the issuance of any grading or building permits, the applicant shall demonstrate compliance under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number or other proof of filing in a manner meeting the satisfaction of the Manager, Building Permit Services. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP). A copy of the current SWPPP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ04)	Building Inspection Manager, OC Inspection Division (Regional Water Quality Control Board)	Provision of Notice of Intent and verification of a copy of the Storm Water Pollution Prevention Plan (SWPPP); at the project site		Each PA
541		EIR 589		Prior to the issuance of any Grading or Building Permits	Erosion and Sediment Control Plan.		Erosion and Sediment Control Plan.	Prior to the issuance of any grading or building permit, the applicant shall submit a Erosion and Sediment Control Plan (ESCP) in a manner meeting approval of the Manager, Building Permit Services, to demonstrate compliance with local and state water quality regulations for grading and construction activities. The ESCP shall identify how all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, and secured to prevent transport into local drainages or coastal waters by wind, rain, tracking, tidal erosion or dispersion. The ESCP shall also describe how the applicant will ensure that all BMPs will be maintained during construction of any future public right-of-ways. A copy of the current ESCP shall be kept at the project site and be available for County review on request. (County Standard Condition WQ05)	Building Permits, Manager, Permit Services (Building Plan Check)	satisfactory Erosion and		Each PA
547		EIR 589		issuance of	Major Thoroughfare and Bridge Fee Programs:		Major Thoroughfare and Bridge Fee Programs:	Prior to the issuance of building permits, the applicant shall pay fees for the Major Thoroughfare and Bridge Fee Program for the Foothill/Eastern Transportation Corridor, in a manner meeting the approval of the Manager, Subdivision and Grading. (County Standard Condition T05)	Planning & Development Services, Director, OC	Verification of payment of fees for the Major Thoroughfare and Bridge Fee Program		Each PA

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550		EIR 589		Prior to the recordation of a Subdivision Map or prior to the issuance of Building Permits, whichever occurs first			Internal Circulation:	A. Prior to the recordation of a subdivision map or the issuance of any building permits, whichever occurs first, the subdivider shall provide plans and specifications meeting the approval of the Manager, Subdivision and Grading, for the design of the following improvements: (County Standard Condition T12)	County of Orange Director of Planning & Development Services,	Submittal of satisfactory street improvement plans		Each PA
550.1		EIR 589	SC 4.6-8 (cont.)	See above	Internal Circulation (cont.):		Internal Circulation (cont.):	Internal street common private drive system. (County Standard Condition T12)	See above	See above		Each PA
550.2		EIR 589	SC 4.6-8 (cont.)	See above	Internal Circulation (cont.):		Internal Circulation (cont.):	2) Entrance to the site to emphasize that the development is private by use of signs and other features. (Standard Condition of Approval T12)	See above	See above		Each PA

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550.4		EIR 589	(cont.)	Prior to the issuance of Building Permits	Internal Circulation (cont.):		Internal Circulation (cont.):	C. Prior to the issuance of any building permits, the subdivider shall provide plans meeting the approval of the Manager, Subdivision & Grading, for the design of the internal pedestrian circulation system within the development. (County Standard Condition T12)	Planning & Development Services,	Submittal of satisfactory internal pedestrians circulation plans		Each PA
559.2		EIR 589	SC 4.8-3 (cont.)	Prior to the issuance of any building permits for residential construction	Sound Attenuation (cont.):			b. Prior to the issuance of any building permits for residential construction, the applicant shall submit an acoustical analysis report describing the acoustical design features of the structures required to satisfy the exterior and interior noise standards to the Manager, Building Permits Services, for approval along with satisfactory evidence which indicates that the sound attenuation measures specified in the approved acoustical report have been incorporated into the design of the project. (County Standard Condition N01)	Planning &	satisfactory acoustical analysis		Each PA
559.3		EIR 589	SC 4.8-3 (cont.)	See above	Sound Attenuation (cont.):		Sound Attenuation (cont.):	c. Prior to the issuance of any building permits, the applicant shall show all freestanding acoustical barriers on the project's plot plan illustrating height, location and construction in a manner meeting the approval of the Manager, Building Permits Services. (County Standard Condition N01)	See above	See above		Each PA
561		EIR 589	SC 4.8-5	Prior to the issuance of building permits	Non-Residential Development:		Non-Residential Development:	Except when the interior noise level exceeds the exterior noise level, the applicant shall sound attenuate all nonresidential structures against the combined impact of all present and projected noise from exterior noise sources to meet the interior noise criteria as specified in the Noise Element and Land Use/Noise Compatibility Manual. (County Standard Condition N02)	_	satisfactory acoustical		Each PA
561.1		EIR 589	SC 4.8-5 (cont.)	See above	Non-Residential Development:			Prior to the issuance of any building permits, the applicant shall submit to the Manager, Building Permit Services, an acoustical analysis report prepared under the supervision of a County-certified acoustical consultant which describes in detail the exterior noise environment and the acoustical design features required to achieve the interior noise standard and which indicates that the sound attenuation measures specified have been incorporated into the design of the project. (County Standard Condition N02)	See above	See above		Each PA

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562		EIR 589	SC 4.8-6	building or	Noise- Generating Equipment (Non- Residential Projects):		Noise- Generating Equipment (Non- Residential Projects):	Prior to the issuance of any building or grading permits, the applicant shall obtain the approval of the Manager, Building Permits Services of an acoustical analysis report and appropriate plans which demonstrate that the noise levels generated by this project during its operation shall be controlled in compliance with Orange County Codified Ordinance, Division 6 (Noise Control). The report shall be prepared under the supervision of a County-certified Acoustical Consultant and shall describe the noise generation potential of the project during its operation and the noise mitigation measures, if needed, which shall be included in the plans and specifications of the project to assure compliance with Orange County Codified Ordinance, Division 6 (Noise Control). (County Standard Condition N08)	Manager, Permit Services (Building Plan Check)	acoustical analysis		Each PA
564		EIR 589	SC 4.10-1		Public Area Landscaping:		Public Area Landscaping:	The applicant shall install landscaping, equip for irrigation, and improvements on lots in accordance with an approved plan as stated below: (County Standard Condition LA01b)	County of Orange Director of Planning & Development Services in consultation with Manager, HBP, Director, OC Public Works	Approved landscaping plan and irrigation plan		Each PA
564.1		EIR 589	SC 4.10-1 (cont.)	See above	Public Area Landscaping:		Public Area Landscaping:	a. Detailed Plan-Prior to the issuance of any building permit(s), the applicant shall submit a detailed landscape plan showing the detailed irrigation and landscaping design to the Manager, Subdivision and Grading for approval, in consultation with the Manager HBP/Program Management. Detailed plans shall show the detailed irrigation and landscaping design and shall take into account the previously approved landscape plan for the Ranch Plan project, the County Standard Plans for landscape areas, adopted plant palette guides, applicable scenic and specific plan requirements, Water Conservation Measures contained in Board Resolution 90-487 (Water Conservation Measures), and Board Resolution 90-1341 (Water Conservation Implementation Plan). (County Standard Condition LA01b)	See above	See above		Each PA

ltem No.	Cross Reference Column	Source	Condition, Mitigation, Public Benefit or Entitlement Provision	Timing	Subject	Keywords	Title	Requirements or Entitlement Provisions	Reviewing / Approving Authority (Advisory Agency in Parentheses)	Form of Compliance	Guidance for Compliance	Area Application
570		EIR 589		Prior to the issuance of building permits	Light and Glare:		Light and Glare:	Prior to issuance of any building permit, the applicant shall demonstrate that all exterior lighting has been designed and located so that all direct rays are confined to the property in a manner meeting the approval of the Manager, Building Permit. (County Standard Condition LG01)	Manager of	lighting study/plan	Low voltage lighting: landscape architect is the designer can sign off on the lighting. High voltage lighting: electrical engineer stamp required.	Each PA
589		EIR 589		Prior to issuance of a grading and/or building permit	Hazardous Materials:		Hazardous Materials:	Prior to the issuance of a grading or building permit, the contractor shall submit to the Fire Chief a list of all hazardous, flammable and combustible liquids, solids or gases to be stored, used or handled on site. These materials shall be classified according to the Uniform Fire Code and a document submitted to the Fire Chief with a summary sheet listing the totals for storage and use for each hazard class. (County Standard Condition FPC11A)	Planning & Development Services Director, OC Public Works	Submittal of Hazardous Materials Assessment and Disclosure Statement		Each PA
617		Fire Prot. Prog.		Prior to the issuance of a building permit for construction phases of Vesting Tentative Tract Maps adjoining fuel modification areas, and prior to the County of Orange allowing fuel tanks, generators and/or Lumber Drops	Vegetation Clearance:			e) Prior to the issuance of a building permit for construction phases of Vesting Tentative Tract Maps adjoining fuel modification areas, and prior to the County of Orange allowing fuel tanks, generators and/or Lumber Drops (see Section E, Definitions) within the project site, the applicant shall provide the Manager, Building & Safety, with a clearance from OCFA indicating that vegetation has been cleared and maintained at a height of 8 inches or less, or that the appropriate fuel modification thinning and removal of plants from the OCFA Undesirable Plant List has been implemented.	Public Works	Provide the Manager, Building & Safety, with a clearance from OCFA indicating that vegetation has been cleared and maintained		

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COA#3		PA2.3 Builer "B" Map COAs		Prior to the issuance of a building permit			BEST MANAGEMENT PRACTICES	Prior to issuance of a building permit, the off-site regional Best Management Practices (BMPs) relied upon by this project (e.g., basins, swales, etc.) must be built and/or installed, and operational. The location and operation of these regional BMPs must be in compliance with the Final Project-Specific WQMP for the regional BMP(s). The location and operation of the regional BMP(s) must be demonstrated to the satisfaction of the Manager, Grading and Building Plan Check.	Director, PDS, Manager, Permit Services (Building Plan Check)			
COA#6		PA2.3 Builer "B" Map COAs		Prior to the issuance of a building permit			BUYER NOTIFICATION MAP	Prior to the issuance of any building permits for residential construction, the developer RMV Community Development, LLC, shall prepare a map denoting the existing and proposed land uses, arterial highways, and public facilities within the surrounding area for the approval of the Manager, OC Planning. The map content, display, and distribution shall be in accordance with the Buyer Notification Program guidelines listed in Board of Supervisors Resolution 82-1368 and as amended.	Director, PDS, Director, OC Public Works			

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	rior to	Combu		onstruction								
609			Cond. 2.d.	Prior to initiation of combustible construction	A Map Fire Master Plan (cont.):		A Map Fire Master Plan (cont.):	 d) Prior to initiation of combustible construction the following fire master plan improvements shall be verified by site inspection: • Emergency access • Water Supply 	Director, PDS, Director, OC Public Works	Site inspection		
e. D	uring C	onstru	ction									
197	196 (EIR 589, MM 4.14-13)		MM 4.14-	During construction	Hazards and Hazardous Materials	Remedial measures	ESA Remedial Measures	If soil is encountered during site development that is suspected of being impacted by hazardous materials, work will be halted and site conditions will be evaluated by a qualified environmental professional. If requested by the qualified environmental professional, the results of the evaluation will be submitted to OCHCA and/or RWQCB, and the appropriate remedial measures will be implemented, as directed by OCHCA, RWQCB, or other applicable oversight agency, until all specified requirements of the oversight agencies are satisfied and a no-furtheraction status is attained.	(Orange County Health Care Agency)	Stop work upon encountering condition; prepare evaluation and submit to OCHCA and/or RWQCB (as directed)		Each PA
f. Pi	rior to Is	ssuanc	e of Cer	tificates of C	Occupancy	•						
529		EIR 589	SC 4.5-2 (cont.)	Prior to recordation of a Subdivision Map or Issuance of a Certificate of Use and Occupancy, whichever comes first	(cont.):		Drainage Improvements (cont.):	B. Prior to the recordation of a subdivision map (except maps for financing and conveyance purposes only) or prior to the issuance of any certificates of use and occupancy, whichever occurs first, said improvements shall be constructed in a manner meeting the approval of the Manager, Construction. (County Standard Condition D02a)	County of Orange Manager of Inspection, Manager, OC Inspection Division	Verification of construction of drainage improvement		Each PA
531		EIR 589	SC 4.5-3 (cont.)	Prior to the issuance of Certificates of Use and Occupancy	Drainage Improvements (cont.):		Drainage Improvements (cont.):	B. Prior to the issuance of any certificates of use and occupancy, said improvements shall be constructed in a manner meeting the approval of the Manager, Construction. (County Standard Condition D02b)	County of Orange Manager of Inspection, Manager, OC Inspection Division	Verification of installation of drainage improvement		Each PA

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539		EIR 589		Prior to the issuance of a Certificate of Use and Occupancy	Compliance with the WQMP:		Compliance with the WQMP:	Prior to the issuance of a certificate of use and occupancy, the applicant shall demonstrate compliance with the WQMP in a manner meeting the satisfaction of the Manager, Inspection Services Division, including: • Demonstrate that all structural Best Management Practices (BMPs) described in the project's WQMP have been implemented, constructed and installed in conformance with approved plans and specifications; • Demonstrate that the applicant has complied with all non-structural BMPs described in the project's WQMP; • Submit for review and approval an Operations and Maintenance (O&M) Plan for all structural BMPs for attachment to the WQMP;	Building Inspection, Manager, OC	Verification of compliance with Water Quality Management Plan		Each PA
539.1		EIR 589	SC 4.5-9 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	 Demonstrate that copies of the project's approved WQMP (with attached O&M Plan) are available for each of the incoming occupants; Agree to pay for a Special Investigation from the County of Orange for a date (12) twelve months after the issuance of a Certificate of Use and Occupancy for the project to verify compliance with the approved WQMP and O&M Plan; and (County Standard Condition WQ03) 		See above		Each PA
539.2		EIR 589	SC 4.5-9 (cont.)	See above	Water Quality Management Plan (cont.):		Water Quality Management Plan (cont.):	Demonstrate that the applicant has agreed to and recorded one of the following: 1) the CC&R's (that must include the approved WQMP and O&M Plan) for the project Home Owner's Association; 2) a water quality implementation agreement that has the approved WQMP and O&M Plan attached; or 3) the final approved Water Quality Management Plan (WQMP) and Operations and Maintenance (O&M) Plan. (County Standard Condition WQ03)		See above		Each PA

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560		EIR 589		Prior to the issuance of certificates of use and occupancy	Multi-Family Residential Development:		Multi-Family Residential Development:	Prior to the issuance of any certificates of use and occupancy, the applicant shall perform field testing in accordance with Title 24 Regulations to verify compliance with FSTC and FIIC standards if determined necessary by the Manager, Building Inspection Services. In the event such a test was previously performed, the applicant shall provide satisfactory evidence and a copy of the report to the Manager, Building Inspection Services, as a supplement to the previously required acoustical analysis report. (County Standard Condition N09)	County of Orange Manager of Building Inspection Services, Manager, OC Inspection Division	Verification of field testing in accordance with Title 24 Regulations to verify compliance with FSTC and FIIC standards or a copy of a previous test		Each PA
563		EIR 589		Prior to the issuance of certificates of use and occupancy	Transportation Corridor Notification:		Transportation Corridor Notification:	Prior to the issuance of certificates of use and occupancy, the developer shall produce evidence to the Manager, Building Inspection Services, that the Department of Real Estate has been notified that the project area is adjacent to a regional transportation corridor. The corridor is expected to be a high capacity, high-speed, limited-access facility for motor vehicles, and will have provisions for bus lanes and other mass transit type facilities. (County Standard Condition N12)	Inspection Services, Manager, OC Inspection Division	Submission of evidence that County of Orange Dept. of Real Estate has been notified the project area is adjacent to a regional transportation corridor		Each PA
565		EIR 589		Prior to the issuance of final certificates of use and occupancy and the release of financial security	Public Area Landscaping (cont.):		Public Area Landscaping (cont.):	b. Installation Certification: Prior to the issuance of final certificates of use and occupancy and the release of financial security, if any, guaranteeing the landscape improvements, said improvements shall be installed and shall be certified by a licensed landscape architect or licensed landscape contractor, as having been installed in accordance with the approved detailed plans. (County Standard Condition LA01b)	County of Orange Director of Planning & Development Services & Manager HBP, Director, OC Public Works	Landscaping and irrigation plan certification from landscape architect		Each PA
566		EIR 589		Prior to the issuance of final certificates of use and occupancy and the release of financial security	Public Area Landscaping (cont.):		Public Area Landscaping (cont.):	b. Installation Certification (cont): The applicant shall furnish said certification, including an irrigation management report for each landscape irrigation system, and any other required implementation report determined applicable, to the Manager, Construction, and the Manager, Building Inspection Services, prior to the issuance of any certificates of use and occupancy. (County Standard Condition LA01b)	County of Orange Manager, Construction and Manager, Building Inspection Services, Manager, OC Inspection Division	irrigation		Each PA

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568		EIR 589	SC 4.10-2 (cont.)	Prior to the issuance of certificates of use and occupancy	Private Area Landscaping (cont.):		Private Area Landscaping (cont.):	b. Prior to the issuance of certificates of use and occupancy, applicant shall install said landscaping and irrigation system and shall have a licensed landscape architect or licensed landscape contractor, certify that it was installed in accordance with the approved plan. (County Standard Condition LA02b)	County of Orange Director of Planning & Development Services, Director, OC Public Works	Certification from landscape architect that landscaping and irrigation system in accordance with the approved plan		Each PA
569		EIR 589	SC 4.10-2 (cont.)	Prior to the issuance of certificates of use and occupancy	Private Area Landscaping (cont.):		Private Area Landscaping (cont.):	c. Prior to the issuance of any certificates of use and occupancy, the applicant shall furnish said installation certification, including an irrigation management report for each landscape irrigation system, and any other implementation report determined applicable, to the Manager, Building Inspection Services. (County Standard Condition LA02b)	County of Orange Manager, Building Inspection Services, Manager, OC Inspection Division	Approved irrigation management report for each landscape irrigation system		Each PA
618		Fire Prot. Prog.	Cond. 3.f.		Occupancy Requirements:		Occupancy Requirements:	f) Prior to the issuance of any certificate of use and occupancy, the applicant shall provide the Manager, Building & Safety, with a clearance from OCFA indicating that: 1. Approved "A" Zone planting has been installed and approved irrigation has been activated. 2. Approved fuel modification zone markers have been installed. 3. Accessways every 500 feet (or as approved) have been installed. 4. Approved thinning of the "B" and "C" Zones and removal of plants from the OCFA Undesirable Plant List have been completed. 5. CC&Rs or other approved documents contain provisions for maintaining the fuel modification zones.	Director, PDS, Director, OC Public Works	Provide the Manager, Building & Safety, with a clearance from OCFA indicating installation and thinning		

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g. Pı	rior to I	Release	e of Grad	ding Bond								
572				Prior to the release of the grading bond	Archaeology Grading Observation and Salvage (cont.):		Archaeology Grading Observation and Salvage (cont.):	Prior to the release of the grading bond, the applicant shall obtain approval of the archaeologist's follow-up report from the Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities. The report shall include the period of inspection, an analysis of any artifacts found and the present repository of the artifacts. Applicant shall prepare excavated material to the point of identification. Applicant shall offer excavated finds for curatorial purposes to the County of Orange, or its designee, on a first refusal basis. (County Standard Condition A04)	County of Orange Manager, Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works	the archaeologist' s follow-up		Each PA
573		EIR 589	SC 4.11-1 (cont.)	Prior to the release of the grading bond	Archaeology Grading Observation and Salvage (cont.):		Archaeology Grading Observation and Salvage (cont.):	These actions, as well as final mitigation and disposition of the resources shall be subject to the approval of the Manager, HBP/Coastal and Historical Facilities. Applicant shall pay curatorial fees if an applicable fee program has been adopted by the Board of Supervisor, and such fee program is in effect at the time of presentation of the materials to the County of Orange or its designee, all in a manner meeting the approval of the Manager, HBP/Coastal and Historical Facilities. (County Standard Condition A04)	Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works	payment of curatorial fee if an applicable		Each PA

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575		EIR 589	(cont.)	Prior to the release of the grading bond	Paleontology Resource Surveillance (cont.):		Paleontology Resource Surveillance (cont.):	Prior to the release of any grading bond, the contractor shall submit the paleontologist's follow up report for approval by the County Manager, HBP/Coastal and Historical Facilities. The report shall include the period of inspection, a catalogue and analysis of the fossils found, and the present repository of the fossils. The contractor shall prepare excavated material to the point of identification. The contractor shall offer excavated finds for curatorial purposes to the County of Orange, or its designee, on a first-refusal basis. (County Standard Condition A07)	Beaches & Parks HBP/Coastal and Historical	the paleontologist's follow-up		Each PA
576		EIR 589	(cont.)	Prior to the release of the grading bond	Paleontology Resource Surveillance (cont.):		Paleontology Resource Surveillance (cont.):	These actions, as well as final mitigation and disposition of the resources, shall be subject to approval by the HBP/Coastal and Historical Facilities. The contractor shall pay curatorial fees if an applicable fee program has been adopted by the Board of Supervisors, and such fee program is in effect at the time of presentation of the materials to the County of Orange or its designee, all in a manner meeting the approval of the County Manager, HBP/Coastal and Historical Facilities. (County Standard Condition A07)	Harbors, Beaches & Parks HBP/Coastal and Historical Facilities OC Public Works	payment of curatorial fee if an applicable		Each PA

ATTACHMENT 1



April 13, 2023, Updated August 23, 2023, Updated October 6, 2023, Updated November 10, 2023

Ms. Bea Bea Jiménez Division Manager, Land Development 601 N. Ross Street, 3rd Floor Santa Ana, CA 92703

Subject: Subarea 2.4 Esencia Commons Site Development Permit (PA23-0055)

Ms. Jiménez,

On behalf of Rancho Mission Viejo, we hereby submit the attached application to allow administrative approval of the Subarea 2.4 Mixed Use Center "Esencia Commons" Site Development Permit (PA23-0055).

Background:

On November 8, 2004, the Board of Supervisors (Board) approved a General Plan Amendment (Resolution No. 04-291); Zone Change (Resolution No. 04-292 and Ordinance No. 04-014); Development Agreement (Resolution No. 04-293 and Ordinance No. 04-015); and adopted Resolution No. 04-290, certifying Final Environmental Impact Report (FEIR) No. 589 as complete, adequate, and in full compliance with the requirements of CEQA for the entire Ranch Plan Planned Community. Subsequently, settlement agreements were finalized in August 2005.

The Master Area Plan (PA130006) and Subarea Plans (PA130001- PA130004) for planning Area 2 were approved on March 27, 2013. PA2 Master Area and Subarea Plan Amendments (PA150047) were approved May 22, 2017. Final Tract Map 17564 for Subarea 2.4 was approved on October 20, 2015 by the County of Orange Board of Supervisors and was recorded on October 28, 2015. Vesting Tentative Tract map (VTTM) 17575 was approved on April 3, 2019 for the entire Esencia Mixed-Use Center with the intent of developing the site in three phases. Final Tract Map 18194 for Phases 1 and 2 was approved on August 13, 2019 by the County of Orange Board of Supervisors and was recorded on September 4, 2019. On May 2, 2019, the Orange County Zoning Administrator approved Site Development Permit PA180026, for Phase 1 of the Escencia Mixed-Use Project. PA180026 allowed for the construction of 7 buildings and 876 off-street parking spaces.

On July 25, 2019, the Deputy Director, OC Development Services approved Changed Plan CP19-0038 to expand the project boundary and increase the total off-street parking to896 spaces. On October 2, 2019, the Deputy Director, OC Development Services approved Changed Plan CP19-0071 to revise the square-footages of the mini-storage buildings and decrease off-street parking from 896 to 894.

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Phase 2 of the Esencia Mixed Use Center was approved under Site Development Permit PA190103 by the Deputy Director on July 10, 2020 for the Los Patrones Apartments. The Los Patrones Apartments included 92 units and has been constructed with tenants currently residing at the site.

On August 4, 2022, the Zoning Administrator approved PA21-0077 to allow changes in uses within Phase 1, conceptual layouts for site build out, 60 space park and ride facility, and for a Project Specific Alternative Site Development Standard to allow for reductions to off-street parking requirements. The approval of PA21-0077, accompanied by a parking study, assumed the total 440,000-square foot buildout of Subarea 2.4, assumed further parking analysis when the final-phase SDP is submitted, and would require Zoning Administrator approval if more than 1,425 parking spaces are required for buildout of the entire site (not including the 60-space park and ride facility) – see discussion at the bottom of Page 4.

Project Proposal:

The site development permit seeks to build on the approval of PA21-0077 by finalizing the build out of the site through 14 proposed buildings and uses with an updated parking study showing 1,243 required parking spaces while providing 1,539 total (1,478 stalls without the 60 park and ride spaces):

In addition, proposed monument signs are to be located throughout the site, with the locations, size and text shown on the signage sheet.

Also, a tower element will be added to the roof of Building 1, not to exceed 60-feet height, to allow for wireless transmission.

Consistency Analysis:

The proposed project is consistent with the appropriate Ranch Plan approvals, as described below:

- a. General Plan Project is consistent with General Plan Amendment GPA 01-01.
- b. Zoning The Ranch Plan PC Text Urban Activity zoning (Section III.D.1.a.2). allows the proposed uses as "Principal permitted uses subject to a Subarea Plan ... and a Site Development Permit ...".
- d. Area Plans Subarea Plan 2.4 (PA130004) allows Urban Activity Center Use, as did subsequent approval of the PA2 Area Plan Reallocation (PA150057).
- e. CEQA This Project is a necessarily included element of the projects considered in FEIR No. 589, certified by the Board on November 8, 2004; Addendum 1.0, approved on July 26, 2006; Addendum 1.1, approved on February 24, 2011; and the Planning Area 2 Addendum, approved on March 27, 2013; which adequately addressed the effects of the proposed Project. No subsequent changes have been made in the Project; no substantial changes have occurred in the circumstances under which the Project is being undertaken; and no new information of substantial importance to the Project which was not known or could not have been known when FEIR No. 589, Addendum 1.0, Addendum 1.1, and the Planning Area 2 Addendum were certified and approved have become known; therefore, no further environmental review is required.

- f. Alternative Development Standards Site Specific Alternative Site Development Standard requested for 24-hour business operations.
- g. Regulation Compliance Matrix Clearance of all applicable conditions of approval shall be confirmed per the Ranch Plan Regulation Compliance Matrix, including the PA2 Master Area Plan PA13-0006 and Subarea Plan 2.4 PA13-0004 conditions of approval.

Overall Square Footage

Phase / Use	Square Footage
Phase 1 Day Care	10,482
Phase 1 Storage Facility	129,942
Phase 1 Flex Space total	<u>125,044</u>
Flex Space – Office	• <u>40,391</u>
Flex Space – Light Industrial	• <u>46,631</u>
Flex Space – Health / Fitness	• <u>24,937</u>
Flex Space – Medical/Dental	• <u>3,020</u>
Flex Space – Restaurant	• <u>10,065</u>
Phase 1 Total	<u>265,468</u>
Phase 2 – 92 Apartments	
Phase 3 – Esencia Commons (breakdown	<u>177,594</u>
<u>below)</u>	
TOTAL	<u>443,176*</u>
*PA21-0077 originally assumed a total of 440,000 square	
foot based on an assumption of future uses. This	
application includes the actual number and has been updated through the application and parking study	
apaciou anough the application and parking study	

Project Total

<u>Use</u>	Square Footage
Retail	80,624
Restaurant	50,924
92 Apartments	
Health / Fitness	71,889
Medical / Dental	12,293
Office	40,391
Light Industrial	46,631
Daycare	10,482
Storage Facilities	129,942
Total	443,176

Phase 3 Building / Suite Square Footages

F			
			Total Gross
		Square	Square Footage (all
		Footage	buildings and
Building /		(Gross Floor	all dedicated
Suite	Use	Area)	patios)
1	Retail	46,572	46,800
	Utility Room	228	
2	Retail - Grocery	11,925	12,200
	Utility Room	275	
3a	Retail - Convenience	3,283	5,500
3b	Car-Wash	2,000	
	Utility Room	217	
4a	Retail -Wireless	1,389	7,300
4b	Restaurant	1,377	
4c	Restaurant	1,500	
4d	Restaurant	2,000	
	Utility Room	234	
	Dedicated Restaurant Patio	800	
5a	Restaurant	1,790	7,300
5b	Restaurant	1,250	
5c	Medical-Urgent Care	1,5 <mark>12</mark>	
5d	Medical-Urgent Care	1,714	
	Utility Room	234	
	Dedicated Restaurant Patio	800	
6a	Restaurant-Coffee	2,000	4,500
6b	Restaurant	1,207	
6c	Restaurant	1,081	
	Utility Room	212	
7a	Restaurant	1,868	10,500
7b	Retail	1,657	
7c	Retail	1,600	
7d	Restaurant	1,600	
7e	Restaurant	2,200	
	Utility Room	275	
	Dedicated Restaurant Patio	1,300	
8a	Restaurant - Drive Thru	2,500	8,600
8b	Restaurant	1,600	

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8c	Restaurant	1,541	
8d	Restaurant	2,903	
	Utility Room	256	
	Dedicated Restaurant Patio	800	
9a	Medical	2,000	10,000
9b	Retail	1,200	
9c	Fitness	1,600	
9d	Medical	1200	
9e	Retail	1,200	
9f	Retail	2,583	
	Utility Room	217	
10a	Medical	2,783	10,000
10b	Retail	1,500	
10c	Retail	1,500	
10d	Retail	1250	
10e	Retail	2,750	
	Utility Room	217	
11	Restaurant	4,788	6,750
	Utility Room	212	
	Dedicated Restaurant Patio	1,750	
12	Restaurant	4,788	6,750
	Utility Room	212	
	Dedicated Restaurant Patio	1,750	
13	Health/Fitness Club	36,725	37,000
	Utility Room	275	
14	Retail	8,525	8,800
	Utility Room	275	
Total Gross		174,800	182,000
	ted Outdoor Patio Space: 7,200 sq feet		

Determination of Floor Area

Per Zoning Code Section 7-9-24-2(b) "Determining Floor Area – Excluded from floor area", "Floor area does not include mechanical, electrical, and communication equipment rooms that are less than two percent (2%) of the building's gross floor area". Furthermore, per the Ranch Plan Planned Community Text, Off Street Parking requirements, dedicated restaurant patios above ten percent (10%) of the restaurant's square footage, would be required to be considered for parking requirements. In order to encapsulate floor area that considers utility rooms and dedicated restaurant patio space, a separate attachment has been created to show all buildings, each suite, utility rooms with percentage relation to building, and dedicated patio spaces above 10% of related suite. The brief floor area table below is a summary of the full details found on the attachment "Building Area Matrix".

Building Number	Floor Area*	Floor Area + Patio Area**
1	46,572	46,572
2	11,956	11,956
3	5,390	5,390
4	6,370	6,976
5	6,370	6,988
6	4,410	4,410
7	8,951	9,843
8	7,599	8,207
9	9,795	9,795
10	9,797	9,797
11	4,900	6,160
12	4,900	6,160
13	36,725	36,725
14	8,624	8,624
Total	172,359	177,594

^{*}If a building's mechanical/electrical/communication equipment room area is greater than 2% of gross floor area, subtract only 2% from the gross floor area. If a building's mechanical/electrical/communication equipment room is less than 2% of gross floor area, subtract the entire amount from the gross floor area to determine the floor area.

^{**}Includes dedicated outdoor restaurant patio square footage above 10% of related restaurant use per COA#15 of PA21-0077.

Page 7 of 11

Parking:

This Site Development Permit application is accompanied by the December 11, 2023 PA2.4 Esencia Commons Parking Assessment prepared by Fehr & Peers, an independent traffic engineering firm that has substantiated the basis for required parking for the entire PA2.4 retail site based on analysis of:

Total of 443,176 square feet of the following existing and proposed uses:

Land Use	Size
Retail	80,596 S.F.
Restaurant	50,842 S.F.
Daycare	10,482 S.F.
Office	40,391 S.F.
Light Industrial	46,631 S.F.
Health / Fitness Club	71,888 S.F.
Medical	12,290 S.F.
Storage	129,942 S.F.

• Shared Parking calculations per ITE 5th edition and the Urban Land Institutes "Shared parking Time-of-Day Factors, Third Edition".

Condition of Approval 14 of PA21-0077:

COA 14 of PA21-0077 states that "A site development permit shall be required for all future phases of development within the Esencia Mixed Use Center that were not part of the precise plans for Phase 1 (site development permits PA180026 and PA21-0077) or the precise plans for Phase 2 (site development permit PA190103). All site development permits for future phases shall be consistent with Site Development Permit PA21-0077 in their uses and parking provided. Site Development Permit PA21-0077 approved a minimum project-wide parking requirement of 1,425 parking spaces for the entire Esencia Mixed Use Center based on the specific uses described in the February 22, 2022, Fehr & Peers PA21-0077 Parking Assessment. A site development permit resulting in a minimum project-wide parking requirement equal to or less than 1,425 spaces shall be subject to Director approval. A site development permit resulting in a minimum project-wide parking requirement greater than 1,425 spaces shall be subject to approval by the Zoning Administrator."

Based on the provided October 6, 2023 Fehr & Peers Esencia Mixed-Use Project Parking Assessment (Project Number PA23-0055), 1,243 spaces will be required to meet parking demand while the site provides 1,478 spaces (not counting the 60 park and ride spaces). Based on the total demand being less than the previously approved 1,425 parking requirement,

Page 8 of 11

this site development permit complies with Condition of Approval 14 of PA21-0077 and only requires Deputy Director approval.

Hours of Operations:

Per the Ranch Plan Planned Community text, Urban Activity Centers and Neighborhood Centers are allowed to have hours of operations from 7AM to 11PM. Similar to PA150075 that was approved for Sendero Marketplace (Planning Area 1.4), a Project Specific Alternative Site Development Standard is being requested to allow 24-hour business operations. The proposed deviation would allow potential tenants the opportunity to establish hours of operations in line with the services they intend to provide. While the proposed 24-hour business operations are being requested for the entire project site, it is not anticipated that all future commercial tenants will operate 24 hours a day. As tenants are currently unknown for the project site, allowing 24-hour business operations across the entire site will allow flexibility for future tenants to be located anywhere on the project site. It is anticipated that the commercial uses which may operate 24 hours a day include a proposed supermarket, pharmacy, coffee/donut shops, fitness gym, and gas service station.

Potential noise impacts resulting from the extended hours of operations are minimized due to location of the project site, orientation of the buildings, and distance of uses from surrounding residences. The closest residents will be the Planning Area 2.4 apartments, which is located between Los Patrones Parkway and the eastern edge of the project site. The PA2.4 apartments were approved as part of the mixed-use project overall with commercial building orientation proposed to face away from the apartment site. The proposed fitness and grocery store buildings are roughly 80 to 100 feet away from the apartment site, with all frontages facing away from the apartments. Further out, existing residential tracts are located west of Airoso Street and south of Chaquita Canyon. Both areas have homes screened by 6-foot block walls, have elevation grade changes, and are also facing away from the project site separated by major streets. To the west, the closest homes are roughly 120-feet away from the nearest commercial building and to the south, the nearest homes are roughly 200-feet away.

To further address noise impacts on the surrounding community, outdoor events and activities, if any, will be restricted after 10PM and will have to comply with County noise standards. No amplified sound/music and outdoor events involving alcohol will be allowed after 10PM (separate temporary event permit or discretionary action required to consider gatherings/events that may possibly go past 10PM).

The following matrix is a summary of the proposed project's compliance with the Site Development Standards contained in the Ranch Plan Planned Community Program Text Section III.K. which are the Site Development Standards applicable for the shared recreation facility proposal.

Urban Activity Center	III.D.1.d. Site Development Standards	Compliance
1) Minimum Bldg. Area	No minimum	Complies

2) Building Height	45' max. (+ arch. Features within 10% of roof area	Complies
3) Building setbacks	a.) 20' min. from all property lines abutting residential areas. b)25' min. from arterial hwy R-O-W c) 20' min. from collector street R-O-W d) 15' min from local street R-O-W e) No minimum from interior property lines	Complies
4) Hours of Operation	Limited to 7:00am to 11:00pm	12:00AM – 12:00AM (24 Hours)*
6) Off-Street Parking	Compliance with Ranch Plan PC Text section III.K	Fehr & Peers report dated 04/11/23 recommends 1,319 spaces. 1,489 are provided (without the 60 park and ride spaces).
7) Signs	Compliance with PC Text Section III.L	See Signage sheet
8) Fences & Walls	a) equal to main bldg. height, exceptb) 3.5' within front setbackc) 6' within other setbackd) 7' along alleys	a) complies b) Not applicable c) Not applicable d) Not applicable
9) Trash & Refuse Disposal	All storage shall be shielded from view within a bldg. or area enclosed by a masonry wall not less than 6' in height and the container shall be covered to prohibit animal intrusion.	Complies. Accessibility path to be clarified in future submittals
10) Screening	a) 6' to 7' screening abutting residential areas b) 36" to 42" screening along arterial highways c) Difference in elevation may serve as screening d) Screening can be satisfied by walls, berms, fences or landscaping e) Roof-top mechanical equipment shall be screened	a) Existing 6' wall and 15- feet of screening proposed adjacent to residential neighborhood to north (Lennar TT17598) b) Screening to be provided along Los Patrones Pkwy to east and Airoso Dr to west c) Site is 5 to 10-feet higher in elevation relative to Los Patrones Pkwy to east. d) See "b" above e) Complies
11) Landscaping	a) 15' boundary landscaping abutting arterial highways	a) Complies abutting Los Patrones Pkwy to east and

Page 10 of 11

	b) Additional 10% of project area, 50%	Airoso Dr to west
	in parking area	b) Complies
	c) Separation by curb	c) Complies
	d) Irrigation & Maintenance	d) Complies
12) Lighting	All lighting, exterior and interior shall	Compliance with standard
12) Lighting	confine direct rays to the premises	condition LG-1
	All loading shall be performed on the	
13) Loading	site, screened from view from adjacent	Complies
13) Loading	streets and residences by walls and	Compiles
	berms	
14) Enclosed Uses	All permitted uses shall be contained	Complies
14) Eliciosed Oses	within a completely enclosed structure	Compiles
	a) Reverse Mode: mechanical bays	
	shall face away from public streets	
	b) Building height limit: 25-feet	
	c)Building setbacks: 17 feet from	
	ultimate right of way and 25-feet from	
	abutting residential.	
	d) no portion of a service station site	
15) Service Station	will be utilized for automobile storage	Complies
13) Service Station	other than for the temporary parking of	Compiles
	an automobile being serviced or for the	
	temporary use of employees during	
	working hours.	
	e) Screening, landscaping, lighting,	
	loading and enclosed uses are all per	
	the Urban Activity Center standards	
	above.	

*Indicates a deviation from standards that is considered a Project Specific Alternative Site Development Standard (ASDS) requiring approval by Zoning Administrator. Outdoor events and activities restricted after 10PM and will comply with County Noise Ordinance.

Environmental Analysis:

The PA2 Addendum was prepared by BonTerra Consulting in accordance with the provisions of CEQA (Sections 21000, et seq. of the California Public Resources Code), the State CEQA Guidelines (Title 14 California Code of Regulations Sections 15000, et seq.), and specifically Section 15164 of the CEQA Guidelines. Final Program EIR 589 and the PA2 Addendum to Final EIR No. 589 provide the necessary environmental evaluations and clearance for the proposed applications.

Review Parties:

Ms. Bea Bea Jiménez PA23-0055 Letter of Application

Updated November 10, 2023, Updated October 6, 2023; Updated August 23, 2023; April 13, 2023

Page 11 of 11

PA23-0055 would be reviewed by all applicable internal OC Public Works departments. No external entities would appear to have interest in reviewing PA23-0055. No cities are located near PA2. OCFA must approve the related Fire Master Plan.

Please contact me with any questions if you, or your staff, need any further information.

Sincerely,

Richard Vuong Rancho Mission Viejo

Attachment: Building Area Matrix 11-9-23

ATTACHMENT 2

Esencia - Subarea 2.4 Mixed Use Center Phase 3 Esencia Commons Site Development Plan

Tract # 19311 (Lots 10-18, & 20-36, Lots C, and D)
ORANGE COUNTY, CA
Developer: Los Patrones Retail Partners, LLC

PROJECT CONSTRUCTION TYPE: New SDP PERMIT: PA23-0055

WESTAR ASSOCIATES

4650 Von Karman Ave. Newport Beach, CA 92660

CONTACT: Jud Dutrisac (714) 241-0400

REVISION NO.	COUNTY REVISION DESCRIPTION - BLACK DELTA	APPROVAL SIGNATURE	DATE
2			
4			
5			

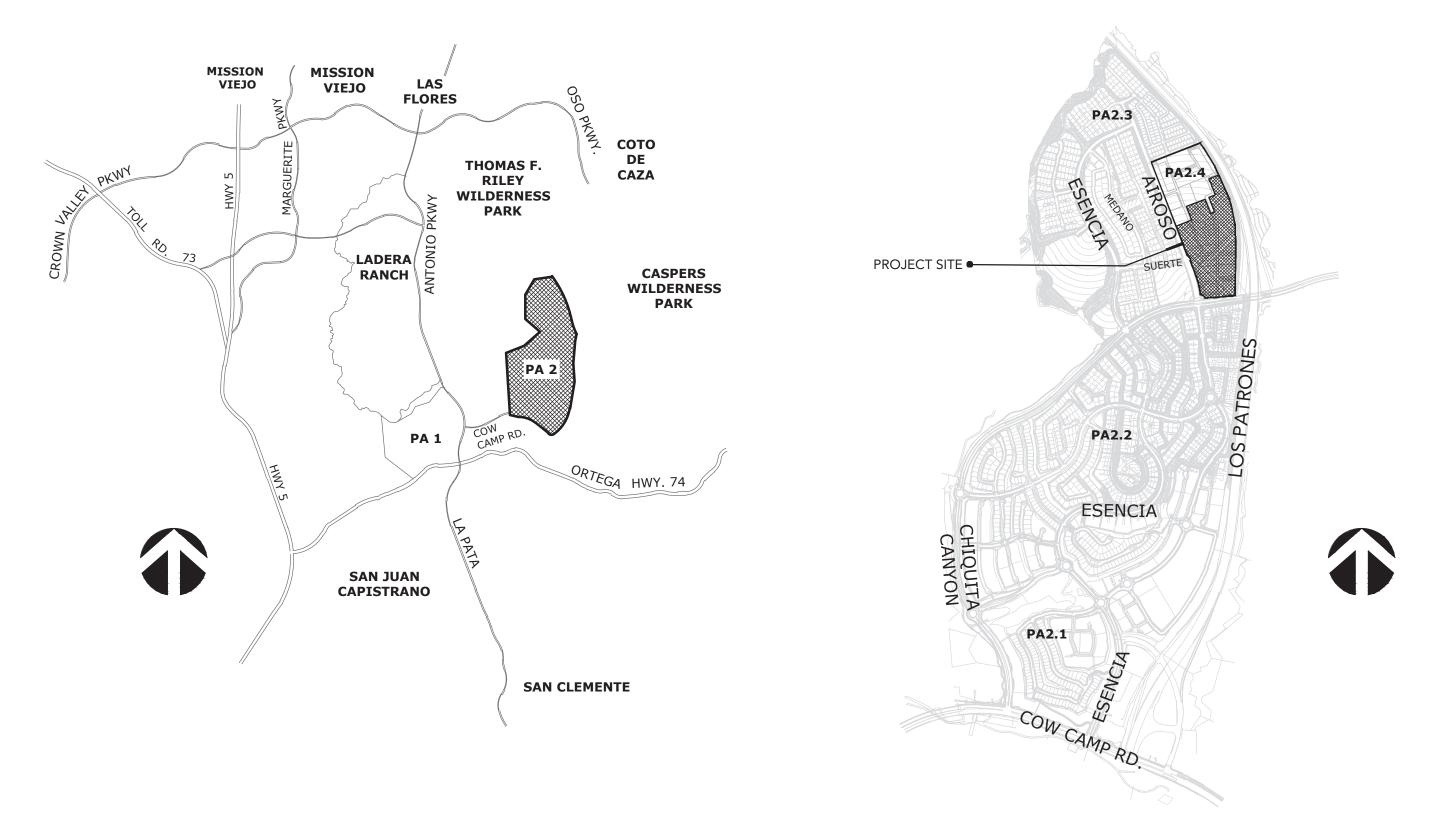
Ownership:Los Patrones Retail Partners, LLC

₩ Westar Associates

Legal Description:

Being a subdivision of Lots 10-18, & 20-36, Lots C and D of Tract No. 18194, as shown on a map filed in Book 961, pages 12 through 17, of miscellaneous maps, in the Office of The County Recorder of said County.

LOCATION MAP



CONSULTANTS

ARCHITECT

Architects Orange 144 North Orange Street Orange, CA 92866 (714) 639-9860 CONTACT: Sammy Saludo

CIVIL ENGINEER

Huitt Zollars
2603 Main Street, Suite 400
Irvine, CA 92614
(949) 988-5815 CONTACT: Victor Illig

LIGHTING ENGINEER 120 DEGREEZ 611 North Brand Boulevard

611 North Brand Boulevard Glendale, CA 91203 (619) 323-1515 CONTACT: Amir Amiri

SIGNAGE The Design F

The Design Factor 26432 Las Alturas Avenue Laguna Hills, CA 92653 (949) 459-0286 CONTACT: Robert Heyer

LANDSCAPE ARCHITECT Land Concern, LTD. 1750 East Deere

PRIMARY PROJECT & TENANT

Santa Ana, CA 92705 (949) 333-6307 Contact: Jill Sweeney

SHEETINDEX

PHOTOMETRIC PLAN

SIGNAGE SITE PLAN

PROJECT IDENTIFICATION CORNER

SIGNAGE MATRIX

MONUMENT SIGN

TITLE SHEET

U		1712	I KIMAKT I KOJECI & TENANT
1	SITE PLAN		IDENTIFICATION MONUMENT SIGN
2	SITE PLAN	M3	SECONDARY PROJECT & TENANT
3	OVERALL SITE PLAN		IDENTIFICATION MONUMENT SIGN
4	LANDSCAPE ELEVATIONS	M4	4 PANEL TENANT IDENTIFICATION
			MONUMENT SIGN
of 1	CIVIL SITE PLAN & CONCEPTUAL GRADING PLAN	M5	SERVICE STATION RATE IDENTIFICATION
			MONUMENT SIGN
1	BUILDINGS 1 & 2 - FLOOR PLAN AND ELEVATIONS		
-2	BUILDING 3 - FLOOR PLAN AND ELEVATIONS	L5	LANDSCAPE PLAN
3	BUILDING 4 - FLOOR PLAN AND ELEVATIONS	L6	LANDSCAPE PLAN
-4	BUILDING 5 - FLOOR PLAN AND ELEVATIONS		
-5	BUILDING 6 - FLOOR PLAN AND ELEVATIONS	P1	PARKING EXHIBIT
-6	BUILDING 7 - FLOOR PLAN AND ELEVATIONS	P2	PARKING EXHIBIT
-7	BUILDING 8 - FLOOR PLAN AND ELEVATIONS	Р3	PARKING CALCULATIONS & BUILDING USE
8	BUILDING 9 - FLOOR PLAN AND ELEVATIONS		
-9	BUILDING 10 - FLOOR PLAN AND ELEVATIONS	F-1	OCFA STANDARD FIRE MASTER PLAN NOTES
-10	BUILDING 11 - FLOOR PLAN AND ELEVATIONS	F-2	FIRE MASTER PLAN
-11	BUILDING 12 - FLOOR PLAN AND ELEVATIONS	F-3	FIRE MASTER PLAN
-12	BUILDINGS 13 & 14 - FLOOR PLAN AND ELEVATIONS	F-4	FIRE MASTER PLAN
-13	STREET-FACING ELEVATIONS		
-14	MATERIALS AND COLORS		

COUNTY REVISIONS

Esencia - Subarea 2.4

Mixed Use Center Phase 3

encia Commons Site Development Plan

LAND CONCERN LANDSCAPE ARCHITECTURE

1750 E DEERE AVE SANTA ANA, CA 92705 O 949.250.4822 www.landconcern.com

TITLE SHEET

PROJECT MANAGER

Akin Smith

A. Smith
DATE

December 11, 2023

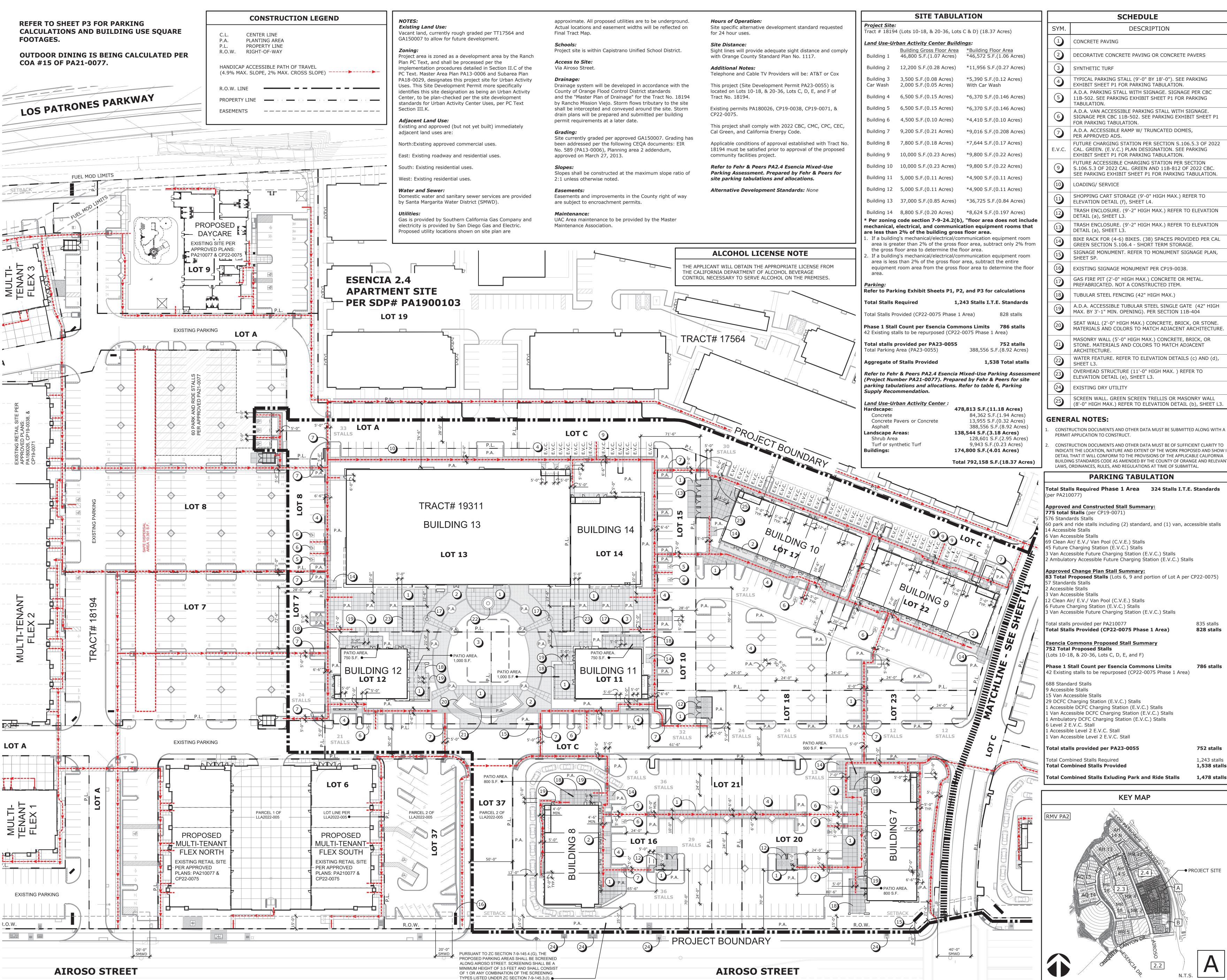
SHEET

X-0

mons SDP WST016.00

0055

PERMIT



REVIEWED FOR CODE COMPLIANCE applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these olans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations. **BUREAU VERITAS NORTH AMERICA, INC.** SIGNATURE: Trang Huynh, P.E. DATE: 1/11/2024

COUNTY REVISIONS

CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE OF SUFFICIENT CLARITY TO

INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVISIONS OF THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVAN LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL

Fotal Stalls Required Phase 1 Area 324 Stalls I.T.E. Standards 60 park and ride stalls including (2) standard, and (1) van, accessible stalls Van Accessible Future Charging Station (E.V.C.) Stalls Ambulatory Accessible Future Charging Station (E.V.C.) Stalls 33 Total Proposed Stalls (Lots 6, 9 and portion of Lot A per CP22-0075) 3 Van Accessible Future Charging Station (E.V.C.) Stalls 835 stalls

828 stalls

752 stalls

1,243 stalls

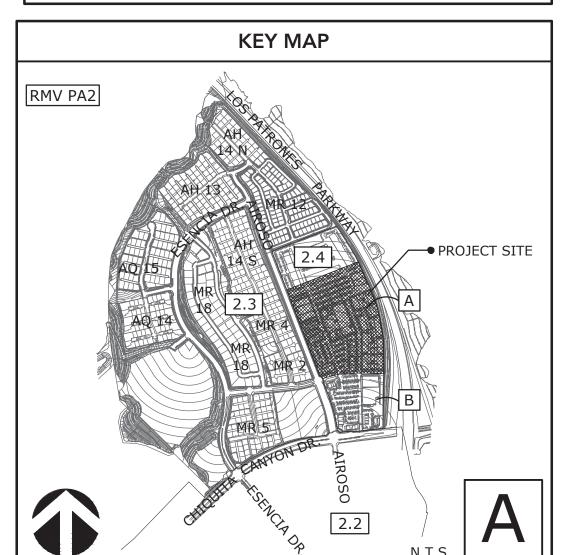
Total Stalls Provided (CP22-0075 Phase 1 Area)

Esencia Commons Proposed Stall Summary

Phase 1 Stall Count per Esencia Commons Limits 786 stalls 42 Existing stalls to be repurposed (CP22-0075 Phase 1 Area)

9 DCFC Charging Station (E.V.C.) Stalls Accessible DCFC Charging Station (E.V.C.) Stalls Van Accessible DCFC Charging Station (E.V.C.) Stalls Ambulatory DCFC Charging Station (E.V.C.) Stalls

> 1,538 stalls 1,478 stalls





1750 E DEERE AVE SANTA ANA, CA 92705 O 949.250.4822 www.landconcern.com

Q D

SITE DEVELOPMENT
SITE PLANI

SITE PLA	N
PROJECT M	IANAGER

Akin Smith DRAWN A. Smith

December 11, 2023

DATE: 1/11/2024

REFER TO SHEET P3 FOR PARKING CALCULATIONS AND BUILDING USE SQUARE FOOTAGES.

OUTDOOR DINING IS BEING CALCULATED PER COA #15 OF PA21-0077.

NOTES: Existing Land Use: Vacant land, currently rough graded per TT17564 and GA150007 to allow for future development.

Project area is zoned as a development area by the Ranch Plan PC Text, and shall be processed per the implementation procedures detailed in Section II.C of the PC Text. Master Area Plan PA13-0006 and Subarea Plan PA18-0029, designates this project site for Urban Activity Uses. This Site Development Permit more specifically identifies this site designation as being an Urban Activity Center, to be plan-checked per the site development standards for Urban Activity Center Uses, per PC Text Section III.K.

Adjacent Land Use: Existing and approved (but not yet built) immediately adjacent land uses are:

North: Existing approved commercial uses.

South: Existing residential uses.

West: Existing residential uses.

Water and Sewer: Domestic water and sanitary sewer services are provided

East: Existing roadway and residential uses.

by Santa Margarita Water District (SMWD).

electricity is provided by San Diego Gas and Electric. Proposed utility locations shown on site plan are

Actual locations and easement widths will be reflected on Final Tract Map.

approximate. All proposed utilities are to be underground.

Schools:

Project site is within Capistrano Unified School District.

Access to Site: Via Airoso Street.

Drainage: Drainage system will be developed in accordance with the County of Orange Flood Control District standards and the "Master Plan of Drainage" for the Tract No. 18194 by Rancho Mission Viejo. Storm flows tributary to the site shall be intercepted and conveyed around the site. Storm drain plans will be prepared and submitted per building permit requirements at a later date.

Grading: Site currently graded per approved GA150007. Grading has been addressed per the following CEQA documents: EIR No. 589 (PA13-0006), Planning area 2 addendum, approved on March 27, 2013.

Slopes shall be constructed at the maximum slope ratio of 2:1 unless otherwise noted.

Easements and improvements in the County right of way are subject to encroachment permits.

Maintenance:

Hours of Operation: Site specific alternative development standard requested for 24 hour uses. Site Distance: Sight lines will provide adequate sight distance and comply

with Orange County Standard Plan No. 1117. Additional Notes:

Telephone and Cable TV Providers will be: AT&T or Cox This project (Site Development Permit PA23-0055) is located on Lots 10-18, & 20-36, Lots C, D, E, and F of Tract No. 18194.

Existing permits PA180026, CP19-0038, CP19-0071, & CP22-0075. This project shall comply with 2022 CBC, CMC, CPC, CEC,

Cal Green, and California Energy Code. Applicable conditions of approval established with Tract No. 18194 must be satisfied prior to approval of the proposed

Refer to Fehr & Peers PA2.4 Esencia Mixed-Use Parking Assessment. Prepared by Fehr & Peers for site parking tabulations and allocations.

community facilities project.

Alternative Development Standards: None

SITE TABULATION Tract # 18194 (Lots 10-18, & 20-36, Lots C & D) (18.37 Acres) Land Use-Urban Activity Center Buildings: Building Gross Floor Area *Building Floor Area 46,800 S.F.(1.07 Acres) *46,572 S.F.(1.06 Acres) 12,200 S.F.(0.28 Acres) *11,956 S.F.(0.27 Acres) 3,500 S.F.(0.08 Acres) *5,390 S.F.(0.12 Acres) Car Wash 2,000 S.F.(0.05 Acres) With Car Wash Building 4 6,500 S.F.(0.15 Acres) *6,370 S.F.(0.146 Acres) Building 5 6,500 S.F.(0.15 Acres) *6,370 S.F.(0.146 Acres) Building 6 4,500 S.F.(0.10 Acres) *4,410 S.F.(0.10 Acres) Building 7 9,200 S.F.(0.21 Acres) *9,016 S.F.(0.208 Acres) Building 8 7,800 S.F.(0.18 Acres) *7,644 S.F.(0.17 Acres) Building 9 10,000 S.F.(0.23 Acres) *9,800 S.F.(0.22 Acres) Building 10 10,000 S.F.(0.23 Acres) *9,800 S.F.(0.22 Acres) Building 11 5,000 S.F.(0.11 Acres) *4,900 S.F.(0.11 Acres) Building 12 5,000 S.F.(0.11 Acres) *4,900 S.F.(0.11 Acres) Building 13 37,000 S.F.(0.85 Acres) *36,725 S.F.(0.84 Acres) Building 14 8,800 S.F.(0.20 Acres) *8,624 S.F.(0.197 Acres) * Per zoning code section 7-9-24.2(b), "floor area does not include mechanical, electrical, and communication equipment rooms that are less than 2% of the building gross floor area.

1. If a building's mechanical/electrical/communication equipment room area is greater than 2% of the gross floor area, subtract only 2% from the gross floor area to determine the floor area. . If a building's mechanical/electrical/communication equipment room area is less than 2% of the gross floor area, subtract the entire equipment room area from the gross floor area to determine the floor

Refer to Parking Exhibit Sheets P1, P2, and P3 for calculations 1,243 Stalls I.T.E. Standards **Total Stalls Required**

Total Stalls Provided (CP22-0075 Phase 1 Area) 828 stalls Phase 1 Stall Count per Esencia Commons Limits 786 stalls 42 Existing stalls to be repurposed (CP22-0075 Phase 1 Area) 752 stalls

Aggregate of Stalls Provided 1,538 Total stalls

Refer to Fehr & Peers PA2.4 Esencia Mixed-Use Parking Assessment (Project Number PA21-0077). Prepared by Fehr & Peers for site parking tabulations and allocations. Refer to table 6, Parking Supply Recommendation.

Land Use-Urban Activity Center: 478,813 S.F.(11.18 Acres) Hardscape: 84,362 S.F.(1.94 Acres) Concrete Pavers or Concrete 13,955 S.F.(0.32 Acres)

388,556 S.F.(8.92 Acres) 138,544 S.F.(3.18 Acres) 128,601 S.F.(2.95 Acres) 9,943 S.F.(0.23 Acres) 174,800 S.F.(4.01 Acres)

Total 792,158 S.F.(18.37 Acres)

388,556 S.F.(8.92 Acres)

SIGNAGE PER CBC 11B-502. SEE PARKING EXHIBIT SHEET P1 COUNTY REVISIONS FUTURE CHARGING STATION PER SECTION S.106.5.3 OF 2022 E.V.C. CAL. GREEN. (E.V.C.) PLAN DESIGNATION. SEE PARKING S.106.5.3 OF 2022 CAL. GREEN AND 11B-812 OF 2022 CBC. SEE PARKING EXHIBIT SHEET P1 FOR PARKING TABULATION. TRASH ENCLOSURE. (9'-2" HIGH MAX.) REFER TO ELEVATION DETAIL (a), SHEET L3. TRASH ENCLOSURE. (9'-2" HIGH MAX.) REFER TO ELEVATION BIKE RACK FOR (4-6) BIKES. (38) SPACES PROVIDED PER CAL GREEN SECTION 5.106.4 - SHORT TERM STORAGE. SIGNAGE MONUMENT, REFER TO MONUMENT SIGNAGE PLAN, A.D.A. ACCESSIBLE TUBULAR STEEL SINGLE GATE (42" HIGH SEAT WALL (2'-0" HIGH MAX.) CONCRETE, BRICK, OR STONE. MATERIALS AND COLORS TO MATCH ADJACENT ARCHITECTURE MASONRY WALL (5'-0" HIGH MAX.) CONCRETE, BRICK, OR WATER FEATURE. REFER TO ELEVATION DETAILS (c) AND (d),

a T

GENERAL NOTES:

ARCHITECTURE.

EXISTING DRY UTILITY

CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE SUBMITTED ALONG WITH A PERMIT APPLICATION TO CONSTRUCT.

SCREEN WALL. GREEN SCREEN TRELLIS OR MASONRY WALL (8'-0" HIGH MAX.) REFER TO ELEVATION DETAIL (b), SHEET L3 SCREEN WALL. GREEN SCREEN TRELLIS OR MASONRY WALL

SCHEDULE

2 DECORATIVE CONCRETE PAVING OR CONCRETE PAVERS

EXHIBIT SHEET P1 FOR PARKING TABULATION.

TYPICAL PARKING STALL (9'-0" BY 18'-0"). SEE PARKING

A.D.A. PARKING STALL WITH SIGNAGE. SIGNAGE PER CBC

11B-502. SEE PARKING EXHIBIT SHEET P1 FOR PARKING

A.D.A. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE.

A.D.A. ACCESSIBLE RAMP W/ TRUNCATED DOMES,

EXHIBIT SHEET P1 FOR PARKING TABULATION.

FUTURE ACCESSIBLE CHARGING STATION PER SECTION

SHOPPING CART STORAGE (9'-0" HIGH MAX.) REFER TO

DESCRIPTION

SYM.

1 CONCRETE PAVING

3 SYNTHETIC TURF

TABULATION.

7 A.D.A. ACCESSIBLE R PER APPROVED ADS.

LOADING/ SERVICE

TRASH ENCLOSURE. (9' DETAIL (a), SHEET L3.

SIGNAGE M SHEET SP.

SHOPPING CART STORAGE (9'-0" HI ELEVATION DETAIL (f), SHEET L4.

EXISTING SIGNAGE MONUMENT PER CP19-0038.

TUBULAR STEEL FENCING (42" HIGH MAX.)

PREFABRICATED. NOT A CONSTRUCTED ITEM.

GAS FIRE PIT (2'-0" HIGH MAX.) CONCRETE OR METAL.

MAX. BY 3'-1" MIN. OPENING). PER SECTION 11B-404

STONE. MATERIALS AND COLORS TO MATCH ADJACENT

OVERHEAD STRUCTURE (11'-0" HIGH MAX.) REFER TO ELEVATION DETAIL (e), SHEET 13.

FOR PARKING TABULATION.

CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVISIONS OF THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL

PARKING TABULATION

Total Stalls Required Phase 1 Area 324 Stalls I.T.E. Standards (per PA210077)

Approved and Constructed Stall Summary: 775 total Stalls (per CP19-0071)

576 Standards Stalls 60 park and ride stalls including (2) standard, and (1) van, accessible stalls Van Accessible Stalls 69 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls

45 Future Charging Station (E.V.C.) Stalls 3 Van Accessible Future Charging Station (E.V.C.) Stalls 2 Ambulatory Accessible Future Charging Station (E.V.C.) Stalls Approved Change Plan Stall Summary:

83 Total Proposed Stalls (Lots 6, 9 and portion of Lot A per CP22-0075) 7 Standards Stalls 2 Accessible Stalls 3 Van Accessible Stalls

12 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls 6 Future Charging Station (E.V.C.) Stalls 3 Van Accessible Future Charging Station (E.V.C.) Stalls

Total stalls provided per PA210077

Total Stalls Provided (CP22-0075 Phase 1 Area) 828 stalls **Esencia Commons Proposed Stall Summary** 752 Total Proposed Stalls

(Lots 10-18, & 20-36, Lots C, D, E, and F) **Phase 1 Stall Count per Esencia Commons Limits** 786 stalls 42 Existing stalls to be repurposed (CP22-0075 Phase 1 Area)

688 Standard Stalls 9 Accessible Stalls L5 Van Accessible Stalls 29 DCFC Charging Station (E.V.C.) Stalls Accessible DCFC Charging Station (E.V.C.) Stalls Van Accessible DCFC Charging Station (E.V.C.) Stalls Ambulatory DCFC Charging Station (E.V.C.) Stalls Level 2 E.V.C. Stall Accessible Level 2 E.V.C. Stall

> **Total stalls provided per PA23-0055** Total Combined Stalls Required

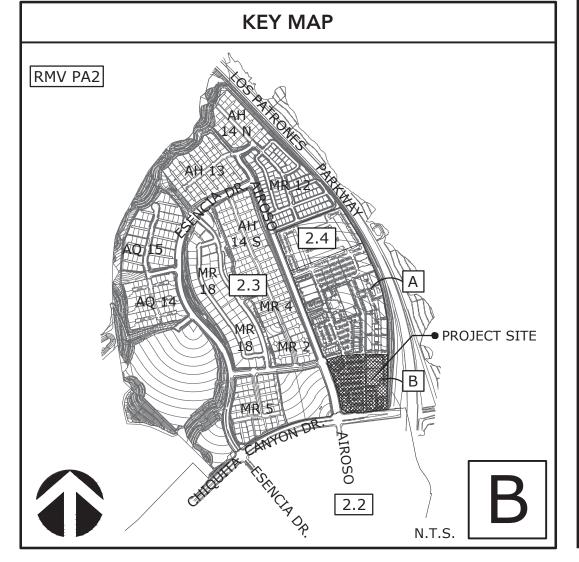
Van Accessible Level 2 E.V.C. Stall

Total Combined Stalls Provided Total Combined Stalls Exluding Park and Ride Stalls

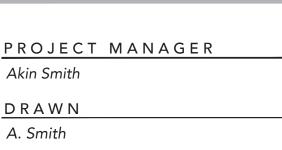
1,243 stalls 1,538 stalls 1,478 stalls

752 stalls

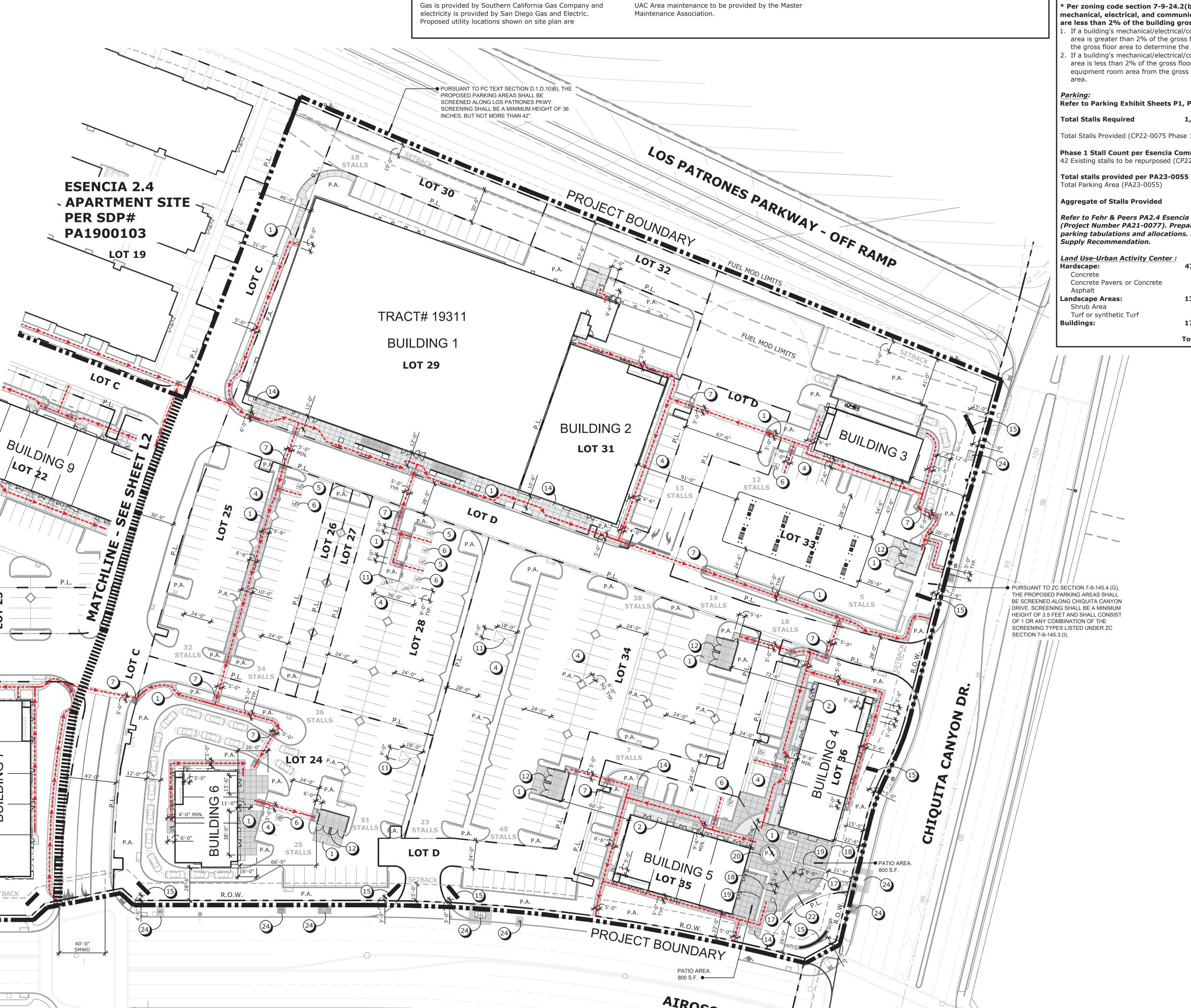
835 stalls





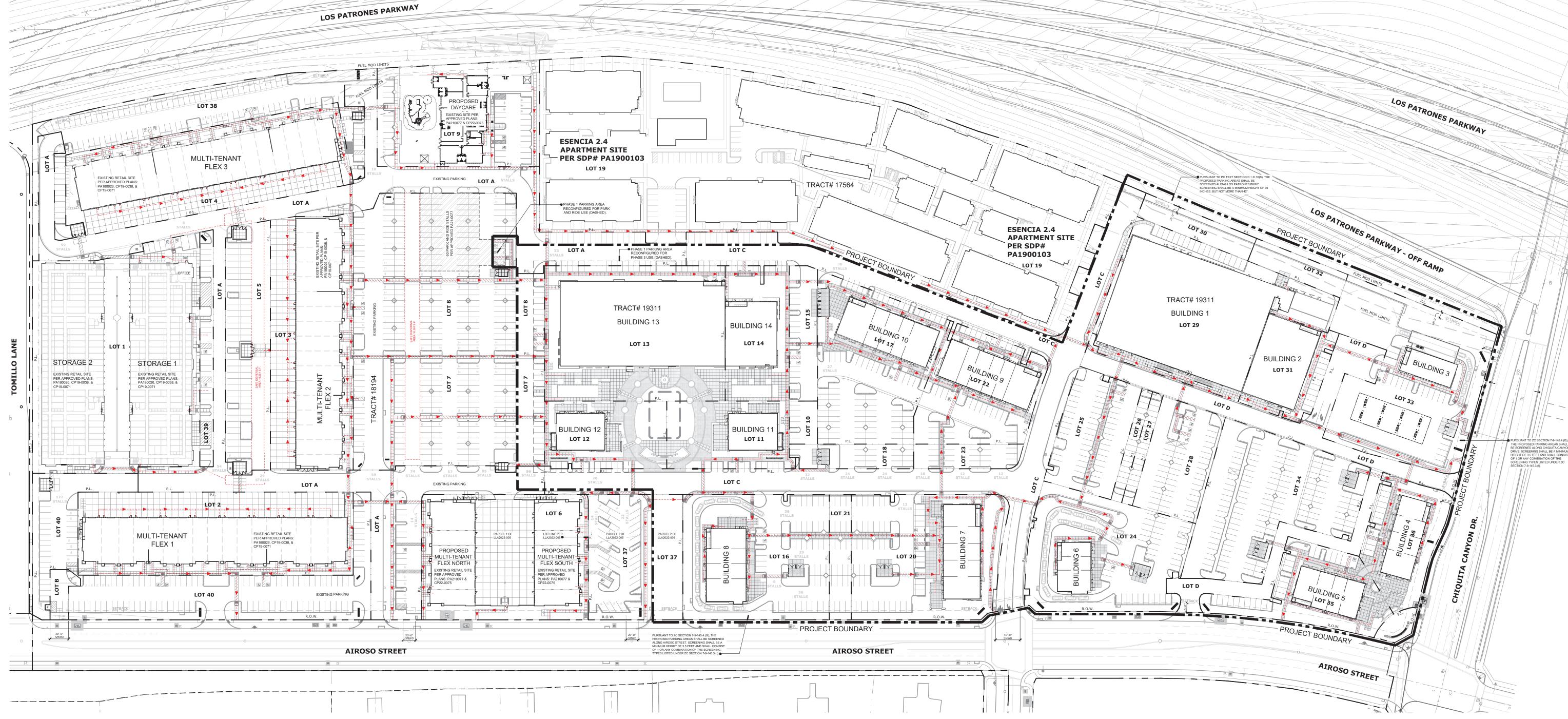


December 11, 2023



REVIEWED FOR CODE COMPLIANCE ect to approval by other departments and any noted conditions. The stamping of the tandards to relieve the owner, design professional of record or contractor of compliance **BUREAU VERITAS NORTH AMERICA, INC.** SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024



PHASE 1 BUILDINGS (CP22-0075) Project Site: Tract # 18194 (Lots 1-9, & 37-40, Lots A & B) (18.120 Acres) Land Use-Urban Activity Center Buildings: Gross Floor Area Storage 1 64,971 S.F.(1.4915 Acres) Storage 2 64,971 S.F.(1.4915 Acres) Multi-Tenant Flex 1 33,687 S.F.(0.773 Acres) Multi-Tenant Flex 2 31,826 S.F.(0.731 Acres) Multi-Tenant Flex 3 33,687 S.F.(0.773 Acres) Day Care 10,482 S.F.(0.241 Acres) Multi-Tenant North 12,922 S.F.(0.298 Acres) Multi-Tenant South 12,922 S.F.(0.298 Acres) Refer to Parking tabulation stall summary per approved change plan CP19-0071 & CP22-0075.

GENERAL NOTES:

CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE SUBMITTED ALONG WITH A PERMIT APPLICATION TO CONSTRUCT.

2. CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVISIONS OF THE APPLICABLE CALIFORNIA LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

REFER TO FEHR & PEERS PA2.4 ESENCIA MIXED-USE PARKING ASSESSMENT. PREPARED BY FEHR & PEERS FOR SITE PARKING TABULATIONS AND ALLOCATIONS.

REFER TO SHEET P3 FOR PHASE 3 PARKING **CALCULATIONS AND BUILDING USE SQUARE FOOTAGES.**

OUTDOOR DINING IS BEING CALCULATED PER COA #15 OF PA21-0077.

Tract # 18194 (Lots 10-18, & 20-36, Lots C & D) (18.37 Acres) **Land Use-Urban Activity Center Buildings:** Building Gross Floor Area *Building Floor Area 46,800 S.F.(1.07 Acres) *46,572 S.F.(1.06 Acres) 12,200 S.F.(0.28 Acres) *11,956 S.F.(0.27 Acres) 3,500 S.F.(0.08 Acres) *5,390 S.F.(0.12 Acres) 2,000 S.F.(0.05 Acres) With Car Wash Building 4 6,500 S.F.(0.15 Acres) *6,370 S.F.(0.146 Acres) 6,500 S.F.(0.15 Acres) *6,370 S.F.(0.146 Acres) 4,500 S.F.(0.10 Acres) *4,410 S.F.(0.10 Acres) 9,200 S.F.(0.21 Acres) *9,016 S.F.(0.208 Acres) 7,800 S.F.(0.18 Acres) *7,644 S.F.(0.17 Acres) 10,000 S.F.(0.23 Acres) *9,800 S.F.(0.22 Acres) Building 10 10,000 S.F.(0.23 Acres) *9,800 S.F.(0.22 Acres) Building 11 5,000 S.F.(0.11 Acres) *4,900 S.F.(0.11 Acres) Building 12 5,000 S.F.(0.11 Acres) *4,900 S.F.(0.11 Acres) Building 13 37,000 S.F.(0.85 Acres) *36,725 S.F.(0.84 Acres) BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVANT | Building 14 8,800 S.F.(0.20 Acres) *8,624 S.F.(0.197 Acres) * Per zoning code section 7-9-24.2(b), "floor area does not include mechanical, electrical, and communication equipment rooms that are less than 2% of the building gross floor area.

PHASE 3 BUILDINGS

. If a building's mechanical/electrical/communication equipment room area is greater than 2% of the gross floor area, subtract only 2% from

Refer to Parking Exhibit Sheets P1, P2, and P3 for calculations

688 Standard Stalls 9 Accessible Stalls 15 Van Accessible Stalls 29 DCFC Charging Station (E.V.C.) Stalls 1 Accessible DCFC Charging Station (E.V.C.) Stalls 1 Van Accessible DCFC Charging Station (E.V.C.) Stalls 1 Ambulatory DCFC Charging Station (E.V.C.) Stalls 6 Level 2 E.V.C. Stall the gross floor area to determine the floor area. 1 Accessible Level 2 E.V.C. Stall . If a building's mechanical/electrical/communication equipment room 1 Van Accessible Level 2 E.V.C. Stall area is less than 2% of the gross floor area, subtract the entire equipment room area from the gross floor area to determine the floor Total stalls provided per PA23-0055 752 stalls Total Combined Stalls Required 1,243 stalls **Total Combined Stalls Provided** 1,538 stalls **Total Combined Stalls Exluding Park and Ride Stalls** 1,478 stalls

(per PA210077)

576 Standards Stalls

14 Accessible Stalls

57 Standards Stalls 2 Accessible Stalls

3 Van Accessible Stalls

6 Van Accessible Stalls

PARKING TABULATION

Total Stalls Required **Phase 1 Area** 324 Stalls I.T.E. Standards

60 park and ride stalls including (2) standard, and (1) van, accessible stalls

83 Total Proposed Stalls (Lots 6, 9 and portion of Lot A per CP22-0075)

835 stalls

828 stalls

786 stalls

Approved and Constructed Stall Summary: 775 total Stalls (per CP19-0071)

69 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls

Approved Change Plan Stall Summary:

12 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls

6 Future Charging Station (E.V.C.) Stalls

Total stalls provided per PA210077

752 Total Proposed Stalls

3 Van Accessible Future Charging Station (E.V.C.) Stalls

3 Van Accessible Future Charging Station (E.V.C.) Stalls

Total Stalls Provided (CP22-0075 Phase 1 Area)

Phase 1 Stall Count per Esencia Commons Limits

42 Existing stalls to be repurposed (CP22-0075 Phase 1 Area)

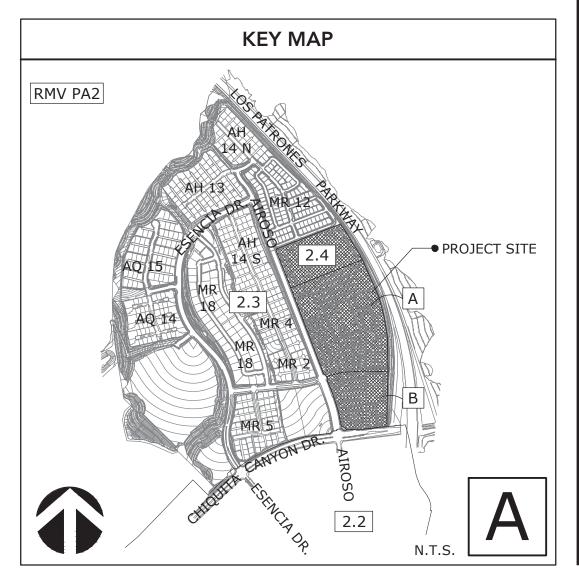
Esencia Commons Proposed Stall Summary

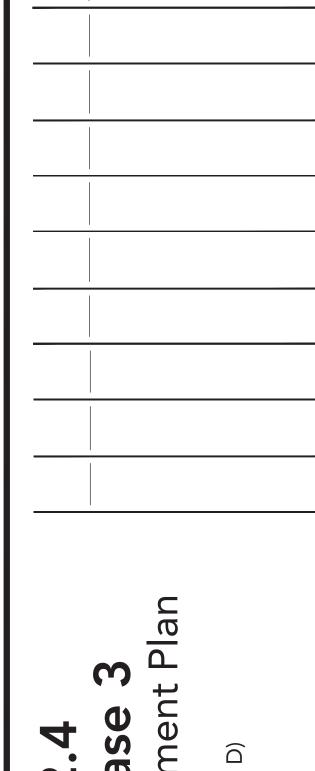
(Lots 10-18, & 20-36, Lots C, D, E, and F)

2 Ambulatory Accessible Future Charging Station (E.V.C.) Stalls

45 Future Charging Station (E.V.C.) Stalls

	CONSTRUCTION LEGEND
R.O.W.	CENTER LINE PLANTING AREA PROPERTY LINE RIGHT-OF-WAY AP ACCESSIBLE PATH OF TRAVEL AX. SLOPE, 2% MAX. CROSS SLOPE)
R.O.W. L	INE — — — — — — —
PROPERT	Y LINE
	NTS



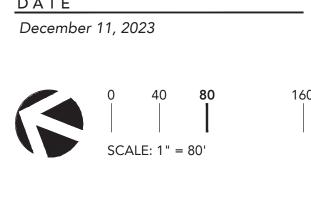


COUNTY REVISIONS

CONCERN LANDSCAPE ARCHITECTURE 1750 E DEERE AVE SANTA ANA, CA 92705 O 949.250.4822

www.landconcern.com





SHEET

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

BUREAU VERITAS NORTH AMERICA, INC

50'-0" +/-20'-0" +/-PRIVATE SIDE ELEVATION → SOLID METAL ROOFING → METAL OR HEAVY TIMBER PLANNING HEARING TO BE REQUESTED IF OVERHEAD WITH SOLID REQUIRED TO ALLOW FOR THE PROPOSED METAL CORRUGATED WALL HEIGHT. ROOFING. TO COMPLY WITH SECTION 710A OF 2013 CBC. WHEN APPLICABLE. → LOCKABLE LATCH. SCREEN ELEMENT. GREEN SCREEN TRELLIS OR MASONRY ENCLOSURE. MASONRY WALL. MATERIALS AND COLORS TO ACCESSIBLE GATE TO BE MATCH ADJACENT BUILDING. LOCATED LOCATED ON BACKSIDE OF ENCLOSURE. SEE SYMBOL 7A. ACTIVE FIXED ACTIVE FIXED → METAL DOORS. FRONT ELEVATION **SCREEN WALL** MATERIALS AND COLORS TO MATCH ADJACENT STRUCTURE. SCALE: 1/4"=1'-0 30'-0" +/-18'-0" +/-PRELIMINARY DESIGN NOTE: THE DESIGN OF THE FOUNTAIN ELEVATION MAY 15'-6" OVERALL +/-CHANGE DURING THE BUILDING DEPARTMENT SUBMITTAL PHASE OF THE PROJECT. THE MAXIMUM **—**● SOLID METAL ROOFING HEIGHT SHALL NOT BE EXCEEDED DURING THE **BUILDING DEPARTMENT SUBMITTAL PHASE OF THE** → SOLID METAL ROOFING PROJECT. ■ METAL OR HEAVY TIMBER OVERHEAD WITH SOLID METAL CORRUGATED ■ METAL OR HEAVY TIMBER ROOFING. TO COMPLY WITH OVERHEAD WITH SOLID SECTION 710A OF 2013 CBC. METAL CORRUGATED WHEN APPLICABLE. ROOFING. TO COMPLY WITH SECTION 710A OF DECORATIVE FOUNTAIN. MATERIALS AND 2013 CBC. WHEN **—** LOCKABLE LATCH. COLORS TO COMPLIMENT ADJACENT APPLICABLE. BUILDING. ■ LOCKABLE LATCH. MASONRY ENCLOSURE. MASONRY ENCLOSURE. ACCESSIBLE GATE TO BE ACCESSIBLE GATE TO BE LOCATED LOCATED ON LOCATED LOCATED ON BACKSIDE OF ENCLOSURE.

F.S. SEE SYMBOL 7A. BACKSIDE OF ENCLOSURE. SEE SYMBOL 7A. STONE OR MASONRY BASIN WALL. MASONRY ACTIVE FIXED MATERIALS AND COLORS TO MATCH ADJACENT ACCESSIBLE GATE. → METAL DOORS. ACCESSIBLE ENTRY FROM FRONT ELEVATION SIDE ELEVATION PARKING LOT WATER FEATURE (BUILDING 13) **MASONRY TRASH ENCLOSURE** SCALE: 1/2"=1'-0 SCALE: 1/4"=1'-0' ■ METAL CART CORRALS PRELIMINARY DESIGN NOTE: ALUMINUM OR COLORED TO 45'-6" +/- OVERALL THE DESIGN OF THE FOUNTAIN ELEVATION MATCH BUILDING EXTERIOR. MAY CHANGE DURING THE BUILDING **DEPARTMENT SUBMITTAL PHASE OF THE** PROJECT. THE MAXIMUM HEIGHT SHALL NOT 35'-8" +/- OVERALL BE EXCEEDED DURING THE BUILDING ■ METAL CART CORRALS **DEPARTMENT SUBMITTAL PHASE OF THE** ALUMINUM OR COLORED TO MATCH BUILDING EXTERIOR. STONE OR MASONRY FOUNTAIN WALL. MASONRY MATERIALS AND COLORS TO MATCH ADJACENT BUILDING. ◆ STONE OR MASONRY BASIN WALL. MASONRY MATERIALS AND COLORS TO MATCH ADJACENT BUILDING. METAL CART CORRALS
ALUMINUM OR COLORED TO
MATCH BUILDING EXTERIOR. WATER FEATURE (BUILDINGS 4 & 5 PLAZA) **CART CORRALS** SCALE: 1/4"=1'-0 SCALE: 3/8"=1'-0" 30'-0" OVERALL 14'-0" OVERALL MATERIALS AND COLORS TO MATCH ADJACENT STRUCTURE. → METAL LATTICE. → METAL LATTICE. MATERIALS AND COLORS TO MATCH ADJACENT STRUCTURE. → METAL LATTICE. FRONT ELEVATION → METAL POST. TO COMPLY WITH ● METAL POST. TO COMPLY WITH SECTION 710A OF 2013 CBC. SECTION 710A OF 2013 CBC. WHEN APPLICABLE. WHEN APPLICABLE. → METAL BEAM. TO COMPLY WITH → METAL BEAM. TO COMPLY WITH SECTION 710A OF 2013 CBC. WHEN APPLICABLE. SECTION 710A OF 2013 CBC. WHEN APPLICABLE. **FRONT RIGHT ELEVATION ELEVATION** 29'-8" (C) OVERHEAD STRUCTURE

COUNTY REVISIONS

a T

LAND OO 91015W A LANDSCAPE ARCHITECTURE

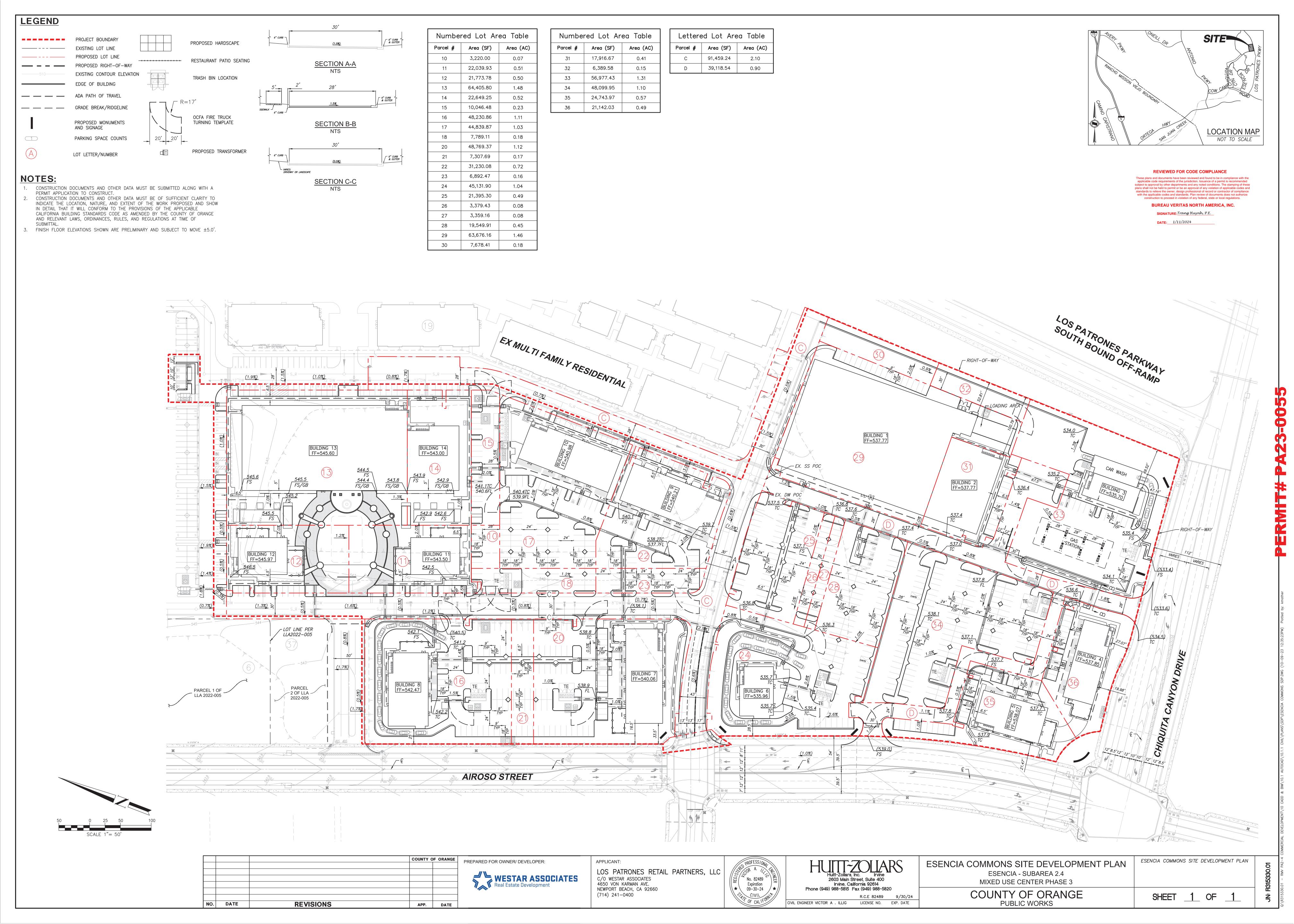
1750 E DEERE AVE SANTA ANA, CA 92705 O 949.250.4822 www.landconcern.com

LANDSCAPE **ELEVATIONS**

PROJECT MANAGER Akin Smith

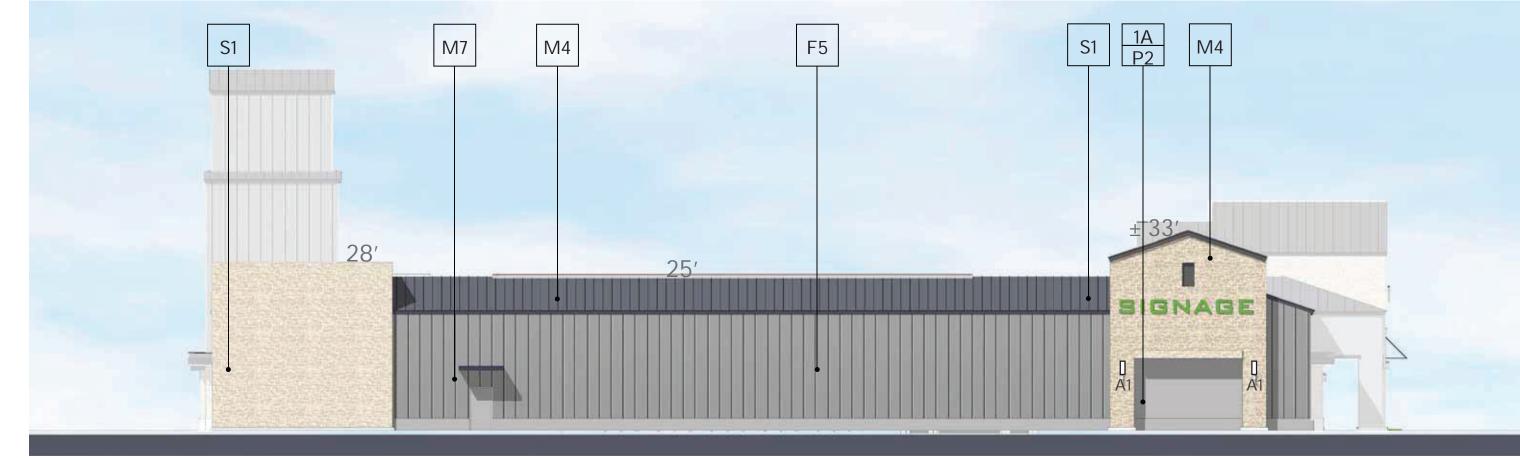
December 11, 2023

SCALE: 1/4"=1'-0"

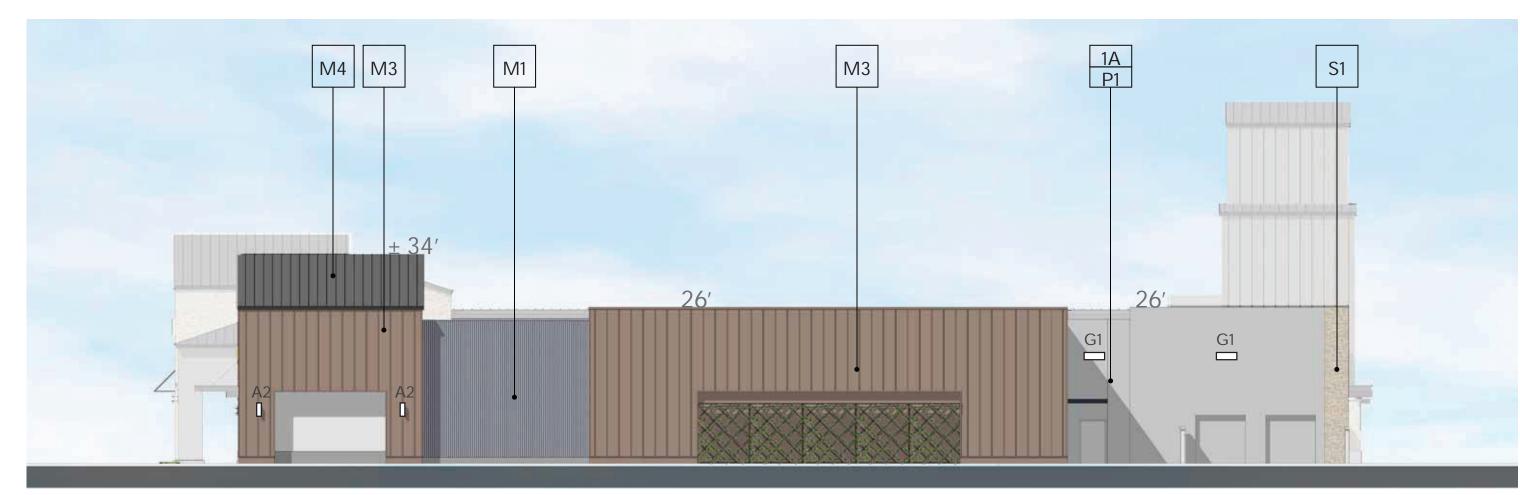




PROPOSED 20'X20' WIRELESS FACILITY —



NORTH ELEVATION



SOUTH ELEVATION

BUILDING 2 BUILDING 1

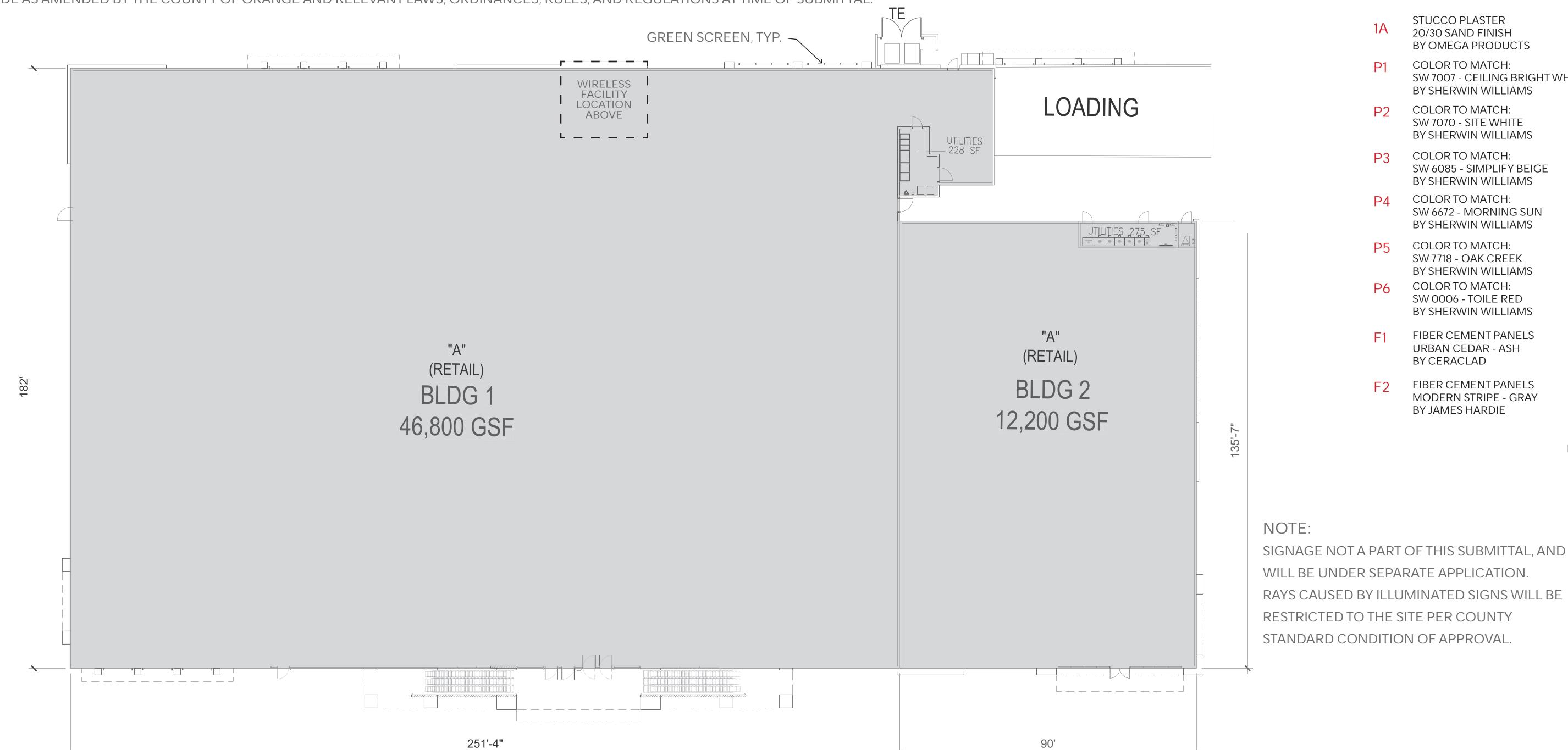
G1

CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

SIGNAGE

EAST ELEVATION

G1



- STUCCO PLASTER 20/30 SAND FINISH BY OMEGA PRODUCTS
- COLOR TO MATCH: SW 7007 - CEILING BRIGHT WHITE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 7070 - SITE WHITE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 6085 - SIMPLIFY BEIGE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 6672 - MORNING SUN BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 7718 - OAK CREEK BY SHERWIN WILLIAMS COLOR TO MATCH: SW 0006 - TOILE RED
- FIBER CEMENT PANELS URBAN CEDAR - ASH BY CERACLAD

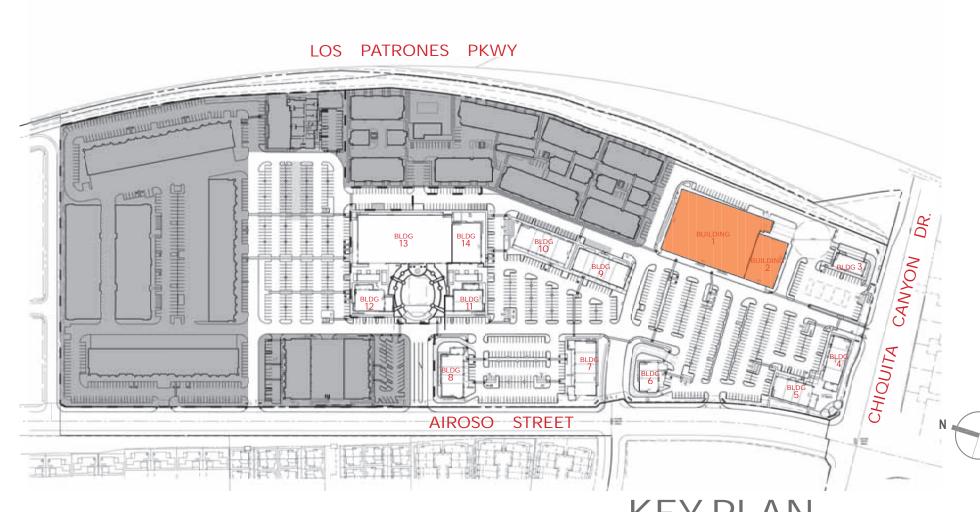
BY SHERWIN WILLIAMS

FIBER CEMENT PANELS MODERN STRIPE - GRAY BY JAMES HARDIE

- FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE BY JAMES HARDIE
- FIBER CEMENT BOARD & BATTEN 7" **IRON GRAY** BY JAMES HARDIE
- FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY BY JAMES HARDIE
- CORRUGATED METAL OLD TOWN GREY BY METAL SALES
- RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES
- RIBBED METAL WALL PANELS TERRA COTTA BY METAL SALES
- STANDING SEAM METAL ROOF MATTE BLACK BY METAL SALES
- STANDING SEAM METAL ROOF BRANDYWINE BY METAL SALES
- STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

- M7 METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 -SLATE GREY BY RAL CLASSIC COLOR
 - METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR
- METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA
- BY METAL SALES M10 METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY-BY METAL SALES
- STONE VENEER CAPPUCCINO RUBBLE BY AAA NATURAL STONE

FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION



KEY PLAN





FLOOR PLAN Esencia - Subarea 2.4 Mixed Use Center Phase 3 Esencia Commons Site Development Plan

Rancho Mission Viejo, CA

ESTAR ASSOCIATES

Contact: Jud Dutrisac

(714) 241-0400

DATE: 1/11/2024

SHEET METAL

GAS STATION CANOPY

P2 | M7

STUCCO PLASTER

BY SHERWIN WILLIAMS FIBER CEMENT PANELS URBAN CEDAR - ASH

BY CERACLAD

SW 0006 - TOILE RED

FIBER CEMENT PANELS MODERN STRIPE - GRAY BY JAMES HARDIE

FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" IRON GRAY BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY BY JAMES HARDIE

CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES

RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES

TERRA COTTA BY METAL SALES STANDING SEAM METAL ROOF

RIBBED METAL WALL PANELS

MATTE BLACK BY METAL SALES STANDING SEAM METAL ROOF

BY METAL SALES STANDING SEAM METAL ROOF

TERRA COTTA BY METAL SALES

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 -SLATE GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR.

COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA

BY AAA NATURAL STONE

BY METAL SALES M10 METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY

BY METAL SALES STONE VENEER CAPPUCCINO RUBBLE

LOS PATRONES PKWY



WEST ELEVATION

1A P4 1A P4 M1 M7 23'-6"

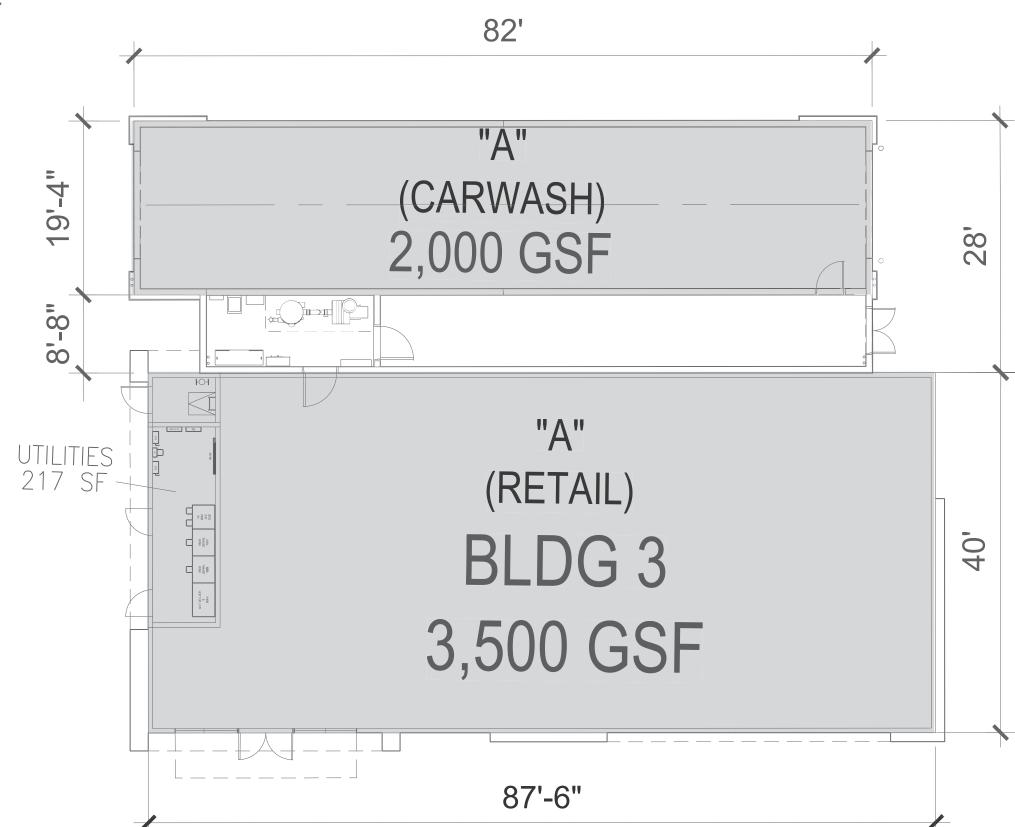
EAST ELEVATION

BULDING 3

NOTES:

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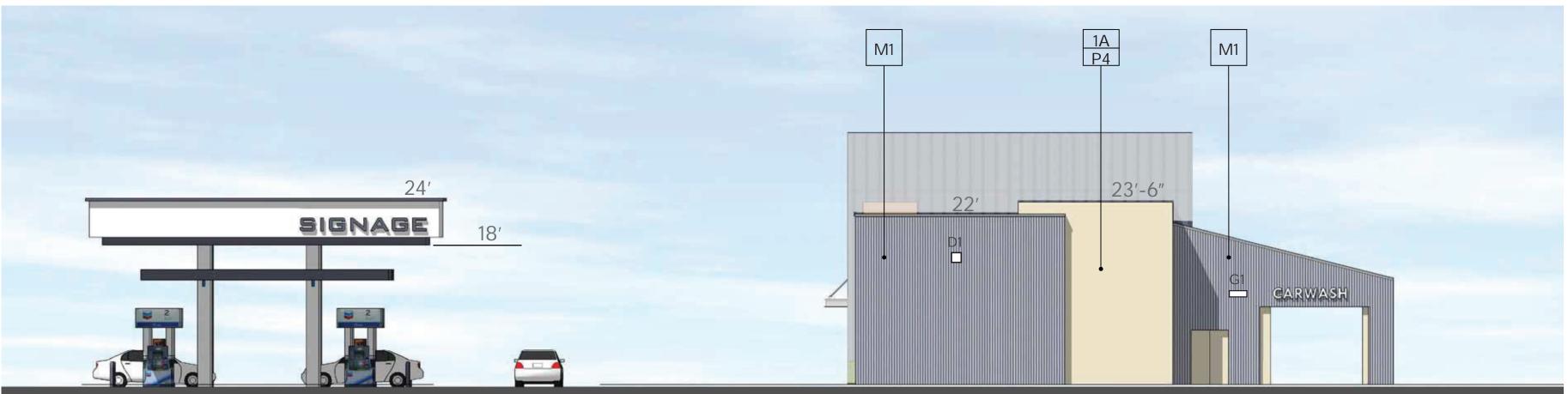
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NORTH ELEVATION

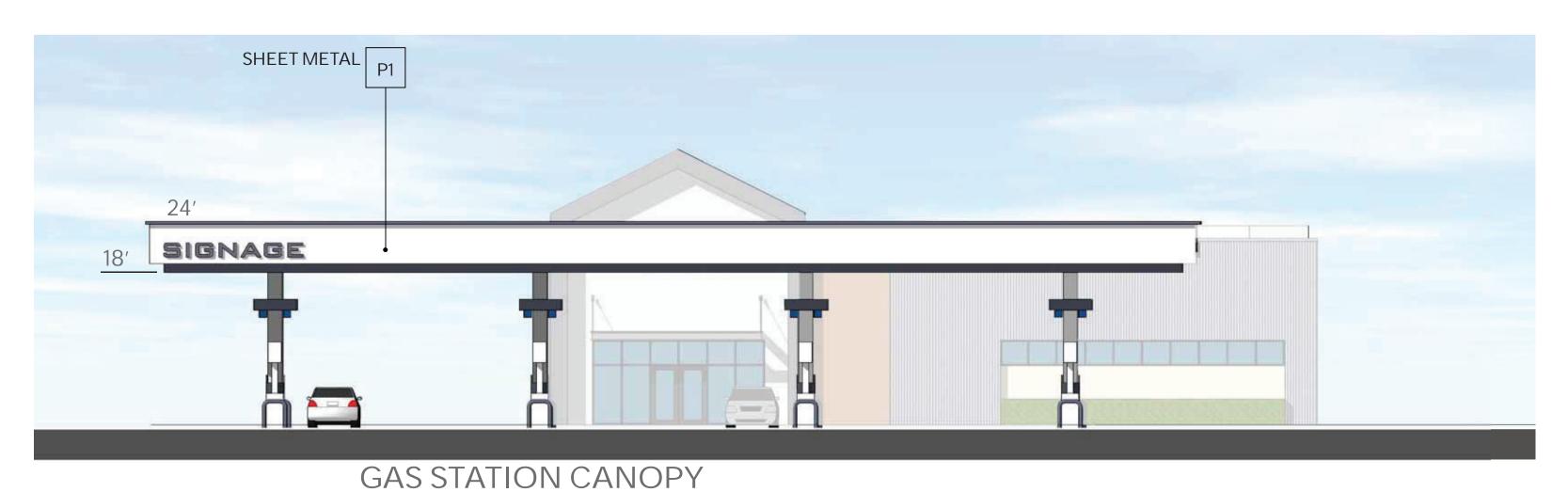
1A P1

BULDING 3

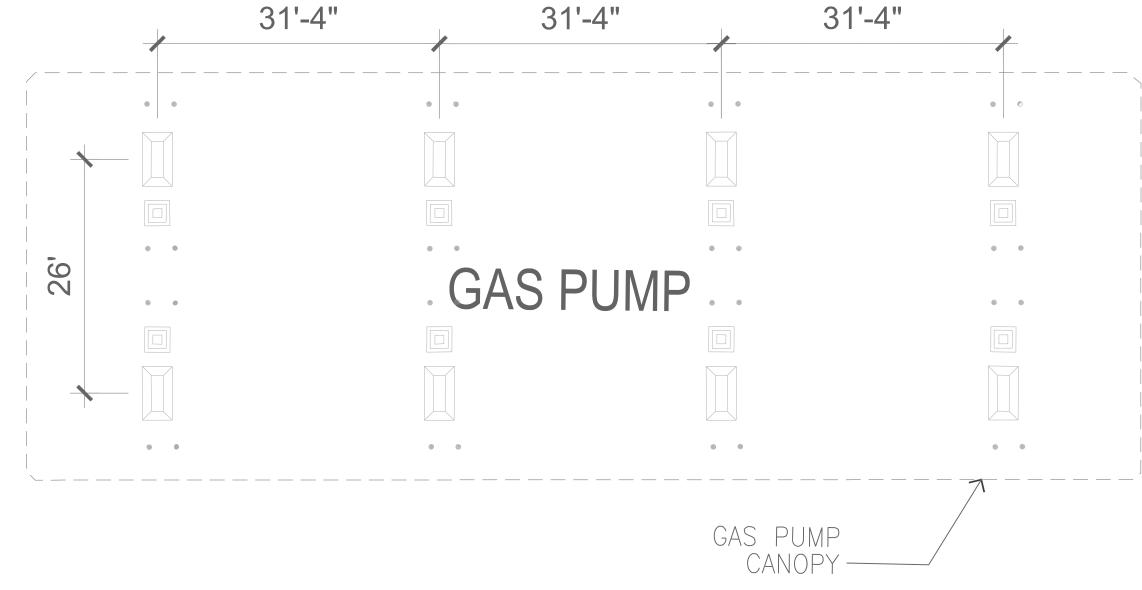


BULDING 3

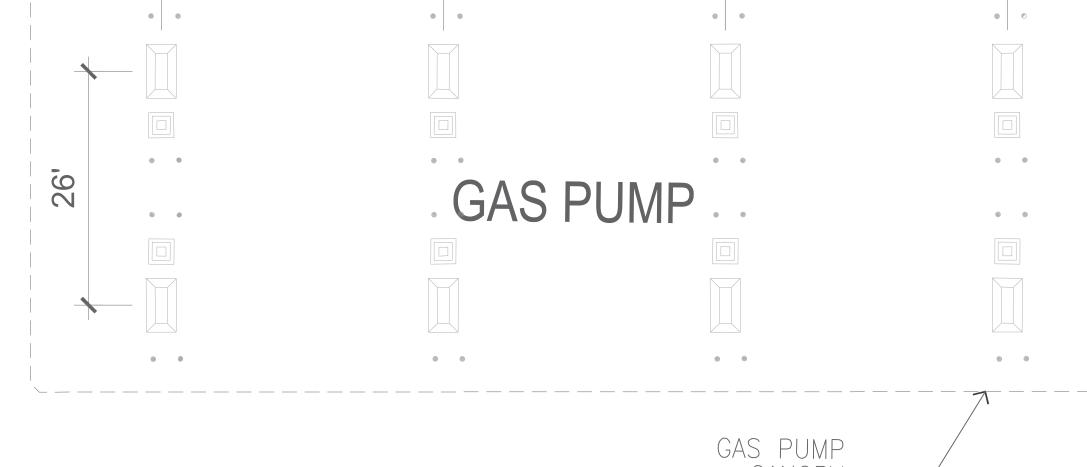
GAS STATION CANOPY SOUTH ELEVATION



WESTELEVATION



FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION



NOTE:

SIGNAGE NOT A PART OF THIS SUBMITTAL, AND WILL BE UNDER SEPARATE APPLICATION

RAYS CAUSED BY ILLUMINATED SIGNS WILL BE RESTRICTED TO THE SITE PER COUNTY STANDARD CONDITION OF APPROVAL

FLOOR PLAN



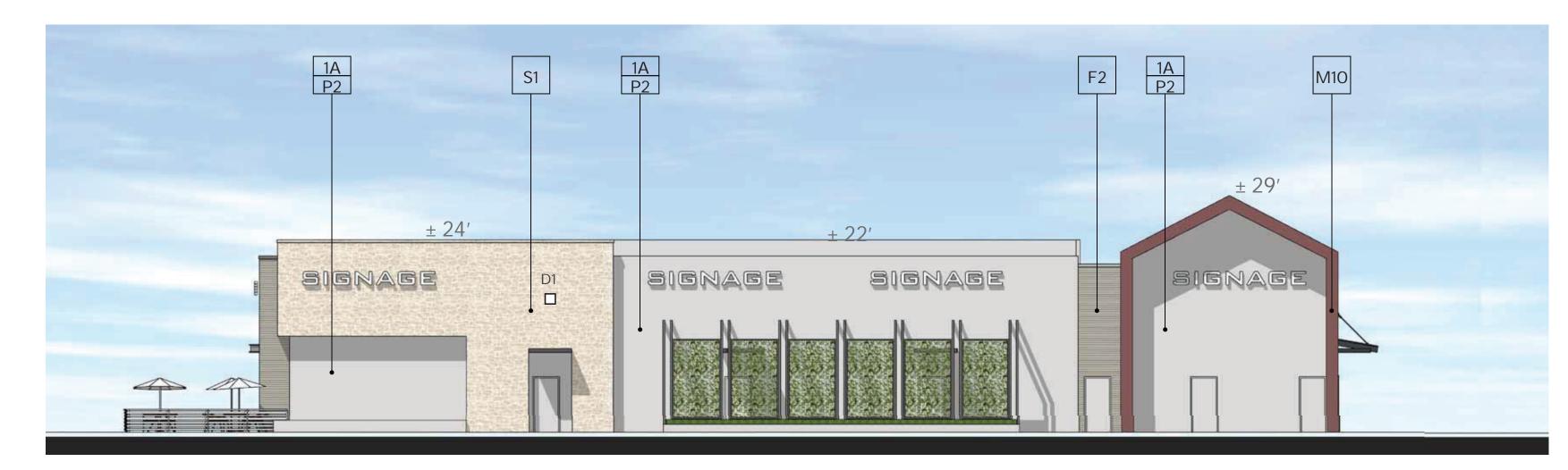
Rancho Mission Viejo, CA



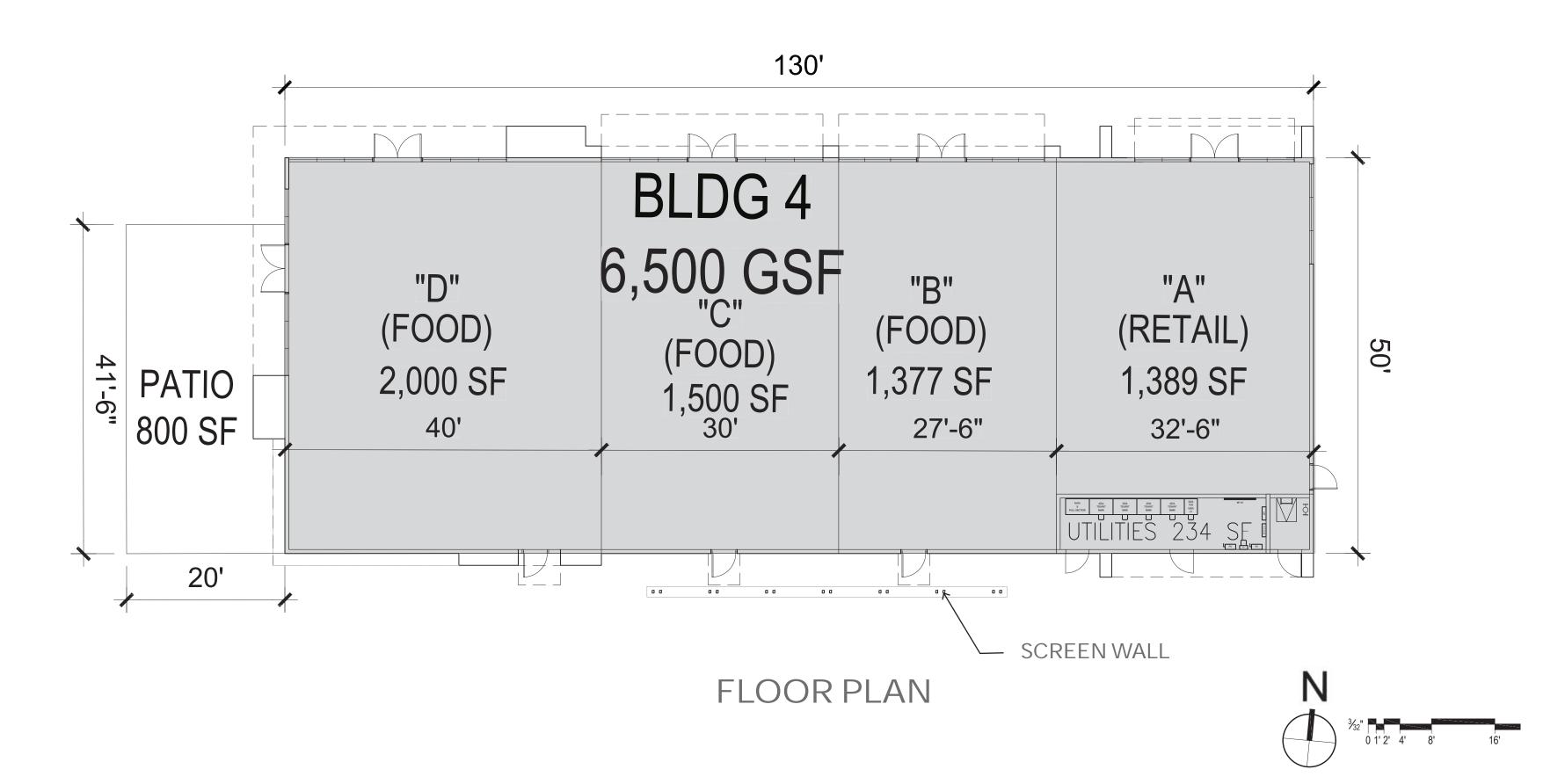
KEY PLAN

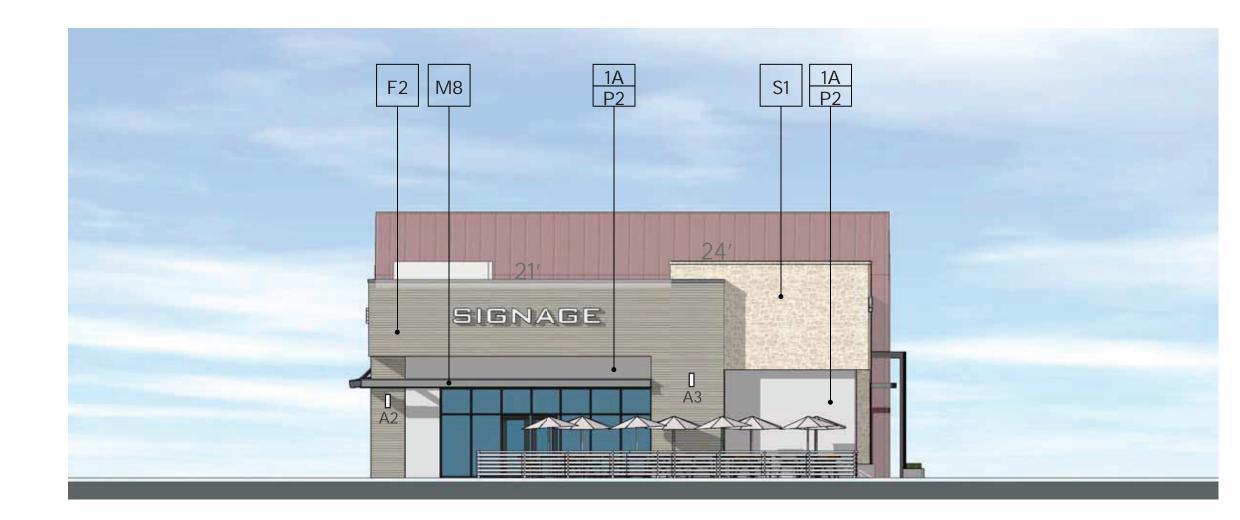
DATE: 1/11/2024

NORTH ELEVATION

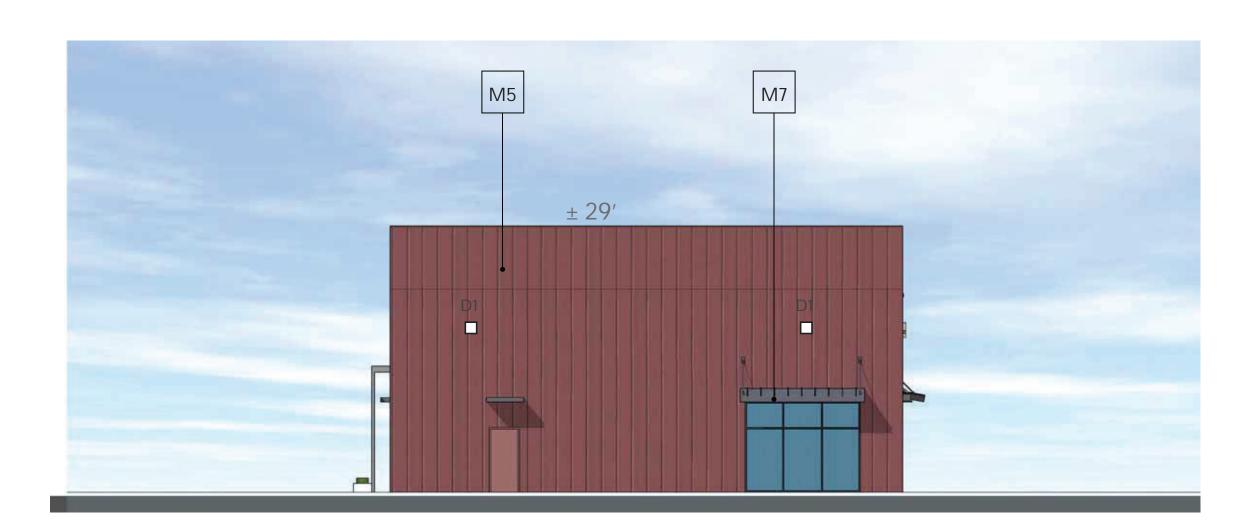


SOUTH ELEVATION





WEST ELEVATION



EAST ELEVATION

NOTES:

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FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION

- STUCCO PLASTER 20/30 SAND FINISH BY OMEGA PRODUCTS
- COLOR TO MATCH: SW 7007 - CEILING BRIGHT WHITE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 7070 - SITE WHITE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 6085 - SIMPLIFY BEIGE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 6672 - MORNING SUN BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 7718 - OAK CREEK BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 0006 - TOILE RED BY SHERWIN WILLIAMS
- BY CERACLAD FIBER CEMENT PANELS MODERN STRIPE - GRAY

FIBER CEMENT PANELS

URBAN CEDAR - ASH

BY JAMES HARDIE FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE

7" IRON GRAY

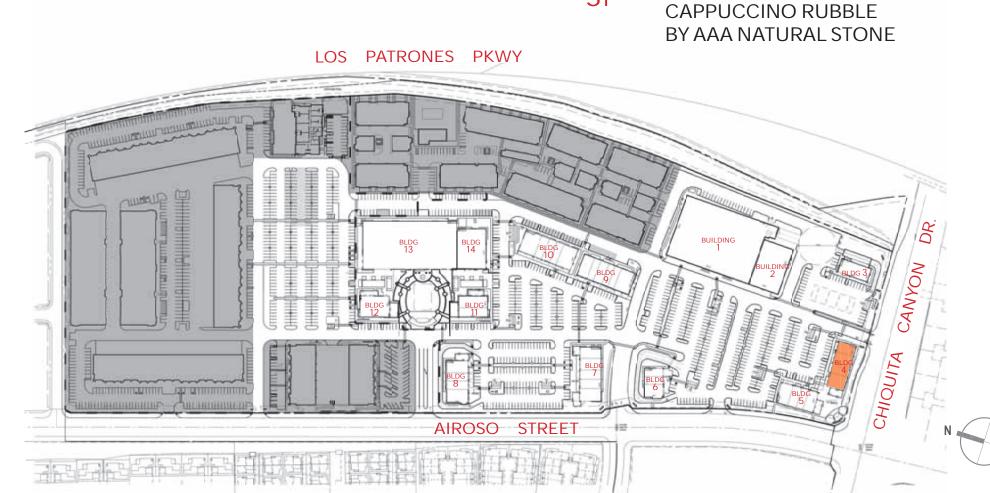
- BY JAMES HARDIE FIBER CEMENT BOARD & BATTEN
- BY JAMES HARDIE FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY

BY JAMES HARDIE

- CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES
- RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES
 - RIBBED METAL WALL PANELS TERRA COTTA BY METAL SALES
 - MATTE BLACK BY METAL SALES

STANDING SEAM METAL ROOF

- STANDING SEAM METAL ROOF BY METAL SALES
- STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES
- METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 SLATE GREY BY RAL CLASSIC COLOR
- METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR
- METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA
- BY METAL SALES METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY
- BY METAL SALES STONE VENEER



KEY PLAN

BUILDING 4 Floor Plan and Elevations



DATE: 1/11/2024

tandards to relieve the owner, design professional of record or contractor of compliance

FIBER CEMENT PANELS URBAN CEDAR - ASH BY CERACLAD

SW 0006 - TOILE RED BY SHERWIN WILLIAMS

FIBER CEMENT PANELS MODERN STRIPE - GRAY BY JAMES HARDIE

FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" IRON GRAY BY JAMES HARDIE

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CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES

BRANDYWINE BY METAL SALES RIBBED METAL WALL PANELS TERRA COTTA

RIBBED METAL WALL PANELS

BY METAL SALES STANDING SEAM METAL ROOF MATTE BLACK

BY METAL SALES

STANDING SEAM METAL ROOF BY METAL SALES

STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 SLATE GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA BY METAL SALES

BY AAA NATURAL STONE

METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY-

BY METAL SALES STONE VENEER CAPPUCCINO RUBBLE

LOS PATRONES PKWY

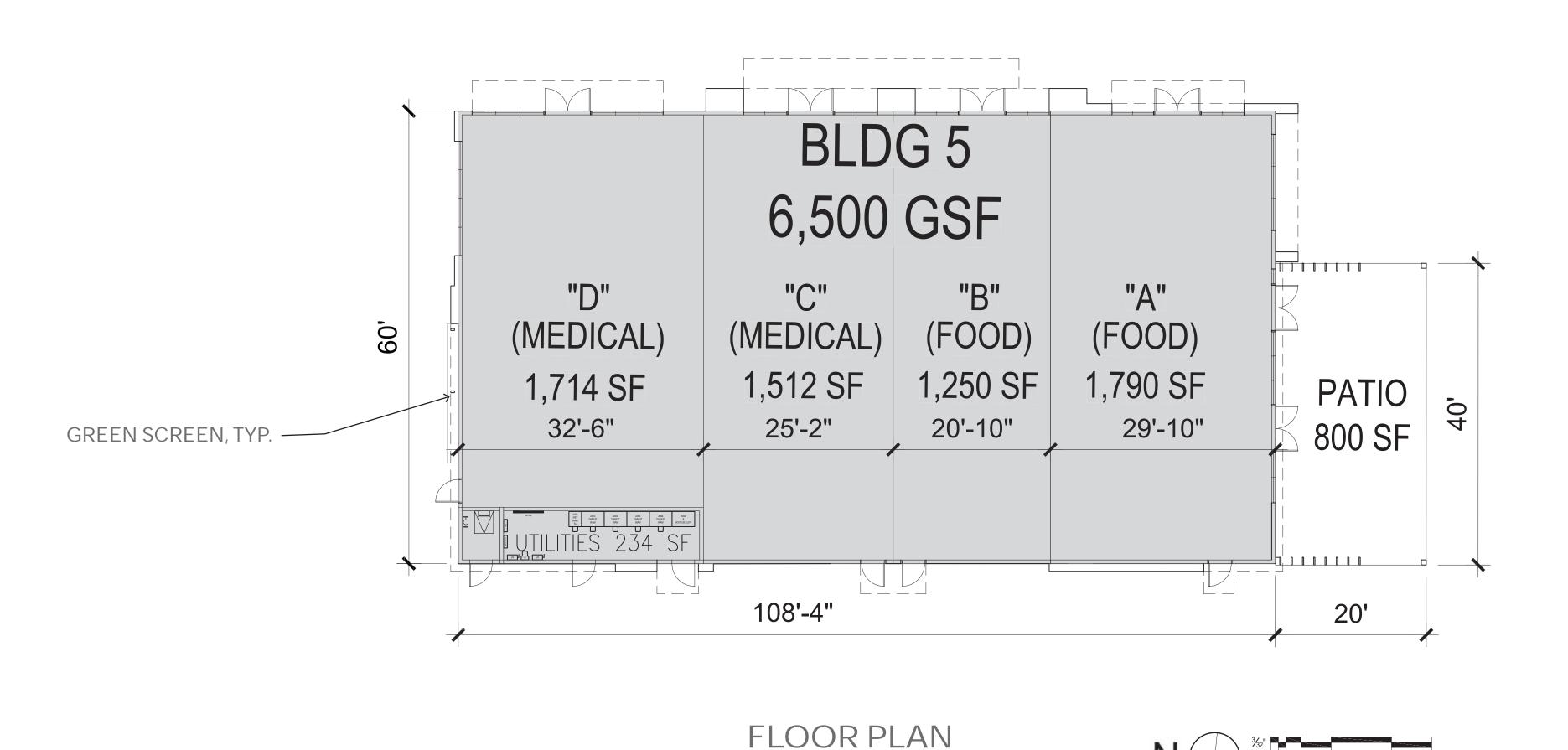
KEY PLAN



EAST ELEVATION



WESTELEVATION



NORTH ELEVATION



SOUTH ELEVATION

NOTES:

SIGNAGE NOT A PART OF THIS SUBMITTAL, AND WILL BE UNDER SEPARATE APPLICATION.

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FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

COLOR TO MATCH: SW 0006 - TOILE RED BY SHERWIN WILLIAMS

> FIBER CEMENT PANELS URBAN CEDAR - ASH

BY CERACLAD FIBER CEMENT PANELS MODERN STRIPE - GRAY

FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE BY JAMES HARDIE

BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" IRON GRAY BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY BY JAMES HARDIE

CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES RIBBED METAL WALL PANELS

BY METAL SALES RIBBED METAL WALL PANELS

TERRA COTTA

BY METAL SALES

BY METAL SALES

BY METAL SALES STANDING SEAM METAL ROOF MATTE BLACK

STANDING SEAM METAL ROOF

STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

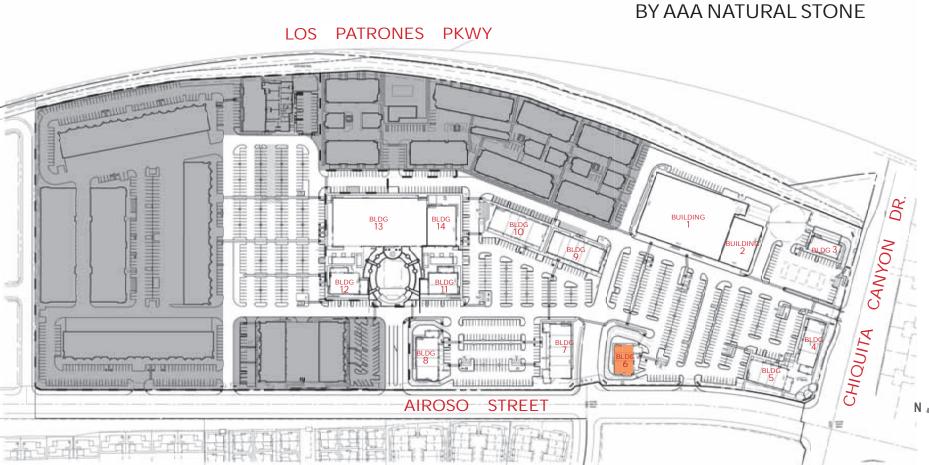
METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 SLATE GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA BY METAL SALES

METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY-BY METAL SALES

STONE VENEER CAPPUCCINO RUBBLE



KEY PLAN

SIGNAGE WESTELEVATION

1A P4

EAST ELEVATION

SIGNAGE NOT A PART OF THIS SUBMITTAL, AND WILL BE UNDER SEPARATE APPLICATION.

AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

NOTES:

APPROVAL.

CONSTRUCT.

1A P1

SIGNAGE

RAYS CAUSED BY ILLUMINATED SIGNS WILL BE RESTRICTED TO THE SITE PER COUNTY STANDARD CONDITION OF

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SIONS OF THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE

NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVI-

1A P1

F5

1A P4

M7

1A P4

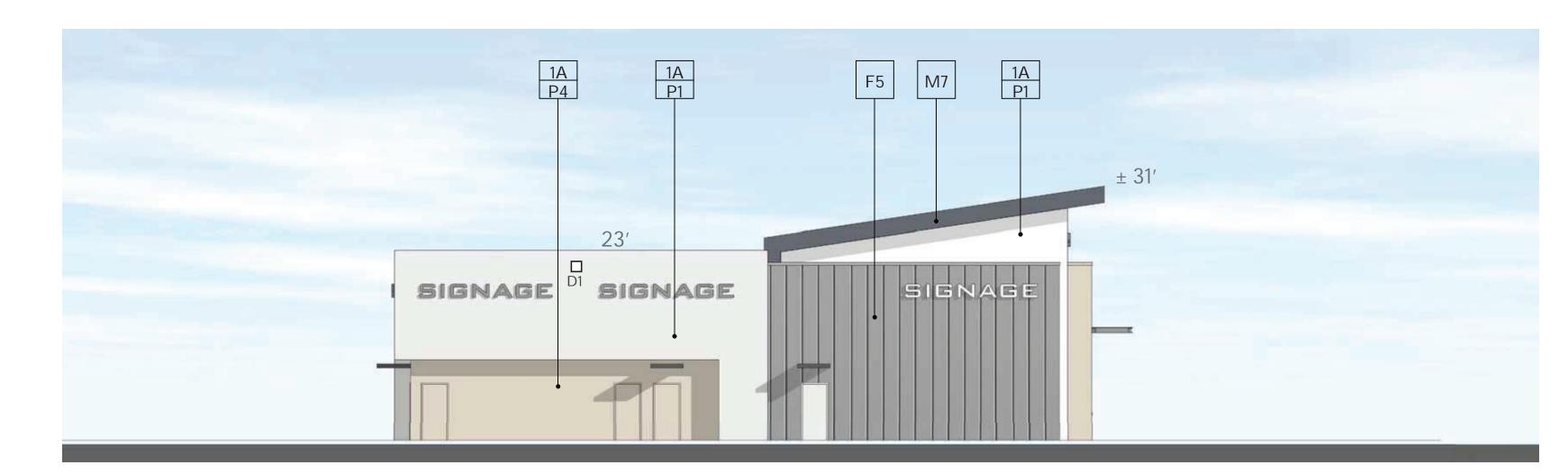
1A P4

SOUTH ELEVATION

M8

1A P4

F5



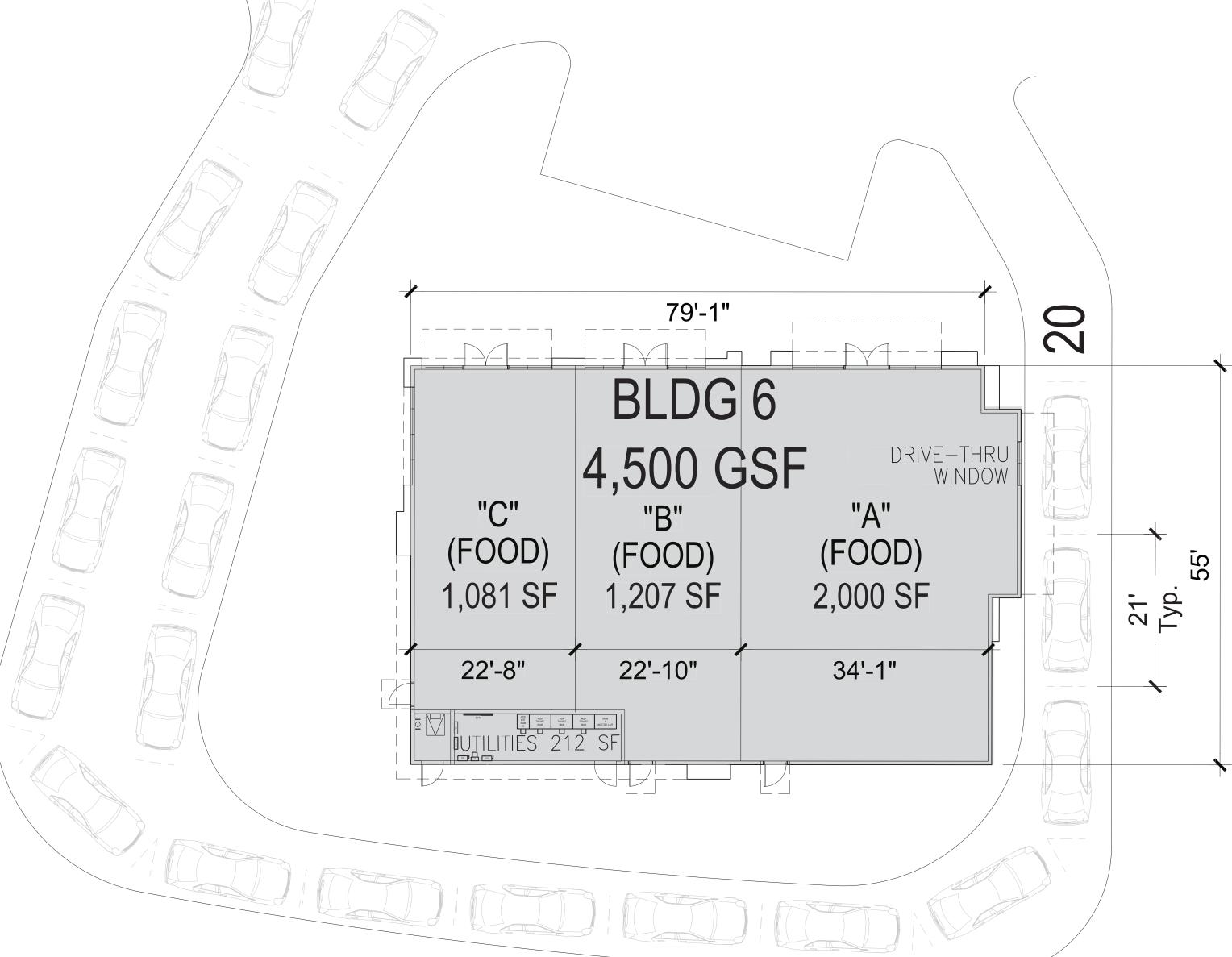
1A 1A P1

1

M7

SIGNAGE

NORTH ELEVATION



FLOOR PLAN

Esencia - Subarea 2.4 Mixed Use Center Phase 3

BUILDING 6 Floor Plan and Elevations

FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION







(714) 241-0400

DATE: 1/11/2024

tandards to relieve the owner, design professional of record or contractor of compliance

BUREAU VERITAS NORTH AMERICA, INC.

P6

SIGNATURE: Trang Huynh, P.E.

COLOR TO MATCH:

URBAN CEDAR - ASH

SW 0006 - TOILE RED BY SHERWIN WILLIAMS F1 FIBER CEMENT PANELS

BY CERACLAD

F2 FIBER CEMENT PANELS MODERN STRIPE - GRAY BY JAMES HARDIE

F3 FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE

BY JAMES HARDIE

BY JAMES HARDIE

F4 FIBER CEMENT BOARD & BATTEN
7" IRON GRAY

FIBER CEMENT BOARD & BATTEN
7" PEARL GRAY
BY JAMES HARDIE

M1 CORRUGATED METAL OLD TOWN GREY BY METAL SALES

M2 RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES

M3 RIBBED METAL WALL PANELS

TERRA COTTA

BY METAL SALES

STANDING SEAM METAL ROOF
MATTE BLACK

BY METAL SALES

STANDING SEAM METAL ROOF
BRANDYWINE

BY METAL SALES

STANDING SEAM METAL ROOF TERRA COTTA

BY METAL SALES

METAL / METAL SHEET COLOR.
COLOR TO MATCH: RAL 7015 SLATE GREY

8 METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR

BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR.
COLOR TO MATCH: TERRA
COTTA

M10 BY METAL SALES
METAL / METAL SHEET COLOR.
COLOR TO MATCH: BRANDYWINE

BY AAA NATURAL STONE

BY METAL SALES

STONE VENEER
CAPPUCCINO RUBBLE

BULDING BUILDING BUIL

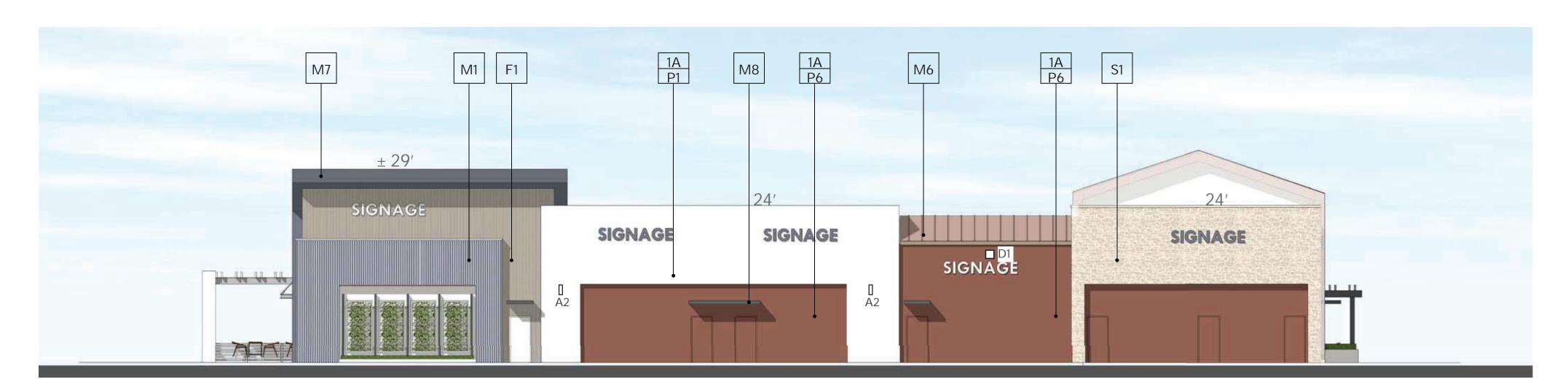
LOS PATRONES PKWY

KEYPLAN NOT TO SCA

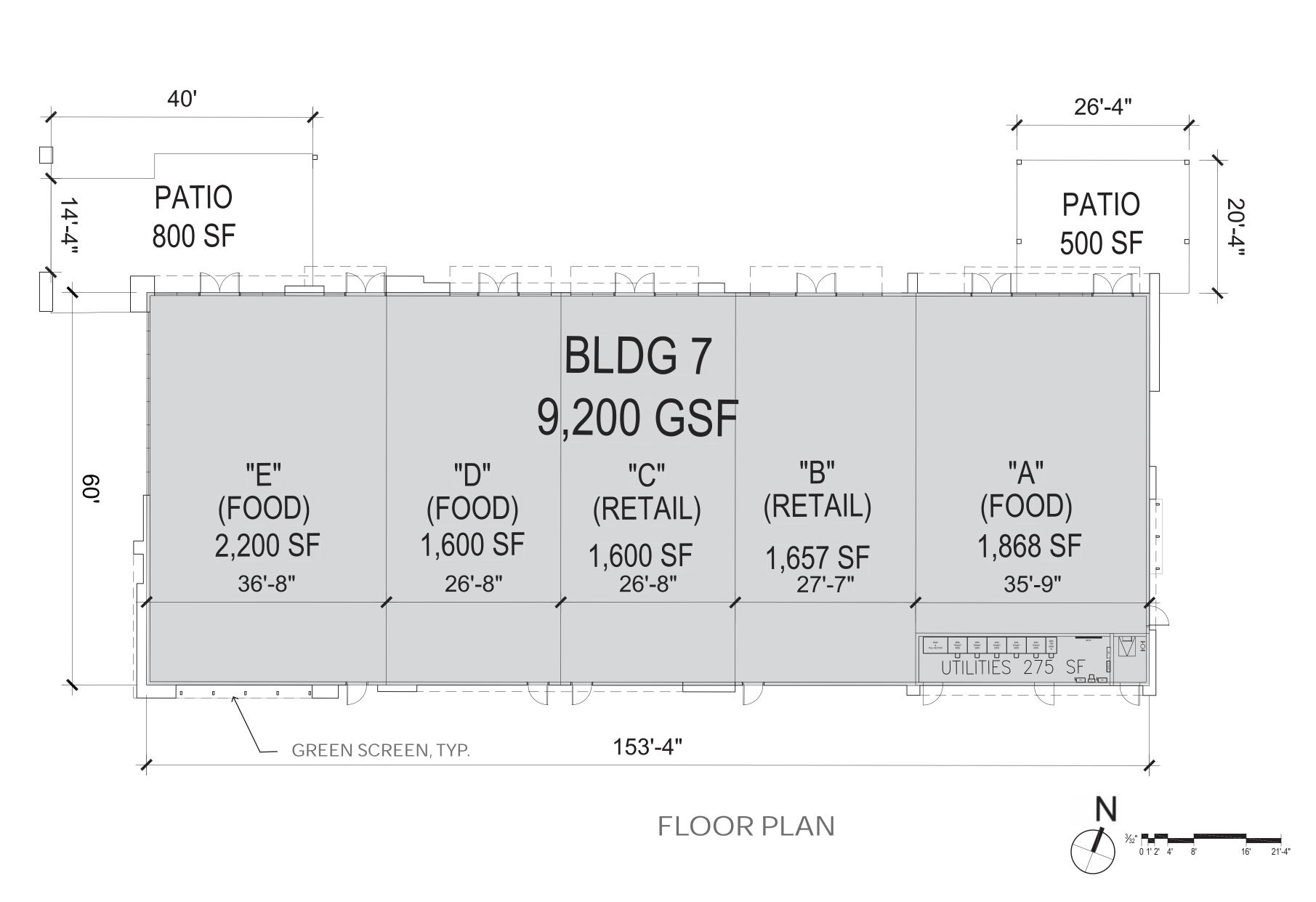


NORTH ELEVATION

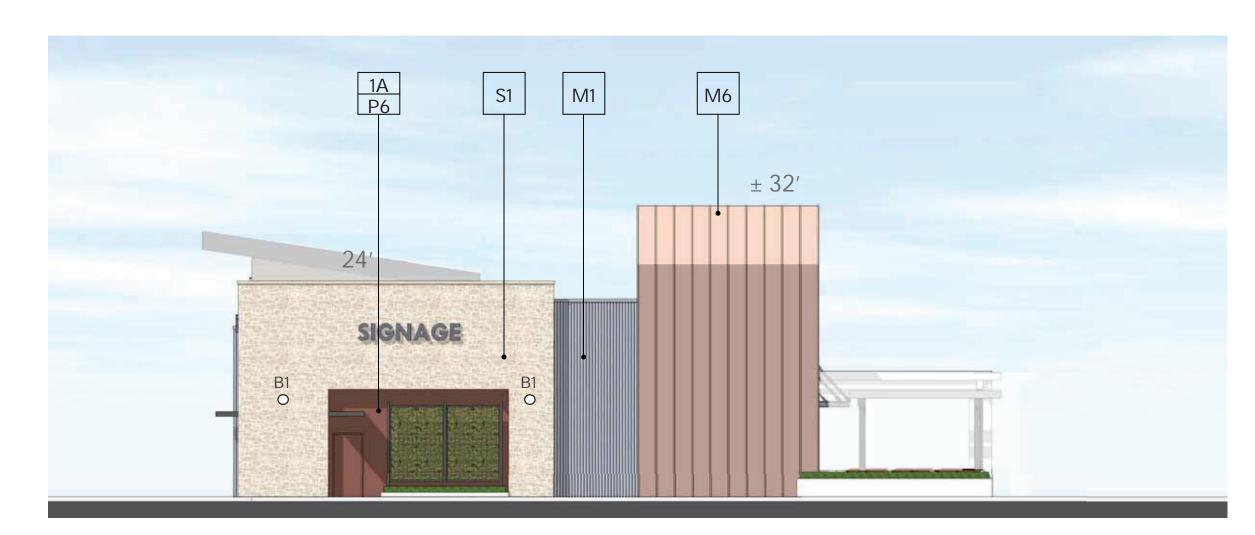
SIGNAGE



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

NOTES:

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FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION

BUILDING 7 Floor Plan and Elevations



(714) 241-0400

Esencia - Subarea 2.4

1A P5

F1

GREEN SCREEN, TYP.

37'-6"

"A"

(FOOD)

2,500 SF

NORTH ELEVATION

BLDG 8

7,800 GSF

119'-1"

23'-8"

(FOOD)

1,541 SF

FLOOR PLAN

24'-8"

(FOOD)

1,600 SF

1A P1 M4

F4



WEST ELEVATION



EAST ELEVATION

NOTES:

0 1' 2' 4' 8' 16' 21'-4"

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CONSTRUCT.

AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

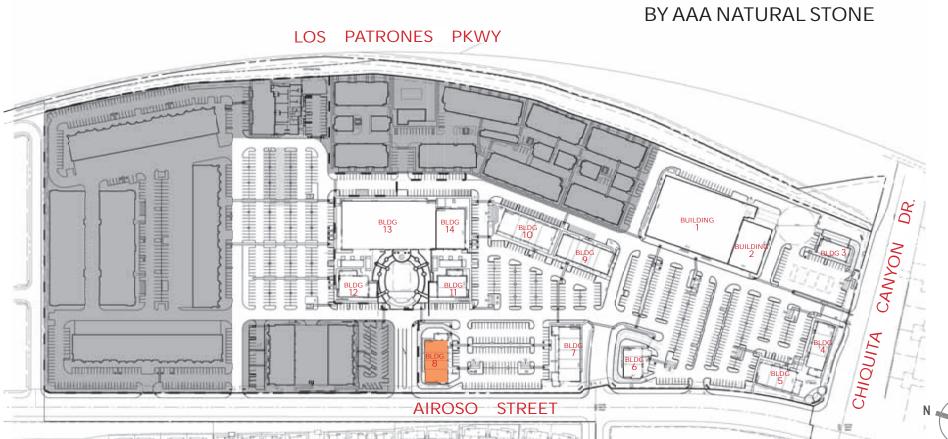
- STUCCO PLASTER 20/30 SAND FINISH BY OMEGA PRODUCTS
- COLOR TO MATCH: SW 7007 - CEILING BRIGHT WHITE
- BY SHERWIN WILLIAMS COLOR TO MATCH: SW 7070 - SITE WHITE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 6085 - SIMPLIFY BEIGE BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 6672 - MORNING SUN BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 7718 - OAK CREEK BY SHERWIN WILLIAMS
- COLOR TO MATCH: SW 0006 - TOILE RED BY SHERWIN WILLIAMS
- BY CERACLAD FIBER CEMENT PANELS

FIBER CEMENT PANELS

MODERN STRIPE - GRAY

URBAN CEDAR - ASH

- BY JAMES HARDIE FIBER CEMENT PANELS
- 8-REVEAL DAISY ORANGE BY JAMES HARDIE
- FIBER CEMENT BOARD & BATTEN 7" IRON GRAY BY JAMES HARDIE
- FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY BY JAMES HARDIE
- CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES
- RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES
 - RIBBED METAL WALL PANELS TERRA COTTA BY METAL SALES
 - STANDING SEAM METAL ROOF MATTE BLACK BY METAL SALES
 - STANDING SEAM METAL ROOF BY METAL SALES
 - STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES
 - COLOR TO MATCH: RAL 7015 SLATE GREY
- COLOR TO MATCH: RAL 2023 -PEARL DARK GREY
- COLOR TO MATCH: TERRA
- BY METAL SALES METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY-
- BY METAL SALES STONE VENEER CAPPUCCINO RUBBLE



KEY PLAN

ESTAR ASSOCIATES Contact: Jud Dutrisac

(714) 241-0400

LOS PATRONES RETAIL PARTNERS, LLC

LOW WALL

Esencia - Subarea 2.4 Mixed Use Center Phase 3 Esencia Commons Site Development Plan

Rancho Mission Viejo, CA

17'-6"

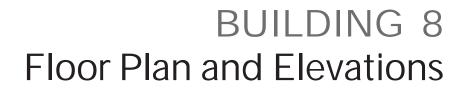
PATIO

800 SF

33'-3"

(FOOD)

1,903 SF





applicable code requirements of the jurisdiction. Issuance of a permit is recommended ubject to approval by other departments and any noted conditions. The stamping of these

standards to relieve the owner, design professional of record or contractor of compliance

BUREAU VERITAS NORTH AMERICA, INC.

GREENS CREEN

TYP.

1A P6

SIGNAGE

F4

SIGNAGE

1A P6

1A P1

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

FIBER CEMENT PANELS

URBAN CEDAR - ASH

BY CERACLAD FIBER CEMENT PANELS MODERN STRIPE - GRAY

FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE BY JAMES HARDIE

BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" IRON GRAY BY JAMES HARDIE

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CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES

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TERRA COTTA

BY METAL SALES

BY METAL SALES

BY METAL SALES STANDING SEAM METAL ROOF MATTE BLACK

STANDING SEAM METAL ROOF

STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

METAL / METAL SHEET COLOR.

METAL / METAL SHEET COLOR.

COLOR TO MATCH: RAL 2023 -

COLOR TO MATCH: RAL 7015 SLATE GREY BY RAL CLASSIC COLOR

PEARL DARK GREY BY RAL CLASSIC COLOR METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA

BY METAL SALES METAL / METAL SHEET COLOR.

BY AAA NATURAL STONE

COLOR TO MATCH: BRANDY BY METAL SALES

STONE VENEER CAPPUCCINO RUBBLE

KEY PLAN

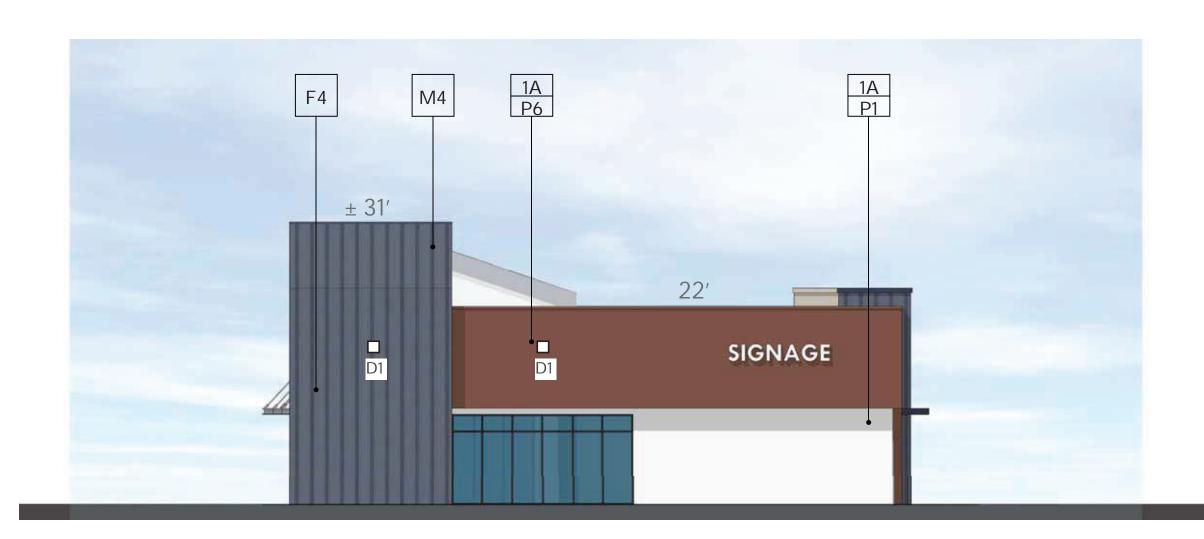
LOS PATRONES PKWY

1A P1

M7

1A P1

NORTH ELEVATION



SOUTH ELEVATION

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(RETAIL)

2,583 SF

43'-9"

SIGNAGE

1A P1

(FITNESS) (MEDICAL) (RETAIL) 1,200 SF 1,200 SF 1,600 SF

1A P6

M4

SIGNAGE

WEST ELEVATION

EAST ELEVATION

BLDG 9

10,000 GSF

25'

(RETAIL)

18'-9"

1,200 SF

(MEDICAL)

31'-3"

2,000 SF

1A P1

18'-9" 18'-9"

156'-3"

64'

FLOOR PLAN

Esencia - Subarea 2.4 Mixed Use Center Phase 3

Esencia Commons Site Development Plan

Rancho Mission Viejo, CA

BUILDING 9 Floor Plan and Elevations

FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION



tandards to relieve the owner, design professional of record or contractor of compliance

C1 C1

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

BY SHERWIN WILLIAMS

FIBER CEMENT PANELS

URBAN CEDAR - ASH

BY CERACLAD FIBER CEMENT PANELS MODERN STRIPE - GRAY

FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE

BY JAMES HARDIE

BY JAMES HARDIE FIBER CEMENT BOARD & BATTEN 7" IRON GRAY BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY BY JAMES HARDIE

CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES

BY METAL SALES RIBBED METAL WALL PANELS

TERRA COTTA

BY METAL SALES

BY METAL SALES STANDING SEAM METAL ROOF MATTE BLACK

RIBBED METAL WALL PANELS

STANDING SEAM METAL ROOF BY METAL SALES

STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 SLATE GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA

BY METAL SALES METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY

BY METAL SALES STONE VENEER CAPPUCCINO RUBBLE BY AAA NATURAL STONE

LOS PATRONES PKWY

KEY PLAN



1A P3

SIGNAGE

SIGNAGE

WEST ELEVATION

SIGNAGE

ICNACE

1A P1

1A P3



EAST ELEVATION



M5



SOUTH ELEVATION

NOTES:

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- GREEN SCREEN, TYP.

BLDG 10 10,000 GSF "B" (MEDICAL) (RETAIL) (RETAIL) (RETAIL) (RETAIL) 2,783 SF 1,500 SF 1,500 SF 1,250 SF 2,750 SF 46'-9" 23'-6" 23'-6" 19'-7" 43'

156'-3"

FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION

FLOOR PLAN

(714) 241-0400

Rancho Mission Viejo, CA



DATE: 1/11/2024

applicable code requirements of the jurisdiction. Issuance of a permit is recommended ubject to approval by other departments and any noted conditions. The stamping of these

STUCCO PLASTER 20/30 SAND FINISH

COLOR TO MATCH:

SW 0006 - TOILE RED BY SHERWIN WILLIAMS

FIBER CEMENT PANELS

FIBER CEMENT PANELS URBAN CEDAR - ASH BY CERACLAD

MODERN STRIPE - GRAY BY JAMES HARDIE

FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE BY JAMES HARDIE

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RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES RIBBED METAL WALL PANELS

TERRA COTTA

BY METAL SALES

BY METAL SALES

BY METAL SALES STANDING SEAM METAL ROOF MATTE BLACK

STANDING SEAM METAL ROOF **BRANDYWINE**

STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 -SLATE GREY

BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA

BY METAL SALES M10 METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY

BY AAA NATURAL STONE

BY METAL SALES STONE VENEER CAPPUCCINO RUBBLE

LOS PATRONES PKWY

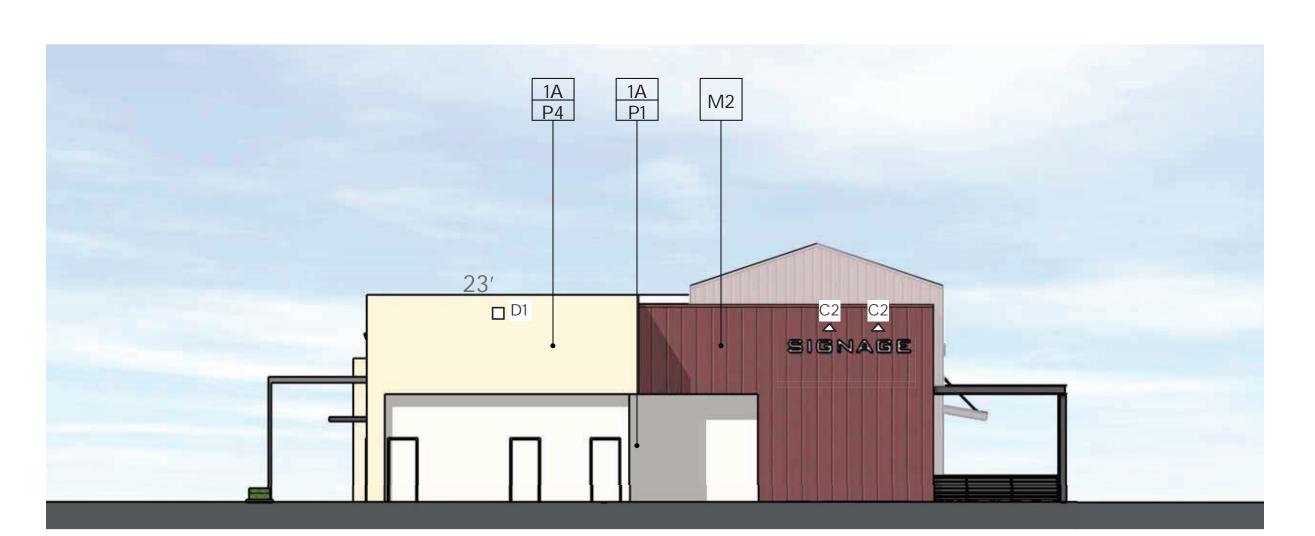
KEY PLAN

SIGNATURE: Trang Huynh, P.E. 1A P4 1A P4 ± 29' SIGNAGE

EAST ELEVATION



WEST ELEVATION



M2

± 29'

SIGNAGE

F5

NORTH ELEVATION

SOUTH ELEVATION

1A P4

22'-6"

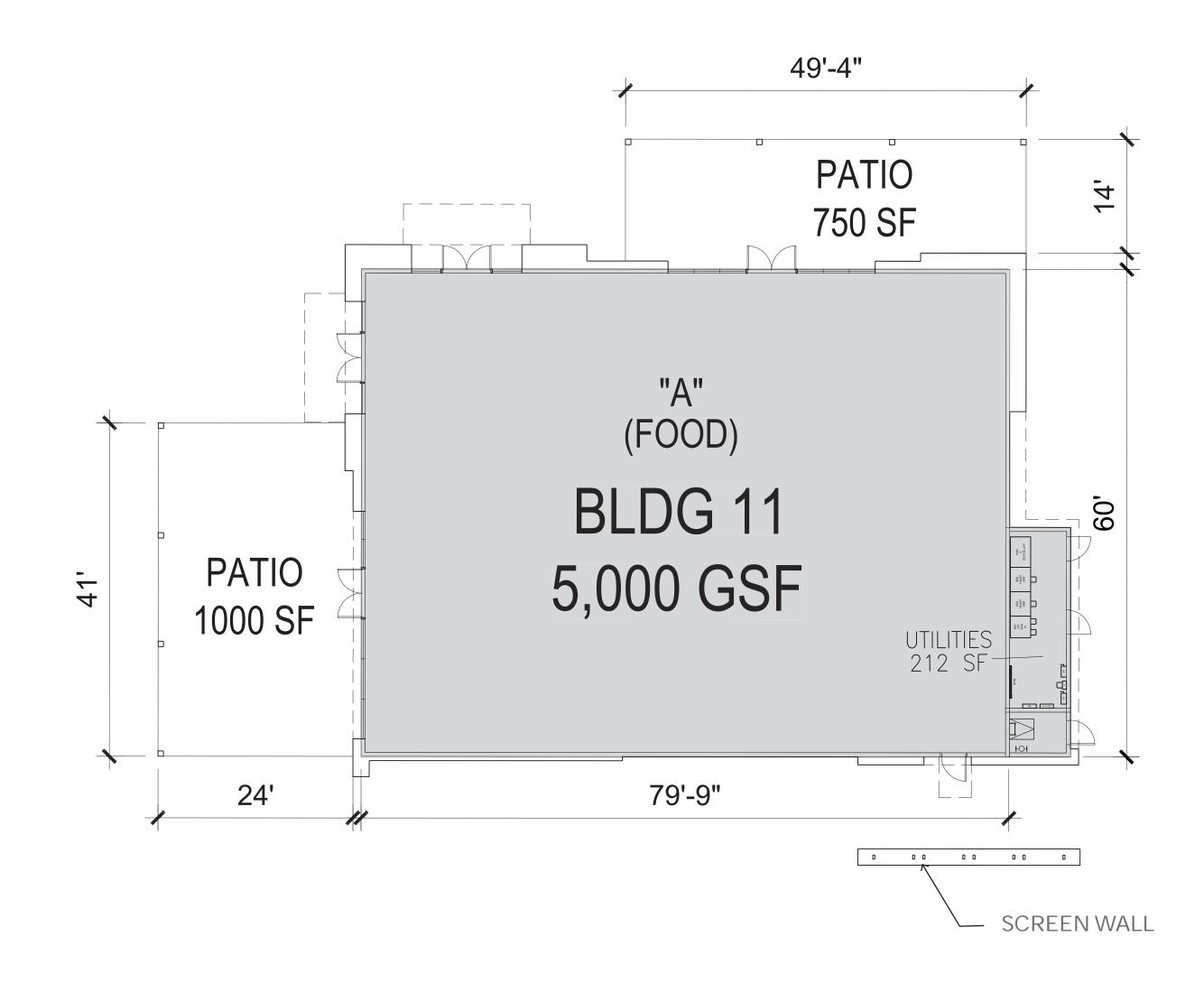
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FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION



FLOOR PLAN



(714) 241-0400

Rancho Mission Viejo, CA

DATE: 1/11/2024

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BY SHERWIN WILLIAMS

FIBER CEMENT PANELS

URBAN CEDAR - ASH BY CERACLAD FIBER CEMENT PANELS MODERN STRIPE - GRAY

FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE

BY JAMES HARDIE FIBER CEMENT BOARD & BATTEN 7" IRON GRAY

BY JAMES HARDIE

FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY BY JAMES HARDIE

BY JAMES HARDIE

CORRUGATED METAL **OLD TOWN GREY** BY METAL SALES

RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES RIBBED METAL WALL PANELS

TERRA COTTA

BY METAL SALES

BY METAL SALES

BY METAL SALES STANDING SEAM METAL ROOF MATTE BLACK

STANDING SEAM METAL ROOF

STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 -SLATE GREY

BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR

METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA

BY METAL SALES M10 METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY-

BY METAL SALES STONE VENEER

NORTH ELEVATION

1A M4

24'

△ C2 △ C2

7-IIII

SIGNAGE

1A P1

23'

D1

S1



SOUTH ELEVATION

1A P2

M7 S1

EAST ELEVATION

1A P2

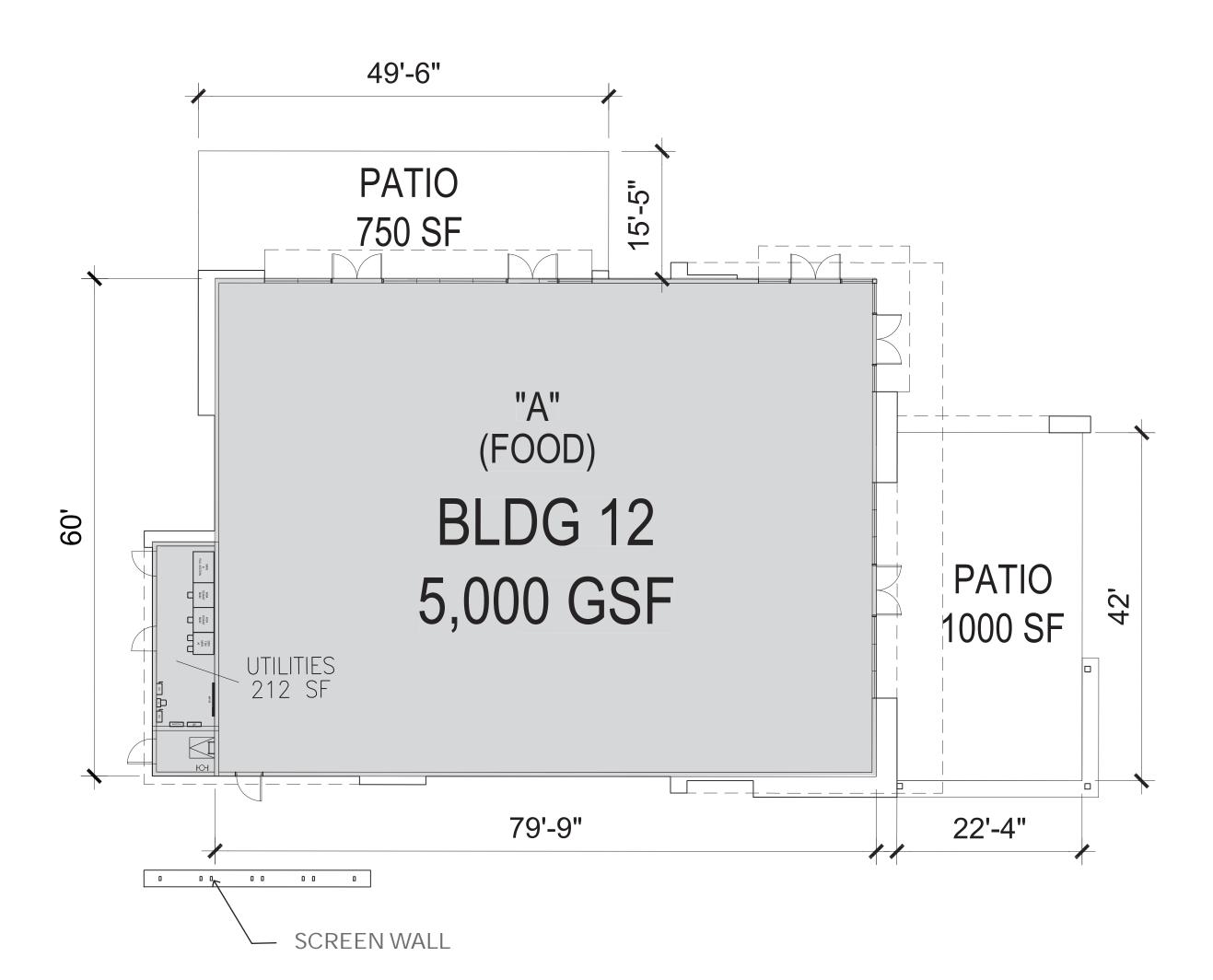
F1 M7 1A P1

Δ Δ

SIGNAGE

S1

WESTELEVATION



NOTES:

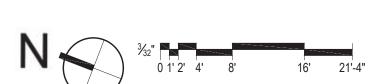
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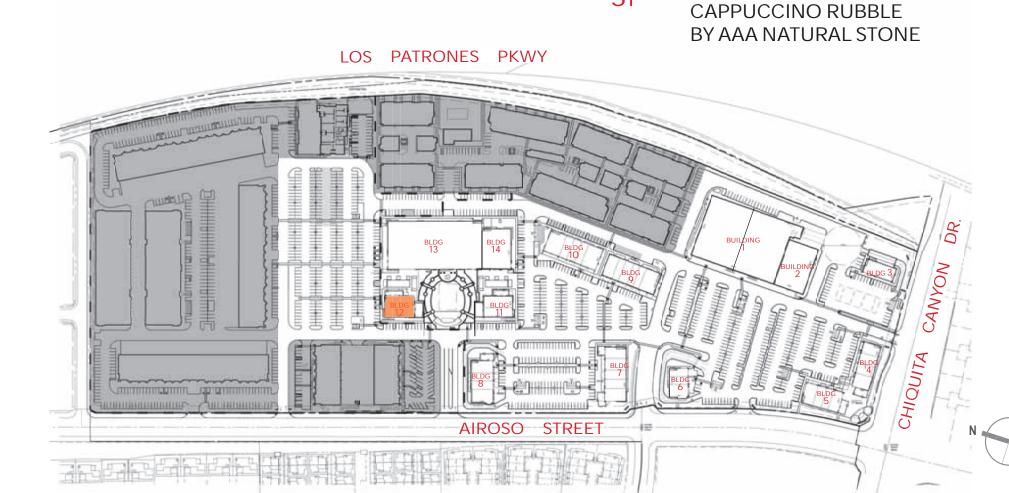
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FLOOR PLAN







KEY PLAN

(714) 241-0400



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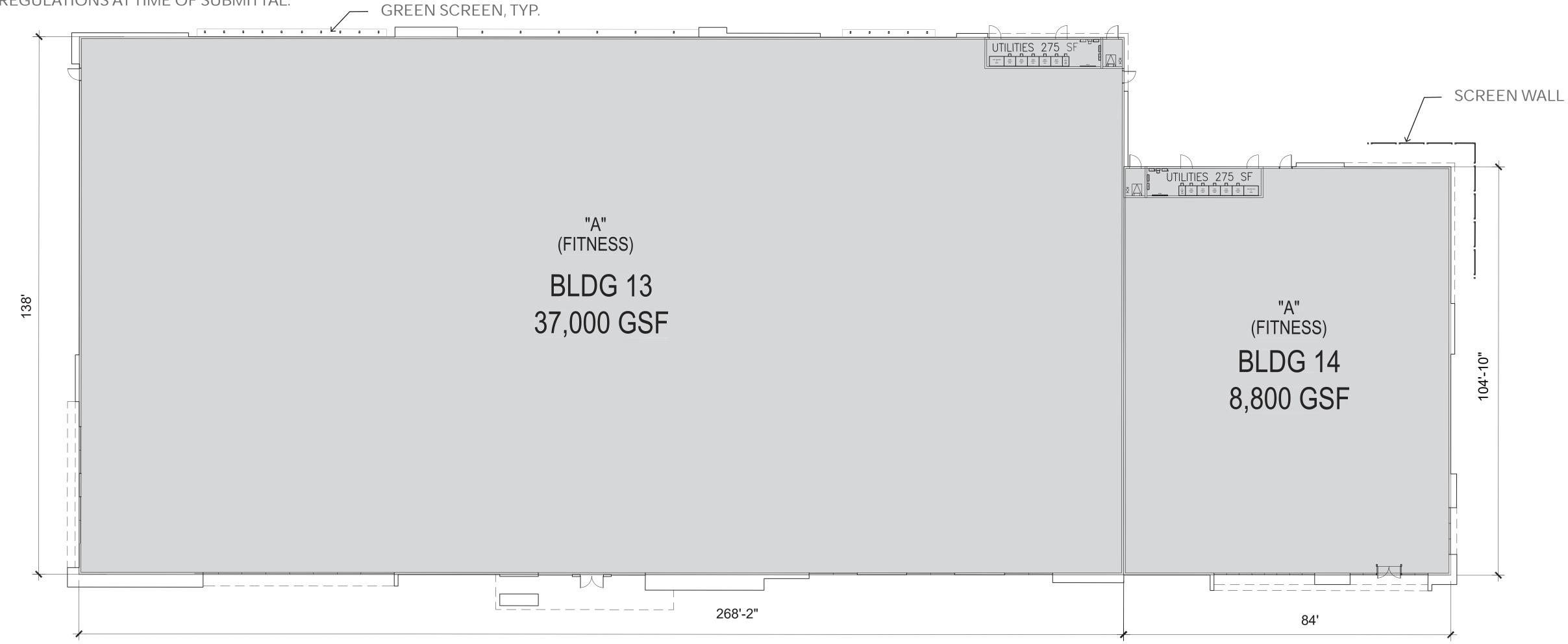
BUILDING 14

RAYS CAUSED BY ILLUMINATED SIGNS WILL BE RESTRICTED TO THE SITE PER COUNTY STANDARD CONDITION OF APPROVAL.

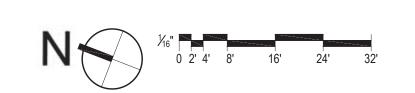
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EAST ELEVATION



FLOOR PLAN





NORTH ELEVATION



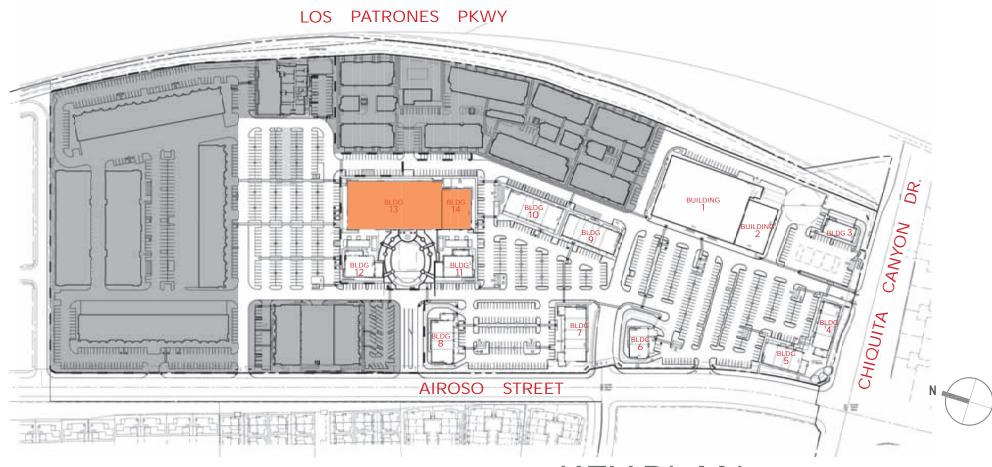
SOUTH ELEVATION

- STUCCO PLASTER 20/30 SAND FINISH BY OMEGA PRODUCTS
- COLOR TO MATCH: SW 7007 - CEILING BRIGHT WHITE BY SHERWIN WILLIAMS
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- RIBBED METAL WALL PANELS TERRA COTTA BY METAL SALES
- STANDING SEAM METAL ROOF MATTE BLACK BY METAL SALES
- STANDING SEAM METAL ROOF **BRANDYWINE** BY METAL SALES
- STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES

- M7 METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 -SLATE GREY BY RAL CLASSIC COLOR
 - METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR
- METAL / METAL SHEET COLOR. COLOR TO MATCH: TERRA
- BY METAL SALES M10 METAL / METAL SHEET COLOR. COLOR TO MATCH: BRANDY-BY METAL SALES
- STONE VENEER CAPPUCCINO RUBBLE BY AAA NATURAL STONE

FOR LIGHTING FIXTURE DETAILS - PLEASE REFER TO SHEET A-14 FOR MATERIAL & COLOR INFORMATION



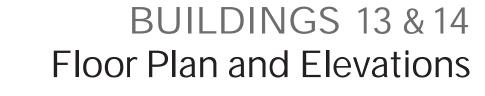
KEYPLAN



Esencia - Subarea 2.4 Mixed Use Center Phase 3 Esencia Commons Site Development Plan

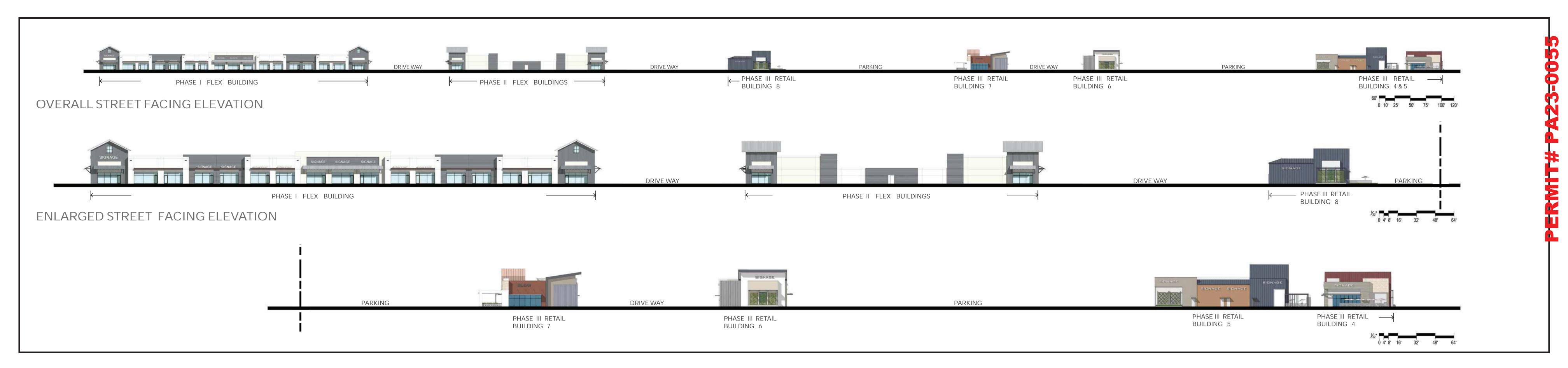
Rancho Mission Viejo, CA

BUILDING 13

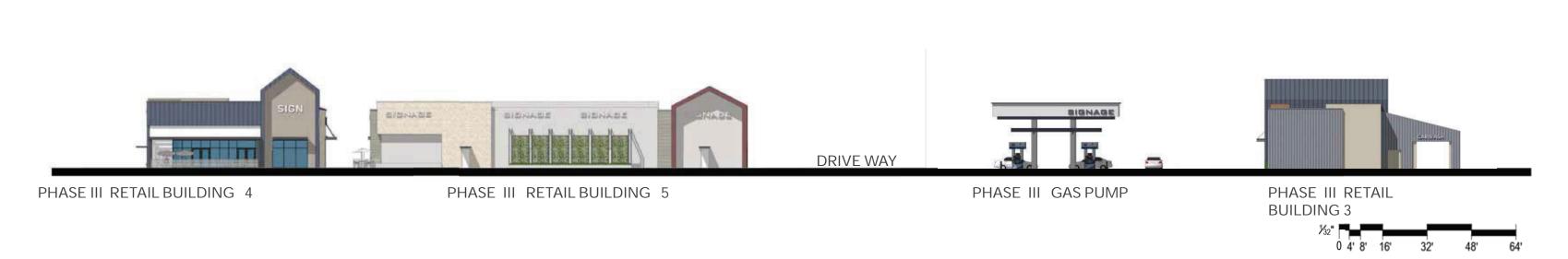




01. LOS PATRONES PKWY - STREET FACING ELEVATION



02. AIROSO STREET - STREET FACING ELEVATION



03. CHIQUITA CANYON DR. - STREET FACING ELEVATION



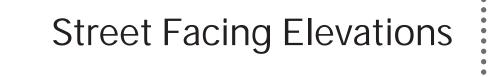
LOS PATRONES PKWY

LOS PATRONES RETAIL PARTNERS, LLC

KEY PLAN

Esencia - Subarea 2.4
Mixed Use Center Phase 3
Esencia Commons Site Development Plan

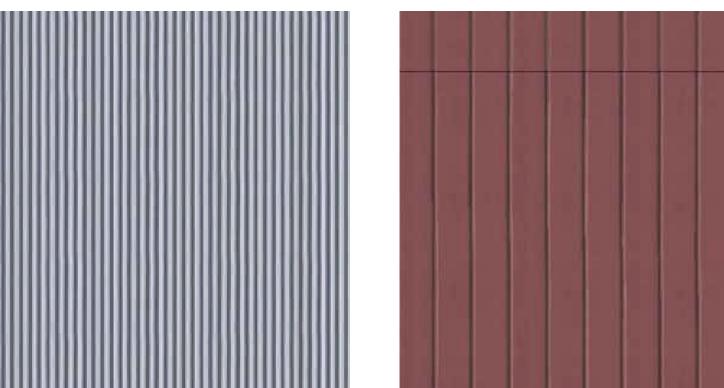
Rancho Mission Viejo, CA







COLOR TO MATCH: SW 7007 - CEILING BRIGHT WHITE BY SHERWIN WILLIAMS



CORRUGATED METAL OLD TOWN GREY BY METAL SALES



COLOR TO MATCH:

SW 7070 - SITE WHITE

BY SHERWIN WILLIAMS

RIBBED METAL WALL PANELS BRANDYWINE BY METAL SALES



COLOR TO MATCH:

SW 6085 - SIMPLIFY BEIGE

BY SHERWIN WILLIAMS

RIBBED METAL WALL PANELS TERRA COTTA BY METAL SALES



COLOR TO MATCH:

SW 6672 - MORNING SUN

BY SHERWIN WILLIAMS

STANDING SEAM METAL ROOF MATTE BLACK BY METAL SALES



COLOR TO MATCH:

SW 7718 - OAK CREEK

BY SHERWIN WILLIAMS

STANDING SEAM METAL ROOF **BRANDYWINE** BY METAL SALES



COLOR TO MATCH:

SW 0006 - TOILE RED

BY SHERWIN WILLIAMS

STANDING SEAM METAL ROOF TERRA COTTA BY METAL SALES



STUCCO PLASTER

20/30 SAND FINISH

BY OMEGA PRODUCTS

METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 7015 -SLATE GREY BY RAL CLASSIC COLOR



METAL / METAL SHEET COLOR. COLOR TO MATCH: RAL 2023 -PEARL DARK GREY BY RAL CLASSIC COLOR



METAL / METAL SHEET COLOR

COLOR TO MATCH: BRANDY-

WINE

BY METAL SALES

METAL / METAL SHEET COLOR COLOR TO MATCH: TERRA COTTA BY METAL SALES



FIBER CEMENT PANELS URBAN CEDAR - ASH BY CERACLAD



FIBER CEMENT PANELS MODERN STRIPE - GRAY BY JAMES HARDIE



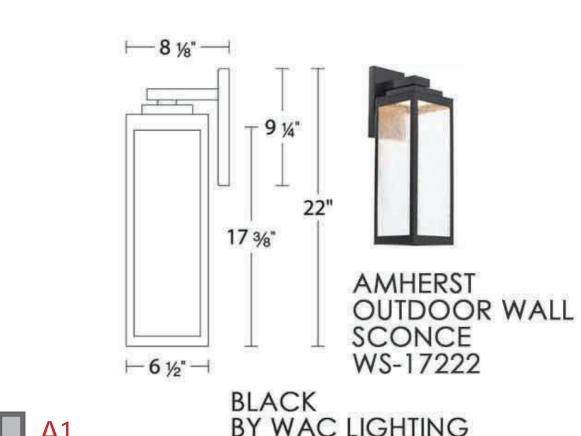
FIBER CEMENT PANELS 8-REVEAL - DAISY ORANGE BY JAMES HARDIE



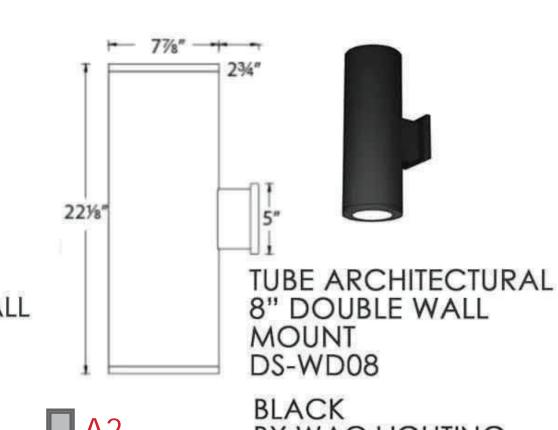
FIBER CEMENT BOARD & BATTEN 7" IRON GRAY BY JAMES HARDIE



FIBER CEMENT BOARD & BATTEN 7" PEARL GRAY BY JAMES HARDIE



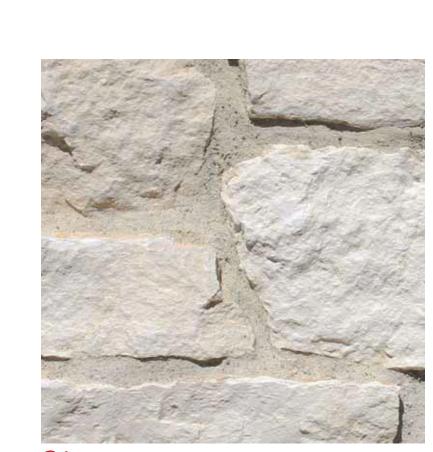
BY WAC LIGHTING WALL SCONCE



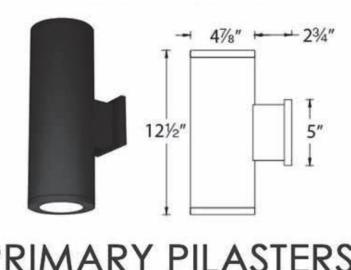
BY WAC LIGHTING WALL SCONCE



A3 WALL SCONCE BY TROY RLM



STONE VENEER CAPPUCCINO RUBBLE BY AAA NATURAL STONE



PRIMARY PILASTERS UPLIGHT/DOWNLIGHT

TUBE ARCHITECTURAL 5" **EXTENDED SINGLE** WALL MOUNT DS-WE05 **BLACK** BY WAC LIGHTING





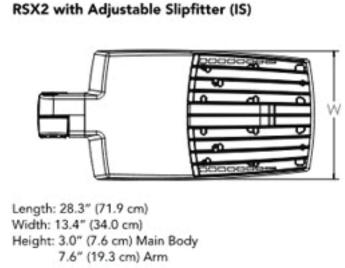
A C1 ACCENT LIGHTS BY TROY RLM

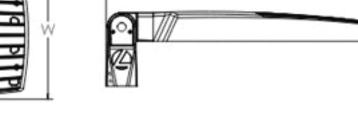


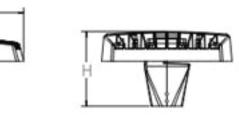
ACCENT LIGHTS BY TROY RLM



CYLINDER OUTDOOR WALL SCONCE WS-W230302 BLACK BY WAC LIGHTING

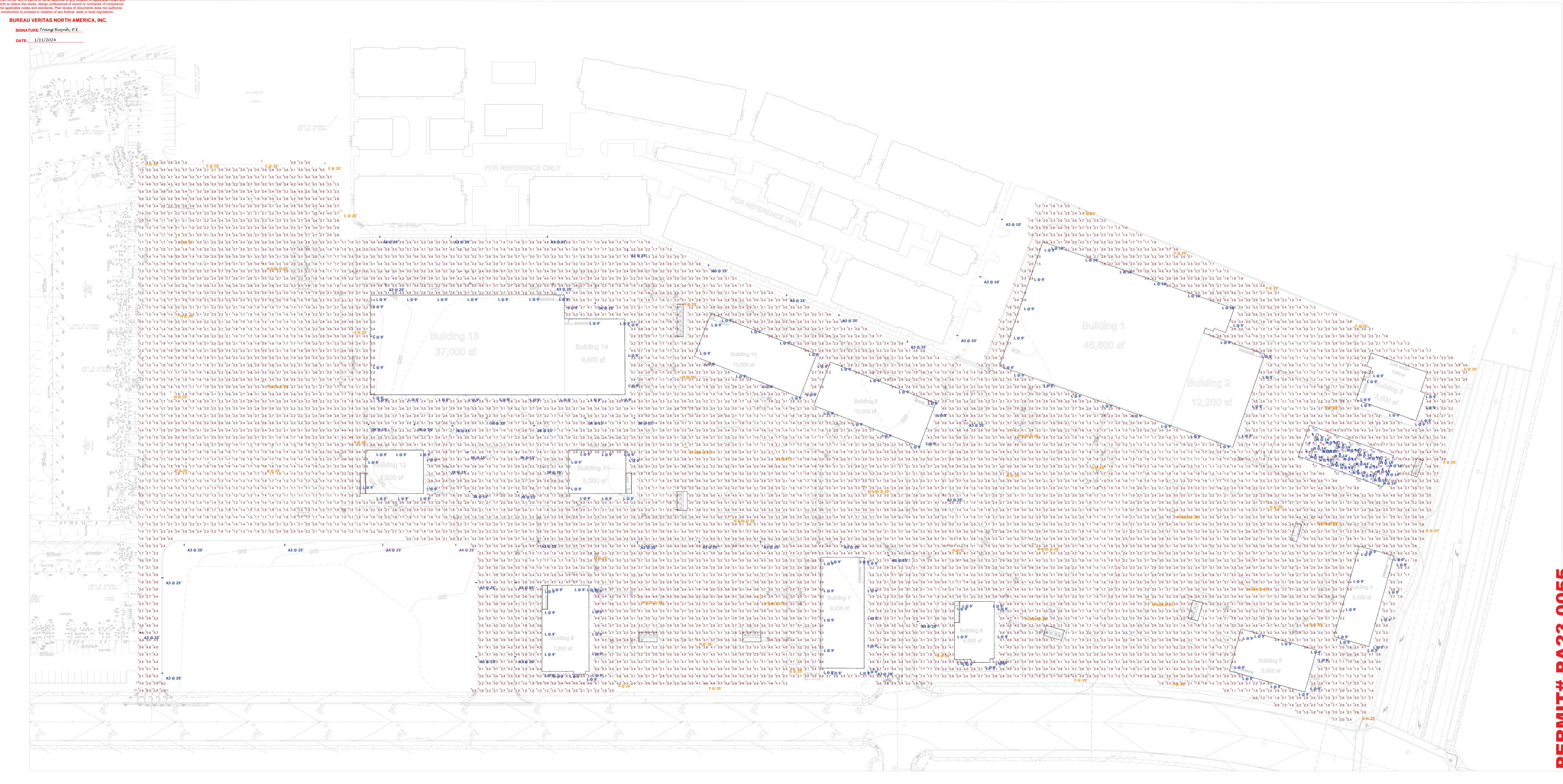






WALL WASH





Schedule								Lumens		
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	per Lamp	LLF	Wattage
	А3	33	Lithonia Lighting	RSX2 LED P2 40K R3	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R3 Distribution	1	RSX2 LED P2 40K R3.ies	17202	0.9	114.07
	A4	2	Lithonia Lighting	RSX2 LED P2 40K R4	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R4 Distribution	1	RSX2 LED P2 40K R4.ies	17427	0.9	114.07
	С	3	Lithonia Lighting	DSX1 LED P7 40K 80CRI BLC4	D-Series Size 1 Area Luminaire P7 Performance Package 4000K CCT 80 CRI Type 4 Extreme Backlight Control	1	DSX1 LED P7 40K 80CRI BLC4.ies	15309	0.9	184.43
	D	1	Lithonia Lighting	DSX1 LED P7 40K 80CRI LCCO	D-Series Size 1 Area Luminaire P7 Performance Package 4000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control	1	DSX1 LED P7 40K 80CRI LCCO.ies	14956	0.9	184.43
	Е	1	Lithonia Lighting	DSX1 LED P7 40K 80CRI RCCO	D-Series Size 1 Area Luminaire P7 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control	1	DSX1 LED P7 40K 80CRI RCCO.ies	14956	0.9	184.43
	F	11	Lithonia Lighting	DSX1 LED P8 40K 80CRI T3M	D-Series Size 1 Area Luminaire P8 Performance Package 4000K CCT 80 CRI Type 3 Medium	1	DSX1 LED P8 40K 80CRI T3M.ies	25719	0.9	215.77
	G	5	Lithonia Lighting	DSX1 LED P8 40K 80CRI T4M	D-Series Size 1 Area Luminaire P8 Performance Package 4000K CCT 80 CRI Type 4 Medium	1	DSX1 LED P8 40K 80CRI T4M.ies	26102	0.9	215.77
	Н	16	Lithonia Lighting	DSX1 LED P8 40K 80CRI T5W	D-Series Size 1 Area Luminaire P8 Performance Package 4000K CCT 80 CRI Type 5 Wide	1	DSX1 LED P8 40K 80CRI T5W.ies	27291	0.9	215.77
ů	H-b2b	14	Lithonia Lighting	DSX1 LED P8 40K 80CRI T5W	D-Series Size 1 Area Luminaire P8 Performance Package 4000K CCT 80 CRI Type 5 Wide	1	DSX1 LED P8 40K 80CRI T5W.ies	27291	0.9	431.54
	JK	14	Lithonia Lighting	RADPT P3 40K SYM	RADEAN Post-Top with P3 4000K Symmetric distribution	1	RADPT P3 40K SYM.ies	7303	0.9	53.6184
	L	164	Lithonia Lighting	WDGE2 LED P3 40K 80CRI T4M	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 4 MEDIUM OPTIC	1	WDGE2_LED_P3_ 40K_80CRI_T4M.i es	3147	0.9	32.1375
	N	24			FCPA/2-150	1	FCPA2-150.ies	20805	0.9	152.74

Plan View Scale - 1'' = 50ft

Statistics								
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min		
Gas Station	Ж	50 fc	78 fc	17 fc	4.6:1	2.9:1		
Calc Zone	+	2.8 fc	20.8 fc	0.9 fc	23.1:1	3.1:1		

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

Notes

Temporary Future Facility signage may be placed on the property as approved by Landlord or Declarant, as applicable in its sole discretion.

Rays caused by illuminated signs will be restricted to the site per County Standard Condition of Approval.

Signage Summary

No. Sign Types Quantities Project Identification Corner Monument Sign Primary Project & Tenant Identification Monument Sign М2 Secondary Project & Tenant Identification Monument Sign M4 4 Panel Tenant Identification Monument Sign Service Station Rate Identification Monument Sign

LOS PATRONES PKWY 10,482 st PARK & RIDE BUSTALIS Building 1 46,800 sf a 12,200 sf/ 0 Building 12 5,000 sf (M3.1) EXISTING MULTI-TENANT \supset O NORTH AIROSO ST

Site Plan

Scale: 1" = 200'-0"



gary@thedesignfactor.net www.thedesignfactor.biz

Project

08-21-23

Sheet Number

Sign Type No.	Sign Type Name	Maximum Sign Area Width	Maximum Sign Area Height	Maximum Letter Height	Maximum Lines of Copy	Type of Illumination	Maximum Sign Area Sign	Total Structure Area	Sign Quantities
M1	Project Identification Corner Monument Sign	26'-11"	2'-4 1/2"	2'-4"	1	External	64 sq. ft.	161.5 sq. ft.	1
M2	Primary Project & Tenant Identification Monument Sign	7'-2 1/2''	4'-11"	1'-4"	2 (per each panel)	External & Internal	35.5 sq. ft.	101.25 sq. ft.	5
M3	Secondary Project & Tenant Identification Monument Sign	6'-9 1/2"	4'-11"	1'-4"	2 (per each panel)	External & Internal	33.5 sq. ft.	76 sq. ft.	1
M4	4 Panel Tenant Identification Monument Sign	13'-4"	4'-11"	1'-4 1/2"	1 (per each panel)	External & Internal	65.5 sq. ft.	96 sq. ft.	1
M5	Service Station Rate Identification Monument Sign	14'-5"	6'-0"	3'-3"	6	External & Internal	67 sq. ft.	123.75 sq. ft.	1

ese plans and documents have been reviewed and found to be in compliance with the policy of the properties of the jurisdiction. Issuance of a permit is recommended jet to approval by other depairments and any noted conditions. The stamping of these conditions are supported to the properties of the properties of the properties of the indiants for relieve the owner, design professional of second or contractor of compliance the applicable codes and standards. Plan review of documents does not authorize the properties of the p

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

Note: Rays caused by illuminated signs will be restricted to the site per County Standard Condition of Approval.

The Design Factor

These plans and documents have been evinewed and found to be in compliance with the applicable code requirements of the pradiction. Issuance of a permit recommended applicable provided by the provided provided in the provided provided provided and provided provided provided provided provided provided provided provided provided standards to relieve the control provided provided provided provided provided provided with the applicable codes and standards. Plan review of documents does not authorize with the applicable codes and standards. Plan review of documents does not authorize with the applicable codes and standards. Plan review of documents does not authorize.

DUDEAU VEDITAS MODTH AMEDICA, INC.

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

Project Identification Corner Monument Sign

Fabricated painted aluminum freestanding letters base mounted to top of existing structure stone cladded structure via common mounting bracket. Letters and existing structure to be up-lit with ground mounted light fixtures.

Rays caused by illuminated signs will be restricted to the site per County Standard Condition of Approval.



(M1.1)

1 Photo Simulation

Scale: 1/4" = 1'-0"

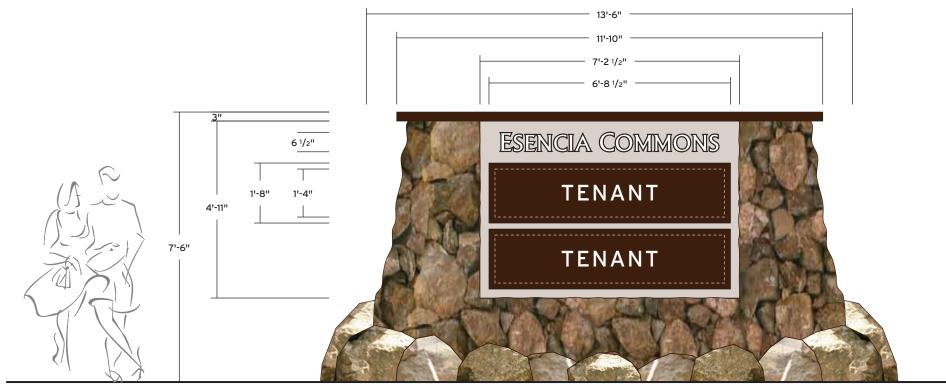
SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

Primary Project & Tenant Identification Monument Sign

Single sided sign with concrete block base/pilaster with stone cladding, fabricated painted aluminum cabinet and push-thru translucent copy with opaque face over-lays. Tenant panels to be fabricated painted aluminum with push-thru translucent graphics.

Rays caused by illuminated signs will be restricted to the site per County Standard Condition of Approval.



M2.2) (M2.3) (M2.4) (M2.5)

1	Details				
	Scale: 3/8" = 1				

Contact

Project

Sheet Title

08-21-23

BUREAU VERITAS NORTH AMERICA. INC.

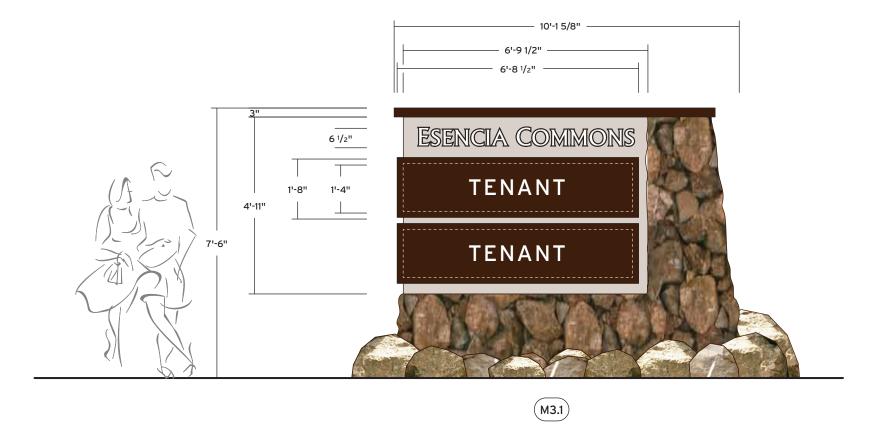
SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024

Secondary Project & Tenant Identification Monument Sign

Double sided sign with concrete block base/pilaster with stone cladding, fabricated painted aluminum cabinet and push-thru translucent copy with opaque face over-lays. Tenant panels to be fabricated painted aluminum with push-thru translucent graphics.

Rays caused by illuminated signs will be restricted to the site per County Standard Condition of Approval.



Details

Scale: 3/8" = 1'-0"

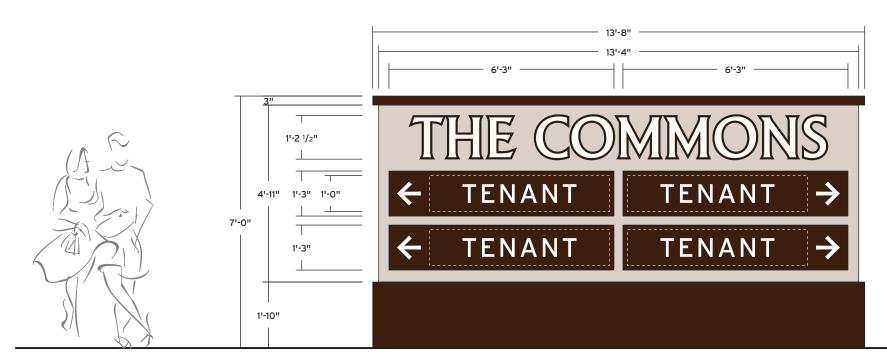
SDP PERMIT# PA23-0055

I nesse pairs and occuments have been reviewed an obsume to be in companies with the applicable code requirements and the first disciplination of the production. The standard subject to applicable code subject to applicable code of the production of the production of applicable codes and plans shall not be led to perform the code of the production of applicable codes and standards to relieve the cover, design professional ordination of applicable codes and standards to relieve the cover, design professional ordination of applicable codes and within the spread of the production of the productio

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024



Scale: 3/8" = 1'-0"



Contact

Project

4 Panel Tenant Identification Monument Sign

of Approval.

Single sided sign with concrete block base with stone cladding, fabricated painted aluminum

cabinet and fabricated painted aluminum tenant panels with push-thru translucent graphics.

Rays caused by illuminated signs will be restricted to the site per County Standard Condition

Date

08-21-23

BUREAU VERITAS NORTH AMERICA, INC.

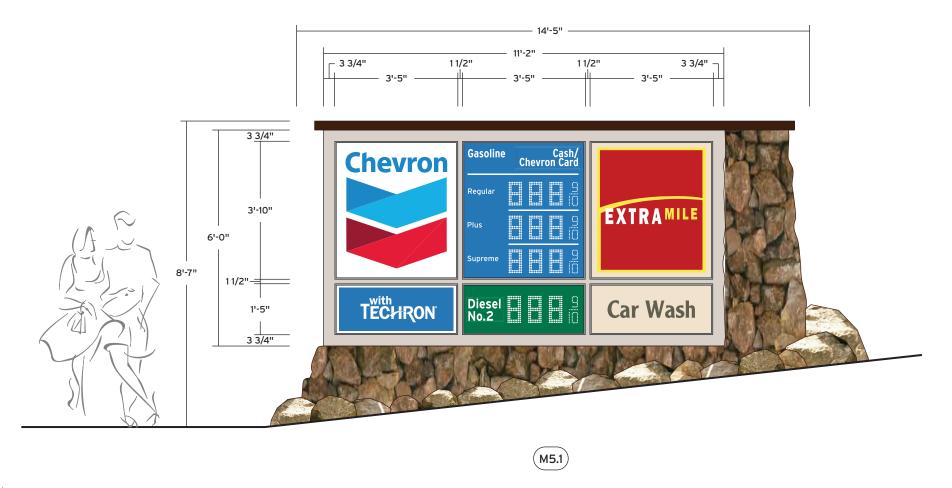
SIGNATURE:Trang Huynh, P.E.

DATE: 1/11/2024

Service Station Rate Identification Monument Sign

Double sided sign with concrete block with stone pilasters/base. Face panels to be fabricated painted aluminum with push-thru graphics. Price copy to be either individual inserted panels or digital displays.

Rays caused by illuminated signs will be restricted to the site per County Standard Condition of Approval.



Contact

Details

Scale: 3/8" = 1'-0"

The Design Factor

Project

08-21-23

GENERAL NOTES:

- 1. CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE SUBMITTED ALONG WITH A PERMIT APPLICATION TO CONSTRUCT.
- 2. CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVISIONS OF THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

LANDSCAPE IRRIGATION NOTE

THERE ARE NO EXISTING IRRIGATION SYSTEMS LOCATED O

PROPOSED IRRIGATION SYSTEMS ARE LOCATED IN THE LANDSCAPED AREAS.

ALL PROPOSED LANDSCAPE AND IRRIGATION SHALL BE IN COMPLIANCE WITH THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE AND IMPLEMENTATION GUIDELINES

(ADOPTED 12/15/09). THE IRRIGATION SYSTEM IS SERVED WITH RECYCLED WATER AND WILL INCLUDE A WEATHER BASED IRRIGATION SYSTEM WITH ONSITE WEATHER STATION AND COMPUTER. THE SYSTEMS WILL BE A COMBINATION OF SPRAY AND DRIP IRRIGATION COMPLIANT WITH THE COUNTY OF ORANGE MODEL WATER EFFICIENT ORDINANCE. IRRIGATION WATER

USE WILL COMPLY WITH WATER ALLOTMENTS DEFINED IN

LANDSCAPE CALCULATION

TOTAL SITE ACREAGE (18.37 ACRES) PROJECT AREA = 789,787 SQ. FT. LANDSCAPE AREA = 138,545 SQ. FT.

THE ORDINANCE.

17.5% OF PROJECT AREA COVERED BY LANDSCAPING

LANDSCAPE NOTES:

- THE PROJECT SITE WILL BE SCREENED FROM NEIGHBORING RESIDENCES WITH PLANT MATERIAL THAT WILL GROW BETWEEN 6'-0" AND 7'-0 IN HEIGHT.
- 2. THE PROJECT LANDSCAPING WILL CONSIST OF EVERGREEN OR

PLANTING NOTES

LANDSCAPE AREAS:

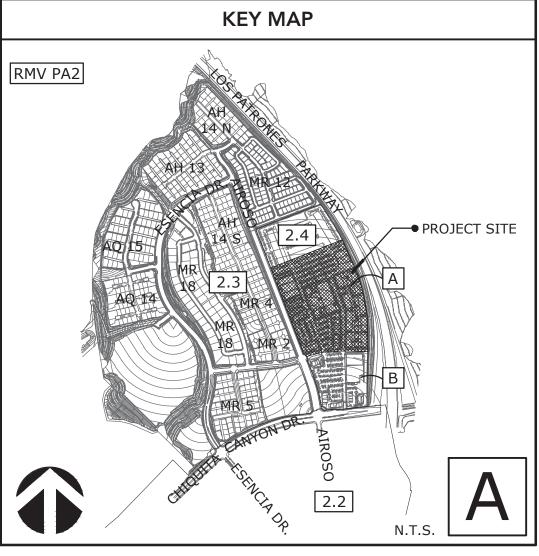


PLANTING AREAS (SHRUBS, VINES, GROUNDCOVER, GRASSES,

P.A. P.L.

HANDICAP ACCESSIBLE PATH OF TRAVEL

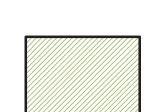
THE CALIFORNIA DEPARTMENT OF ALCOHOL BEVERAGE



COUNTY REVISIONS

COMPLETE LANDSCAPE IMPROVEMENT PLANS WILL BE PROVIDED WITH CONSTRUCTION, PLANTING AND IRRIGATION.

TURF OR SYNTHETIC TURF



SUCCULENTS, ETC.).

INCORPORATED INTO BICYCLE AND PEDESTRIAN PATH DESIGN.

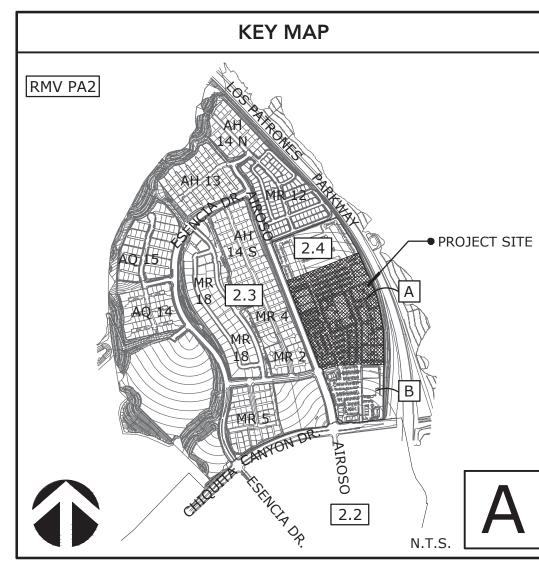
CONSTRUCTION LEGEND

CENTER LINE PLANTING AREA PROPERTY LINE R.O.W. RIGHT-OF-WAY

(4.9% MAX. SLOPE, 2% MAX. CROSS SLOPE) ------

ALCOHOL LICENSE NOTE

THE APPLICANT WILL OBTAIN THE APPROPRIATE LICENSE FROM



CONCERN

1750 E DEERE AVE SANTA ANA, CA 92705 O 949.250.4822

www.landconcern.com

a T

SITE DEVELOPMENT

LANDSCAPE PLAN

PROJECT MANAGER Akin Smith DRAWN

A. Smith DATE December 11, 2023



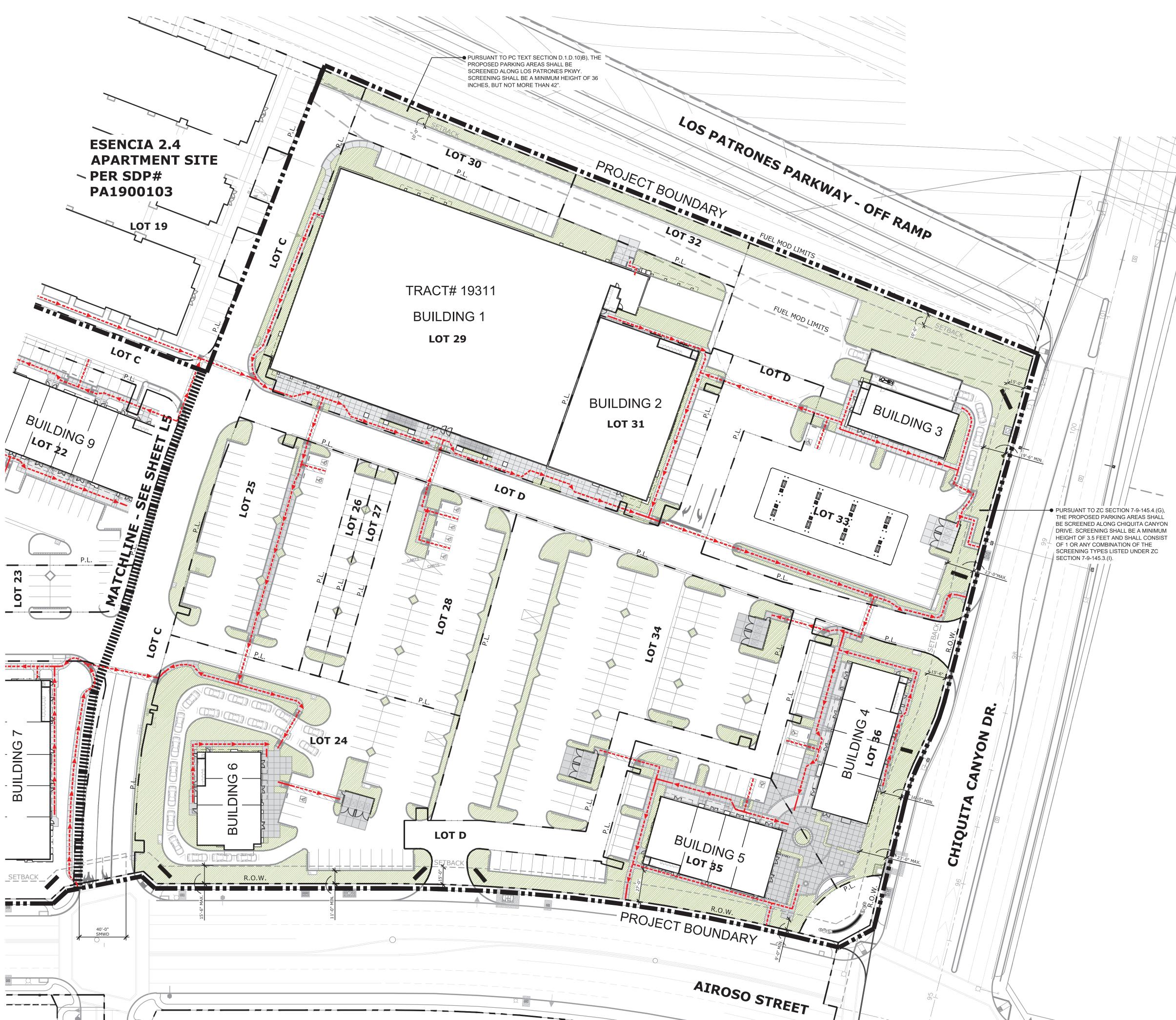
SHEET

applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these plans shall not be held to permit or be an approval of any violation of applicable codes and standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: Trang Huynh, P.E.

DATE: 1/11/2024



GENERAL NOTES:

- CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE SUBMITTED ALONG WITH A PERMIT APPLICATION TO CONSTRUCT.
- 2. CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVISIONS OF THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

ERE ARE NO EXISTING IRRIGATION SYSTEMS LOCATED O

THERE ARE NO EXISTING IRRIGATION SYSTEMS LOCATED ON THIS SITE.

PROPOSED IRRIGATION SYSTEMS ARE LOCATED IN THE LANDSCAPED AREAS.

ALL PROPOSED LANDSCAPE AND IRRIGATION SHALL BE IN COMPLIANCE WITH THE COUNTY OF ORANGE LANDSCAPE IRRIGATION CODE AND IMPLEMENTATION GUIDELINES (ADOPTED 12/15/09).

THE IRRIGATION SYSTEM IS SERVED WITH RECYCLED WATER AND WILL INCLUDE A WEATHER BASED IRRIGATION SYSTEM WITH ONSITE WEATHER STATION AND COMPUTER. THE SYSTEMS WILL BE A COMBINATION OF SPRAY AND DRIP IRRIGATION COMPLIANT WITH THE COUNTY OF ORANGE MODEL WATER EFFICIENT ORDINANCE. IRRIGATION WATER USE WILL COMPLY WITH WATER ALLOTMENTS DEFINED IN THE ORDINANCE.

LANDSCAPE CALCULATION

TOTAL SITE ACREAGE (18.37 ACRES) PROJECT AREA = 789,787 SQ. FT. LANDSCAPE AREA = 138,545 SQ. FT.

17.5% OF PROJECT AREA COVERED BY LANDSCAPING

LANDSCAPE NOTES:

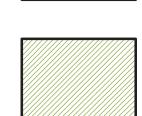
- THE PROJECT SITE WILL BE SCREENED FROM NEIGHBORING RESIDENCES WITH PLANT MATERIAL THAT WILL GROW BETWEEN 6'-0" AND 7'-0 IN HEIGHT.
- THE PROJECT LANDSCAPING WILL CONSIST OF EVERGREEN OR DECIDUOUS TREES AND / OR SHRUBS.

PLANTING NOTES

COMPLETE LANDSCAPE IMPROVEMENT PLANS WILL BE PROVIDED WITH CONSTRUCTION, PLANTING AND IRRIGATION.

LANDSCAPE AREAS:

TURF OR SYNTHETIC TURF



PLANTING AREAS (SHRUBS, VINES, GROUNDCOVER, GRASSES, SUCCULENTS, ETC.).

SHADE TREES WILL BE INCORPORATED INTO PARKING LOT DESIGNS (TO REDUCE EVAPORATIVE EMISSIONS FROM PARKED VEHICLES); WHERE SHADE TREES CAN BE SITED (TO REDUCE SUMMER COOLING NEEDS); SHADE TREES WILL BE INCORPORATED INTO BICYCLE AND PEDESTRIAN PATH DESIGN.

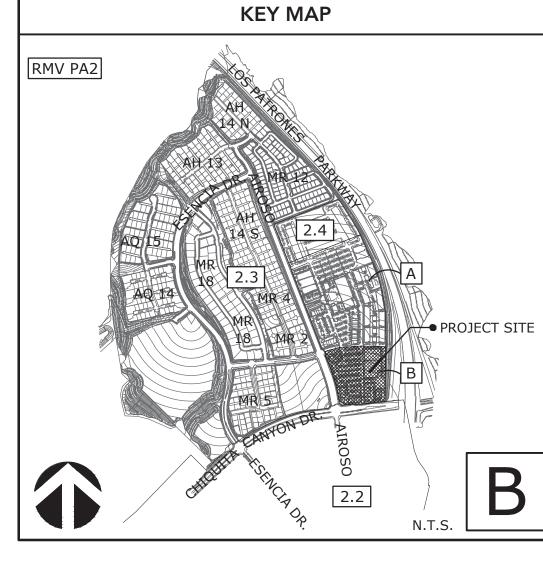
CONSTRUCTION LEGEND

C.L. CENTER LINE
P.A. PLANTING AREA
P.L. PROPERTY LINE
R.O.W. RIGHT-OF-WAY

HANDICAP ACCESSIBLE PATH OF TRAVEL (4.9% MAX. SLOPE, 2% MAX. CROSS SLOPE)

ALCOHOL LICENSE NOTE

THE APPLICANT WILL OBTAIN THE APPROPRIATE LICENSE FROM THE CALIFORNIA DEPARTMENT OF ALCOHOL BEVERAGE CONTROL NECESSARY TO SERVE ALCOHOL ON THE PREMISES.



COUNTY REVISIONS

Jse Center Phase 3 mons Site Development Plan Rancho Mission Viejo, CA 311 (Lots 10-18, & 20-36, Lots C & D)

LAND CONCERN

LANDSCAPE ARCHITECTURE

1750 E DEERE AVE
SANTA ANA, CA 92705
O 949.250.4822

www.landconcern.com

SITE DEVELOPMENT LANDSCAPE PLAN

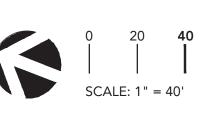
PROJECT MANAGER

Akin Smith

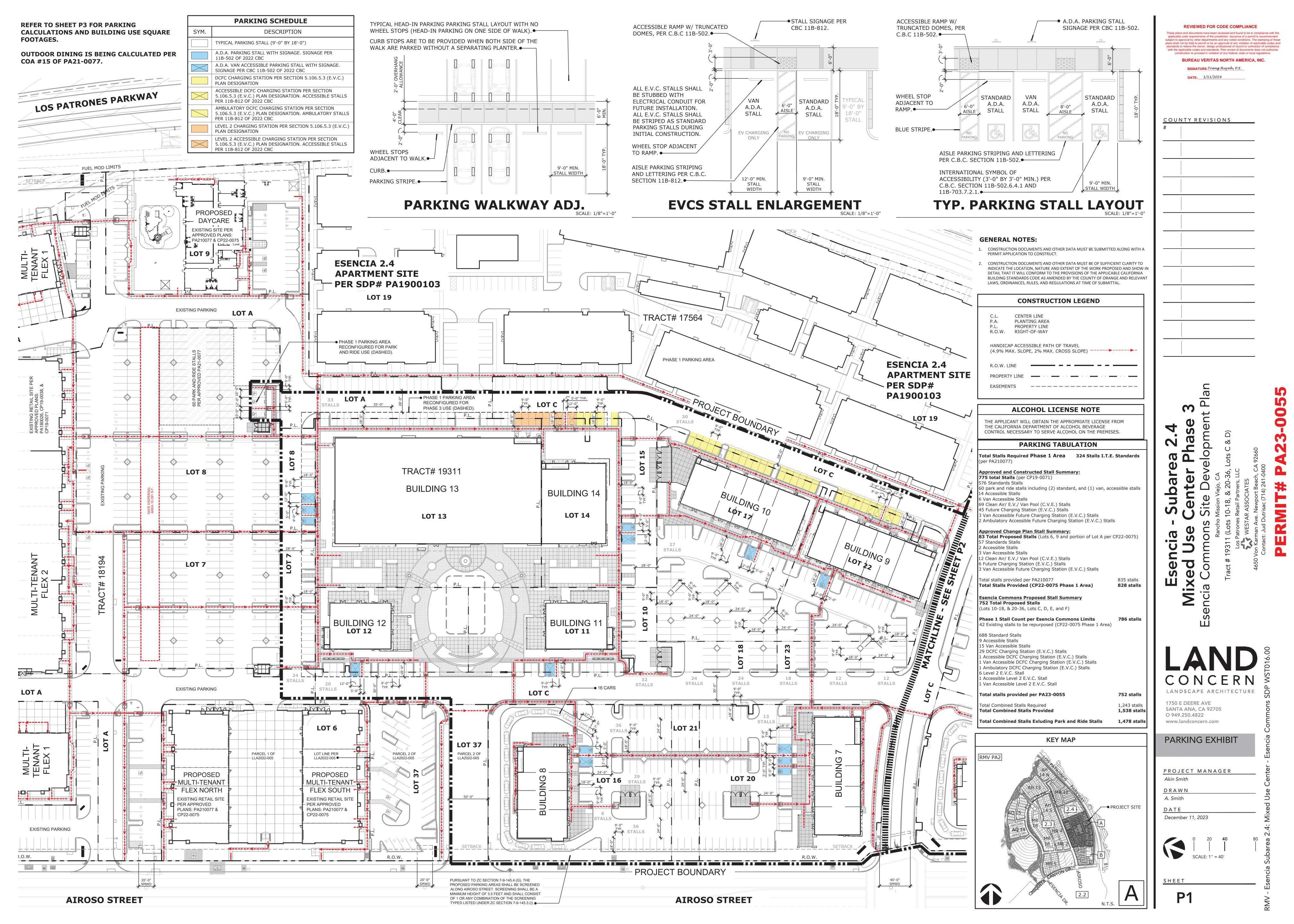
DRAWN

A. Smith

DATE
December 11, 2023



L6



REFER TO SHEET P3 FOR PARKING CALCULATIONS AND BUILDING USE SQUARE FOOTAGES.

OUTDOOR DINING IS BEING CALCULATED PER COA #15 OF PA21-0077.

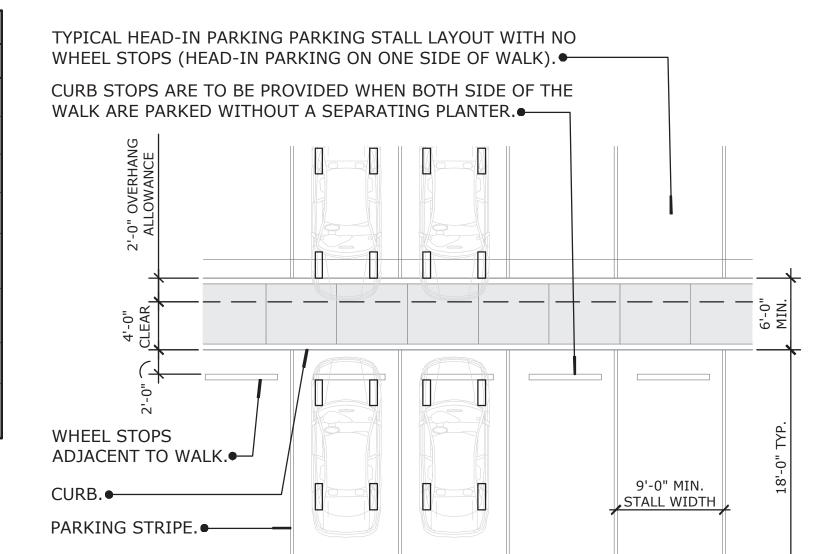
ESENCIA 2.4

PA1900103

→ PER SDP#

3331

APARTMENT SITE



PARKING WALKWAY ADJ.

TRACT# 19311

BUILDING 1

LOT 29

LOT D

PURSUANT TO PC TEXT SECTION D.1.D.10)B), THE PROPOSED PARKING AREAS SHALL BE SCREENED ALONG LOS PATRONES PKWY.

INCHES, BUT NOT MORE THAN 42".

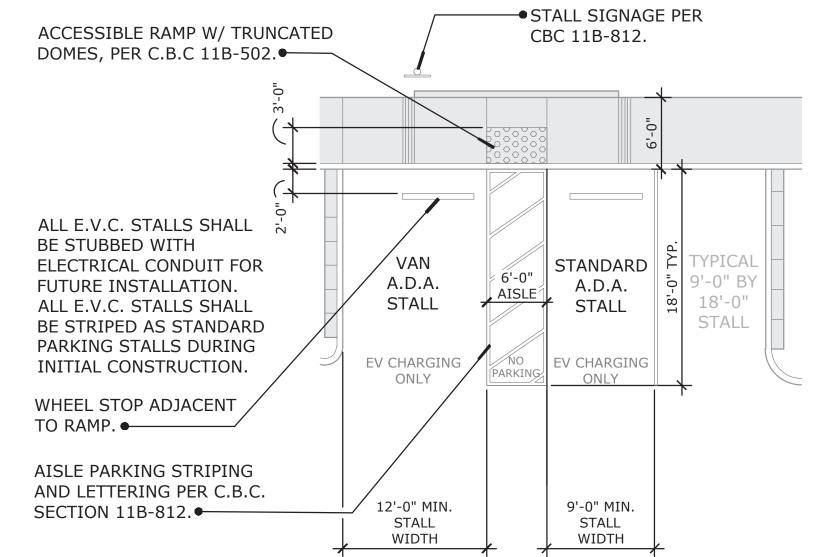
SCREENING SHALL BE A MINIMUM HEIGHT OF 36

BUILDING 2

LOT 31

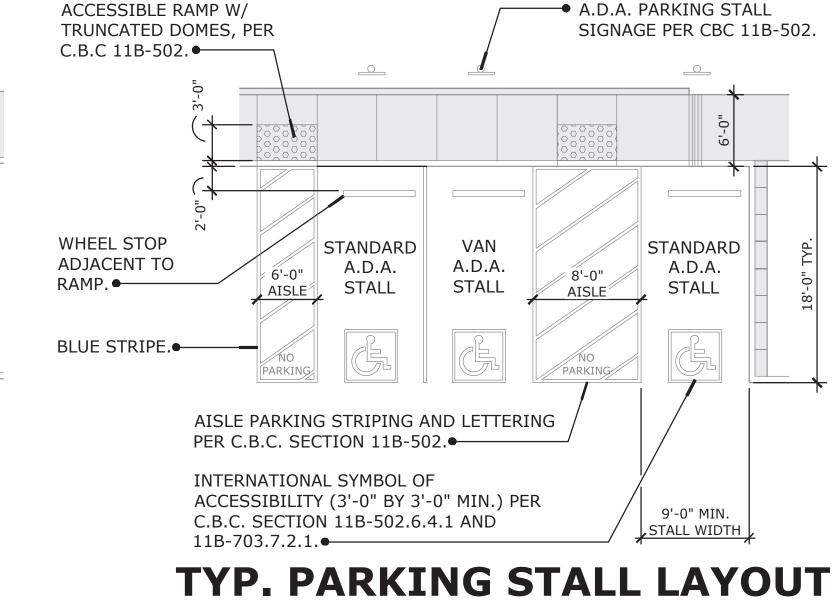
STALLS

AIROSO STREET



EVCS STALL ENLARGEMENT

STALLS



GENERAL NOTES:

CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE SUBMITTED ALONG WITH A PERMIT APPLICATION TO CONSTRUCT.

2. CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVISIONS OF THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

	CONSTRUCTION LEGEND
	C.L. CENTER LINE P.A. PLANTING AREA P.L. PROPERTY LINE R.O.W. RIGHT-OF-WAY
<u>,</u>	HANDICAP ACCESSIBLE PATH OF TRAVEL
À	(4.9% MAX. SLOPE, 2% MAX. CROSS SLOPE)
	PROPERTY LINE
	EASEMENTS

ALCOHOL LICENSE NOTE

THE APPLICANT WILL OBTAIN THE APPROPRIATE LICENSE FROM THE CALIFORNIA DEPARTMENT OF ALCOHOL BEVERAGE

PARKING TABULATION

3 Van Accessible Future Charging Station (E.V.C.) Stalls 2 Ambulatory Accessible Future Charging Station (E.V.C.) Stalls

83 Total Proposed Stalls (Lots 6, 9 and portion of Lot A per CP22-0075) 7 Standards Stalls Accessible Stalls

12 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls 6 Future Charging Station (E.V.C.) Stalls

Total stalls provided per PA210077 Total Stalls Provided (CP22-0075 Phase 1 Area)

Esencia Commons Proposed Stall Summary 752 Total Proposed Stalls

PURSUANT TO ZC SECTION 7-9-145.4.(G)

THE PROPOSED PARKING AREAS SHALL BE SCREENED ALONG CHIQUITA CANYON

DRIVE. SCREENING SHALL BE A MINIMUM

HEIGHT OF 3.5 FEET AND SHALL CONSIST OF 1 OR ANY COMBINATION OF THE SCREENING TYPES LISTED UNDER ZC

SECTION 7-9-145.3.(I).

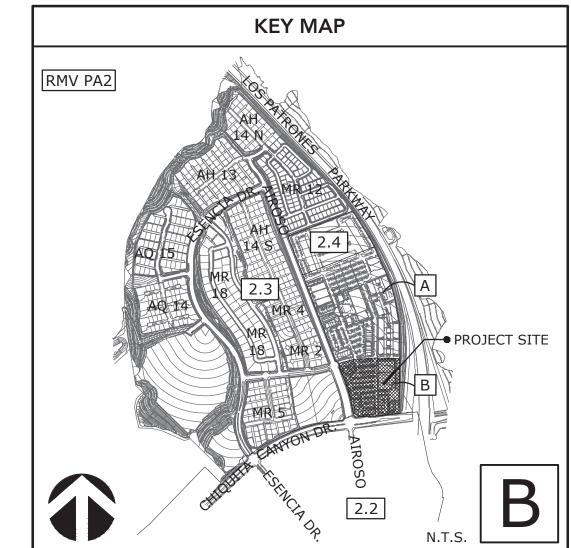
(Lots 10-18, & 20-36, Lots C, D, E, and F) **Phase 1 Stall Count per Esencia Commons Limits** 786 stalls 42 Existing stalls to be repurposed (CP22-0075 Phase 1 Area)

9 Accessible Stalls L5 Van Accessible Stalls 29 DCFC Charging Station (E.V.C.) Stalls Accessible DCFC Charging Station (E.V.C.) Stalls I Van Accessible DCFC Charging Station (E.V.C.) Stalls Ambulatory DCFC Charging Station (E.V.C.) Stalls 5 Level 2 E.V.C. Stall Accessible Level 2 E.V.C. Stall

Total stalls provided per PA23-0055

Total Combined Stalls Provided

Total Combined Stalls Exluding Park and Ride Stalls 1,478 stalls



COUNTY REVISIONS

CONTROL NECESSARY TO SERVE ALCOHOL ON THE PREMISES.

Total Stalls Required Phase 1 Area 324 Stalls I.T.E. Standards (per PA210077) **Approved and Constructed Stall Summary: 775 total Stalls** (per CP19-0071)

576 Standards Stalls 60 park and ride stalls including (2) standard, and (1) van, accessible stalls 6 Van Accessible Stalls 69 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls 45 Future Charging Station (E.V.C.) Stalls

Approved Change Plan Stall Summary:

3 Van Accessible Stalls

3 Van Accessible Future Charging Station (E.V.C.) Stalls

835 stalls 828 stalls

688 Standard Stalls

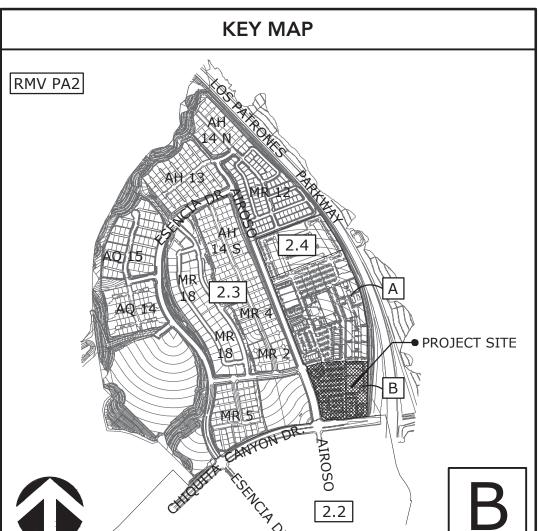
L Van Accessible Level 2 E.V.C. Stall

Total Combined Stalls Required

CONCERN LANDSCAPE ARCHITECTURE 752 stalls 1750 E DEERE AVE 1,243 stalls SANTA ANA, CA 92705 1,538 stalls O 949.250.4822

www.landconcern.com

a T



PARKING EXHIBIT

PROJECT MANAGER Akin Smith A. Smith December 11, 2023

BUREAU VERITAS NORTH AMERICA, INC. SIGNATURE: Trang Huynh, P.E. DATE: 1/11/2024

applicable code requirements of the jurisdiction. Issuance of a permit is recommended subject to approval by other departments and any noted conditions. The stamping of these standards to relieve the owner, design professional of record or contractor of compliance with the applicable codes and standards. Plan review of documents does not authorize construction to proceed in violation of any federal, state or local regulations.

BUREAU VERITAS NORTH AMERICA, INC.

SIGNATURE: Trang Huynh, P.E. DATE: 1/11/2024

> TENANT SPACES GROUPED BY USE MATRIX Bldg# Suite# Retail Food Medical Fitness Patio Suite Patio 46,572 11,956 1,820 1,742 2,788 Α 2,755

1 Patio SF not included in Grand Total

SUBTOTALS

GRAND TOTAL

2 If the suite Patio SF in Column G exceeds 10% of the Suite Floor Area in Column D, the Suite Patio Area is determined by subtracting 10% of of Column D from Column G

172,477

80,624 35,627 9,272 46,952 7,200¹ 5,231

3 Outdoor Dining areas are calculated per COA#15 of PA21-0077

A B C D E F G H I J K L M N **BUILDING AREA MATRIX**

Plda #	Suite #	Uso	Suite Gross Floor Area ¹	Building Gross Floor Area ¹	2% or less Utility Room Floor Area ²	Utility Room Floor Area	Total Utility Room Floor Area		Suite Floor Area ^{3, 5}		Suite Patio Sui SF ⁷ Are	te Patio	PARKING 6F = Suite Floor Are Patio Area ⁴
Bldg #	A	Retail	46,572		228			GFA	46,572	Alea	0 AT	0	46,57
1	U	Utilities	228			·			10,572			· ·	.0,0.
1		Subtotal		46,800	228	O	228	0.49%		46,572	0	0	46,57
2	Α	Retail	11,925		244	31	275		11,956		0	0	11,9
2	U	Utilities	275	12,200	244	31	275	2.25%		11.056	0	0	11.0
3	A	Subtotal Retail	3,283		68	66	135	2.23/0	3,349	11,956	0	0	11,9! 3,3 ⁴
3	В	Retail	2,000		42	41	82		2,041		0	0	2,0 ²
3	Ü	Utilities	217		72	71	02		2,011		Ĭ	· ·	2,0
3		Subtotal		5,500	110	107	217	3.95%		5,390	0	0	5,39
4	Α	Retail	1,389		29	23	52		1,412		0	0	1,4:
4	В	Food	1,377		29	23	51		1,400		0	0	1,4
4	С	Food	1,500		31	25	56		1,525		0	0	1,5
4	D U	Food Utilities	2,000		41	33	75		2,033		800	597	2,6
4	U	Subtotal	234	6,500	130	104	234	3.60%		6,370	800	597	6,9
5	Α	Food	1,790		37	30	67	0.0070	1,820	0,0.0	800	618	2,4
5	В	Food	1,250		26	21	47		1,271		0	0	1,2
5	С	Medical	1,512		31	25	56		1,537		0	0	1,5
5	D	Medical	1,714		36	28	64		1,742		0	0	1,7
5	U	Utilities	234	G =	24-	1 4 7 4 1 5	~	<u> </u>				-	
5		Subtotal		6,500	130		234	3.60%		6,370	800	618	6,9
6 6	A B	Food	2,000		42 25	57 34	99		2,057		0	0	2,0
6	С	Food Food	1,207 1,081		23	31	60 53		1,241 1,112		0	0	1,2 1,1
6	U	Utilities	212		25	31	33		1,112			Ū	_,_
6		Subtotal		4,500	90	122	212	4.71%		4,410	0	0	4,4
7	Α	Food	1,868		39	19	58		1,887		500	311	2,1
7	В	Retail	1,657		34	17	51		1,674		0	0	1,6
7	С	Retail	1,600		33	16	49		1,616		0	0	1,6
7	D	Food	1,600		33	16	49		1,616		0	0	1,6
7 7	E U	Food Utilities	2,200 275		45	22	68		2,222		800	578	2,8
7		Subtotal	2/3	9,200	184	91	275	2.99%		9,016	1300	889	9,9
8	A	Food	2,500	3,233	52	33	85		2,533	-,	0	0	2,5
8	В	Food	1,600		33	21	54		1,621		0	0	1,6
8	С	Food	1,541		32	20	52		1,561		0	0	1,5
8	D	Food	1,903		39	25	65		1,928		800	607	2,5
8	U	Utilities	256	7 800	150	100	25.0	2.200/		7.644	200	607	0.3
8		Subtotal	2.000	7,800	156		256	3.28%	2.002	7,644	800	607	8,2
9 9	A B	Medical Retail	2,000 1,200		41 25	3 2	44 27		2,003		0	0	2,0
9	С	Fitness	1,600		33	3	35		1,202 1,603		0	0	1,2 1,6
9	D	Medical	1,200		25	2	27		1,202		0	0	1,2
9	E	Retail	1,200		25	2	27		1,202		0	0	1,2
9	F	Retail	2,583		53	4	57		2,587		0	0	2,5
9	U	Utilities	217	46.55			®						
9		Subtotal		10,000	200	<u> </u>	217	2.17%		9,800	0	0	9,8
10	A	Medical	2,783		57 21	5			2,788		0	0	2,7
10 10	B C	Retail Retail	1,500 1,500		31 31	3	33 33		1,503 1,503		0	0	1,5 1,5
10	D	Retail	1,250		26	2	28		1,252		0	0	1,2
10	E	Retail	2,750		56	5	61		2,755		0	0	2,7
10	U	Utilities	217						,				•
10		Subtotal		10,000	200	17	217	2.17%		9,800	0	0	9,8
11	Α	Food	4,788		100	112	212		4,900		1,750	1,260	6,1
11	U	Utilities	212						0.000				•
11		Subtotal		5,000	100	112	212	4.24%		4,900	1,750	1,260	6,1
12	Α	Food	4,788		100	112	212		4,900		1,750	1,260	6,1
12	U	Utilities	212										•
12		Subtotal		5,000	100	112	212	4.24%		4,900	1,750	1,260	6,1
13	Α	Fitness	36,725		275	C	275		36,725		0	0	36,7
13	U	Utilities	275				-						,
13		Subtotal		37,000	275	-	275	0.74%		36,725	0	0	36,7
13													
	A	Fitness	8,525		176	99	275		8,624		0	0	8,6
13	A U	Fitness Utilities	8,525 275		176	99	275		8,624		0	0	8,6

Footnotes

GROSS FLOOR AREA(GFA), ENTIRE BUILDING AREA TO THE OUTER WALLS. DOES NOT INCLUDE ARCHITECTUAL POP-OUTS.

FLOOR AREA OF MECHANICAL/ELECTRICAL/COMMUNICATIONS EQUIPMENT, FROM MIDDLE OF INTERIOR WALLS TO THE OUTSIDE OF EXTERIOR WALLS.

3 PER ZONING CODE SECTION 7-9-24.2(B), "FLOOR AREA DOES NOT INCLUDE MECHANICAL, ELECTRICAL, AND COMMUNICATION EQUIPMENT ROOMS THAT ARE - IF A BUILDING'S MECHANICAL/ELECTRICAL/COMMUNICATION EQUIPMENT ROOM AREA IS GREATER THAN 2% OF THE GFA, SUBTRACT ONLY 2% FROM THE GFA - IF A BUILDING'S MECHANICAL/ELECTRICAL/COMMUNICATION EQUIPMENT ROOM AREA IS LESS THAN 2% OF THE GROSS FLOOR AREA, SUBTRACT THE ENTIRE THE ENTIRE EQUIPMENT ROOM AREA FROM THE GROSS FLOOR AREA TO DETERMINE THE THE FLOOR AREA

4 Add each Suite floor area and each applicable patio area

If utility room is less than 2%, equals Column D SF only. If utility room is greater than 2%, add Columns D and G to determine SF.

6 If the suite Patio SF in Column L exceeds 10% of the Suite Floor Area in Column J, the Suite Patio Area is determined by subtracting 10% of Column J from Column

7 Outdoor Dining areas are calculated per COA#15 of PA21-0077.

GEN	ERAL	NOTE

6 Van Accessible Stalls

1. CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE SUBMITTED ALONG WITH A PERMIT APPLICATION TO CONSTRUCT.

2. CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND EXTENT OF THE WORK PROPOSED AND SHOW IN DETAIL THAT IT WILL CONFORM TO THE PROVISIONS OF THE APPLICABLE CALIFORNIA BUILDING STANDARDS CODE AS AMENDED BY THE COUNTY OF ORANGE AND RELEVANT LAWS, ORDINANCES, RULES, AND REGULATIONS AT TIME OF SUBMITTAL.

PARKING TABULATION

Total Stalls Required Phase 1 Area 324 Stalls I.T.E. Standards (per PA210077)

Approved and Constructed Stall Summary: 775 total Stalls (per CP19-0071)

576 Standards Stalls 60 park and ride stalls including (2) standard, and (1) van, accessible stalls 14 Accessible Stalls

69 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls 45 Future Charging Station (E.V.C.) Stalls 3 Van Accessible Future Charging Station (E.V.C.) Stalls 2 Ambulatory Accessible Future Charging Station (E.V.C.) Stalls

Approved Change Plan Stall Summary: **83 Total Proposed Stalls** (Lots 6, 9 and portion of Lot A per CP22-0075) 57 Standards Stalls 2 Accessible Stalls

3 Van Accessible Stalls 12 Clean Air/ E.V./ Van Pool (C.V.E.) Stalls 6 Future Charging Station (E.V.C.) Stalls 3 Van Accessible Future Charging Station (E.V.C.) Stalls

Total stalls provided per PA210077 Total Stalls Provided (CP22-0075 Phase 1 Area)

Esencia Commons Proposed Stall Summary 752 Total Proposed Stalls

(Lots 10-18, & 20-36, Lots C, D, E, and F) Phase 1 Stall Count per Esencia Commons Limits

786 stalls 42 Existing stalls to be repurposed (CP22-0075 Phase 1 Area)

688 Standard Stalls 9 Accessible Stalls 15 Van Accessible Stalls 29 DCFC Charging Station (E.V.C.) Stalls 1 Accessible DCFC Charging Station (E.V.C.) Stalls 1 Van Accessible DCFC Charging Station (E.V.C.) Stalls 1 Ambulatory DCFC Charging Station (E.V.C.) Stalls 6 Level 2 E.V.C. Stall L Accessible Level 2 E.V.C. Stall

Total Combined Stalls Exluding Park and Ride Stalls

1 Van Accessible Level 2 E.V.C. Stall Total stalls provided per PA23-0055 752 stalls Total Combined Stalls Required 1,243 stalls **Total Combined Stalls Provided** 1,538 stalls

COUNTY REVISIONS

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CONCERN

LANDSCAPE ARCHITECTURE 1750 E DEERE AVE SANTA ANA, CA 92705 O 949.250.4822 www.landconcern.com

PARKING CALCS & BUILDING USE

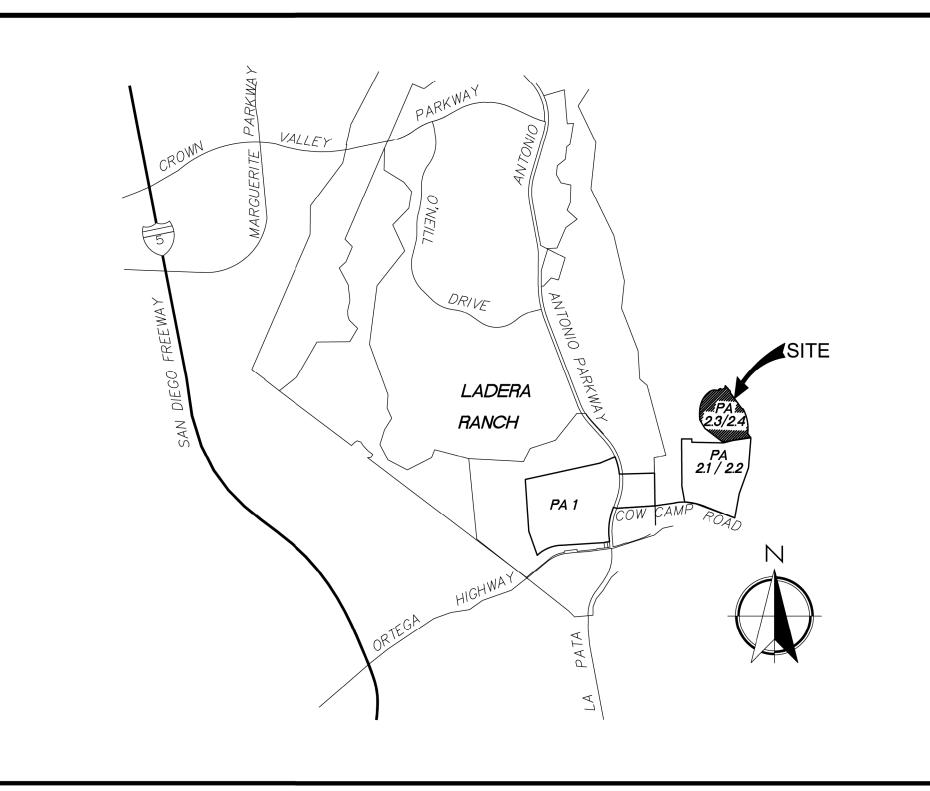
PROJECT	MANAGER
Akin Smith	
DRAWN	
A. Smith	

December 11, 2023

828 stalls

1,478 stalls

SHEET



ORANGE COUNTY FIRE AUTHORITY



FIRE MASTER PLAN

Reviewed by Planning & Development Fire Master Plan ONLY STAMPED SHEETS REVIEWED BY

Revised from SR537431

OCFA STAMP

PROJECT INFORMATION REQUIREMENTS PROJECT LOCATION: ESENCIA PHASE 2.4 COMMUNITY OF RANCHO MISSION VIEJO

VICINITY MAP

O EMERGENCY ACCESS EASEMENT

THE ESENCIA COMMONS PROJECT IS THE PROPOSED RETAIL SITE OF THE ESENCIA PLANNING AREA 2.4 COMMUNITY OF RANCHO MISSION VIEJO. THE PROJECT SITE IS AN INFILL WITH EXISTING COMMERCIAL AND RESIDENTIAL USES ADJOINING THE SITE WHICH INCLUDE EXISTING IMPROVEMENTS THAT WILL BE UTILIZED FOR ACCESS BY THE RETAIL SITE. THE OVERALL FIRE MASTER PLAN FOR ESENCIA 2.4. WHICH INCLUDES THE COMMERCIAL, WAS APPROVED UNDER OCFA SERVICE REQUEST NO. 537000.

NUMBER OF UNITS OR HOMES IN DEVELOPMENT

13 PROPOSED BUILDINGS WITH VARIOUS OCCUPANCY TYPES. AND FUTURE TENANT IMPROVEMENTS

;	SPECIAL CO	ONDITIC	NS
	FIRE HAZARD	SEVERIT	Y ZONE
0	STATE LICENS	SED FACI	LITY
0	AM&M	0	PENDIN
0	METHANE MIT	IGATION	

STATE RESPONSE AREA O COMPLETE SR:

O LOCAL RESPONSE AREA

NUMBER OF STORIES: 1 STORY MAX FOR ALL BUILDINGS

EAVE AND PARAPET HEIGHTS VARY PER BUILDING. REFER TO ELEVATIONS PROVIDED ON THIS PLAN

OCCUPANCY TYPE (CHECK ALL THAT APPLY) * INDICATES SFM REGULATED OCCUPANCY. OCFA PLAN SUBMITTAL REQUIRED

GROUP S MOTOR VEHICLE REPAIR AND AIRCRAFT REPAIR REQUIRE OCFA PLAN

SUBMITTAL	\bigwedge						
O GROUP A1*	GROUP A2*	GROUP A3*	O GROUP A4*	O GROUP AS			
GROUP B	O GROUP E*	O GROUP F1	O GROUP F2	O GROUP H			
O GROUP H2*	O GROUP H3*	O GROUP H4*	O GROUP H5*	O GROUP I1			
O GROUP 12*	O GROUP 13*	O GROUP I4*	GROUP M	O GROUP R			
O GROUP R2*	O GROUP R2.1	O GROUP R2.2	O GROUP R3	O GROUP R			
O GROUP R4*	O GROUP S1#	O GROUP S2#	O GROUP U				

TYPE OF CONSTRUCTION O TYPE IB O TYPE IIA O TYPE IIB

O TYPE IIIA TYPE IIIB O TYPE IV

O TYPE VA TYPE VB

MIXED USE AND OCCUPANCY (PER CBC 508 & 509) ACCESSORY OCCUPANCIES (CBC 508.2)

(ACCESSORY OCCUPANCY < 10% OF STORY) O INCIDENTAL USES (CBC 509)

■ NONSEPARATED OCCUPANCIES (CBC 508.3)

O SEPARATED OCCUPANCIES (CBC 508.4) SPECIAL DETAILED REQUIREMENTS

O HIGH RISE (CBC 403) O ATRIUM (CBC 404)

O OPEN PARKING GARAGE (CBC 406.5) O GROUP I2 (CBC 407) SMOKE COMPARTMENTS REFUGE AREAS

O HAZARDOUS MATERIALS (CBC 414, CFC CHAPTER 50)

MANDATORY O VOLUNTARY O TENANT IMPROVEMENT

NFPA 13

O NFPA 13D O NFPA 13R

O FIRE PUMP O STANDPIPES

O TENANT IMPROVEMENT

O VOICE EVACUATION

FIRE FLOW REQUIREMENT PER OCFA GUIDELINE B-09 ATTACHMENT 23 FLOW (IN GPM @ 20 PSI): 2,250 **DURATION: 4 HOURS**

WATER AVAILIBILITY

PROVIDE COPY OF OCEA WATER AVAILABILITY FORM COMPLETED BY WATER DISTRICT ON FIRE MASTER PLAN

PRESSURE:

ON SITE FIRE HYDRANTS TOTAL NUMBER: 7

EMERGENCY RESPONDER RADIO COVERAGR (BDA) THIS BUILDING SHALL BE EQUIPPED WITH AN EMERGENCY RESPONDER DIGITAL RADIO SYSTEM PER THE REQUIREMENTS OF THE ORANGE COUNTY SHERIFF'S DEPARTMENT-COMMUNICATIONS & TECHNOLOGY DIVISION, FOR THE INITIAL SUBMITTAL, OCSD/COMM REQUIRES THE ERRCS/BDA/DAS SYSTEM DESIGNER TO PROVIDE THE FOLLOWING FOR PRE-EVALUATION: A. PROJECT NAME. B. SITE ADDRESS. C. PROJECT DESCRIPTION. D. CONTRACTOR CONTACT INFORMATION. E BDA MODEL (S/N IF AVAILABLE). F. PROPOSED MODE OF OPERATION (CLASS A/B). G. PROPOSED PROJECT TIMELINE. THIS INFORMATION IS TO BE SUBMITTED BY THE DESIGNER VIA EMAIL TO ERRCS@OCSD.ORG AND BDACERT@OCFA.ORG. CFC 510

OCFA STANDARD FIRE MASTER PLAN NOTES

- INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL OCFA
- A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 94,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT
- TIME OF LUMBER DROP INSPECTION. 3. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST
- NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION. 4. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CONTACT INSPECTION SCHEDULING TO
- ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE. 5. AN ORIGINAL APPROVED, SIGNED, WET-STAMPED OCFA FIRE MASTER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
- 6. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
- 7. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OCFA PRIOR TO USE. 8. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD
- 9. ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR
- 10. BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.

GENERAL REQUIREMENTS

- 11. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED OCFA FIRE MASTER PLAN AND
- STANDARDS IDENTIFIED IN OCFA GUIDELINE B-09 FOR ALL PORTIONS OF THE FIRE ACCESS ROADS. 12. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 94,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
- 13. FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN OCFA GUIDELINE B-09 AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS. 14. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR
- LOCATION PER THE OCFA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER. 15. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH OCFA GUIDELINE B-09. WAYFINDING SIGNS. WHEN REQUIRED BY THE LOCAL AHJ, SHALL COMPLY WITH THE STANDARDS OF THAT AGENCY. WHEN WAYFINDING SIGNS ARE ALSO REQUIRED BY THE OCFA, THEY MAY BE DESIGNED TO LOCAL AHJ REQUIREMENTS PROVIDED
- 16. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND OCFA GUIDELINES.

THAT SUCH STANDARDS FACILITATE LOCATION OF STRUCTURES, SUITES, AND DWELLING UNITS

- 17. APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
- 18. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS,
- 19. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
- 20. ANY FUTURE MODIFICATION TO THE APPROVED FIRE MASTER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OCFA.
- 21. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCFA GUIDELINE B-09 AND RELATED PORTIONS OF THE 2022 CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL

SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

- 22. AN UNDERGROUND PIPING PLAN IS REQUIRED FOR THE INSTALLATION OF AN AUTOMATIC FIR
- APPROVAL FOR PROJECTS CONTAINING A, C, E, F, H, I, L, AND R-4 OCCUPANCIES. A PLAN MAY SPRINKLERS OR FIRE WALLS TO INCREASE THE MAXIMUM BUILDING SIZE ALLOWED -- SEE OCFA
- 24. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES. AMENDMENTS. AND GUIDELINES. SPRINKLER SYSTEMS. OTHER THAN THOSE LISTED IN CFC 903.4, SHALL BE MONITORED BY AN APPROVED CENTRAL STATION.
- SEPARATE PLAN SUBMITTALS FOR THE SPRINKLER AND MONITORING SYSTEMS ARE REQUIRED. 25. A FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES. AMENDMENTS. AND GUIDELINES. A SEPARATE PLAN SUBMITTAL IS
- 26. STRUCTURES LOCATED IN A FIRE HAZARD SEVERITY ZONE OR WILDLAND-URBAN INTERFACE AREA ARE SUBJECT TO THE CONSTRUCTION REQUIREMENTS PRESCRIBED IN CHAPTER 7A OF THE 2022 CBC AND/OR SECTION 337 OF THE 2022 CRC. CONSTRUCTION MATERIALS/METHODS ARE REVIEWED AND INSPECTED BY THE BUILDING DEPARTMENT.
- 27. ONE OR MORE STRUCTURES SHOWN ON THIS PLAN ARE LOCATED ADJACENT TO A FUEL MODIFICATION AREA. CHANGES TO THE FUEL MODIFICATION ZONE LANDSCAPING, NEW STRUCTURES, OR ADDITION/ALTERATION TO EXISTING STRUCTURES REQUIRES REVIEW AND
- APPROVAL BY THE OCFA. 28. PROJECTS LOCATED IN STATE RESPONSIBILITY AREAS AND IN LOCAL RESPONSIBILITY AREA VHFHSZ SHALL ALSO COMPLY WITH ALL APPLICABLE REQUIREMENTS FROM TITLE 14, DIV. 1.5, CH.
- 7, SUBCH. 2 "SRA FIRE SAFE REGULATIONS" AND GUIDELINE B-09A. 29. STRUCTURES MEETING THE CRITERIA IN CFC 510.1 SHALL BE PROVIDED WITH AN EMERGENCY RESPONDER RADIO SYSTEM. REFER TO CFC 510.2 THROUGH 510.6.3 AND DAS/BDA GUIDELINES PUBLISHED BY OC SHERIFF'S COMMUNICATION AND TECHNOLOGY DIVISION FOR TECHNICAL AND SUBMITTAL INFORMATION.

O MANUAL O ELECTRIC

1. A REMOTE OPENING DEVICE IS REQUIRED. THE REMOTE GATE OPENING DEVICE THAT WILL BE INSTALLED IS (CHECK ONE)

- O CLICK2ENTER* (SINGLE-PULSE MODE WITH 1.5 SECOND TRANSMISSION WINDOW)
- O FIRE STROBE ACCESS PRODUCTS, INC.

READING "FIRE DEPT" OR WITH A "KNOX" DECAL.

- 2. IN THE EVENT OF LOSS OF NORMAL POWER TO THE GATE OPERATING MECHANISM, IT SHALL BE AUTOMATICALLY TRANSFERRED TO A FAIL-SAFE MODE ALLOWING THE GATE TO BE PUSHED OPEN BY A SINGLE FIREFIGHTER WITHOUT
- ANY OTHER ACTIONS, KNOWLEDGE, OR MANIPULATION OF THE OPERATING MECHANISM BEING NECESSARY A BATTERY MAY ONLY BE USED IN PLACE OF FAIL-SAFE MANUAL OPERATION WHEN THE GATE OPERATOR HAS A FAIL-OPEN MODE THAT WILL AUTOMATICALLY, IMMEDIATELY, AND COMPLETELY OPEN THE GATE AND KEEP IT OPEN UPON REACHING A LOW POWER THRESHOLD, REGARDLESS OF THE PRESENCE OF NORMAL POWER SHOULD THE GATE BE TOO LARGE OR HEAVY FOR A SINGLE FIREFIGHTER TO OPEN MANUALLY, A SECONDARY

SOURCE OF RELIABLE POWER BY MEANS OF AN EMERGENCY GENERATOR OR A CAPACITOR WITH ENOUGH RESERVE TO AUTOMATICALLY, IMMEDIATELY, AND COMPLETELY OPEN THE GATE UPON LOSS OF PRIMARY POWER

- SHALL BE PROVIDED FOR FAIL-OPEN OPERATION. IN ADDITION TO THE REMOTE OPERATOR, THE GATE CONTROL SHALL BE OPERABLE BY A KNOX EMERGENCY OVERRIDE KEY SWITCH EQUIPPED WITH A DUST COVER, UPON ACTIVATION OF THE KEY SWITCH. THE GATE SHALL OPEN AND REMAIN OPEN UNTIL RETURNED TO NORMAL OPERATION BY MEANS OF THE KEY SWITCH. WHERE A GATE CONSISTS OF TWO LEAVES, THE KEY SWITCH SHALL OPEN BOTH SIMULTANEOUSLY IF OPERATION OF A SINGLE LEAF ON THE INGRESS SIDE DOES NOT PROVIDE FOR THE WIDTH, TURNING RADII, OR SETBACKS NECESSARY FOR FIRE APPARATUS TO NAVIGATE THE
- 4. THE KEY SWITCH SHALL BE PLACED BETWEEN 42" AND 48" ABOVE THE ROADWAY SURFACE AT THE RIGHT SIDE OF THE ACCESS GATE WITHIN TWO FEET OF THE EDGE OF THE ROADWAY. IN IRVINE, THE SWITCH SHALL BE ON THE LEFT SIDE IN ACCORDANCE WITH IRVINE'S UNIFORM SECURITY ORDINANCE.
- THE KEY SWITCH SHALL BE READILY VISIBLE AND UNOBSTRUCTED FROM THE FIRE LANE LEADING TO THE GATE. 6. THE KEY SWITCH SHALL BE LABELED WITH A PERMANENT RED SIGN WITH NOT LESS THAN ½" CONTRASTING LETTERS

STAKEHOLDERS BUILDING DEPARTMENT: COUNTY OF ORANGE PLANNING DEPARTMENT: COUNTY OF ORANGE PUBLIC WORKS DEPARTMENT: COUNTY OF ORANGE WATER DISTRICT: SANTA MARGARITA WATER DISTRICT

APPLICABLE CODES

- 2022 CALIFORNIA FIRE CODE

- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- LOCALLY ADOPTED ORDINANCES: COUNTY OF ORANGE
- CONDITIONS OF APPROVAL: RANCH PLAN FIRE PROTECTION PROGRAM

DEFERRED SUBMITTALS

THIS PROJECT HAS BEEN PERMITTED WITHOUT REVIEW AND/OR APPROVAL OF THE FOLLOWING DEFERRED SUBMITTALS. PLANS APPROVED BY OCFA SHALL BE OBTAINED FOR EACH DEFERRED ITEM LISTED BELOW PRIOR TO COMMENCING ANY WORK WITHIN THE SCOPE OF SUCH DEFERRAL DEFERRALS MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO SUBMITTING FOR REVIEW WITH OCFA. PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO OCFA.

- ARCHITECTURAL PLAN
- O HIGH PILED COMBUSTIBLE STORAGE
- O CHEMICAL USE AND/OR STORAGE
- O FUEL TANK (FOR GENERATOR, IF OVER 60 GALLONS)
- O BATTERY/ENERGY STORAGE SYSTEM
- UNDERGROUND SYSTEM SERVING SPRINKLERS, STANDPIPES AND/OR PRIVATE HYDRANTS
- SPRINKLER SYSTEM
- O STANDPIPE SYSTEM
- O FIRE PUMP
- HOOD AND DUCT EXTINGUISHING SYSTEM
- ALARM SYSTEM

PREREQUISITE PLANS O PLANNING APPLICATION S

- O METHANE MITIGATION SR:
- FUEL MODIFICATION PLAN SR: PRECISE FUEL MOD SR 283097 FIRE PROTECTION PLAN SR 53743 & REVISION SR 542474

ORIGINAL PLAN SR:

COPY OF ORIGINAL APPROVED PLAN REQUIRED TO BE SUBMITTED WITH ALL REVISED PLANS.

REVISION SCOPE OF WORK

SR 542475: THIS FIRE MASTER PLAN HAS BEEN REVISED THROUGHOUT TO REFLECT THE CURRENT SITE PLAN, CURRENT 2022 CODE CYCLE AND UPDATED BUILDING INFORMATION WHERE INDICATED. ADDITIONAL INFORMATION FOR THE FIRE ACCESS ROADWAY CERTIFICATION LETTER AND BUILDING ELEVATIONS HAVE BEEN PROVIDED.

ZIP: 92866

PROJECT DIRECTORY

ARCHITECT/ENGINEER **BUSINESS NAME: ARCHITECTS ORANGE** CONTACT NAME: ADDRESS: 144 N. ORANGE STREET

PHONE: (714) 639-9860 EMAIL: RYAN@WESTAR1.COM

STATE: CA

BUSINESS NAME: WESTAR ASSOCIATES CONTACT NAME: RYAN BEST ADDRESS: 5650 VON KARMAN AVE CITY: NEWPORT BEACH STATE: CA ZIP: 92660 PHONE: (714) 241-0400

BUSINESS NAME: CONTACT NAME: ADDRESS:

CITY: ORANGE

PROPERTY OWNER/HOA

542475 SHEET

SERVICE REQUEST NUMBER

FIRE MASTER PLAN ESCENCIA COMMONS PLANNING AREA 2.4 RETAIL SITE

TRACT 17575, BUILDINGS 1-14 IRVINE, CALIFORNIA OCFA REVISION SERVICE REQUEST NO. 542475 PREVIOUSLY APPROVED SR NO. 537431

RANCH FIRE PROTECTION PROGRAM ATTACHMENTS RANCH PLAN FIRE PROTECTION PROGRAM WAS APPROVED BY ORANGE COUNTY FIRE AUTHORITY AND ORANGE COUNTY BOARD OF SUPERVISORS DATED: JULY 31, 2007 AND AMENDMENT NO. 1, DATED: MARCH 25, 2013 AND AMENDMENT NO. 2, DATED: AUGUST 14, 2014 ATTACHMENTS USED WITH THIS SUBMITTAL:) 24'/28' FIRE LANE NO PARKING SIGN LOCATIONS 3a) FIRE LANE ENTRY SIGN

3i) MOUNTING SPECIFICATIONS FOR FIRE LANES AND NO PARKING SIGNS

6c) FIRE ACCESS ROAD WIDTHS ADJACENT TO FUEL MODIFICATION ZONES

14f) AUTOMATIC FIRE SPRINKLER REQUIREMENT - TRASH ENCLOSURE CONSTRUCTION

4d) NON-RESIDENTIAL EMERGENCY ACCESS HOSE PULL

3b) FIRE LANE NO PARKING SIGN

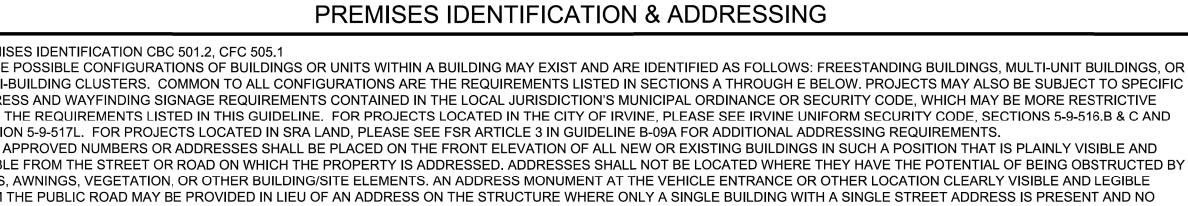
6b) FIRE ACCESS ROAD WIDTHS

10) HYDRANT DISTRIBUTION TABLE 11) FIRE FLOW REQUIREMENT TABLE

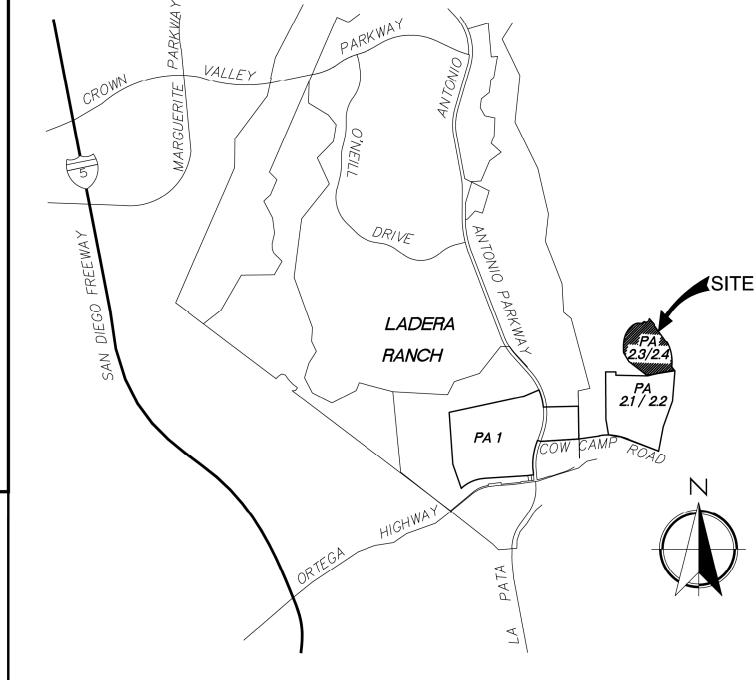
12b) BLUE DOT HYDRANT MARKER LOCATION

6a) STREET WIDTHS





ENTRY POINT(S) TO THE SITE INDICATING THE RANGE OF ADDRESSES ACCESSIBLE FROM THAT ENTRANCE.



VICINITY MAP

COMBUSTIBLE CONSTRUCTION LETTER

OCTOBER 20, 2023 PLANNING AND DEVELOPMENT SERVICES

ORANGE COUNTY FIRE AUTHORITY 1 FIRE AUTHORITY ROAD IRVINE, CA 92502-0125

PARKING ENFORCEMENT LETTER

PLANNING AND DEVELOPMENT SERVICES

ORANGE COUNTY FIRE AUTHORITY

1 FIRE AUTHORITY ROAD IRVINE, CA 92502-0125 RE: PARKING ENFORCEMENT PLAN: SR542475

ESCENCIA COMMONS, RANCHO MISSION VIEJO, TENTATIVE TRACT MAP NO. 17575 ALL FIRE LANES WITHIN SITE SHALL BE MAINTAINED AND IN NO EVENT SHALL PARKING BE PERMITTED ALONG ANY PORTION OF A STREET OR DRIVE THAT REQUIRED FIRE LANES OR ANY AREA DESIGNATED AS A FIRE LANE FOR TURN-AROUND OR DRIVE THROUGH PURPOSES.

THE PROJECT DEVELOPER SHALL ADOPT REASONABLE RULES AND REGULATIONS REGARDING THE PARKING OF VEHICLES ALONG THE STREETS, ROADS AND OR DRIVES WITHIN THE PROJECT THAT ARE NOT IN CONFLICT WITH APPLICABLE LAW.

IN FURTHERANCE THEREOF, THE PROJECT DEVELOPER, THROUGH ITS OFFICERS, COMMITTEES AND AGENTS WILL ESTABLISH THE "PARKING" AND "NO PARKING" AREAS WITHIN THE PROPERTY IN ACCORDANCE WITH SECTION 22658.2 OF THE CALIFORNIA VEHICLE CODE AND ORANGE COUNTY FIRE AUTHORITY GUIDELINES. THE LAW SHALL BE ENFORCED THROUGH SUCH RULES AND REGULATIONS BY

REMOVE VEHICLES THAT VIOLATE NO PARKING RESTRICTIONS. FIRST TIME VIOLATORS WILL RECEIVE A WRITTEN WARNING AND WITH SUBSEQUENT VIOLATIONS, THE VEHICLE SHALL BE SUBJECT TO TOWING. THE VEHICLE OWNER SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED IN REMEDYING SUCH VIOLATION, INCLUDING WITHOUT LIMITATION TOWING COST, CITATIONS AND LEGAL FEES.

	BUILDING DATA TABLE A					
BUILDING NO.	STORIES	CONSTRUCTION TYPE)	FIRE SPRINKLERS	SQUARE FOOTAGE	FIRE FLOW
BUILDING 1	1	TYPE III-B	RETAIL TYPE M	NFPA 13	46,800	2,250 - 4 HRS
BUILDING 2	1	TYPE III-B	RETAIL TYPE M	NFPA 13	12,200	1,500 - 2 HRS
BUILDING 3	1	TYPE V-B	RETAIL TYPE M CARWASH TYP B	NFPA 13	5,500	1,500 - 2 HRS
BUILDING 4	1	TYPE V-B	FOOD TYPE A2 RETAIL TYPE M	NFPA 13	6,500	1,500 - 2 HRS
BUILDING 5	1	TYPE V-B	FOOD TYPE A2 MEDICAL TYPE B	NFPA 13	6,500	1,500 - 2 HRS
BUILDING 6	1	TYPE V-B	FOOD TYPE A2	NFPA 13	4,500	1,500 - 2 HRS
BUILDING 7	1	TYPE V-B	FOOD TYPE A2 RETAIL TYPE M	NFPA 13	9,200	1,500 - 2 HRS
BUILDING 8	1	TYPE V-B	FOOD TYPE A2	NFPA 13	7,800	1,500 - 2 HRS
BUILDING 9	1	TYPE V-B	MEDICAL TYPE B RETAIL TYPE M FITNESS TYPE A3	NFPA 13	10,000	1,500 - 2 HRS
BUILDING 10	1	TYPE V-B	RETAIL TYPE M MEDICAL TYPE B	NFPA 13	10,000	1,500 - 2 HRS
BUILDING 11	1	TYPE V-B	FOOD TYPE A2	NFPA 13	5,000	1,500 - 2 HRS
BUILDING 12	1	TYPE V-B	FOOD TYPE A2	NFPA 13	5,000	1,500 - 2 HRS
BUILDING 13	1	TYPE III-B	FITNESS TYPE A3	NFPA 13	37,000	2,000 - 4 HRS
BUILDING 14	1	TYPE III-B	FITNESS TYPE A3	NFPA 13	(8,800)	1,500 - 2 HRS

FIRE FLOW INFORMATION & HYDRANT SPACING REQUIREMENTS FIRE FLOW OF 2.250 GPM / 4 HOURS FOR THE LARGEST RETAIL BUILDING 1 WITH 46.800 SF WITH TYPE III-B CONSTRUCTION SHALL BE PROVIDED BY THE PROPOSED WATER SYSTEM. HYDRANT SPACING REQUIREMENT IS 400' MAXIMUM BETWEEN HYDRANTS.

THIS FIRE MASTER PLAN HAS BEEN REVISED THROUGHOUT TO REFLECT THE CURRENT 10/20/2023 SITE PLAN, CURRENT 2022 CODE CYCLE AND UPDATED BUILDING INFORMATION WHERE INDICATED. ADDITIONAL INFORMATION FOR THE FIRE ACCESS ROADWAY CERTIFICATION LETTER AND BUILDING ELEVATIONS HAVE BEEN PROVIDED.

SHEET INDEX

F-1 TITLE SHEET

F-2 OVERALL SITE PLAN & NOTES

F-3 FIRE MASTER PLAN LAYOUT AND DETAILS

F-4 FIRE MASTER PLAN LAYOUT AND DETAILS

F-5 ARCHITECTURAL ELEVATIONS

F-6 ARCHITECTURAL ELEVATIONS

F-7 ARCHITECTURAL ELEVATIONS

SCALE: 1" = 80'-0" ESCENCIA COMMONS - PA2.4 RETAIL SITE DATE: 10/20/2023 PLAN CONTROL

WESTAR ASSOCIATES 4650 VON KARMAN AVE NEWPORT BEACH, CA 92660

EXISTING RESIDENTIAL

2603 MAIN STREET, SUITE 400 IRVINE, CA 92614 (949) 988-5815

1750 DEERE AVE SANTA ANA, CA 92705





BLDG 1 46,800 GSF

EXISTING AIROSO STREET

FUTURE MEDICAL CENTER

-NOT A PART-

FIRE MASTER PLAN
ESENCIA COMMONS - PA 2.4 RETAIL SITE TRACT 17575 OVERALL FIRE MASTER PLAN

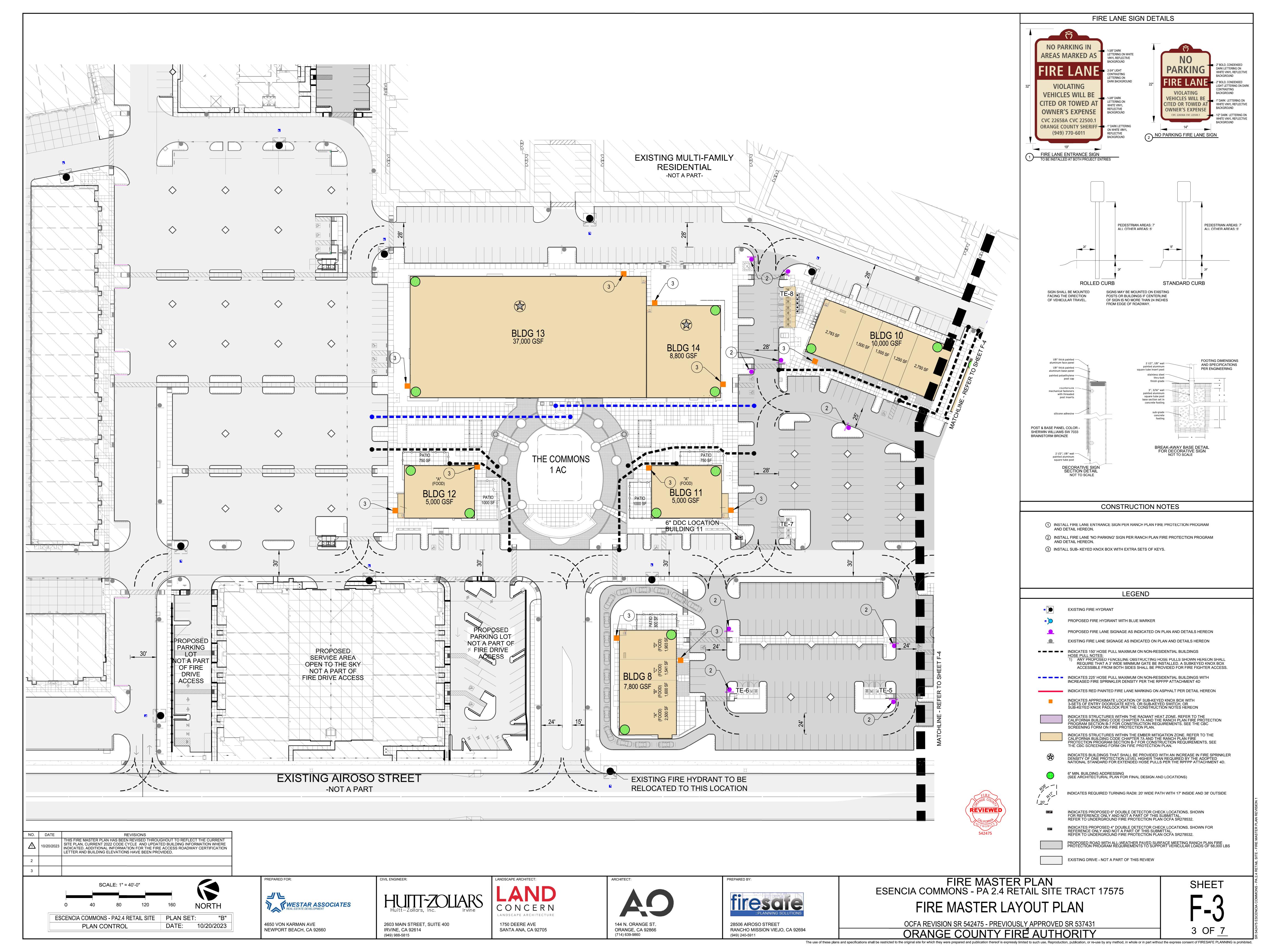
OCFA REVISION SR 542475 - PREVIOUSLY APPROVED SR 537431

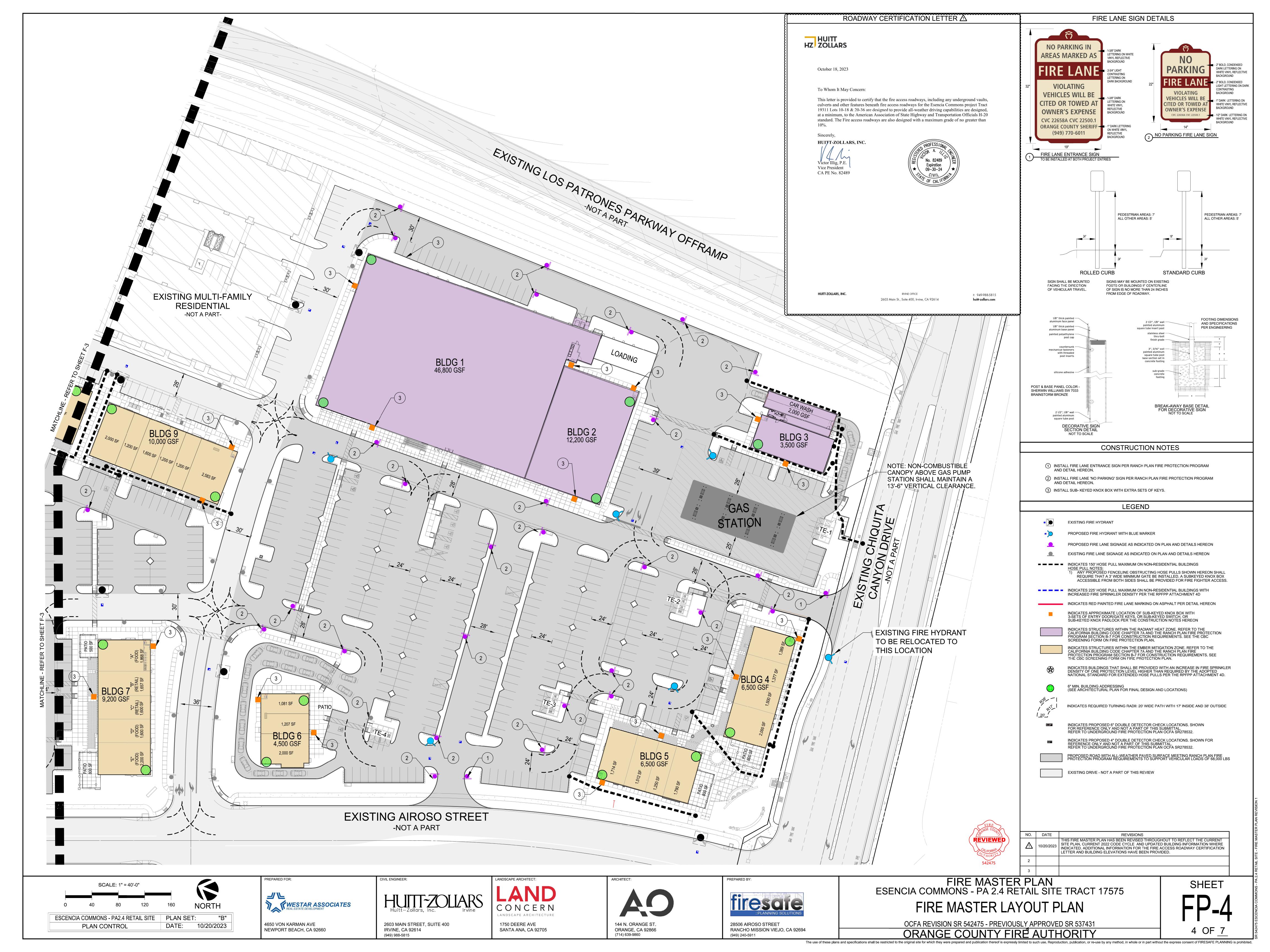
ORANGE COUNTY FIRE AUTHORITY

EXISTING RESIDENTIAL

-NOT A PART-

SHEET

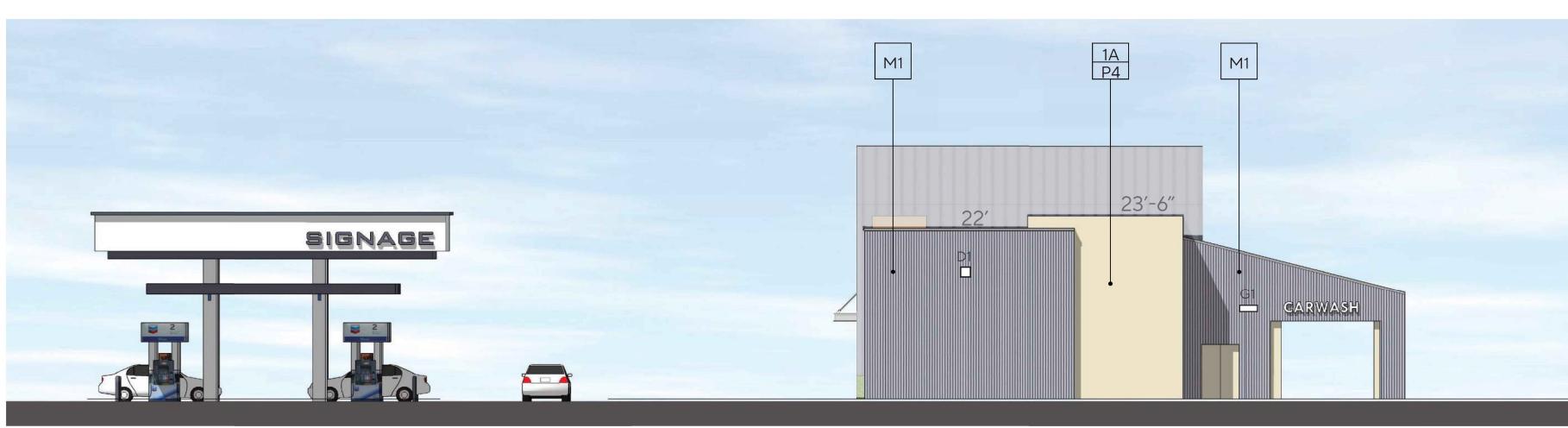








NORTH ELEVATION

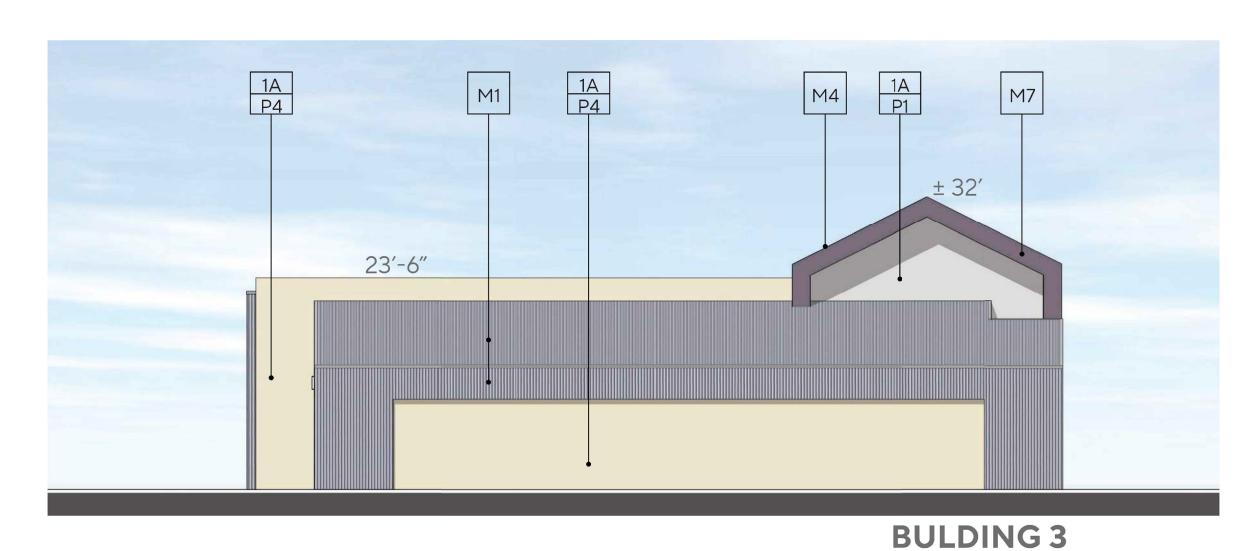


GAS STATION CANOPY SOUTH ELEVATION

BULDING 3



WEST ELEVATION



EAST ELEVA-

M7 1A P1 M1 SIGN

WEST ELEVATION BUILDING 3: NOT TO SCALE

BULDING 3 NO. DATE REVISIONS

THIS FIRE MASTER PLAN HAS BEEN REVISED THROUGHOUT TO REFLECT THE CURRENT SITE PLAN, CURRENT 2022 CODE CYCLE AND UPDATED BUILDING INFORMATION WHERE INDICATED. ADDITIONAL INFORMATION FOR THE FIRE ACCESS ROADWAY CERTIFICATION LETTER AND BUILDING ELEVATIONS HAVE BEEN PROVIDED.



ESCENCIA COMMONS - PA2.4 RETAIL SITE PLAN SET:

PLAN CONTROL

DATE: 10/20/2023







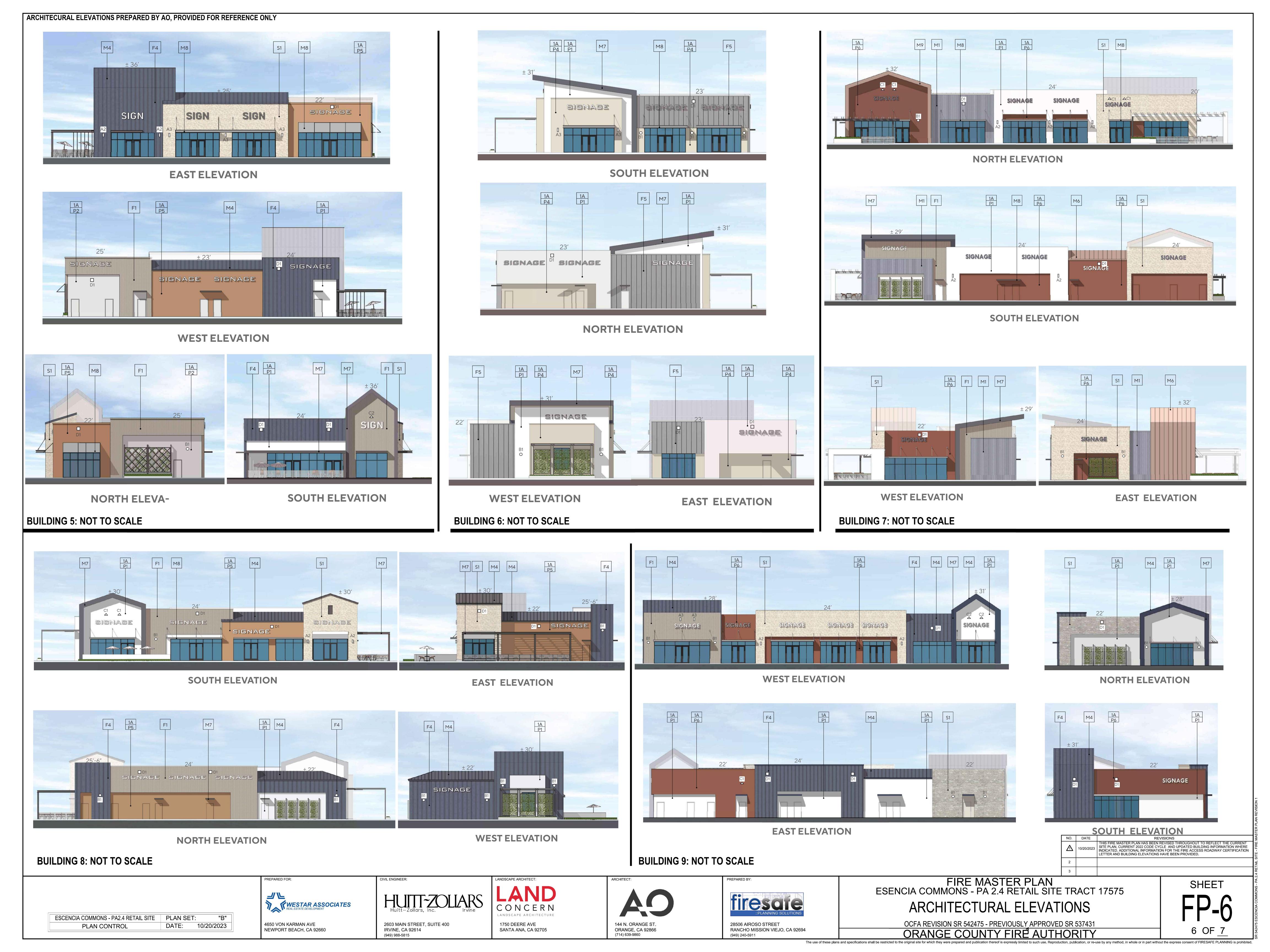


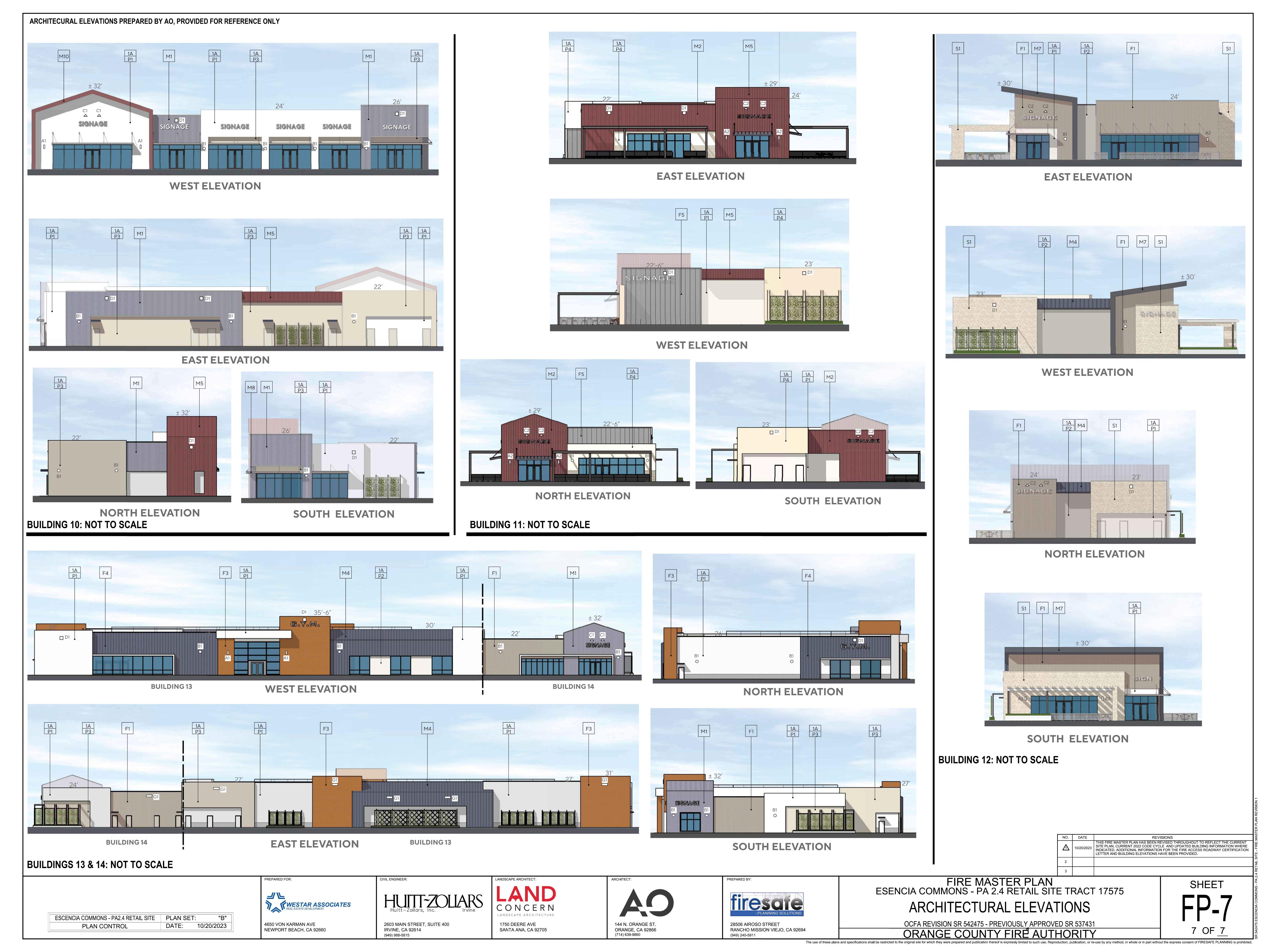
FIRE MASTER PLAN
ESENCIA COMMONS - PA 2.4 RETAIL SITE TRACT 17575 ARCHITECTURAL ELEVATIONS

OCFA REVISION SR 542475 - PREVIOUSLY APPROVED SR 537431

ORANGE COUNTY FIRE AUTHORITY

SHEET 5 OF 7





ATTACHMENT 3



MEMORANDUM

Date: December 11, 2023

To: Bea Bea Jiménez, Division Manager, Land Development OC Public Works/OC

Development Services

From: Spencer Reed, PE

Steven Brown, PE

Subject: PA 2.4 Esencia Mixed-Use Project Parking Assessment (Project Number PA23-

0055)

This memorandum documents the results of a parking assessment conducted for the Esencia Mixed-Use Project (Project) in Rancho Mission Viejo, California. The Codified Ordinances of the County of Orange Section 7-9-70.9 documents the appropriateness of using shared parking as an alternative to off-street parking requirements as stand-alone uses. This assessment utilizes parking demand rates from *Parking Generation*, 5th Edition (Institute of Transportation Engineers [ITE], 2019) and monthly variation and time-of-day factors from *Shared Parking*, *Third Edition* (Urban Land Institute [ULI], 2020) to estimate parking demand. The assessment compares the estimated shared parking demand and recommended parking supply to the proposed parking supply.

Project Description

A site plan of the Project is provided in Attachment A. The proposed Project consists of the following:

Phase 1

- 10,482 sf of daycare
- 129,942 sf of storage facilities
- 125,044 sf of Flex space

Bea Bea Jiménez November 20, 2023 Page 2 of 8



Rancho Mission Viejo intends the Multi-Tenant Flex space as units with Multi-Tenant Flex space in the front and a workshop/warehouse in the rear (with a garage door). The anticipated users of these units include: contractors, dance studios, appliance repair persons, commercial printing, and other similar businesses. The Multi-Tenant Flex space square footage was further refined by the anticipated usage based on information provided Rancho Mission Viejo staff into the following:

- 40.391 sf of office
- 46,631 sf of light industrial
- 24,937 sf of health/fitness
- 3,020 sf of medical-dental office
- 10,065 sf of restaurant
 125,044 sf total flex space

Phase 2

• 92 apartments (parked separately)

Phase 3

- 80,624 square feet (sf) of retail
- 40,859 sf of restaurant
- 46,952 sf of health/fitness club
- 9,273 sf of medical-dental office

Project Total

- 80,624 sf of retail
- 50,924 sf of restaurant
- 92 apartments (parked separately)
- 71,889 sf of health/fitness club
- 12.293 sf of medical-dental office

- 40,391 sf of office
- 46,631 sf of light industrial
- 10,482 sf of daycare
- 129,942 sf of storage facilities
 443,176 sf total non-residential space

In addition to the proposed uses, a park space will be provided, surrounded by retail and restaurants, in the middle of the site. This space will consist of fenced off areas for specific restaurants and open seating for potential outdoor dining as popularized during the COVID-19 pandemic. The fenced off areas were included as patio space in the parking assessment and parking will be provided accordingly. The open seating will not be associated with any specific restaurant

Bea Bea Jiménez December 11, 2023 Page 3 of 8



and therefore not require a dedicated parking supply in accordance with the Ranch Plan Planning Community Program Text III.K Off-Street Parking Subsection 3B.

A total of 1,538 parking spaces are proposed for the site. This includes a 60-space park-and-ride facility. Therefore, the Project parking supply is proposed as 1,478 parking spaces.

Determination of Floor Area

The parking assessment utilized a floor area that was calculated per the Codified Ordinances of the County of Orange Section 7-9-24-2(b) "Determining Floor Area – Excluded from floor area", "Floor area does not include mechanical, electrical, and communication equipment rooms that are less than two percent (2%) of the building's gross floor area". Furthermore, per the Ranch Plan Planned Community Text, Off Street Parking requirements, dedicated restaurant patios above ten percent (10%) of the restaurant's square footage, would be required to be considered for parking requirements. In order to encapsulate floor area that considers utility rooms and dedicated restaurant patio space, a Building Area Matrix has been added to Sheet P3 of the Site Development Plan detailing out building area calculations for each suite along with totals for each use.

The total gross square footage of the buildings for phase three is 174,800 and total gross dedicated patios is 7,200 which gives a total of 182,000 gross square feet (all buildings and all dedicated patio space).

Orange County Parking Requirements

Off-street parking requirements for the Project were calculated using the parking supply rates in the Codified Ordinances of the County of Orange Section 7-9-70.6. These parking supply rates only identify the parking supply requirements of a specific land use in isolation, and they do not reflect variations in parking demand due to month, time of day, or type of user. These variations support a "shared use" approach to parking, which is a common practice recognized by the Institute of Transportation Engineers and the Urban Land Institute.

The Codified Ordinances of the County of Orange allow for modification to the parking supply requirements through the provisions in Section 7-9-70.9. Modifications for this Project are documented in this memorandum. For comparison, the parking supply requirements have been calculated to identify the parking surplus provided by the Code as compared to the parking demand. Parking supply requirements for each land use are presented in Table 1.



The ordinances do not identify parking supply rates for park uses. The parking supply for the park use was determined based on the anticipated demand, which is documented in this memorandum.

Previous Approvals

Previous Phase I Site Development Permit PA180026 was approved May 2, 2019, to allow:

Parking Summary	Sq. Ft.	Parking Spaces Provided
Storage	135,136	23
Multi-Tenant Flex	99,200	149
Fitness Club	40,000	267
Roller Skating Rink	27,300	273
Additional Parking Spaces Provide	ed	164
Total	301,636	876

Changed Plan CP19-0038, approved by Deputy Director, OC Development Services, on July 25, 2019, expanded the project boundary and increased the total provided parking to 896 spaces.

Changed Plan CP19-0071, approved by Deputy Director, OC Development Services, on October 2, 2019, revised the PA180026 approved square footages of the storage buildings from 135,136 SF to 129,942 SF, and decreased the parking spaces provided from 896 to 894.

Alternative Parking Analysis (Conceptual Site Development Permit PA21-0077) included a request to change two of the uses previously approved under PA180026. Two new Multi-Tenant Flex Buildings totaling 25,844 sq ft were proposed in place of the Fitness Club on Lot 6, and a 10,482 square foot Day Care site was proposed in place of the Roller Rink on Lot 9. The site plan provided 1,621 space (including 60 park & ride spaces).

Changed Plan CP22-0075 included a revision to the parking count in Phase 1 reducing the provided parking from 835 down to 828 due to ADA and building code changes to the parking lot and path of travel.

Parking Demand Assessment

The parking demand assessment that follows utilized parking **demand** rates from *Parking Generation*, 5th Edition and parking **variation** factors from *Shared Parking*, *Third Edition*.



Base Parking Demand

Peak period parking demand rates for the land uses of the Project were selected from *Parking Generation*, 5th Edition for the following categories:

- Shopping Center (ITE Code 820)
- High-Turnover (Sit-Down) Restaurant (ITE Code 932)
- Day Care Center (ITE Code 565)
- General Office (ITE Code 710)
- General Light Industrial (ITE Code 110)
- Health/Fitness Club (ITE Code 492)
- Medical-Dental Office (ITE Code 720)
- Mini-Warehousing (ITE Code 151)

We applied the peak parking demand rate of each land use, which is the observed peak period parking demand (vehicles parked) divided by the quantity of the independent variable (such as building area) expressed as a rate. Table 2 presents the weekday and weekend peak parking demand rates and peak parking space demand for the various land uses of the Project. The summation of the peak demand for each land use is not reflective of real-world conditions because the land uses will not experience peak demand at the same time. Using this simple summation, the Project would have an unrealistic peak total demand of 1,331 spaces on a weekday and 1,288 on a weekend if all the land uses were **treated individually**.

Shared Parking Demand

ULI sponsored a national study in 1984 that established a methodology for analyzing parking demand in mixed-use developments. The most recent update to the study was completed in 2020 and published in *Shared Parking, Third Edition*. This methodology has become accepted practice in calculating the parking demand of mixed-use projects. Shared parking reflects the variation in parking demand of land uses throughout the day, as parking demand increases of some land uses are offset by decreases in parking demand in other land uses. This results in limiting the oversupply of parking by addressing the anticipated demand based on the mix of land uses within a project.

As the Project is providing a mix of retail, restaurant, office, and other workspace the applicability of using shared parking for this Project is evident as the periods of increased parking demands of the retail and restaurant space, such as during mealtimes, evenings, and weekend, can complement the reduced parking demand experienced by office and other workspace during those same time periods. Shared parking is considered the state-of-the practice in the development of mixed-use



parking facilities. Shared parking principles have been implemented in mixed-used developments throughout Southern California in a variety of locations and adjacent to various roadway types. The following are a few examples:

- Park Place, Irvine
- Athletic Center, Ladera Ranch
- Cottage Industries, Garden Grove
- "Campout", Costa Mesa
- Silver Rock, La Quinta
- 670 Mesquit, Arts District of LA

The monthly variation and time-of-day factors from *Shared Parking, Third Edition* were applied to parking demand ratios of each land use to establish the peak parking demand of the entire project. Table 3 documents the peak month and peak hour adjustment factors. As commercial uses generate the highest parking demand, the peak month of parking demand will occur in December, with the peak time occurring at 1:00 PM on weekdays and 12:00 PM on weekends.

The Project is located near existing housing, with approximately 400 households within a walking distance of 1/3-mile along neighborhood streets (including the 92 proposed apartments on site). The American Association of Retired People (AARP) has identified a walkable community as a community with walking distance of 0.5 (2,640 ft) to 1 mile (5,280 ft) to and from destinations. A 1/3-mile walking distance is less than the distance characterized by the AARP as a walkable community. Attachment B identifies the households within a 1/3-mile walking distance from the Project, and Attachment C identifies the pedestrian pathways within the area. We also gathered data from Streetlight, which is a data firm that uses cell phone information to determine the beginning and end of trips, to determine the length of trips to/from comparable centers in Orange County. This information, as shown in the table below, represents all trips to those centers over a 6-month period (7/1/20-12/31/20), independent of mode.

	0-1/3	1/3-1/2	1/2+
Commercial Center Location	miles	miles	miles
Southwest quadrant of Antonio/Crown Valley	29%	38%	33%
Southwest quadrant of Antonio/La Promesa	35%	41%	24%
Northeast quadrant of Del Prado/Golden Lantern	37%	42%	21%
TOTAL	34%	40%	26%

¹ https://www.aarp.org/livable-communities/act/walkable-livable-communities/info-12-2012/walkable-neighborhoods-an-economic-development-strategy.html



The trips within 1/3 mile represent the best opportunities for walking or bicycling (and NEV usage in the case of RMV) as described above in the AARP study. The ULI and ITE parking data sources represent suburban settings that do not have the densities or physical orientation to support walking/biking at a measurable level. Therefore, a modal adjustment of 2% was applied to the parking demand to reflect persons traveling to/from the Project using a non-vehicular mode (bike/walk) and therefore not requiring parking. This is a very modest adjustment when considering the finding that 34% of trips at comparable centers were within 1/3 of a mile. The 2% adjustment is reflected in Table 3 as a 98% factor (see Mode Adj column) applied to the base rate.

Table 3 summarizes the estimated parking demand using the shared parking methodology. The peak demand is expected to be 1,130 spaces on a weekday and 1,109 on a weekend. This peak demand was determined based on nationally recognized references and a methodology that has been utilized by mixed-use projects throughout the country. Table 4 and Table 5 present the parking demand for each land use during a weekday and weekend, respectively.

Parking Supply Assessment

While the Site Plan (Attachment A) graphically includes representations of future accessible parking, it is important to note that a future Site Development Permit approval is required prior to development of the remaining southerly portion of Subarea 2.4. Should any federal, state and/or County code requirements regarding accessible and EVCS parking spaces result in overall parking less than the 1,478 spaces² approved under PA23-0055, an amendment shall be required to PA23-0055 to address the discrepancy.

Conclusion

The Codified Ordinances of the County of Orange Section 7-9-70.9 documents the accepted use of shared parking as an alternative to off-street parking requirements. The section specifies a parking study shall be required, and the decision-making body shall only approve a parking reduction if it finds that the peak hours of use shall not overlap or coincide to the degree that peak demand for parking spaces from all uses shall be greater than the total supply of spaces.

 $^{^2}$ The 1,478 spaces is the proposed supply. The calculated maximum demand is 1,130 spaces (on a weekday) as described above on this page. As described in the conclusions, the recommended supply is 1,243, which includes a 10% buffer (1,130 x 110% =1,243).



The table below compares the parking requirements per the County's code to both the supply as proposed in the site plan and the recommended supplies from Table 6. The Project parking supply of 1,478 spaces would sufficiently meet parking demand. In fact, the proposed supply would yield 236 excess parking spaces compared to the recommended supply of 1,243 spaces on a weekday, which includes a 10% buffer. Also, the supply of 1,478 spaces does not include the 60 park-and-ride spaces on site. Our findings support the applicant's request to provide a parking supply that is less than the code requirement of 1,990 spaces, which does not reflect any shared parking aspects.

PARKING SUPPLY COMPARISONS

Scenario	Weekday	Weekend
Proposed Parking Supply [a]	1,	478
Recommended Parking Supply [b]	1,243	1,220
Excess Parking	235	258
Excess Parking % (in addition to 10% buffer)	16%	17%
Orange County Parking Requirement without shared parking [c]	1,9	989

Notes:

The parking assessment prepared complies with ITE *Parking Generation*, 5th *Edition* parking generation rates, and ULI *Shared Parking*, *Third Edition* Time-of-Day Factors for each of the proposed Subarea 2.4 land uses, thereby satisfying each of the requirements of this finding.

[[]a]: The 1,478 parking supply excludes the 60-space park-and-ride facility proposed on the project site.

[[]b]: Recommended parking supply including a 10% buffer for variation and inefficiency from Table 6.

[[]c]: Parking requirement calculated using requirements identified in Orange County Code of Ordinances Section 7-9-70.3 without shared parking accommodations

TABLE 1
CODIFIED ORDINANCES OF THE COUNTY OF ORANGE
PARKING SUPPLY REQUIREMENTS

			Parking/Loading		Required Parking	Required
Land Use	Ordinance Use	Size	Supply Rate [a]	Rate Unit	Spaces	Loading Spaces
Retail	Shopping centers (3 or more separate tenants), general retail, department stores, banks, savings & loans, credit unions and other financial institutions.	80,624 sf	1	per 200 sf GFA	403.1	-
Restaurant	Restaurants, drive-ins, cafes, nightclubs, taverns, lounges or other establishments	50,924 sf	1	per 100 sf GFA (including outdoor areas) up to 4,000 sf, plus 1 for each 80 sf of GFA over 4,000 sf	626.6	-
Daycare	Day nurseries, including pre- schools and nursery schools	22 adults	2	per each 3 employees and teachers	14.7	-
	schools and hursery schools	192 children	1	per every 8 children	-	24.0
Office	General and administrative	40,391 sf	1	per 250 sf GFA	161.6	-
Light Industrial	Industrial uses, lumberyards, wholesale establishments, and warehouses not used exclusively for storage.	46,631 sf	1	per 500 sf GFA	93.3	
Health/Fitness Club	Health studios and spas	71,889 sf	1	per 150 sf GFA	479.3	
Medical-Dental Office	Medical clinics or offices; dental clinics or offices	12,293 sf	1	per 150 sf GFA	82.0	
Storage	Warehouses, storage building or structures used exclusively for storage	129,942 sf	1	per 1,000 sf GFA for storage purposes	129.9	-
Total Required		-			1,990	24

Notes:

sf - square feet

GFA - gross floor area

[a]: Source - The Codified Ordinances of the County of Orange Section 7-9-70.6, unless otherwise noted.

TABLE 2
BASE PARKING DEMAND ESTIMATE

			Parking Den	nand Rate [a]		Parking D	emand [a]
Land Use	ITE Code	Size	Weekday	Weekend	Rate Unit	Weekday	Weekend
Retail	820	80,624 sf	3.77	4.58	per 1,000 sf GFA	304	369
Restaurant	932	50,924 sf	9.44	12.28	per 1,000 sf GFA	481	625
Daycare [b]	565	10,482 sf	2.45	2.45	per 1,000 sf GFA	26	26
Office	710	40,391 sf	2.39	0.28	per 1,000 sf GFA	97	11
Light Industrial [c]	110	46,631 sf	0.65	0.08	per 1,000 sf GFA	30	4
Health/Fitness Club	492	71,889 sf	4.73	3.26	per 1,000 sf GFA	340	234
Medical-Dental Office	720	12,293 sf	3.23	0.56	per 1,000 sf GFA	40	7
Storage	151	129,942 sf	0.1	0.09	per 1,000 sf GFA	13	12
Total		443,176 sf				1,331	1,288

Notes:

sf - square feet

GFA - gross floor area

[a]: Parking rate and demand calculation source - Parking Generation, 5th Edition (Institute of Transportation Engineers [ITE], 2019), unless otherwise noted.

[b]: Daycare weekend demand parking rate not available. Assumed weekend parking demand rate to be equal to weekday parking demand rate.

[c]: Weekend parking demand rate data not available. Weekend rate developed based on the ratio of weekday to weekend parking rates for general office (ITE 710).

TABLE 3
ITE PARKING GENERATION 5TH EDITION PARKING RATES WITH ULI SHARED PARKING TIME-OF-DAY FACTORS
SHARED PARKING SUMMARY

Peak Month: December -- Peak Period: 1 PM. Weekday

	1				Non-	nontin. De	-cenibei	. cuk .	criou. I	Non-	uuy		Peak Hr	Peak Mo	Estimated	Peak Hr	Peak Mo	Estimated
	Pro	ject Data	Base	Mode	Captive	Project		Base	Mode	Captive	Project		Adj	Adj	Parking	Adj	Adj	Parking
Land Use	Quantity	•	Rate	Adj	Ratio	Rate	Unit	Rate	Adj	Ratio	Rate	Unit	1 PM	December	Demand	12 PM	December	Demand
Community Shopping Center (<400 ksf)	80,624	sf GLA	3.04	0.98	1.00	2.98	/ksf GLA	3.66	0.98	1.00	3.59	/ksf GLA	1.00	1.00	240	0.95	1.00	275
Employee			0.73	0.98	1.00	0.72	/ksf GLA	0.92	0.98	1.00	0.90	/ksf GLA	1.00	1.00	58	1.00	1.00	73
Family Restaurant	50,924	sf GLA	8.23	0.98	1.00	8.06	/ksf GLA	10.77	0.98	1.00	10.56	/ksf GLA	0.90	1.00	370	1.00	1.00	538
Employee			1.21	0.98	1.00	1.19	/ksf GLA	1.51	0.98	1.00	1.48	/ksf GLA	1.00	1.00	61	1.00	1.00	75
Health Club	71,889	sf GLA	4.46	0.98	1.00	4.37	/ksf GLA	3.12	0.98	1.00	3.06	/ksf GLA	0.70	1.00	220	0.50	1.00	110
Employee			0.27	0.98	1.00	0.26	/ksf GLA	1.00	0.98	1.00	0.98	/ksf GLA	0.75	1.00	14	0.50	1.00	5
Medical-Dental Office	12,293	sf GLA	2.11	0.98	1.00	2.06	/ksf GLA	0.00	0.98	1.00	0.00	/ksf GLA	0.90	1.00	23	0.30	1.00	0
Employee			1.12	0.98	1.00	1.10	/ksf GLA	0.00	0.98	1.00	0.00	/ksf GLA	1.00	1.00	14	1.00	1.00	0
Daycare	10,482	sf GLA	1.05	0.98	1.00	1.03	/ksf GLA	1.05	0.98	1.00	1.03	/ksf GLA	0.10	1.00	1	0.10	1.00	1
Employee			1.40	0.98	1.00	1.37	/ksf GLA	1.40	0.98	1.00	1.37	/ksf GLA	0.90	1.00	13	0.90	1.00	13
Office	40,391	sf GLA	0.19	0.98	1.00	0.18	/ksf GLA	0.02	0.98	1.00	0.02	/unit	0.45	1.00	4	0.90	1.00	1
Employee			2.20	0.98	1.00	2.16	/ksf GLA	0.26	0.98	1.00	0.25	/unit	0.90	1.00	78	0.90	1.00	9
Light Industrial	46,631	sf GLA	0.05	0.98	1.00	0.05	/ksf GLA	0.01	0.98	1.00	0.01	/ksf GLA	0.45	1.00	1	0.90	1.00	0
Employee			0.60	0.98	1.00	0.59	/ksf GLA	0.07	0.98	1.00	0.07	/ksf GLA	0.90	1.00	25	0.90	1.00	3
Storage	129,942	sf GLA	0.08	0.98	1.00	0.08	/ksf GLA	0.07	0.98	1.00	0.07	/ksf GLA	0.50	1.00	5	0.50	1.00	4
Employee			0.02	0.98	1.00	0.02	/ksf GLA	0.02	0.98	1.00	0.02	/ksf GLA	1.00	1.00	3	1.00	1.00	2
		•		•			•		·				Cus	tomer	864	Cus	tomer	929
													Em	oloyee	266	Emp	oloyee	180
													T	otal	1,130	T	otal	1,109

TABLE 4
ITE PARKING GENERATION 5TH EDITION PARKING RATES WITH ULI SHARED PARKING TIME-OF-DAY FACTORS
PEAK PARKING DEMAND DISTRIBUTION IN DECEMBER

Total																					L
Development																					Peak Hour Parking
(Sqft or Rooms)	Land-Use	6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM	_
80,624	Retail	8	21	50	110	187	235	298	298	286	262	262	262	274	250	208	143	59	24		298
50,924	Family Restaurant	133	251	301	363	410	431	472	431	266	231	231	366	386	386	386	295	265	244	124	431
71,889	Health Club	234	140	140	234	234	266	203	234	234	234	266	302	334	297	261	224	114	35		234
12,293	Medical-Dental Office		3	37	37	39	39	22	37	39	39	37	34	26	12	6					37
10,482	Daycare	4	19	14	15	15	15	14	14	15	15	14	12	15							14
40,391	Office	3	26	67	88	95	91	79	82	95	91	79	45	22	9	6	3	1			82
46,631	Light Industrial	1	8	21	27	29	28	25	26	29	28	25	14	7	3	2	1				26
129,942	Storage			4	8	8	8	8	8	8	8	8	8	5	4						8
	Total	383	468	634	882	1,017	1,113	1,121	1,130	972	908	922	1,043	1,069	961	869	666	439	303	124	

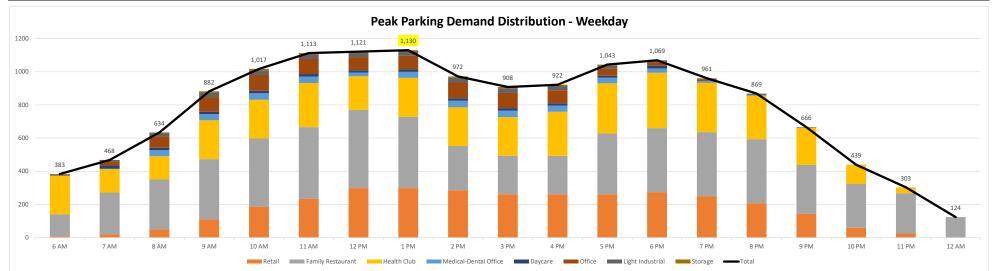


TABLE 5
ITE PARKING GENERATION 5TH EDITION PARKING RATES WITH ULI SHARED PARKING TIME-OF-DAY FACTORS
PEAK PARKING DEMAND DISTRIBUTION IN DECEMBER

Total Development																					Peak Hour
(Sqft or Rooms)	Land-Use	6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM	Parking Demand
80,624		10	25	116	199	264	329	348	362	362	348	333	300	279	260	242	192	120	40	127	348
50,924	Family Restaurant	92	192	310	445	559	559	613	532	425	272	299	395	449	449	422	221	184	130	80	613
71,889	Health Club	181	104	82	115	82	115	115	71	60	71	128	230	219	139	71	24	4	4		115
12,293	Medical-Dental Office																				0
10,482	Daycare		3	13	14	14	15	14	14	13	12	12	1	1							14
40,391	Office		2	7	9	10	11	10	9	7	4	2	1								10
46,631	Light Industrial		1	2	2	3	3	3	2	2	1	1									3
129,942	Storage			3	6	6	6	6	6	6	6	6	6	4	3						6
	Total	283	327	533	790	938	1,038	1,109	996	875	714	781	933	952	851	735	437	308	174	80	

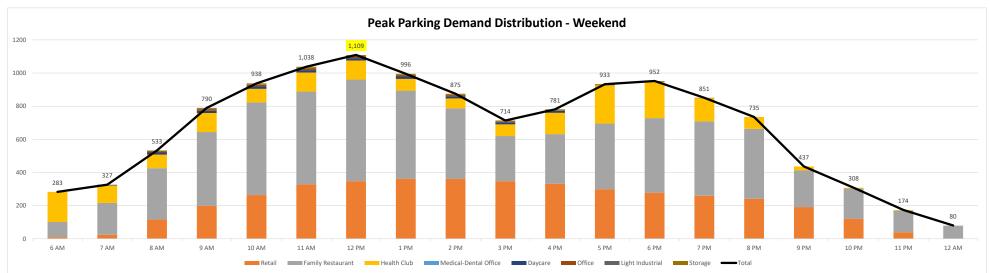


TABLE 6
PARKING SUPPLY RECOMMENDATION

			Shared	Parking		Recommen	ded Parking
			Dema	ınd [a]	Buffer	Supp	oly [b]
Land Use	ITE Code	Size	Weekday	Weekend	Factor	Weekday	Weekend
Retail	820	80,624 sf	298	348	10%	328	383
Restaurant	932	50,924 sf	431	613	10%	474	674
Daycare	565	10,482 sf	14	14	10%	15	15
Office	710	40,391 sf	82	10	10%	90	11
Light Industrial	110	46,631 sf	26	3	10%	29	3
Health/Fitness Club	492	71,889 sf	234	115	10%	257	127
Medical-Dental Office	720	12,293 sf	37	0	10%	41	0
Storage	151	129,942 sf	8	6	10%	9	7
Total		443,176 sf	1,130	1,109		1,243	1,220

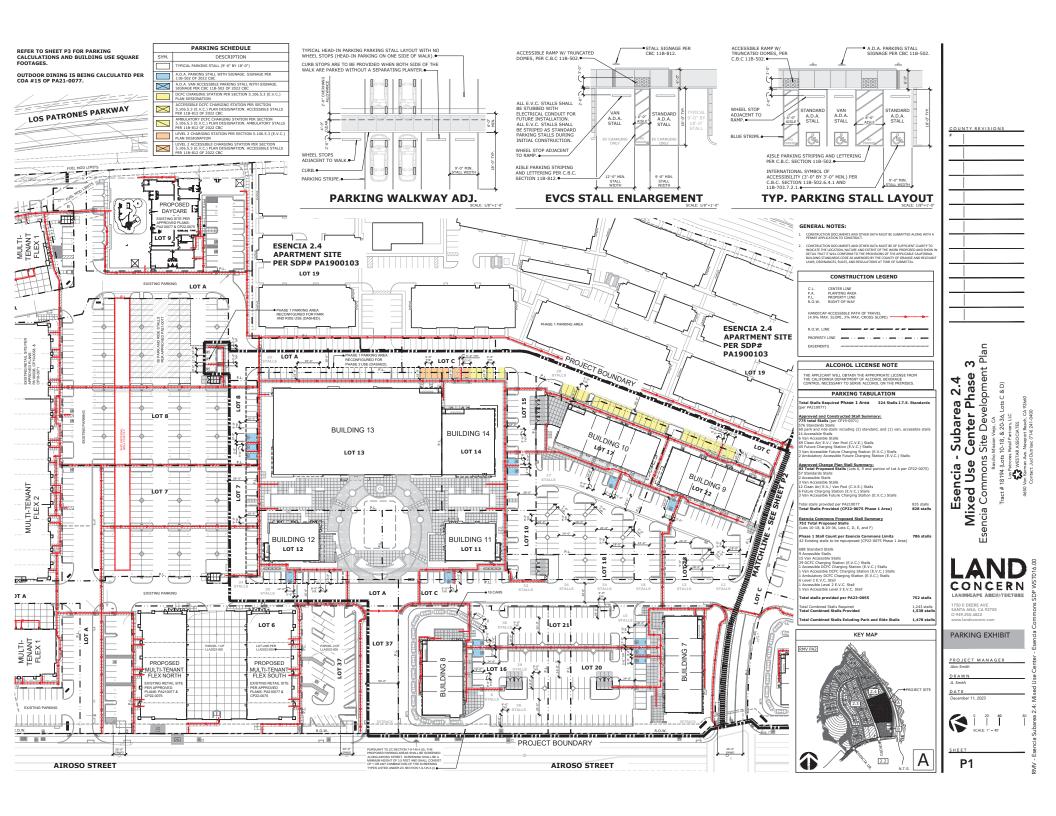
Notes:

sf - square feet

[a]: Shared parking data source - Shared Parking, Third Edition (Urban Land Institute [ULI], 2020)

[b]: Parking supply with the 10% buffer for variation and inefficiency.

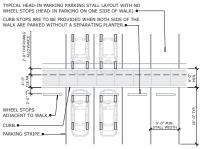




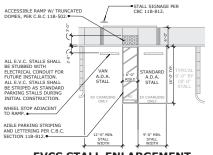


REFER TO SHEET P3 FOR PARKING CALCULATIONS AND BUILDING USE SQUARE FOOTAGES.

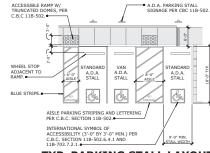
OUTDOOR DINING IS BEING CALCULATED PER COA #15 OF PA21-0077.



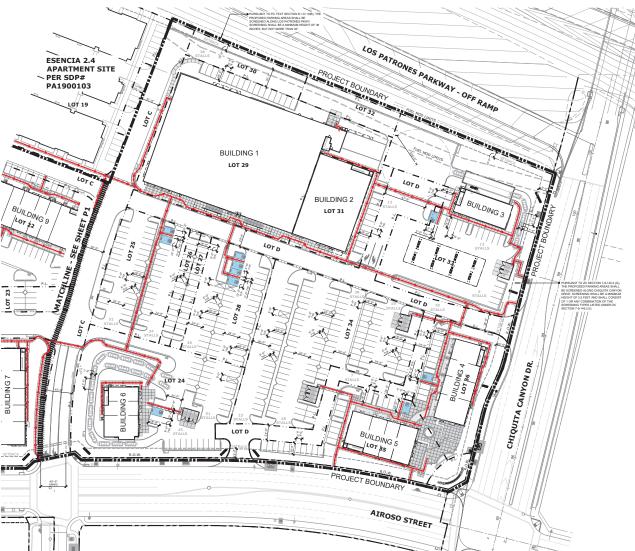
PARKING WALKWAY ADJ.



EVCS STALL ENLARGEMENT



TYP. PARKING STALL LAYOUT



GENERAL NOTES:

- CONSTRUCTION DOCUMENTS AND OTHER DATA MUST BE SUBMITTED ALONG WITH A PERMIT APPLICATION TO CONSTRUCT.

	CONSTRUCTION LEGEND
C.L.	CENTER LINE
P.A.	PLANTING AREA
P.L.	PROPERTY LINE
R.O.W.	RIGHT-OF-WAY
(4.9% M	AX. SLOPE, 2% MAX. CROSS SLOPE)
R.O.W. L	INE
PROPERT	Y LINE
EASEMEN	VTS

ALCOHOL LICENSE NOTE

PARKING TABULATION

Approved and Constructed Stall Summary: 775 total Stalls (per CP19-0071)

Approved Change Plan Stall Summary: 83 Total Proposed Stalls (Lots 6, 9 and por

Esencia Commons Proposed Stall Summary 752 Total Proposed Stalls (Lots 10-18, & 20-36, Lots C, D, E, and F)

Phase 1 Stall Count per Esencia Commons Limits 42 Evicting stalls to be repurposed (CP22-0075 Phase 1 Area)

Level 2 E.V.C. Stall
Accessible Level 2 E.V.C. Stall
Van Accessible Level 2 E.V.C. Stall otal stalls provided per PA23-0055

KEY MAP RMV PA2 В 2.2

Plan Juse Center Phase 3 mmons Site Development P Rench Masson, vap. c. # 1814 (List Phase 8.0) (1.8 & 2.0.5), Los C. & D.) Las Phases a sale Persent List \$\frac{\mathcal{C}}{\mathcal{C}} \text{Missing A NSO CANTS} \text{A NSO CANTS} \text{CONTS} \text{CO က S Subarea Mixed Use C Esencia Esencia

COUNTY REVISIONS

CONCERN

752 stall: 1,243 stall 1,538 stal 1,478 sta

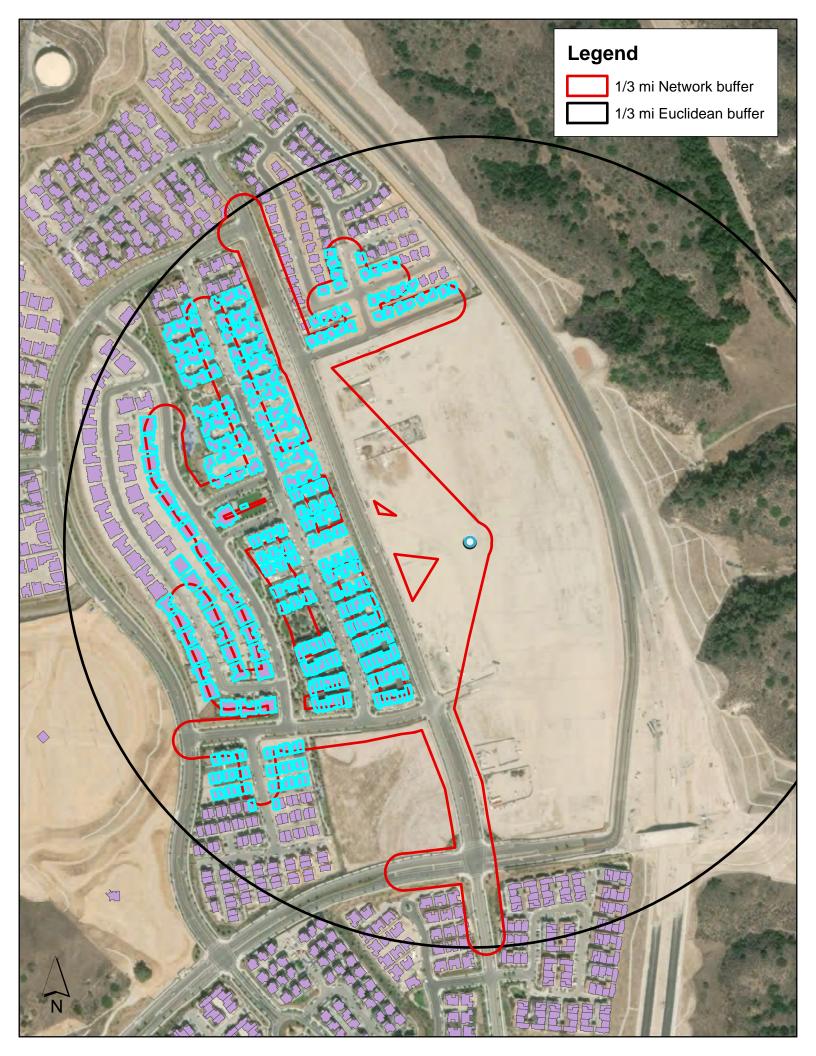
PARKING EXHIBIT

PROJECT MANAGER DRAWN

DATE

P2

Attachment B – 1/3 Mile Walking Distance Buffer







RANCHO MISSION VIEJO