

PROPOSED FLOOR PLAN

A2.0 1/4"=1"

PLAN NOTES

- DOUBLE SINK WITH GARABAGE DISPOSAL
- BUILT-IN DISHWASHER WITH AIR GAP
- SELF VENTING TO O.S.A DROP-IN COOKTOP RANGE
- REFRIGERATOR SPACE, PROVIDE PLUMBING RECESSED FOR ICE
- 5 MICROWAVE OVEN OVER CONVENTIONAL OVEN
- 32"x60" FIBERGLASS TUB WITH SHOWER TO 72" A.F.F. WITH SHOWER HEAD AT +80" A.F.F.
- WATER CLOSET. 1.6 GALLONE MAX. PER FLUSH
- VANITY WITH MEDICINE CABINET
- WASHER AND DRYER UNIT. VENT TO O.S.A. AND PROVIDE RECESS NICHE FOR PLUMBING AND WASTE LINE
- 10 SHELF AND POLE
- WATER HEATER PER CMC. AND ELECTRICAL SUB PANEL

- 12 F.A.U.
- 13 A/C CONDENSER
- NEW 1" WATER LINE
- NEW 4"DIA. SEWER CONNECT TO EXISTING SEWER LINE



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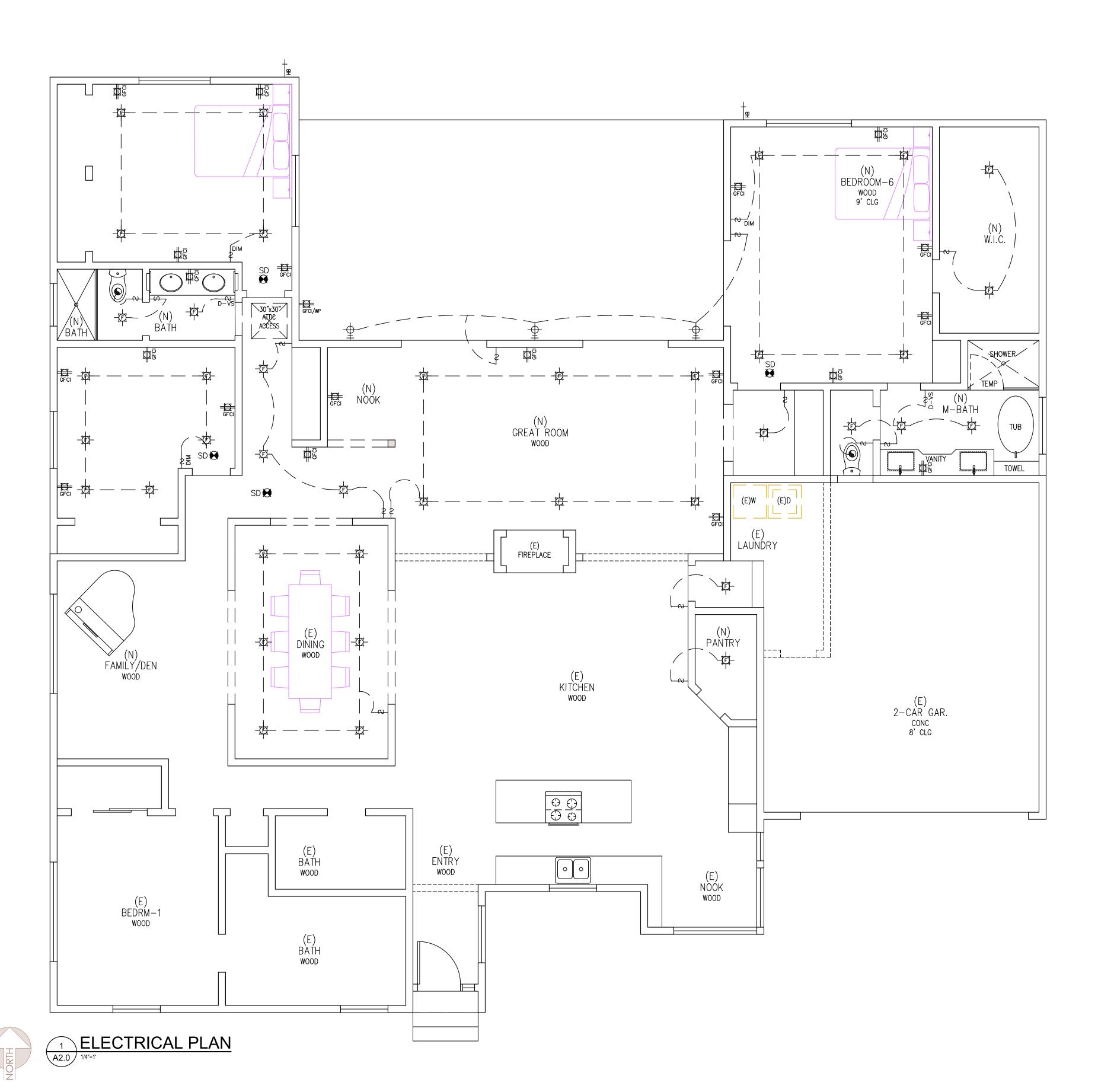
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T-24

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BLD23-0799 SUB-1 9/14/23 VARIANCE 1/29/24





++++ WALL HUNG LIGHT FIXTURE

S EXHAUST FAN, 50 CFM MIN., VENTED TO

VACANCY SENSORS

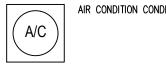
cw COLD WATER

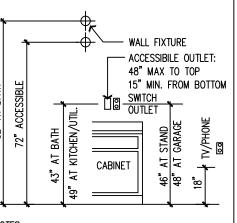
FG FUEL GAS

HB HOSE BIB WITH NON-REMOVABLE BACK FLOW PREVENTER DEVICE AT REAR AND FRONT

ELECTRICAL PANEL: 200 AMP
E/P SEE ELECTRICAL PLAN

E/M ____ GAS METER





1. ALL LIGHT TO BE LED & ENERGY CERTIFIED. AND IC-INSULATED CEILING TO THE ENERGY COMMISSION"

RECESSED FLOURESCENT LIGHT FIXTURE

OUTSIDE AIR PROVIDE DIMMER SWITCH TO ALL ROOMS

LOW EFFICACY LIGHTING IN BATHROOM AND HALLWAY MUST CONTROL BY DIMMER SWITCH

→ 110V CONV. DUPLEX OUTLET

⇒ 220V OUTLET

GROUND FAULT INTERRUPTED DUPLEX OUTLET

WEATHERPROOF GROUND FAULT INTERRUPTED DUPLEX OUTLET AT FRONT AND REAR → 40 AMPERE DEDICATED OUTLET FOR E.V. GFI CHARGING. SEE ELECTRICAL NOTE.

CM CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED HARD WIRED WITH BATTERY

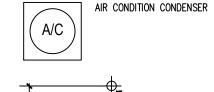
SMOKE DETECTOR HARD WIRED WITH
SD BATTERY BACKUP AND AUDIBLE ALARM IN ALL SLEEPING AREAS AND INTERCONNECTED

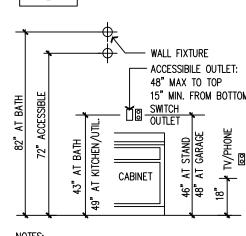
WHOLE HOUSE VENTILATION FAN: NUTONE OR EQUAL 130 CFM AIR FLOW RATE

ELECTRICAL METER

1" WATER METER W/M

GAS WATER HEATER. PROVIDE 18" HIGH (W/H) WOOD PLAT FORM AND SEISMIC STRAPS AS REQUIRED TOP & BOT.





2. ALL RECESSED LIGHTING SHALL BE AIR-TIGHT 3. ALL FLUORESCENT LIGHTING TO BE "CERTIFIED _______ PROVIDE UFER GROUND ON THE FOUNDATION PLAN SIZED IN ACCORDANCE WITH ARTICLE 250-94 (NEC 250-81-C)

PROVIDE & LOCATE OF BONDING WIRE TO METAL SUPPLY SYSTEM OR GROUND ROD (NEC 250-80A

CONNECTION TO THE GROUNDING ELECTORDES BE LOCATED AT A READILY ACCESSIBLE LOCATION. PROVIDE BONDING FOR ANY REMOVABLE EQUIPMENT. PROVIDE HARD-WIRE BATTERY BACKUP SMOKE ALARM IN VERY SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN EACH STORY WITHIN A DWELLING UNIT. THEY SHALL BE

PROVIDE A WHOLE-HOUSE FAN PER CEC TABLE 150.1.A. NOTUONE QTNIOE, 80 CFM ELECTRICAL RECEPTACLE, SWITCH AND CONTROL HEIGHTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX NOR LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR . (CBC 1136A.1 , 1136A.2)

T-24 ENERGY REQUIREMENTS

1. A MINIMUM OF 50% OF THE LUMINARIES IN A KITCHEN MUST BE FLUORESCENT OR HIGH 2. BATHROOMS, GARAGES, LAUNDRY OR UTILITY ROOMS MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR. 3. BEDROOMS, LIVING ROOMS, FAMILY ROOMS, AND OTHER ROOMS USED FOR LIVING AND SLEEPING

MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, OR AN OCCUPANT SENSOR, OR DIMMERS 4. EXTERIOR LIGHTING MUST BE FLUORESCENT OR HIGH EFFICACY, OR AN OCCUPANT SENSOR WITH AN INTEGRAL PHOTO CONTROL MAY BE INSTALLED

ACCESSIBLE NOTES

ELECTRICAL RECEPTABLE, SWITCH AND CONTROL HEIGHTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTABCLE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR.

CAL GREEN NOTES

FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUB-PANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH

CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT

PROTECTIVE DEVICE.

WATER HEATER.

HVAC NOTES EFFICIENCIES OF HVAC EQUIPMENT: CENTRAL FURNACE 81% AFUE. 14.0 SEER

GAS WATER HEATER NOTES

NEW GAS WATER HEATERS SHALL HAVE ALL THE FOLLOWING AS PER 2022 ENERGY STANDARDS

DUCT INSULATION: R-6.0 INDOOR AIR QUALITY AND MECHANICAL VENTILATION: WHOLE HOUSE EXHAUST FAN: 135 CFM

1. `A DEDICATED 20-AMP. ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRICAL PANEL WITH A 120-240 VOLT 3 CONDUCTOR, 10 AWG. BRANCH CIRCUIT WITHIN 3 FEET OF 2. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE AND

HEATER FOR NATURAL DRAINING. 4. A GAS SUPPLY LINE WITH CAPACITY OF AT LEAST 200,000 BTU/HR. INSTANEOUS WATER HEATERS WITH AN INPUT RATING GREATER THAN 6.8 KTBTU/HR (2KW) SHALL MEET THE REQUIREMENTS OF SECTION 110.3(C)7.

3. A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE ON WATER

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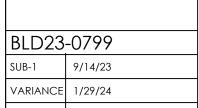
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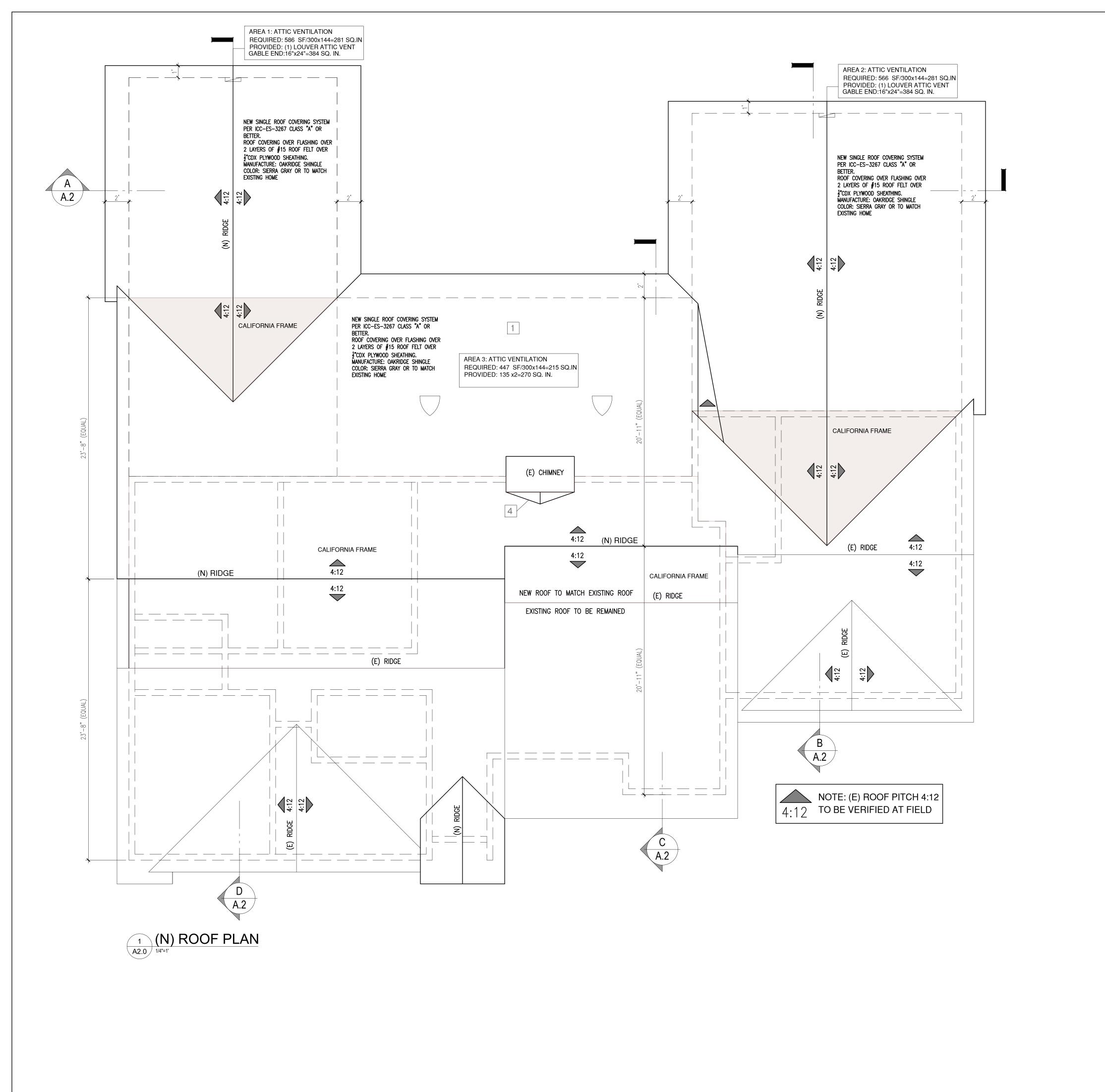
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ROOF NOTES

- INSTALL ROOFING PER MANUFACTURER SPEC'S. VERIFY REQUIREMENTS FOR WIND TABS WITH MANUF. SPEC'S. AND LOCAL BUILDING DEPT.
- PROVIDE A VAPOR BARRIER NOT EXCEEDING 1 PERM INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION, WHEN "ATTIC AREA/300" CALC. FORMULA IS USED.
- PROVIDE 1/4" CORROSION RESISTANT METAL MESH AT ATTIC VENTS, PER CBC SECTION 1505.3
- PROVIDE OPENING TO "CALIFORNIA ROOFED" AREA AS REQUIRED BY THE CBC. FOR ACCESS AND/OR VENTILATION. SEE STRUC. ENGINEERS PLANS/DETAIL FOR BLOCKED OPEINGS, AS REQUIRED.
- IT IS EXCLUSIVELY THE DEVELOPER'S REPONSIBILITY TO VERIFY, APPROVE, AND SUPERVISE INSTALLATION OF ALL ROOFING, FLASHING, AND WEATHERPROOFING PER MANUF. SPEC'S AND THE CBC AND LOCAL CODES.
- TRUSS MANUF. TO PROVIDE BLOCK OUTS AT GABLE ENDS FOR VENTS AND RECESSED DETAILS AS OCCURS.
- 7 CALIFORNIA FRAME
- 8 DOWNSPOUTS
- 1. BUILT-UP COMPOSITION
- 2. ROOF: CLASS "A" FIRE RATED MANUF.: CERTAINTEED
- 4. BRAND: FLINTASTIC
- MODEL: GTS-FR COOL STAR 6. COLOR: WALNUT BROWN
- 7. SRI: BG 8. ICC-ES-ESR-1388
- 9. CRC#0668-081
- 10. ISR: 0.70 11. AGR: 0.59
- 12. ITE: 0.90

VENT MFR'S

DORMER AND GABLE END VENTS PLYCO FOUNDATION VENTS, INC. 12900 HICKMAN STREET WATERFORD, CA 95386

CLOAKED VENTS (WWW.OHAGINVENT.COM) O'HAGIN, INC 2661 S. GRAVENSTEIN HWY., SUITE 107 SEBASTOPOL, CA 95472

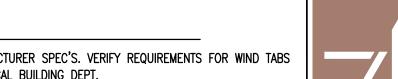




ATTIC VENT CALCULATION

PROVIDE 1 SQ. IN. OF VENTILATION PER 300 SQ. IN OF ATTIC SPACE. PROVIDE THAT 50% OF THE REQ. VENTILATION AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC, (HIGH VENTING) AT 3 FT ABOVE EAVE VENT WITH THE BALANCE BEING PROVIDED BY EAVE VENTS, (LOW VENTING) PER C.B.C. 1505.3. EXCEPTION 1.

	BUILDING
ATTIC AREA (S.F.)	1960
VENT RATIO	1/300
REQUIRED VENTILATION (SQ.IN.)	(1960x144)/300=940.8
O'HAGIN 'S' VENT	97.50 SQ. IN.
TOTAL ROOF VENTS NEEDED	940.8/97.50 = 9.6 (10)
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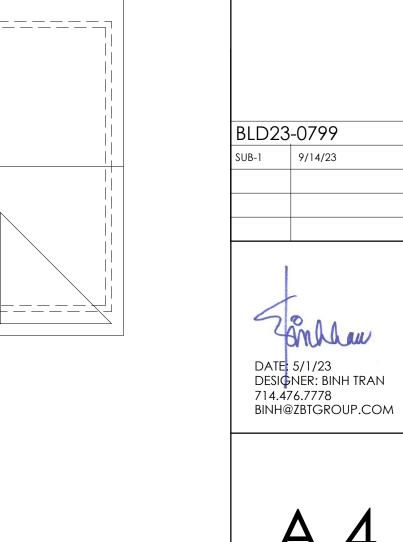
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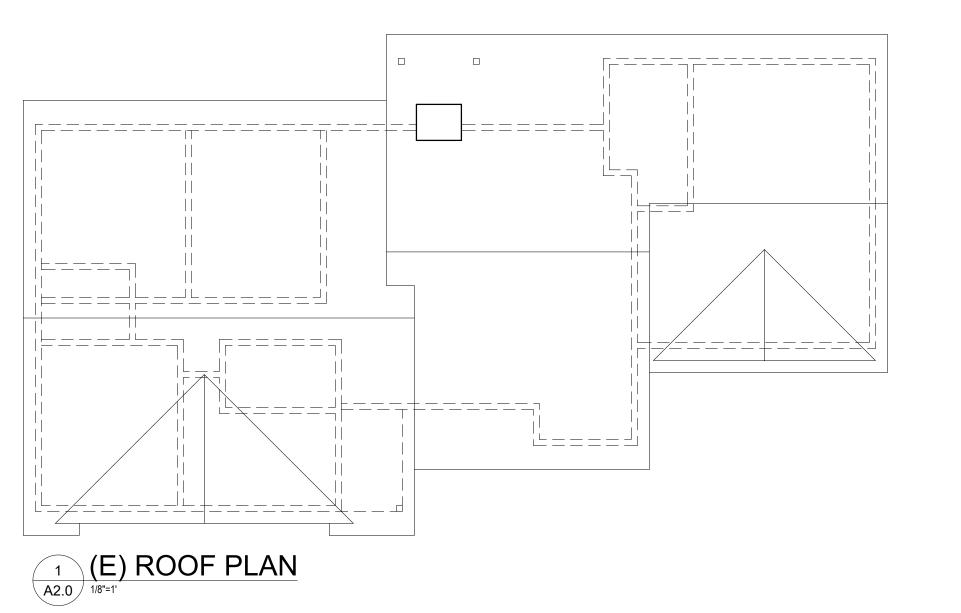
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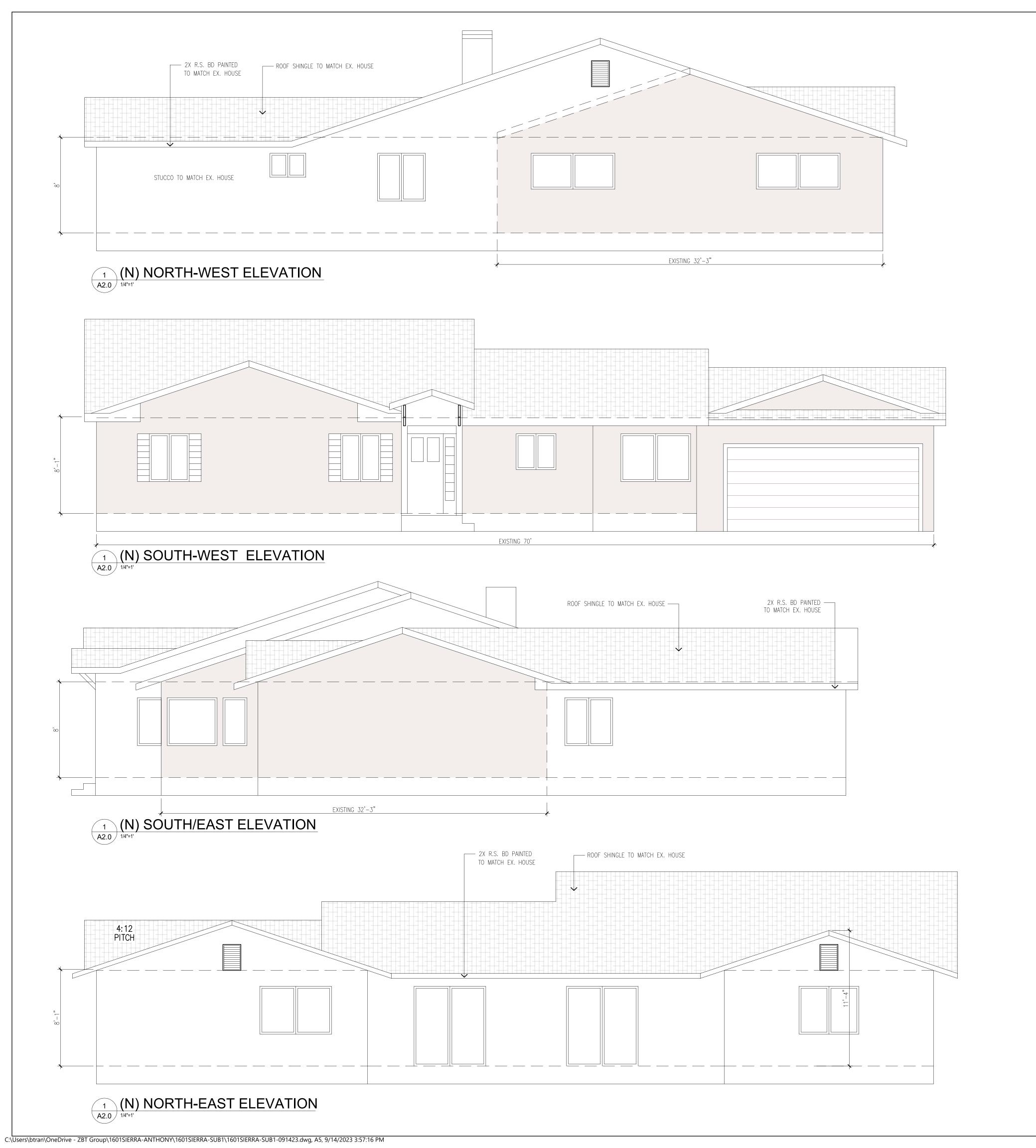
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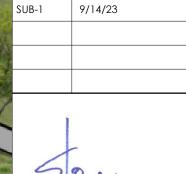
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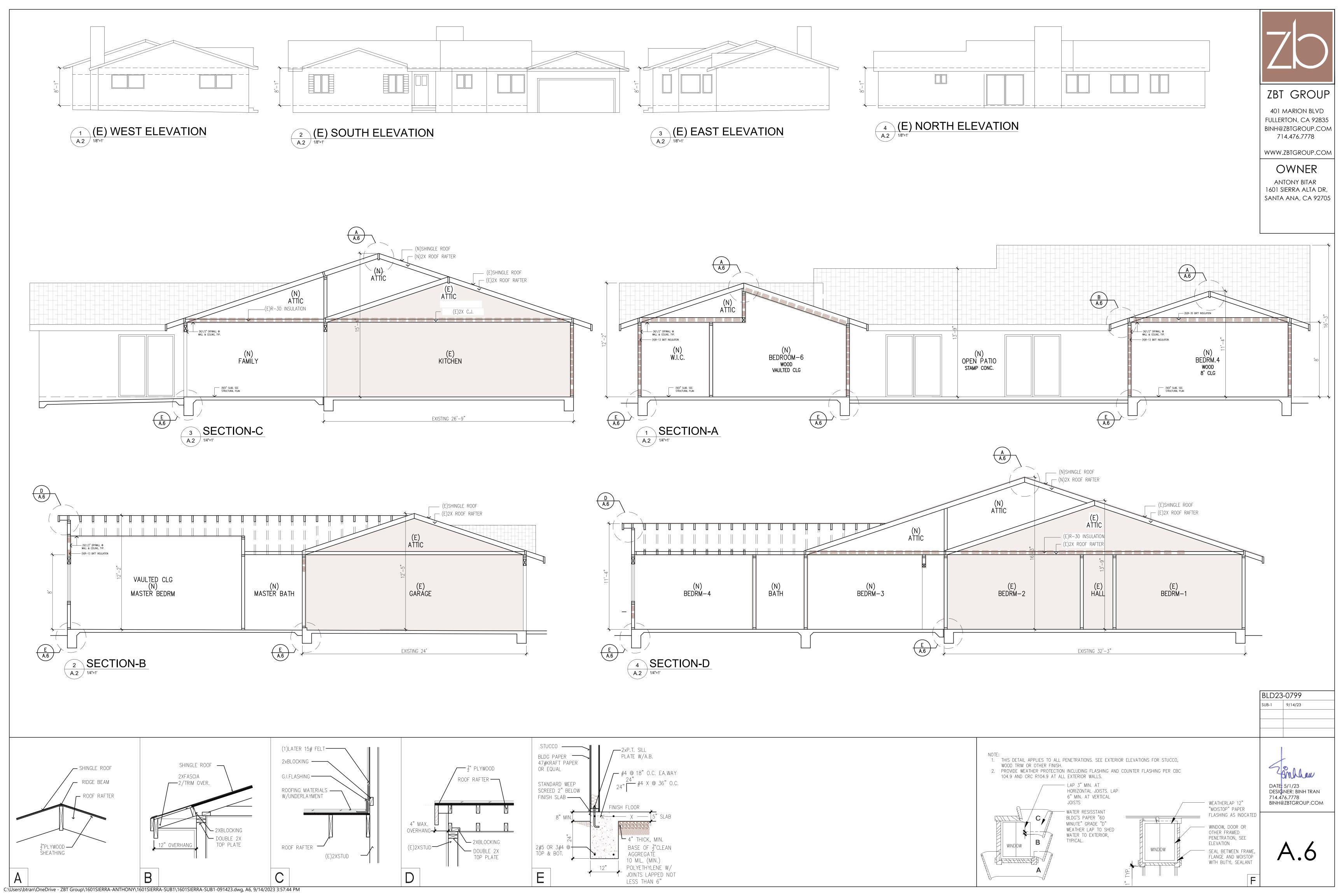
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DATE: 5/1/23 DESIGNER: BINH TRAN 714.476.7778 BINH@ZBTGROUP.COM



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood,

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.) **CHAPTER 3** installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **GREEN BUILDING** 4.304 OUTDOOR WATER USE When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.106.4.2.4 Identification 4,304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest **SECTION 301 GENERAL** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. space shall count as at least one standard automobile parking space only for the purpose of complying with any **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in 4.106.4.2.5 Electric Vehicle Ready Space Signage. applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511 the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code, Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its I. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are than 20 sleeping units or guest rooms. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to available at: https://www.water.ca.gov/ The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or specific area of the addition or alteration 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE facilities or the addition of new parking facilities serving existing multifamily buildings. See Section system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.106.4.3 for application. 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in EVs at all required EV spaces at a minimum of 40 amperes. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 DIVISION 4.2 ENERGY EFFICIENCY Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate percent of the non-hazardous construction and demolition waste in accordance with either Section 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1. 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste 4.201 GENERAL et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy other important enactment dates. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable Commission will continue to adopt mandatory standards. spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, high-rise buildings, no banner will be used. 3. The enforcing agency may make exceptions to the requirements of this section when isolated iobsites are located in areas beyond the haul boundaries of the diversion facility. b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging o SECTION 302 MIXED OCCUPANCY BUILDINGS Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan EV chargers are installed for use. plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil necessary and shall be available during construction for examination by the enforcing agency. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential shall comply with the specific green building measures applicable to each specific occupancy. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per Identify the construction and demolition waste materials to be diverted from disposal by recycling, buildings affected and other important enactment dates. dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per comply with Chapter 4 and Appendix A4, as applicable. Specify if construction and demolition waste materials will be sorted on-site (source separated) or Exception: Areas of parking facilities served by parking lifts. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense bulk mixed (single stream). Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Specification for Tank-type Toilets. . Identify diversion facilities where the construction and demolition waste material collected will be 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Chapter 4 and Appendix A4, as applicable. sleeping units or guest rooms. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to DIVISION 4.1 PLANNING AND DESIGN of two reduced flushes and one full flush. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated **ABBREVIATION DEFINITIONS:** 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. by weight or volume, but not by both. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical Division of the State Architect. Structural Safety 4.303.1.3 Showerheads. enforcing agency, which can provide verifiable documentation that the percentage of construction and OSHPD Office of Statewide Health Planning and Development system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all demolition waste material diverted from the landfill complies with Section 4.408.1 EVs at all required EV spaces at a minimum of 40 amperes. Low Rise 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 High Rise gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations WaterSense Specification for Showerheads. materials will be diverted by a waste management company. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined **CHAPTER 4** Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only lbs./sq.ft, of the building area shall meet the minimum 65% construction waste reduction requirement in RESIDENTIAL MANDATORY MEASURES reduced by a number equal to the number of EV chargers installed over the five (5) percent required. allow one shower outlet to be in operation at a time. Section 4.408.1 Note: A hand-held shower shall be considered a showerhead. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds SECTION 4.102 DEFINITIONS a. Construction documents shall show locations of future EV spaces. 4.303.1.4 Faucets per square foot of the building area, shall meet the minimum 65% construction waste reduction 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging o 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall EV chargers are installed for use. not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar not be less than 0.8 gallons per minute at 20 psi. compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. 1. Sample forms found in "A Guide to the California Green Building Standards Code Exception: Areas of parking facilities served by parking lifts. used for perimeter and inlet controls. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver documenting compliance with this section. 4.106 SITE DEVELOPMENT 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. more than 0.2 gallons per cycle. 2. Mixed construction and demolition debris (C & D) processors can be located at the California 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking Department of Resources Recycling and Recovery (CalRecycle). and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, area and shall be available for use by all residents or guests. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. 4.410 BUILDING MAINTENANCE AND OPERATION per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less an automatic load management system (ALMS) may be used to reduce the maximum required electrical minute at 60 psi. disc, web-based reference or other media acceptable to the enforcing agency which includes all of the than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers following shall be placed in the building: or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) Note: Where complying faucets are unavailable, aerators or other means may be used to achieve during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall 1. Directions to the owner or occupant that the manual shall remain with the building throughout the property, prevent erosion and retain soil runoff on the site. have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical life cycle of the structure. capacity to the required EV capable spaces. 4.303.1.4.5 Pre-rinse spray valves. 2. Operation and maintenance instructions for the following: 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Equipment and appliances, including water-saving devices and systems, HVAC systems, 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 photovoltaic systems, electric vehicle chargers, water-heating systems and other major disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 (d)(7) and shall be equipped with an integral automatic shutoff. appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. 3. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels FOR REFERENCE ONLY: The following table and code section have been reprinted from the California c. Space conditioning systems, including condensers and air filters. shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section Landscape irrigation systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or e. Water reuse systems. are part of a larger common plan of development which in total disturbs one acre or more of soil. Information from local utility, water and waste recovery providers on methods to further reduce 4.106.4.2.2.1.1 Location. resource consumption, including recycle programs and locations. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) EVCS shall comply with at least one of the following options: TABLE H-2 4. Public transportation and/or carpool options available in the area 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will The charging space shall be located adjacent to an accessible parking space meeting the requirements of and what methods an occupant may use to maintain the relative humidity level in that range. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY 6. Information about water-conserving landscape and irrigation design and controllers which conserve water include, but are not limited to, the following: VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 2. The charging space shall be located on an accessible route, as defined in the California Building Code, Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 Chapter 2, to the building. feet away from the foundation. Water collection and disposal systems PRODUCT CLASS 8. Information on required routine maintenance measures, including, but not limited to, caulking, MAXIMUM FLOW RATE (gpm) Exception: Electric vehicle charging stations designed and constructed in compliance with the California French drains [spray force in ounce force (ozf)] painting, grading around the building, etc. Water retention gardens Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section Information about state solar energy and incentive programs available. 5. Other water measures which keep surface water away from buildings and aid in groundwater 10. A copy of all special inspections verifications required by the enforcing agency or this code. Product Class 1 (≤ 5.0 ozf) 1.00 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. space around residential structures. **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: Product Class 2 (> 5.0 ozf and \leq 8.0 ozf) 1.20 12. Information and/or drawings identifying the location of grab bar reinforcements. Product Class 3 (> 8.0 ozf) 4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections The minimum length of each EV space shall be 18 feet (5486 mm). 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial ordinance, if more restrictive. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in local utility infrastructure design requirements, directly related to the implementation of Section accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.106.4.2.2.1.3 Accessible EV spaces. 4.106.4, may adversely impact the construction cost of the project. 1701.1 of the California Plumbing Code. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall DIVISION 4.5 ENVIRONMENTAL QUALITY comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready parking facilities. spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section SECTION 4.501 GENERAL THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway 4.106.4.2.3 EV space requirements. TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main 1.Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall FIXTURE TYPE FLOW RATE **SECTION 4.502 DEFINITIONS** proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close 5.102.1 DEFINITIONS concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI The following terms are defined in Chapter 2 (and are included here for reference) 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device overcurrent protective device. AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. LAVATORY FAUCETS (RESIDENTIAL) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and LAVATORY FAUCETS IN COMMON & PUBLIC accordance with the California Electrical Code. installed in close proximity to the location or the proposed location of the EV space, at the time of original 0.5 GPM @ 60 PSI

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construction in accordance with the California Electrical Code.

concealed areas and spaces shall be installed at the time of original construction.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

location shall be permanently and visibly marked as "EV CAPABLE".

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protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

USE AREAS

KITCHEN FAUCETS

METERING FAUCETS

WATER CLOSET

URINALS

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH



California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

VOC LIMIT

50

100

150



MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700

MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.

PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).

REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere

VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain ydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves. pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to educe the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.

4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below.
- Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.

4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

 Manufacturer's product specification. 2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT _{1,2} (Less Water and Less Exempt Compounds in Grams per Liter)				
ARCHITECTURAL APPLICATIONS	VOC LIMIT			
INDOOR CARPET ADHESIVES	50			
CARPET PAD ADHESIVES	50			
OUTDOOR CARPET ADHESIVES	150			
WOOD FLOORING ADHESIVES	100			
RUBBER FLOOR ADHESIVES	60			
SUBFLOOR ADHESIVES	50			
CERAMIC TILE ADHESIVES	65			
VCT & ASPHALT TILE ADHESIVES	50			
DRYWALL & PANEL ADHESIVES	50			
COVE BASE ADHESIVES	50			
MULTIPURPOSE CONSTRUCTION ADHESIVE	70			
STRUCTURAL GLAZING ADHESIVES	100			
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250			
OTHER ADHESIVES NOT LISTED	50			
SPECIALTY APPLICATIONS				
PVC WELDING	510			
CPVC WELDING	490			
ABS WELDING	325			
PLASTIC CEMENT WELDING	250			
ADHESIVE PRIMER FOR PLASTIC	550			
CONTACT ADHESIVE	80			
SPECIAL PURPOSE CONTACT ADHESIVE	250			
STRUCTURAL WOOD MEMBER ADHESIVE	140			
TOP & TRIM ADHESIVE	250			
SUBSTRATE SPECIFIC APPLICATIONS				
METAL TO METAL	30			
PLASTIC FOAMS	50			
POROUS MATERIAL (EXCEPT WOOD)	50			
WOOD	30			
FIBERGLASS	80			

 IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, 	
THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.	

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE. SEE SOUTH COAST AIR **QUALITY MANAGEMENT DISTRICT RULE 1168**

(Less Water and Less Exempt Compounds in Grams per Liter)		
SEALANTS	VOC LIMIT	
RCHITECTURAL	250	
MARINE DECK	760	
NONMEMBRANE ROOF	300	
ROADWAY	250	
SINGLE-PLY ROOF MEMBRANE	450	
OTHER	420	
SEALANT PRIMERS		
ARCHITECTURAL		
NON-POROUS	250	
POROUS	775	
MODIFIED BITUMINOUS	500	
MARINE DECK	760	
OTHER	750	

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2.3

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

NON-FLAT COATINGS

SPECIALTY COATINGS

NONFLAT-HIGH GLOSS COATINGS

ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

ZINC-RICH PRIMERS	340		
1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS			
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.			
3. VALUES IN THIS TABLE ARE DERIVED FROM	I THOSE SPECIFIED BY		

THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS

SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS

AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS ₁	
MAXIMUM FORMALDEHYDE EMISSIONS IN PA	RTS PER MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13
1. VALUES IN THIS TABLE ARE DERIVED FROM	M THOSE SPECIFIED

BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)

4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

- Product certifications and specifications.
- Chain of custody certifications.

by or before the dates specified in those sections, as shown in Table 4.504.5

- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR. Title 17, Section 93120, et sea.).
- Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding. shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code
- 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end 3. At least three random moisture readings shall be performed on wall and floor framing with documentation
- acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to

enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST **4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the

- Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),
- ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are

CHAPTER 7

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

NOT APPLICABLE
RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,
OWNER, CONTRACTOR, INSPECTOR ETC.)

- State certified apprenticeship programs.
- 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

- Certification by a national or regional green building program or standard publisher. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

considered by the enforcing agency when evaluating the qualifications of a special inspector:

. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



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