



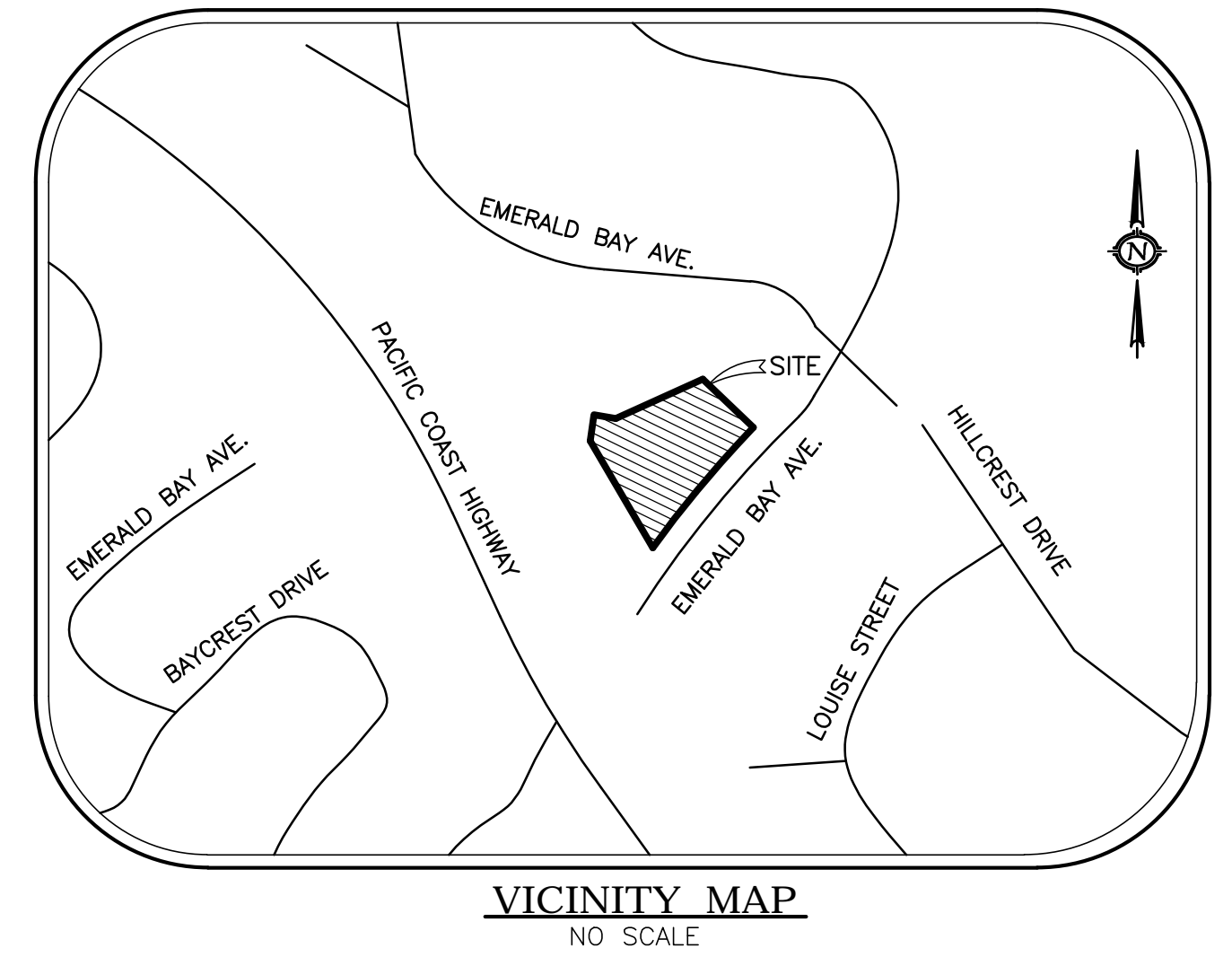
LEGEND	
—	BLOCK WALL
—	CHAIN LINK FENCE (CLF)
—	WOODEN FENCE (WDF)
AC	ASPHALT PAVEMENT
ACU	AIR CONDITIONING UNIT
C	CENTERLINE
CATV	CABLE TV BOX
CLF	CHAIN LINK FENCE
EG	EDGE OF GUTTER
ELP	ELECTRICAL PANEL
EP	EDGE OF PAVEMENT
EMH	ELECTRICAL MANHOLE
EPB	ELECTRICAL PULL BOX
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FS	FINISHED SURFACE
GM	GAS METER
MH	MANHOLE
NG	NATURAL GROUND
PA	PLANTER AREA
PC	PALM TREE CLUSTER
PEQ	POOL EQUIPMENT
SL	STREET LIGHT
TBX	TELEPHONE BOX
TC	TOP OF CURB
TMH	TELEPHONE MANHOLE
TPB	TELEPHONE PULLBOX
TS	TOP OF STEP
TW	TOP OF WALL
WV	WATER VALVE
( )	EXISTING ELEVATION
( )	SEARCHED, FOUND NOTHING; SET NOTHING
TBM	TEMPORARY BENCHMARK SET ON A TELEPHONE MANHOLE (TMH) ELEVATION = 90.93 FEET

- EASEMENTS**
- ITEM 7: A 3' WIDE EASEMENT GRANTED TO ASSOCIATED TELEPHONE COMPANY, LTD. ITS SUCCESSORS AND ASSIGNS FOR THE MAINTENANCE OF A TELEPHONE LINE, WIRES, CONDUITS, AND RIGHTS INCIDENTAL THERETO, RECORDED OCTOBER 8, 1940 AS BOOK 1058, PAGE 446 OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 8: A 3' WIDE EASEMENT GRANTED TO TEL-CLEAR SYSTEMS, INC. FOR TELEVISION AERIAL WIRES AND RIGHTS INCIDENTAL THERETO, RECORDED JUNE 20, 1955 AS BOOK 3109, PAGE 420, OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 9: A 3' WIDE EASEMENT GRANTED TO LAGUNA BEACH COUNTY WATER DISTRICT FOR WATER DISTRIBUTION AND RIGHTS INCIDENTAL THERETO, RECORDED OCTOBER 19, 1956 AS BOOK 3668, PAGE 321, OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 10: A 3' WIDE EASEMENT GRANTED TO EMERALD BAY SERVICE DISTRICT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, RECORDED MARCH 15, 1971 AS BOOK 9871, PAGE 687, OF OFFICIAL RECORDS. (PLOTTED HEREON)

- EASEMENTS**
- ITEM 11: AN EASEMENT GRANTED TO GENERAL TELEPHONE COMPANY OF CALIFORNIA, A CORPORATION, FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO RECORDED NOVEMBER 11, 1971 AS BOOK 9884, PAGE 779 OF OFFICIAL RECORDS. (PLOTTED HEREON)
- ITEM 12: A 3' WIDE EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO, RECORDED MARCH 14, 1973 AS BOOK 10593, PAGE 385, OF OFFICIAL RECORDS. (NOT PLOTTED - DOCUMENT NOT PROVIDED)
- ITEM A: A 4' WIDE UTILITY EASEMENT PER TRACT NO. 977, M.M. 31/33-35 (PLOTTED HEREON)
- ITEM B: AN 8' WIDE UTILITY EASEMENT PER TRACT NO. 977, M.M. 31/33-35 (PLOTTED HEREON)
- ITEM C: EASEMENTS OF VARIOUS WIDTHS FOR PUBLIC UTILITY AND DRIVEWAY USE AND BENEFIT OF OWNERS OF LOTS 1 THROUGH 14 PER TRACT NO. 977, M.M. 31/33-35 (PLOTTED HEREON)

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHWEST PROPERTY LINE OF LOT 6 HAVING A BEARING OF N30°20'00"W PER TRACT NO. 977, M.M. 31/33-35.

**BENCHMARK INFORMATION**  
BENCHMARK NO. NB3-17-77  
DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB3-1777". SET IN THE TOP OF A CONCRETE BRIDGE ABUTMENT. MONUMENT IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF VIA LIDO AND THE WEST LIDO CHANNEL, 22.3 FT. SOUTHERLY OF THE CENTERLINE OF VIA LIDO AND 0.35 MILES SOUTHEASTERLY OF NEWPORT BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.  
ELEVATION: 24.503 FEET (NAVD88), YEAR LEVELED 2015  
THE ELEVATIONS SHOWN HEREON WERE OBTAINED FROM A MAP TITLED "CITY OF LAGUNA BEACH, CALIFORNIA DEPARTMENT OF PUBLIC WORKS - ENGINEERING DIVISION TOPOGRAPHICAL MAP OF THE CITY OF LAGUNA BEACH" PREPARED BY PACIFIC AIR INDUSTRIES, DATED 10/03/1960.  
SAID ELEVATIONS ARE 1.34 FEET HIGHER THAN OCS VERTICAL CONTROL BENCHMARK NO. NB3-17-77.



**LAND AREA**  
PARCEL 1:  
8,467.62 SQUARE FEET  
0.194 ACRES  
PARCEL 2:  
5,907.65 SQUARE FEET  
0.136 ACRES

**TITLE REPORT/EASEMENT NOTES**

211 EMERALD BAY  
LAGUNA BEACH, CA 92651  
(APN: 053-073-41)

TITLE REPORT PROVIDED BY:  
CHICAGO TITLE COMPANY  
ORDER NUMBER: 58602109312-JFA  
DATED: AUGUST 23, 2021

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:  
PARCEL 1:

BEING THOSE PORTIONS OF LOTS 6, 7, AND 8 OF TRACT NO. 977, SUBDIVISION "G" OF EMERALD BAY, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA, PER MAP FILED IN BOOK 31, PAGES 33, 34, AND 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF LOT 6; THENCE, NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 6, NORTH 30°20'00" WEST, 88.95 FEET;

THENCE LEAVING SAID SOUTHWESTERLY LINE OF LOT 6, NORTH 01°54'46" WEST, 17.91 FEET; THENCE, NORTH 43°05'14" EAST, 51.86 FEET; THENCE, NORTH 83°42'22" EAST, 20.44 FEET; THENCE, SOUTH 47°01'07" EAST, 23.57 FEET; THENCE, NORTH 43°19'31" EAST, 4.83 FEET; THENCE, SOUTH 48°50'45" EAST, 52.56 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT 8 AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF EMERALD BAY DRIVE, (FORMERLY EAST MESA ROAD), A 50 FOOT WIDE PUBLIC ROAD, SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1175.00 FEET AND TO WHICH POINT A RADIAL LINE BEARS NORTH 48°36'15" WEST;

THENCE SOUTHWESTERLY ALONG SAID SOUTHEASTERLY LINE OF LOT 8 AND THE SOUTHEASTERLY LINE OF SAID LOTS 7 AND 6, SOUTHWESTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 110.60 FEET, THROUGH A CENTRAL ANGLE OF 05°23'35" TO THE MOST SOUTHERLY CORNER OF SAID LOT 6 AND THE POINT OF BEGINNING.

PARCEL 2:  
BEING THOSE PORTIONS OF LOTS 6, 7, AND 8 OF TRACT NO. 977, SUBDIVISION "G" OF EMERALD BAY, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA PER MAP FILED IN BOOK 31, PAGES 33, 34, AND 35 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 6; THENCE, NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 6, NORTH 30°20'00" WEST, 88.95 FEET TO THE TRUE POINT OF BEGINNING;

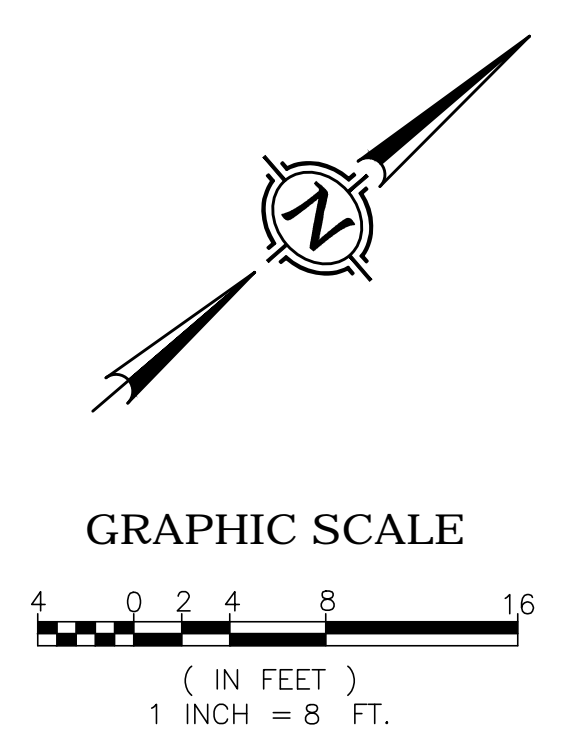
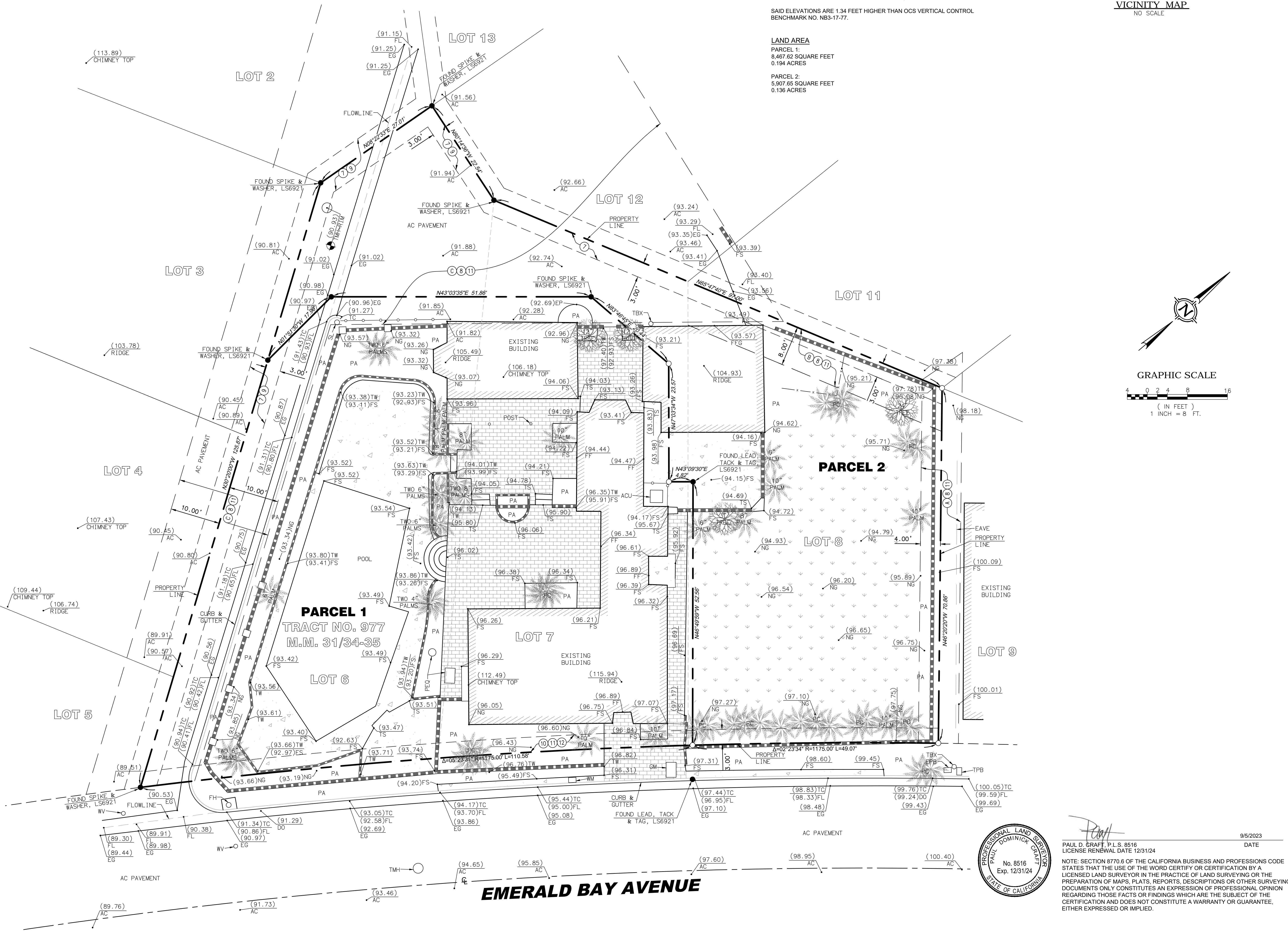
THENCE LEAVING SAID SOUTHWESTERLY LINE, NORTH 01°54'46" EAST, 17.91 FEET; THENCE, NORTH 43°05'14" EAST, 51.86 FEET; THENCE, SOUTH 83°42'22" EAST, 20.44 FEET; THENCE, SOUTH 47°01'07" EAST, 23.57 FEET; THENCE, NORTH 43°19'31" EAST, 4.83 FEET; THENCE, SOUTH 48°50'45" EAST, 52.56 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF SAID LOT 8 AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF EMERALD BAY DRIVE (FORMERLY EAST MESA ROAD), A 50 FOOT WIDE PUBLIC ROAD, SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1175.00 FEET AND TO WHICH, A RADIAL LINE BEARS NORTH 48°36'15" WEST;

THENCE, NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE OF LOT 8, AND SAID CURVE, AN ARC DISTANCE OF 49.08 FEET, THROUGH A CENTRAL ANGLE OF 02°23'38" TO THE MOST EASTERLY CORNER OF SAID LOT 8; THENCE ALONG THE NORTHEASTERLY LINE OF SAID LOT 8, NORTH 46°24'20" WEST, 70.88 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 8;

THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 8 AND THE NORTHWESTERLY LINE OF SAID LOT 7, SOUTH 65°47'40" WEST, 97.00 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 7; THENCE ALONG THE NORTHERLY, NORTHWESTERLY AND SOUTHWESTERLY LINES OF SAID LOT 6, THE FOLLOWING THREE (3) COURSES:

- NORTH 80°12'30" WEST, 22.45 FEET;
- SOUTH 08°29'00" WEST, 26.99 FEET;
- SOUTH 30°20'00" EAST, 36.92 FEET TO THE TRUE POINT OF BEGINNING.

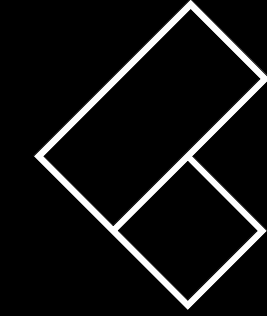
SAID ABOVE LEGAL DESCRIPTION IS ALSO DESCRIBED AS PARCEL 1 AND PARCEL 2, PURSUANT TO APPLICATION FOR LOT LINE ADJUSTMENT RECORDED NOVEMBER 20, 2019, AS INSTRUMENT NO. 2019-484003.



PAUL D. DRAFT, P.L.S. 8516  
LICENSE RENEWAL DATE 12/31/24  
DATE: 9/5/2023

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

PROJECT SURVEYOR		DATE		SCALE		DRAWN		CHECKED		P. D. C.	
APEX LAND SURVEYING INC.		8/3/2021		1" = 8'		A. R. H.		P.			
TOPOGRAPHIC MAP											
211 EMERALD BAY LAGUNA BEACH, CA 92651 (APN: 053-073-41)											
SHEET TITLE											
SHEET NO. 1 OF 1											



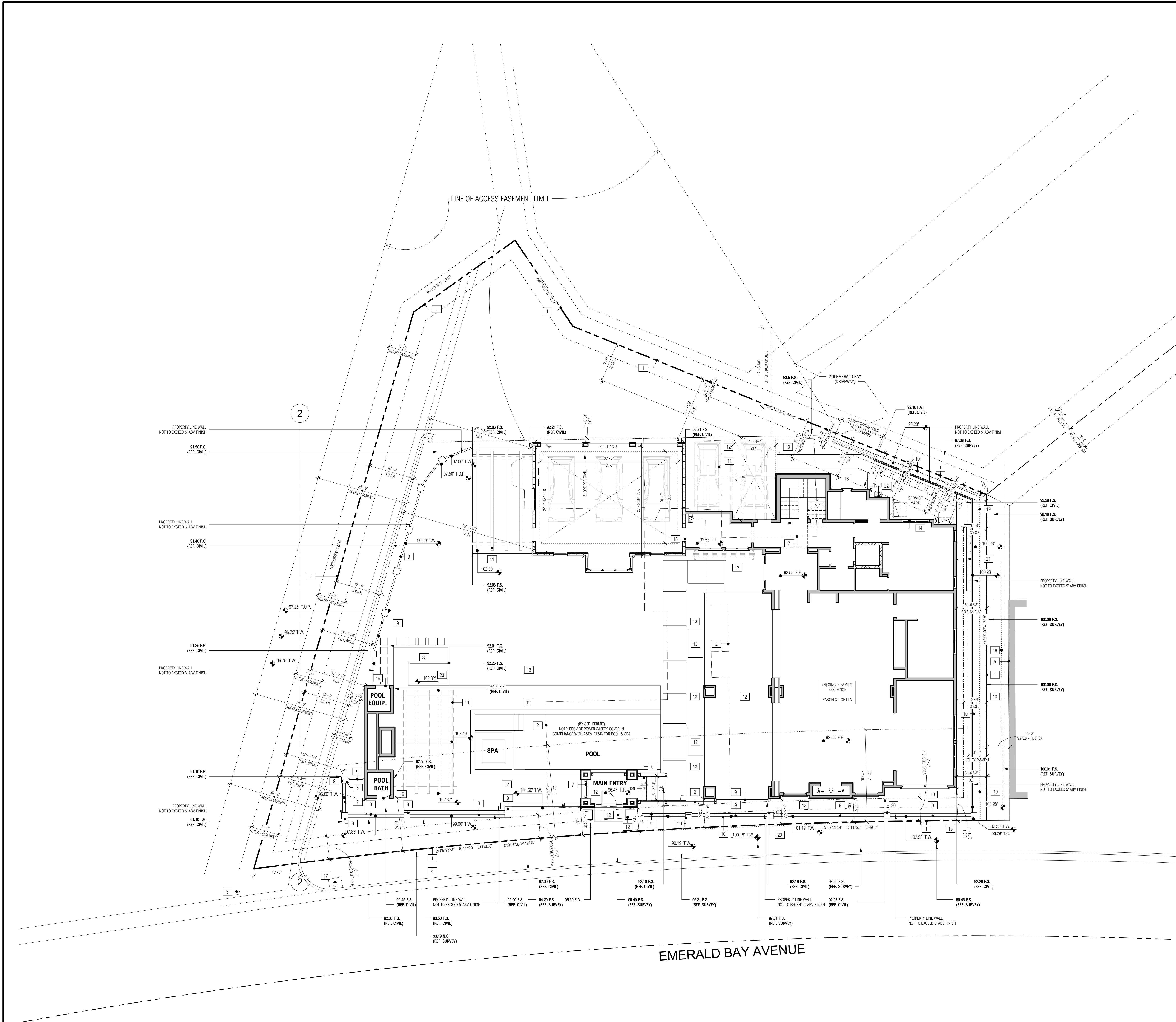
**BRANDON ARCHITECTS**  
 151 KALMUS DRIVE, SUITE G-1  
 COSTA MESA, CA 92626  
 714.754.4040  
 WWW.BRANDONARCHITECTS.COM

**PROJECT STATUS**  
 COUNTY SUBMITTAL

**PLAN CHECK NO.**  
 PK623-0110

**PROJECT CONTACT**  
 BRANDON LINDSAY, AIA, NCARB

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**DIMENSION NOTE:**  
 ALL SITE PLAN DIMENSIONS ARE TO FACE OF FINISHER (EXT. WALLS). TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTES DIMENSIONS. DO NOT SCALE PLANS.

**GENERAL NOTE:**  
 SEE SHEET A-3.0 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).

1. PROVIDE AN ALARM FOR DOORS AND WINDOWS WITH SILL HEIGHTS LESS THAN 60-INCHES ABOVE F.F. OF THE DWELLING THAT FORMS A PART OF THE POOL ENCLOSURE. THE ALARM SHALL BE LISTED AS A WATER HAZARD ENTRANCE ALARM IN ACCORDANCE WITH UL 2017. THE DEACTIVATION SWITCH SHALL BE AT LEAST 6'0" ABOVE THE FLOOR IF THE RESIDENCE IS NOT REQUIRED TO BE ACCESSIBLE. (CBC 3109 & ISPC 305.4)
2. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED WITH SUCTION ANTIENTRAPMENT GRATE IN ACCORDANCE WITH ANSI/ASPE-16 PER CBC 3109 SECTION (B) OF 11902B. SUCTION ENTAPMENT AVOIDANCE FOR POOL AND SPA SHALL BE PROVIDED IN ACCORDANCE WITH ASPE-7 PER ISPC SECTION 310.
3. PROVIDE POWER SAFETY COVER IN COMPLIANCE WITH ASTM F1346-01 FOR POOL & SPA (CBC 3109 SECTION (3) OF 11992Z & ISPC 305).
4. POOL ENCLOSURE FENCE SHALL BE 60-INCHES MIN. HIGH. FENCING MEASURED ON THE SIDE THAT FACES AWAY FROM SWIMMING POOL. W. MAX VERTICAL CLEARANCE OF 2-INCHES BETWEEN FENCING AND BOTTOM OF THE FENCE/BARRIER MEASURED ON THE SIDE OF FENCE THAT FACES AWAY FROM SWIMMING POOL. OPENING, GAP, AND VOID IN ENCLOSURE FENCE OR GATE SHALL NOT ALLOW THE PASSAGE OF 4-INCHES DIAMETER SPHERE OR LARGER. OUTSIDE SURFACE, FACING AWAY FROM SWIMMING POOL OF THE POOL ENCLOSURE INCLUDING THE GATE TO BE FREE OF PROTRUSIONS, CAVITIES, OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS WHICH COULD ENABLE A CHILD FIVE YEARS OLD OR YOUNGER TO CLIMB OVER. (CBC 3109 & ISPC 305)

**A SITE PLAN NOTES**

- | ROOM NAME | PROPERTY LINE TAG |
|-----------|-------------------|
| 10.00'    | ROOM TAG          |
| [Symbol]  | SPOT ELEVATION    |
| [Symbol]  | KEYNOTE TAG       |
| [Symbol]  | REVISION TAG      |
- RECESSED MAIN SERVICE PANEL** - 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - GC TO COORDINATE W. UTILITY COMPANY
- A/C CONDENSER / HEAT PUMP** - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED. VERIFY W. OWNER - SIZE TAG. SEE F-24 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFG. INSTRUCTION
- FIREPIT** - AS SELECTED TO BE LISTED AND APPROVED. VERIFY W. OWNER - PROVIDE POWER AND GAS AS REQUIRED - INSTALL AND MAINTAIN CLEARANCES PER MFG. AND SECTION 308 OF CPC
- VERTICAL STORM DRAIN PIPE IN-WALL / OVERFLOW** - MTL. PIPE PER CHAPTER 11 OF CPC. SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 3" DIA. PIPE) - SEE CIVIL DWGS. FOR TERMINATION DTLS. ADV. OR BLDG. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W. CIVIL PRIOR TO POURING THE CONCRETE SLAB

**B ANNOTATION LEGEND**

- 1 PROPERTY LINE
- 2 FOOTPRINT OF EXISTING STRUCTURE, TO BE REMOVED
- 3 (E) WATER VALVE - (REF. SURVEY & CIVIL DWGS.)
- 4 PARKWAY - REMOVE EXISTING PARKWAY PAVING AND PROVIDE (N) GRASS AS NEEDED
- 5 EXISTING STRUCTURE - NOT A PART
- 6 STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1005.4) REF. DTL. 3AD-1
- 7 EXTERIOR GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING. REF. DTL. 4AD-1
- 8 (N) LANDSCAPE WALL, CMU PLASTER W. STONE FINISH & PRE-CAST CONC. CAP. MAX. HT. 42". REF. CIVIL DWGS.
- 9 POOL ENCLOSURE PER CBC 3109 & ISPC 305 - SEE NOTES ON AA-0.0 FOR MORE INFO
- 10 CONCRETE RETAINING WALL UNDER SEPARATE PERMIT. REF. STRUCTURAL. PROVIDE MIRACRYL & MIRACRYL WATERPROOFING SYSTEM. (INSTALL PER MANUFACTURER'S SPECIFICATIONS) - ARCH TO APPV. SPECS PRIOR ORDER.
- 11 WOOD TRELLIS TO BE AT LEAST 50% OPEN. PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- 12 (N) LANDSCAPE - STONE PAVES (AS SELECTED). REF. LAND DWGS.
- 13 PLANTED AREA - COORDINATE WITH LANDSCAPE DESIGNER
- 14 DOOR TO MEET EGRESS REQ'D.
- 15 GARAGE FLOOR - BATED, 1.5"X8" SOLID CORE, SELF-CLOSING AND SELF-LATCHING. REF. DOOR SCHEDULE
- 16 7.34" STEP AT IN SWING DOORS (R311.3.1)
- 17 (E) FIRE HYDRANT - PROTECT IN PLACE - (REF. SURVEY & CIVIL DWGS.)
- 18 NEIGHBORING PROPERTY LINE OF ROOF, GAVES & OVERHANGS ABOVE
- 19 (E) NEIGHBORING SITE WALL AND FENCE - PROTECT IN PLACE
- 20 (N) PROPERTY LINE BRICK PLASTER, TYP. - 6" MAX. HT. ABV. N.G. ON OWNER'S SIDE & 4" MAX. HT. ABV. ADJ. T.C. WHEN LOCATED WITHIN SETBACK
- 21 DECORATIVE FOUNTAIN BY OWNER (BY SEPARATE PERMIT IF NEEDED)
- 22 MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
- 23 CONCRETE SLAB ON GRADE - REF. STRUCT.

**SLAVIK RESIDENCE**

**PROJECT ADDRESS:**  
 211 EMERALD BAY  
 LAGUNA BEACH, CA 92651

**OWNER INFORMATION:**  
 THE BRENNAN J. SLAVIK TRUST  
 4450 MACARTHUR BLVD FL 2ND  
 NEWPORT BEACH, CA 92660

**DATE**  
 04.05.2024

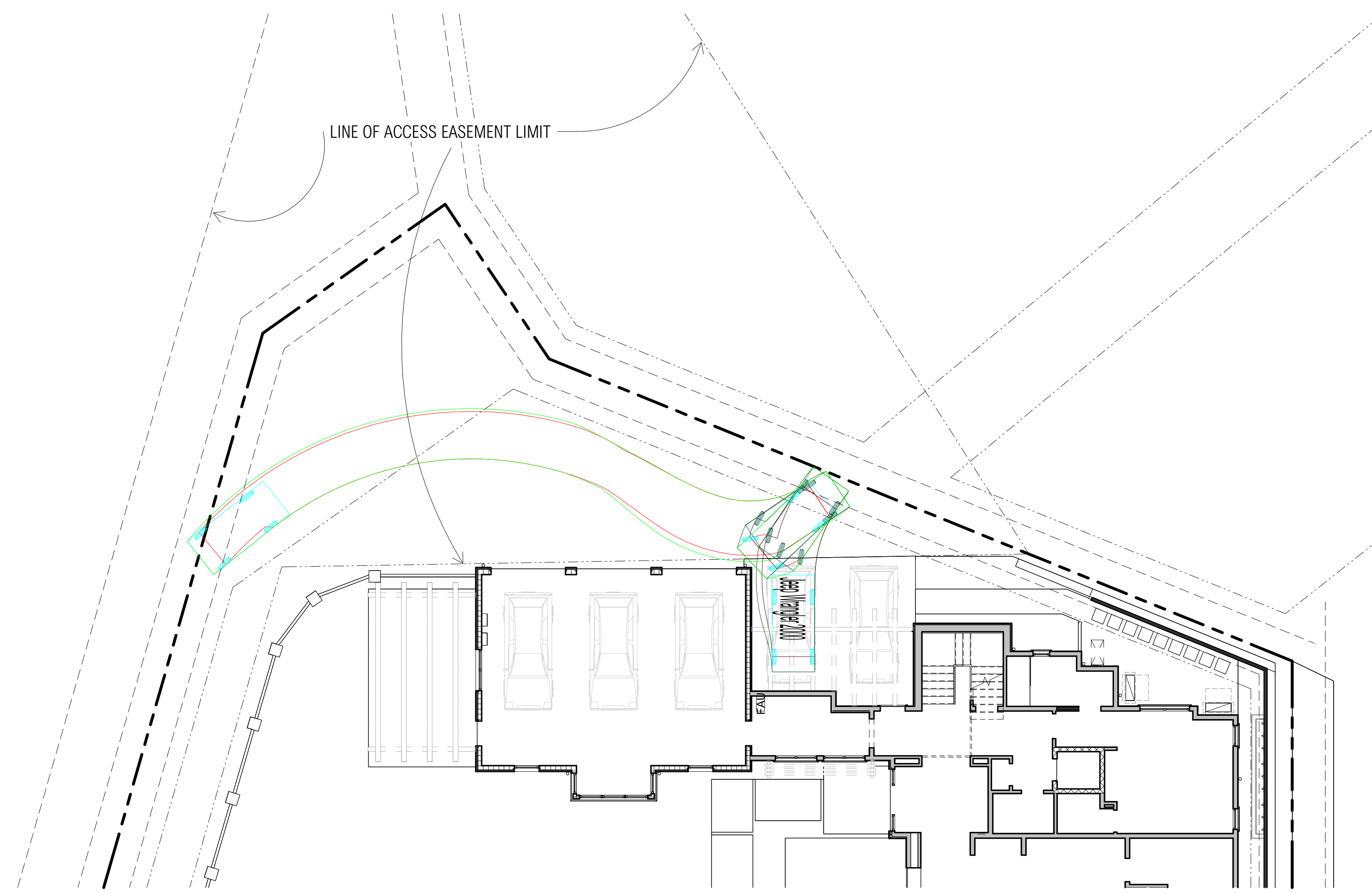
REVISIONS	NO.	REVISION	DATE

**PLANNING SITE PLAN**

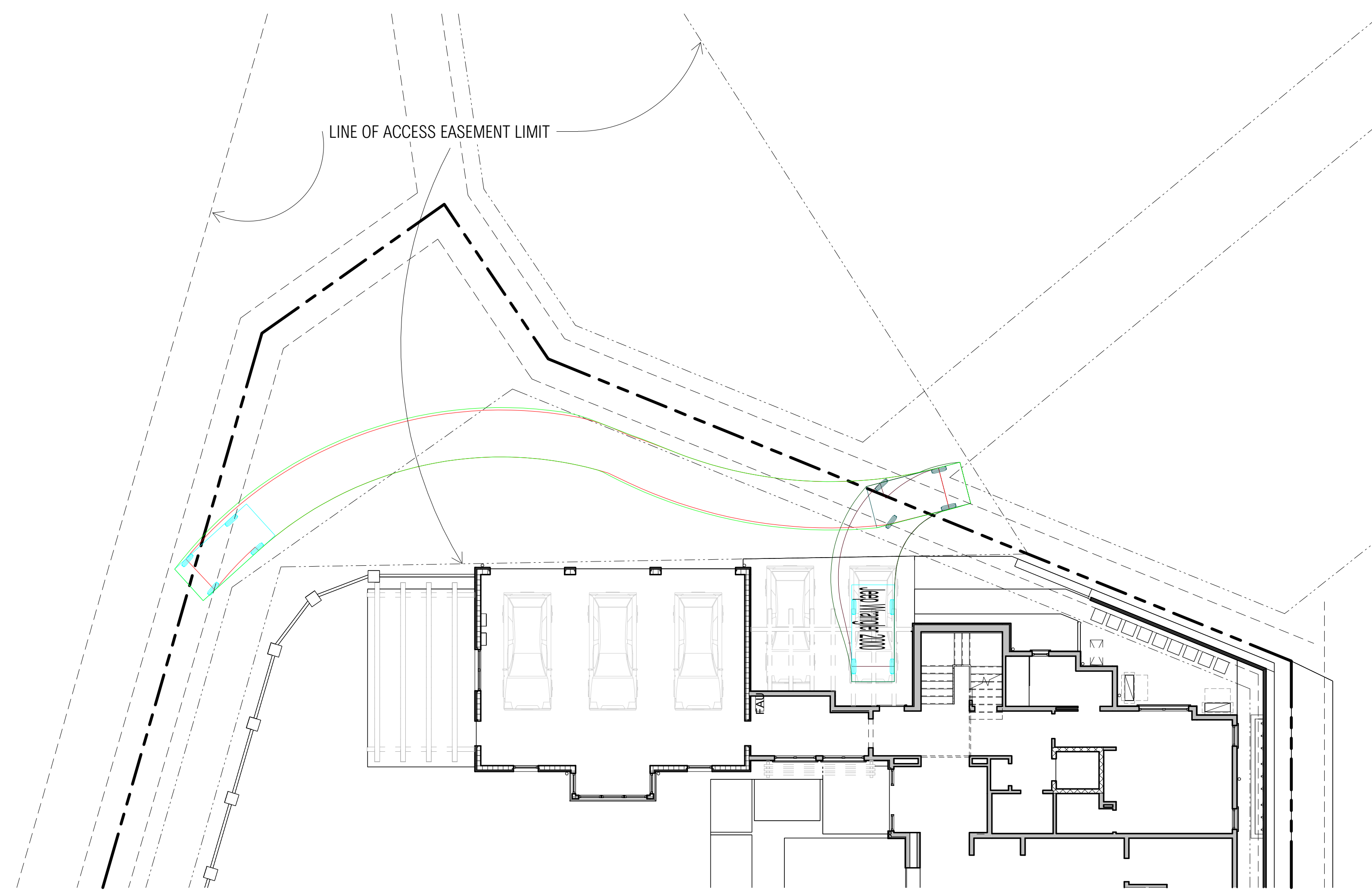
**A-0.1**

TRUE NORTH PROJECT NORTH 1 ARCHITECTURAL SITE PLAN 1/8" = 1'-0"

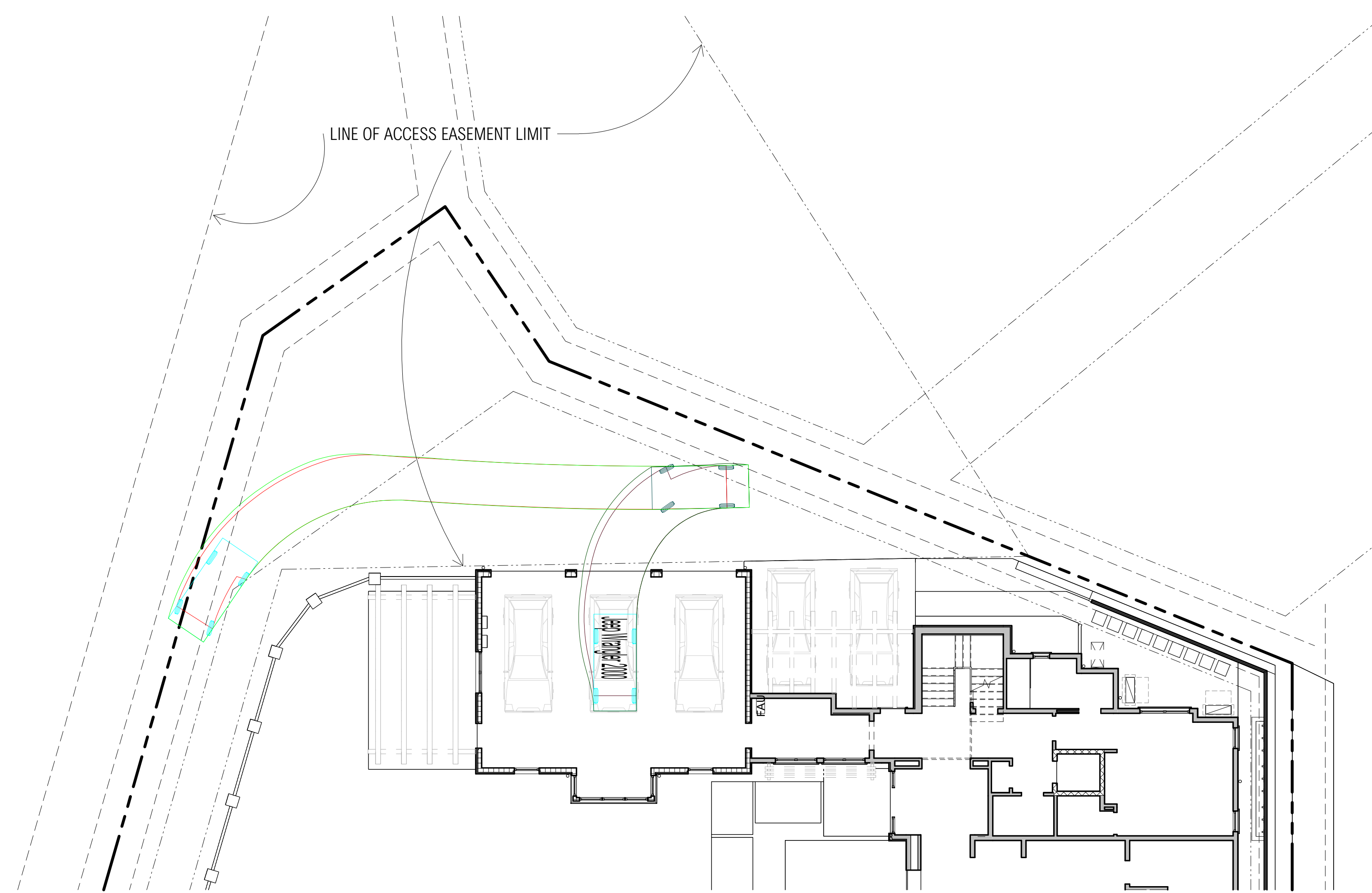
**C KEYNOTES**



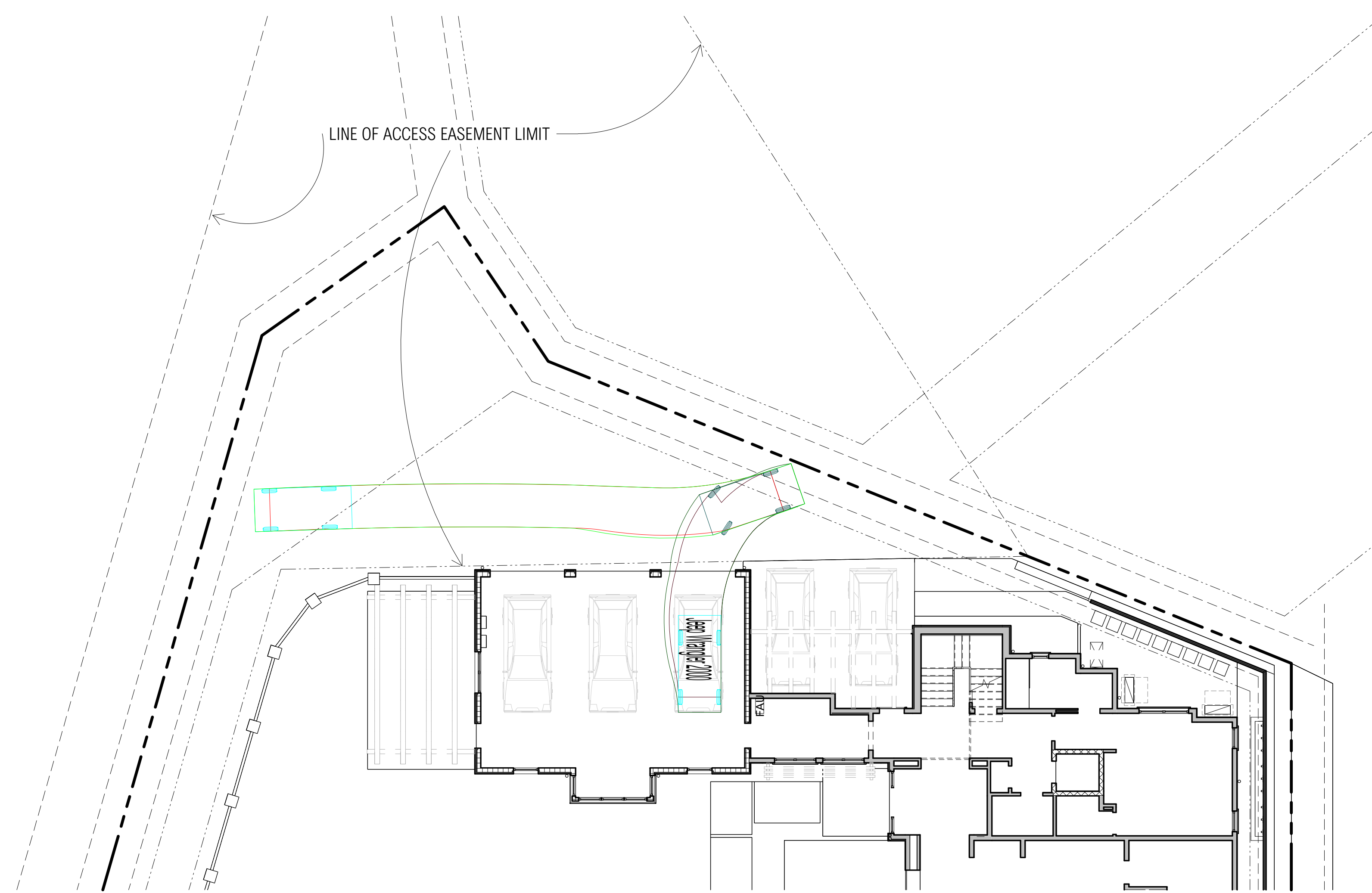
**2** VEHICLE ACCESS  
1" = 10'-0"



**1** VEHICLE ACCESS  
1" = 10'-0"



**4** VEHICLE ACCESS  
1" = 10'-0"



**3** VEHICLE ACCESS  
1" = 10'-0"

**BRANDON ARCHITECTS**  
151 KALMUS DRIVE, SUITE G-1  
COSTA MESA, CA 92626  
714.754.4040  
WWW.BRANDONARCHITECTS.COM

**PROJECT STATUS**  
COUNTY SUBMITTAL

**PLAN CHECK NO.**  
PK623-0110

**PROJECT CONTACT**  
BRANDON LINDSAY, AIA NCARB

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**SLAVIK RESIDENCE**

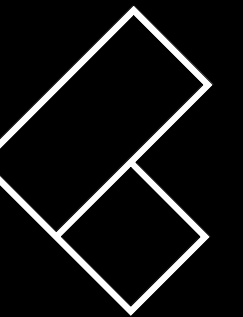
**PROJECT ADDRESS:**  
211 EMERALD BAY  
LAGUNA BEACH, CA 92651

**OWNER INFORMATION:**  
THE BRENNAN J SLAVIK TRUST  
4450 MACARTHUR BLVD FL 2ND  
NEWPORT BEACH, CA 92660

**DATE**  
04.05.2024

NO.	REVISION	DATE

**VEHICAL MANUVERING**



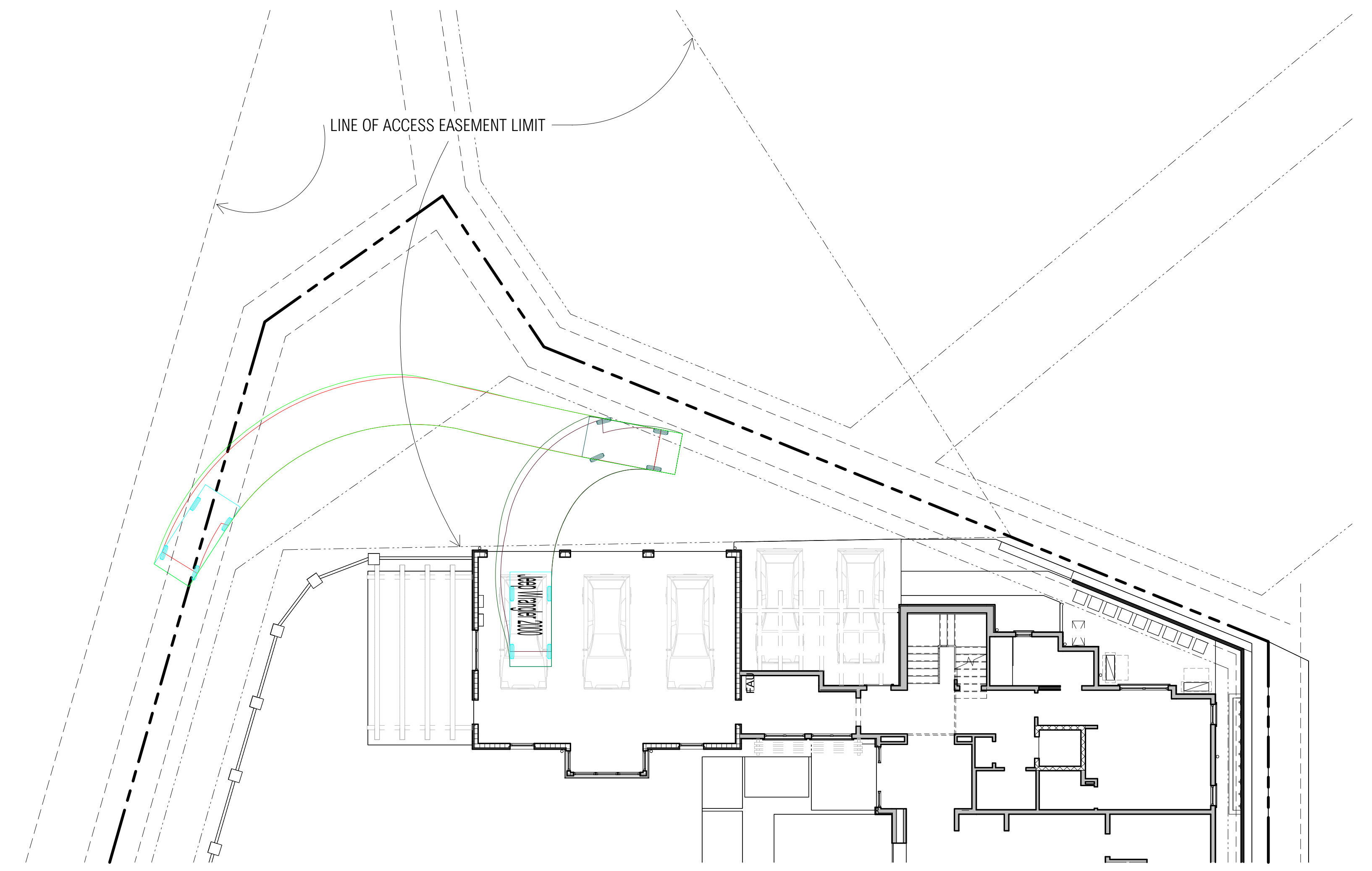
**BRANDON ARCHITECTS**  
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**1** VEHICLE ACCESS  
 1" = 10'-0"

**SLAVIK RESIDENCE**

**PROJECT ADDRESS:**  
 211 EMERALD BAY  
 LAGUNA BEACH, CA 92651

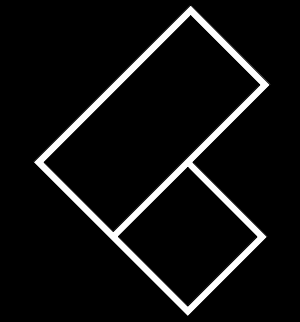
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 NEWPORT BEACH, CA 92660

**DATE**  
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**REVISIONS**

NO.	REVISION	DATE

**VEHICAL MANUVERING CONT.**



**BRANDON ARCHITECTS**

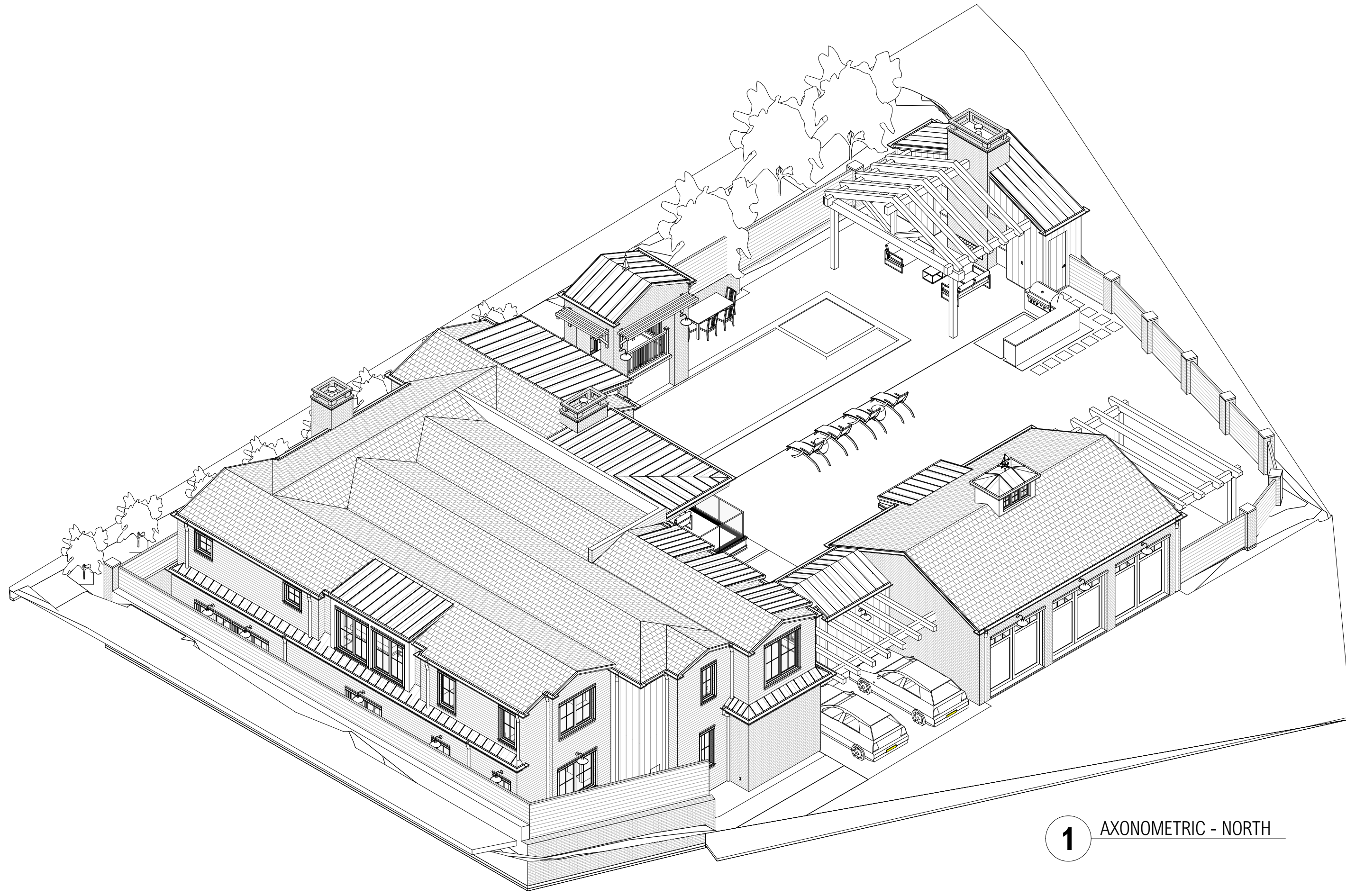
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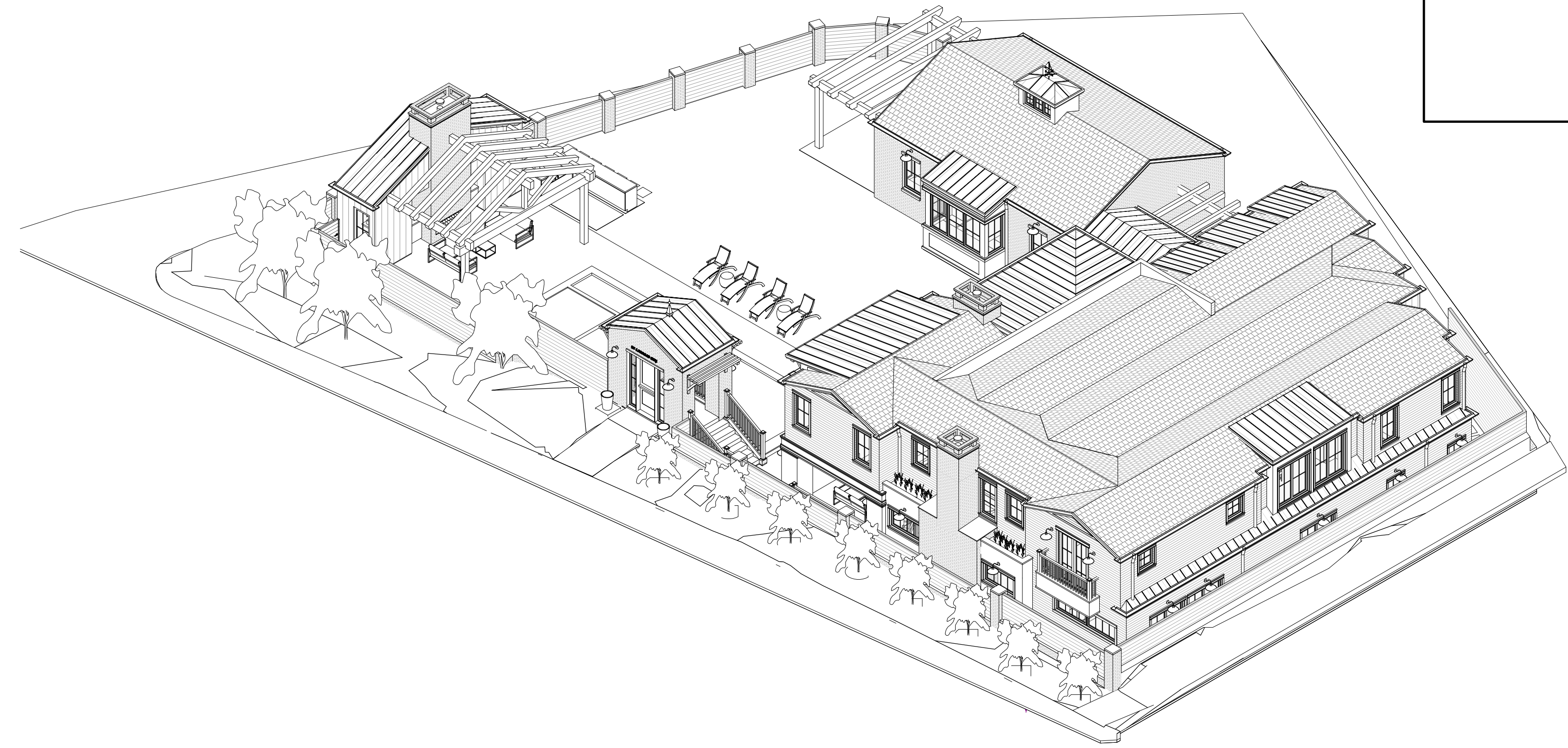
**PLAN CHECK NO.**  
PK623-0110

**PROJECT CONTACT**  
BRANDON LINDSAY, AIA NCARB

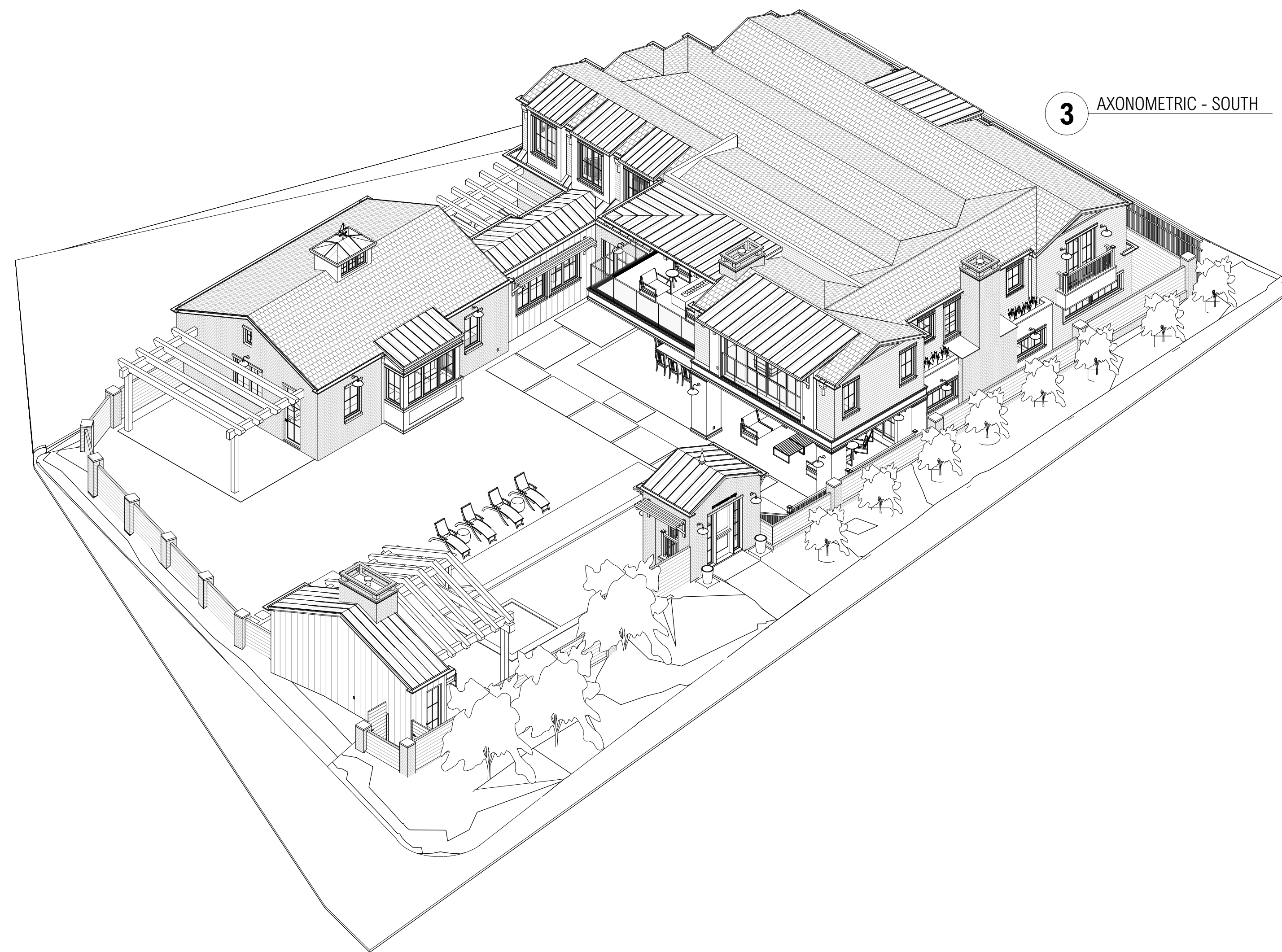
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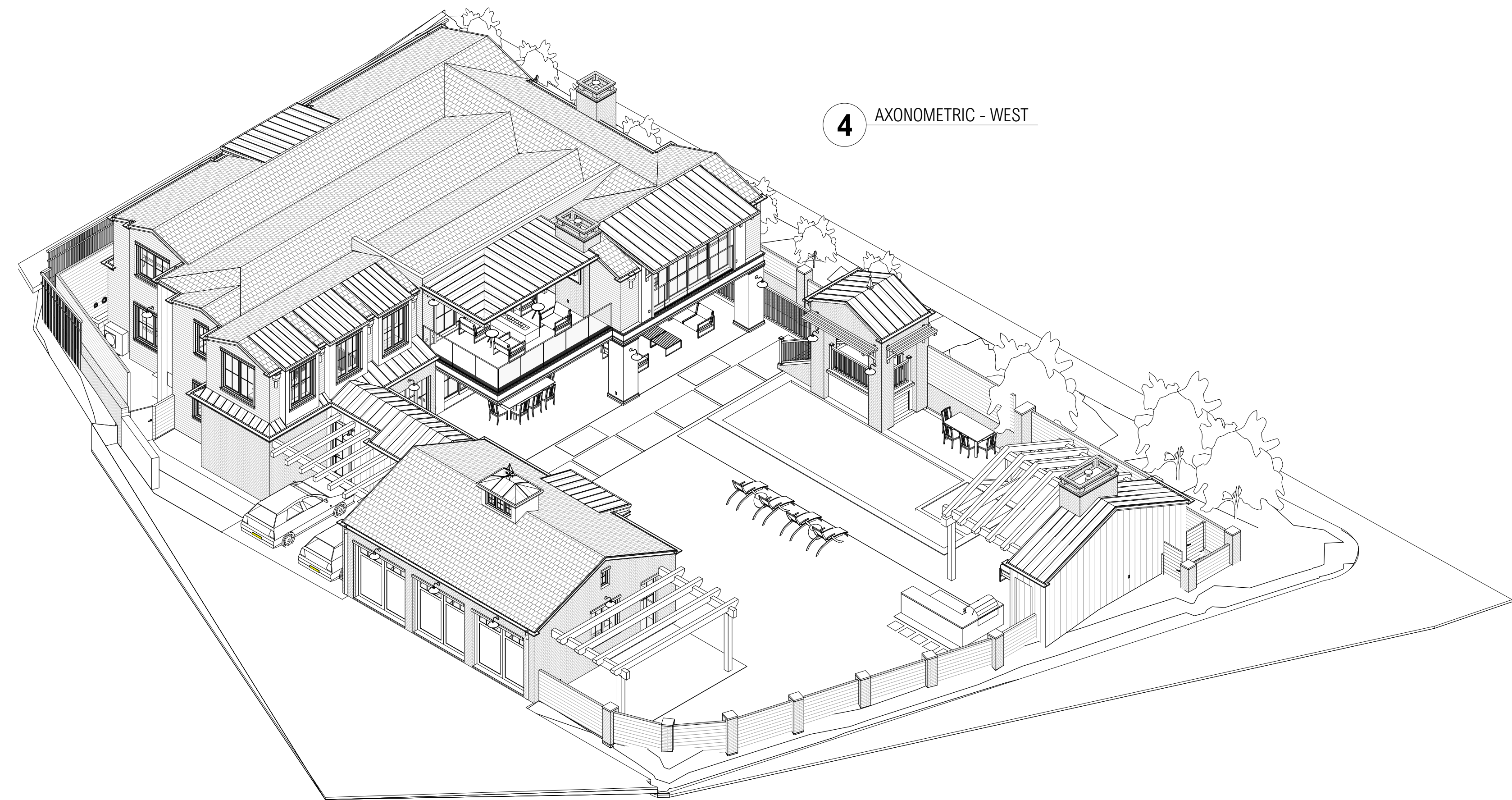
1 AXONOMETRIC - NORTH



2 AXONOMETRIC - EAST



3 AXONOMETRIC - SOUTH



4 AXONOMETRIC - WEST

**SLAVIK RESIDENCE**

**PROJECT ADDRESS:**  
211 EMERALD BAY  
LAGUNA BEACH, CA 92651

**OWNER INFORMATION:**  
THE BRENNAN J SLAVIK TRUST  
4450 MACARTHUR BLVD FL 2ND  
NEWPORT BEACH, CA 92660

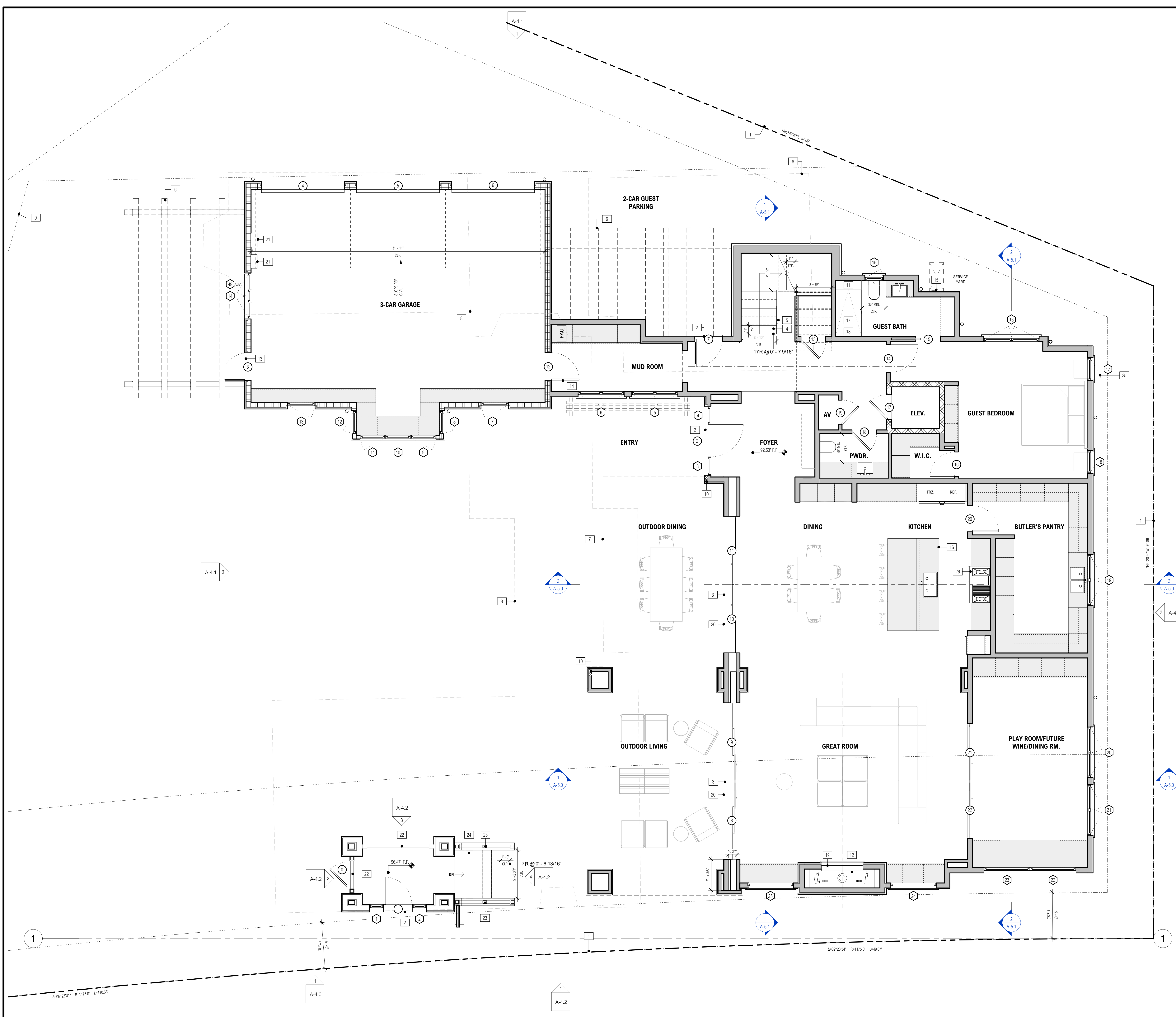
**DATE**  
04.05.2024

**REVISIONS**

NO.	REVISION	DATE
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3D VIEWS

**A-1.0**



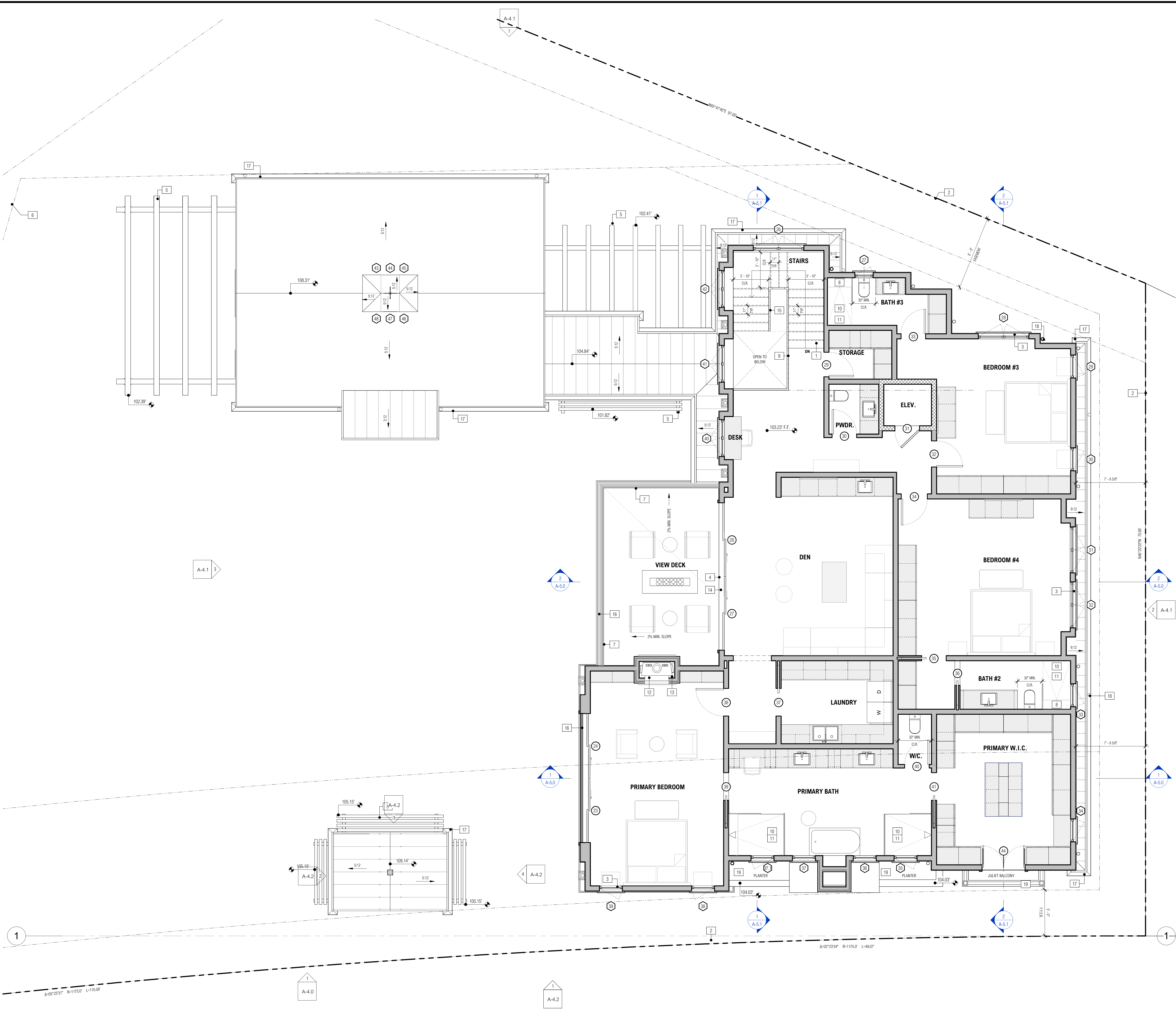
ROOM NAME	ROOM TAG
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	CALL-OUT TAG
	SPOT ELEVATION
	KEYNOTE TAG
	DOOR TAG
	WINDOW TAG
	WINDOW WALL TAG
	FIRE RATED CEILING ASSY - REF. DTL.S. 7/AD-1.0
	1-HR RATED INT CONDITION - REF. DTL.S. 7/AD-1.0
	1-HR RATED EXT CONDITION - REF. DTL.S. 7/AD-1.0
	STRUCTURAL STEEL COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT AND SEAL AS REQUIRED - ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS
	STRUCTURAL WOOD POST-COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT, STAIN AND SEAL AS REQUIRED - ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST-COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH. APPROVAL
	DOORS - AS SPECIFIED, SEE WINDOW SCHEDULE AND GENERAL NOTES ON SHEET A-7.0 - SHGC & U-FACTOR PER T-24 ENERGY REPORT - SEE SHEET AD-2.0 FOR JAMB, HEAD AND THRESHOLD DETAILS, PROVIDE FLASHING AND WATERPROOFING AT DOOR OPENING PER THE DOOR MFG. INSTRUCTION AND/OR FLASHING MFG. INSTRUCTION PER SECTIONS 403.0 & 403.1 OF CPC
	WINDOWS - AS SPECIFIED, SEE WINDOW SCHEDULE AND GENERAL NOTES ON SHEET A-7.0 - SHGC & U-FACTOR PER T-24 ENERGY REPORT - SEE SHEET AD-2.0 FOR JAMB, HEAD AND SILL DETAILS, PROVIDE FLASHING AND WATERPROOFING AT WINDOW OPENING PER THE WINDOW MFG. INSTRUCTION AND/OR FLASHING MFG. INSTRUCTION PER SECTIONS 600.1 & 603.4 OF CPC
	KITCHEN RANGE W/ EXHAUST HOOD - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER - PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP (CMC 920.3.2) - EXHAUST HOOD TO HAVE EXHAUST RATE OF MIN. 100 CFM AND VENT TO OUTDOOR - HOOD DUCTS TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER SECTION 909.0 OF CPC
	KITCHENBAR SINK - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER - SINK TO COMPLY W/ REQUIREMENT OF SECTION 402.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI PER SECTION 4.303.1 OF CALGREEN - TRAP AND VENT FOR ISLAND SINK AND SIMILAR EQUIPMENT SHALL BE PER SECTION 909.0 OF CPC
	VANITY SINK - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER - LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT (CPC 402.5) W/ MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN
	WASHER (W) / DRYER (D) / STACKED (WD) - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER - PROVIDE POWER, GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC 504.4) AND SHALL NOT EXCEED 14 FEET IN OVERALL LENGTH WITH MAX. OF TWO 90-DEGREE ELBOW, SUBTRACT 2 FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. 11-1.
	REFRIGERATOR (REF) / FREEZER (FRZ) - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER - PROVIDE POWER AND WATER SUPPLY AS REQUIRED
	BUILT-IN APPLIANCE / DISHWASHER (DW) / TRASH COMPACTOR (TR) - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER - PROVIDE POWER, WATER SUPPLY & DRAINAGE PIPE AS REQUIRED
	TOILET - WATER CLOSET SHALL BE IN COMPLIANCE WITH SECTION 411.0 OF CPC AND HAS MAX EFFECTIVE FLUSH RATE OF 1.28 GAL. PER FLUSH (CPC 411.2), WATER CLOSETS CLR. TO BE 24" IN FRONT AND 12" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5 & CPC R307) - REF. CALGREEN NOTES ON T SHTS. FOR MAX FLOW RATE
	CASEWORK, TALL CABINET - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER
	CASEWORK, BASE CABINET W/ COUNTERTOP - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER
	CASEWORK, UPPER CABINET/SHELVES - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER
	BUILT-IN CLOSET - AS SELECTED PER I.D., VERIFY W. I.D. & OWNER
	FIREPLACE - FACTORY BUILT FIREPLACES SHALL BE GAS BURNING, DIRECT VENT AND SEALED COMBUSTION CHAMBER PER CAL GREEN CODE SECTION 4.505.2.1 FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURERS INSTALLATION INSTRUCTIONS. (CPC R1004.1)
	ELEVATOR - PRIVATE RESIDENCE ELEVATOR IN COMPLIANCE W/ ASME A17.1/CSA B44 AS SELECTED PER PLANS, VERIFY W/ OWNER - PROVIDE POWER AS REQ'D. (CPC 321.1)
	A/C CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE WITH SECTION 307.3 OF CPC AS SELECTED, VERIFY W/ OWNER - SIZE TRU. SEE T-24 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFG. INSTRUCTION
	FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFG. - INSTALL PER MFG. INSTRUCTION
	ROOFDECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1105.1 AND 1102.2 OF CPC - ROOF DRAIN SHALL HAVE DOME DRAINER (CPC 1102.2) - REF. DETAIL 1104D-1.0
	OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - COPPER OR EQ. INSTALL PER MFG. INSTRUC. SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1105.3 OF CPC - REF. DTL. 1104D-1.0

**A ANNOTATION LEGEND**

- PROPERTY LINE
- 7 3/4" STEP AT IN SWING DOORS (R311.3.1)
- DOOR(S) FROM HOUSE TO SHED/DOL. TO BE EQUIPPED W/ ALARM PER NOTE (THIS SH.T.)
- ENCLOSED USEABLE SPACE UNDER STAIRWAY USE 5/8" TYPE "X" GYP. BD. FINISH TYP. (1/2" MIN.) (CPC R302.7)
- INTERIOR STAIR MOUNTED HANDRAIL - 34" 3/8" ABV. NOSING. REF. DTL. 404D-1
- WOOD TRILLS TO BE AT LEAST 50% OPEN, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- LINE OF SECOND FLOOR ABOVE
- FOOTPRINT OF EXISTING STRUCTURE, TO BE REMOVED
- SIDE YARD SETBACK
- DRAIN LINE - IN WALL FROM DECK/ROOF ABV. PROVIDE DRAIN SWEEP/ELBOW JOINT PER CIVIL DWG'S., PRIOR TO POURING SLAB. VERIFY LOCKW. SITE DRAINAGE & COORD. W/ CIVIL
- CUSTOM SHOWER SEAT PER I.D.
- FIREPLACE - PREFABRICATED, GAS ONLY, "ISOKERN", ICCP ESR-2316 (REF. DTL. 220AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MFG. INSTRUCTION. INSTALLATION INSTRUCTIONS FOR GAS-FUELED FIREPLACES MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
- 1-1/2" MAX. STEP AT OUT SWING DOORS (R311.3.1)
- GARAGE DOOR - BATED, 1-3/8" SOLID CORE, SELF-CLOSING AND SELF-LATCHING. REF. DOOR SCHEDULE
- MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
- KITCHEN ISLAND - BASE CABINET, COUNTERTOP, AND APPLIANCES PER I.D. - VERIFY SIZE W. I.D. & OWNER
- BATHUB & SHOWER - PROVIDE TILE W/ GEMINI BACKING MIN. 72" HIGH (R307.2)
- DEPRESS STRUCTURE FOR FLUSH SHOWER CONDITION - COORD. WITH I.D. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
- DEPRESS STRUCTURE FOR FIREPLACE - COORD. WITH MFG. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
- DEPRESS SLAB FOR SLIDING/POCKET DOORS - COORD. WITH DOOR MFG. & GENERAL CONTRACTOR.
- WATER HEATER - TANK-LESS (ON DEMAND) WALL-MOUNT - 48" MIN., TAKAGI OR DODU - VERIFY SIZE REQ'D. W/ MFG. (PROVIDE ADEQUATE I.D. CONN.)
- EXTERIOR GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING. REF. DTL. 404D-1
- EXTERIOR HANDRAIL - 34" - 38" ABV. NOSING (36" TYP. U.L.O.), REF. DTL. 404D-1
- STAIR - MAX. 7.5" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (105.4) REF. DTL. 304D-1
- WINDOW TO MEET EGRESS REQUIREMENTS - REF. DOOR AND WINDOW NOTES #6, SH.T. A-7.0
- RANGE - VERIFY APPLIANCE W/ OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFG.) - VENT TO OUTDOOR AIR

**B KEYNOTES**

**1 FIRST LEVEL FLOOR PLAN**  
 1/4" = 1'-0"



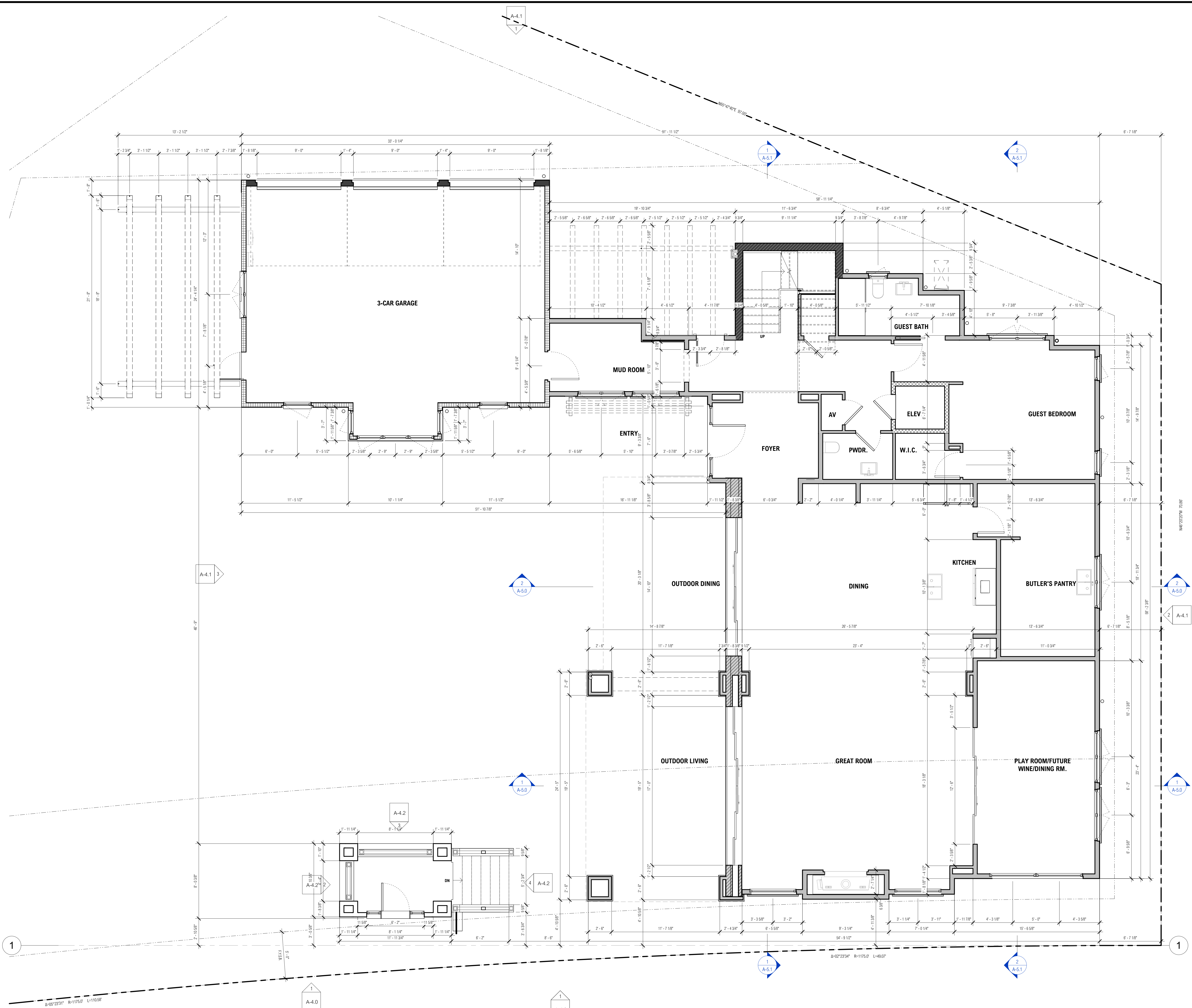
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KITCHENBAR SINK - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - SINK TO COMPLY W/ REQUIREMENT OF SECTION 4202.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI PER SECTION 4.303.1 OF CALGREEN - TRAP AND VENT FOR ISLAND SINK AND SIMILAR EQUIPMENT SHALL BE PER SECTION 909.0 OF CPC	
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FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFR. - INSTALL PER MFR. INSTRUCTION	
ROOFDECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1105.1 AND 1103.2 OF CPC - ROOF DRAIN SHALL HAVE DOWNS DRAIN (CPC 1102.2) - REF. DETAIL 1104D-1.0	
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - COPPER OR EQ. INSTALL PER MFR. INSTRUC. SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.3 OF CPC - REF. DTL. 1104D-1.0	

- A ANNOTATION LEGEND**
- ENCLOSED USEABLE SPACE UNDER STAIRWAY USE 5/8" TYPE "X" GYP. BD. FINISH TYP. (1/2" MIN.) (CPC R302.7)
  - PROPERTY LINE
  - WINDOWS TO MEET EGRESS REQUIREMENTS - REF. DOOR AND WINDOW NOTES #6, SHT. A-7.0
  - DOOR TO MEET EGRESS REQ'D.
  - WOOD TRELLIS TO BE AT LEAST 50% OPEN, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
  - SEE YARD SETBACK
  - CHANNEL DRAIN - STAINLESS STEEL OR EQ. INSTALL PER MFR. SPECS. SLOPED TO IN-WALL DRAIN INLETS, OVERFLOW TO BE PIPED SEPARATELY. REF. DTL. 7/AD-1
  - CUSTOM SHOWER SEAT. PER I.D.
  - INTERIOR GUARDRAIL - MIN. 42" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
  - BATHUB & SHOWER - PROVIDE TILE W/ CEMENT BACKING MIN. 2" HIGH (R307.2)
  - DEPRESS STRUCTURE FOR FLOOR DRAINAGE - COORD. WITH I.D. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
  - FIREPLACE - PREFABRICATED, GAS ONLY, "SPOKES", UCC# ESR-2316 (REF. DTL. 220AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MFR. INSTALLATION INSTRUCTIONS FOR FIREPLACE - COORD. WITH MFR. & GENERAL CONTRACTOR, REF. STRUCT. DWGS. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
  - DEPRESSED SLAB STRUCTURE FOR FIREPLACE - COORD. WITH MFR. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.
  - DEPRESSED SLAB FOR SLIDINGPOCKET DOORS - COORD. WITH DOOR MFG. & GENERAL CONTRACTOR.
  - INTERIOR STAIR MOUNTED HANDRAIL - 34"-38" ABV. NOSING, REF. DTL. 4/AD-1
  - EXTERIOR GLASS GUARDRAIL - TEMPERED & LAMINATED - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
  - GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
  - DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
  - PLANTED AREA - COORDINATE WITH LANDSCAPE DESIGNER

- B KEYNOTES**

**1 SECOND LEVEL FLOOR PLAN**  
 1/4" = 1'-0"





**DIMENSION NOTE:**  
 ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.

**ROUGH FRAMING:**  
 ALL EXTERIOR WALLS TO BE FRAMED W/ 2X6 STUD MIN. U.N.O. USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS. SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8" ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD DOORS AND WINDOWS WILL TYPICALLY BE RECESSED FROM EXTERIOR WALL PLANE. VERIFY ALL ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MFG. ROUGH OPENING MAY NEED TO BE OVERSIZED TO ACCOUNT FOR ADDITIONAL FRAMING. SEE SHT. A0-2.3 FOR TYP. RECESSED CONDITIONS.

**GARAGE FLOOR:**  
 GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. THE AREA OF FLOORS USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (CPC 408.1)

**PLUMBING:**  
 1. SUPPORT ALL WALL-HUNG FIXTURES WITH METAL SUPPORTING MEMBERS TO PREVENT ANY STRAIN TRANSMISSION TO THE CONNECTIONS. FRAMING AFFIXED SUPPORTS FOR OFF-THE-FLOOR WATER CLOSETS WITH CONCEALED TANKS SHALL COMPLY WITH ASME A112.2.2. SECURE FLUSH TANK AND SIMILAR APPLIANCES WITH APPROVED NON-CORROSIVE SCREWS OR BOLTS. (CPC 402.5)  
 2. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1,024 SQ. INCHES (7 1/8 SQ. FT.) OR MORE IN THE CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE. (CPC 408.6)  
 3. THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)  
 4. ANCHOR OR STRAP THE WATER HEATER(S) TO RESIST HORIZ. DISPLACEMENT DUE TO THE EARTHQUAKE. STRAPPING SHOULD BE AT THE UPPER AND LOWER ONE THIRD (1/3) POINTS OF THE APPLIANCE HEIGHT. MAINTAIN A MIN. 4-INCHES ABOVE THE CONTROLS WITH STRAPPING AT LOWER POINT.

**WOOD OR WOODBASED PRODUCTS NOTE:**  
 WOOD OR WOODBASED PRODUCT SHALL BE OF A NATURAL, DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH NFA 117 FOR THE SPECIES, TREATMENT AND END USE IN THE FOLLOWING LOCATIONS:  
 1. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN DRAWL SPACES OR UNCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.  
 2. WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.  
 3. SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER.  
 4. THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.  
 5. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.  
 6. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER.  
 7. WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

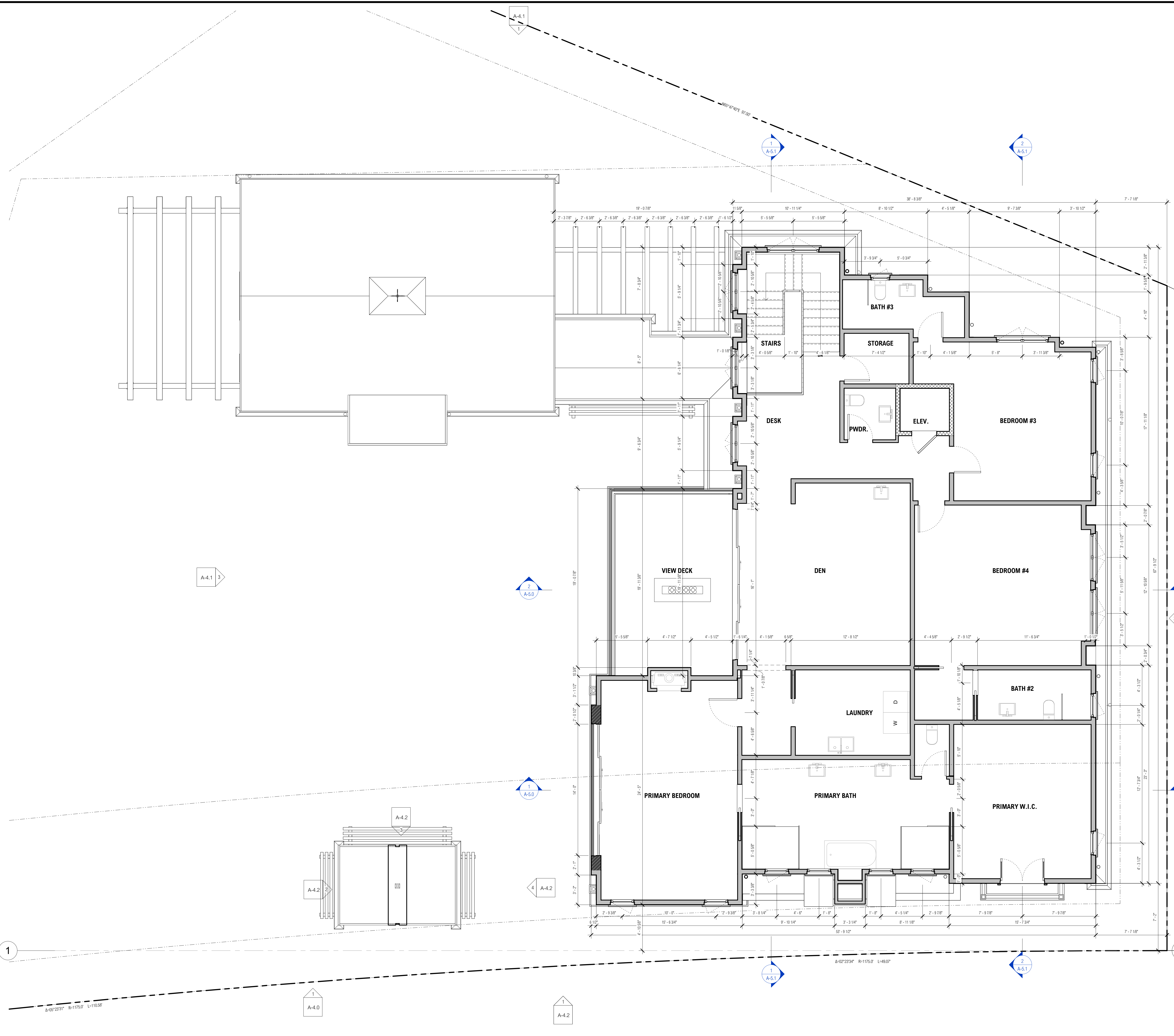
**\*HERS VERIFICATION REQUIRED- REFERENCE T-4-1**

**A GENERAL NOTES**

ROOM NAME	ROOM TAG
SPOT ELEVATION	○
DOOR TAG	◻
WINDOW TAG	◻
WINDOW WALL TAG	◻
REVISION TAG	◻
2X4 STUD WALL	▨
2X6 STUD WALL	▨
2X8 STUD WALL	▨
2X10 STUD WALL	▨
EXT. POCKET DOOR WALL - TYP. 2X6 EXT. FRMG. AND 2X4 INTERIOR FRAMING W/ DOUBLE TOP PLATE AND SINGLE SILL PLATE U.N.O. MIN. 48" SPACEDOOD POCKET TO BE VERIFIED W/ DOOR MFG. - STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFG. INSTRUCTION AND/OR LISTING - SEE EXT. WALL DETAILS AND STRUCT. DWGS.	
CONCRETE WALL - 12" REINFORCED CAST IN PLACE CONCRETE WALL TYP. U.N.O. PER STRUCT. REF. STRUCT. DWGS. - FOR BASEMENT RETAINING CONCRETE WALL PROVIDE WATERPROOFING OR DAMPROOFING AND DRAINAGE AS REQUIRED PER SECTION R401.1 & R401.2. REF. SOILS REPORT, WATERPROOFING & DAMPROOFING NOTES ON SHEET T-1.1 - EXPOSED SURFACES TO HAVE TROWELED SMOOTH FINISH WITH A LIGHT GRAY COLOR. PROVIDE SAMPLE FOR ARCH. APPROVAL.	
SLAB/FRAMING DEPRESSION - SEE STRUCT. DWGS. FOR THE REVISION DETAILS - FOR REVISION SPECIFIC TO EQUIPMENT OR ASSEMBLY VERIFY THE REQUIRED REVISION W/ MFG. OR FABRICATOR - SHOWS REVISION TO BE VERIFIED W/ I.D.	
SEE SHEET A0-2.3 FOR THE TYPICAL DEPRESSION OF DOORS AND WINDOWS. VERIFY ALL DEPRESSIONS W/ MFG.	
STRUCTURAL STEEL COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT AND SEAL AS REQUIRED - ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS	
STRUCTURAL WOOD POST/COLUMN COLUMN - PER STRUCT. REF. STRUCT. DWGS. - PAINT, STAIN AND SEAL AS REQUIRED - ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST/COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH. APPROVAL	
KITCHEN RANGE W/ EXHAUST HOOD - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING HOOD TO HAVE EXHAUST HOOD TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER SECTION 504.3 OF CMC.	
KITCHENBAR SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - SINK TO COMPLY W/ REQUIREMENTS OF SECTION 402.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN	
VANITY SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT. (CPC 402.5.3) W/ MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN	
WASHER (W) / DRYER (D) / STACKED (WB) - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER, GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC 900.1.2) AND SHALL NOT EXCEED 14 FEET IN OVERALL LENGTH WITH MAX. OF TWO (2) 90-DEGREE ELBOW, SUBTRACT 2'-FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. T-1.1.	
TOILET - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF CPC AND HAS MAX. EFFECTIVE FLUSH RATE OF 1.20 GAL. PER FLUSH (CPC 411.2). WATER CLOSETS CLR. TO BE 4" IN FRONT AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5 & CPC R307) - REF. CALGREEN NOTES ON SHTS. FOR MAX FLOW RATE.	
FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/ SEALED COMBUSTION (CALGREEN 4.503) - FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CPC R1004.1)	
FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQD. BY MFG. - INSTALL PER MFG. INSTRUCTION.	
ROOF/DECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC - ROOF DRAIN SHALL HAVE COMED STRAINER (CPC 1102.2) - REF. DETAIL 11A05-1.0	
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - COPPER OR EQ. INSTALL PER MFG. INSTRUC. SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.1 OF CPC - REF. DET. 11A05-1.0	
VERTICAL STORM DRAIN PIPE (W/ WALL) OVERFLOW - MTL. PIPE PER CHAPTER 11 OF CPC. SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 3" DIA. PIPE) - SEE CIVIL DWGS. FOR TERMINATION DTLS. ABV. OR BLW. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W/ CIVIL PRIOR TO POURING THE CONCRETE SLAB	
AC CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED. VERIFY W/ OWNER - SIZE TBO. SEE T-4 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQD. - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFG. INSTRUCTION	
RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 30" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - GO TO COORDINATE W/ UTILITY COMPANY	

**B ANNOTATION LEGEND**

**1 FIRST LEVEL DIMENSION PLAN**  
 1/4" = 1'-0"



**DIMENSION NOTE:**  
 ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.

**ROUGH FRAMING:**  
 ALL EXTERIOR WALLS TO BE FRAMED W/ 2X6 STUD MIN. U.N.O. USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS. SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/2" ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD DOORS AND WINDOWS WILL TYPICALLY BE RECESSED FROM EXTERIOR WALL PLANE. VERIFY ALL ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MFG. ROUGH OPENING MAY NEED TO BE OVERSIZED TO ACCOUNT FOR ADDITIONAL FRAMING. SEE SHT. A0-2.3 FOR TYP. RECESSED CONDITIONS.

**GARAGE FLOOR:**  
 GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (C908.1)

**PLUMBING:**  
 1. SUPPORT ALL WALL-HUNG FIXTURES WITH METAL SUPPORTING MEMBERS TO PREVENT ANY STRAIN TRANSMISSION TO THE CONNECTIONS. FRAMING AFFIXED SUPPORTS FOR OFF-FLOOR WATER CLOSETS WITH CONCEALED TANKS SHALL COMPLY WITH ASME A112.2.2. SECURE FLUSH TANK AND SIMILAR APPLIANCES WITH APPROVED NON-CORROSIVE SCREWS OR BOLTS. (CPC 402.5)  
 2. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1,024 SQ. INCHES (7 1/2 SQ. FT.) OR MORE IN THE CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE. (CPC 408.6)  
 3. THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)  
 4. ANCHOR OR STRAP THE WATER HEATERS TO RESIST HORIZ. DISPLACEMENT DUE TO THE EARTHQUAKE. STRAPPING SHOULD BE AT THE UPPER AND LOWER ONE THIRD (1/3) POINTS OF THE APPLIANCE HEIGHT. MAINTAIN A MIN. 4-INCHES ABOVE THE CONTROLS WITH STRAPPING AT LOWER POINT.

**WOOD OR WOODBASED PRODUCTS NOTE:**  
 WOOD OR WOODBASED PRODUCT SHALL BE OF A NATURAL, DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AHPA OR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE IN THE FOLLOWING LOCATIONS:  
 1. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN DRAWL SPACES OR UNCAVEKATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.  
 2. WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES (203 MM) FROM THE EXPOSED GROUND.  
 3. SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SICK SLAB BY AN IMPERVIOUS MOISTURE BARRIER.  
 4. THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH (12.7 MM) ON TOPS, SIDES AND ENDS.  
 5. WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.  
 6. WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER.  
 7. WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS OR CONCRETE WALLS BELOW GRADE EXCEPT WHERE AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

**\*HERS VERIFICATION REQUIRED- REFERENCE T-24.1\***

**A GENERAL NOTES**

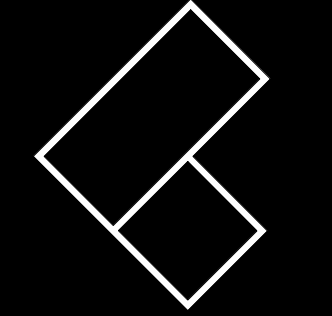
ROOM NAME	ROOM TAG
SPOT ELEVATION	○
DOOR TAG	◻
WINDOW TAG	◇
WINDOW WALL TAG	◊
REVISION TAG	
2X4 STUD WALL	▨
2X6 STUD WALL	▩
2X8 STUD WALL	▪
2X10 STUD WALL	▬
EXT. POCKET DOOR WALL - TYP. 2X6 EXT. FRMG. AND 2X4 INTERIOR FRAMING W/ DOUBLE TOP PLATE AND SINGLE SILL PLATE U.N.O. MIN. 4X8 SPACEDOOD POCKET TO BE VERIFIED W/ DOOR MFG. - STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFG. INSTRUCTION AND/OR LISTING - SEE EXT. WALL DETAILS AND STRUCT. DWGS.	
CONCRETE WALL - 12" REINFORCED CAST IN PLACE CONCRETE WALL TYP. U.N.O. PER STRUCT. REF. STRUCT. DWGS. - FOR BASEMENT RETAINING CONCRETE WALL PROVIDE WATERPROOFING OR DAMPROOFING AS REQUIRED PER SECTION R400.1 & R400.2. REF. SOILS REPORT, WATERPROOFING & DAMPROOFING NOTES ON SHEET T-1.1 - EXPOSED SURFACES TO HAVE TROWELED SMOOTH FINISH WITH A LIGHT GRAY COLOR. PROVIDE SAMPLE FOR ARCH. APPROVAL.	
SLAB/FRAMING DEPRESSION - SEE STRUCT. DWGS. FOR THE RECESSON DETAILS - FOR RECESSON SPECIFIC TO EQUIPMENT OR ASSEMBLY VERIFY THE REQUIRED RECESSON W/ MFG. OR FABRICATOR. SHOWS RECESSON TO BE VERIFIED W/ I.D. SEE SHEET A0-2.3 FOR THE TYPICAL DEPRESSION OF DOORS AND WINDOWS. VERIFY ALL DEPRESSIONS W/ MFG.	
STRUCTURAL STEEL COLUMN PER STRUCT. REF. STRUCT. DWGS. - PAINT AND SEAL AS REQUIRED - ARCH. TO APPV. COLOR FOR EXPOSED STEEL COLUMNS	
STRUCTURAL WOOD POST/COLUMN COLUMN - PER STRUCT. REF. STRUCT. DWGS. - PAINT, STAIN AND SEAL AS REQUIRED - ARCH. TO APPV. PAINT COLOR FOR EXPOSED WOOD POST/COLUMN, IF TO BE STAINED PROVIDE STAINED SAMPLE FOR ARCH. APPROVAL.	
KITCHEN RANGE W/ EXHAUST HOOD - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER AND GAS AS REQUIRED - 30" MIN. VERTICAL CLEARANCE TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP (CMC #20.1.3) - EXHAUST HOOD TO HAVE EXHAUST RATE OF MIN. 100 CFM AND VENT TO OUTDOOR. HOOD DUCTS TO BE OF METAL WITH SMOOTH INTERIOR FINISH PER SECTION 504.3 OF CMC.	
KITCHENBAR SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - SINK TO COMPLY W/ REQUIREMENT OF SECTION 403.0 OF CPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI PER SECTION 4.303.1 OF CALGREEN - TRAP AND VENT FOR ISLAND SINK AND SIMILAR EQUIPMENT SHALL BE PER SECTION 909.0 OF CPC.	
VANITY SINK - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT, CPC 402.5 W/ MAXIMUM FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI PER SECTION 4.303.1 OF CALGREEN	
WASHER (W) / DRYER (D) / STACKED (WB) - AS SELECTED PER I.D. VERIFY W/ I.D. & OWNER - PROVIDE POWER, GAS, WATER SUPPLY & DRAINAGE AS REQUIRED - THE CLOTHES DRYERS VENT SHALL BE OF A RIGID METALLIC MATERIAL AND HAVE A BACKDRAFT DAMPER (CMC #24.1) AND SHALL NOT EXCEED 14 FEET IN OVERALL LENGTH WITH MAX. OF TWO (2) 90-DEGREE ELBOW, SUBTRACT 2'-FEET FOR EACH ADDITIONAL 90-DEGREE ELBOW. SEE WASHER & DRYER NOTES, REF. T-1.1.	
TOILET - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF CPC AND HAS MAX. EFFECTIVE FLUSH RATE OF 1.20 GAL. PER FLUSH (CPC #11.2). WATER CLOSETS CLR. TO BE 4" IN FRONT AND 16" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5 & CPC R307) - REF. CALGREEN NOTES ON SHTS. FOR MAX FLOW RATE.	
FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/ SEALED COMBUSTION (CALGREEN 4.503) - FACTORY-BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. (CPC R004.1)	
FAU - PROVIDE GAS S.D., POWER, AND VENTING AS REQD. BY MFG. - INSTALL PER MFG. INSTRUCTION.	
ROOF/DECK DRAIN - PER CHAPTER 11 OF CPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF CPC - ROOF DRAIN SHALL HAVE DOME STRAINER (CPC 1102.2) - REF. DETAIL T1100.1-0	
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF CPC - COPPER OR EQ. INSTALL PER MFG. INSTRUC. SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.1 OF CPC - REF. DET. 1100.1-0	
VERTICAL STORM DRAIN PIPE IN-WALL/ OVERFLOW - MTL. PIPE PER CHAPTER 11 OF CPC. SIZE PER TABLE 1103.1 (MIN. 2" DIA. PIPE & TYP. 2" DIA. PIPE) - SEE CIVIL DWGS. FOR TERMINATION DTLS. ABV. OR BLW. GROUND. VERIFY ALL TERMINATION POINTS, TYPE AND DETAILS W/ CIVIL PRIOR TO POURING THE CONCRETE SLAB.	
AC CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CPC AS SELECTED. VERIFY W/ OWNER - SIZE TRU. SEE T-04 ENERGY REPORT FOR MORE INFO - PROVIDE POWER AND SOUND DAMPENING PAD AS REQD. - INSTALL AND MAINTAIN REQUIRED CLEARANCES PER MFG. INSTRUCTION.	
RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 30" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - GO TO COORDINATE W/ UTILITY COMPANY.	

**B ANNOTATION LEGEND**

○	SPOT ELEVATION
◻	DOOR TAG
◇	WINDOW TAG
◊	WINDOW WALL TAG
▨	2X4 STUD WALL
▩	2X6 STUD WALL
▪	2X8 STUD WALL
▬	2X10 STUD WALL
▭	EXT. POCKET DOOR WALL
▮	CONCRETE WALL
▯	STRUCTURAL STEEL COLUMN
▰	STRUCTURAL WOOD POST/COLUMN COLUMN
▱	KITCHEN RANGE W/ EXHAUST HOOD
▲	KITCHENBAR SINK
△	VANITY SINK
▴	WASHER (W) / DRYER (D) / STACKED (WB)
▵	TOILET
▶	FIREPLACE
▷	FAU
▸	ROOF/DECK DRAIN
▹	OVERFLOW OR EMERGENCY DRAIN
►	VERTICAL STORM DRAIN PIPE IN-WALL/ OVERFLOW
▻	AC CONDENSER / HEAT PUMP
▼	RECESSED MAIN SERVICE PANEL

**1 SECOND LEVEL DIMENSION PLAN**  
 1/4" = 1'-0"





**BRANDON ARCHITECTS**  
 151 KALAMUS DRIVE, SUITE G-1  
 COSTA MESA, CA 92626  
 714.754.4040  
 WWW.BRANDONARCHITECTS.COM

**PROJECT STATUS**  
 COUNTY SUBMITTAL

**PLAN CHECK NO.**  
 PK623-010

**PROJECT CONTACT**  
 BRANDON LINDSAY, AIA NCARB

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**SLAVIK RESIDENCE**

**PROJECT ADDRESS:**  
 211 EMERALD BAY  
 LAGUNA BEACH, CA 92651

**OWNER INFORMATION:**  
 THE BRENNAN J SLAVIK TRUST  
 4450 MACARTHUR BLVD FL 2ND  
 NEWPORT BEACH, CA 92660

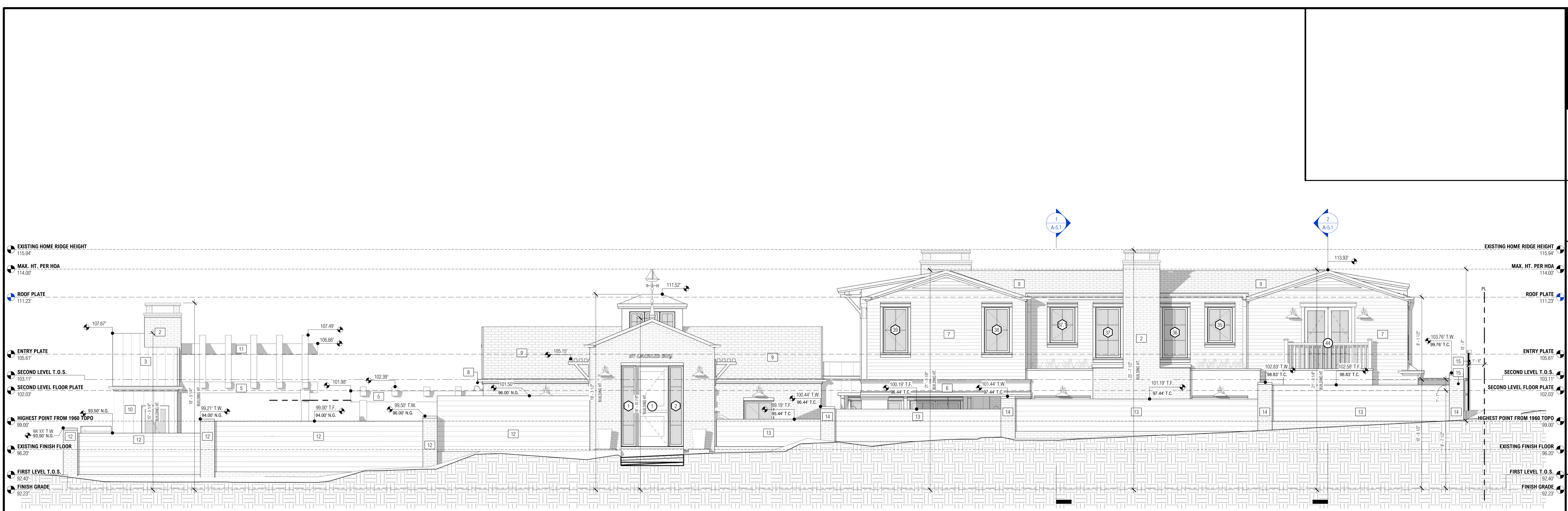
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**REVISIONS**

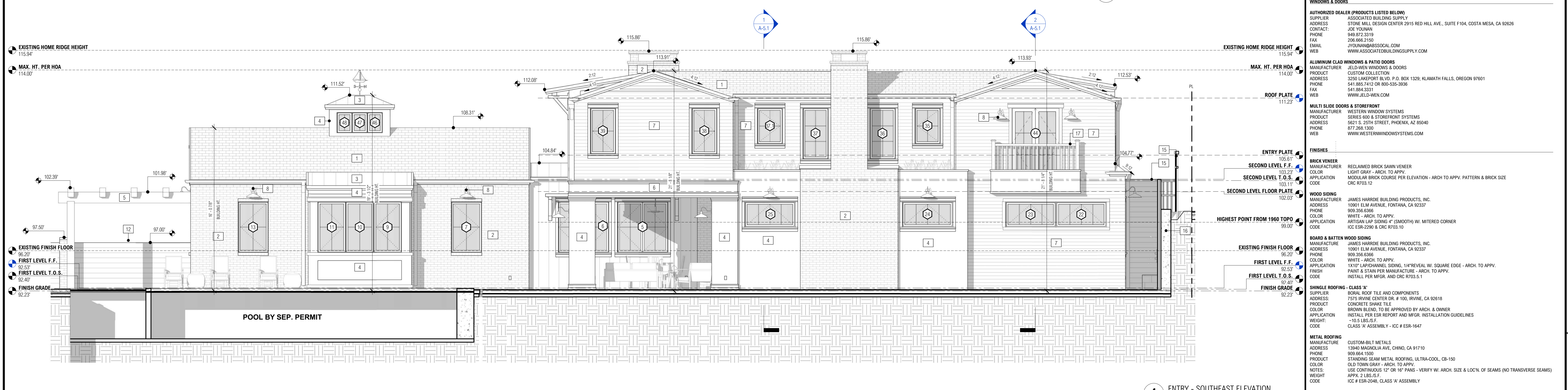
NO.	REVISION	DATE

**EXTERIOR ELEVATIONS**

**A-4.0**

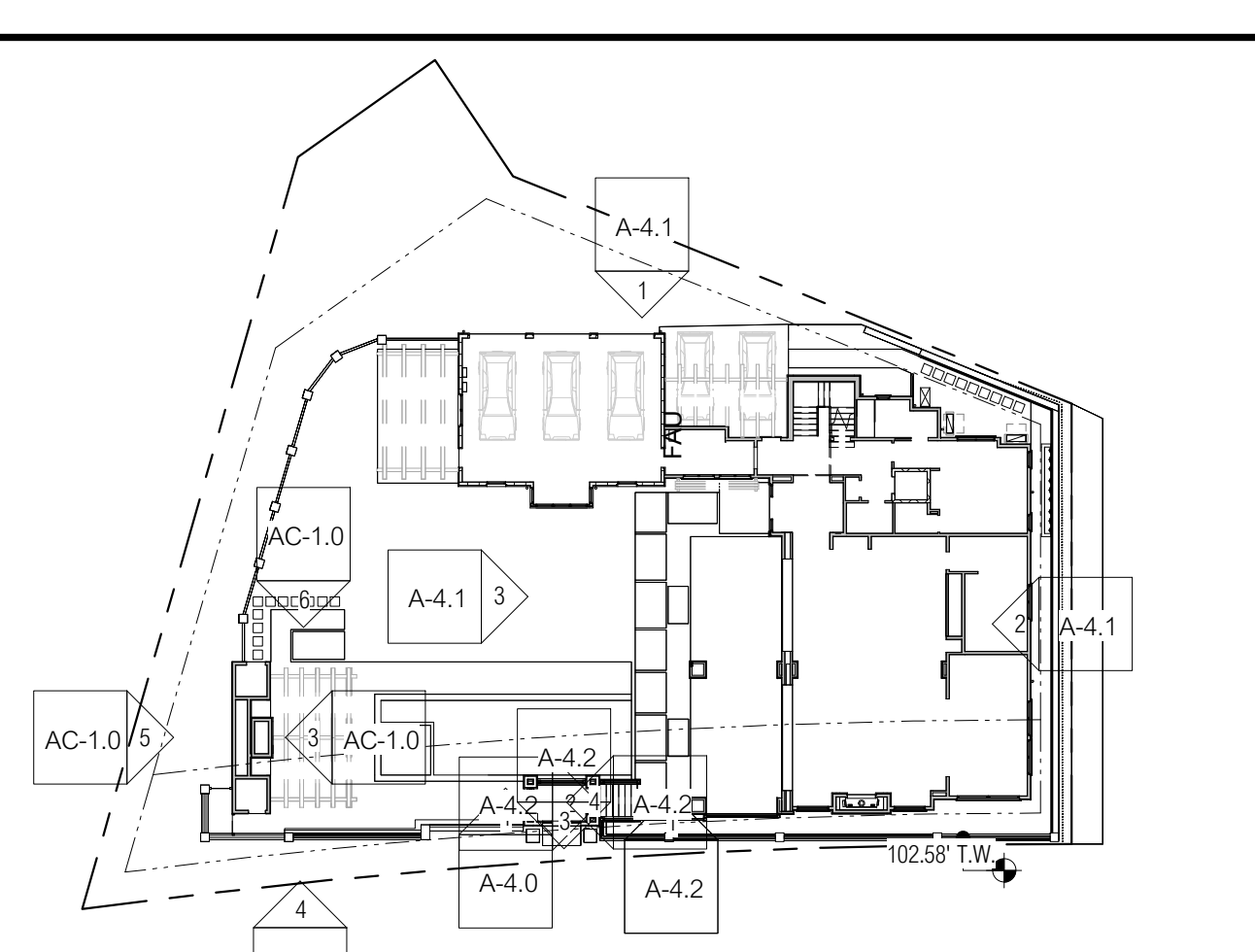


**2 ENTRY FROM STREET - SOUTHEAST ELEVATION**  
 1/4" = 1'-0"



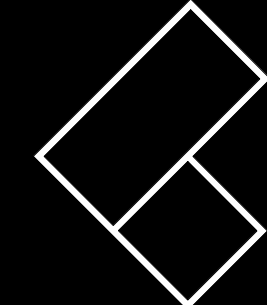
**1 ENTRY - SOUTHEAST ELEVATION**  
 1/4" = 1'-0"

WINDOWS & DOORS	
<b>AUTHORIZED DEALER (PRODUCTS LISTED BELOW)</b>	
<b>SUPPLIER</b>	ASSOCIATED BUILDING SUPPLY
<b>ADDRESS</b>	STONE HILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
<b>CONTACT</b>	JOE TUNMAN
<b>PHONE</b>	949.872.3319
<b>TEXT</b>	206.666.2150
<b>EMAIL</b>	JYOUNAN@ASSOCIATED.COM
<b>WEB</b>	WWW.ASSOCIATEDBUILDINGSUPPLY.COM
<b>ALUMINUM CLAD WINDOWS &amp; PATIO DOORS</b>	
<b>MANUFACTURER</b>	JELDEN WINDOWS & DOORS
<b>PRODUCT</b>	CUSTOM COLLECTION
<b>ADDRESS</b>	3250 LAKESIDE BLVD. P.O. BOX 1329, KLAMATH FALLS, OREGON 97601
<b>PHONE</b>	541.882.7472 OR 800.526-3094
<b>FAX</b>	541.884.3331
<b>WEB</b>	WWW.JELD-WEN.COM
<b>MULTI SLIDE DOORS &amp; STOREFRONT</b>	
<b>MANUFACTURER</b>	WESTERN WINDOW SYSTEMS
<b>PRODUCT</b>	SERIES 600 & STOREFRONT SYSTEMS
<b>ADDRESS</b>	3621 S. 25TH STREET, PHOENIX, AZ 85040
<b>PHONE</b>	877.268.1300
<b>WEB</b>	WWW.WESTERNWINDOWSYSTEMS.COM
<b>FINISHES</b>	
<b>BRICK VENEER</b>	
<b>MANUFACTURER</b>	RECLAIMED BRICK SAWN VENEER
<b>COLOR</b>	LIGHT GRAY - ARCH. TO APPV.
<b>APPLICATION</b>	MODULAR BRICK COURSE PER ELEVATION - ARCH. TO APPV. PATTERN & BRICK SIZE
<b>CODE</b>	IRC R703.12
<b>WOOD SIDING</b>	
<b>MANUFACTURER</b>	JAMES HARDIE BUILDING PRODUCTS, INC.
<b>ADDRESS</b>	10901 ELM AVENUE, FONTANA, CA 92337
<b>PHONE</b>	909.356.6366
<b>COLOR</b>	WHITE - ARCH. TO APPV.
<b>APPLICATION</b>	ARTISAN LAP SIDING 4" (SMOOTH) W/ MITERED CORNER
<b>CODE</b>	ICC ESR-2290 & IRC R703.5.1
<b>BOARD &amp; BATTEN WOOD SIDING</b>	
<b>MANUFACTURER</b>	JAMES HARDIE BUILDING PRODUCTS, INC.
<b>ADDRESS</b>	10901 ELM AVENUE, FONTANA, CA 92337
<b>PHONE</b>	909.356.6366
<b>COLOR</b>	WHITE - ARCH. TO APPV.
<b>APPLICATION</b>	1X10" LAP CHANNEL SIDING, 1/4" REVEAL W/ SQUARE EDGE - ARCH. TO APPV.
<b>FINISH</b>	PAIN'T & STAIN PER MANUFACTURER - ARCH. TO APPV.
<b>INSTALL</b>	INSTALL PER MFR. AND IRC R703.5.1
<b>SINGLE ROOFING - CLASS 'A'</b>	
<b>SUPPLIER</b>	BORAL ROOF TILE AND COMPONENTS
<b>ADDRESS</b>	7715 RYNE CENTER DR. # 100, IRVINE, CA 92618
<b>PHONE</b>	949.864.6500
<b>PRODUCT</b>	CONCRETE SHAKE TILE
<b>COLOR</b>	BROWN BLEND TO BE APPROVED BY ARCH. & OWNER
<b>INSTALL</b>	INSTALL PER ESR REPORT AND MFR. INSTALLATION GUIDELINES
<b>WEIGHT:</b>	-10.5 LBS./S.F.
<b>CLASS:</b>	CLASS 'A' ASSEMBLY - ICC # ESR-1647
<b>METAL ROOFING</b>	
<b>MANUFACTURER</b>	CUSTOM-BILT METALS
<b>ADDRESS</b>	13840 MAGNOLIA AVE, CHINO, CA 91710
<b>PHONE</b>	909.864.6500
<b>PRODUCT</b>	STANDING SEAM METAL ROOFING, ULTRA-COOL, CB-150
<b>COLOR</b>	OLD TOWN GRAY - ARCH. TO APPV.
<b>NOTES:</b>	USE CONTINUOUS 1" OR 1 1/2" PANS - VERIFY W/ ARCH. SIZE & LOCN. OF SEAMS (NO TRANSVERSE SEAMS)
<b>WEIGHT:</b>	APPR. 2 LBS./S.F.
<b>CODE</b>	ICC # ESR-2048, CLASS 'A' ASSEMBLY
<b>ROOF FASCIA</b>	
<b>MANUFACTURER</b>	AZEK BUILDING PRODUCTS, INC.
<b>ADDRESS</b>	1330 W. FULTON MARKET, SUITE 350, CHICAGO, IL 60607
<b>PHONE</b>	877.275.2055
<b>COLOR</b>	PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)
<b>EXTERIOR CASING, TRIM &amp; MOLDING</b>	
<b>MANUFACTURER</b>	AZEK BUILDING PRODUCTS, INC.
<b>ADDRESS</b>	1330 W. FULTON MARKET, SUITE 350, CHICAGO, IL 60607
<b>PHONE</b>	877.275.2055
<b>COLOR</b>	PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)
<b>GUTTERS</b>	
<b>MATERIAL</b>	METAL - COPPERIUM PAINTED KYNAR
<b>SHAPE</b>	HALF ROUND/SQUARE (5") (VERIFY W/ ARCH.)
<b>GARAGE DOORS</b>	
<b>SUPPLIER</b>	RANCH HOUSE DOORS
<b>WEB</b>	WWW.RANCHHOUSEDOORS.COM
<b>STYLE</b>	CUSTOM
<b>MATERIAL</b>	CUSTOM BUILT, WOOD & GLASS
<b>WATERPROOF DECK MEMBRANE</b>	
<b>MANUFACTURER</b>	WESTCOAT
<b>ADDRESS</b>	770 GATEWAY CENTER DRIVE, SAN DIEGO, CA 92102
<b>PRODUCT</b>	A-1X WALKING DECK - CLASS 'A'
<b>APPLICATION</b>	DECK FINISH SURFACE TO BE NON-COMBUSTIBLE
<b>CODE</b>	ICC ESR 2201
<b>FLASHING &amp; WEATHERSTRIPPING</b>	
<b>PROVIDE</b>	MIN. 24 GAUGE METAL (16 OZ.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.
<b>1. FENESTRATIONS</b>	MUST HAVE TEMPORARY AND PERMANENT LABELS.
<b>2. REF. ROOF PLAN (A-3.0)</b>	FOR ALL PLATE HTS. & RIDGE HTS.



**B KEYNOTE LEGEND**

**A MATERIAL SPECIFICATIONS**



**BRANDON ARCHITECTS**  
 151 KALAMUS DRIVE, SUITE G-1  
 COSTA MESA, CA 92626  
 714.754.4040  
 WWW.BRANDONARCHITECTS.COM

**PROJECT STATUS**

COUNTY SUBMITTAL

**PLAN CHECK NO.**

PRG23-0110

**PROJECT CONTACT**

BRANDON LINDSAY, AIA NCARB

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**SLAVIK RESIDENCE**

**PROJECT ADDRESS:**  
 211 EMERALD BAY  
 LAGUNA BEACH, CA 92651

**OWNER INFORMATION:**  
 THE BRENNAN J SLAVIK TRUST  
 4450 MACARTHUR BLVD FL 2ND  
 NEWPORT BEACH, CA 92660

**DATE**  
 04.05.2024

**REVISIONS**

NO.	REVISION	DATE

**EXTERIOR ELEVATIONS**

**A-4.1**

**WINDOWS & DOORS**

**AUTHORIZED DEALER (PRODUCTS LISTED BELOW)**  
 SUPPLIER ASSOCIATED BUILDING SUPPLY  
 ADDRESS STONE HILL DESIGN CENTER 2915 RED HILL AVE., SUITE 1104, COSTA MESA, CA 92626  
 CONTACT JOE YOUNAN  
 PHONE 949.872.2319  
 FAX 949.872.2319  
 EMAIL JYOUNAN@ASSOCIATED.COM  
 WWW.ASSOCIATEDBUILDINGSUPPLY.COM

**ALUMINUM CLAD WINDOWS & PATIO DOORS**  
 MANUFACTURER JELDEN WINDOWS & DOORS  
 PRODUCT CUSTOM COLLECTION  
 ADDRESS 3200 LANDPORT BLVD., P.O. BOX 1329, KLAMATH FALLS, OREGON 97601  
 PHONE 541.885.7412 OR 800.535-3936  
 FAX 541.884.2531  
 WWW.JELD-WEN.COM

**MULTI SLIDE DOORS & STOREFRONT**  
 MANUFACTURER WESTERN WINDOW SYSTEMS  
 PRODUCT SERIES 600 & STOREFRONT SYSTEMS  
 ADDRESS 5621 S. 20TH STREET, PHOENIX, AZ 85040  
 PHONE 877.268.1300  
 WWW.WESTERNWINDOWSYSTEMS.COM

**FINISHES**

**BRICK VENEER**  
 MANUFACTURER RECLAIMED BRICK SAWN VENEER  
 COLOR LIGHT GRAY - ARCH. TO APPV.  
 APPLICATION MODULAR BRICK COURSE PER ELEVATION - ARCH. TO APPV. PATTERN & BRICK SIZE CRC R703.12

**WOOD SIDING**  
 MANUFACTURER JAMES HARDIE BUILDING PRODUCTS, INC.  
 ADDRESS 10901 ELM AVENUE, FORTYANA, CA 92337  
 PHONE 909.356.6266  
 COLOR WHITE - ARCH. TO APPV.  
 APPLICATION ARTISAN LAP SIDING 4" (SMOOTH) W/ MITERED CORNER  
 ICC ESR-2290 & CRC R703.10

**BOARD & BATTEN WOOD SIDING**  
 MANUFACTURER JAMES HARDIE BUILDING PRODUCTS, INC.  
 ADDRESS 10901 ELM AVENUE, FORTYANA, CA 92337  
 PHONE 909.356.6266  
 COLOR WHITE - ARCH. TO APPV.  
 APPLICATION ARTISAN LAP SIDING 4" (SMOOTH) W/ MITERED CORNER  
 ICC ESR-2290 & CRC R703.10

**SHINGLE ROOFING - CLASS 'A'**  
 SUPPLIER BORAL ROOF TILE AND COMPONENTS  
 ADDRESS 7175 IRVINE CENTER DR # 100, IRVINE, CA 92618  
 PRODUCT CONCRETE SHAKE TILE  
 COLOR BROWN BLEND - ARCH. TO APPV.  
 APPLICATION INSTALL PER ESR REPORT AND MFR. INSTALLATION GUIDELINES  
 WEIGHT: 103 LBS./S.F.  
 CLASS: 'A' ASSEMBLY - ICC # ESR-1847

**METAL ROOFING**  
 MANUFACTURER CUSTOM-BILT METALS  
 ADDRESS 13840 MAGNOLIA AVE, CHINO, CA 91710  
 PHONE 909.864.1500  
 PRODUCT STANDING SEAM METAL ROOFING, ULTRA-COOL, CB-150  
 COLOR OLD TOWN GRAY - ARCH. TO APPV.  
 NOTES: USE CONTINUOUS 1" OR 1 1/2" PANS - VERIFY W/ ARCH. SIZE & LOCN. OF SEAMS (NO TRANSVERSE SEAMS)  
 WEIGHT: APPX. 2 LBS./S.F.  
 ICC # ESR-2048, CLASS 'A' ASSEMBLY

**ROOF FASCIA**  
 MANUFACTURER AZEK BUILDING PRODUCTS, INC.  
 ADDRESS 1330 W. FULLON MARKET, SUITE 350, CHICAGO, IL 60607  
 PHONE 877.275.2935  
 COLOR PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)

**EXTERIOR CASING, TRIM & MOLDING**  
 MANUFACTURER AZEK BUILDING PRODUCTS, INC.  
 ADDRESS 1330 W. FULLON MARKET, SUITE 350, CHICAGO, IL 60607  
 PHONE 877.275.2935  
 COLOR PAINTED WHITE, SEMI-GLOSS (BRIGHTER THAN SIDING)

**GUTTERS**  
 MATERIAL METAL - COPPER/ALUM. PAINTED KYNAR  
 SHAPE HALF ROUND/SQUARE (5") (VERIFY W/ ARCH.)

**GARAGE DOORS**  
 SUPPLIER RANCH HOUSE DOORS  
 WEB WWW.RANCHHOUSEDOORS.COM  
 STYLE CUSTOM  
 MATERIAL CUSTOM BUILT, WOOD & GLASS

**WATERPROOF DECK MEMBRANE**  
 MANUFACTURER WESTCOAT  
 ADDRESS 770 GATEWAY CENTER DRIVE, SAN DIEGO, CA 92102  
 PRODUCT ALK WALKING DECK - CLASS 'A'  
 APPLICATION DECK FINISH SURFACE TO BE NON-COMBUSTIBLE  
 ICC: ESR 2201

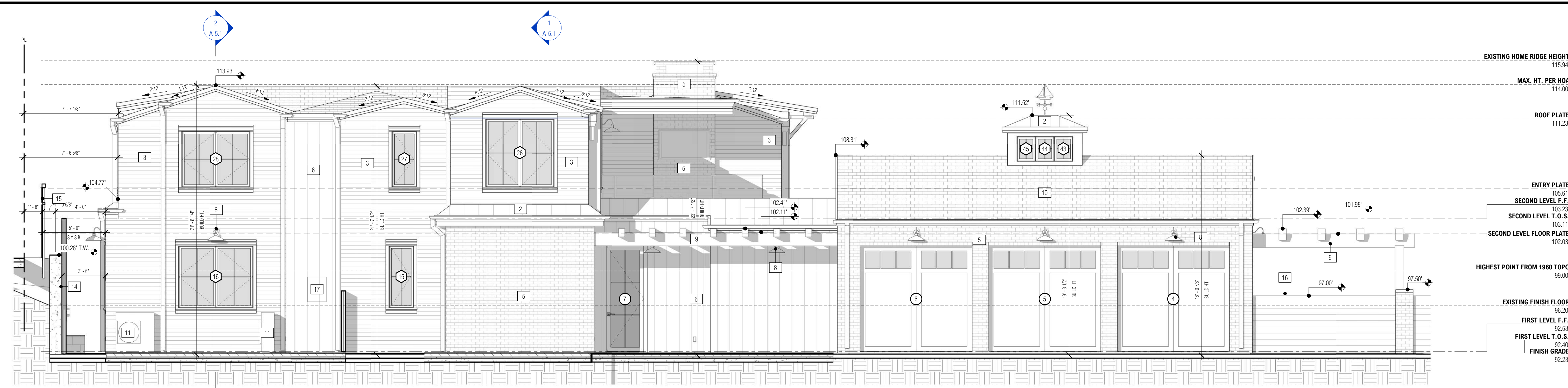
**FLASHING & WEATHERSTRIPPING**  
 PROVIDE MIN. 24 GAUGE METAL (16 OZ.) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

1. PENETRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.  
 2. REF. ROOF PLAN (A-3.0) FOR ALL PLATE FITS & RIDGE FITS.

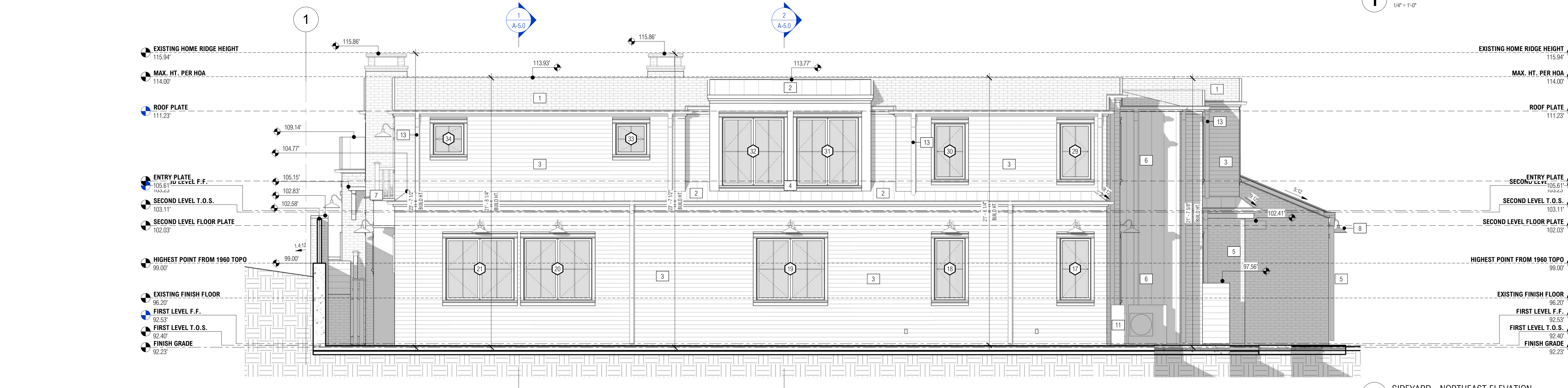
**A MATERIAL SPECIFICATIONS**

- WOOD SHINGLE ROOFING - REF. MAT. SCHEDULE SHIT. A-4.0
- STANDING SEAM METAL ROOFING - REF. MAT. SCHEDULE SHIT. A-4.0
- SHIP LAP SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHIT. A-4.0
- WOOD PANEL SIDING - EXT. GRAIN MIX. PAINT AS SEL. REF. MATERIAL SCHEDULE SHIT. A-4.0
- BRICK VENEER - REF. MAT. SCHEDULE SHIT. A-4.0
- BOARD & BATTEN SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHIT. A-4.0
- DECK BELLFRONT - EXT. PAINT GRAIN, SMOOTH FINISH, ARCH. TO APPROVE FINISH
- WALL MOUNTED LIGHT FIXTURE, GOODSE NECK SCORCE TO BE DOWN LIT AND SHIELDED TO PREVENT GLARE OR BE A WOOD TRUSS TO BE AT LEAST 50% OPEN, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- CONCRETE ROOF TILE - COLOR AS SEL. REF. MAT. SCHEDULE SHIT. A-4.0
- AC CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPPING PAD AS REQD. (SOUND ATTENUATION REQD. PER SECTION 10.26.05 N.B.C. UNDER SEPARATE PERMIT & PLAN CHECK)
- DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- (V) PROPERTY LINE WALL - PLASTER FINISH TO MATCH MAX. (6' ABV. N.G.)
- (E) NESHORING SITE WALL AND EDGE - PROTECT IN PLACE
- POOL ENCLOSURE PER CBC 3109 & ISPCS 305 - SEE NOTES ON A/A-0.0 FOR MORE INFO.
- MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)

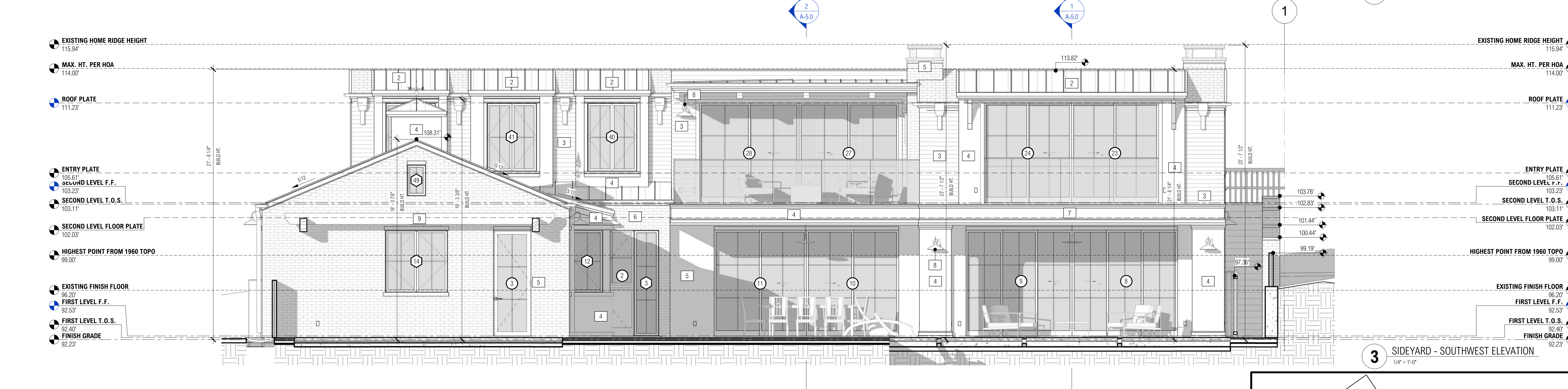
**B KEYNOTES**



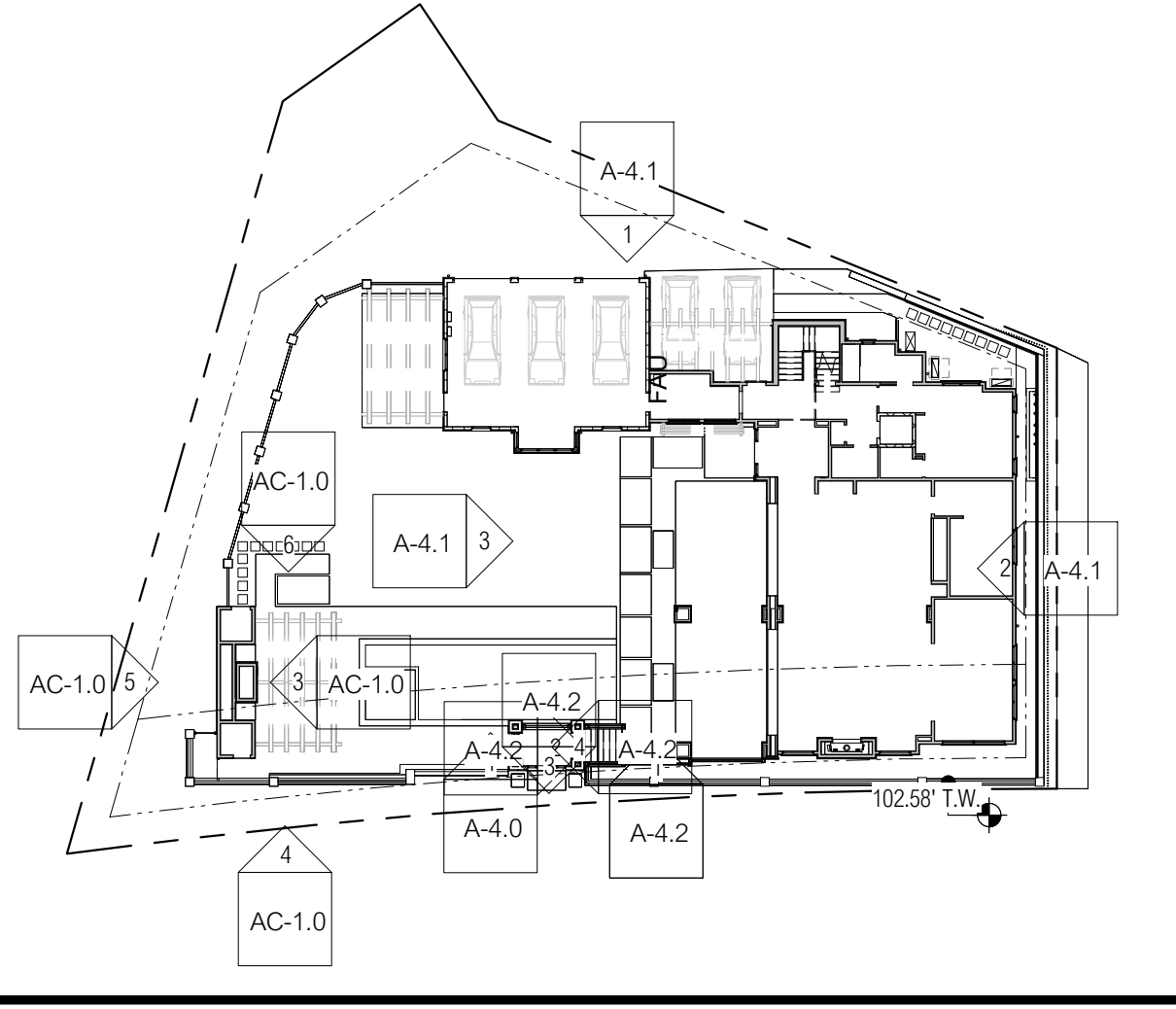
**1 REAR - NORTHWEST ELEVATION**  
 1/4" = 1'-0"



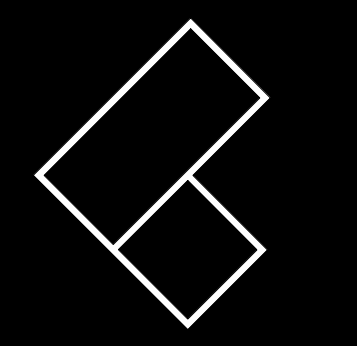
**2 SIDEYARD - NORTHEAST ELEVATION**  
 1/4" = 1'-0"



**3 SIDEYARD - SOUTHWEST ELEVATION**  
 1/4" = 1'-0"



**B KEYNOTES**



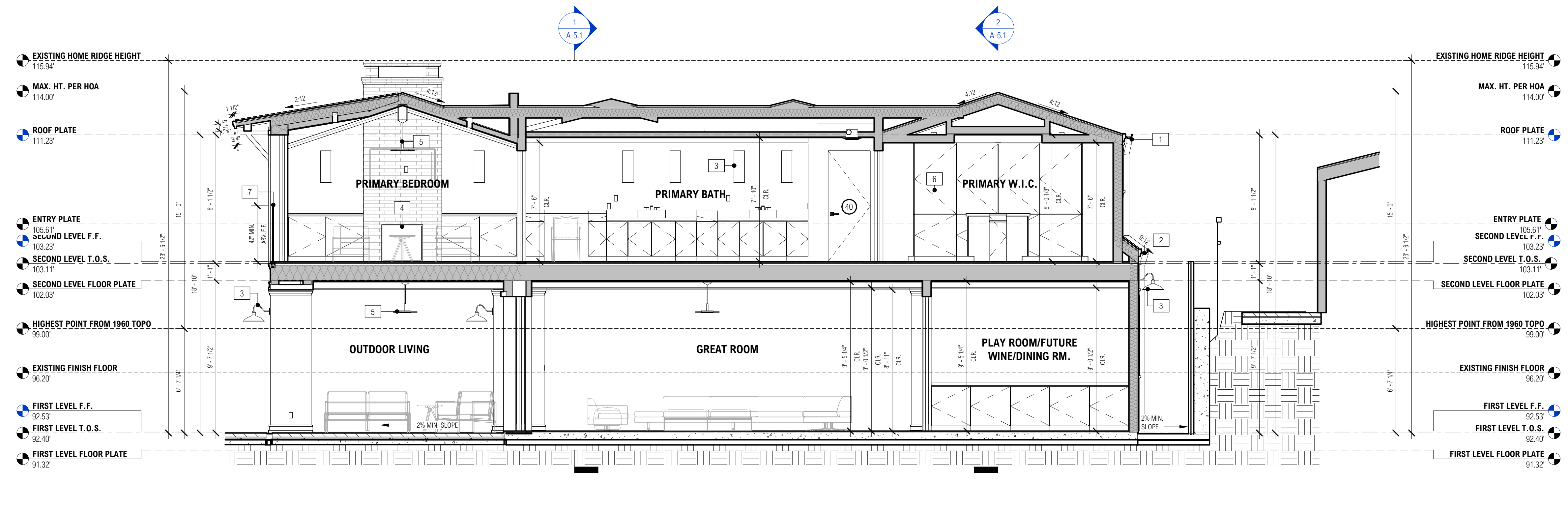
**BRANDON ARCHITECTS**  
 151 KALAMUS DRIVE, SUITE G-1  
 COSTA MESA, CA 92626  
 714.754.4040  
 WWW.BRANDONARCHITECTS.COM

**PROJECT STATUS**  
 PERMIT

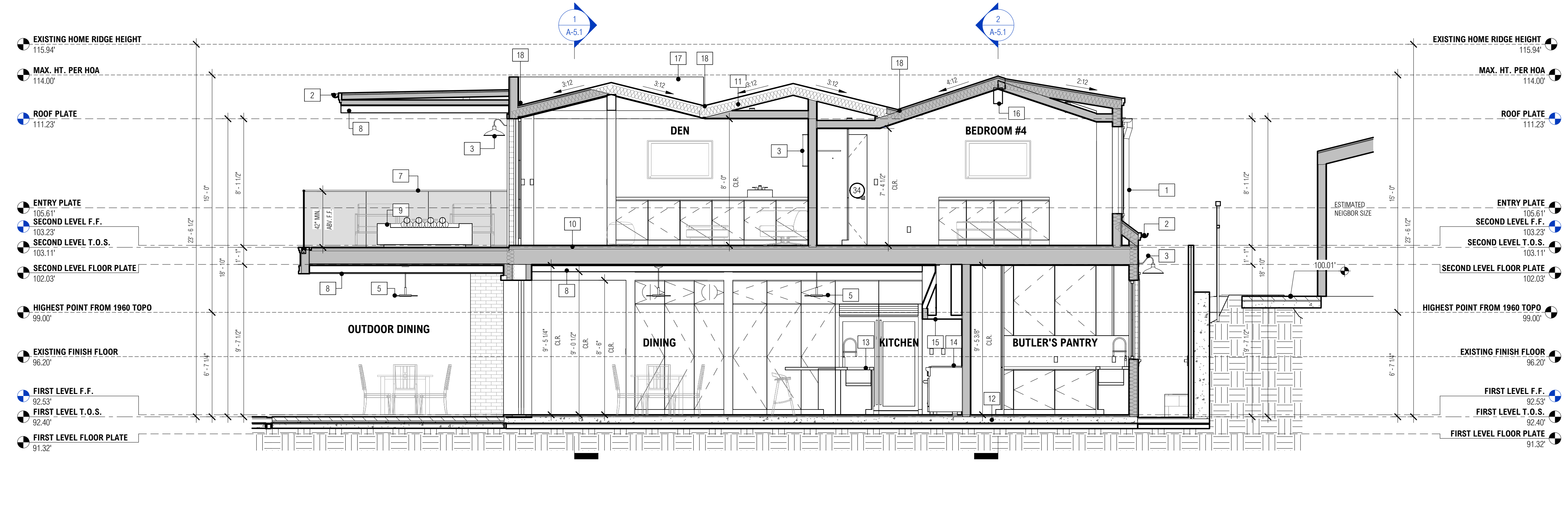
**PLAN CHECK NO.**  
 PK623-0110

**PROJECT CONTACT**  
 BRANDON LINDSAY, AIA NCARB

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**1** TRANSVERSE SECTION  
 1/4" = 1'-0"



**2** TRANSVERSE SECTION  
 1/4" = 1'-0"

**FIREBLOCKING AND DRAFTSTOPPING** SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

**FIRE BLOCKS**  
 FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

**FIRE BLOCK CONSTRUCTION**  
 FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

**WALLS** HAVING PARALLEL OR STAGGERED STUDS FOR SOUND/TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

**DRAFT STOPS**  
 DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

**FLOOR-CEILING ASSEMBLIES**  
 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

**ATTICS**  
 DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

**DRAFT STOP CONSTRUCTION**  
 DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

**A FIRE-BLOCKING & DRAFT STOP NOTES**

**EXTERIOR WALL:** 2 x 4 CONCT. OR LARGER: R-21 MIN.

**RAISED FLOOR:** R-30 MIN.

**ROOF:** R-30

**NOTES:**  
 1. REF. T-24 REPORT FOR MORE INFORMATION  
 2. PROVIDE BID FOR INSULATION OF ENTIRE HOME  
 \*TOTAL R-VALUE INCLUDING THE RIDGED AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

**\*\*\*ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT\*\*\***

**B INSULATION SCHEDULE**

ROOM NAME	ROOM TAG
	ELEVATION / SECTION INDICATOR
	CALL-OUT TAG
	SPOT ELEVATION
	KEYNOTE TAG
	DOOR TAG
	WINDOW TAG
	WINDOW WALL TAG
	REVISION TAG
	FIRE RATED CEILING ASSY - REF. DTLS. 7/A0-1.0
	1-HR RATED INT CONDITION - REF. DTLS. 7/A0-1.0
	1-HR RATED EXT CONDITION - REF. DTLS. 7/A0-1.0
	CONCRETE WALL/PORUM DECK - PER STRUCT. REF. STRUCT DWGS. - FOR SLAB ON GRADE PROVIDE BASE PER R08K3.2 AND VAPOR RETARDER PER R08K3.3 W/ CAPILLARY BREAK
	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIMENSION PLANS FOR MORE INFO - INSULATION PER INSULATION SCHEDULE AND T-24 ENERGY REPORTS

**C ANNOTATION LEGEND**

- 1 DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- 2 GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- 3 WALL MOUNTED LIGHT FIXTURE, GOOSE NECK SOONCE TO BE DOWN LIT AND SHIELDED TO PREVENT GLARE OR BE A NUISANCE TO NEIGHBORS
- 4 FIREPLACE - PREFABRICATED, GAS ONLY, "SOKERN", (QCC ESR-2316 (REF. DTL. 22AD-1) (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFG'G. INSTALLATION INSTRUCTIONS. GAS/GAS-FUEL BURNING FAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
- 5 DECORATIVE PENDANT LIGHT FIXTURE
- 6 BUILT-IN CLOSET - CUSTOM PER INTERIOR DESIGNER
- 7 EXTERIOR GLASS GUARDRAIL - TEMPERED & LAMINATED - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL. 4AD-1
- 8 6X12 DECO. TIMBER RAFTER - CHAMFER EDGES APPX. 1/2" PAINT AS SEL.
- 9 FIREPT - PROVIDE GAS STUB-OUT, REF. LAND. DWGS., VERIFY W/ OWNER
- 10 FLOOR JOISTS - REF. STRUCT.
- 11 ROOF RAFTERS - REF. STRUCT.
- 12 CONCRETE SLAB ON GRADE - REF. STRUCT.
- 13 KITCHEN ISLAND - BASE CABINET, COUNTER, AND APPLIANCES PER I.D. - VERIFY SIZE W/ I.D. & OWNER
- 14 RANGE - VERIFY APPLIANCE W/ OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFG.) - VENT TO OUTDOOR AIR
- 15 KITCHEN EXHAUST HOOD TO VENT TO EXT. - PROVIDE MIN. RATE OF 100 CFM - INSTALL & PROVIDE POWER PER MFG. INSTRUCTION
- 16 6X12 DECO. TIMBER RAFTER - SHAPED TAIL AS OCCURS (ARCH. TO APPV. PROFILE), SEALED, PAINT AS SEL.
- 17 SHIP LAP SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHY. A-4.0
- 18 CRACKTY - 2% MIN

**D KEYNOTES**

**PROJECT ADDRESS:**  
 211 EMERALD BAY  
 LAGUNA BEACH, CA 92651

**OWNER INFORMATION:**  
 THE BRENNAN J SLAVIK TRUST  
 4450 MACARTHUR BLVD FL 2ND  
 NEWPORT BEACH, CA 92660

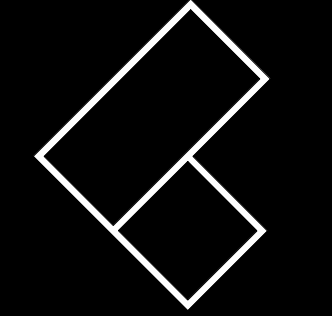
**DATE**  
 12.22.2023

**REVISIONS**

NO.	REVISION	DATE

**BUILDING SECTIONS**

**A-5.0**



**BRANDON ARCHITECTS**  
 151 KALAMUS DRIVE, SUITE G-1  
 COSTA MESA, CA 92626  
 714.754.4040  
 WWW.BRANDONARCHITECTS.COM

**PROJECT STATUS**  
 PERMIT

**PLAN CHECK NO.**  
 PK623-0110

**PROJECT CONTACT**  
 BRANDON LINDSAY, AIA NCARB

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**SLAVIK RESIDENCE**

**PROJECT ADDRESS:**  
 211 EMERALD BAY  
 LAGUNA BEACH, CA 92651

**OWNER INFORMATION:**  
 THE BRENNAN J SLAVIK TRUST  
 4450 MACARTHUR BLVD FL 2ND  
 NEWPORT BEACH, CA 92660

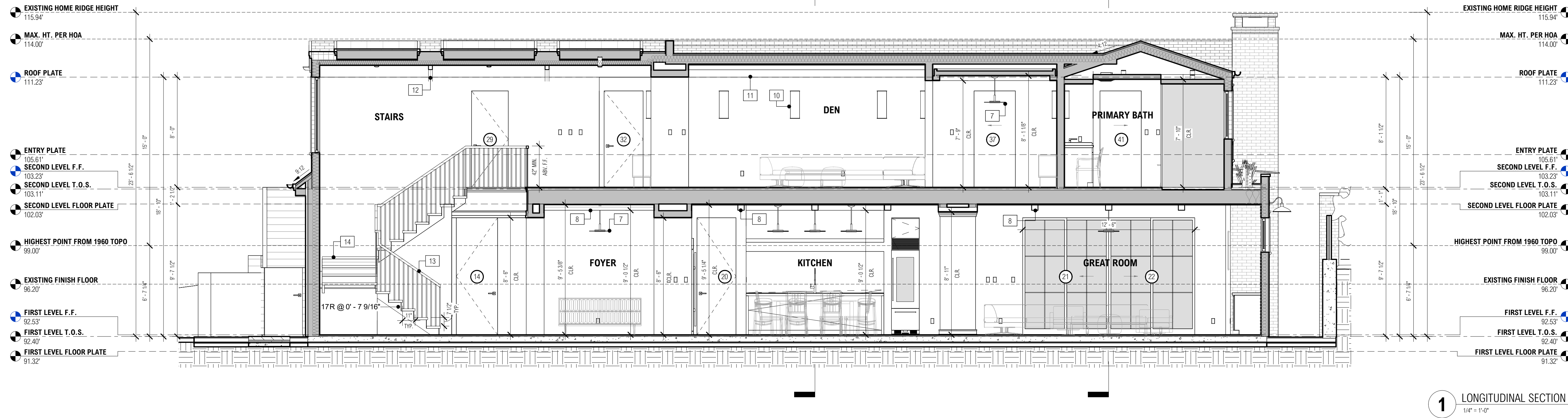
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 12.22.2023

**REVISIONS**

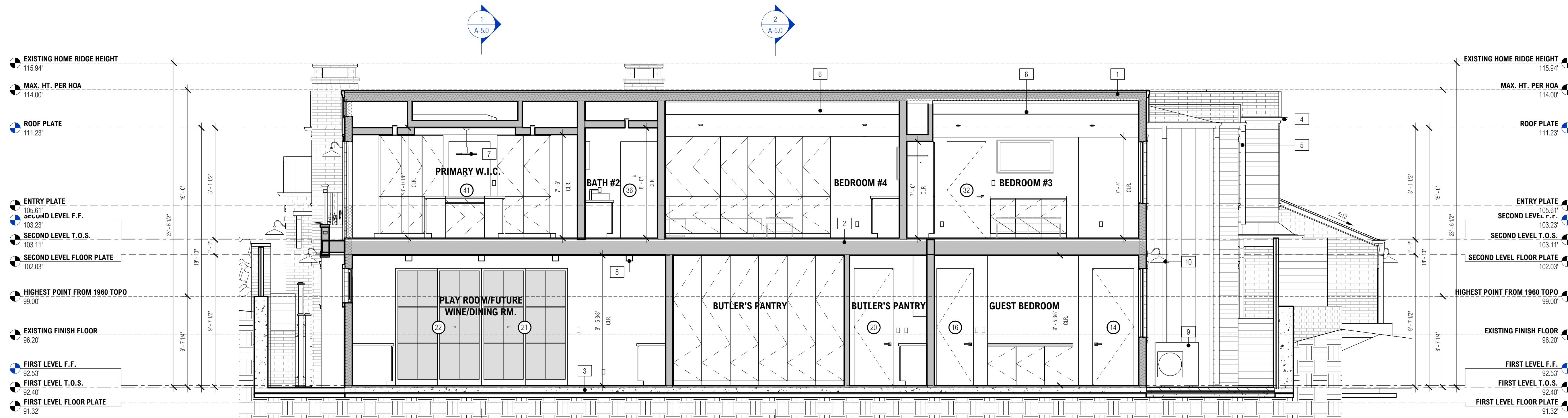
NO.	REVISION	DATE

**BUILDING SECTIONS**

**A-5.1**



**1** LONGITUDINAL SECTION  
 1/8" = 1'-0"



**2** LONGITUDINAL SECTION  
 1/8" = 1'-0"

**FIREBLOCKING AND DRAFTSTOPPING** SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

**FIRE BLOCKS**  
 FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

**FIRE BLOCK CONSTRUCTION**  
 FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

**DRAFT STOPS**  
 DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

**FLOOR-CEILING ASSEMBLIES**  
 DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

**ATTICS**  
 DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

**DRAFT STOP CONSTRUCTION**  
 DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-M PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

**OPENINGS IN THE PARTITIONS** SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

**A FIRE-BLOCKING & DRAFT STOP NOTES**

**EXTERIOR WALL:** 2 x 4 CONCR. OR LARGER - R-21 MIN.

**RAISED FLOOR:** R-30 MIN.

**ROOF:** R-30

**NOTES:**  
 1. REF. T-24 REPORT FOR MORE INFORMATION  
 2. PROVIDE BID FOR INSULATION OF ENTIRE HOME  
 \*TOTAL R-VALUE INCLUDING THE RIGID AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

**\*\*ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT\*\***

**B INSULATION SCHEDULE**

ROOM NAME	ROOM TAG	ELEVATION / SECTION INDICATOR	CALL-OUT TAG	SPOT ELEVATION	KEYNOTE TAG	DOOR TAG	WINDOW TAG	WINDOW WALL TAG	REVISION TAG	FIRE RATED CEILING ASSY - REF. DTLS. 7/AD-1.0	1-HR RATED INT CONDITION - REF. DTLS. 7/AD-1.0	1-HR RATED EXT CONDITION - REF. DTLS. 7/AD-1.0	CONCRETE WALL/PORUM DECK - PER STRUCT. REF. STRUCT DWGS. - FOR SLAB ON GRADE, PROVIDE BASE PER R08/2.2 AND VAPOR RETARDER PER R08/2.3 W/ CAPILLARY BREAK	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIMENSION PLANS FOR MORE INFO - INSULATION PER INSULATION SCHEDULE AND T-24 ENERGY REPORTS
1 A-5.0				10.00'	7									

**C ANNOTATION LEGEND**

- ROOF RAFTERS - REF. STRUCT.
- FLOOR JOISTS - REF. STRUCT.
- CONCRETE SLAB ON GRADE - REF. STRUCT.
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- 6X12 DECID. TIMBER RAFTER - SHAPED TAIL AS OCCURS (ARCH. TO APPV. PROFILE), SEALED, PAINT AS SEL.
- DECORATIVE PENDANT LIGHT FIXTURE
- 6X6 DECID. TIMBER CORBEL - CHAMFER EDGES APPX. 1/2" PAINT AS SEL.
- A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATTENTION REQ'D. PER SECTION 10.26.03 N.E.M.C. UNDER SEPARATE PERMIT & PLAN CHECKS)
- WALL MOUNTED LIGHT FIXTURE, GOOSE NECK SCENE TO BE DOWN LIT AND SHIELDED TO PREVENT GLARE OR BE A NUISANCE TO NEIGHBORS
- CEILING FRAMING - REF. STRUCT.
- 4X4 DECID. TIMBER RAFTER - SHAPED TAIL AS OCCURS (ARCH. TO APPV. PROFILE), SEALED, PAINT AS SEL.
- INTERIOR GUARDRAIL - MIN. 42" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTLS. 4/AD-1
- ENCLOSED USABLE SPACE UNDER STAIRWAY USE 3/8" TYPE 'X' GYP. BD. FINISH TYP. (1/2" MIN.) (IRC R302.7)

**D KEYNOTES**