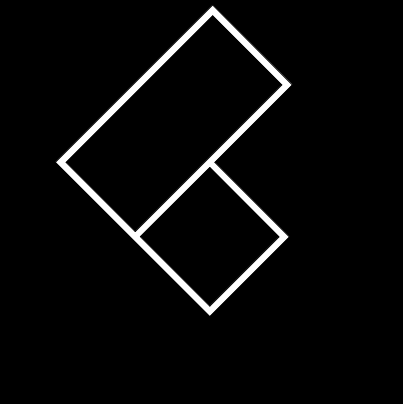




SLAVIK RESIDENCE

211 EMERALD BAY
LAGUNA BEACH, CA 92651



BRANDON ARCHITECTS
151 KALAMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

T-1.0	TITLE SHEET	PROJECT STATUS	COUNTY SUBMITTAL
SUR	TOPOGRAPHIC SURVEY	PLAN CHECK NO.	PK623-0110
A-0.1	PLANNING SITE PLAN	PROJECT CONTACT	BRANDON LINDSAY, AIA NCARB
A-0.6	VERTICAL MANUEVERING		
A-0.7	VERTICAL MANUEVERING CONT.		
C1	TITLE SHEET (REFERENCE ONLY)		
C2	GRADING PLAN (REFERENCE ONLY)		
C3	STORM DRAIN PLAN (REFERENCE ONLY)		
C4	EROSION CONTROL PLAN (REFERENCE ONLY)		
C5	SECTIONS AND DETAILS (REFERENCE ONLY)		
C6	GEOTECHNICAL NOTES (REFERENCE ONLY)		
C7	GEOTECHNICAL NOTES (CONT'D) (REFERENCE ONLY)		
C8	STORM WATER LIFTSTATION DETAIL (REFERENCE ONLY)		
LT.1	TITLE SHEET / GENERAL NOTES (REFERENCE ONLY)		
LC.1	LANDSCAPE PLAN (REFERENCE ONLY)		
LP.1	PLANTING PLAN (REFERENCE ONLY)		
LP.4	PLANTING MANUEVERING		
A-1.0	3D VIEWS		
A-2.0	FIRST LEVEL FLOOR PLAN		
A-2.1	SECOND LEVEL FLOOR PLAN		
A-2.2	FIRST LEVEL DIMENSION PLAN		
A-2.3	SECOND LEVEL DIMENSION PLAN		
A-3.0	ROOF PLAN		
A-4.0	EXTERIOR ELEVATIONS		
A-4.1	EXTERIOR ELEVATIONS		
A-5.0	BUILDING SECTIONS		
A-5.1	BUILDING SECTIONS		

THESE DOCUMENTS ARE THE PROPERTY OF BRANDON ARCHITECTS, INC. AND ARE NOT TO BE REPRODUCED, ALTERED OR ILLUSTRATED IN ANY WAY BY ANY OTHER PARTY WITHOUT THE EXPRESSED AUTHORIZATION OF BRANDON ARCHITECTS, INC. BRANDON ARCHITECTS EXPRESSLY DISCLAIMS ANY LIABILITY FOR ANY ERRORS OR OMISSIONS OR ALTERATION OF THESE DOCUMENTS BY ANY PARTY IS A VIOLATION OF BRANDON ARCHITECTS' EXPRESSLY STATED COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS. THESE DOCUMENTS ARE SUBJECT TO ALL CIVIL, CONTRACT AND PENALTIES. THESE PLANS ARE ALSO NOT TO BE ASSIGNED TO ANY OTHER PARTY WITHOUT OBTAINING WRITTEN AUTHORIZATION AND EXPRESSED PERMISSION BY BRANDON ARCHITECTS, INC. BRANDON ARCHITECTS, INC. SHALL NOT BE HELD LIABLE FOR ANY ERRORS OR OMISSIONS OR ALTERATION OF THESE DOCUMENTS BY ANY PARTY WITHOUT WRITTEN AUTHORIZATION AND EXPRESSED PERMISSION BY BRANDON ARCHITECTS, INC.

SLAVIK RESIDENCE

PROJECT ADDRESS:
211 EMERALD BAY
LAGUNA BEACH, CA 92651

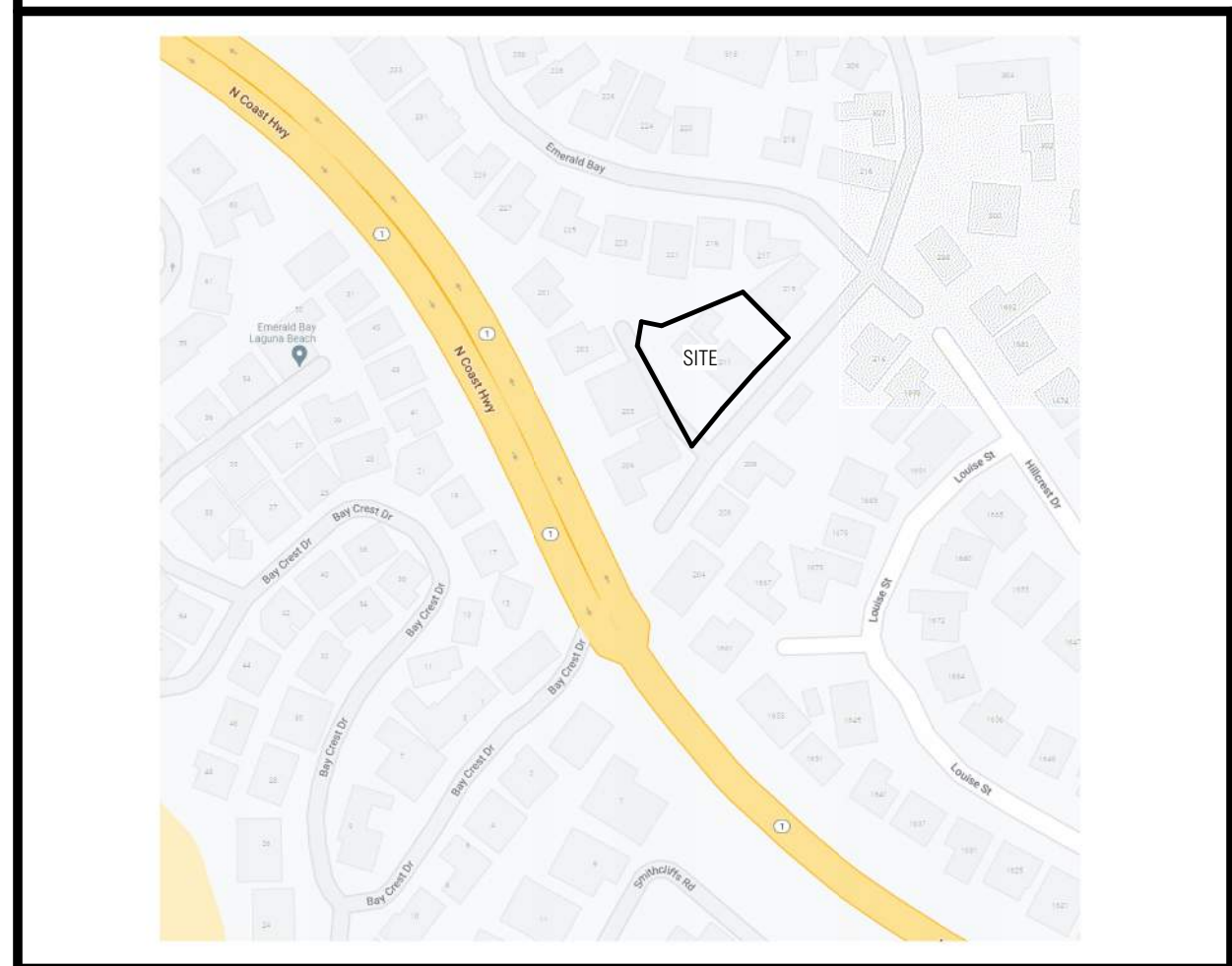
OWNER INFORMATION:
THE BRENNAN J SLAVIK TRUST
4450 MACARTHUR BLVD FL 2ND
NEWPORT BEACH, CA 92660

DATE
04.05.2024

NO.	REVISION	DATE
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TITLE SHEET

T-1.0



<p>1. REF. STRUCTURAL DRAWINGS FOR SPECIAL INSPECTIONS BY ENGINEER OF RECORD</p> <p>2. HERS VERIFICATION REQUIRED, REF. ENERGY CALCULATIONS</p>	<p>1. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT.</p> <p>2. CONTRACTOR SHALL USE STANDARD FORM 30-DAY NOTICE OF INTENT TO EXCAVATE TO NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 30-DAYS PRIOR TO STARTING EXCAVATION OR SHORING.</p>	<p>DIG ALERT: 1,800.227.2800</p> <p>SOUTHERN CALIFORNIA Edison: 1,714.895.0246</p> <p>SOUTHERN CALIFORNIA GAS: 1,800.427.2000</p> <p>CITY WATER & SEWER: 1,714.993.7800</p> <p>PACIFIC BELL TELEPHONE: 1,714.237.8658</p> <p>PUBLIC WORKS SURVEY: 1,714.834.2477</p> <p>BUILDING INSPECTION DEPARTMENT: 1,714.796.0428</p> <p>BUILDING PERMIT RECORDS OFFICE: 1,714.834.2625</p> <p>ORANGE COUNTY RECORDER OFFICE: 1,714.834.2500</p> <p>ORANGE COUNTY ASSESSORS OFFICE: 1,714.834.2727</p> <p>GENERAL EXEMPTIONS: 1,714.834.0160</p> <p>PROPERTY: 1,714.834.2715</p> <p>ORANGE COUNTY FIRE AUTHORITY: 1,714.573.0100</p> <p>ORANGE COUNTY HEALTH SERVICES: 1,714.834.3882</p>	<p>ARCHITECT BRANDON ARCHITECTS, INC. 151 KALAMUS DRIVE, SUITE G-1 COSTA MESA, CA 92626 P: 714.754.4040 WWW.BRANDONARCHITECTS.COM</p> <p>OWNER THE BRENNAN J SLAVIK TRUST 4450 MACARTHUR BLVD FL 2ND NEWPORT BEACH, CA 92660</p> <p>GENERAL CONTRACTOR PATTERSON CUSTOM HOMES ANDREW PATTERSON 15 CORPORATE PLAZA, SUITE 150 NEWPORT BEACH, CA 92660 P: 949.723.1800 E: LINDSAY@PATTERSONCUSTOMHOMES.COM</p> <p>STRUCTURAL ENGINEER FRM ENGINEERING, INC. 8401 HANNA, PE 410 SODDARD, SUITE 200 IRVINE, CA 92618 P: 949.425.8300 E: fodyukim@frmengineering.com</p> <p>CIVIL ENGINEER CIVILSCAPES ENGINEERING VILLI, RUSPH 28055 CAMINO CAPISTRANO, STE 213 LAGUNA HILLS, CA 92657 P: 949.484.8115 INFO@CIVILSCAPES.COM</p> <p>GEOTECHNICAL ENGINEER COAST GEOTECHNICAL, INC. NO. 4 9555011, MAY 4, 2000 1200 W. COMMONWEALTH AVENUE FULLERTON, CA 92835 P: 714.870.1211 E: COASTGEOTECH@GMAIL.COM</p> <p>INTERIOR DESIGNER MINDY GAYER DESIGN MARIA VILLALOBOS 1603 SUPERIOR AVENUE COSTA MESA, CA 92627 P: 951.400.1647 E: MANDY@MINDYGAYER.COM</p> <p>LANDSCAPE DESIGNER CHELSEA CORNINE STUDIO CHELSEA EDMONSTON 120 TOTTEN AVENUE, SUITE C, #227 NEWPORT BEACH, CA 92663 P: 949.827.0247 E: CHELSEA@CHELSEACORNINESTUDIO.COM</p> <p>ENERGY CONSULTANT GREGORY DESIGN CATILIN GREGORY 4 SHETLAND TRABUCO CANYON, CA 92679 P: 949.888.9511 E: catlin@gregory-design.com</p> <p>MEP CONSULTANT GREGORY DESIGN CATILIN GREGORY 4 SHETLAND TRABUCO CANYON, CA 92679 P: 949.888.9511 E: catlin@gregory-design.com</p> <p>SURVEYOR APEX LAND SURVEYING, INC. PAUL CRAFF, LIC. NO. 8516 HUNTINGTON BEACH, CA 92646 P: 714.485.5000 E: APEX@APEXLANDSURV.COM</p>
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10	VICINITY MAP
<p>THE SUBJECT PROPERTY IS LOCATED IN LAGUNA BEACH, CA IN THE AREA KNOWN AS EMERALD BAY, NORTH OF PACIFIC COAST HIGHWAY THIS AREA IS COUNTY ZONED FOR R1 - SINGLE-FAMILY RESIDENCE. THE CORNER LOT IS IRREGULAR IN SHAPE BUT APPROXIMATELY 145 WIDE BY DEPTHS THAT VARIES BETWEEN 7' AND 100' WITH THE LOT AREA SIZE OF APPROXIMATELY 14,386.89 SQUARE FEET DEVELOPMENT OF THE PROPERTY WILL BE REVIEWED BY THE EMERALD BAY COMMUNITY ASSOCIATION.</p> <p>THE PROPERTY CURRENTLY INCLUDES AN EXISTING 2-STORY SINGLE FAMILY RESIDENCE WITH A DETACHED POOL, HOUSE AND DETACHED GARAGE. THE CLIENT PROPOSES TO BUILD A NEW 2-STORY SINGLE FAMILY RESIDENCE OF APPROX. 5,340 S.F. INCLUDING A CABANA OF 151 S.F. AND 940 S.F. 3-CAR GARAGE. THE PROPERTY'S MAIN ENTRANCE GATE WILL BE FROM EMERALD BAY AVENUE OPENING UP TO THE HOME'S YARD WITH A PATHWAY DOWN A FEW STEPS TO THE MAIN ENTRY DOOR WHILE THE 3-CAR GARAGE PLUS A 3-CAR GUEST PARKING WITH A TRELLIS COVER WILL BE FROM THE CAL-OSHA AND OPENING TO THE SAME FOREVER AS THE MAIN ENTRY GATE. THE PROPERTY WILL INCLUDE THE FOLLOWING:</p> <ul style="list-style-type: none"> MAIN LEVEL INCLUDES A LARGE EAT-IN KITCHEN WITH BUTLERS PANTRY, GREAT ROOM, COVERED OUTDOOR LIVING AND DINING, MULTI-PURPOSE ROOM, POWDER ROOM, GUEST SUITE, AND MUD ROOM LEVEL 2 INCLUDES THE PRIMARY SUITE WITH SPINCKES BATH AND LARGE WALK-IN CLOSET, 2 SECONDARY BEDROOM SUITES WITH FULL BATHS, LAUNDRY ROOM, STORAGE ROOM, POWDER ROOM, AND A DEN THAT LEADS TO AN OPEN-AIR VIEW DECK WITH FINISH FLOORING THE CABANA WILL HOUSE AN ENCLOSED POOL BATH, POOL, EQUIPMENT ROOM AND POOL STORAGE ROOM THAT ANCHORS A TRELLIS FOR COVERED SEATING WITH THE VIEW OF THE POOL, SPA AND BATH SHED. THE 3-CAR GARAGE INCLUDES SOME STORAGE AND A TRELLIS COVERED TIE-UP DOOR LEADING TO THE LAWN BETWEEN THE 3-CAR GARAGE AND COVER IS AN ADDITIONAL TWO GUEST PARKING COVERED BY A TRELLIS FOR A TOTAL OF 5 PARKING SPOTS. <p>THE PROPERTY WILL BE EXCAVATED TO HAVE THE HOME SIT LOW TO PROTECT NEIGHBORING VIEWS AND HAVE THE HOME LOOKING SUBTLE FROM THE STREETS.</p> <p>THE PROJECT WILL BE OF A CONTEMPORARY FARMHOUSE DESIGN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: AMPLE INDOOR/OUTDOOR LIVING SPACES INTEGRATED WITH A MODERN OPEN LIVING PLAN WHICH MAXIMIZES ROTATIONAL VIEWS FROM LIVING SPACES. THE EXTERIOR MATERIALS WILL BE OF A HIGH QUALITY AND HIGH DURABILITY, TO BE CONSISTING PRIMARILY OF BRICK, VENEER WOOD SIDING, BOARD AND BATTEN, WOOD LAVERSCHEUNGS, ACCENTS OF NATURAL WOOD ELEMENTS, THE ROOFING AND NATURAL ZINC METAL ACCENT ROOFING.</p>	
11	PROJECT DESCRIPTION

8	SPECIAL INSPECTIONS
<p>1. GRADING PLAN, SHORING PLAN, LANDSCAPE PLAN, BBQ, FIRE PIT, ACCESSORY STRUCTURES, MASONRY OR CONCRETE WALLS/FENCES, RETAINING WALLS OVER 4 FT. HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF WALL, UNDER SEPARATE REVIEWS AND PERMITS (FOR COUNTY AND H.O.A. PURPOSES).</p> <p>2. POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.</p> <p>3. SUBMIT SOUND ATTENUATION DESIGN FOR HVAC EQUIPMENT PER AIR STD. 215. SOUND LEVEL NOT TO EXCEED 50DBA (50DBA WITH TIMER, 65DBA WITH TIMER AND NEIGHBORS CONSENT). LOCATION OF MEASUREMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING.</p> <p>4. A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING AND UNDERPINNING. CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT.</p> <p>5. FIRE SPRINKLERS REQUIRED, CONTRACTOR TO SUBMIT FIRE SPRINKLER DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO SUBMITTING TO CITY. OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.</p> <p>6. PV SOLAR SYSTEM (MIN. 3.0KW DC) + 5.0KW BATTERY SYSTEM PER T-24</p> <p>7. GLASS GUARD/HANDRAILS</p> <p>8. ELEVATOR</p>	
9	DEFERRED SUBMITTALS
<p>NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL TO LOCAL AGENCY FOR REVIEW.</p> <p>BRANDON ARCHITECTS, INC. IS THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THE PROJECT. RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.</p>	

6	SHORING & EXCAVATION																																																		
<p>BUILDING AREA SCHEDULE</p> <table border="1"> <tr> <th>NAME</th> <th>AREA</th> </tr> <tr> <td>FIRST FLOOR</td> <td>2719 SF</td> </tr> <tr> <td>SECOND FLOOR</td> <td>2623 SF</td> </tr> <tr> <td>POOL CABANA</td> <td>151 SF</td> </tr> <tr> <td>LIVING SUB TOTAL</td> <td>5493 SF</td> </tr> <tr> <td>3-CAR GARAGE</td> <td>840 SF</td> </tr> <tr> <td>GARAGE SUB TOTAL</td> <td>840 SF</td> </tr> <tr> <td>GRAND TOTAL</td> <td>6333 SF</td> </tr> </table> <p>TRELLIS AREA SCHEDULE</p> <table border="1"> <tr> <th>NAME</th> <th>COMMENTS</th> <th>AREA</th> </tr> <tr> <td>GARDEN TRELLIS</td> <td></td> <td>239 SF</td> </tr> <tr> <td>POOL CABANA TRELLIS</td> <td></td> <td>263 SF</td> </tr> <tr> <td>GRAND TOTAL</td> <td></td> <td>502 SF</td> </tr> </table> <p>OUTDOOR COVERED AREA SCHEDULE</p> <table border="1"> <tr> <th>NAME</th> <th>AREA</th> </tr> <tr> <td>ENTRY</td> <td>98 SF</td> </tr> <tr> <td>OUTDOOR LIVING</td> <td>602 SF</td> </tr> <tr> <td>VIEW DECK</td> <td>275 SF</td> </tr> <tr> <td>GRAND TOTAL</td> <td>1074 SF</td> </tr> </table> <p>OUTDOOR AREA SCHEDULE</p> <table border="1"> <tr> <th>NAME</th> <th>AREA</th> </tr> <tr> <td>HARDSCAPE</td> <td>874 SF</td> </tr> <tr> <td>PATIO</td> <td>179 SF</td> </tr> <tr> <td>PLANTED</td> <td>702 SF</td> </tr> <tr> <td>POOL</td> <td>427 SF</td> </tr> <tr> <td>GRAND TOTAL</td> <td>2174 SF</td> </tr> </table>		NAME	AREA	FIRST FLOOR	2719 SF	SECOND FLOOR	2623 SF	POOL CABANA	151 SF	LIVING SUB TOTAL	5493 SF	3-CAR GARAGE	840 SF	GARAGE SUB TOTAL	840 SF	GRAND TOTAL	6333 SF	NAME	COMMENTS	AREA	GARDEN TRELLIS		239 SF	POOL CABANA TRELLIS		263 SF	GRAND TOTAL		502 SF	NAME	AREA	ENTRY	98 SF	OUTDOOR LIVING	602 SF	VIEW DECK	275 SF	GRAND TOTAL	1074 SF	NAME	AREA	HARDSCAPE	874 SF	PATIO	179 SF	PLANTED	702 SF	POOL	427 SF	GRAND TOTAL	2174 SF
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7	PROJECT STATISTICS																																																		

4	AGENCIES & SERVICES
<p>LEGAL DESCRIPTION APN 053-073-43 & 053-073-44 (FORMERLY 053-073-41)</p> <p>PROPOSED LEGAL DESCRIPTION PARCEL 1 OF LLA (PENDING)</p> <p>CURRENT LEGAL DESCRIPTION PARCELS 1 AND 2 OF LLA-2019-007, INSTRUMENT NO. 2019-040003 FORMERLY 0705 & 7 AND 8 OF TRACT NO. 977, SUBDIVISION 'C' OF EMERALD BAY, PER MAP FILED IN BOOK 31, PAGES 33, 34 AND 35 OF MISCELLANEOUS MAPS OF THE ORANGE COUNTY RECORDS</p> <p>LOT INFORMATION COUNTY ZONE = R1 (CD)(SR) (SINGLE-FAMILY RESIDENCE) FULL PROPERTY DEVELOPABLE AREA PER A-0.3 14,375.27 S.F. ALLOWABLE LOT COVERAGE AREA (HSA) ALLOWABLE 0.4 x 14,375.27 ALLOWABLE 0.4 x 11,456.63 5,750.11 S.F. (40%) 4,582.65 S.F. (40%)</p> <p>PROPOSED LOT COVERAGE 4,466.42 S.F. (31.09%) 4,466.42 S.F. (30.01%)</p> <p>ALLOWABLE LOT COVERAGE AREA (COUNTY) N/A</p> <p>FLAT ROOF PER A-0.1 ALLOWABLE 609.96 S.F. (15%) PROPOSED 575.78 S.F. (12.88%)</p> <p>MAX HEIGHT - 35' AVY. FINISH GRADE PROPOSED MAXIMUM HEIGHT - 32' 7.12"</p> <p>EXISTING BUILDING INFORMATION EXISTING 2,566 S.F. SINGLE FAMILY W/ 400 S.F. DETACHED POOL HOUSE (5 BEDS TTL.) AND 486 S.F. DETACHED GARAGE TO BE DEMOLISHED</p> <p>ZONING INFORMATION FRONT SETBACK: 20 FT. (STANDARD) 16.25 FT. (SHALLOW LOT) SIDE (INTERIOR) SETBACK: 5 FT. SIDE (STREET) SETBACK: 5 FT. REAR SETBACK: 25 FT (STANDARD) 15 FT. (PRIVATE STREET)</p> <p>ZONING INFORMATION (PROPOSED) FRONT SETBACK: 5 FT. SIDE (INTERIOR) SETBACK: 6 FT. 6 IN. SIDE (STREET) SETBACK: 22 FT. 6 IN. (MAIN BUILDING) 2 FT. 2 IN. (ACCESSORY STRUCTURE) REAR SETBACK: 8 FT. 6 IN.</p>	
5	SITE INFORMATION

2	PROJECT DIRECTORY
<p>CODES: OCAC (ORANGE COUNTY MUNICIPAL CODE) 2022 CRC, 2022 OFC, 2022 DEC, 2022 CMC, 2022 CPC, 2022 CALGREEN AND 2022 CAL ENERGY CODE, AND 2021 ISPSC</p> <p>OCCUPANT LOAD: 1 UNIT</p> <p>OCCUPANCY CLASSIFICATION: R-3U</p> <p>OCCUPANCY SEPARATION (GARAGE): 1-HR</p> <p>FLOOR & FLOOR-CEILING: 1-HR</p> <p>TYPE OF CONSTRUCTION: VB - SPRINKLERED</p> <p>FIRE SPRINKLER: YES, NFA 130</p> <p>HEIGHT: 2 STORES</p> <p>FLOOR AREA: REF. T7-1.0</p> <p>ALLOWABLE BLDG. ARE (PER CBC TBL. 503): N/A</p>	
3	CODE INFORMATION
1	SHEET LIST

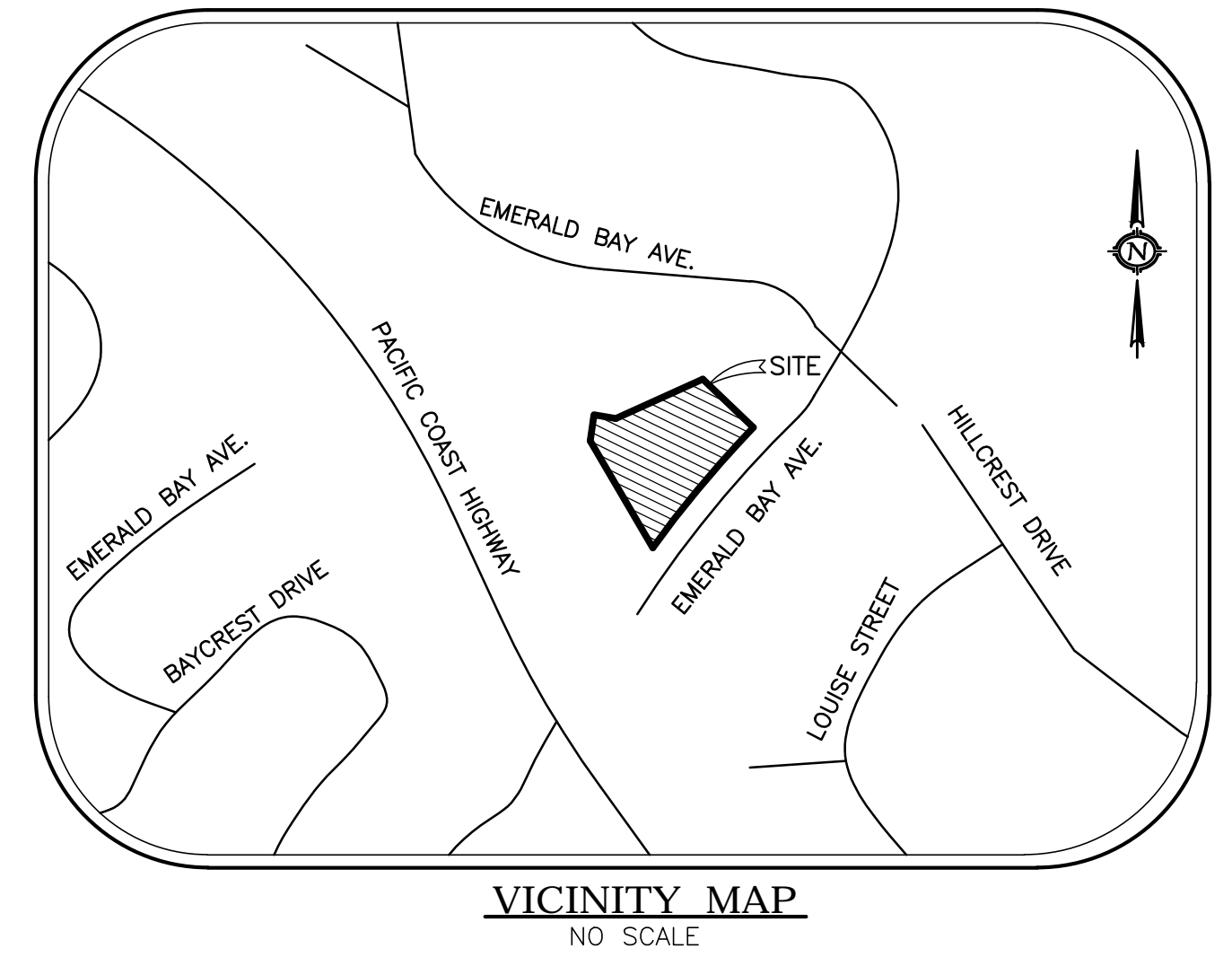
LEGEND	
—	BLOCK WALL
—	CHAIN LINK FENCE (CLF)
—	WOODEN FENCE (WDF)
AC	ASPHALT PAVEMENT
ACU	AIR CONDITIONING UNIT
C	CENTERLINE
CATV	CABLE TV BOX
CLF	CHAIN LINK FENCE
EG	EDGE OF GUTTER
ELP	ELECTRICAL PANEL
EP	EDGE OF PAVEMENT
EMH	ELECTRICAL MANHOLE
EPB	ELECTRICAL PULL BOX
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FINISHED SURFACE
GM	GAS METER
MH	MANHOLE
NG	NATURAL GROUND
PA	PLANTER AREA
PC	PALM TREE CLUSTER
PEQ	POOL EQUIPMENT
SL	STREET LIGHT
TBX	TELEPHONE BOX
TC	TOP OF CURB
TMH	TELEPHONE MANHOLE
TPB	TELEPHONE PULLBOX
TS	TOP OF STEP
TW	TOP OF WALL
WV	WATER VALVE
()	EXISTING ELEVATION
()	SEARCHED, FOUND NOTHING; SET NOTHING
TBM	TEMPORARY BENCHMARK SET ON A TELEPHONE MANHOLE (TMH) ELEVATION = 90.93 FEET

- EASEMENTS**
- ITEM 7: A 3' WIDE EASEMENT GRANTED TO ASSOCIATED TELEPHONE COMPANY, LTD. ITS SUCCESSORS AND ASSIGNS FOR THE MAINTENANCE OF A TELEPHONE LINE, WIRES, CONDUITS, AND RIGHTS INCIDENTAL THERETO, RECORDED OCTOBER 8, 1940 AS BOOK 1058, PAGE 446 OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 8: A 3' WIDE EASEMENT GRANTED TO TEL-CLEAR SYSTEMS, INC. FOR TELEVISION AERIAL WIRES AND RIGHTS INCIDENTAL THERETO, RECORDED JUNE 20, 1955 AS BOOK 3109, PAGE 420, OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 9: A 3' WIDE EASEMENT GRANTED TO LAGUNA BEACH COUNTY WATER DISTRICT FOR WATER DISTRIBUTION AND RIGHTS INCIDENTAL THERETO, RECORDED OCTOBER 19, 1956 AS BOOK 3668, PAGE 321, OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 10: A 3' WIDE EASEMENT GRANTED TO EMERALD BAY SERVICE DISTRICT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, RECORDED MARCH 15, 1971 AS BOOK 9871, PAGE 687, OF OFFICIAL RECORDS. (PLOTTED HEREON)

- EASEMENTS**
- ITEM 11: AN EASEMENT GRANTED TO GENERAL TELEPHONE COMPANY OF CALIFORNIA, A CORPORATION, FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO RECORDED NOVEMBER 11, 1971 AS BOOK 9884, PAGE 779 OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 12: A 3' WIDE EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, RECORDED MARCH 14, 1973 AS BOOK 10593, PAGE 385, OF OFFICIAL RECORDS. (NOT PLOTTED - DOCUMENT NOT PROVIDED)
- ITEM A: A 4' WIDE UTILITY EASEMENT PER TRACT NO. 977, M.M. 31/33-35 (PLOTTED HEREON)
- ITEM B: AN 8' WIDE UTILITY EASEMENT PER TRACT NO. 977, M.M. 31/33-35 (PLOTTED HEREON)
- ITEM C: EASEMENTS OF VARIOUS WIDTHS FOR PUBLIC UTILITY AND DRIVEWAY USE AND BENEFIT OF OWNERS OF LOTS 1 THROUGH 14 PER TRACT NO. 977, M.M. 31/33-35 (PLOTTED HEREON)

BASIS OF BEARINGS
THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHWEST PROPERTY LINE OF LOT 6 HAVING A BEARING OF N30°20'00"W PER TRACT NO. 977, M.M. 31/33-35.

BENCHMARK INFORMATION
BENCHMARK NO. NB3-17-77
DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB3-1777". SET IN THE TOP OF A CONCRETE BRIDGE ABUTMENT. MONUMENT IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF VIA LIDO AND THE WEST LIDO CHANNEL, 22.3 FT. SOUTHERLY OF THE CENTERLINE OF VIA LIDO AND 0.35 MILES SOUTHEASTERLY OF NEWPORT BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.
ELEVATION: 24.503 FEET (NAVD88), YEAR LEVELED 2015
THE ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A MAP TITLED "CITY OF LAGUNA BEACH, CALIFORNIA DEPARTMENT OF PUBLIC WORKS - ENGINEERING DIVISION TOPOGRAPHICAL MAP OF THE CITY OF LAGUNA BEACH" PREPARED BY PACIFIC AIR INDUSTRIES, DATED 10/03/1960.
SAID ELEVATIONS ARE 1.34 FEET HIGHER THAN OCS VERTICAL CONTROL BENCHMARK NO. NB3-17-77.



LAND AREA
PARCEL 1:
8,467.62 SQUARE FEET
0.194 ACRES
PARCEL 2:
5,907.65 SQUARE FEET
0.136 ACRES

TITLE REPORT/EASEMENT NOTES

211 EMERALD BAY
LAGUNA BEACH, CA 92651
(APN: 053-073-41)

TITLE REPORT PROVIDED BY:
CHICAGO TITLE COMPANY
ORDER NUMBER: 58602109312-JFA
DATED: AUGUST 23, 2021

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
BEING THOSE PORTIONS OF LOTS 6, 7, AND 8 OF TRACT NO. 977, SUBDIVISION "G" OF EMERALD BAY, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA, PER MAP FILED IN BOOK 31, PAGES 33, 34, AND 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 6; THENCE, NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 6, NORTH 30°20'00" WEST, 88.95 FEET;

THENCE LEAVING SAID SOUTHWESTERLY LINE OF LOT 6, NORTH 01°54'46" WEST, 17.91 FEET; THENCE, NORTH 43°05'14" EAST, 51.86 FEET; THENCE, NORTH 83°42'22" EAST, 20.44 FEET; THENCE, SOUTH 47°01'07" EAST, 23.57 FEET; THENCE, NORTH 43°19'31" EAST, 4.83 FEET; THENCE, SOUTH 48°50'45" EAST, 52.56 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT 8 AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF EMERALD BAY DRIVE, (FORMERLY EAST MESA ROAD), A 50 FOOT WIDE PUBLIC ROAD, SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1175.00 FEET AND TO WHICH POINT A RADIAL LINE BEARS NORTH 48°36'15" WEST;

THENCE SOUTHWESTERLY ALONG SAID SOUTHEASTERLY LINE OF LOT 8 AND THE SOUTHEASTERLY LINE OF SAID LOTS 7 AND 6, SOUTHWESTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 110.60 FEET, THROUGH A CENTRAL ANGLE OF 05°23'35" TO THE MOST SOUTHERLY CORNER OF SAID LOT 6 AND THE POINT OF BEGINNING.

PARCEL 2:
BEING THOSE PORTIONS OF LOTS 6, 7, AND 8 OF TRACT NO. 977, SUBDIVISION "G" OF EMERALD BAY, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA PER MAP FILED IN BOOK 31, PAGES 33, 34, AND 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 6; THENCE, NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 6, NORTH 30°20'00" WEST, 88.95 FEET TO THE TRUE POINT OF BEGINNING;

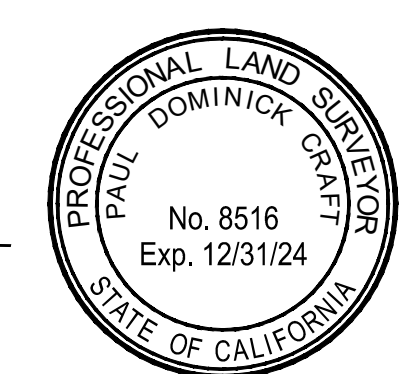
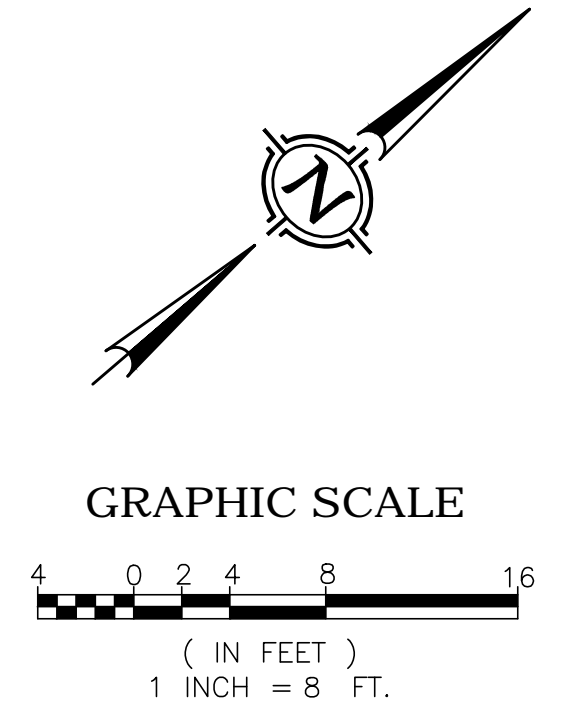
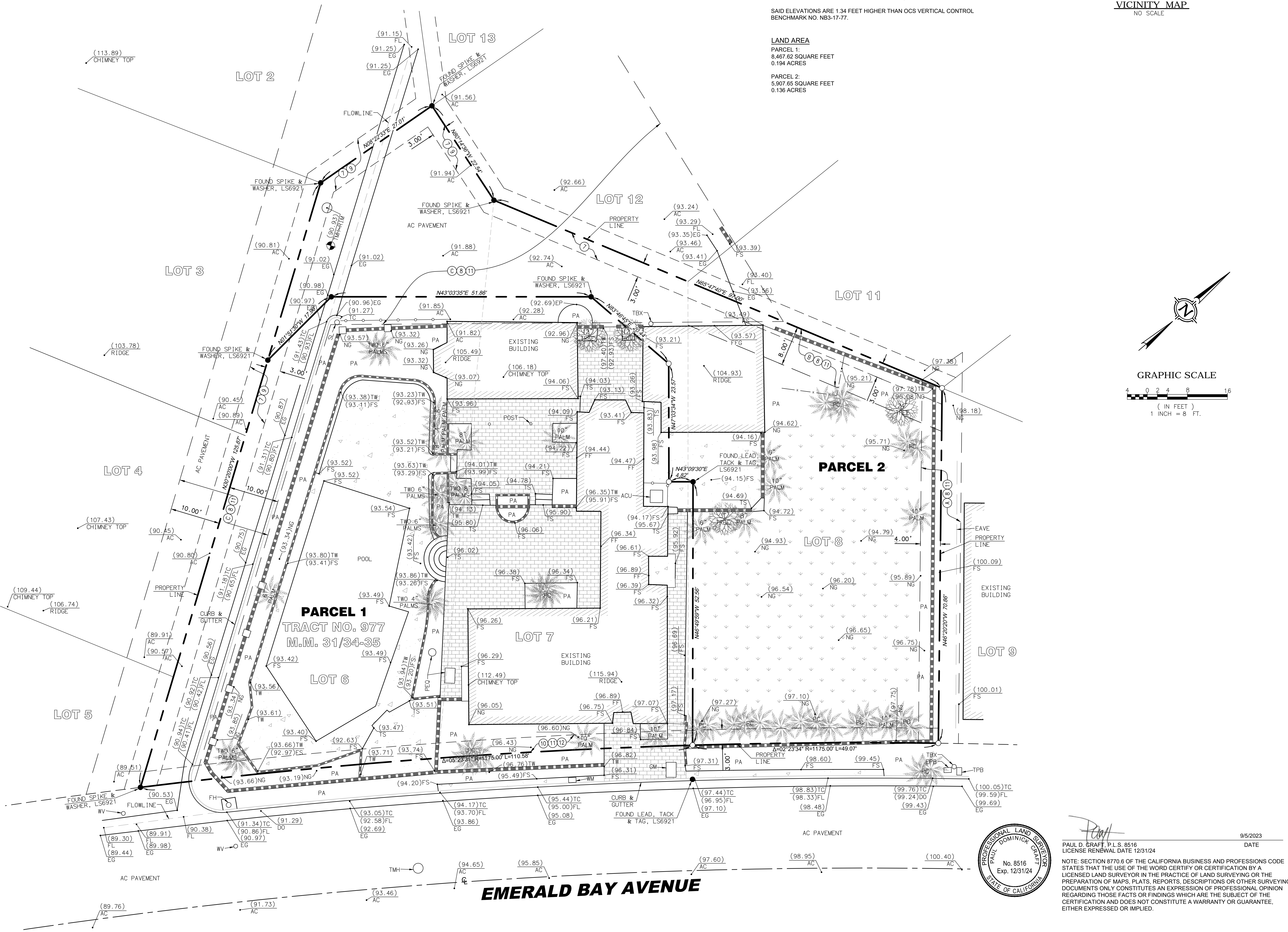
THENCE LEAVING SAID SOUTHWESTERLY LINE, NORTH 01°54'46" EAST, 17.91 FEET; THENCE, NORTH 43°05'14" EAST, 51.86 FEET; THENCE, SOUTH 83°42'22" EAST, 20.44 FEET; THENCE, SOUTH 47°01'07" EAST, 23.57 FEET; THENCE, NORTH 43°19'31" EAST, 4.83 FEET; THENCE, SOUTH 48°50'45" EAST, 52.56 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT 8 AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF EMERALD BAY DRIVE (FORMERLY EAST MESA ROAD), A 50 FOOT WIDE PUBLIC ROAD, SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1175.00 FEET AND TO WHICH, A RADIAL LINE BEARS NORTH 48°36'15" WEST;

THENCE, NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF LOT 8, AND SAID CURVE, AN ARC DISTANCE OF 49.08 FEET, THROUGH A CENTRAL ANGLE OF 02°23'38" TO THE MOST EASTERLY CORNER OF SAID LOT 8; THENCE ALONG THE NORTHEASTERLY LINE OF SAID LOT 8, NORTH 46°24'20" WEST, 70.88 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 8;

THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 8 AND THE NORTHWESTERLY LINE OF SAID LOT 7, SOUTH 65°47'40" WEST, 97.00 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 7; THENCE ALONG THE NORTHERLY, NORTHWESTERLY AND SOUTHWESTERLY LINES OF SAID LOT 6, THE FOLLOWING THREE (3) COURSES:

- NORTH 80°12'30" WEST, 22.45 FEET;
- SOUTH 08°29'00" WEST, 26.99 FEET;
- SOUTH 30°20'00" EAST, 36.92 FEET TO THE TRUE POINT OF BEGINNING.

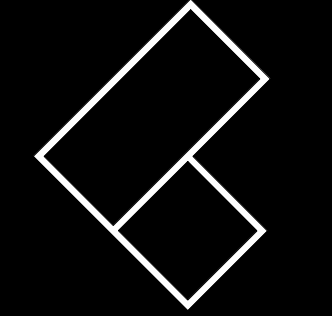
SAID ABOVE LEGAL DESCRIPTION IS ALSO DESCRIBED AS PARCEL 1 AND PARCEL 2, PURSUANT TO APPLICATION FOR LOT LINE ADJUSTMENT RECORDED NOVEMBER 20, 2019, AS INSTRUMENT NO. 2019-484003.



PAUL D. DRAFT, P.L.S. 8516
LICENSE RENEWAL DATE 12/31/24
DATE: 9/5/2023

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

TOPOGRAPHIC MAP		PROJECT	
DATE	8/3/2021	SHEET TITLE	211 EMERALD BAY LAGUNA BEACH, CA 92651 (APN: 053-073-41)
SCALE	1" = 8'	PROJECT	
DRAWN	A. R. H.	SHEET NO.	1 OF 1
CHECKED	P. D. C.		
DATE	8/3/2021		
PROJECT SURVEYOR			
NO.	DESCRIPTION		
REVISIONS			
DATE			
APP'D			



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 151 KALMUS DRIVE, SUITE G-1
 COSTA MESA, CA 92626
 714.754.4040
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PROJECT STATUS
 COUNTY SUBMITTAL

PLAN CHECK NO.
 PK623-0110

PROJECT CONTACT
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SLAVIK RESIDENCE

PROJECT ADDRESS:
 211 EMERALD BAY
 LAGUNA BEACH, CA 92651

OWNER INFORMATION:
 THE BRENNAN J SLAVIK TRUST
 4450 MACARTHUR BLVD FL 2ND
 NEWPORT BEACH, CA 92660

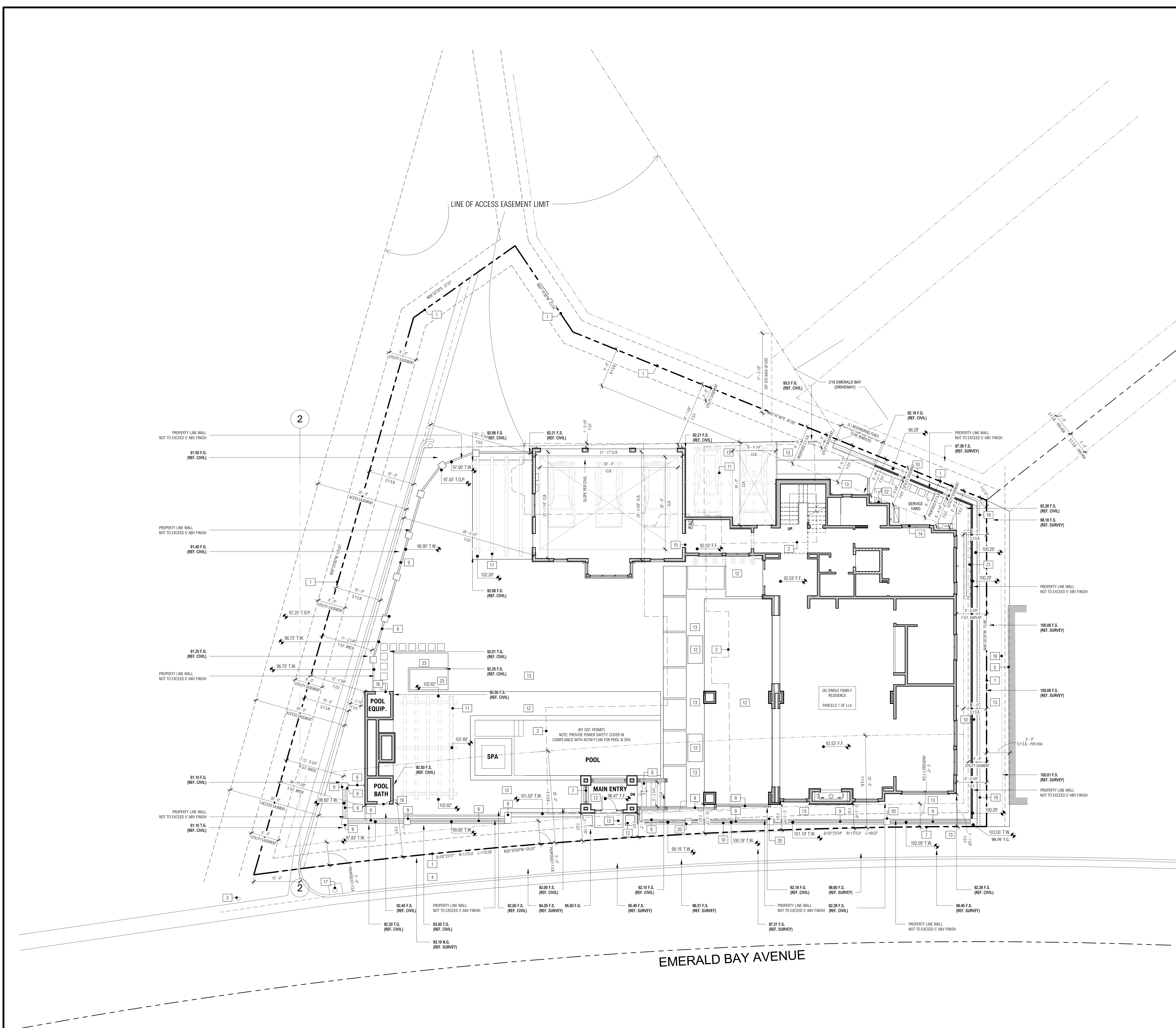
DATE
 04.05.2024

REVISIONS

NO.	REVISION	DATE

PLANNING SITE PLAN

A-0.1



DIMENSION NOTE:
 ALL SITE PLAN DIMENSIONS ARE TO FACE OF FINISHERS (EXT. WALLS) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTES DIMENSIONS, DO NOT SCALE PLANS.

GENERAL NOTE:
 SEE SHEET A-3.0 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).

POOL:
 1. PROVIDE AN ALARM FOR DOORS AND WINDOWS WITH SILL HEIGHTS LESS THAN 60-INCHES ABOVE F.F. OF THE DWELLING THAT FORMS A PART OF THE POOL ENCLOSURE. THE ALARM SHALL BE LISTED AS A WATER HAZARD ENTRANCE ALARM IN ACCORDANCE WITH UL 2017. THE DEACTIVATION SWITCH SHALL BE AT LEAST 6'0" ABOVE THE FLOOR IF THE RESIDENCE IS NOT REQUIRED TO BE ACCESSIBLE. (CBC 3109 & ISPC 305.4)

2. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED WITH SUCTION ENTRAPMENT GRATE IN ACCORDANCE WITH ANSI/ASPE-16 PER CBC 3109 SECTION (B) OF 11902B. SUCTION ENTRAPMENT AVOIDANCE FOR POOL AND SPA SHALL BE PROVIDED IN ACCORDANCE WITH ASPE-7 PER ISPC SECTION 310.

3. PROVIDE POWER SAFETY COVER IN COMPLIANCE WITH ASTM F1346-01 FOR POOL & SPA (CBC 3109 SECTION (3) OF 11992Z & ISPC 305).

4. POOL ENCLOSURE FENCE SHALL BE 60-INCHES MIN. HIGH. FENCING MEASURED ON THE SIDE THAT FACES AWAY FROM SWIMMING POOL. W. MAX VERTICAL CLEARANCE OF 2-INCHES BETWEEN FENCING AND BOTTOM OF THE FENCE/BARRIER MEASURED ON THE SIDE OF FENCE THAT FACES AWAY FROM SWIMMING POOL. OPENING, GAP, AND VOID IN ENCLOSURE FENCE OR GATE SHALL NOT ALLOW THE PASSAGE OF 4-INCHES DIAMETER SPHERE OR LARGER. OUTSIDE SURFACE, FACING AWAY FROM SWIMMING POOL OF THE POOL ENCLOSURE INCLUDING THE GATE TO BE FREE OF PROTRUSIONS, CAVITIES, OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS WHICH COULD ENABLE A CHILD FIVE YEARS OLD OR YOUNGER TO CLIMB OVER. (CBC 3109 & ISPC 305)

A SITE PLAN NOTES

ROOM NAME	PROPERTY LINE TAG
10.00'	ROOM TAG
?	SPOT ELEVATION
△	KEYNOTE TAG
○	REVISION TAG

RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - GC TO COORDINATE W/ UTILITY COMPANY

A/C CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED. VERIFY W/ OWNER - SIZE TAG. SEE F-24 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFG. INSTRUCTION

FIREKIT - AS SELECTED TO BE LISTED AND APPROVED. VERIFY W/ OWNER - PROVIDE POWER AND GAS AS REQUIRED - INSTALL AND MAINTAIN CLEARANCES PER MFG. AND SECTION 308 OF CPC

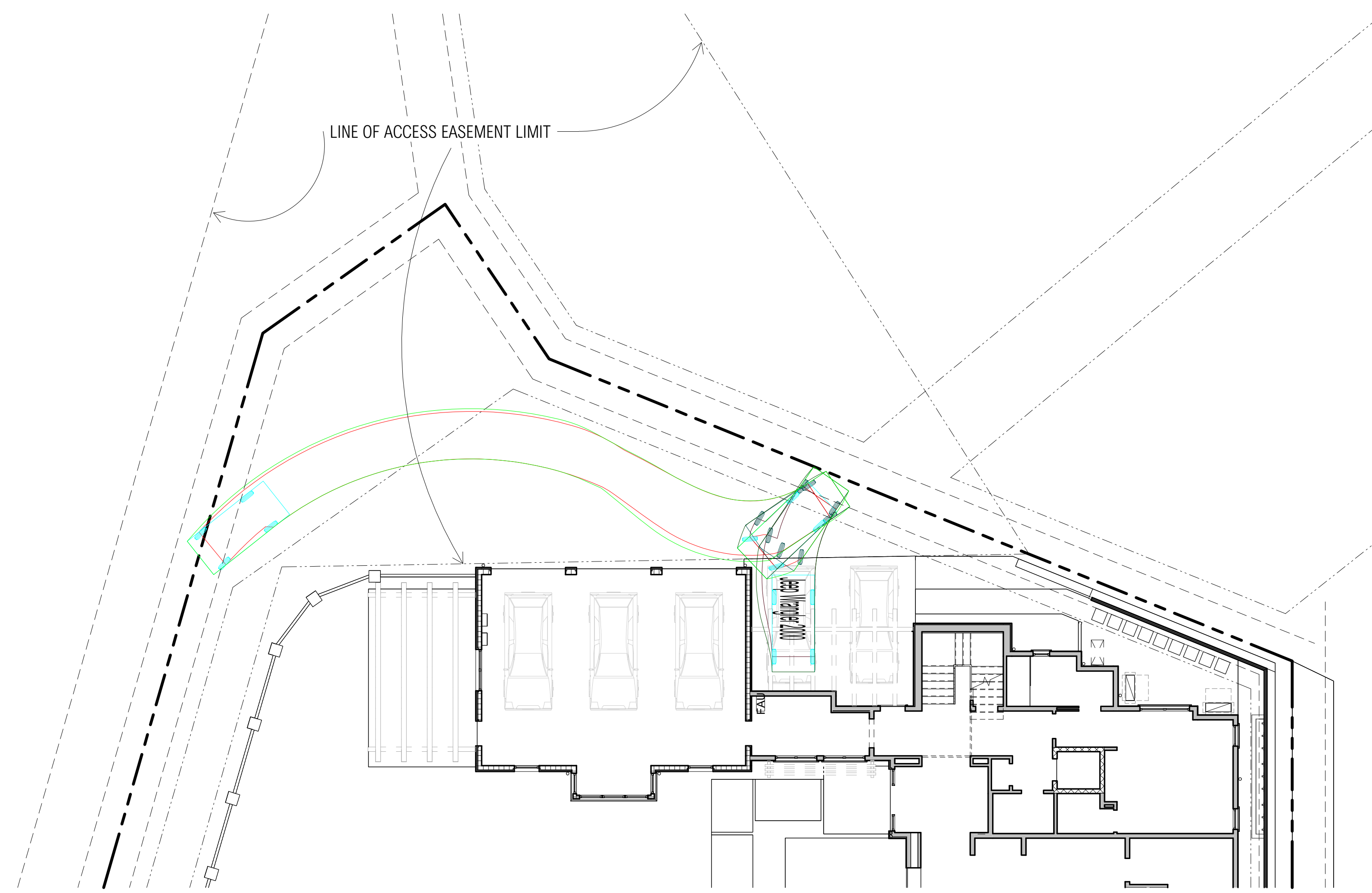
VERTICAL STORM DRAIN PIPE IN-WALL / OVERFLOW - MTL. PIPE PER CHAPTER 11 OF CPC. SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 3" DIA. PIPE) - SEE CIVIL DWGS. FOR TERMINATION DTLS. ADV. OR BLDG. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W/ CIVIL PRIOR TO POURING THE CONCRETE SLAB

B ANNOTATION LEGEND

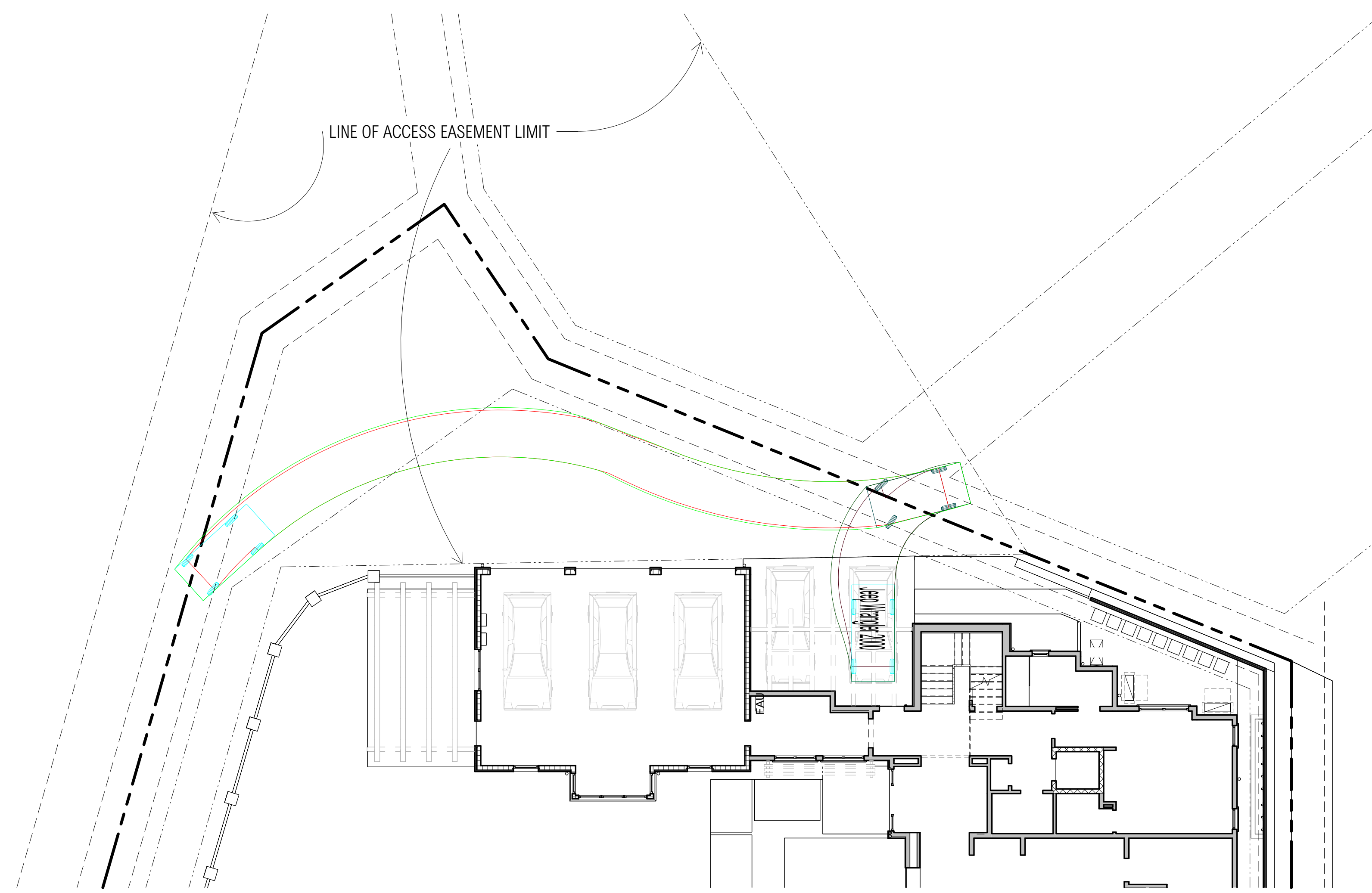
- PROPERTY LINE
- FOOTPRINT OF EXISTING STRUCTURE, TO BE REMOVED
- (E) WATER VALVE - (REF. SURVEY & CIVIL DWGS.)
- PARKWAY - REMOVE EXISTING PARKWAY PAVING AND PROVIDE (N) GRASS AS NEEDED
- EXISTING STRUCTURE - NOT A PART
- STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1005.4) REF. DTL. 3AD-1
- EXTERIOR GUARDRAIL - MIN. 42" HEIGHT, 4" MAX. SPHERE OPENING. REF. DTL. AAD-1
- (N) LANDSCAPE WALL, CMU PLASTER W/ STONE FINISH & PRE-CAST CONC. CAP. MAX. HT. 42". REF. CIVIL DWGS.
- POOL ENCLOSURE PER CBC 3109 & ISPC 305 - SEE NOTES ON AA-0.0 FOR MORE INFO
- CONCRETE RETAINING WALL UNDER SEPARATE PERMIT. REF. STRUCTURAL. PROVIDE MIRACRYL & MIRACRYL WATERPROOFING SYSTEM. (INSTALL PER MANUFACTURER'S SPECIFICATIONS) - ARCH TO APPV. SPECS PRIOR ORDER.
- WOOD TRELLIS TO BE AT LEAST 50% OPEN. PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- (N) LANDSCAPE - STONE PAVES (AS SELECTED). REF. LAND DWGS.
- PLANTED AREA - COORDINATE WITH LANDSCAPE DESIGNER
- DOOR TO MEET EGRESS REQ'D.
- GARAGE FLOOR - BATED, 1/8" SOLID CORE, SELF-CLOSING AND SELF-LATCHING. REF. DOOR SCHEDULE
- 7 3/4" STEP AT IN SWING DOORS (R311.3.1)
- (E) FIRE HYDRANT - PROTECT IN PLACE - (REF. SURVEY & CIVIL DWGS.)
- NEIGHBORING PROPERTY LINE OF ROOF, GAVES & OVERHANGS ABOVE
- (E) NEIGHBORING SITE WALL AND FENCE - PROTECT IN PLACE
- (N) PROPERTY LINE BRICK PLASTER, TYP. - 6" MAX. HT. ABV. N.G. ON OWNER'S SIDE & 4" MAX. HT. ABV. ADJ. T.C. WHEN LOCATED WITHIN SETBACK
- DECORATIVE FOUNTAIN BY OWNER (BY SEPARATE PERMIT IF NEEDED)
- MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
- CONCRETE SLAB ON GRADE - REF. STRUCT.

TRUE NORTH PROJECT NORTH 1 ARCHITECTURAL SITE PLAN 1/8" = 1'-0"

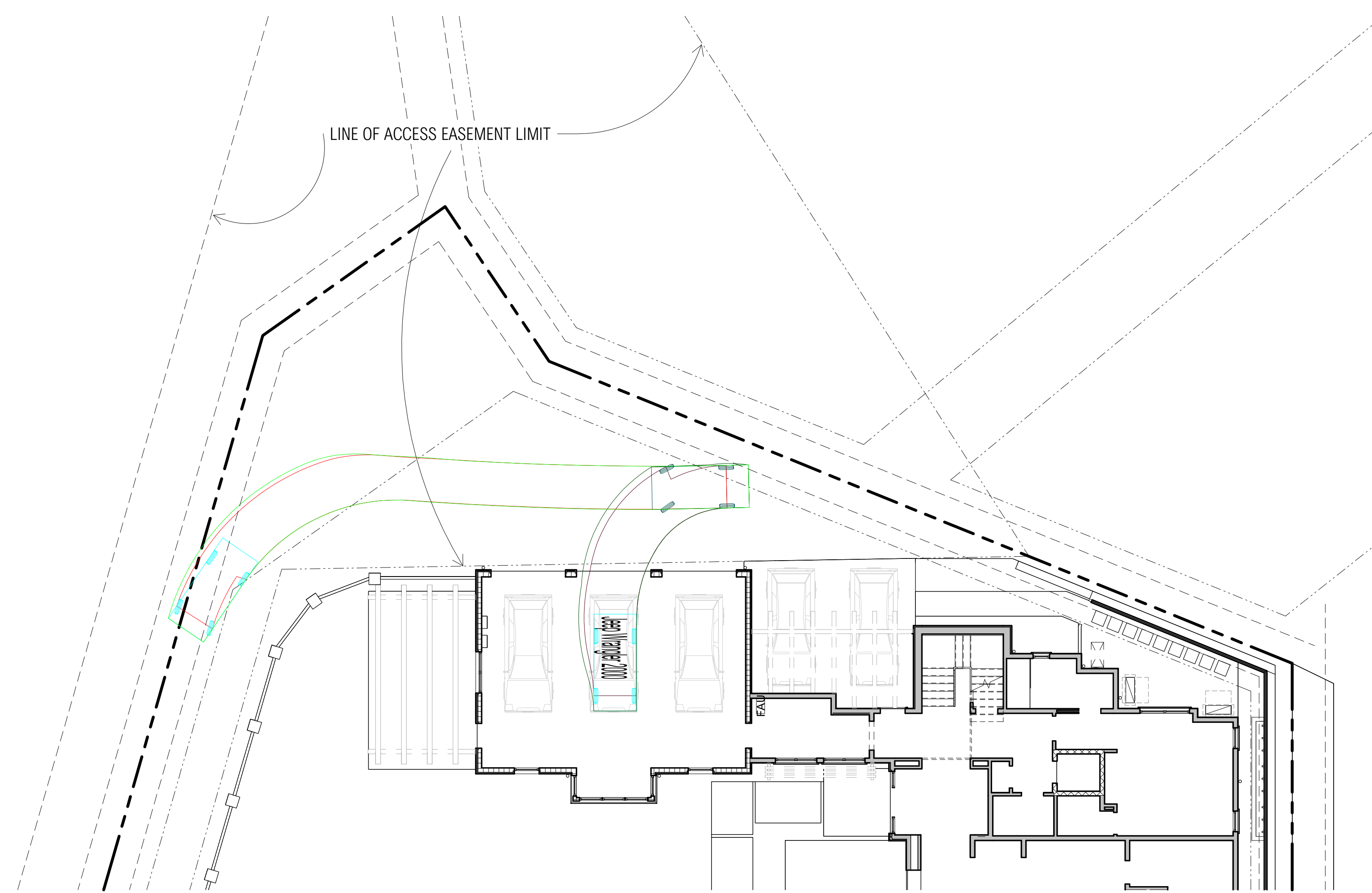
C KEYNOTES



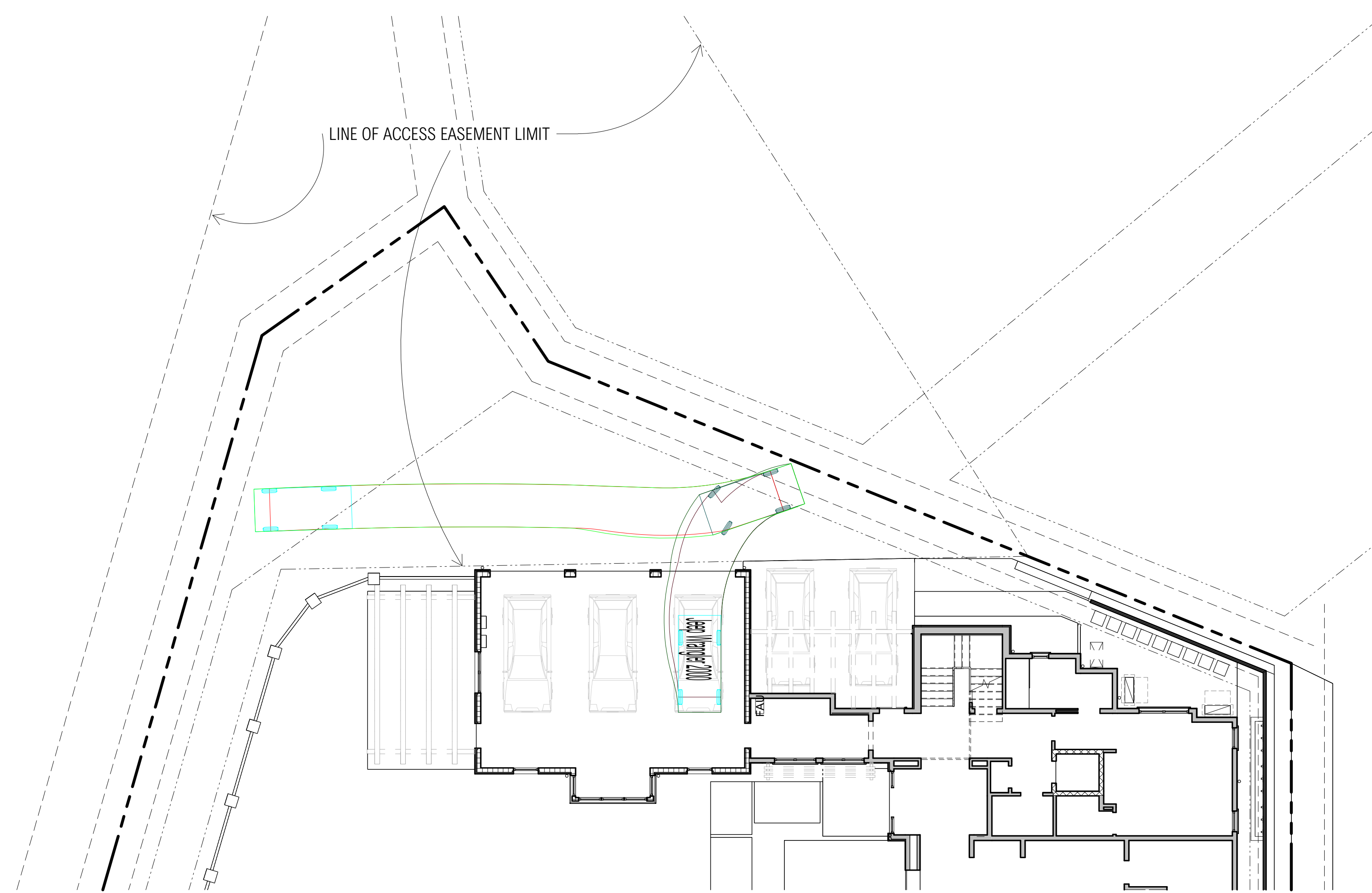
2 VEHICLE ACCESS
1" = 10'-0"



1 VEHICLE ACCESS
1" = 10'-0"



4 VEHICLE ACCESS
1" = 10'-0"



3 VEHICLE ACCESS
1" = 10'-0"

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PROJECT STATUS
COUNTY SUBMITTAL

PLAN CHECK NO.
PK623-0110

PROJECT CONTACT
BRANDON LINDSAY, AIA NCARB

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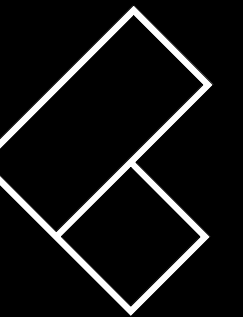
PROJECT ADDRESS:
211 EMERALD BAY
LAGUNA BEACH, CA 92651

OWNER INFORMATION:
THE BRENNAN J SLAVIK TRUST
4450 MACARTHUR BLVD FL 2ND
NEWPORT BEACH, CA 92660

DATE
04.05.2024

NO.	REVISION	DATE

VEHICAL MANUVERING



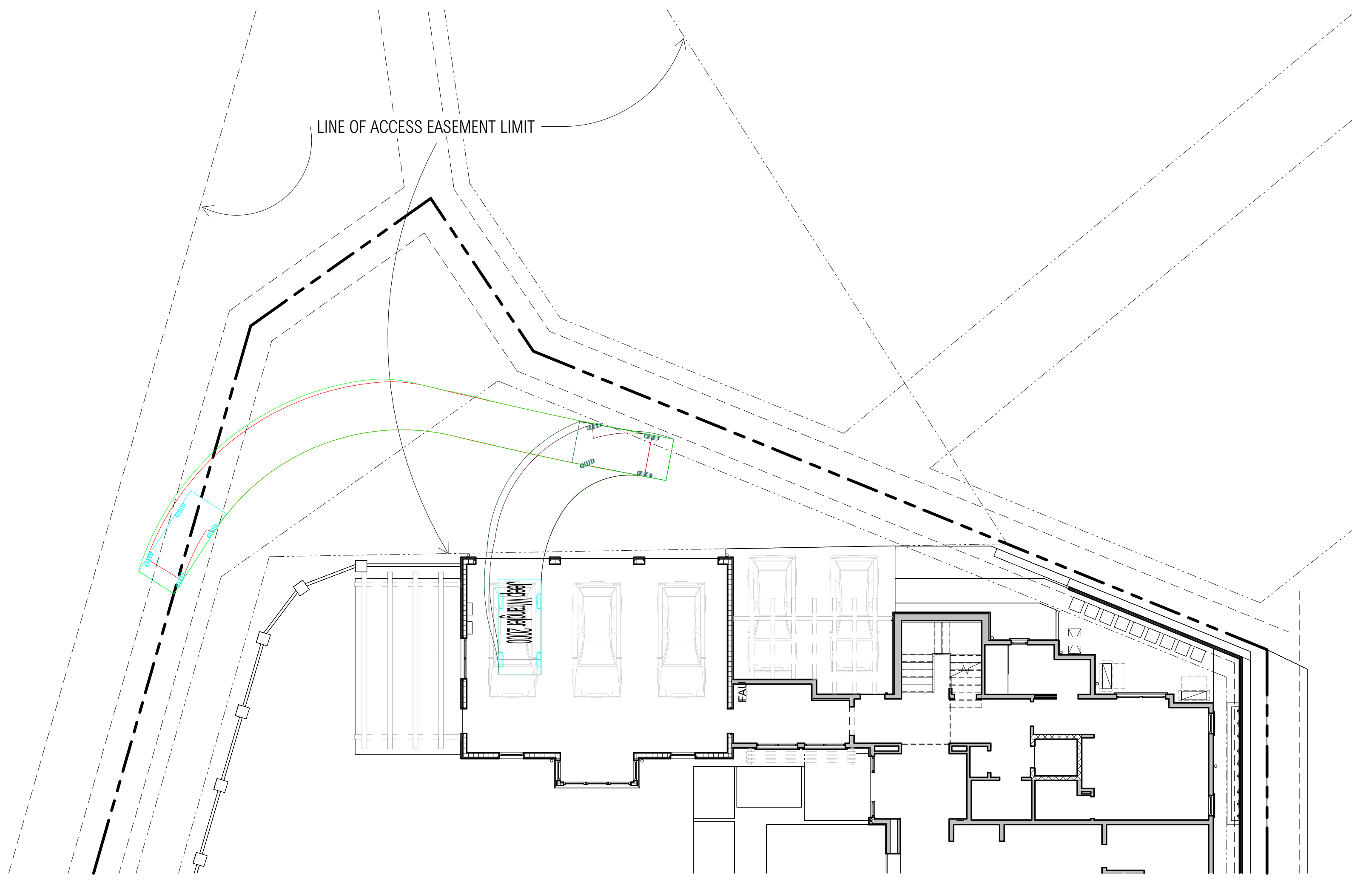
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1 VEHICLE ACCESS
 1" = 10'-0"

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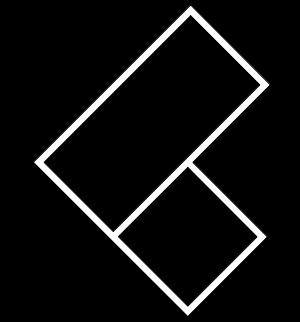
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REVISIONS

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VEHICAL MANUVERING CONT.



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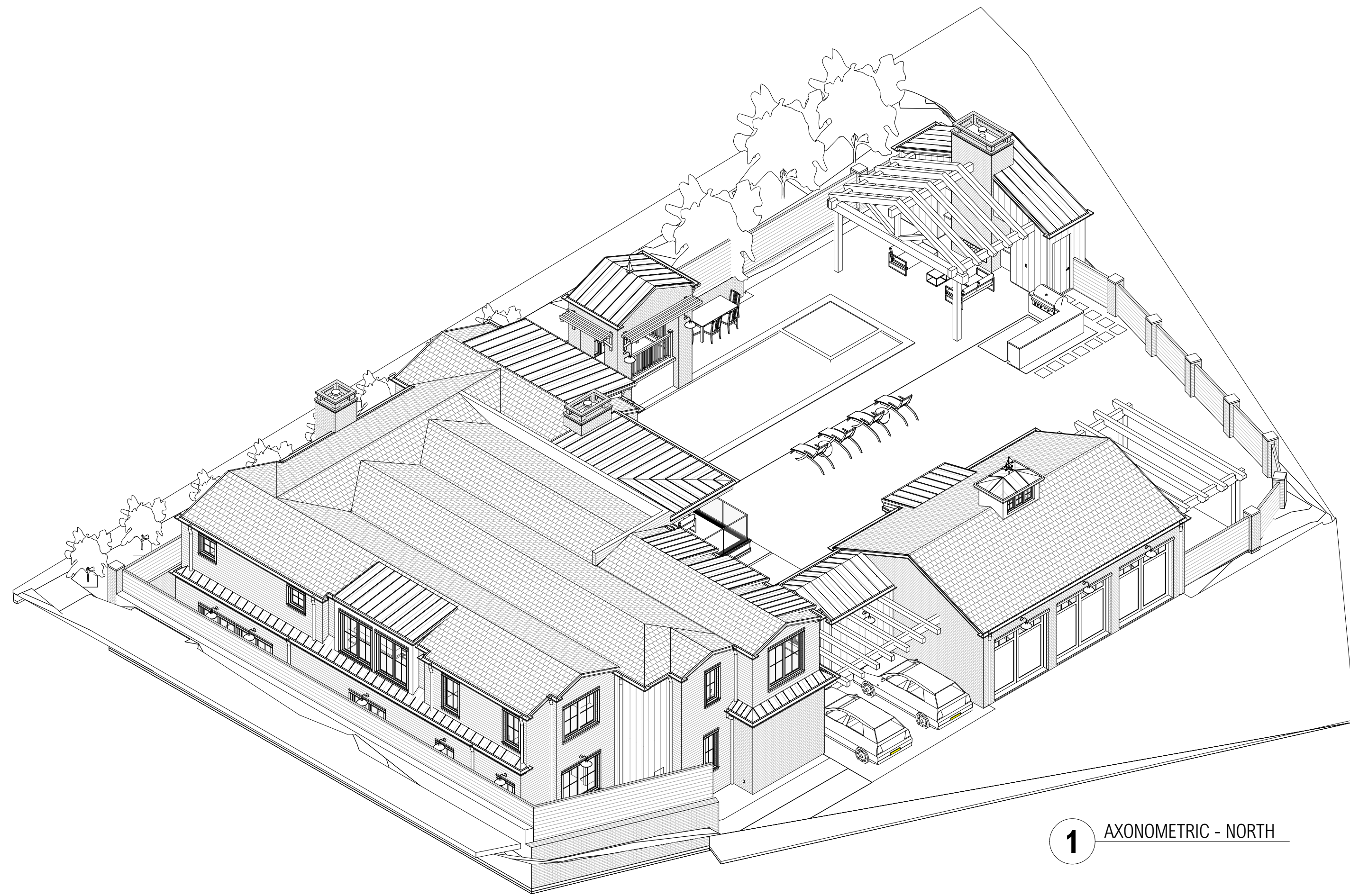
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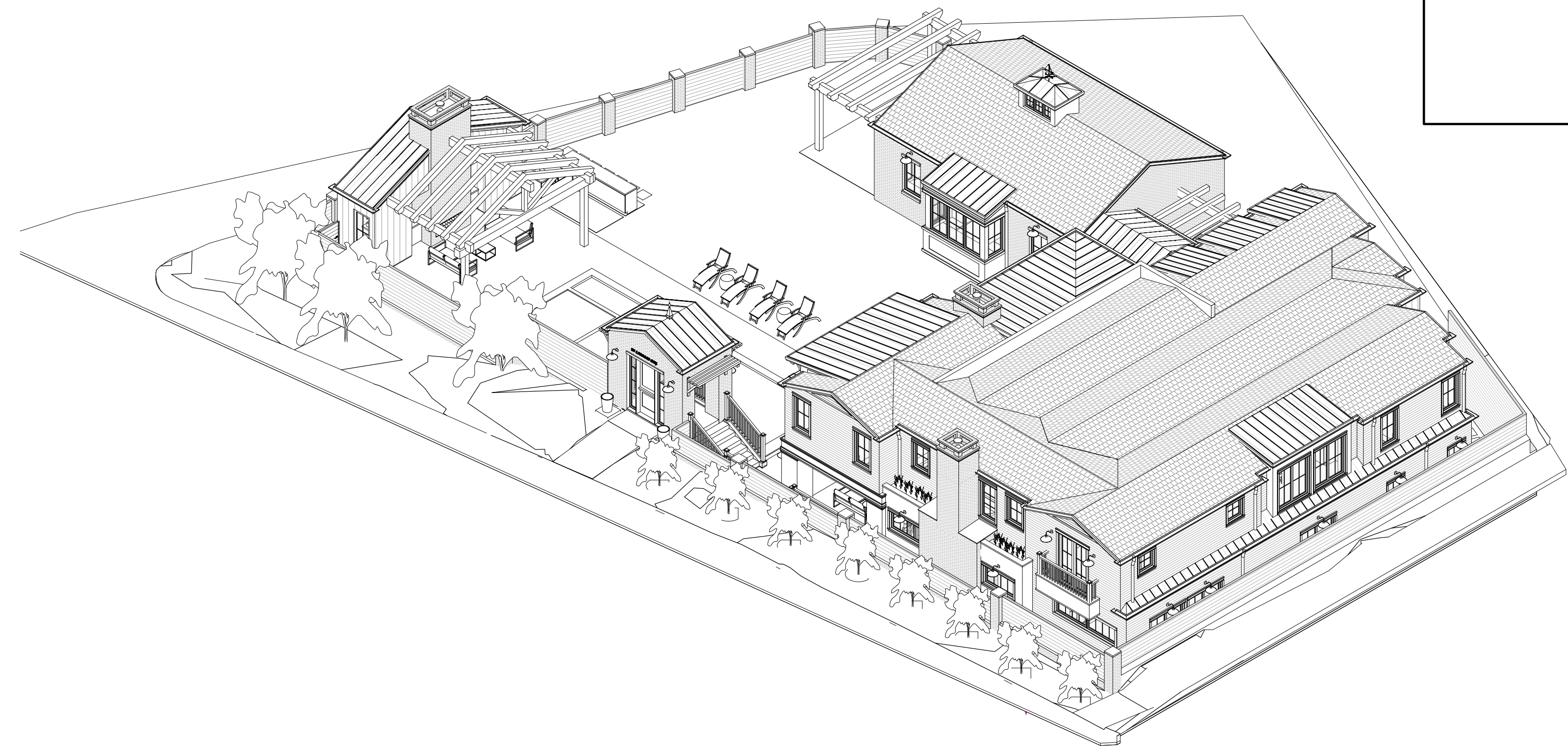
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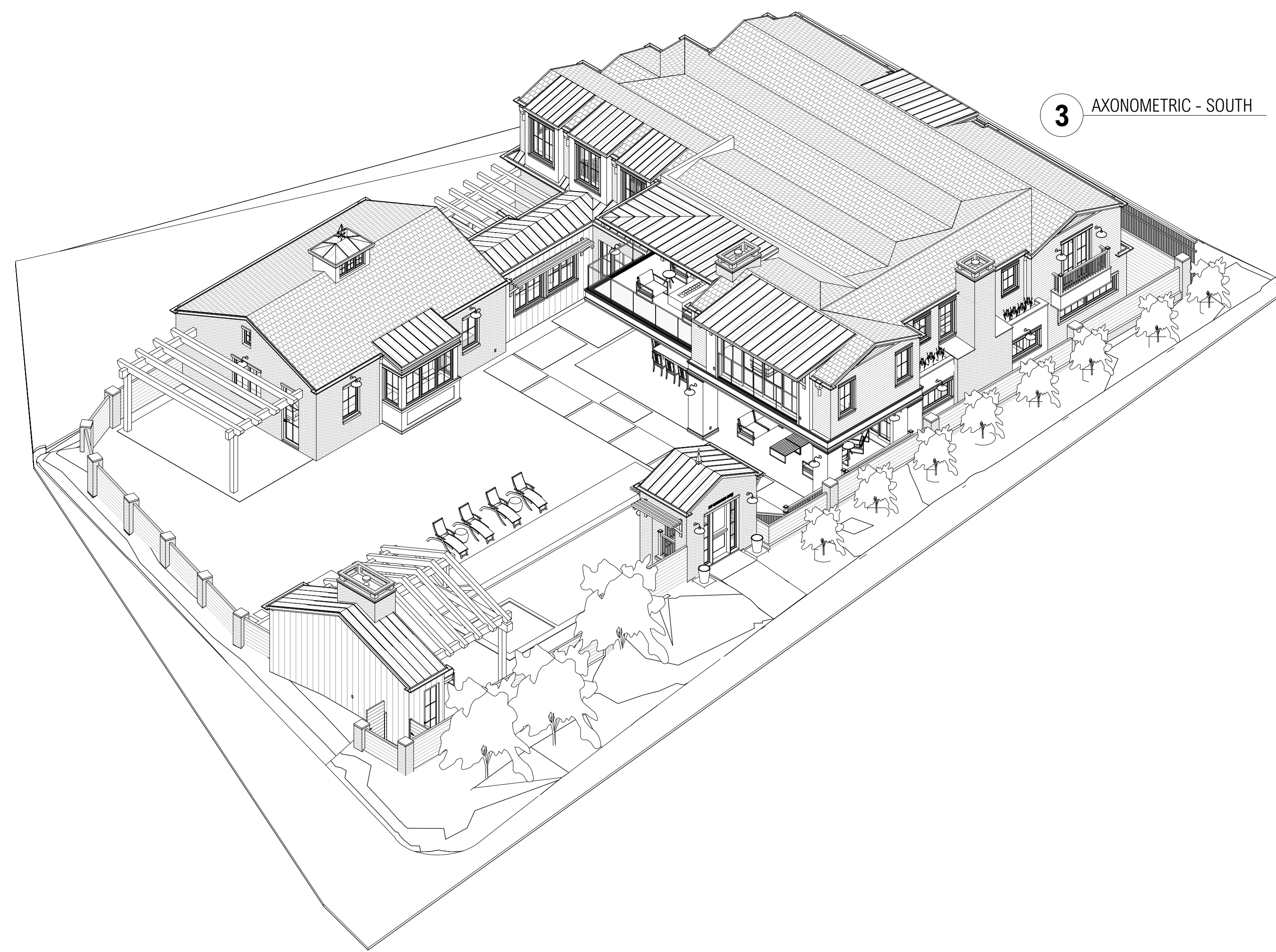
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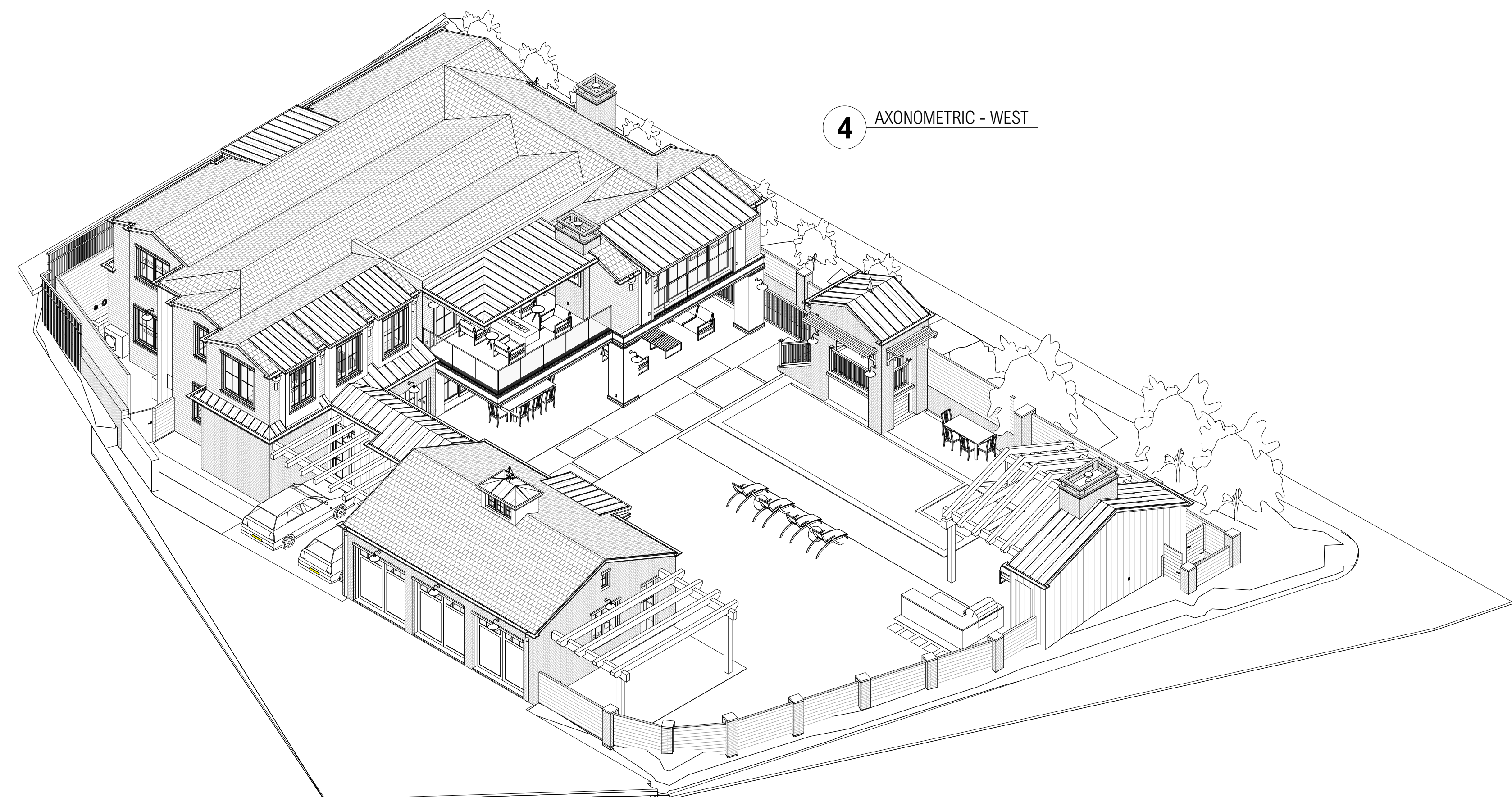
1 AXONOMETRIC - NORTH



2 AXONOMETRIC - EAST



3 AXONOMETRIC - SOUTH



4 AXONOMETRIC - WEST

SLAVIK RESIDENCE

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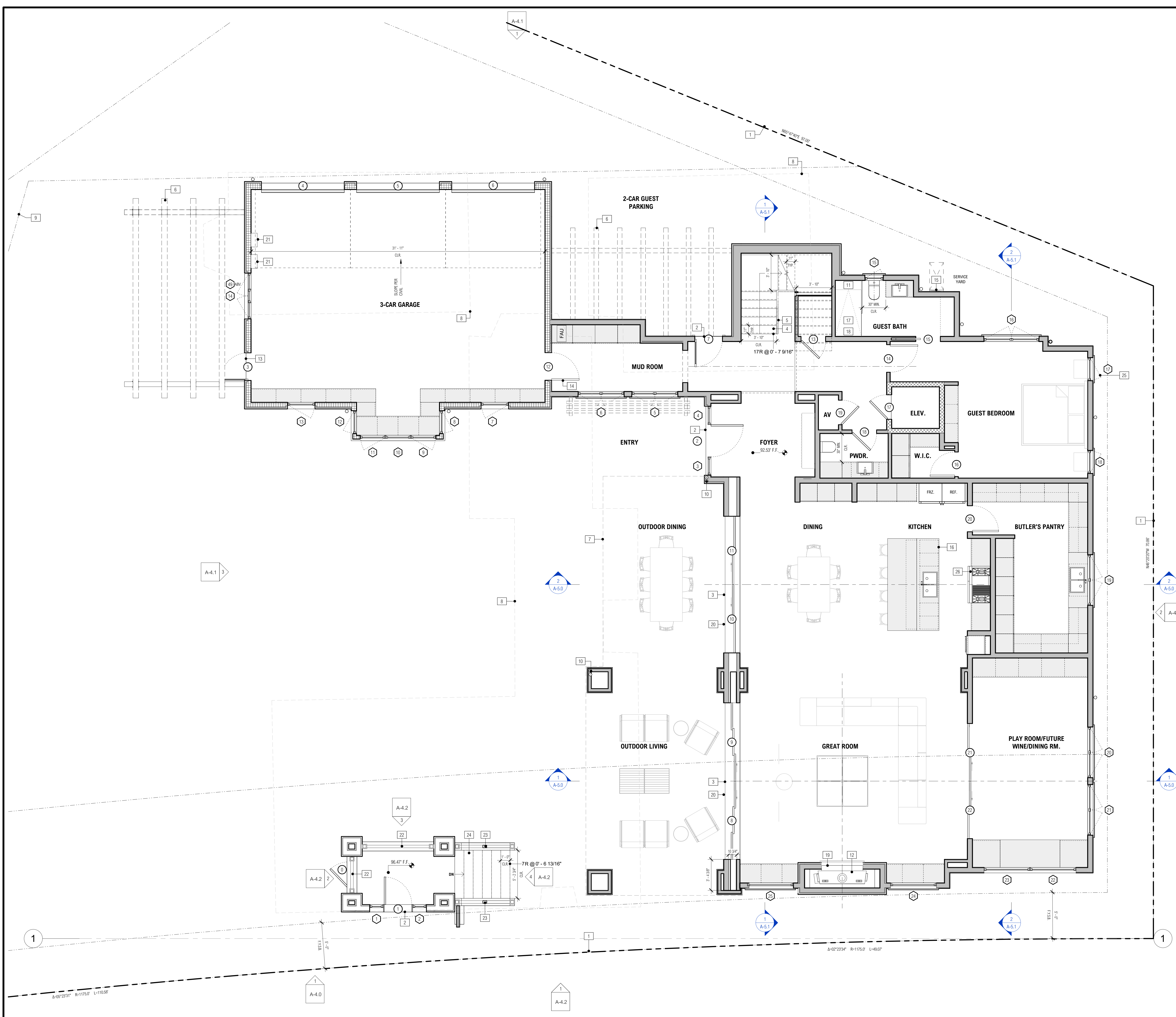
DATE
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NO.	REVISION	DATE
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3D VIEWS

A-1.0



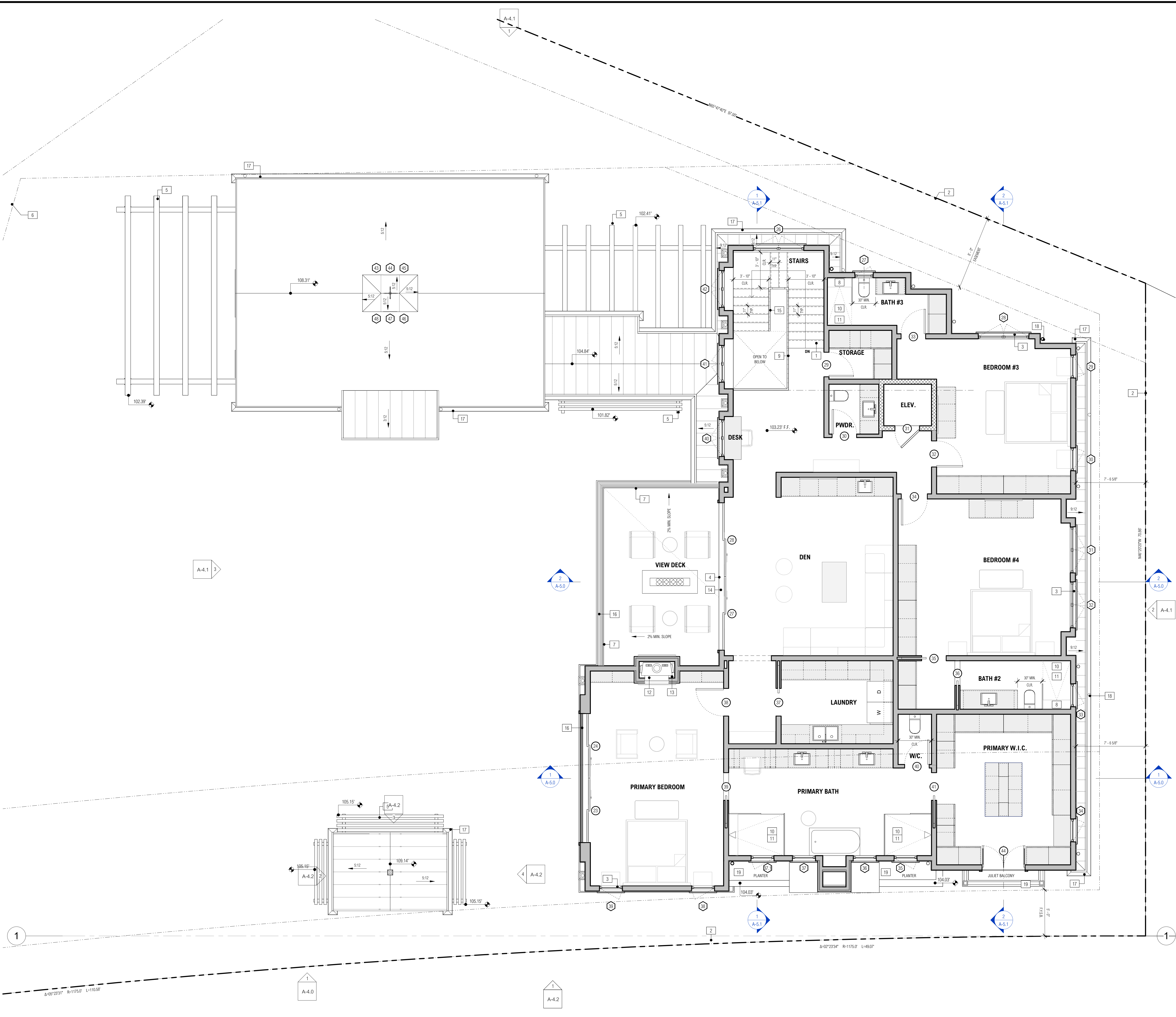
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	SPOT ELEVATION
	KEYNOTE TAG
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A ANNOTATION LEGEND

- PROPERTY LINE
- 7 3/4" STEP AT IN SWING DOORS (R311.3.1)
- DOOR(S) FROM HOUSE TO SHED/DOL. TO BE EQUIPPED W/ ALARM PER NOTE (THIS SH.T.)
- ENCLOSED USEABLE SPACE UNDER STAIRWAY USE 5/8" TYPE "X" GYP. BD. FINISH TYP. (1/2" MIN.) (CRC R302.7)
- INTERIOR STAIR MOUNTED HANDRAIL - 34" 3/8" ABV. NOSING. REF. DTL. 404-1
- WOOD TRILLS TO BE AT LEAST 50% OPEN. PAINT & SEAL AS SEL. - ARCH. TO APPY. - SIZE & CONN. PER STRUCT.
- LINE OF SECOND FLOOR ABOVE
- FOOTPRINT OF EXISTING STRUCTURE, TO BE REMOVED
- SIDE YARD SETBACK
- DRAIN LINE - IN WALL FROM DECK/ROOF ABV. PROVIDE DRAIN SWEEP/ELBOW JOINT PER CIVIL DWG'S., PRIOR TO POURING SLAB. VERIFY LOCKW. SITE DRAINAGE & COORD. W/ CIVIL
- CUSTOM SHOWER SEAT PER
- FIREPLACE - PREFABRICATED, GAS ONLY, 'ISOKERN', ICCP ESR-2316 (REF. DTL. 22-AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURERS' INSTALLATION INSTRUCTIONS. (CRC R1004.1)
- CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURERS' INSTALLATION INSTRUCTIONS. (CRC R1004.1)
- 1-1/2" MAX. STEP AT OUT SWING DOORS (R311.3.1)
- GARAGE DOOR - BATED, 1-3/8" SOLID CORE, SELF-CLOSING AND SELF-LATCHING. REF. DOOR SCHEDULE
- MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
- KITCHEN ISLAND - BASE CABINET, COUNTERTOP, AND APPLIANCES PER I.D. - VERIFY SIZE W/ I.D. & OWNER
- BATH/TUB & SHOWER - PROVIDE TILE W/ GEMINI BACKING MIN. 72" HIGH (R301.2)
- DEPRESS STRUCTURE FOR FLUSH SHOWER CONDITION - COORD. WITH I.D. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
- DEPRESS STRUCTURE FOR FIREPLACE - COORD. WITH MFG. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
- DEPRESS SLAB FOR SLIDING/POCKET DOORS - COORD. WITH DOOR MFG. & GENERAL CONTRACTOR.
- WATER HEATER - TANK-LESS (ON DEMAND) WALL-MOUNT - 48" MIN., TAKAGI OR DODU - VERIFY SIZE REQD. W/ MFG. (PROVIDE ADEQUATE I.D. CONN.)
- EXTERIOR GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING. REF. DTL. 404-1
- EXTERIOR HANDRAIL - 34" - 3/8" ABV. NOSING (36" TYP. U.L.O.), REF. DTL. 404-1
- STAIR - MAX. 7.5" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (100-4) REF. DTL. 300-1
- WINDOW TO MEET EGRESS REQUIREMENTS - REF. DOOR AND WINDOW NOTES #6, SH.T. A-7.0
- RANGE - VERIFY APPLIANCE W/ OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFG.) - VENT TO OUTDOOR AIR

B KEYNOTES

1 FIRST LEVEL FLOOR PLAN
 1/4" = 1'-0"



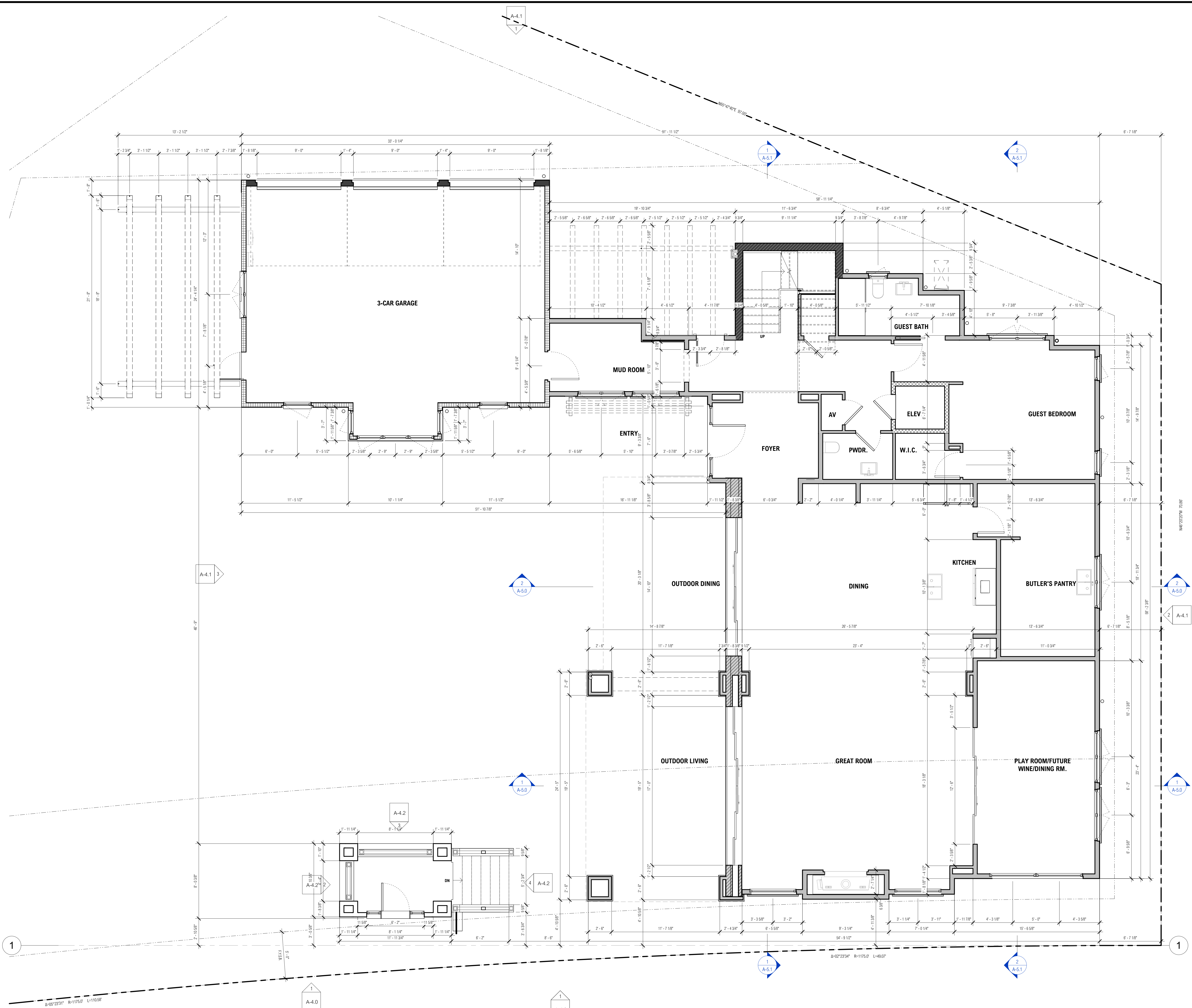
ROOM NAME	ROOM TAG
ELEVATION / SECTION INDICATOR	
CALL-OUT TAG	
SPOT ELEVATION	
KEYNOTE TAG	
DOOR TAG	
WINDOW TAG	
WINDOW WALL TAG	
REVISION TAG	
FIRE RATED CEILING ASSY - REF. DTL.S. 7/AD-1.0	
1-HR RATED INT CONDITION - REF. DTL.S. 7/AD-1.0	
1-HR RATED EXT CONDITION - REF. DTL.S. 7/AD-1.0	
STRUCTURAL STEEL COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT AND SEAL AS REQUIRED - ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS	
STRUCTURAL WOOD POST/COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT AND SEAL AS REQUIRED - ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST/COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH. APPROVAL	
DOORS - AS SPECIFIED, SEE WINDOW SCHEDULE AND GENERAL NOTES ON SHEET A-7.0 - SHGC & U-FACTOR PER T-24 ENERGY REPORT - SEE SHEET AD-2.0 FOR JAMB, HEAD AND THRESHOLD DETAILS, PROVIDE FLASHING AND WATERPROOFING AT DOOR OPENING PER THE DOOR MFR. INSTRUCTION AND/OR FLASHING MFR. INSTRUCTION PER SECTIONS R609.1 & R703.4 OF CPC	
WINDOWS - AS SPECIFIED, SEE WINDOW SCHEDULE AND GENERAL NOTES ON SHEET A-7.0 - SHGC & U-FACTOR PER T-24 ENERGY REPORT - SEE SHEET AS-2.0 FOR JAMB, HEAD AND SILL DETAILS, PROVIDE FLASHING AND WATERPROOFING AT WINDOW OPENING PER THE WINDOW MFR. INSTRUCTION AND/OR FLASHING MFR. INSTRUCTION PER SECTIONS R609.1 & R703.4 OF CPC	
KITCHEN RANGE W/ EXHAUST HOOD - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP (CMC 320.3.2) - EXHAUST HOOD TO HAVE EXHAUST RATE OF MIN. 100 CFM AND VENT TO OUTDOOR - HOOD DUCTS TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER SECTION 604.3 OF CPC	
KITCHENBAR SINK - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - SINK TO COMPLY W/ REQUIREMENT OF SECTION 4203.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI PER SECTION 4.303.1 OF CALGREEN - TRAP AND VENT FOR ISLAND SINK AND SIMILAR EQUIPMENT SHALL BE PER SECTION 909.0 OF CPC	
VANITY SINK - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT (CPC 402.5) W/ MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN	
WASHER (W) / DRYER (D) / STACKER (WD) - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - PROVIDE POWER, GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC 504.4) AND SHALL NOT EXCEED 14 FEET IN OVERALL LENGTH WITH MAX. OF TWO 90-DEGREE ELBOW, SUBTRACT 2 FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. 11-1.	
REFRIGERATOR (REF) / FREEZER (FRZ) - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - PROVIDE POWER AND WATER SUPPLY AS REQUIRED	
BUILT-IN APPLIANCE / DISHWASHER (DW) / TRASH COMPACTOR (TR) - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - PROVIDE POWER, WATER SUPPLY & DRAINAGE PIPE AS REQUIRED	
TOILET - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF CPC AND HAS MAX EFFECTIVE FLUSH RATE OF 1.28 GAL. PER FLUSH (CPC 411.2), WATER CLOSETS CLR. TO BE 24" IN FRONT AND 12" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION, (CPC 402.5 & CPC R307) - REF. CALGREEN NOTES ON T.SHTS. FOR MAX FLOW RATE	
CASEWORK, TALL CABINET - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER	
CASEWORK, BASE CABINET W/ COUNTERTOP - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER	
CASEWORK, UPPER CABINET/SHELVES - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER	
BUILT-IN CLOSET - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER	
FIREPLACE - FACTORY BUILT FIREPLACES SHALL BE GAS BURNING, DIRECT VENT AND SEALED COMBUSTION CHAMBER PER CAL GREEN CODE SECTION (4.505.2) FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURERS INSTALLATION INSTRUCTIONS. (CPC R1004.1)	
ELEVATOR - PRIVATE RESIDENCE ELEVATOR IN COMPLIANCE W/ ASME A17.1/CSA B44 AS SELECTED PER PLANS, VERIFY W/ OWNER - PROVIDE POWER AS REQ'D (CPC 321.1)	
A/C CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED, VERIFY W/ OWNER - SIZE TRU. SEE T-24 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFR. INSTRUCTION	
FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFR. - INSTALL PER MFR. INSTRUCTION	
ROOFDECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1105.1 AND 1103.2 OF CPC - ROOF DRAIN SHALL HAVE DOWM STRAIN (CPC 1102.2) - REF. DETAIL 1104D-1.0	
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - COPPER OR EQ. INSTALL PER MFR. INSTRUC. SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.3 OF CPC - REF. DTL. 1104D-1.0	

A ANNOTATION LEGEND

- ENCLOSED USEABLE SPACE UNDER STAIRWAY USE 5/8" TYPE "X" GYP. BD. FINISH TYP. (1/2" MIN.) (CRC R302.7)
- PROPERTY LINE
- WINDOWS TO MEET EGRESS REQUIREMENTS - REF. DOOR AND WINDOW NOTES #6, SHT. A-7.0
- DOOR TO MEET EGRESS REQ'D.
- WOOD TRELLIS TO BE AT LEAST 50% OPEN, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- SIDE YARD SETBACK
- CHANNEL DRAIN - STAINLESS STEEL OR EQ. INSTALL PER MFR. SPECS. SLOPED TO IN-WALL DRAIN INLETS, OVERFLOW TO BE PIPED SEPARATELY. REF. DTL. 7/AD-1
- CUSTOM SHOWER SEAT. PER I.D.
- INTERIOR GUARDRAIL - MIN. 42" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- BATHUB & SHOWER - PROVIDE TILE W/ CEMENT BACKING MIN. 72" HIGH (R307.2)
- DEPRESS STRUCTURE FOR FLOOR DRAINAGE - COORD. WITH I.D. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
- FIREPLACE - PREFABRICATED, GAS ONLY, "SPOKES", UCG ESR-2316 (REF. DTL. 220AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFR. INSTALLATION INSTRUCTIONS FOR FIREPLACE - COORD. WITH MFR. & GENERAL CONTRACTOR, REF. STRUCT. DWGS. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
- DEPRESSED SLAB STRUCTURE FOR FIREPLACE - COORD. WITH MFR. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
- DEPRESSED SLAB FOR SLIDINGPOCKET DOORS - COORD. WITH DOOR MFG. & GENERAL CONTRACTOR.
- INTERIOR STAIR MOUNTED HANDRAIL - 34"-38" ABV. NOSING, REF. DTL. 4/AD-1
- EXTERIOR GLASS GUARDRAIL - TEMPERED & LAMINATED - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- PLANTED AREA - COORDINATE WITH LANDSCAPE DESIGNER

B KEYNOTES

1 SECOND LEVEL FLOOR PLAN
 1/4" = 1'-0"



DIMENSION NOTE:
 ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.

ROUGH FRAMING:
 ALL EXTERIOR WALLS TO BE FRAMED W/ 2X6 STUD MIN. U.N.O. USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS. SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8" ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD DOORS AND WINDOWS WILL TYPICALLY BE RECESSED FROM EXTERIOR WALL PLANE. VERIFY ALL ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MFG. ROUGH OPENING MAY NEED TO BE OVERSIZED TO ACCOUNT FOR ADDITIONAL FRAMING. SEE SHT. A0-2 FOR TYP. RECESSED CONDITIONS.

GARAGE FLOOR:
 GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. THE AREA OF FLOORS USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (CPC 408.1)

PLUMBING:
 1. SUPPORT ALL WALL-HUNG FIXTURES WITH METAL SUPPORTING MEMBERS TO PREVENT ANY STRAIN TRANSMISSION TO THE CONNECTIONS. FRAMING AFFIXED SUPPORTS FOR OFF-THE-FLOOR WATER CLOSETS WITH CONCEALED TANKS SHALL COMPLY WITH ASME A112.2.2. SECURE FLUSH TANK AND SIMILAR APPLIANCES WITH APPROVED NON-CORROSIVE SCREWS OR BOLTS. (CPC 402.5)
 2. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1,024 SQ. INCHES (7 1/8 SQ. FT.) OR MORE IN THE CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE. (CPC 408.6)
 3. THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)
 4. ANCHOR OR STRAP THE WATER HEATERS TO RESIST HORIZ. DISPLACEMENT DUE TO THE EARTHQUAKE. STRAPPING SHOULD BE AT THE UPPER AND LOWER ONE THIRD POINTS OF THE APPLIANCE HEIGHT. MAINTAIN A MIN. 4-INCHES ABOVE THE CONTROLS WITH STRAPPING AT LOWER POINT.

WOOD OR WOODBASED PRODUCTS NOTE:
 WOOD OR WOODBASED PRODUCT SHALL BE OF A NATURAL, DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH NFA 111 FOR THE SPECIES, TREATMENT AND END USE IN THE FOLLOWING LOCATIONS:
 1. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN CRAWL SPACES OR UNCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
 2. WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.
 3. SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
 4. THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.
 5. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
 6. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER.
 7. WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

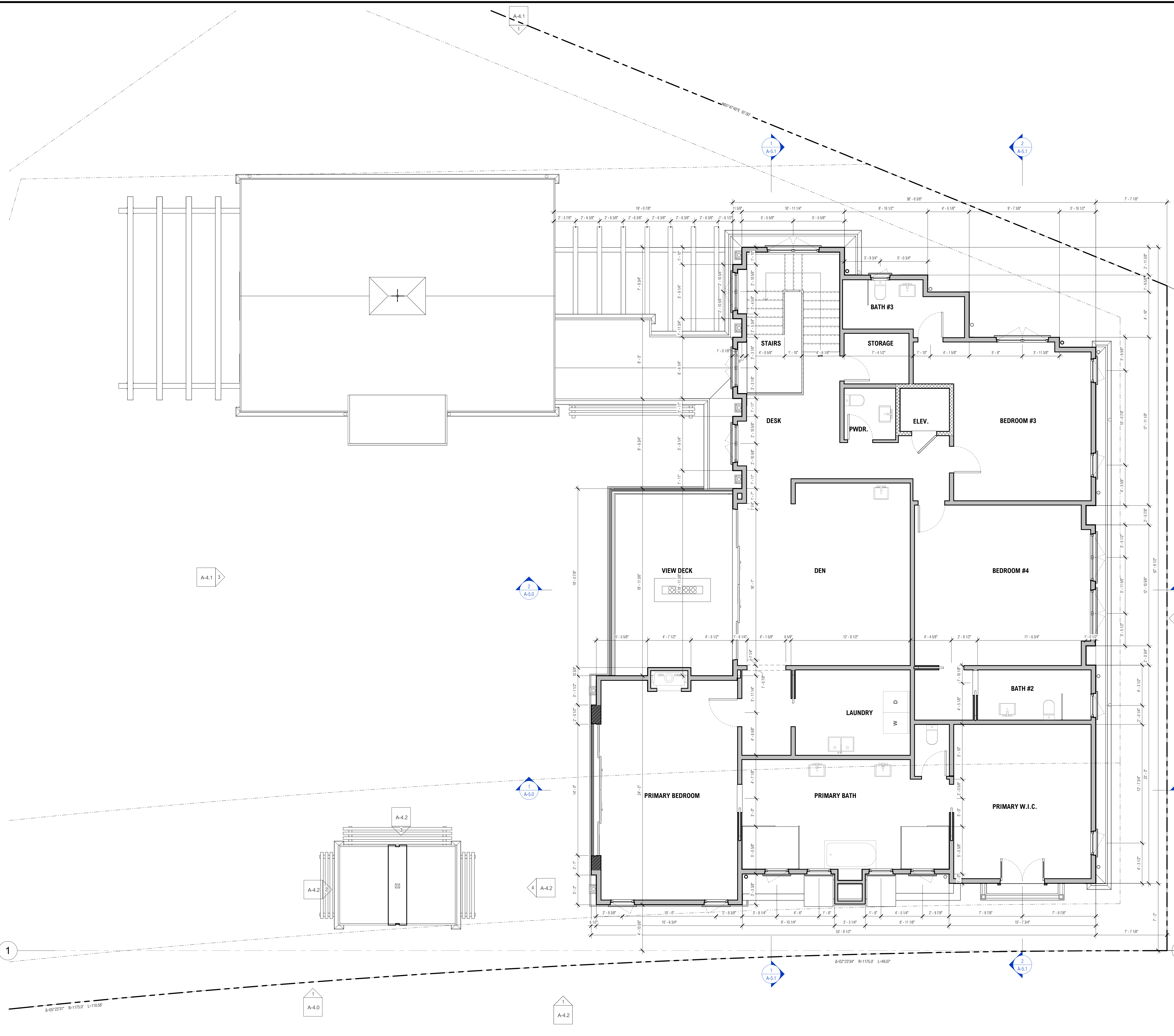
***HERS VERIFICATION REQUIRED- REFERENCE T-4-1**

A GENERAL NOTES

ROOM NAME	ROOM TAG
SPOT ELEVATION	○
DOOR TAG	◻
WINDOW TAG	◻
WINDOW WALL TAG	◻
REVISION TAG	◻
2X4 STUD WALL	▨
2X6 STUD WALL	▨
2X8 STUD WALL	▨
2X10 STUD WALL	▨
EXT. POCKET DOOR WALL - TYP. 2X6 EXT. FRMG. AND 2X4 INTERIOR FRAMING W/ DOUBLE TOP PLATE AND SINGLE SILL PLATE U.N.O. MIN. AIR SPACE/DOOR POCKET TO BE VERIFIED W/ DOOR MFG. - STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFG. INSTRUCTION AND/OR LISTING - SEE EXT. WALL DETAILS AND STRUCT. DWGS.	
CONCRETE WALL - 12" REINFORCED CAST IN PLACE CONCRETE WALL TYP. U.N.O. PER STRUCT. REF. STRUCT. DWGS. - FOR BASEMENT RETAINING CONCRETE WALL PROVIDE WATERPROOFING OR DAMPROOFING AND DRAINAGE AS REQUIRED PER SECTION R401.1 & R401.2. REF. SOILS REPORT, WATERPROOFING & DAMPROOFING NOTES ON SHEET T-1.1 - EXPOSED SURFACES TO HAVE TROWELED SMOOTH FINISH WITH A LIGHT GRAY COLOR. PROVIDE SAMPLE FOR ARCH. APPROVAL.	
SLAB/FRAMING DEPRESSION - SEE STRUCT. DWGS. FOR THE REVISION DETAILS - FOR REVISION SPECIFIC TO EQUIPMENT OR ASSEMBLY VERIFY THE REQUIRED REVISION W/ MFG. OR FABRICATOR - SHOWS REVISION TO BE VERIFIED W/ I.D.	
SEE SHEET A0-2.3 FOR THE TYPICAL DEPRESSION OF DOORS AND WINDOWS. VERIFY ALL DEPRESSIONS W/ MFG.	
STRUCTURAL STEEL COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT AND SEAL AS REQUIRED - ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS	
STRUCTURAL WOOD POST/COLUMN COLUMN - PER STRUCT. REF. STRUCT. DWGS. - PAINT, STAIN AND SEAL AS REQUIRED - ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST/COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH. APPROVAL	
KITCHEN RANGE W/ EXHAUST HOOD - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP (CPC 902.1.2) - EXHAUST HOOD TO HAVE EXHAUST HOOD TO MIN. 100 CFM AND VENT TO OUTDOOR. HOOD DUCTS TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER SECTION 504.3 OF CPC.	
KITCHENBAR SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - SINK TO COMPLY W/ REQUIREMENTS OF SECTION 402.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN	
VANITY SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT. (CPC 402.5.5) W/ MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN	
WASHER (W) / DRYER (D) / STACKED (WB) - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER, GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CPC 504.1) AND SHALL NOT EXCEED 14 FEET IN OVERALL LENGTH WITH MAX. OF TWO (2) 90-DEGREE ELBOW, SUBTRACT 2'-FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. T-1.1.	
TOILET - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF CPC AND HAS MAX. EFFECTIVE FLUSH RATE OF 1.20 GAL. PER FLUSH (CPC 411.2). WATER CLOSETS CLR. TO BE 4" IN FRONT AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5 & CPC R307) - REF. CALGREEN NOTES ON SHTS. FOR MAX FLOW RATE.	
FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/ SEALED COMBUSTION (CALGREEN 4.503) - FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CPC R1004.1)	
FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQD. BY MFG. - INSTALL PER MFG. INSTRUCTION.	
ROOF/DECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC - ROOF DRAIN SHALL HAVE COMED STRAINER (CPC 1102.2) - REF. DETAIL 11A03-10	
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - COPPER OR EQ. INSTALL PER MFG. INSTRUC. SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.1 OF CPC - REF. DET. 11A03-10	
VERTICAL STORM DRAIN PIPE (W/ WALL) OVERFLOW - MTL. PIPE PER CHAPTER 11 OF CPC. SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 3" DIA. PIPE) - SEE CIVIL DWGS. FOR TERMINATION DTLS. ABV. OR BLW. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W/ CIVIL PRIOR TO POURING THE CONCRETE SLAB	
AC CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED. VERIFY W/ OWNER - SIZE TRU. SEE T-4-8 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQD. - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFG. INSTRUCTION	
RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 30" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - GO TO COORDINATE W/ UTILITY COMPANY	

B ANNOTATION LEGEND

1 FIRST LEVEL DIMENSION PLAN
 1/4" = 1'-0"



DIMENSION NOTE:
 ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.

ROUGH FRAMING:
 ALL EXTERIOR WALLS TO BE FRAMED W/ 2X6 STUD MIN. U.N.O. USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS. SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/2" ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD DOORS AND WINDOWS WILL TYPICALLY BE RECESSED FROM EXTERIOR WALL PLANE. VERIFY ALL ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MFG. ROUGH OPENING MAY NEED TO BE OVERSIZED TO ACCOUNT FOR ADDITIONAL FRAMING. SEE SHT. A0-2.3 FOR TYP. RECESSED CONDITIONS.

GARAGE FLOOR:
 GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (C308.1)

PLUMBING:
 1. SUPPORT ALL WALL-HUNG FIXTURES WITH METAL SUPPORTING MEMBERS TO PREVENT ANY STRAIN TRANSMISSION TO THE CONNECTIONS. FRAMING AFFIXED SUPPORTS FOR OFF-FLOOR WATER CLOSETS WITH CONCEALED TANKS SHALL COMPLY WITH ASME A112.2.2. SECURE FLUSH TANK AND SIMILAR APPLIANCES WITH APPROVED NON-CORROSIVE SCREWS OR BOLTS. (CPC 402.5)
 2. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1,024 SQ. INCHES (7 1/2 SQ. FT.) OR MORE IN THE CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE. (CPC 408.6)
 3. THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)
 4. ANCHOR OR STRAP THE WATER HEATERS TO RESIST HORIZ. DISPLACEMENT DUE TO THE EARTHQUAKE. STRAPPING SHOULD BE AT THE UPPER AND LOWER ONE THIRD (1/3) POINTS OF THE APPLIANCE HEIGHT. MAINTAIN A MIN. 4-INCHES ABOVE THE CONTROLS WITH STRAPPING AT LOWER POINT.

WOOD OR WOODBASED PRODUCTS NOTE:
 WOOD OR WOODBASED PRODUCT SHALL BE OF A NATURAL, DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AHPA OR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE IN THE FOLLOWING LOCATIONS:
 1. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN DRAWL SPACES OR UNCAVEKATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
 2. WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.
 3. SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SICK SLAB BY AN IMPERVIOUS MOISTURE BARRIER.
 4. THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.
 5. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
 6. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER.
 7. WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

HERS VERIFICATION REQUIRED- REFERENCE T-24.1

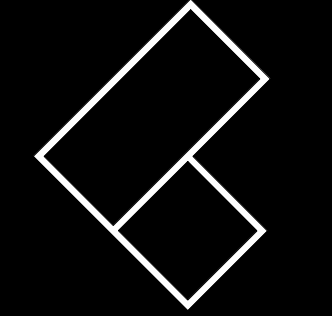
A GENERAL NOTES

ROOM NAME	ROOM TAG
SPOT ELEVATION	○
DOOR TAG	◻
WINDOW TAG	◻
WINDOW WALL TAG	◻
REVISION TAG	
2X4 STUD WALL	▨
2X6 STUD WALL	▨
2X8 STUD WALL	▨
2X10 STUD WALL	▨
EXT. POCKET DOOR WALL - TYP. 2X6 EXT. FRMG. AND 2X4 INTERIOR FRAMING W/ DOUBLE TOP PLATE AND SINGLE SILL PLATE U.N.O. MIN. 4X8 SPACEDOOD POCKET TO BE VERIFIED W/ DOOR MFR. - STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFR. INSTRUCTION AND/OR LISTING - SEE EXT. WALL DETAILS AND STRUCT. DWGS.	▨
CONCRETE WALL - 12" REINFORCED CAST IN PLACE CONCRETE WALL TYP. U.N.O. PER STRUCT. REF. STRUCT. DWGS. - FOR BASEMENT RETAINING CONCRETE WALL PROVIDE WATERPROOFING OR DAMPROOFING AS REQUIRED PER SECTION R400.1 & R400.2. REF. SOILS REPORT, WATERPROOFING & DAMPROOFING NOTES ON SHEET T-1.1 - EXPOSED SURFACES TO HAVE TROWELED SMOOTH FINISH WITH A LIGHT GRAY COLOR. PROVIDE SAMPLE FOR ARCH. APPROVAL.	▨
SLABFRAMING DEPRESSION - SEE STRUCT. DWGS. FOR THE RECESSON DETAILS - FOR RECESSON SPECIFIC TO EQUIPMENT OR ASSEMBLY VERIFY THE REQUIRED RECESSON W/ MFR. OR FABRICATOR. SHOWS RECESSON TO BE VERIFIED W/ I.D. SEE SHEET A0-2.3 FOR THE TYPICAL DEPRESSION OF DOORS AND WINDOWS. VERIFY ALL DEPRESSIONS W/ MFR.	▨
STRUCTURAL STEEL COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT AND SEAL AS REQUIRED - ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS	▨
STRUCTURAL WOOD POST/COLUMN COLUMN - PER STRUCT. REF. STRUCT. DWGS. - PAINT, STAIN AND SEAL AS REQUIRED - ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST/COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH. APPROVAL	▨
KITCHEN RANGE W/ EXHAUST HOOD - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP (CMC #20.1.3) - EXHAUST HOOD TO HAVE EXHAUST RATE OF MIN. 100 CFM AND VENT TO OUTDOOR. HOOD DUCTS TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER SECTION 504.3 OF CMC.	▨
KITCHENBAR SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - SINK TO COMPLY W/ REQUIREMENT OF SECTION 403.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI PER SECTION 4.303.1 OF CALGREEN - TRAP AND VENT FOR ISLAND SINK AND SIMILAR EQUIPMENT SHALL BE PER SECTION 909.0 OF CPC	▨
VANITY SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT, CPC 402.5 W/ MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN	▨
WASHER (W) / DRYER (D) / STACKED (WB) - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER, GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC #24.1) AND SHALL NOT EXCEED 14 FEET IN OVERALL LENGTH WITH MAX. OF TWO (2) 90-DEGREE ELBOW, SUBTRACT 2'-FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. T-1.1.	▨
TOILET - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF CPC AND HAS MAX. EFFECTIVE FLUSH RATE OF 1.20 GAL. PER FLUSH (CPC #11.2). WATER CLOSETS CLR. TO BE 4" IN FRONT AND 16" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5 & CPC R307) - REF. CALGREEN NOTES ON SHTS. FOR MAX FLOW RATE.	▨
FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/ SEALED COMBUSTION (CALGREEN 4.503) - FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CPC R004.1)	▨
FAU - PROVIDE GAS S.D., POWER, AND VENTING AS REQ'D. BY MFR. - INSTALL PER MFR. INSTRUCTION.	▨
ROOF/DECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC - ROOF DRAIN SHALL HAVE DOME STRAINER (CPC 1102.2) - REF. DETAIL T1100.1-10	▨
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - COPPER OR EQ. INSTALL PER MFR. INSTRUCT. SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.1 OF CPC - REF. DET. 1103.1-10	▨
VERTICAL STORM DRAIN PIPE IN-WALL/ OVERFLOW - MTL. PIPE PER CHAPTER 11 OF CPC. SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 2" DIA. PIPE) - SEE CIVIL DWGS. FOR TERMINATION DTLS. ABV. OR BLW. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W/ CIVIL PRIOR TO POURING THE CONCRETE SLAB	▨
AC CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED. VERIFY W/ OWNER. SIZE TYP. SEE T-4 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFR. INSTRUCTION	▨
RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 30" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - GO TO COORDINATE W/ UTILITY COMPANY	▨

B ANNOTATION LEGEND

○	SPOT ELEVATION
◻	DOOR TAG
◻	WINDOW TAG
◻	WINDOW WALL TAG
▨	2X4 STUD WALL
▨	2X6 STUD WALL
▨	2X8 STUD WALL
▨	2X10 STUD WALL
▨	EXT. POCKET DOOR WALL
▨	CONCRETE WALL
▨	SLABFRAMING DEPRESSION
▨	STRUCTURAL STEEL COLUMN
▨	STRUCTURAL WOOD POST/COLUMN COLUMN
▨	KITCHEN RANGE W/ EXHAUST HOOD
▨	KITCHENBAR SINK
▨	VANITY SINK
▨	WASHER (W) / DRYER (D) / STACKED (WB)
▨	TOILET
▨	FIREPLACE
▨	FAU
▨	ROOF/DECK DRAIN
▨	OVERFLOW OR EMERGENCY DRAIN
▨	VERTICAL STORM DRAIN PIPE IN-WALL/ OVERFLOW
▨	AC CONDENSER / HEAT PUMP
▨	RECESSED MAIN SERVICE PANEL

1 SECOND LEVEL DIMENSION PLAN
 1/4" = 1'-0"



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COUNTY SUBMITTAL

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PK623-0110

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DATE
04.05.2024

REVISIONS

NO.	REVISION	DATE

ROOF PLAN

A-3.0

DIMENSION NOTE:
ALL DIMS ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHTG. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHTG. TO FACE OF FINISH FASCIA.

ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES VENTING NOTES:
1. ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION BY VENTILATION OPENING PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW UNLESS THEY MEET THE REQUIREMENT OF SECTION R903.5 FOR UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES. VENTILATION OPENING SHALL HAVE THE LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX OTHERWISE THE OPENING SHALL HAVE THE CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED WIRE, OR SIMILAR MATERIAL WITH OPENINGS HAVE A LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX. OPENING IN ROOF FRAMING MEMBERS SHALL BE PER THE REQUIREMENT OF SECTION R902.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR AND SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES. (R903.1)

2. THE MINIMUM NET FREE VENTILATING AREA SHOULD BE 1/160 OF THE AREA OF THE VENTED SPACE, EXCEPT FOR THE PROJECT LOCATED IN CLIMATE ZONE 14 OR 16 WITH A CLASS II VAPOR RETARDER AT THE WARM-IN-WINTER SIDE OF THE CEILING AND WHERE MIN. 40% AND MAX 50% OF THE REQUIRED VENTILATION PROVIDED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE PER SECTION R902.2 THEN THE MINIMUM NET FREE VENTILATING AREA CAN BE 1/200 OF THE VENTED SPACE. (R902.2)

3. PROVIDE 1" SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING WHERE EAVE OR CORNIC VENTS PROVIDE BLOCKING, BRIDGING AND INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. (R903.3)

4. INSTALL VENTILATOR PER MANUFACTURER INSTRUCTION. INSTALL VENTILATOR IN ROOF PER SECTION R903 AND VENTILATOR IN WALL ASSEMBLIES PER SECTION R903.1.

5. FOR THE ATTIC WITH VERTICAL HEIGHT GREATER THAN OR EQUAL TO 30" VERTICAL HEIGHT MEASURED FROM THE TOP OF CEILING JOIST TO THE BOTTOM OF THE ROOF RAFTERS WITHIN 30" MIN. PROVIDE THE OPENING WITH ROUGH-FRAMED OPENING OF NOT LESS THAN 2'X2'30" WHICH SHOULD BE LOCATED IN HALLWAY OR OTHER LOCATION WITH READY ACCESS. IF THE ACCESS LOCATED IN THE WALL, THEN THE WIDTH SHOULD BE 30" MIN. IF LOCATED IN CEILING THEN THE MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SHOULD BE 30" FROM THE BOTTOM OF CEILING JOIST AT SOME POINT.

ROOF DRAINAGE:
IF THE PROJECT LOCATED IN THE AREA WITH EXPANSIVE OR COLLAPSIBLE SOILS, WATER RUNOFF FROM ROOFS OF ALL DWELLINGS SHALL BE DISCHARGED TO THE GROUND SURFACE NOT LESS THAN 5 FEET FROM FOUNDATION WALLS OR TO AN APPROVED DRAINAGE SYSTEM. (R901.3) - REF CIVIL DWGS FOR STORM WATER MANAGEMENT AND SYSTEM.

WEATHER PROTECTION:
1. ROOF DECKS SHALL BE COVERED WITH APPROVED ROOF COVERINGS SECURED TO THE BUILDING OR STRUCTURE IN ACCORDANCE WITH THE CHAPTER 9 OF THE CURRENT CRC ROOF ASSEMBLIES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CHAPTER 9 OF CRC AND THE APPROVED MANUFACTURER'S INSTRUCTIONS SUCH THAT THE ROOF ASSEMBLY SHALL SERVE TO PROTECT THE BUILDING OR STRUCTURE. (R903.1)

2. PROVIDE AND INSTALL FLASHING TO PREVENT ENTRY OF MOISTURE TO WALL AND ROOF ASSEMBLIES THRU THE JOINTS IN CORNICES, PENETRABLE MATERIAL, AND AT INTERSECTION WITH PARAPET WALLS AND OTHER PENETRATION THRU ROOF. (R903.2)

3. FLASHINGS SHALL BE INSTALLED AT HALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVER THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL, SIDEWALL, WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN 0.018 INCH (0.5 MM) (NO. 30 GALVANIZED SHEET). (R903.3)

4. A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY OR PENETRATION MORE THAN 30 INCHES (762 MM) WIDE AS MEASURED PERPENDICULAR TO THE SLOPE. CRICKET OR SADDLE COVERINGS SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING, EXCEPT FOR UNIT SKYLIGHTS INSTALLED IN ACCORDANCE WITH HYPERLINK "HTTS://CODES.IRCSAFE.ORG/LOADUP/CRCR903.1" (P.105), WHICH SECTION 9 OF SECTION R903.4 AND FLASHED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS SHALL BE PERMITTED WITHOUT A CRICKET OR SADDLE. (R903.4)

5. PARAPET WALLS SHALL BE PROPERLY COPED WITH NONCOMBUSTIBLE WEATHERPROOF MATERIALS OF A WIDTH NOT LESS THAN THE THICKNESS OF THE PARAPET WALL. (R903.5)

6. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. IF WATER CAN BE ENTRAPPED WITHIN THE ROOF AREA THEN SECONDARY EMERGENCY OVERFLOW ROOF DRAINS OR SCUPPERS SHALL BE PROVIDED PER SECTION R903.4.1. (R903.4)

MISC. NOTES:
1. INSTALL ROOF PER ROOFING MFG. SPECS & INSTALLATION GUIDELINE

2. ARCH. TO APPV. SIZE, COLOR & PROFILE OF EAVE & RAKE COMPONENTS. G.C. TO PROVIDE MOCK-UPS.

3. UNVENTED ENCLOSED RAFTER ASSEMBLY: NO INTERIOR CLASS I VAPOR RETARDER SHALL BE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY.

4. REF. WOOD OR WOODBASE PRODUCT NOTES ON FLOOR PLANS

CERTIFICATION OF INTERPOLATION AT R90.0

FLAT ROOF AREA CALCULATIONS		
A	24.12	214.69 SF
B	2.12	361.02 SF
	TOTAL	575.78 SF

TOTAL ROOF AREA	4,469.03 SF
ALLOWABLE FLAT ROOF	670.35 SF (15%)
PROPOSED	575.78 SF (12.85%)

PARAPET WALL LENGTH CALCULATIONS		
	18' - 7 3/4"	
	38' - 2 3/4"	
	TOTAL LENGTH	51' - 10 1/2"

A GENERAL NOTES

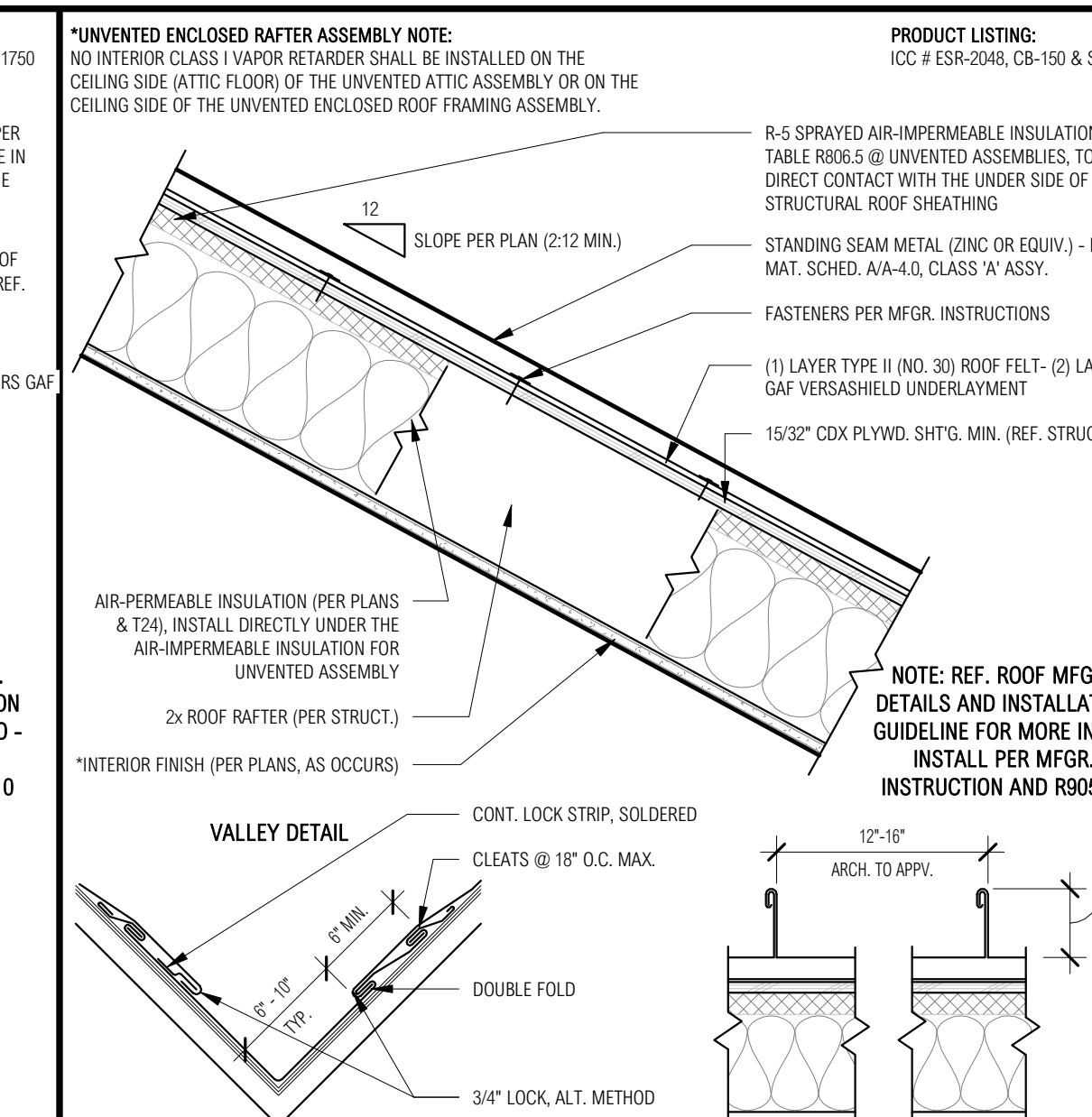
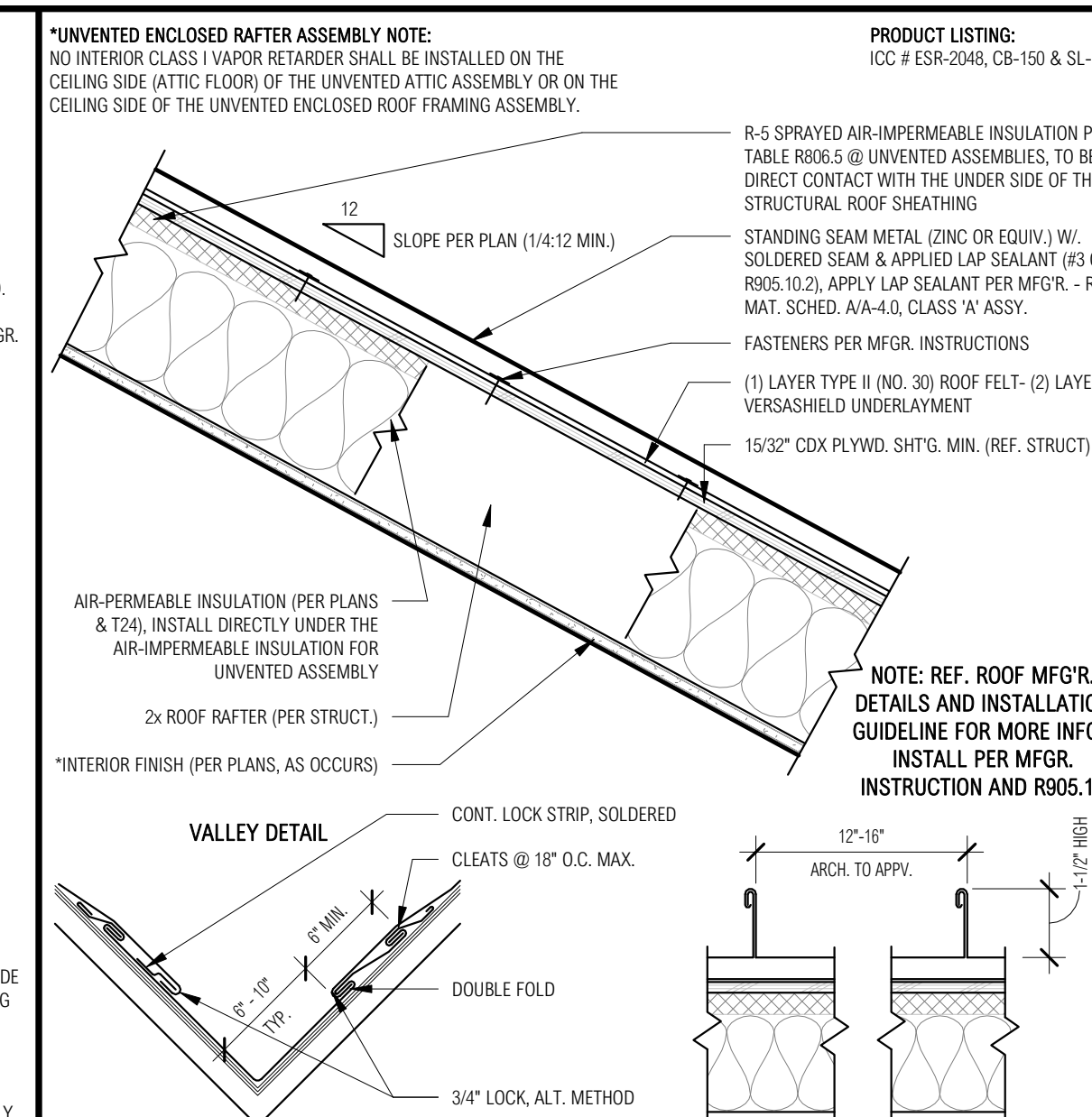
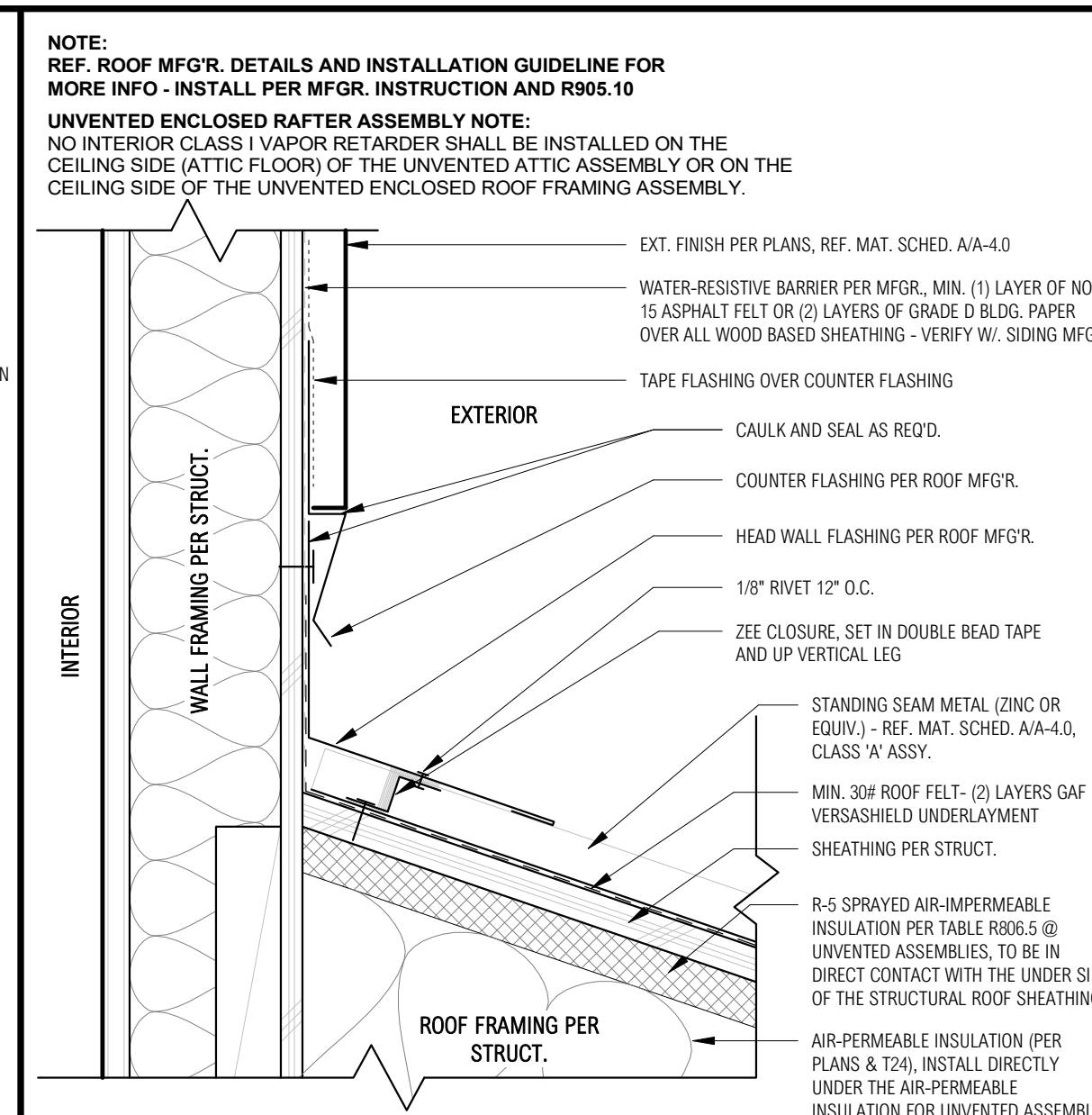
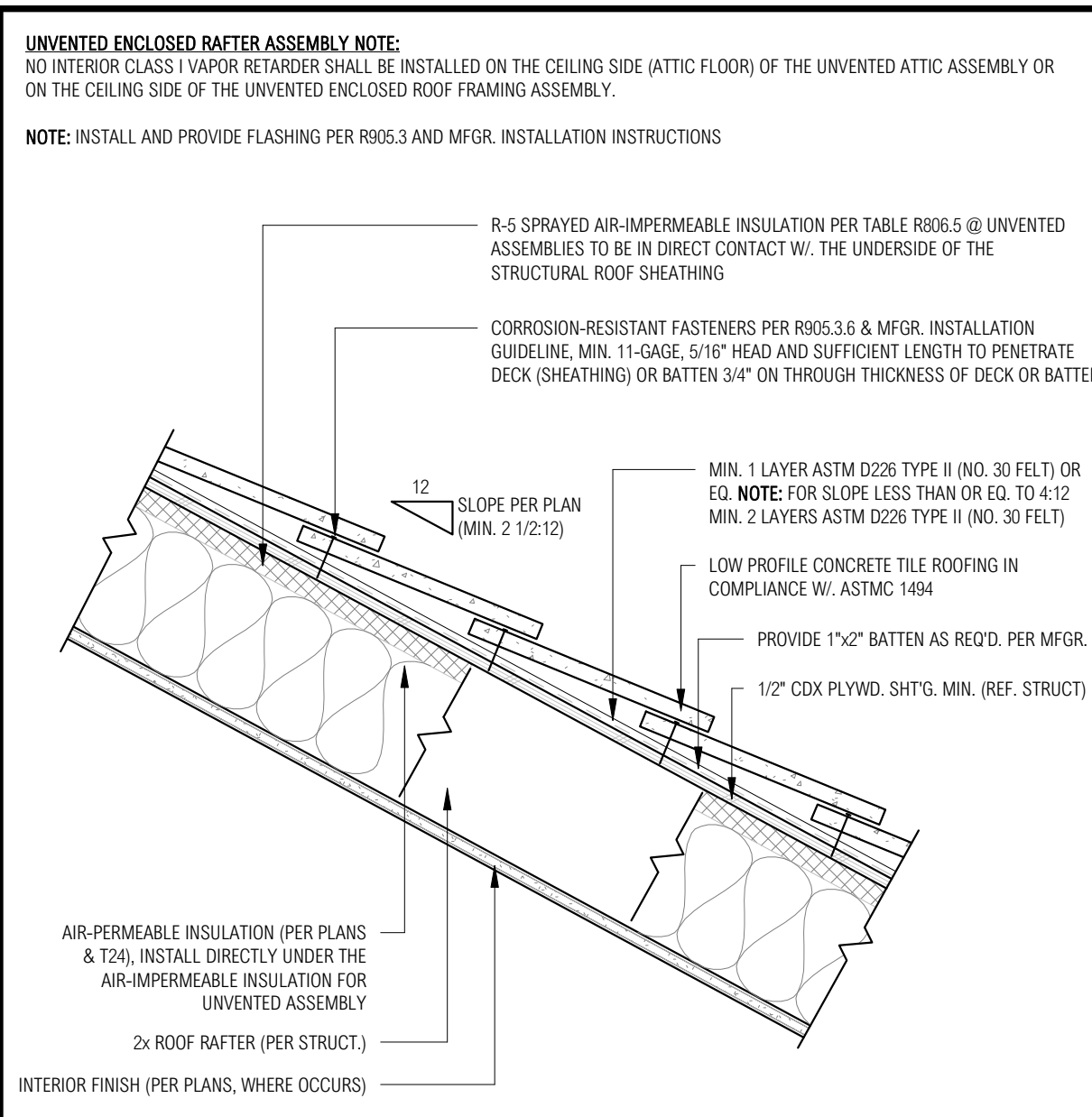
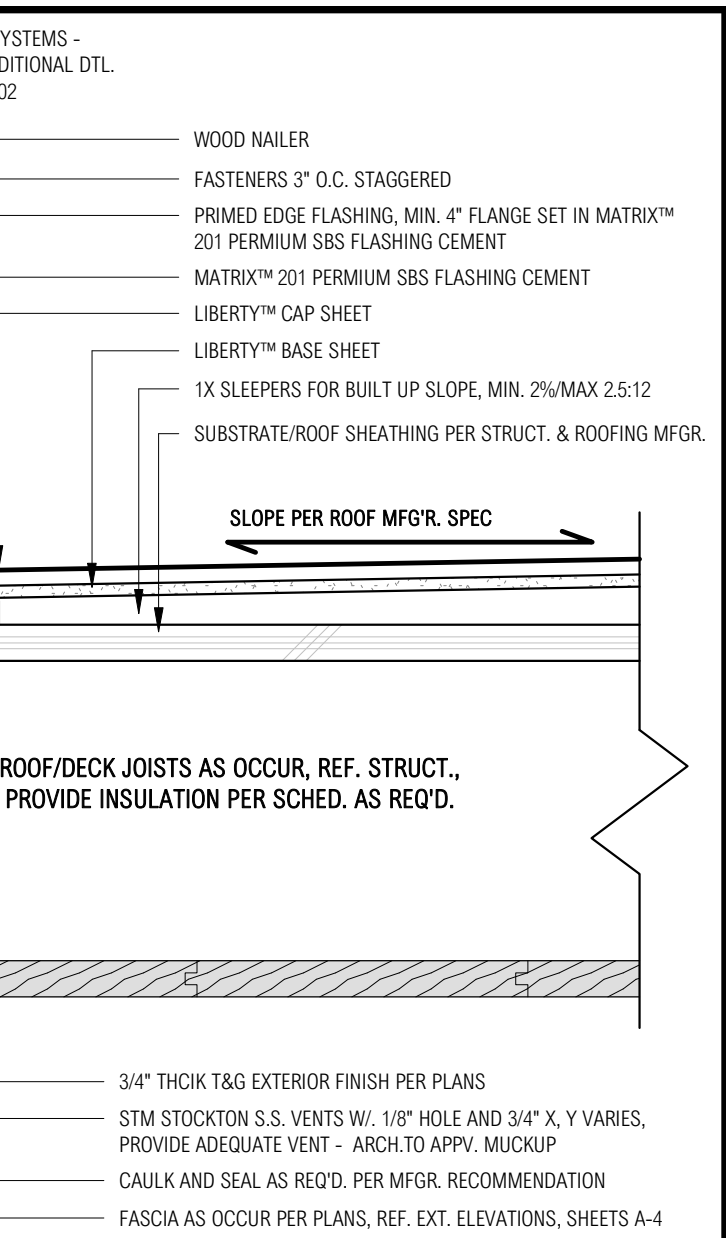
- CONCRETE ROOF TILE - COLOR AS SEL. REF. MAT. SCHEDULE SHIT. A-4.0
- STANDING SEAM METAL ROOFING - REF. MAT. SCHEDULE SHIT. A-4.0
- GUTTER - ALUMINUM W/ KYNAR FINISH. SHAPE AS SEL. - PROVIDE 1/2" DWSG. TO ARCH.
- WOOD TRUSSES TO BE AT LEAST 50% OPEN. PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.

B KEYNOTES

2

1

2



6 SBS FLAT ROOF EAVE DETAIL W/ VENT
3" = 1'-0"

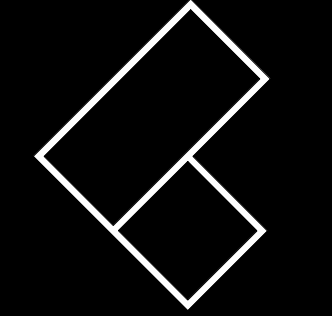
5 CONCRETE TILE ROOF DTL. (LOW PROFILE)
1 1/2" = 1'-0"

4 METAL ROOF TO WALL CONNECTION
3" = 1'-0"

3 METAL ROOF DTL. W/ 1/4:12 MIN. SLOPE
1 1/2" = 1'-0"

2 METAL ROOF DTL. W/ 2:12 MIN. SLOPE
1 1/2" = 1'-0"

B KEYNOTES



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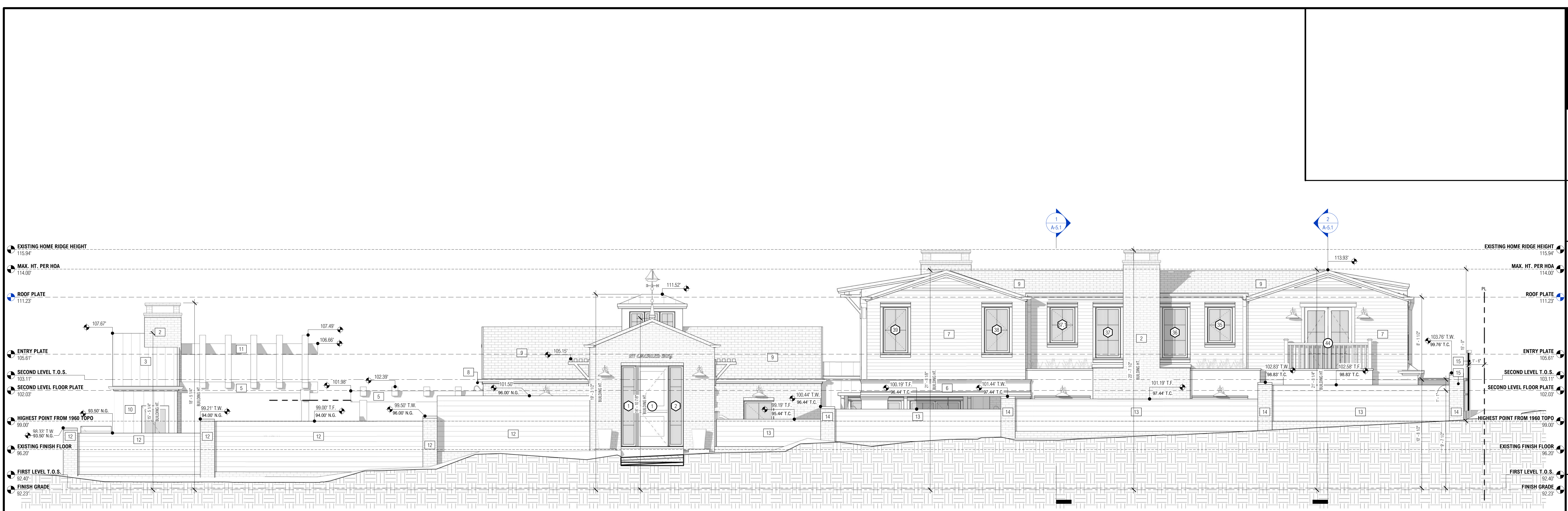
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REVISIONS

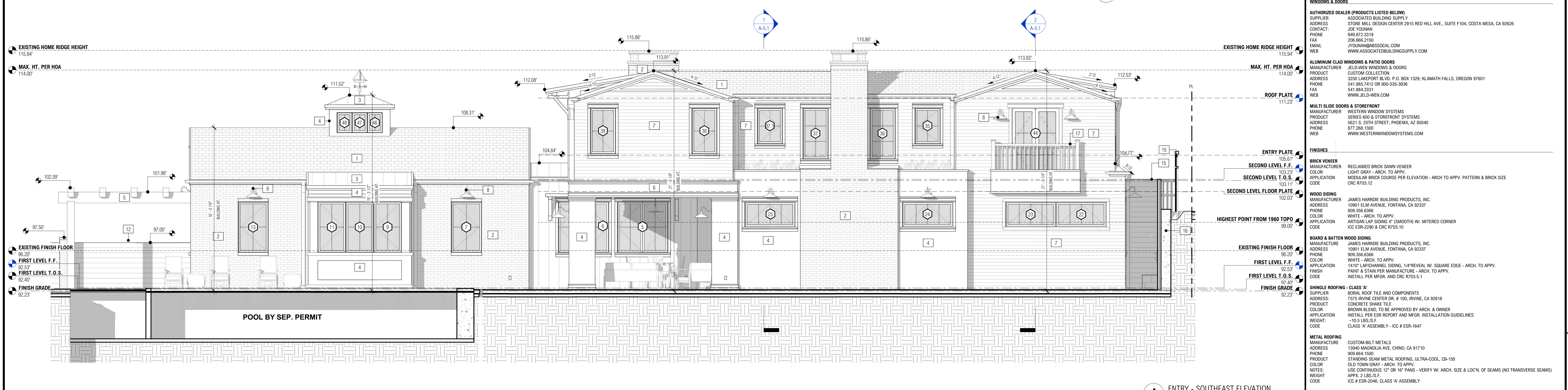
NO.	REVISION	DATE

EXTERIOR ELEVATIONS

A-4.0

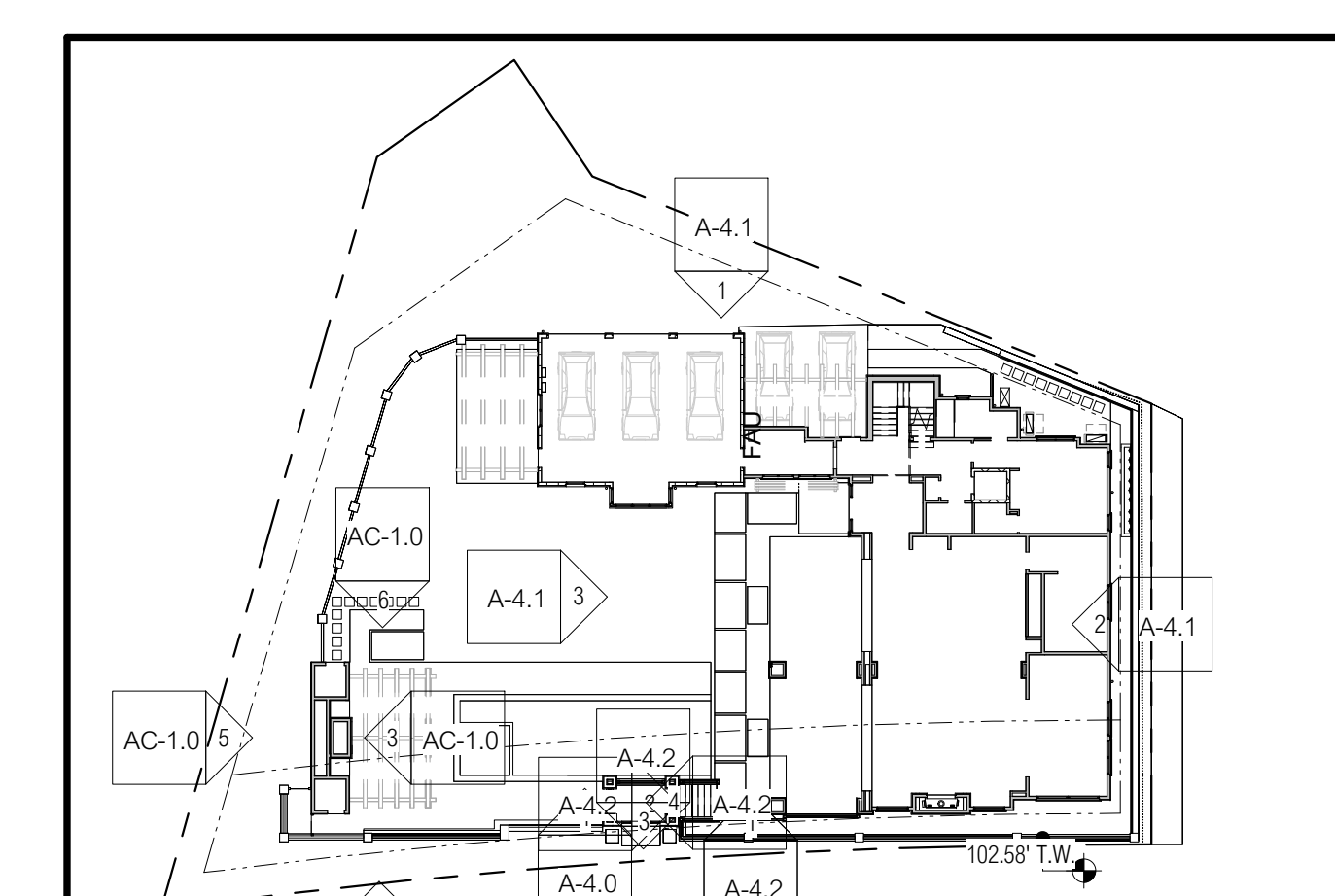


2 ENTRY FROM STREET - SOUTHEAST ELEVATION
 1/4" = 1'-0"



1 ENTRY - SOUTHEAST ELEVATION
 1/4" = 1'-0"

WINDOWS & DOORS	
AUTHORIZED DEALER (PRODUCTS LISTED BELOW)	
SUPPLIER	ASSOCIATED BUILDING SUPPLY
ADDRESS	STONE HILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT	JOE TUNMAN
PHONE	949 872 3319
TEXT	206 666 2150
EMAIL	JTUNMAN@ASSOCIATED.COM
WEB	WWW.ASSOCIATEDBUILDINGSUPPLY.COM
ALUMINUM CLAD WINDOWS & PATIO DOORS	
MANUFACTURER	JELDEN WINDOWS & DOORS
PRODUCT	CUSTOM COLLECTION
ADDRESS	3250 LAKESIDE BLVD. P.O. BOX 1329, KLAMATH FALLS, OREGON 97601
PHONE	541 882 7472 OR 800-526-3094
FAX	541 884 3331
WEB	WWW.JELD-WEN.COM
MULTI SLIDE DOORS & STOREFRONT	
MANUFACTURER	WESTERN WINDOW SYSTEMS
PRODUCT	SERIES 600 & STOREFRONT SYSTEMS
ADDRESS	3621 S. 25TH STREET, PHOENIX, AZ 85040
PHONE	877 268 1300
WEB	WWW.WESTERNWINDOWSYSTEMS.COM
FINISHES	
BRICK VENEER	
MANUFACTURER	RECLAIMED BRICK SAWN VENEER
COLOR	LIGHT GRAY - ARCH. TO APPV.
APPLICATION	MODULAR BRICK COURSE PER ELEVATION - ARCH. TO APPV. PATTERN & BRICK SIZE
CODE	CRS R703.12
WOOD SIDING	
MANUFACTURER	JAMES HARDIE BUILDING PRODUCTS, INC.
ADDRESS	10901 ELM AVENUE, FORTNA, CA 92337
PHONE	909 356 6366
COLOR	WHITE - ARCH. TO APPV.
APPLICATION	ARTISAN LAP SIDING 4" (SMOOTH) W/ MITERED CORNER
CODE	ICC ESR-2290 & CRS R703.5.1
BOARD & BATTEN WOOD SIDING	
MANUFACTURER	JAMES HARDIE BUILDING PRODUCTS, INC.
ADDRESS	10901 ELM AVENUE, FORTNA, CA 92337
PHONE	909 356 6366
COLOR	WHITE - ARCH. TO APPV.
APPLICATION	1X10" LAP CHANNEL SIDING, 1/4" REVEAL W/ SQUARE EDGE - ARCH. TO APPV.
FINISH	PAIN'T & STAIN PER MANUFACTURER - ARCH. TO APPV.
INSTALL	INSTALL PER MFR. AND CRS R703.5.1
SINGLE ROOFING - CLASS 'A'	
SUPPLIER	BORAL ROOF TILE AND COMPONENTS
ADDRESS	7715 RYNE CENTER DR. # 100, IRVINE, CA 92618
PHONE	949 864 1500
PRODUCT	CONCRETE SHAKE TILE
COLOR	BROWN BLEND TO BE APPROVED BY ARCH. & OWNER
INSTALL	INSTALL PER ESR REPORT AND MFR. INSTALLATION GUIDELINES
WEIGHT:	-10.5 LBS./S.F.
CLASS:	CLASS 'A' ASSEMBLY - ICC # ESR-1647
METAL ROOFING	
MANUFACTURER	CUSTOM-BILT METALS
ADDRESS	13840 MAGNOLIA AVE, CHINO, CA 91710
PHONE	909 864 1500
PRODUCT	STANDING SEAM METAL ROOFING, ULTRA-COOL, CB-150
COLOR	OLD TOWN GRAY - ARCH. TO APPV.
NOTES:	USE CONTINUOUS 1" OR 1 1/2" PANS - VERIFY W/ ARCH. SIZE & LOCN. OF SEAMS (NO TRANSVERSE SEAMS)
WEIGHT:	APPR. 2 LBS./S.F.
CLASS:	ICC # ESR-2048, CLASS 'A' ASSEMBLY
ROOF FASCIA	
MANUFACTURER	AZEK BUILDING PRODUCTS, INC.
ADDRESS	1330 W. FULTON MARKET, SUITE 350, CHICAGO, IL 60607
PHONE	877 275 2055
COLOR	PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)
EXTERIOR CASING, TRIM & MOLDING	
MANUFACTURER	AZEK BUILDING PRODUCTS, INC.
ADDRESS	1330 W. FULTON MARKET, SUITE 350, CHICAGO, IL 60607
PHONE	877 275 2055
COLOR	PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)
GUTTERS	
MATERIAL	METAL - COPPER/ALUM. PAINTED KYMAR
SHAPE	HALF ROUND/SQUARE (5") (VERIFY W/ ARCH.)
GARAGE DOORS	
SUPPLIER	RANCH HOUSE DOORS
WEB	WWW.RANCHHOUSEDOORS.COM
STYLE	CUSTOM
MATERIAL	CUSTOM BUILT, WOOD & GLASS
WATERPROOF DECK MEMBRANE	
MANUFACTURER	WESTCOAT
ADDRESS	770 GATEWAY CENTER DRIVE, SAN DIEGO, CA 92102
PRODUCT	A-1X WALKING DECK - CLASS 'A'
APPLICATION	DECK FINISH SURFACE TO BE NON-COMBUSTIBLE
CODE	ICC ESR 2201

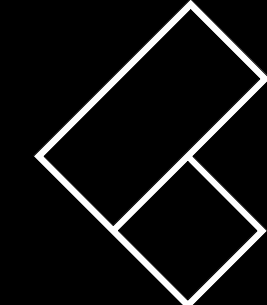


- CONCRETE ROOF TILE - COLOR AS SEL. REF. MAT. SCHEDULE SHT. A-4.0
- BRICK VENEER - REF. MAT. SCHEDULE SHT. A-4.0
- STANDING SEAM METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0
- WOOD PANEL SIDING - EXT. GRADE MIX. PAINT AS SEL. REF. MATERIAL SCHEDULE SHT. A-4.0
- WOOD TRELLIS TO BE AT LEAST 50% OPEN, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- DECK "BELLYBAND" - EXT. PAINT GRADE, SMOOTH FINISH, ARCH. TO APPROVE PROFILE
- SHIP LAP SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHT. A-4.0
- WALL MOUNTED LIGHT FIXTURE, GOOSE NECK, SCIENCE TO BE DOWN LIT AND SHIELDED TO PREVENT GLARE OR BE A NUISANCE TO NEIGHBORS
- ROOF RAFTERS - REF. STRUCT
- BOARD & BATTEN SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHT. A-4.0
- STRUCT. TIMBER BEAM, SIZE PER STRUCT. DWGS.
- POOL ENCLOSURE PER CRC 3109 & SPSC 300 - SEE NOTES ON AA-0 FOR MORE INFO.
- (N) PROPERTY LINE HD. PANEL FENCE - W/ CONCRETE CURB & FLO. TYP. UNLD. - PAINT CURB TO MATCH EXTERIOR - 6" MAX. HT. ABV. N.G. ON OWNER'S SIDE & 4" MAX. HT. ABV. ADJ. T.C. WHEN LOCATED WITHIN SETBACK
- (N) PROPERTY LINE BRICK PLASTER, TYP. - 6" MAX. HT. ABV. N.G. ON OWNER'S SIDE & 4" MAX. HT. ABV. ADJ. T.C. WHEN LOCATED WITHIN SETBACK
- (E) NEIGHBORING SITE WALL AND FENCE - PROTECT IN PLACE
- (N) PROPERTY LINE WALL - PLASTER FINISH TO MATCH (MAX. 6" ABV. N.G.)
- EXTERIOR GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING - REF. DTL. A4-0.1

B KEYNOTE LEGEND

A MATERIAL SPECIFICATIONS

FLASHING & WEATHERSTRIPPING
 PROVIDE MIN. 24 GAUGE METAL (16 OZ.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.
 1. FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.
 2. REF. ROOF PLAN (A-3.0) FOR ALL PLATE HTS. & RIDGE HTS.



BRANDON ARCHITECTS
 151 KALAMUS DRIVE, SUITE G-1
 COSTA MESA, CA 92626
 714.754.4040
 WWW.BRANDONARCHITECTS.COM

PROJECT STATUS

COUNTY SUBMITTAL

PLAN CHECK NO.

PRG23-0110

PROJECT CONTACT

BRANDON LINDSAY, AIA NCARB

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SLAVIK RESIDENCE

PROJECT ADDRESS:
 211 EMERALD BAY
 LAGUNA BEACH, CA 92651

OWNER INFORMATION:
 THE BRENNAN J SLAVIK TRUST
 4450 MACARTHUR BLVD FL 2ND
 NEWPORT BEACH, CA 92660

DATE

04.05.2024

REVISIONS

NO.	REVISION	DATE

EXTERIOR ELEVATIONS

A-4.1

WINDOWS & DOORS

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
 SUPPLIER ASSOCIATED BUILDING SUPPLY
 ADDRESS STONE HILL DESIGN CENTER 2915 RED HILL AVE., SUITE 1104, COSTA MESA, CA 92626
 CONTACT JOE YOUNAN
 PHONE 949.872.2319
 FAX 949.872.2319
 EMAIL JYOUNAN@ASSOCIATED.COM
 WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
 MANUFACTURER JELDEN WINDOWS & DOORS
 PRODUCT CUSTOM COLLECTION
 ADDRESS 3200 LANDPORT BLVD., P.O. BOX 1329, KLAMATH FALLS, OREGON 97601
 PHONE 541.885.7412 OR 800.535-3936
 FAX 541.884.2531
 WWW.JELD-WEN.COM

MULTI SLIDE DOORS & STOREFRONT
 MANUFACTURER WESTERN WINDOW SYSTEMS
 PRODUCT SERIES 600 & STOREFRONT SYSTEMS
 ADDRESS 5621 S. 20TH STREET, PHOENIX, AZ 85040
 PHONE 877.268.1300
 WWW.WESTERNWINDOWSYSTEMS.COM

FINISHES

BRICK VENEER
 MANUFACTURER RECLAIMED BRICK SAWN VENEER
 COLOR LIGHT GRAY - ARCH. TO APPV.
 APPLICATION MODULAR BRICK COURSE PER ELEVATION - ARCH. TO APPV. PATTERN & BRICK SIZE
 CODE CRC R703.12

WOOD SIDING
 MANUFACTURER JAMES HARDIE BUILDING PRODUCTS, INC.
 ADDRESS 10901 ELM AVENUE, FORTANA, CA 92337
 PHONE 909.356.6266
 COLOR WHITE - ARCH. TO APPV.
 APPLICATION ARTISAN LAP SIDING 4" (SMOOTH) W/ MITERED CORNER
 CODE ICC ESR-2290 & CRC R703.10

BOARD & BATTEN WOOD SIDING
 MANUFACTURER JAMES HARDIE BUILDING PRODUCTS, INC.
 ADDRESS 10901 ELM AVENUE, FORTANA, CA 92337
 PHONE 909.356.6266
 COLOR WHITE - ARCH. TO APPV.
 APPLICATION 1"X10" LAP CHANNEL SIDING, 1/4" REVEAL W/ SQUARE EDGE - ARCH. TO APPV.
 FINISH PAINT & STAIN PER MANUFACTURER - ARCH. TO APPV.
 CODE INSTALL PER MFG. AND CRC R703.5.1

SHINGLE ROOFING - CLASS 'A'
 SUPPLIER BORAL ROOF TILE AND COMPONENTS
 ADDRESS 7175 IRVINE CENTER DR # 100, IRVINE, CA 92618
 PRODUCT CONCRETE SHAKE TILE
 COLOR BROWN BLEND - ARCH. TO APPV.
 APPLICATION INSTALL PER ESR REPORT AND MFG. INSTALLATION GUIDELINES
 WEIGHT 103 LBS./S.F.
 CODE CLASS 'A' ASSEMBLY - ICC # ESR-1847

METAL ROOFING
 MANUFACTURER CUSTOM-BILT METALS
 ADDRESS 13840 MAGNOLIA AVE, CHINO, CA 91710
 PHONE 909.864.1500
 PRODUCT STANDING SEAM METAL ROOFING, ULTRA-COOL, CB-150
 COLOR OLD TOWN GRAY - ARCH. TO APPV.
 NOTES: USE CONTINUOUS 12" OR 16" PANS - VERIFY W/ ARCH. SIZE & LOCN. OF SEAMS (NO TRANSVERSE SEAMS)
 WEIGHT APPX. 2 LBS./S.F.
 CODE ICC # ESR-2048, CLASS 'A' ASSEMBLY

ROOF FASCIA
 MANUFACTURER AZEK BUILDING PRODUCTS, INC.
 ADDRESS 1330 W. FULLON MARKET, SUITE 350, CHICAGO, IL 60607
 PHONE 877.275.2935
 COLOR PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)

EXTERIOR CASING, TRIM & MOLDING
 MANUFACTURER AZEK BUILDING PRODUCTS, INC.
 ADDRESS 1330 W. FULLON MARKET, SUITE 350, CHICAGO, IL 60607
 PHONE 877.275.2935
 COLOR PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)

GUTTERS
 MATERIAL METAL - COPPER/ALUM. PAINTED KYNAR
 SHAPE HALF ROUND/SQUARE (5") (VERIFY W/ ARCH.)

GARAGE DOORS
 SUPPLIER RANCH HOUSE DOORS
 WEB WWW.RANCHHOUSEDOORS.COM
 STYLE CUSTOM
 MATERIAL CUSTOM BUILT, WOOD & GLASS

WATERPROOF DECK MEMBRANE
 MANUFACTURER WESTCOAT
 ADDRESS 770 GATEWAY CENTER DRIVE, SAN DIEGO, CA 92102
 PRODUCT ALK WALKING DECK - CLASS 'A'
 APPLICATION DECK FINISH SURFACE TO BE NON-COMBUSTIBLE
 CODE ICC ESR 2201

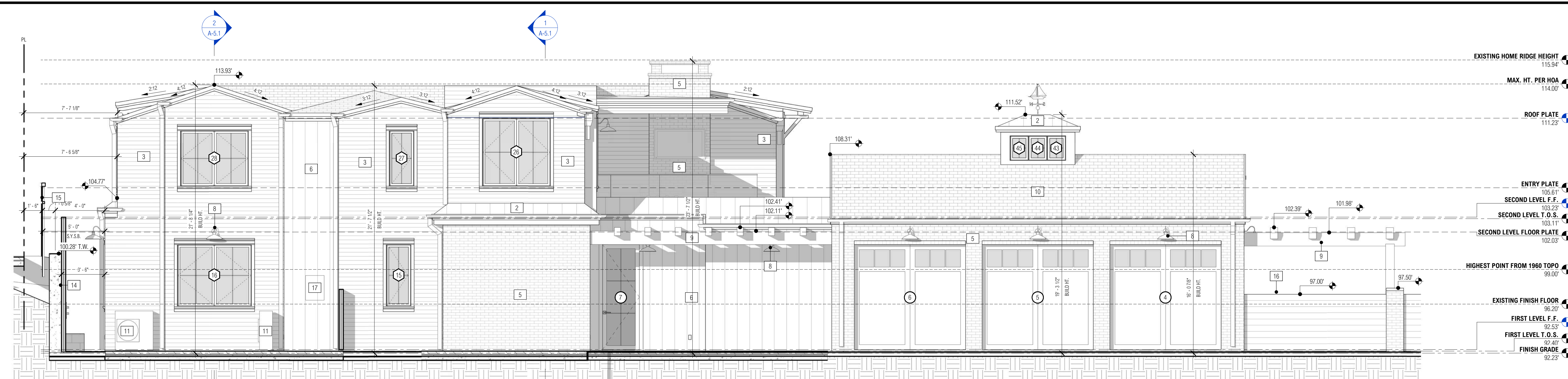
FLASHING & WEATHERSTRIPPING
 PROVIDE MIN. 24 GAUGE METAL (16 OZ.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

1. PENETRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.
 2. REF. ROOF PLAN (A-3.0) FOR ALL PLATE FITS & RIDGE FITS.

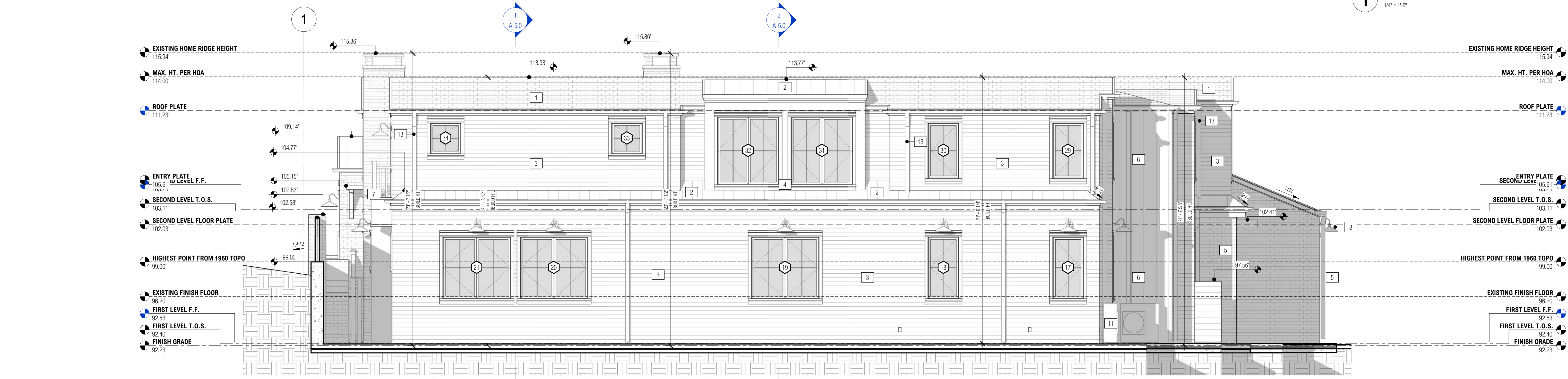
A MATERIAL SPECIFICATIONS

- WOOD SHINGLE ROOFING - REF. MAT. SCHEDULE SHIT. A-4.0
- STANDING SEAM METAL ROOFING - REF. MAT. SCHEDULE SHIT. A-4.0
- SHIP LAP SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHIT. A-4.0
- WOOD PANEL SIDING - EXT. GRAIN MIX. PAINT AS SEL. REF. MATERIAL SCHEDULE SHIT. A-4.0
- BRICK VENEER - REF. MAT. SCHEDULE SHIT. A-4.0
- BOARD & BATTEN SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHIT. A-4.0
- DECK BELL FINISH - EXT. PAINT GRAIN, SMOOTH FINISH, ARCH. TO APPROVE FINISH
- WALL MOUNTED LIGHT FIXTURE, GOODSE NECK SCORCE TO BE DOWN LIT AND SHIELDED TO PREVENT GLARE OR BE A WOOD TRUSS TO BE AT LEAST 50% OPEN, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- CONCRETE ROOF TILE - COLOR AS SEL. REF. MAT. SCHEDULE SHIT. A-4.0
- AC CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPING PAD AS REQ'D. (SOUND ATTENUATION REQ'D. PER SECTION 10.26.05 N.B.C. UNDER SEPARATE PERMIT & PLAN CHECK)
- DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- (V) PROPERTY LINE WALL - PLASTER FINISH TO MATCH MAX. (6' ABV. N.G.)
- (E) NESHORING SITE WALL AND FENCE - PROTECT IN PLACE
- POOL ENCLOSURE PER CBC 3109 & ISPCS 305 - SEE NOTES ON A/A-0.0 FOR MORE INFO.
- MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)

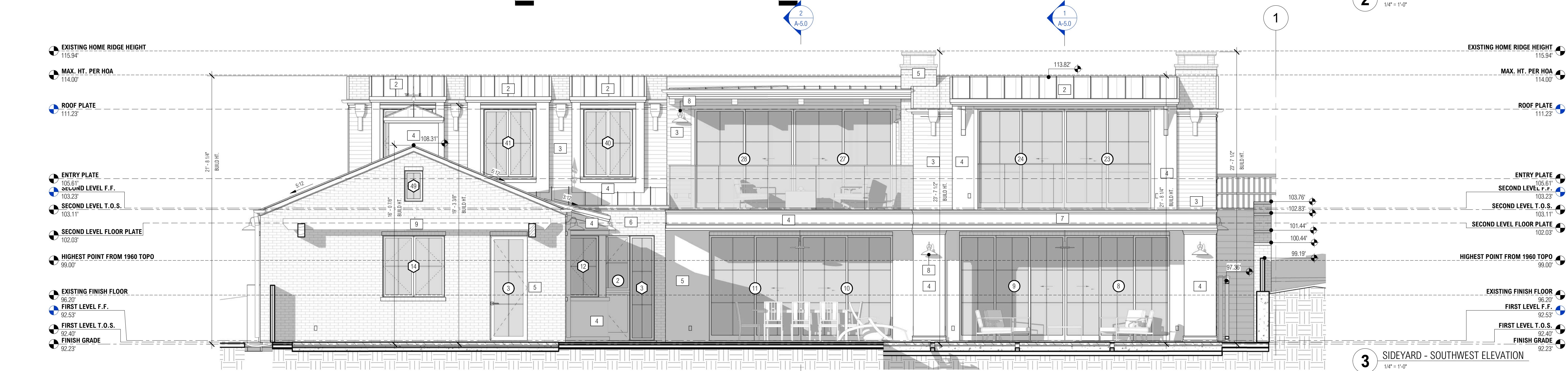
B KEYNOTES



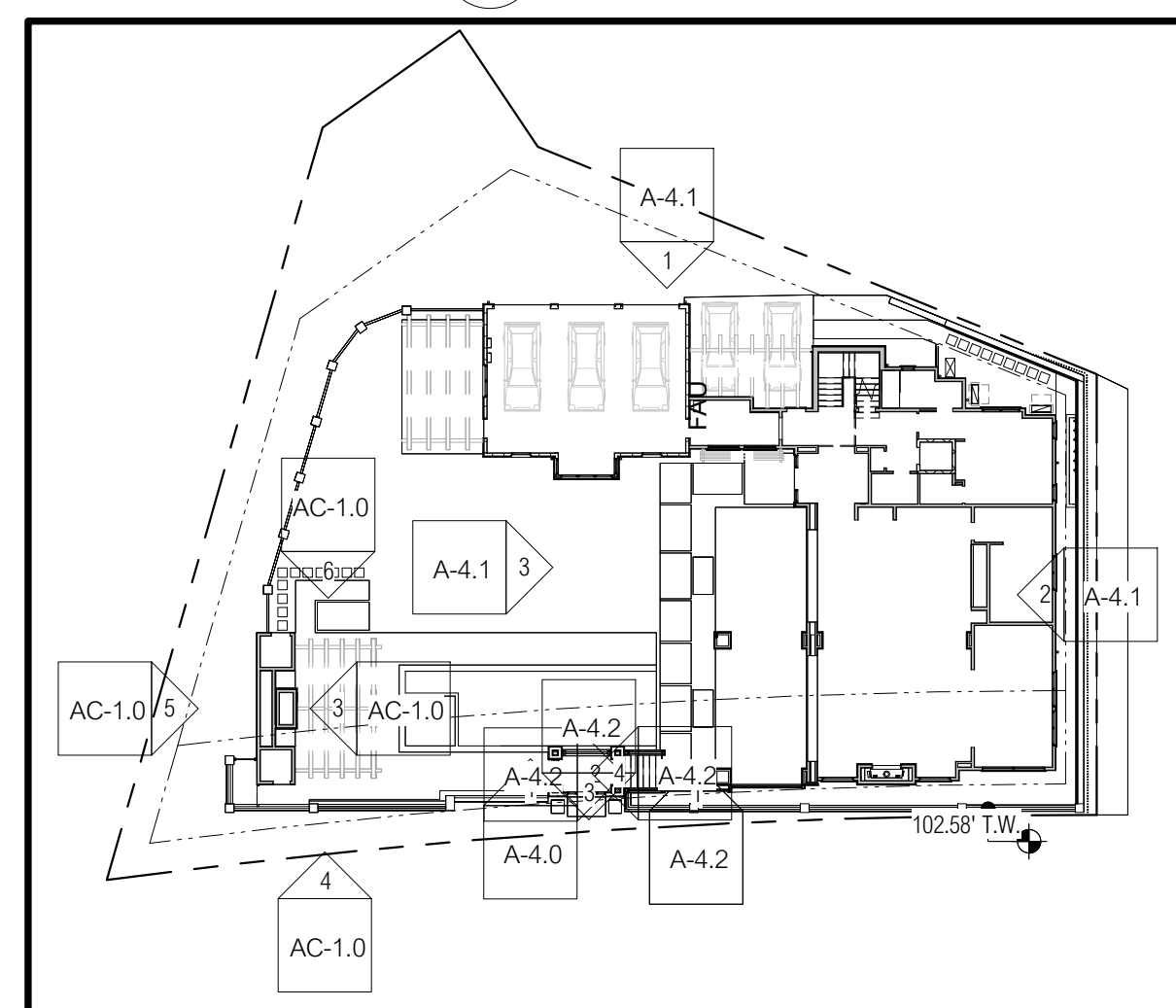
1 REAR - NORTHWEST ELEVATION
 1/4" = 1'-0"



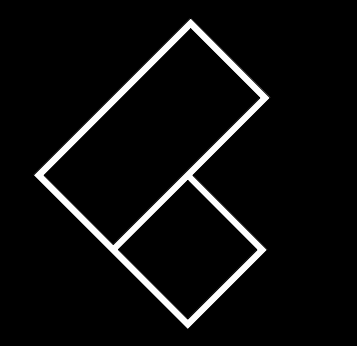
2 SIDEYARD - NORTHEAST ELEVATION
 1/4" = 1'-0"



3 SIDEYARD - SOUTHWEST ELEVATION
 1/4" = 1'-0"



B KEYNOTES



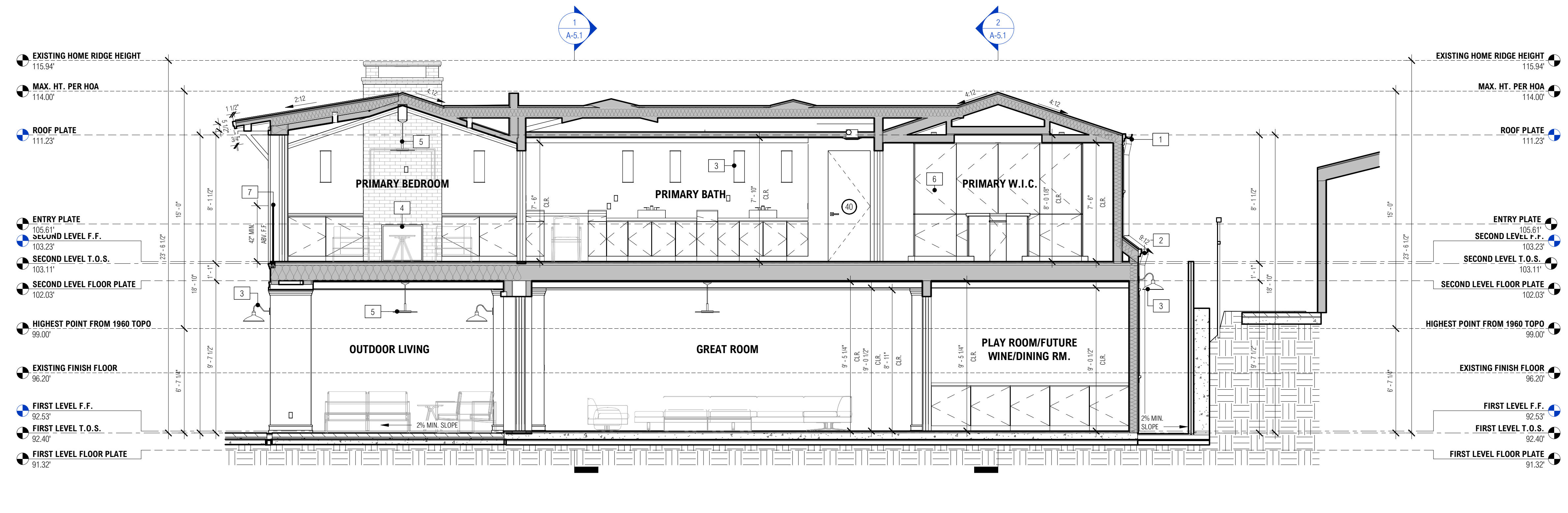
BRANDON ARCHITECTS
 151 KALAMUS DRIVE, SUITE G-1
 COSTA MESA, CA 92626
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PROJECT STATUS
 PERMIT

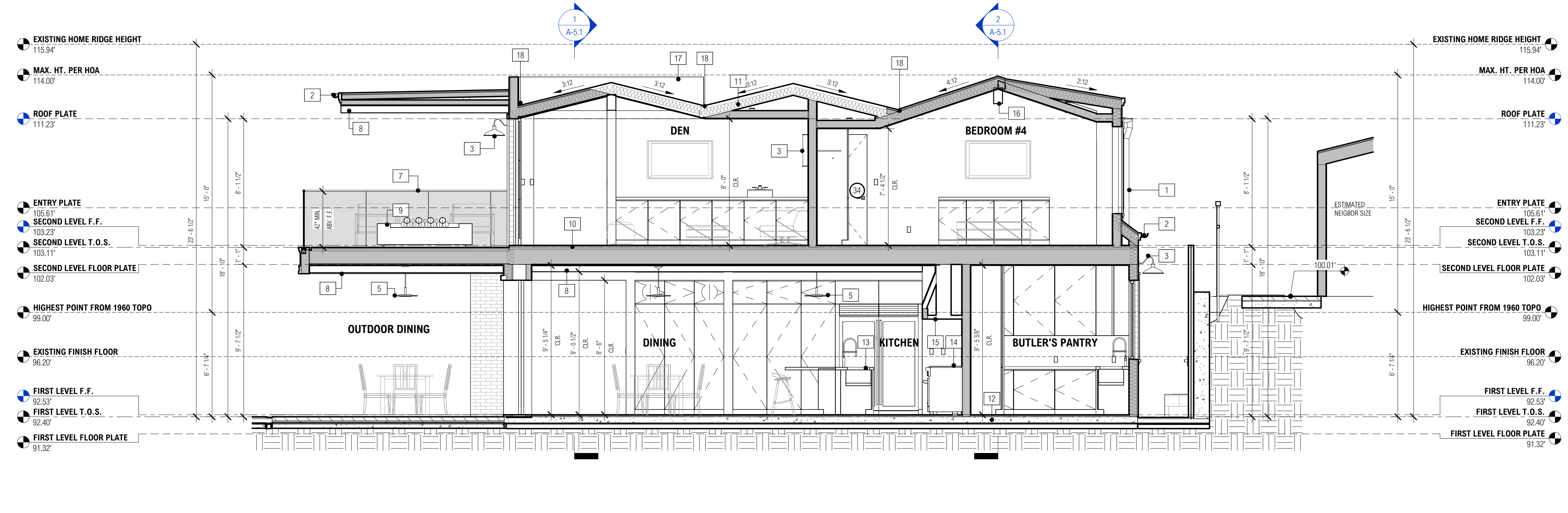
PLAN CHECK NO.
 PK623-0110

PROJECT CONTACT
 BRANDON LINDSAY, AIA NCARB

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1 TRANSVERSE SECTION
 1/4" = 1'-0"



2 TRANSVERSE SECTION
 1/4" = 1'-0"

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS
 FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION
 FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND/TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS
 DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR-CEILING ASSEMBLIES
 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTICS
 DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

DRAFT STOP CONSTRUCTION
 DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

A FIRE-BLOCKING & DRAFT STOP NOTES

EXTERIOR WALL: 2 x 4 CONCT. OR LARGER: R-21 MIN.

RAISED FLOOR: R-30 MIN.

ROOF: R-30

NOTES:
 1. REF. T-24 REPORT FOR MORE INFORMATION
 2. PROVIDE BID FOR INSULATION OF ENTIRE HOME
 *TOTAL R-VALUE INCLUDING THE RIDGED AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

*****ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT*****

B INSULATION SCHEDULE

ROOM NAME	ROOM TAG
	ELEVATION / SECTION INDICATOR
	CALL-OUT TAG
	SPOT ELEVATION
	KEYNOTE TAG
	DOOR TAG
	WINDOW TAG
	WINDOW WALL TAG
	REVISION TAG
	FIRE RATED CEILING ASSY - REF. DTLS. 7/A0-1.0
	1-HR RATED INT CONDITION - REF. DTLS. 7/A0-1.0
	1-HR RATED EXT CONDITION - REF. DTLS. 7/A0-1.0
	CONCRETE WALL/PORUM DECK - PER STRUCT. REF. STRUCT DWGS. - FOR SLAB ON GRADE PROVIDE BASE PER R06K3.2 AND VAPOR RETARDER PER R06K3.3 W/ CAPILLARY BREAK
	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIMENSION PLANS FOR MORE INFO - INSULATION PER INSULATION SCHEDULE AND T-24 ENERGY REPORTS

C ANNOTATION LEGEND

- 1 DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- 2 GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- 3 WALL MOUNTED LIGHT FIXTURE, GOOSE NECK SOONCE TO BE DOWN LIT AND SHIELDED TO PREVENT GLARE OR BE A NUISANCE TO NEIGHBORS
- 4 FIREPLACE - PREFABRICATED, GAS ONLY, "SOKERN", (QCC ESR-2316 (REF. DTL. 22AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFG. INSTALLATION INSTRUCTIONS. GAS/GAS-FUEL BURNING FAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
- 5 DECORATIVE PENDANT LIGHT FIXTURE
- 6 BUILT-IN CLOSET - CUSTOM PER INTERIOR DESIGNER
- 7 EXTERIOR GLASS GUARDRAIL - TEMPERED & LAMINATED - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL. 4/A0-1
- 8 6X12 DECO. TIMBER RAFTER - CHAMFER EDGES APPX. 1/2" PAINT AS SEL.
- 9 FIREPT - PROVIDE GAS STUB-OUT, REF. LAND. DWGS., VERIFY W/ OWNER
- 10 FLOOR JOISTS - REF. STRUCT.
- 11 ROOF RAFTERS - REF. STRUCT.
- 12 CONCRETE SLAB ON GRADE - REF. STRUCT.
- 13 KITCHEN ISLAND - BASE CABINET, COUNTER, AND APPLIANCES PER I.D. - VERIFY SIZE W/ I.D. & OWNER
- 14 RANGE - VERIFY APPLIANCE W/ OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFG.) - VENT TO OUTDOOR AIR
- 15 KITCHEN EXHAUST HOOD TO VENT TO EXT. - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFG. INSTRUCTION
- 16 6X12 DECO. TIMBER RAFTER - SHAPED TAIL AS OCCURS (ARCH. TO APPV. PROFILE), SEALED, PAINT AS SEL.
- 17 SHIP LAP SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHY. A-4.0
- 18 CRACKTY - 2% MIN

D KEYNOTES

SLAVIK RESIDENCE

PROJECT ADDRESS:
 211 EMERALD BAY
 LAGUNA BEACH, CA 92651

OWNER INFORMATION:
 THE BRENNAN J SLAVIK TRUST
 4450 MACARTHUR BLVD FL 2ND
 NEWPORT BEACH, CA 92660

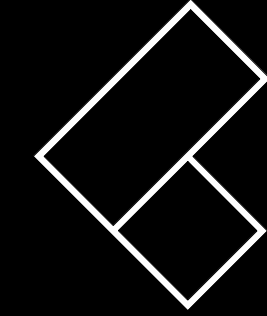
DATE
 12.22.2023

REVISIONS

NO.	REVISION	DATE

BUILDING SECTIONS

A-5.0



BRANDON ARCHITECTS
 151 KALAMUS DRIVE, SUITE G-1
 COSTA MESA, CA 92626
 714.754.4040
 WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
 PERMIT

PLAN CHECK NO.
 PK623-0110

PROJECT CONTACT
 BRANDON LINDSAY, AIA NCARB

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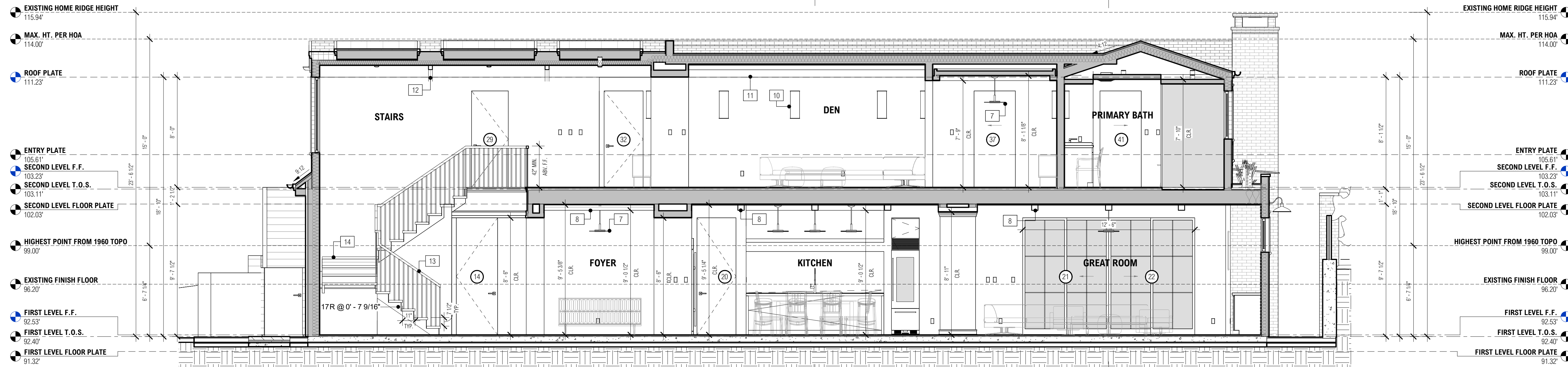
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REVISIONS

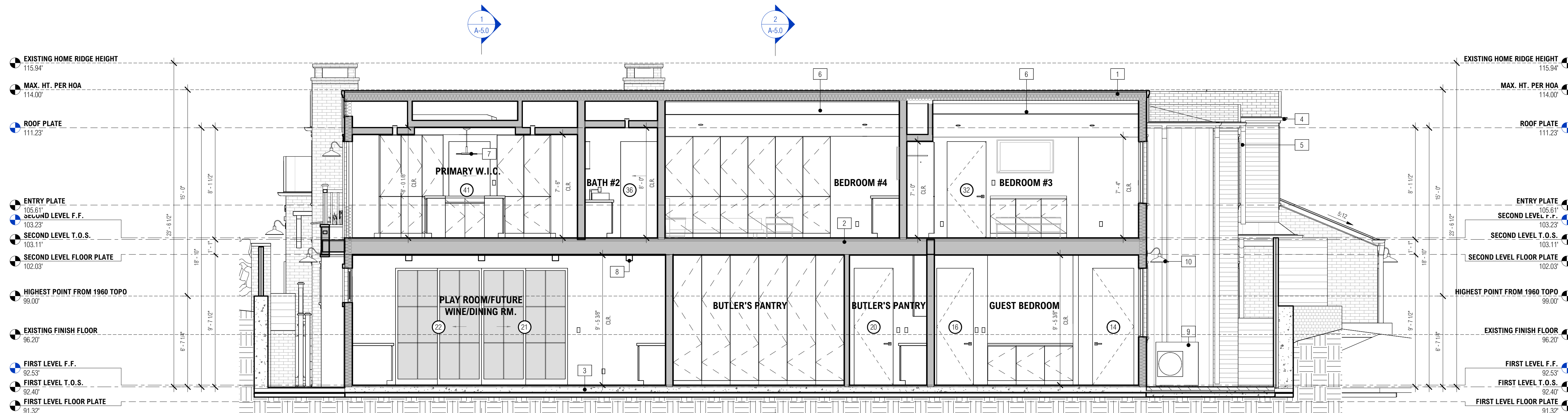
NO.	REVISION	DATE

BUILDING SECTIONS

A-5.1



1 LONGITUDINAL SECTION
 1/4" = 1'-0"



2 LONGITUDINAL SECTION
 1/4" = 1'-0"

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS
 FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION
 FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS
 DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR-CEILING ASSEMBLIES
 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTICS
 DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

DRAFT STOP CONSTRUCTION
 DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

A FIRE-BLOCKING & DRAFT STOP NOTES

EXTERIOR WALL:
 2 x 4 CONCR. OR LARGER - R-21 MIN.

RAISED FLOOR:
 R-30 MIN.

ROOF:
 R-30

NOTES:
 1. REF. T-24 REPORT FOR MORE INFORMATION
 2. PROVIDE BID FOR INSULATION OF ENTIRE HOME
 *TOTAL R-VALUE INCLUDING THE RIDGED AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

****ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT****

B INSULATION SCHEDULE

ROOM NAME	ROOM TAG	ELEVATION / SECTION INDICATOR	CALL-OUT TAG	SPOT ELEVATION	KEYNOTE TAG	DOOR TAG	WINDOW TAG	WINDOW WALL TAG	REVISION TAG	FIRE RATED CEILING ASSY - REF. DTLS. 7/AD-1.0	1-HR RATED INT CONDITION - REF. DTLS. 7/AD-1.0	1-HR RATED EXT CONDITION - REF. DTLS. 7/AD-1.0	CONCRETE WALL/PORUM DECK - PER STRUCT. REF. STRUCT DWGS. - FOR SLAB ON GRADE, PROVIDE BASE PER R08R2.2 AND VAPOR RETARDER PER R08R2.3 W/ CAPILLARY BREAK	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIMENSION PLANS FOR MORE INFO - INSULATION PER INSULATION SCHEDULE AND T-24 ENERGY REPORTS
1 A-5.0				10.00'	7									

C ANNOTATION LEGEND

- ROOF RAFTERS - REF. STRUCT.
- FLOOR JOISTS - REF. STRUCT.
- CONCRETE SLAB ON GRADE - REF. STRUCT.
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- 6X12 DECID. TIMBER RAFTER - SHAPED TAIL AS OCCURS (ARCH. TO APPV. PROFILE), SEALED, PAINT AS SEL.
- DECORATIVE PENDANT LIGHT FIXTURE
- 6X6 DECID. TIMBER CORBEL - CHAMFER EDGES APPX. 1/2" PAINT AS SEL.
- A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATTENTION REQ'D. PER SECTION 10.26.03 N.E.M.C. UNDER SEPARATE PERMIT & PLAN CHECK)
- WALL MOUNTED LIGHT FIXTURE, GOOSE NECK SCENE TO BE DOWN LIT AND SHIELDED TO PREVENT GLARE OR BE A NUISANCE TO NEIGHBORS
- CEILING FRAMING - REF. STRUCT.
- 4X4 DECID. TIMBER RAFTER - SHAPED TAIL AS OCCURS (ARCH. TO APPV. PROFILE), SEALED, PAINT AS SEL.
- INTERIOR GUARDRAIL - MIN. 42" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTLS. 4/AD-1
- ENCLOSED USABLE SPACE UNDER STAIRWAY USE 3/8" TYPE 'X' GYP. BD. FINISH TYP. (1/2" MIN.) (IRC R302.7)

D KEYNOTES