

# Accessory Dwelling Unit Studio Plan - 393 s.f. County of Orange, CA

(FOR USE IN THE UNINCORPORATED COUNTY OF ORANGE)

## APPLICANT AGREEMENT

APPLICANT AGREES TO PROVIDE ALL NECESSARY INFORMATION REQUIRED TO COMPLETE THESE CONSTRUCTION DOCUMENTS. MODIFICATIONS TO THE PERMIT READY DOCUMENTS PROVIDED BY DESIGN PATH STUDIO ARE TO BE DISCLOSED BY THE APPLICANT AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY MODIFICATIONS TO THESE CONSTRUCTION DOCUMENTS REQUIRES EACH SHEET TO BE SIGNED BY THE PERSON WHO MADE THE CHANGES. ANY ADDITIONAL SHEETS INCORPORATED INTO THESE DOCUMENTS ALSO REQUIRES A SIGNATURE BY THE PERSON WHO PREPARED THE INFORMATION. THE FOUNDATION DESIGN FOR THESE PERMIT READY CONSTRUCTION DOCUMENTS ASSUMES STANDARD SOILS CONDITIONS AND LEVEL TOPOGRAPHY. IF SITE SPECIFIC CONDITIONS REQUIRE A FOUNDATION DESIGN BEYOND WHAT IS PROVIDED IN THESE DOCUMENTS THEN THE APPLICANT IS TO PROVIDE A NEW FOUNDATION DESIGN WHICH COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER'S REPORT.

BY SIGNING BELOW THE APPLICANT AGREES TO AND AFFIRMS ALL STATEMENTS INCLUDED HEREIN AND WILL COMPLY WITH ALL LOCAL CODE REQUIREMENTS.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

## EMERGENCY CONTACT

INCASE OF EMERGENCY CALL:

NAME:

WORK PHONE:

HOME PHONE:

CELL PHONE:

## HERS NOTES

1. PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CF2R FORMS) SHALL BE POSTED WEATHER PROTECTED WITHIN BUILDING FOR REVIEW BY INSPECTORS - EES 10-103(A)3, 10-103(B)1.A - BY THE INSTALLING CONTRACTOR AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE SITE. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY WITH ITS OWN UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R FORM. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF2R FORMS ARE REVIEWED AND APPROVED.

2. PROPERLY COMPLETED & ELECTRONICALLY SIGNED & REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED WEATHER PROTECTED WITHIN THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF3R IS REVIEWED AND APPROVED. EES 10-103(A)3, 10-103(B)1.A.

3. CF2R REGISTRATION FORMS ARE LOCATED ON THE PLANS. A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE.

4. HERS TESTS REQUIRED FOR THIS PROJECT ARE:  
QUALITY INSULATION INSTALLATION (QI), INDOOR AIR QUALITY VENTILATION, KITCHEN RANGE HOOD, VERIFIED REFRIGERANT CHARGE, AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.7), VERIFIED HEAT PUMP RATED HEATING CAPACITY, WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT<sup>2</sup> (SC3.4.5, DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8))  
KITCHEN RANGE HOOD CFM VERIFICATION(100 CFM & <= 3 SONES, CEC LISTED)  
IAQ MECHANICAL VENTILATION - STUDIO-26, 1BED-32 CFM, 2BED1BATH-45 CFM, 2BED2BATH-46 CFM, 3BEDA-59 CFM, 3BED-66 CFM  
5. FOR IAQ FAN - ABOVE CFM REQUIRED FOR A CONTINUOUSLY OPERATING EXHAUST FAN.  
6. PROVIDE A TIMER SWITCH WITH A MANUAL OFF AND A SOUND RATING OF 1 SONE (3 SONES MAX FOR AN INTERMITTENT FAN). THIS FAN TO PROVIDE WHOLE BUILDING INDOOR AIR QUALITY VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.

7. SOLAR:  
STUDIO - 1.4kWdc APPROXIMATE BASED ON INITIAL REPORTS  
1 BEDROOM - 1.4kWdc APPROXIMATE BASED ON INITIAL REPORTS  
2 BED 1 BATH - 2.0kWdc APPROXIMATE BASED ON INITIAL REPORTS  
2 BED 2 BATH - 2.1kWdc APPROXIMATE BASED ON INITIAL REPORTS  
3 BED A - 2.4kWdc APPROXIMATE BASED ON INITIAL REPORTS  
3 BED B - 2.4kWdc APPROXIMATE BASED ON INITIAL REPORTS  
8. SPECIAL FEATURES: PV EXEMPTION 2. NO PV REQUIRED WHEN MINIMUM PV SIZE < 1.8 KWDC (SECTION 150.1(C)4) PV EXEMPTION BASED IN UPDATED ENERGY CALCULATIONS WITH SITE SPECIFIC INFORMATION.  
9. AIRABLE CAPACITY HEAT PUMP COMPLIANCE OPTION (VERIFICATION DETAILS FROM VCHP STAFF REPORT, APPENDIX B, AND RA3)  
10. NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

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CONTACT LOCAL UTILITY COMPANIES REGARDING GAS AND ELECTRIC SERVICES TO THIS DETACHED ADU. SEE EXAMPLE SITE PLAN, SHEET AS.2, FOR MORE INFORMATION  
ADU MAY BE SUBJECT TO IMPACT FEES, INCLUDING , BUT NOT LIMITED TO SCHOOL, ROAD, AND PARK FEES.  
ADUs SHALL NOT BE USED FOR ANY SHORT TERM RENTALS: ADUs CAN BE RENTED/LEASED FOR MONTHLY OR YEARLY PERIODS ONLY OR AS REQUIRED BY STATE AND LOCAL LAWS.

## ZONING INFORMATION

CONTACT THE COUNTY OF ORANGE FOR THE INFORMATION BELOW  
<https://myocservices.ocgov.com/> / PHONE:(714)573-6100

ZONING :  
OVERLAY :  
SCHOOL DISTRICT:  
LOT SIZE :  
EXISTING HABITABLE SQ. FT. :  
EXISTING FAR :  
MAX. ALLOWABLE FAR :  
PROPOSED FAR :  
FLOOR AREA OF GARAGE:  
EXISTING LOT COVERAGE:  
ALLOWABLE LOT COVERAGE :  
PROPOSED LOT COVERAGE :  
LOT SLOPE :  
ADU SETBACKS FROM PROPERTY LINE:  
ALLOWED : FRONT- PROPOSED : FRONT-  
REAR- REAR-  
SIDE- SIDE-  
STREET SIDE- STREET SIDE-

## DIRECTORY

SITE PLAN & TITLE SHEET INFORMATION PREPARED BY:

COMPANY  
CONTACT PERSON  
ADDRESS  
CITY STATE ZIP  
PHONE:  
EMAIL:

PROPERTY OWNER:

NAME  
ADDRESS  
CITY STATE ZIP  
PHONE:  
EMAIL:

BUILDING DEPARTMENT:

ORANGE COUNTY PUBLIC WORKS  
601 N. ROSS ST.  
SANTA ANA, CA 92701  
P. (714)667-8800

## VICINITY MAP

PROVIDED BY OWNER

## BUILDING INFORMATION

GOVERNING CODES: APPROVAL OF THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND THE COUNTY OF ORANGE MUNICIPAL CODE.

SITE ADDRESS:

ADU ADDRESS ASSIGNED BY ORANGE COUNTY:

GOVERNING AGENCY: COUNTY OF ORANGE, CA.  
OCCUPANCY GROUP: R3  
STORIES: 1  
TYPE OF CONSTRUCTION: VB

ADU SETBACKS FROM MAIN RESIDENCE  
ALLOWED : PROPOSED :  
OFF STREET PARKING REQUIRED: PROVIDED:

## PROJECT DESCRIPTION

NEW CONSTRUCTION OF A ONE STORY, STUDIO, 1 BATH, DETACHED 393 S.F. ACCESSORY DWELLING UNIT WITH PORCH AREAS USED BELOW.

CRAFTSMAN PORCH: 60 S.F.  
RANCH PORCH: 60 S.F.  
SPANISH PORCH: 60 S.F.

## LEGAL DESCRIPTION

## APN

## REQUIRED SUPPLEMENTAL INFORMATION - TO BE COMPLETED BY OWNER

### additional plan information provided by applicant:

- COMPLETED
- TITLE SHEET (T1-1) INFORMATION FILLED OUT
  - FILL OUT TITLEBLOCK WITH OWNER NAME, ADDRESS, APN, AND LEGAL DESCRIPTION ON EACH SHEET
  - SITE PLAN SHEET (AS.2) PROVIDED IN PLAN SET FOR CITY REVIEW
  - UPDATED TITLE 24 ENERGY CALCULATION. REPORT WITH CORRECT NAME, ADDRESS, AND EXACT ORIENTATION FOR SITE SPECIFIC CONDITIONS. OWNER MAY CONTACT THE ENTITY WHO PREPARED THE ORIGINAL REPORT (SHOWN ON T24.1) TO OBTAIN UPDATES TO THE REPORT.
  - CONSTRUCTION AND DEMOLITION FORM
  - HOLD HARMLESS AGREEMENT
  - PHOTOVOLTAIC SYSTEM - THE PV SYSTEM MUST BE INSTALLED, OPERATIONAL AND FINAL PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL FOR THE ADU. (WHEN REQUIRED) IF THERE IS AN EXISTING PHOTOVOLTAIC SYSTEM OF SUFFICIENT SIZE ON THE MAIN HOUSE TO ACCOMMODATE THE NEW ADU THEN HOMEOWNER IS TO PROVIDE A REPORT STATING THE EXISTING SIZE OF THE PV PANEL
  - MEP PERMIT REQUIRED FOR ADUS OVER 500SF

### exterior style selection:

SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING

- CRAFTSMAN
- RANCH
- SPANISH

### exterior wall material:

SELECTION(S)

- STUCCO / COLOR
- STONE VENEER / COLOR
- FIBER CEMENT - SIDING / COLOR
- WOOD SIDING / COLOR
- OTHER

### deferred submittals - separate permit to be obtained by applicant:

TO BE COMPLETED

- FIRE SPRINKLERS (WHEN REQUIRED)

### roof material:

SELECTION

- ROOF COLOR OF PRINCIPAL DWELLING UNIT (ROOF COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT)
- TRIM COLOR OF PRINCIPAL DWELLING (TRIM COLOR OF ADU TO MATCH PRINCIPAL DWELLING UNIT TRIM)
  - CONCRETE TILE ROOF - EAGLE ROOF PRODUCTS INC. - IAMPO UES-ER 1900 MINIMUM 2-1/2" ROOF SLOPE. COLOR OF CONCRETE TILE ROOF.
  - ARCHITECTURAL GRADE SHINGLE - CERTAINTED - ICC-ES ESR-3537 MINIMUM 2-1/2" ROOF SLOPE. COLOR OF ARCHITECTURAL GRADE SHINGLES
  - OTHER ROOF MATERIAL / COLOR / ICC / UL: \_\_\_\_\_

### lot size and impervious area:

Total Lot Size = \_\_\_\_\_  
(Existing building footprint, patios, decks, hardscape, etc.)  
Total Area of Existing Impervious Surfaces = \_\_\_\_\_  
(Existing building footprint, patios, decks, hardscape, etc.)  
Total Area of New Impervious Surfaces = \_\_\_\_\_  
(Increase to building footprint, patios, decks, hardscape, etc.)  
Total Area of Replaced Impervious Surfaces = \_\_\_\_\_  
(Replacement to building footprint, patios, decks, hardscape, etc.)

### fire sprinkler information:

SELECTION

- EXISTING RESIDENCE CURRENTLY HAS FIRE SPRINKLERS
  - EXISTING RESIDENCE DOES NOT CURRENTLY HAVE FIRE SPRINKLERS
  - PROPERTY IS LOCATED IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE
  - PROPERTY IS NOT LOCATED IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFS2)
- NEW ADU IS REQUIRED TO HAVE FIRE SPRINKLERS IF THE EXISTING RESIDENCE HAS FIRE SPRINKLERS OR IS LOCATED IN VHFS2. SEE NOTES ON AD. 1 AND FIRE RATED DETAIL CHECKLIST ON THIS SHEET

### fire rated details:

SELECTION

- ROOF EAVE DETAIL 1,2,3,5,6,7/A5.2
  - WALL FINISH DETAIL 9B,12B,15B/A5.1
- FIRE RATED DETAILS ABOVE ARE TO BE USED WHEN THE PROPERTY IS LOCATED IN THE VERY HIGH FIRE SEVERITY ZONE (VHFS2) OR WHEN WALLS AND ROOF EAVES ARE LESS THAN 5 FT FROM PROPERTY LINE IN AN UNSPRINKLERED BUILDING OR LESS THAN 3 FT FROM PROPERTY LINE IN SPRINKLERED BUILDINGS PER TABLE R302.1(1) & R302.1(2). FIRE RATED DETAILS ABOVE ARE ALSO TO BE USED WHEN THE ADU IS LESS THAN 10 FT FROM THE MAIN DWELLING UNIT IN AN UNSPRINKLERED BUILDING OR LESS THAN 6 FT FROM THE MAIN DWELLING UNIT IN A SPRINKLERED BUILDING.

### window and trim color:

SELECTION

- WINDOW COLOR OF PRINCIPAL DWELLING UNIT (WINDOW COLOR SELECTION BELOW FOR THE ADU IS TO MATCH PRINCIPAL DWELLING UNIT WINDOW COLOR)
- WHITE
  - TAN
  - DARK BRONZE
  - OTHER WINDOW COLOR \_\_\_\_\_

### sewer waste water information:

SELECTION

- ADU TO HAVE NEW CONNECTION TO CITY SEWER MAIN
- ADU TO CONNECT TO EXISTING RESIDENCE SEWER LATERAL IF EXISTING HOUSE HAS FOUR OR MORE TOILETS WITH AN EXISTING 3 INCH SEWER DRAIN, A SEPARATE CONNECTION TO THE CITY SEWER MAIN IS REQUIRED FOR THE NEW ADU. REFER TO CURRENT CPC SECTION 703.2 FOR PIPE SIZING REQUIREMENTS SHOW LOCATION AND SIZE OF EXISTING MAIN HOUSE SEWER LINE. 2% SLOPE REQUIRED FOR ALL NEW SEWER LINES. LIST NUMBER OF BATHROOMS IN EXISTING HOME
- SEPTIC - REQUIRES REGIONAL WATER BOARD APPROVAL NEW SEPTIC TANKS WILL REQUIRE SEPARATE PLUMBING PERMIT AND SOILS REPORT.

DISTANCE TO CONNECTION \_\_\_\_\_

### electrical service information:

SELECTION

- UPGRADED SERVICE
  - EXISTING SERVICE TO REMAIN
  - NEW SERVICE
- SIZE OF EXISTING SERVICE \_\_\_\_\_ SIZE OF NEW SERVICE \_\_\_\_\_

### gas service information:

SELECTION

- UPGRADED SERVICE
  - EXISTING SERVICE TO REMAIN
  - NEW SERVICE
- SIZE OF EXISTING SERVICE \_\_\_\_\_ SIZE OF NEW SERVICE \_\_\_\_\_

### off site work

SELECTION

- NO
- YES

IF YES, AN ENCROACHMENT PERMIT WILL BE REQUIRED FROM OC PUBLIC WORKS

### EXAMPLE GAS PIPE DIAGRAM

TO BE UPDATED FOR SITE SPECIFIC CONDITIONS

NOTE: EXISTING GAS SERVICE AND METER SIZE TO BE PROVIDED BY HOMEOWNER AND UPDATED ISOMETRIC LAYOUT PROVIDED BY DESIGNER OF CHOICE. CFH & BTUS PROVIDED AS SUGGESTED. GAS PIPES BELOW GRADE SHALL BE POLYETHYLENE.

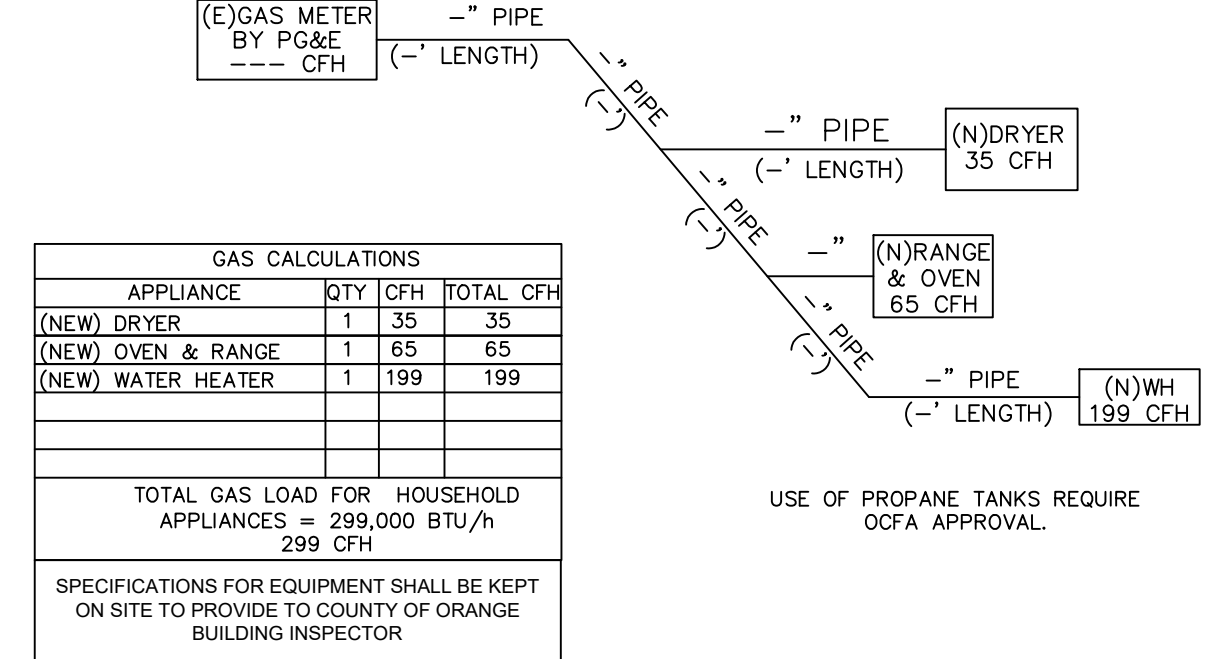
CEC TABLES FOR SIZING GAS PIPING SYSTEMS  
TABLE 1218.2(1) THROUGH TABLE 1218.2(30) SHALL BE USED TO SIZE GAS PIPING IN CONJUNCTION WITH ONE OF THE METHODS DESCRIBED IN SECTION 1218.1.1 THROUGH SECTION 1218.1.3

ALLOWABLE GAS PIPING MATERIALS ABOVE GRADE  
1208.6.3 METALLIC PIPE - CAST-IRON PIPE SHALL NOT BE USED.  
1208.6.3.1 STEEL AND WROUGHT-IRON PIPE  
1208.6.3.2 COPPER AND COPPER ALLOY PIPE  
1208.6.3.3 ALUMINUM ALLOY PIPE

1208.6.4 METALLIC TUBING - SEAMLESS COPPER, ALUMINUM ALLOY, OR STEEL TUBING SHALL NOT BE USED WITH GASES CORROSIVE TO SUCH MATERIAL

1208.6.4.1 STEEL TUBING  
1208.6.4.2 COPPER AND COPPER ALLOY TUBING  
1208.6.4.3 ALUMINUM ALLOY TUBING  
1208.6.4.4 CORRUGATED STAINLESS STEEL TUBING

1210.1.7 PLASTIC PIPING  
PLASTIC PIPING SHALL BE INSTALLED OUTDOORS, UNDERGROUND ONLY.



project  
County of Orange  
Pre-Approved  
ADU Program

OWNER NAME:

ADDRESS:

APN:

LEGAL DESCRIPTION:

revisions

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△

△

description

Title Sheet  
Studio

date 2024

project no.

drawn by DESIGN PATH STUDIO

sheet no. T1.1

CRAFTSMAN

RANCH

SPANISH



Studio - Craftsman view #1



Studio - Ranch view #1



Studio - Spanish view #1



Studio - Craftsman view #2



Studio - Ranch view #2



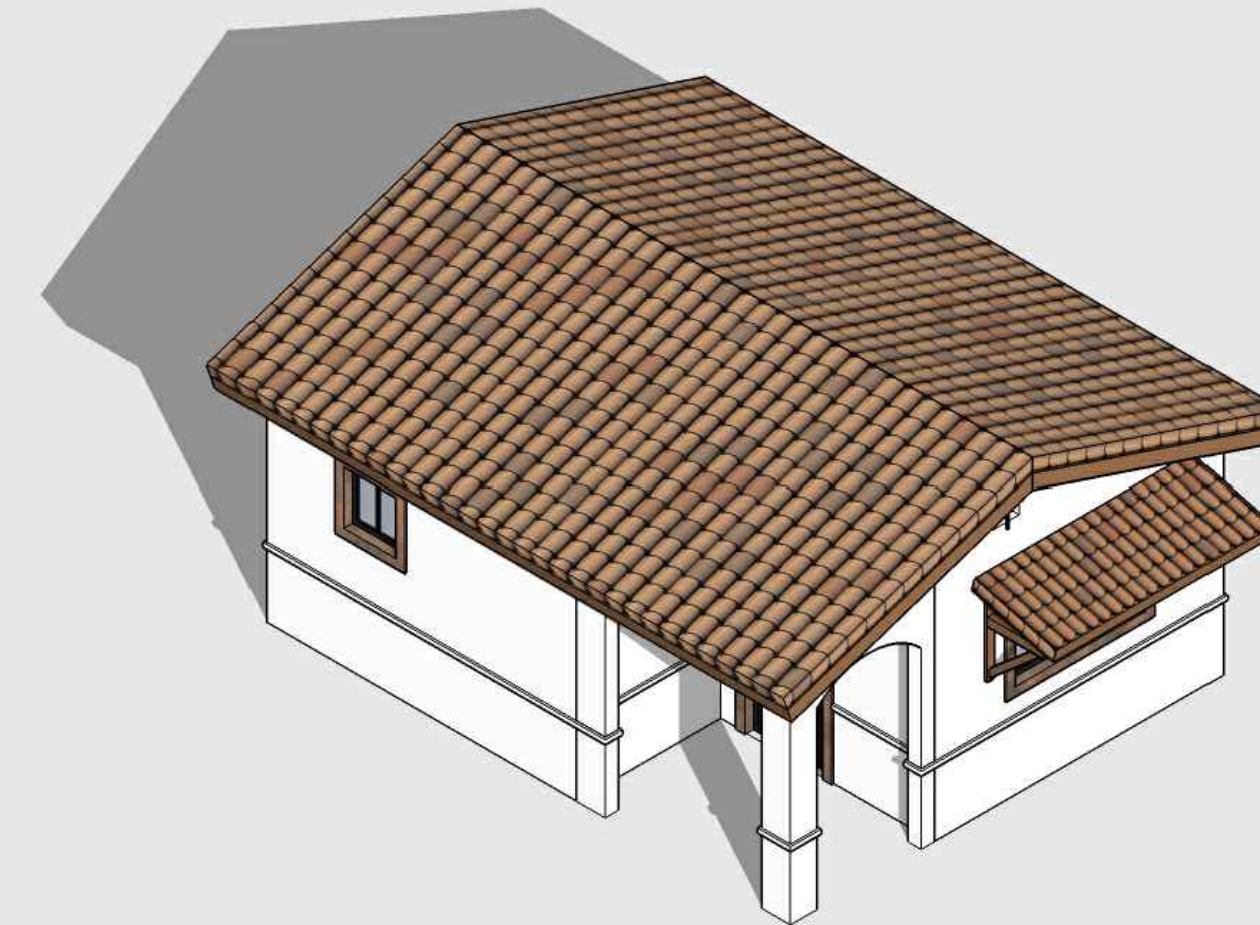
Studio - Spanish view #2



Studio - Craftsman view #3



Studio - Ranch view #3



Studio - Spanish view #3

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY ATTRIBS THE FOLLOWING CONDITIONS:  
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE COUNTY OF ORANGE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE COUNTY OF ORANGE BUILDING DEPARTMENT. BUILDING CODES DO NOT CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project  
County of Orange  
Pre-Approved  
ADU Program

OWNER NAME:  
ADDRESS:  
APN:  
LEGAL DESCRIPTION:

revisions  
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△  
△

description  
Exterior  
Style Option:  
Select one option

date 2024

project no.

drawn by DESIGN PATH STUDIO

sheet no. T1.2

3.2 Minimum Site BMP Requirements

The following requirements are for deployment of selected construction BMPs and apply year-round (not just during the rainy season) to all projects.

- A. Pollution prevention where appropriate.
- B. Development and implementation of a site specific run-off management plan.
- C. Minimization of areas that are cleared and graded to only the portion of the site that is necessary for construction.
- D. Minimization of exposure time of disturbed soil areas.
- E. Minimization of grading during the wet season and correlation of grading with seasonal dry weather periods to the extent feasible.
- F. Limitation of grading to a maximum disturbed area as determined by the County / city before either temporary or permanent erosion controls are implemented to prevent stormwater pollution. The County / city has the option of temporarily increasing the size of disturbed soil areas by a set amount beyond the maximum, if the individual site is in compliance with applicable stormwater regulations and the site has adequate control practices implemented to prevent stormwater pollution.
- G. Temporary stabilization and reseeded of disturbed soil areas as rapidly as feasible.
- H. Non-stormwater management measures to prevent illicit discharges and control stormwater pollution sources.
- I. Erosion Control BMPs shall be implemented.
- J. Wind erosion control BMPs (dust control) shall be implemented.
- K. Sediment control BMPs shall be implemented at all appropriate locations along the site perimeter, at all operational storm drain inlets and at all non-active slopes.
- L. Tracking control BMPs to control off-site sediment tracking shall be implemented and maintained.
- M. Waste management and materials pollution control BMPs shall be implemented to prevent the contamination of stormwater by construction wastes and materials.
- N. Non-stormwater BMPs shall be implemented to reduce or prevent the contamination of stormwater from construction activities.
- O. Weather tracking: projects shall monitor the National Weather Service ([www.weather.gov](http://www.weather.gov)) probability of precipitation. When a rain event is predicted (forecast predicts a greater than 50% probability of precipitation), the project must be inspected and BMPs must be maintained or deployed as needed to protect the project from discharging pollutants. (CGP projects only)
- P. BMP failures must be repaired or replaced with an acceptable alternate as soon as it is safe to do so. Repairs or replacements must result in an adequate BMP, or additional BMPs should be installed to provide adequate protection.

EXISTING SWIMMING POOL REQUIREMENTS

WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL OR SPA OR THE REMODELING OF AN EXISTING SWIMMING POOL OR SPA AT A PRIVATE SINGLE-FAMILY HOME, THE RESPECTIVE SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH AT LEAST TWO OF THE FOLLOWING SEVEN DROWNING PREVENTION SAFETY FEATURES:

- (1) AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME
- (2) REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SPECIFICATIONS F2286 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.
- (3) AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921.
- (4) EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."
- (5) A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.
- (6) AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY FEATURE.
- (7) OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME).
- (8) BEFORE THE ISSUANCE OF A FINAL APPROVAL FOR THE COMPLETION OF PERMITTED CONSTRUCTION OR REMODELING WORK, THE LOCAL BUILDING CODE OFFICIAL SHALL INSPECT THE DROWNING SAFETY PREVENTION FEATURES REQUIRED BY THIS SECTION AND, IF NO VIOLATIONS ARE FOUND, SHALL GIVE FINAL APPROVAL.

FIRE NOTES

1. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SECTION 505.1.
2. ALL FIRE APPARATUS ROADS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NO LESS THAN 13 FEET 6 INCHES.
3. SITE PLAN SHALL PROVIDE DIMENSIONS SHOWING REQUIRED FIRE APPARATUS ACCESS ROADS. FIRE ACCESS ROADWAYS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 24 FEET. EXCEPTIONS: 1. RESIDENTIAL DWELLINGS NOT IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SHALL HAVE A MINIMUM OF 20 FEET OF UNOBSTRUCTED IMPROVED WIDTH. 2. SINGLE-FAMILY RESIDENTIAL DRIVEWAYS SERVING NO MORE THAN TWO SINGLE-FAMILY DWELLING SHALL HAVE A MINIMUM OF 16 FEET OF UNOBSTRUCTED IMPROVED WIDTH.

GENERAL NOTES

1. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.
2. SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.
3. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS). THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (I.E. 7/8" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK MEASUREMENT. THE FIELD INSPECTOR WILL ADD THE PLANNED WALL FINISH THICKNESS TO THE FOUNDATION SETBACK.
4. NEW ELECTRIC SERVICE IS TO BE LOCATED - POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
5. LANDSCAPE AND IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLS.
6. ADU WILL BE CONNECTED TO THE PUBLIC SEWER SYSTEM OR WILL PROVIDE A COMPLYING SEPTIC SYSTEM.
7. CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND SHORING AND UNDERPINNING.
8. A DIMENSIONED SITE PLAN DRAWN TO SCALE SHALL BE PROVIDED SHOWING THE FOLLOWING: NORTH ARROW, PROPERTY LINES, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS, AND STRUCTURES, LOCATION OF YARDS USED FOR ALLOWABLE INCREASE OF BUILDING AREA, DIMENSIONED SETBACKS, MINIMUM SEPARATION FROM EXISTING ZONES AND FUEL MODIFICATION STRUCTURES PER UNIFORM ADMINISTRATIVE CODE SECTION 302.
9. IF A GRADING PLAN IS REQUIRED, INCORPORATE THE ENTIRE APPROVED GRADING PLAN/IMPROVEMENT PLAN (ALL SHEETS) WITH THE BUILDING PLANS.
10. PROJECTIONS, INCLUDING EAVES, MUST BE AT LEAST 24" FROM PROPERTY LINES.

- Q. Active exposed areas: Sufficient materials needed to install standby erosion and sediment control BMPs necessary to protect all active exposed areas from erosion and to reduce or prevent sediment discharges shall be stored on site. The total active exposed area shall not exceed that which can be adequately protected by deploying standby erosion control and sediment control BMPs prior to a predicted rain event.
- R. Inactive exposed areas: All exposed areas not being actively worked in shall be protected from erosion with temporary or permanent BMPs (erosion and sediment control). The ability to deploy standby BMP materials is not sufficient for these areas; erosion and sediment control BMPs must actually be deployed.
- S. Completed areas: Areas that have already been protected from erosion using permanent erosion control BMPs (physical or vegetation) are not considered "exposed". Deployment of permanent erosion control BMPs should commence as soon as practical on completed areas.
- T. Preservation of natural hydrologic features where feasible.
- U. Preservation of riparian buffers and corridors where feasible.
- V. Evaluation and maintenance of all BMPs, until removed.
- W. Retention, reduction, and proper management of all stormwater pollutant discharges on site to the Maximum Extent Practicable (MEP) standard.

NPDES NOTES

2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS SITUATION.
13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
18. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

GREEN BUILDING CODE NOTES

1. SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPT.
2. 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED.
3. VOC'S MUST COMPLY WITH THE LIMITATION LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3, AND 4.504.4 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.
4. INTERIOR MOISTURE CONTROL AT SLAB ON GRADE FLOORS SHALL BE PROVIDED BY THE SOIL ENGINEER. IF A SOIL ENGINEER HAS NOT PREPARED A SOIL REPORT FOR THIS PROJECT, THE FOLLOWING IS REQUIRED: A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, WITH A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED.
5. MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 10% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE LISTED METHODS LISTED IN CGC SECTION 4.503.3.
6. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVEN TO THE BUILDING DEPT OFFICIAL TO BE FILED WITH THE APPROVED PLANS.
7. LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS.

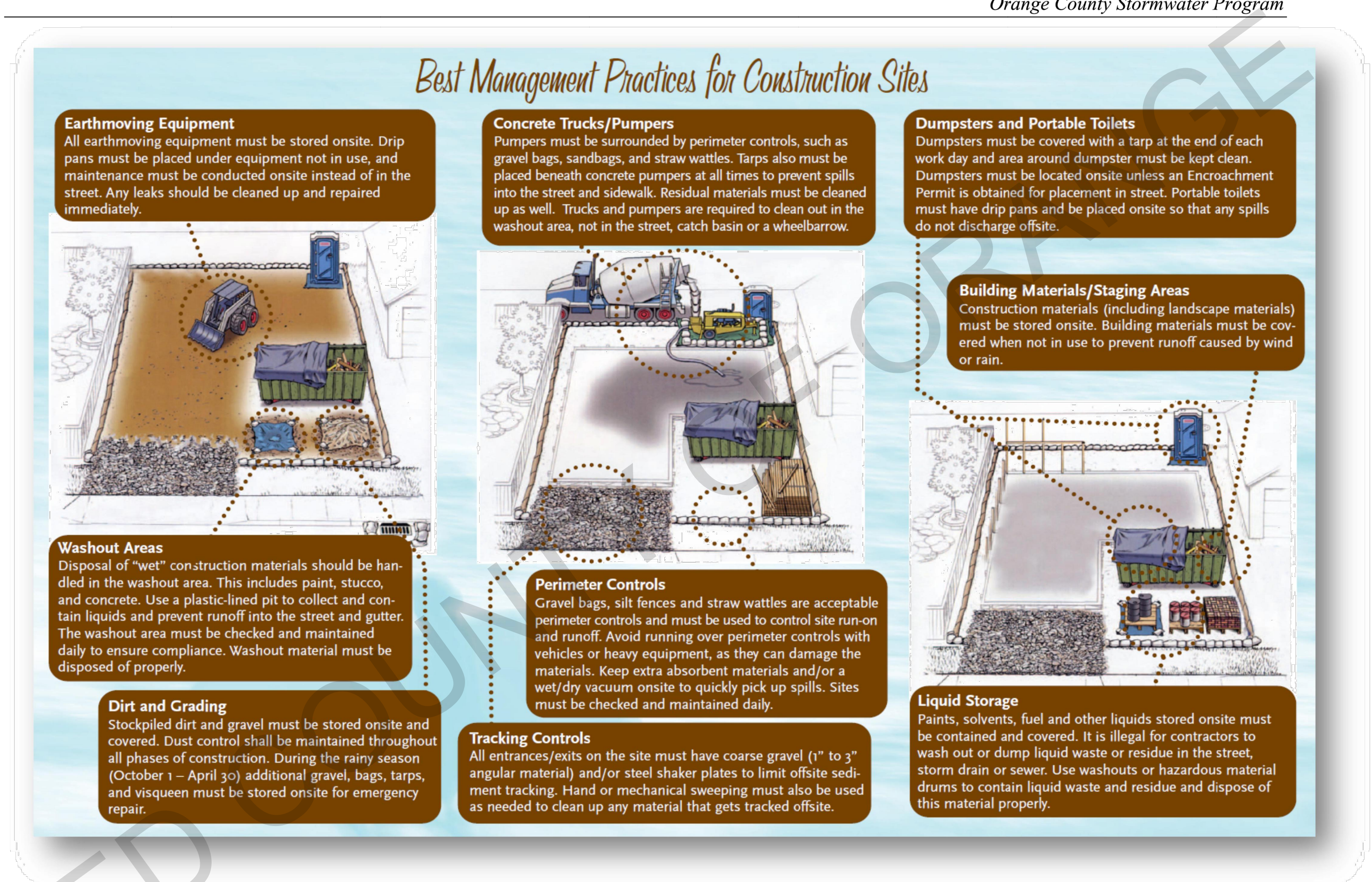


Figure 2: Typical Construction Site BMPs (Graphic provided by the City of San Clemente)

DIVISION 2 - SITEWORK

1. SITE PREPARATION PROJECT IS TO BE STAKED OUT FOR OWNER APPROVAL BEFORE FOR EARTHWORK IS TO BEGIN.
2. SITE CLEARING CONTRACTOR WILL VERIFY WITH OWNER ALL PLANTING TO BE REMOVED PRIOR TO STARTING WORK.
3. LINES AND LEVELS THE CONTRACTOR WILL VISIT THE SITE AND EVALUATE GRADE CONDITION. FOR BIDDING PURPOSES, THE CONTRACTOR WILL CALCULATE HIS OWN CUT AND FILL QUANTITIES BASED ON THE SITE PLAN.
4. SHORING IS TO BE PROVIDE AS REQUIRED
5. EARTH WORK
  - a. REMOVE AND RECOMPACT LOOSE TOPSOIL AND SLIGHTLY ALTER THE EXISTING TOPOGRAPHY. ALL GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE CITY OF ENCINITAS GRADING ORDINANCE.
  - b. THE CONTRACTOR IS TO VERIFY THE LOCATION OF UTILITY SERVICE IN THE AREA PRIOR TO EXCAVATION.
  - c. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL FINISH GRADES ARE TO SLOPE AWAY FROM THE BUILDING AND EXTERIOR PAVING 1/4" PER FOOT MINIMUM FOR A MINIMUM DISTANCE OF 5'-0". LOT DRAINAGE TO AVOID POOLING AT BUILDING.

project  
 County of Orange  
 Pre-Approved  
 ADU Program

OWNER NAME:  
 ADDRESS:  
 APN:  
 LEGAL DESCRIPTION:

revisions  
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description  
 Site  
 Information

date 2024

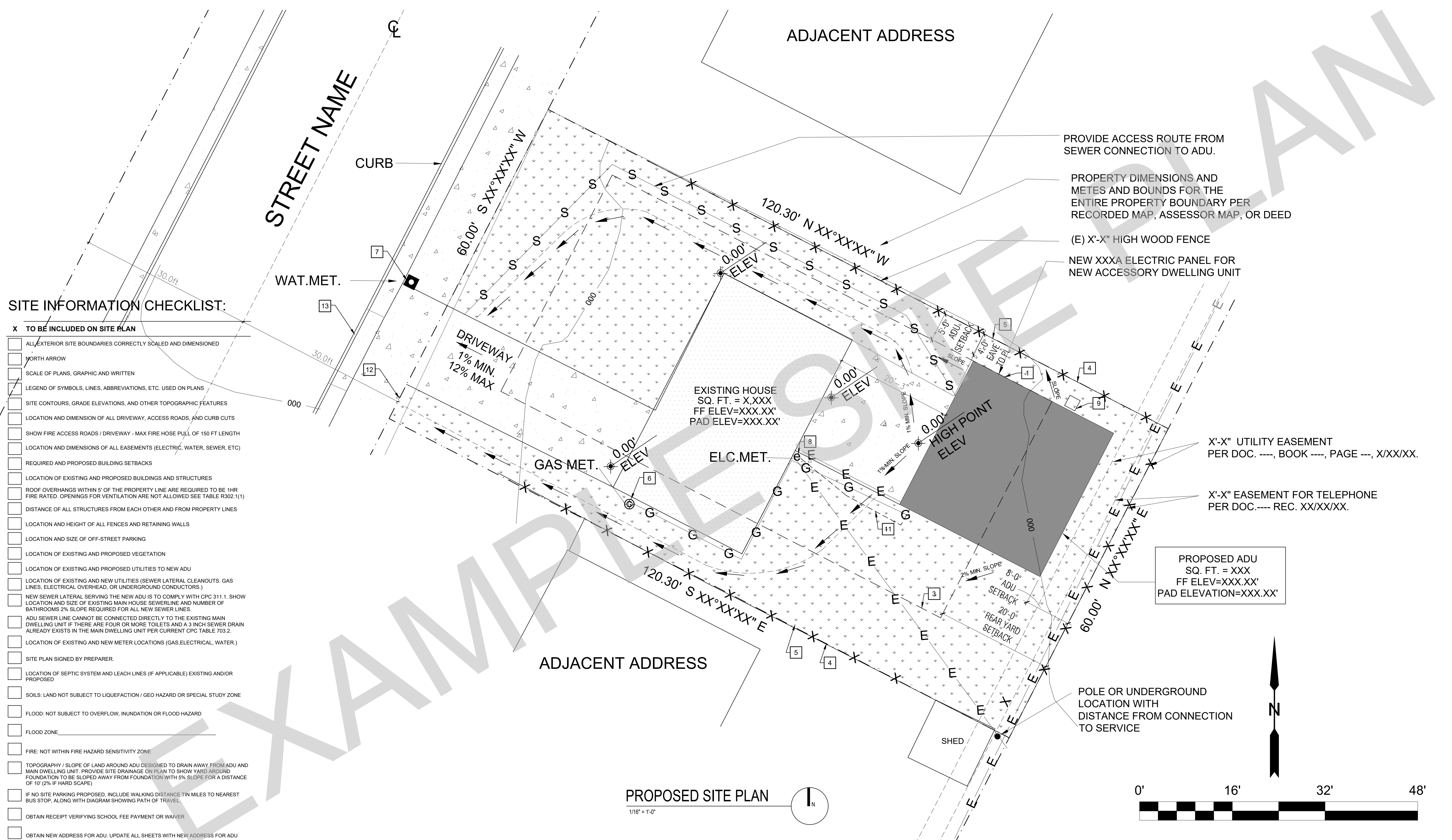
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drawn by DESIGN PATH STUDIO

sheet no. AS.1

**SITE INFORMATION CHECKLIST:**

- X TO BE INCLUDED ON SITE PLAN**
- ALL EXTERIOR SITE BOUNDARIES CORRECTLY SCALED AND DIMENSIONED
  - NORTH ARROW
  - SCALE OF PLANS, GRAPHIC AND WRITTEN
  - LEGEND OF SYMBOLS, LINES, ABBREVIATIONS, ETC. USED ON PLANS
  - SITE CONTOURS, GRADE ELEVATIONS, AND OTHER TOPOGRAPHIC FEATURES
  - LOCATION AND DIMENSION OF ALL DRIVEWAY, ACCESS ROADS, AND CURB CUTS
  - SHOW FIRE ACCESS ROADS / DRIVEWAY - MAX FIRE HOSE PULL OF 150 FT LENGTH
  - LOCATION AND DIMENSIONS OF ALL EASEMENTS (ELECTRIC, WATER, SEWER, ETC)
  - REQUIRED AND PROPOSED BUILDING SETBACKS
  - LOCATION OF EXISTING AND PROPOSED BUILDINGS AND STRUCTURES
  - ROOF OVERHANGS WITHIN 5' OF THE PROPERTY LINE ARE REQUIRED TO BE 1HR FIRE RATED. OPENINGS FOR VENTILATION ARE NOT ALLOWED SEE TABLE R302.1(1)
  - DISTANCE OF ALL STRUCTURES FROM EACH OTHER AND FROM PROPERTY LINES
  - LOCATION AND HEIGHT OF ALL FENCES AND RETAINING WALLS
  - LOCATION AND SIZE OF OFF-STREET PARKING
  - LOCATION OF EXISTING AND PROPOSED VEGETATION
  - LOCATION OF EXISTING AND PROPOSED UTILITIES TO NEW ADU
  - LOCATION OF EXISTING AND NEW UTILITIES (SEWER LATERAL CLEANOUTS, GAS LINES, ELECTRICAL OVERHEAD, OR UNDERGROUND CONDUCTORS)
  - NEW SEWER LATERAL SERVING THE NEW ADU IS TO COMPLY WITH CPC 311.1. SHOW LOCATION AND SIZE OF EXISTING MAIN HOUSE SEWERLINE AND NUMBER OF BATHROOMS 2% SLOPE REQUIRED FOR ALL NEW SEWER LINES.
  - ADU SEWER LINE CANNOT BE CONNECTED DIRECTLY TO THE EXISTING MAIN DWELLING UNIT IF THERE ARE FOUR OR MORE TOILETS AND A 3 INCH SEWER DRAIN ALREADY EXISTS IN THE MAIN DWELLING UNIT PER CURRENT CPC TABLE 703.2.
  - LOCATION OF EXISTING AND NEW METER LOCATIONS (GAS, ELECTRICAL, WATER)
  - SITE PLAN SIGNED BY PREPARER.
  - LOCATION OF SEPTIC SYSTEM AND LEACH LINES (IF APPLICABLE) EXISTING AND/OR PROPOSED
  - SOILS: LAND NOT SUBJECT TO LIQUEFACTION / GEO HAZARD OR SPECIAL STUDY ZONE
  - FLOOD: NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD
  - FLOOD ZONE
  - FIRE: NOT WITHIN FIRE HAZARD SENSITIVITY ZONE
  - TOPOGRAPHY / SLOPE OF LAND AROUND ADU DESIGNED TO DRAIN AWAY FROM ADU AND MAIN DWELLING UNIT. PROVIDE SITE DRAINAGE ON PLAN TO SHOW YARD AROUND FOUNDATION TO BE SLOPED AWAY FROM FOUNDATION WITH 5% SLOPE FOR A DISTANCE OF 10' (2% IF HARD SCAPE)
  - IF NO SITE PARKING PROPOSED, INCLUDE WALKING DISTANCE IN MILES TO NEAREST BUS STOP, ALONG WITH DIAGRAM SHOWING PATH OF TRAVEL
  - OBTAIN RECEIPT VERIFYING SCHOOL FEE PAYMENT OR WAIVER
  - OBTAIN NEW ADDRESS FOR ADU. UPDATE ALL SHEETS WITH NEW ADDRESS FOR ADU



BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY ATTRIBUTES THE FOLLOWING CONDITIONS:

- THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR ORANGE COUNTY ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE ORANGE COUNTY BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
- THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DAMAGES, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.
- THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
- IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

| KEYNOTES  |
|---|
| 1 LINE OF EXTERIOR WALL, TYP.   |
| 2 LINE OF ROOF OVERHANG / DECK / AWNING / STRUCTURE ABOVE   |
| 3 REQUIRED SETBACKS   |
| 4 PROPERTY LINE, TYP.   |
| 5 FENCE- HEIGHT PER PLAN  |
| 6 EXISTING GAS METER  |
| 7 EXISTING WATER METER  |
| 8 EXISTING ELECTRIC METER.  |
| 9 CONDENSING UNIT   |
| 10 SURFACE WATER IS TO DRAIN AWAY FROM BUILDING. GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET |
| 11 FEEDER TO EXTEND TO EXISTING PANEL   |
| 12 NEW ADU SUB PANEL / DISCONNECT / JUNCTION BOX AND GROUNDING ELECTRODE SYSTEM PER NEC ARTICLE 250.32  |

**GENERAL NOTES**

- SPOT DIMENSIONS INDICATE ESTIMATED GRADE HEIGHTS. VERIFY IN FIELD PRIOR TO CONSTRUCTION.
- SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.
- SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.
- YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS)
- SEWER DRAIN CLEANOUTS REQUIRED AT 100 FOOT INTERVALS AND CHANGES IN DIRECTION OF 135 DEGREES OR MORE.
- 2% SLOPE REQUIRED FOR ALL NEW SEWER LINES.

| LEGEND                              |  |
|-------------------------------------|--|
| SPOT GRADE ELEVATION                | KEYNOTE  |
| AREA OF NEW BUILDING FOOTPRINT      | PROPERTY LINE  |
| AREA OF EXISTING BUILDING FOOTPRINT | REQUIRED SETBACKS  |
| CONCRETE PAVING                     | DRAINAGE PATTERN   |
| LANDSCAPE                           | SITE CONTOURS  |
|                                     | NEW SEWER LINE   |
|                                     | NEW DOMESTIC WATER LINE  |
|                                     | NEW ELECTRICAL & TEL DATA LINE                                     |
|                                     | NEW GAS LINE   |
|                                     | NEW OR EXISTING FENCE TO COMPLY WITH ZONING CODE SECTION 37-50.090 |

**CERTIFICATE OF ACCURACY**

I CERTIFY ALL DOCUMENTS AND PLANS CLEARLY AND ACCURATELY SHOW ALL EXISTING AND ALL PROPOSED BUILDINGS, STRUCTURES, ACCESS ROADS, AND UTILITIES/UTILITY EASEMENTS. ALL PROPOSED LAND USE ACTIVITIES, IMPROVEMENTS TO LAND, AND/OR BUILDING MODIFICATIONS OR ADDITIONS ARE CLEARLY LABELED ON THE SITE PLAN OF THE APPROVED PLAN SET. I UNDERSTAND THAT ANY POTENTIALLY EXISTING DETAIL WITHIN THESE PLANS INCONSISTENT WITH THE SITE PLAN ARE NOT APPROVED AND MAY BE REQUIRED TO BE ALTERED OR REMOVED. THE SUBMITTED DOCUMENTS AND PLANS SHOW THE CORRECT DIMENSIONS OF THE PROPERTY, THE BUILDINGS, AND STRUCTURES AND THEIR SETBACKS FROM PROPERTY LINES AND FROM ONE ANOTHER, ACCESS ROADS/EASEMENTS, AND UTILITIES. THE EXISTING AND PROPOSED USE OF LAND AND OF EACH BUILDING AS STATED IS TRUE AND CORRECT. FURTHER, ALL IMPROVEMENTS EXISTING ON THE PROPERTY WERE COMPLETED IN ACCORDANCE WITH ALL REGULATIONS IN EXISTENCE AT THE TIME OF THEIR CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL EASEMENTS AND OTHER ENCUMBRANCES TO DEVELOPMENT HAVE BEEN ACCURATELY SHOWN AND LABELED AS WELL AS ALL ON-SITE GRADING/SITE PREPARATION.

APPLICANT (SIGNATURE): \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLAN PREPARED BY (SIGNATURE) \_\_\_\_\_ DATE: \_\_\_\_\_

**UTILITIES PROVIDERS:**

- GAS:  
- ELECTRIC:  
- WATER:

**SCHOOL DISTRICTS:**

HIGH SCHOOL -  
ELEMENTARY SCHOOL -

**GRADING INFORMATION:**

TOTAL CUBIC YARD OF EARTHWORK = \_\_\_\_\_

TOTAL FILL MATERIAL PLACED ON AN EXISTING SLOPE STEEPER THAN FIVE UNITS HORIZONTAL TO ONE VERTICAL = \_\_\_\_\_

TOTAL CUT OR FILL MATERIAL EXCEEDING FOUR FEET IN VERTICAL DEPTH, MEASURED FROM THE EXISTING GROUND SURFACE = \_\_\_\_\_

project  
County of Orange  
Pre-Approved  
ADU Program

OWNER NAME:  
ADDRESS:  
APN:  
LEGAL DESCRIPTION:

revisions  
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description  
Example  
Site Plan

date April 03, 2024

project no.  
drawn by DESIGN PATH STUDIO

sheet no. **AS.2**





VERY HIGH FIRE SEVERITY ZONE (VHFSZ) NOTES

GENERAL NOTE: THE ADU SHALL COMPLY WITH CHAPTER 7A OF THE CURRENT CALIFORNIA BUILDING CODE IF IT IS IN THE VHFSZ. STRUCTURES IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SHALL PROVIDE & MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE AND MAINTAIN FIRE/FUEL BREAKS TO THE SATISFACTION OF THE CITY'S FIRE DEPARTMENT. FIRE/FUEL BREAK SIZE (MINIMUM 100 FEET FROM STRUCTURE) & COMPOSITION SHALL BE DETERMINED BY THE FIRE DEPARTMENT & SHOWN ON THE IMPROVEMENT/GRADING PLANS, FINAL MAP, & BUILDING PLANS

- 8. 707A.4 EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL ASSEMBLIES OF BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED USING ONE OR MORE OF THE FOLLOWING METHODS, UNLESS THEY ARE COVERED BY AN EXTERIOR WALL COVERING COMPLYING WITH SECTION 707A.3: 1. ASSEMBLY OF SAWN LUMBER OR GLUE LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES...

- 11. 707A.7 EXTERIOR PORCH CEILINGS. THE EXPOSED UNDERSIDE OF THE EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE FOLLOWING: 1. NON COMBUSTIBLE MATERIAL. 2. IGNITION-RESISTANT MATERIAL...

- 14. 707A.10 UNDERSIDE OF APPENDAGES. WHEN REQUIRED BY THE ENFORCING AGENCY THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDER FLOOR SHALL CONSIST OF ONE OF THE FOLLOWING: 1. NONCOMBUSTIBLE MATERIAL. 2. IGNITION-RESISTANT MATERIAL...

- 9. 707A.5 OPEN ROOF EAVES. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF ENCLOSED ROOF EAVES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING: 1. NON COMBUSTIBLE MATERIAL. 2. IGNITION-RESISTANT MATERIAL. 3. FIRE-RETARDANT-TREATED WOOD...

- 12. 707A.8 FLOOR PROJECTIONS. THE EXPOSED UNDERSIDE OF A CANTILEVER FLOOR PROJECTION WHERE A FLOOR ASSEMBLY EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY ONE OF THE FOLLOWING: 1. NONCOMBUSTIBLE MATERIAL. 2. IGNITION-RESISTANT MATERIAL...

- 15. 708A.2 EXTERIOR GLAZING. THE FOLLOWING EXTERIOR GLAZING MATERIALS AND/OR ASSEMBLIES SHALL COMPLY WITH THIS SECTION: 1. EXTERIOR WINDOWS. 2. EXTERIOR GLAZED DOORS...

- 10. 707A.6 ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS. THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES HAVING EITHER A BOXED-IN ROOF EAVE SOFFIT WITH A HORIZONTAL UNDERSIDE, OR SLOPING RAFTER TAILS WITH AN EXTERIOR COVERING APPLIED TO THE UNDERSIDE OF THE RAFTER TAILS, SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING: 1. NONCOMBUSTIBLE MATERIAL. 2. IGNITION-RESISTANT MATERIAL...

- 13. 707A.9 UNDERFLOOR PROTECTION. THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING: 1. NONCOMBUSTIBLE MATERIAL. 2. IGNITION-RESISTANT MATERIAL...

- 17. 708A.3 EXTERIOR DOORS. EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING: 1. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL. 2. THE EXTERIOR SURFACE OR CLADDING SHALL BE IGNITION RESISTANT MATERIAL...

FIRE SPRINKLER NOTES

- 1. IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY. 2. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION...

ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes terms like ADU, AFF, AMP, AWG, BMP, BM, BN, BTM, C, CALC, CFH, CFM, CONC, CONT, DBL, DIA, DTP, DW, EQ, FFE, FIN, FR, GAL, GD, GFI, GI, GL, GPM, GYP, HLW, HGT, HDR, HDU, LVL, MIN, OAE, OC, OPER, O, OSB, PSI, PSL, PT, QNTY, REQ, REF, REINF, SDS, SIM, SF, SHT, T, THICK, TYP, UNO, VB, WD, WR, V.

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project County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions (triangle symbols)

description General Notes

date 2024

project no. drawn by DESIGN PATH STUDIO

sheet no. G0.3

| WINDOW SCHEDULE |             |        |        |      |       |             |                              |          |   | DOOR SCHEDULE |           |      |             |           |        |        |      |           |       |              |          |   |      |           |  |
|-----------------|-------------|--------|--------|------|-------|-------------|------------------------------|----------|---|---------------|-----------|------|-------------|-----------|--------|--------|------|-----------|-------|--------------|----------|---|------|-----------|--|
| WINDOW          | WINDOW SIZE |        | OPER.  | QNTY | FRAME | HEAD HEIGHT | LOCATION                     | REMARKS  | VHFSZ NOTES SEE SHEET G0.3 (WHEN REQ'D) | SHGC          | U- FACTOR | DOOR | DOOR TYPE   | DOOR SIZE |        |        | CORE | MATERIAL  | FRAME | LOCATION     | REMARKS  | VHFSZ NOTES SEE SHEET G0.3 (WHEN REQ'D) | SHGC | U- FACTOR |  |
|                 | WIDTH       | HEIGHT |        |      |       |             |                              |          |   |               |           |      |             | WIDTH     | HEIGHT | THICK. |      |           |       |              |          |   |      |           |  |
| A               | 2'-0"       | 2'-0"  | SLIDER | 1    | VINYL | 6'-8"       | BATHROOM WINDOW              | TEMPERED | NOTES 15, 16                            | 0.23          | 0.3       | 1    | SINGLE DOOR | 3'-0"     | 6'-8"  | 1-3/4" | GL   | VNL/GLASS | VINYL | ENTRY        | TEMPERED | NOTES 15, 16, 17, 18                    | 0.23 | 0.3       |  |
| B               | 3'-0"       | 3'-0"  | SLIDER | 2    | VINYL | 6'-8"       | KITCHEN/ DINING AREA WINDOWS |          | NOTES 15, 16                            | 0.23          | 0.3       | 2    | SINGLE DOOR | 3'-0"     | 6'-8"  | 1-3/4" | HLW  | WOOD      | WD    | BATHROOM     |          |   |      |           |  |
| C               | 5'-0"       | 3'-0"  | SLIDER | 1    | VINYL | 6'-8"       | LIVING ROOM WINDOW           |          | NOTES 15, 16                            | 0.23          | 0.3       | 3    | SINGLE DOOR | 2'-6"     | 6'-8"  | 1-3/4" | HLW  | WOOD      | WD    | WATER HEATER | LOUVERED |   |      |           |  |
| D               | 5'-6"       | 2'-0"  | SLIDER | 1    | VINYL | 6'-8"       | LIVING ROOM WINDOW           |          | NOTES 15, 16                            | 0.23          | 0.3       |      |             |           |        |        |      |           |       |              |          |   |      |           |  |

**WINDOW NOTES**

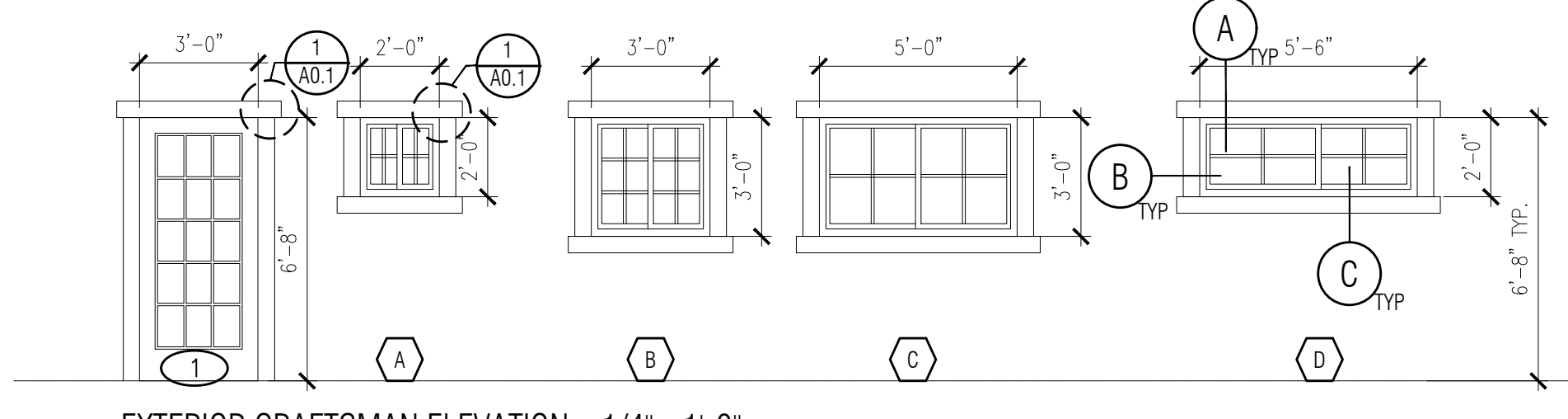
- SEE EXTERIOR ELEVATION FOR DIRECTION OF OPERATION OF WINDOWS (ALL OPERABLE WINDOWS TO HAVE SCREENS).
- ALL WINDOW DIMENSIONS PERTAIN TO ROUGH OPENINGS (R.O.), CONTRACTOR TO FIELD VERIFY ACTUAL DIMENSIONS FOR WINDOWS
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE NFRC LABEL.
- ALL GLAZING SHALL BE SPECTRALLY SELECTIVE LOW E COATED TO MEET TITLE 24 ENERGY REQUIREMENTS.
- WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.D
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303
- EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE WITH A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., MIN. NET CLEAR OPENABLE HEIGHT OF 24" MIN., NET CLEAR WIDTH OF 20" AND A FIN. SILL HEIGHT OF NOT MORE THAN 44" A.F.F. PER CRC SECTION 310.1.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL VENTILATION AND NATURAL LIGHT BY MEANS OF VENTILATION / ARTIFICIAL LIGHT. C.B.C SECTIONS 1203.4 AND 1205.1 AND R303

THE MINIMUM NET GLAZED AREA FOR NATURAL LIGHT SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. C.B.C SECTION 1205.2.  
THE MINIMUM OPENABLE AREA TO THE OUTDOORS FOR NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. SECTION 1203.4

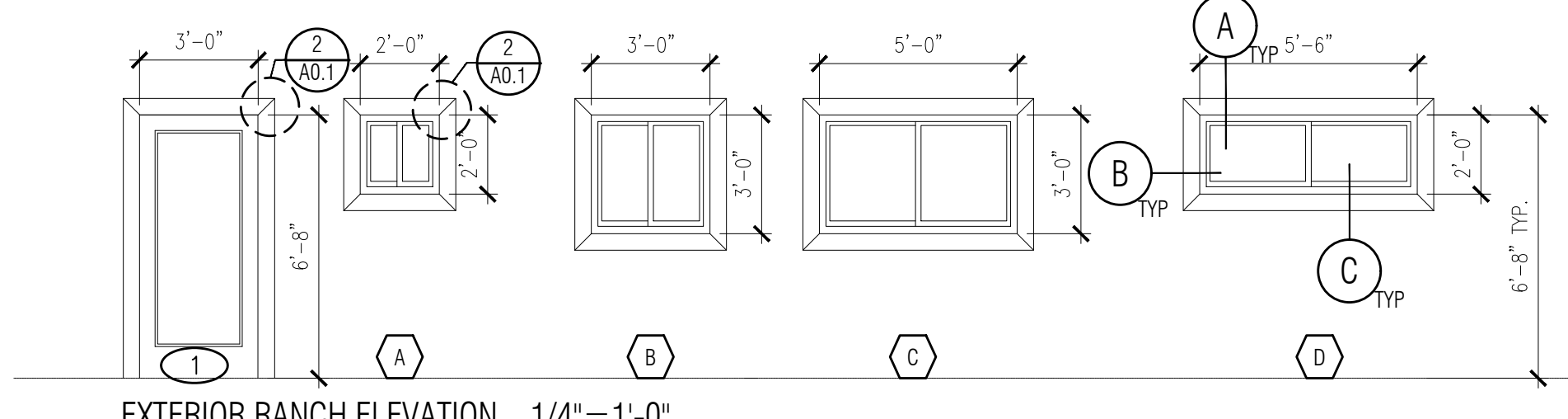
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE
- FIRE-RESISTANCE RATED GLAZING TESTED AS PART OF A FIRE-RESISTANCE-RATED WALL ASSEMBLY IN ACCORDANCE WITH ASTM E 119 OR UL 263 TO BE CONSTRUCTED PER NOTE #13
- THE FOLLOWING WINDOWS SHALL BE FULLY TEMPERED: (CRC R308.4)
  - SLIDING/SWINGING GLASS DOORS
  - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC R308.4.5)
  - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. (R308.4.2)
  - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 99Q.FT. BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING
  - GLAZING IN GUARDS AND RAILINGS
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE

**DOOR NOTES**

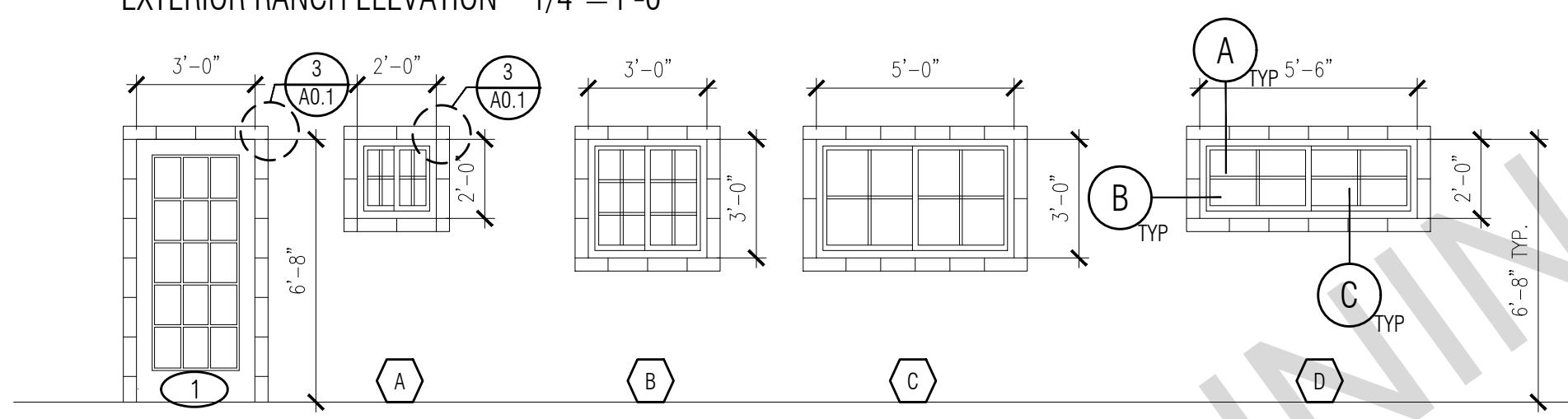
- ALL GLASS IN DOORS SHALL BE TEMPERED. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING.
- DOORS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.
- VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303.
- DOORS MAY OPEN TO THE EXTERIOR ONLY IF THE FLOOR OR LANDING IS NOT MORE THAN 1-1/2" INCH LOWER THAN THE DOOR THRESHOLD. SECTION R311.3.1 CRC
- GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.
- THE FOLLOWING WINDOWS SHALL BE FULLY TEMPERED: (CRC R308.4)
  - SLIDING/SWINGING GLASS DOORS
  - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC R308.4.5)
  - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. (R308.4.2)
  - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 99Q.FT. BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING
  - GLAZING IN GUARDS AND RAILINGS
  - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE
- NOTE USED
- NOT USED
- EXTERIOR HINGED DOORS FACING THE SOURCE OF NOISE MUST BE MIN. STC 40 DB
- SLIDING GLASS DOORS NOT FACING SOURCE OF NOISE MUST BE MIN STC 35 DB. DIRECT EXPOSURE NOT PERMITTED



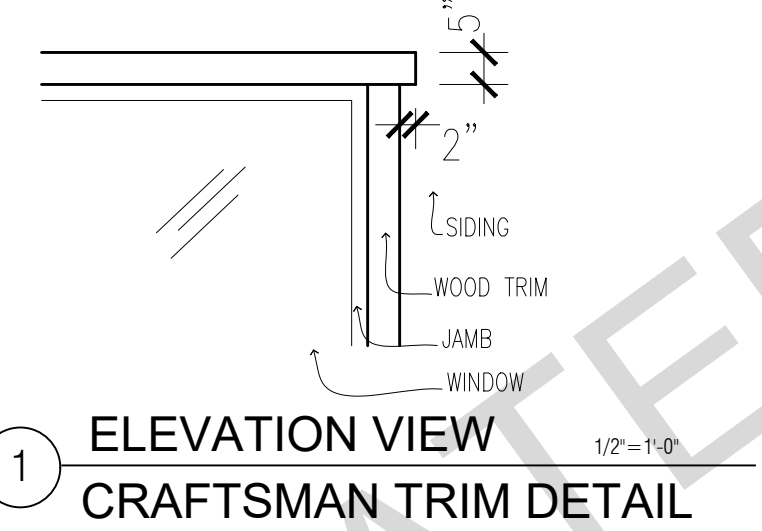
EXTERIOR CRAFTSMAN ELEVATION 1/4" = 1'-0"



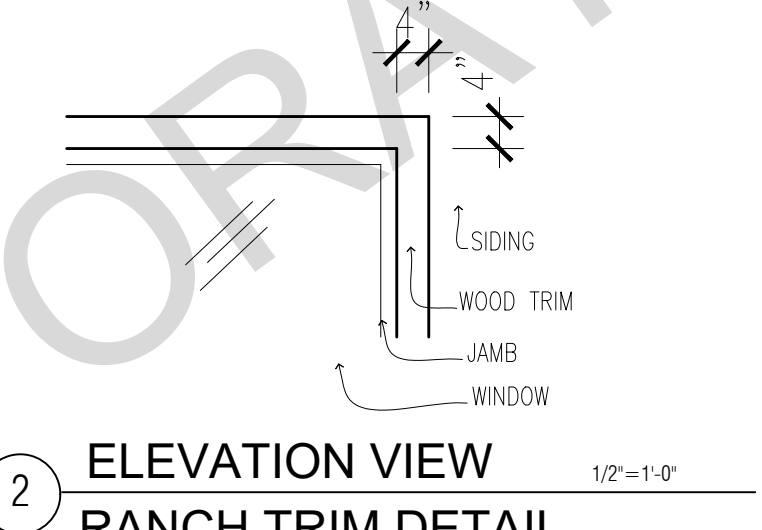
EXTERIOR RANCH ELEVATION 1/4" = 1'-0"



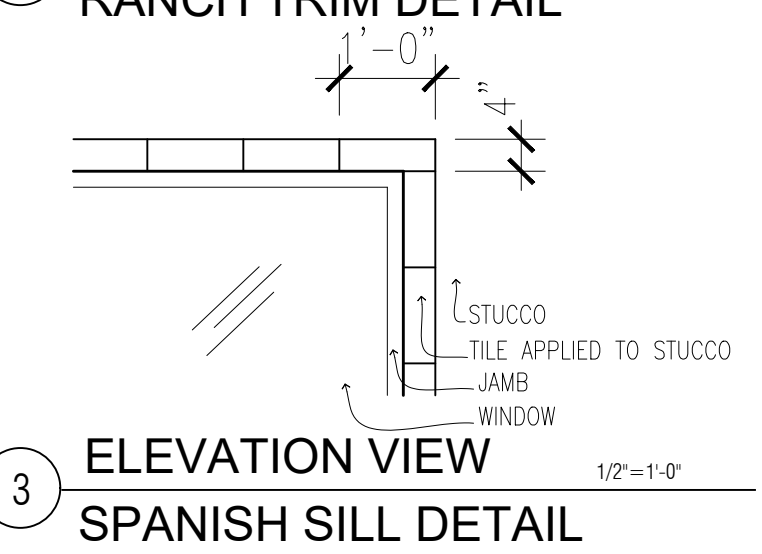
EXTERIOR SPANISH ELEVATION 1/4" = 1'-0"



1 ELEVATION VIEW  
CRAFTSMAN TRIM DETAIL 1/2" = 1'-0"



2 ELEVATION VIEW  
RANCH TRIM DETAIL 1/2" = 1'-0"

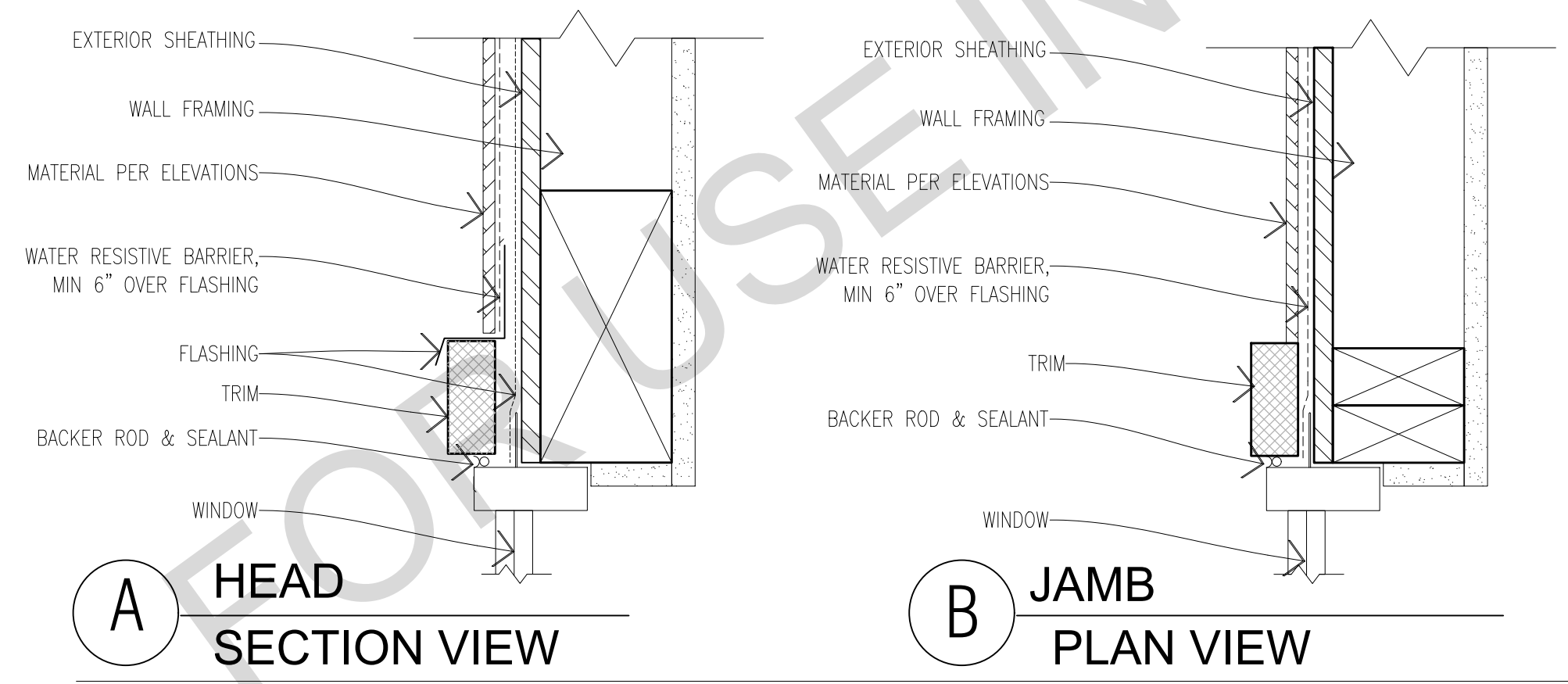


3 ELEVATION VIEW  
SPANISH SILL DETAIL 1/2" = 1'-0"

**VERY HIGH FIRE HAZARD SEVERITY ZONE**

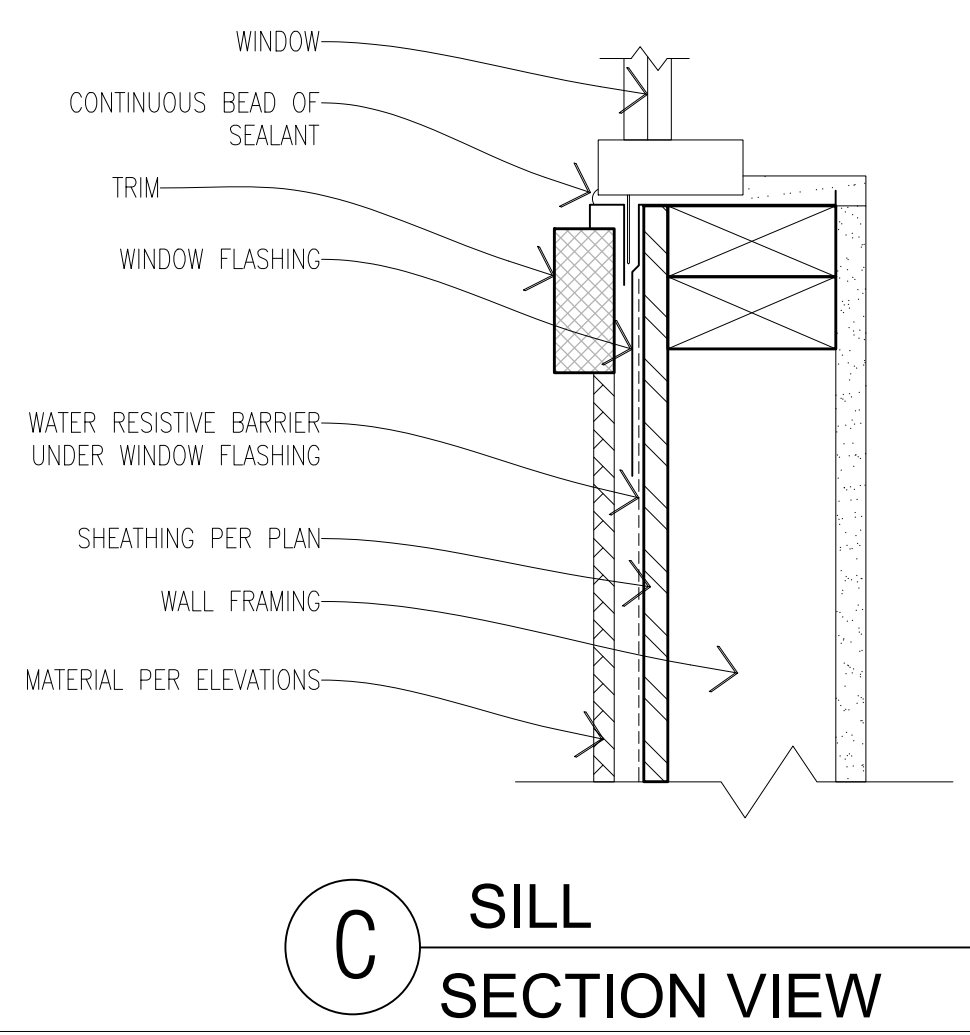
**EXTERIOR WINDOWS AND DOORS**

- EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR MINIMUM 20-MIN. RATED OR COMPLIES WITH SFM 12-7A-2 (708A.1; R327.8.2.1)
- EXTERIOR DOORS SHALL MEET ONE OF THE FOLLOWING
  - A. NONCOMBUSTIBLE MATERIAL OR
  - B. IGNITION-RESISTANT MATERIAL OR
  - C. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8-IN. THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/4-IN. THICK OR
  - D. MINIMUM 20-MIN. RATE OR
  - E. COMPLIES WITH SFM 12-7A-1 (708A; R327.8)



A HEAD SECTION VIEW

B JAMB PLAN VIEW



C SILL SECTION VIEW

WINDOW DETAILS

SCALE: 3" = 1'-0"

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project  
County of Orange  
Pre-Approved  
ADU Program

OWNER NAME:  
ADDRESS:  
APN:  
LEGAL DESCRIPTION:

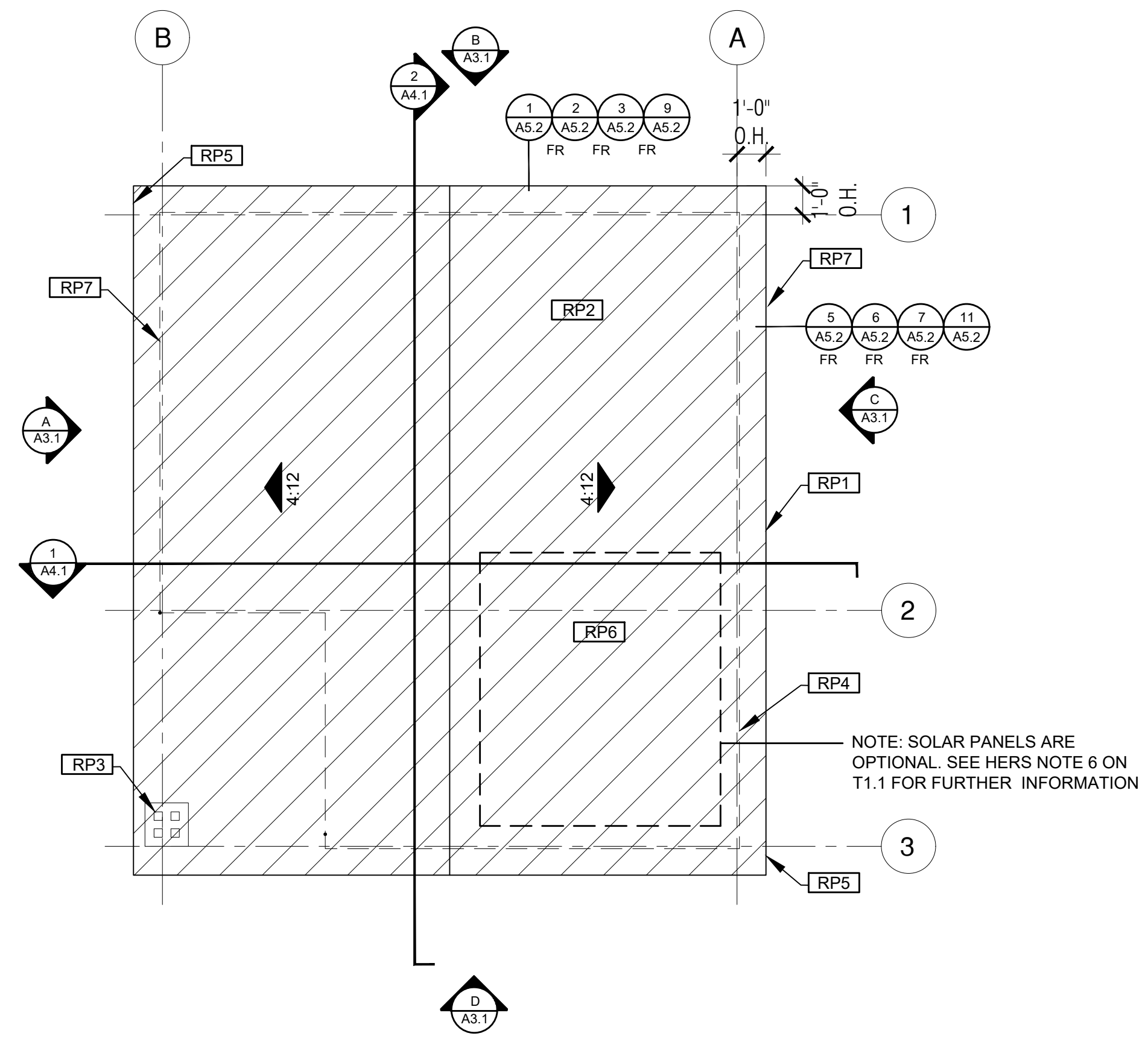
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description  
Schedules  
& Notes

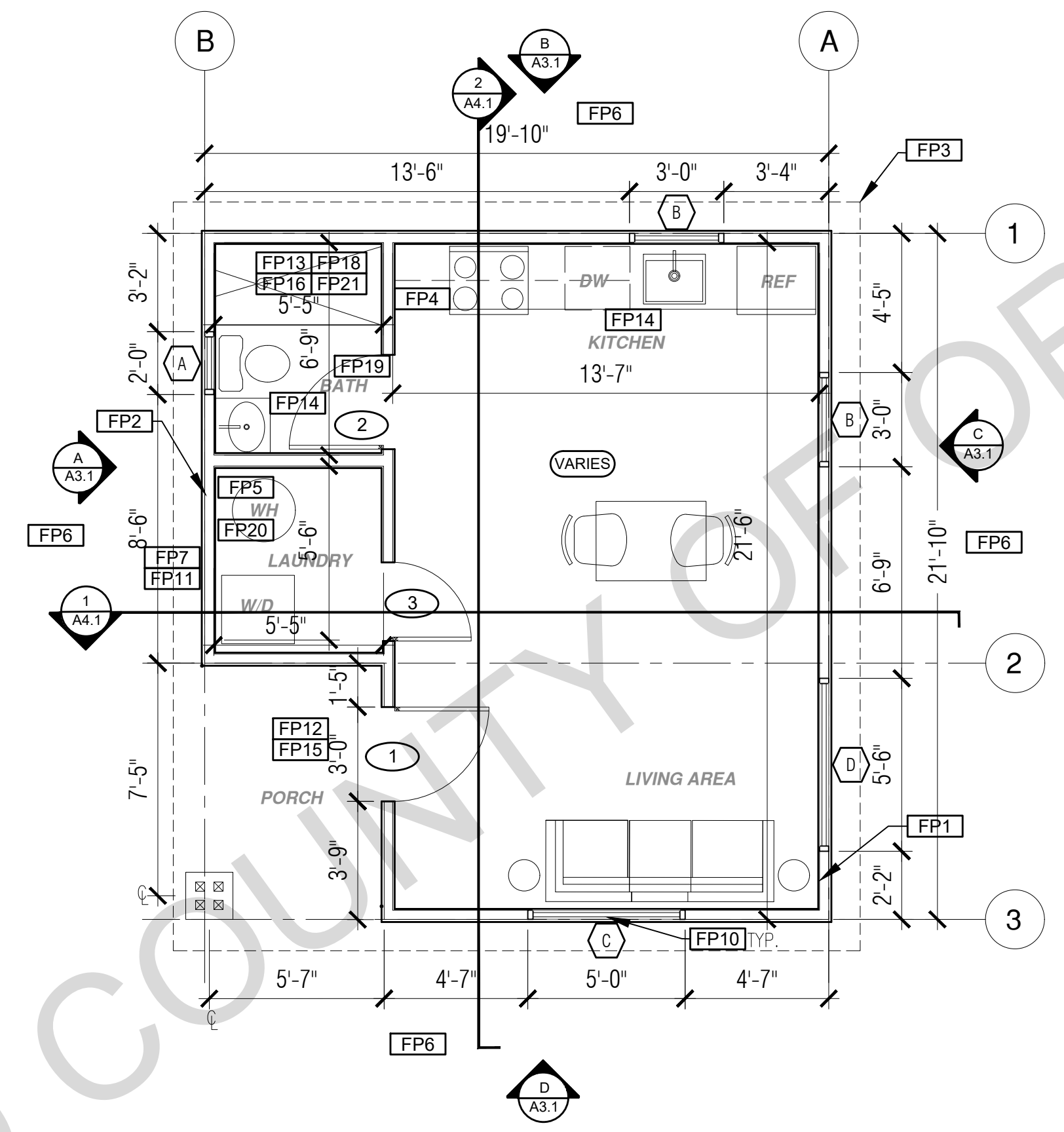
date 2024  
project no.  
drawn by DESIGN PATH STUDIO  
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**ROOF PLAN**  
1/4"=1'-0" 393 SQ. FT. CRAFTSMAN



**FLOOR PLAN**  
1/4"=1'-0" 393 SQ. FT. CRAFTSMAN

| ROOF KEYNOTES   | FLOOR PLAN KEYNOTES  | SOLAR READY NOTES   | LEGEND   |
|---|--|---|--|
| <p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN 3/8" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET</p> | <p><b>FP1</b> STUD WALL SIZED PER STRUCTURAL</p> <p><b>FP2</b> 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING</p> <p><b>FP3</b> LINE OF OVERHANG ABOVE</p> <p><b>FP4</b> 36" HIGH COUNTER</p> <p><b>FP5</b> WATER HEATER</p> <p><b>FP6</b> SLOPE SURFACE AWAY FROM FOUNDATION. 5% SLOPE FOR A DISTANCE OF 10' OR 2% IF HARDSCAPED</p> <p><b>FP7</b> DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING</p> <p><b>FP8</b> CLOSET SHELF AND POLE</p> <p><b>FP9</b> EMERGENCY EGRESS WINDOW</p> <p><b>FP10</b> WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS</p> <p><b>FP11</b> VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> <p><b>FP12</b> MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP</p> <p><b>FP13</b> SURROUND AROUND THE SHOWER MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60" MEASURED HORIZONTALLY FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.</p> <p><b>FP14</b> PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c). ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER-CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION</p> | <p><b>FP15</b> LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5' LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75' FOR DOORS THAT DO NOT SWING OUTWARD.</p> <p><b>FP16</b> WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2</p> <p><b>FP17</b> DOOR BELL BUTTON TO BE NO MORE THEN 48" ABOVE EXTERIOR FLOOR OR LANDING</p> <p><b>FP18</b> WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 38" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #32 ON SHEET G0.2 FOR FURTHER INFORMATION</p> <p><b>FP19</b> DOOR TO HAVE A NET CLEAR OPENING OF 32"</p> <p><b>FP20</b> DESIGNATED 2'-6" x 2'-6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(n)</p> <p><b>FP21</b> FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH</p> <p>SOLAR READY ROOF AREA- MIN DIMENSION &gt; 5FT. MIN. SF. &gt; 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)</p> <p>THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY LOCAL JURISDICTION</p> <p>SINGLE FAMILY RESIDENCE. 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drawn by DESIGN PATH STUDIO

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2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, ADJUSTMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
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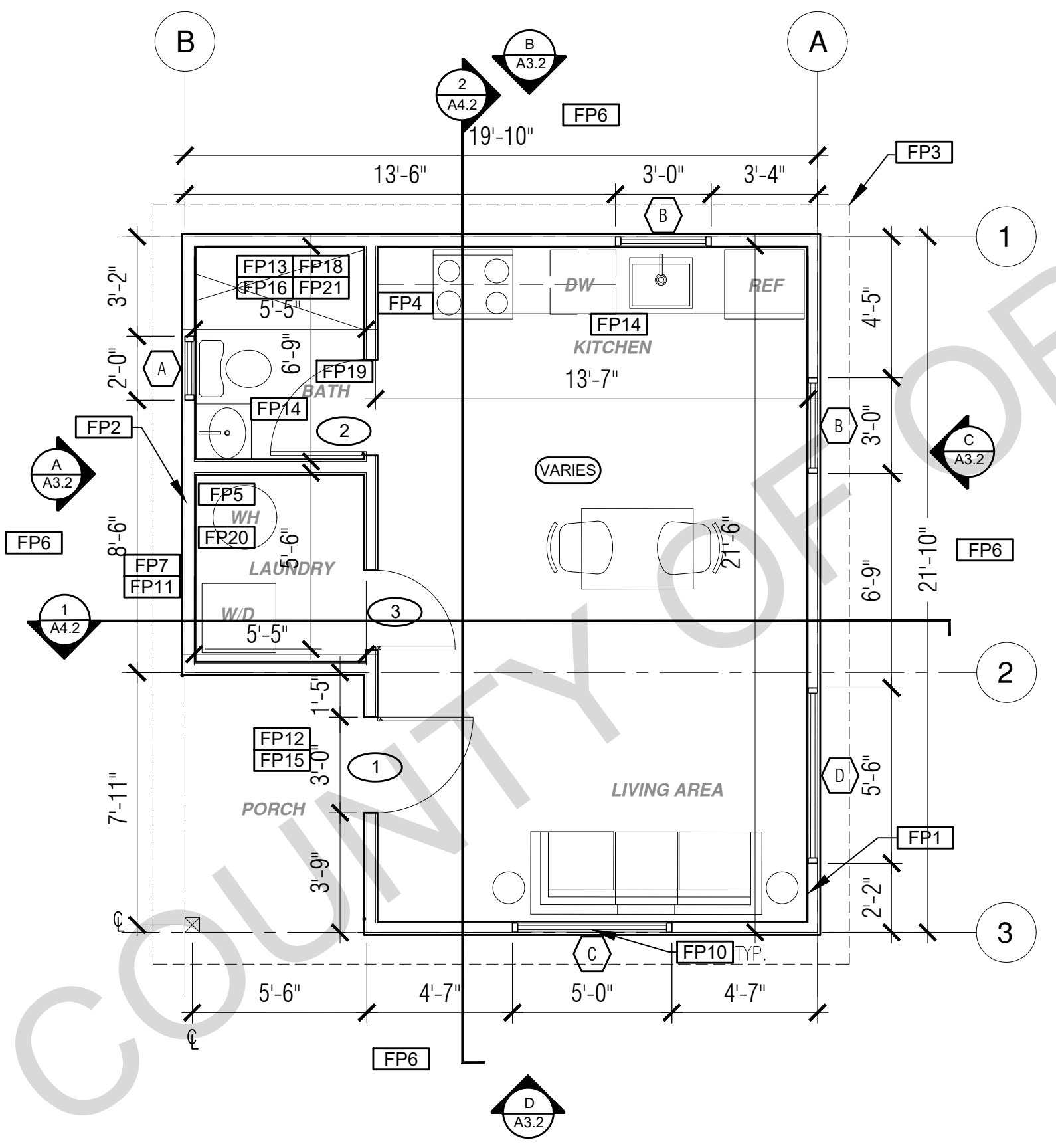
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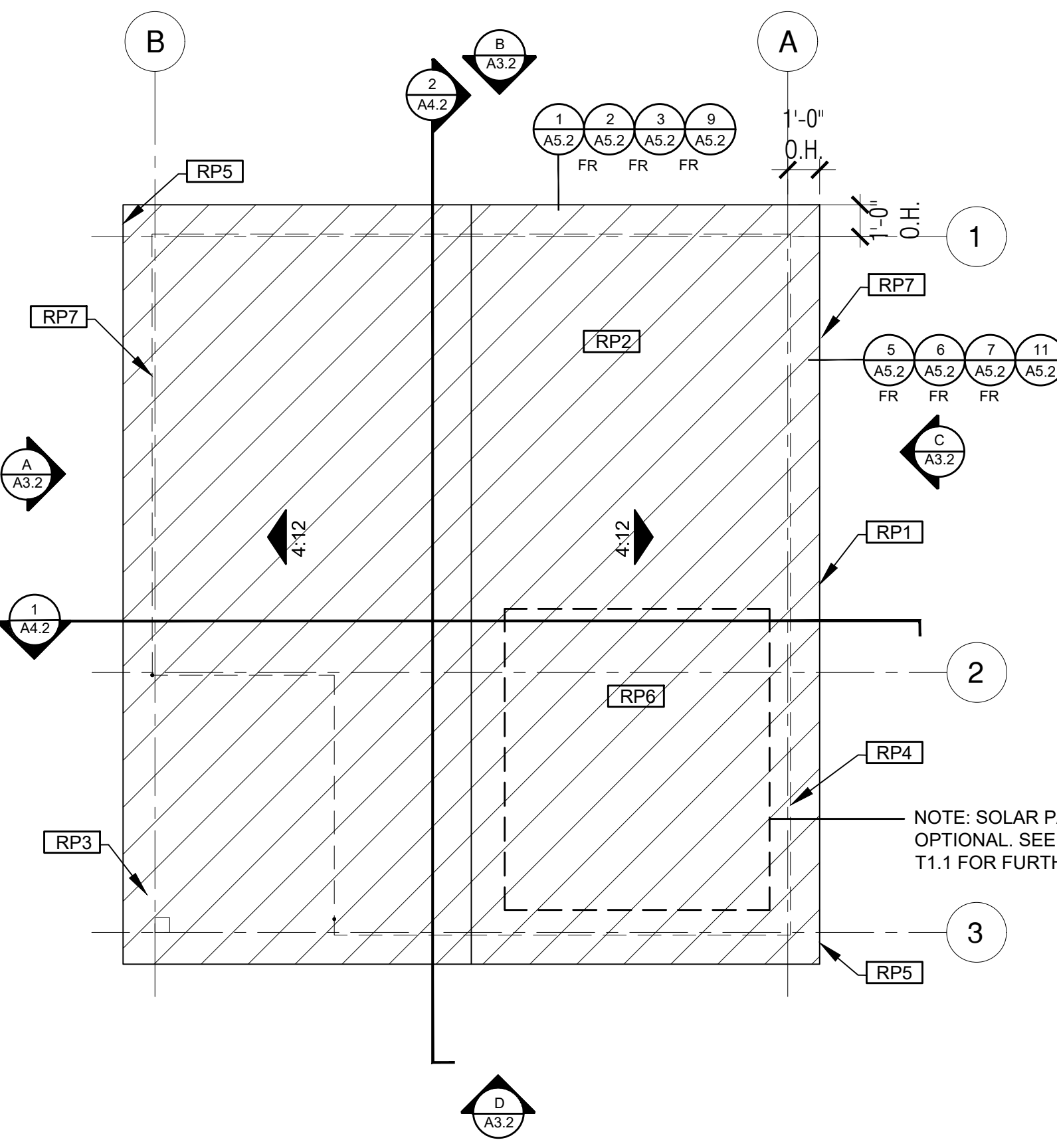
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FLOOR PLAN

1/4"=1'-0" 393 SQ. FT. RANCH

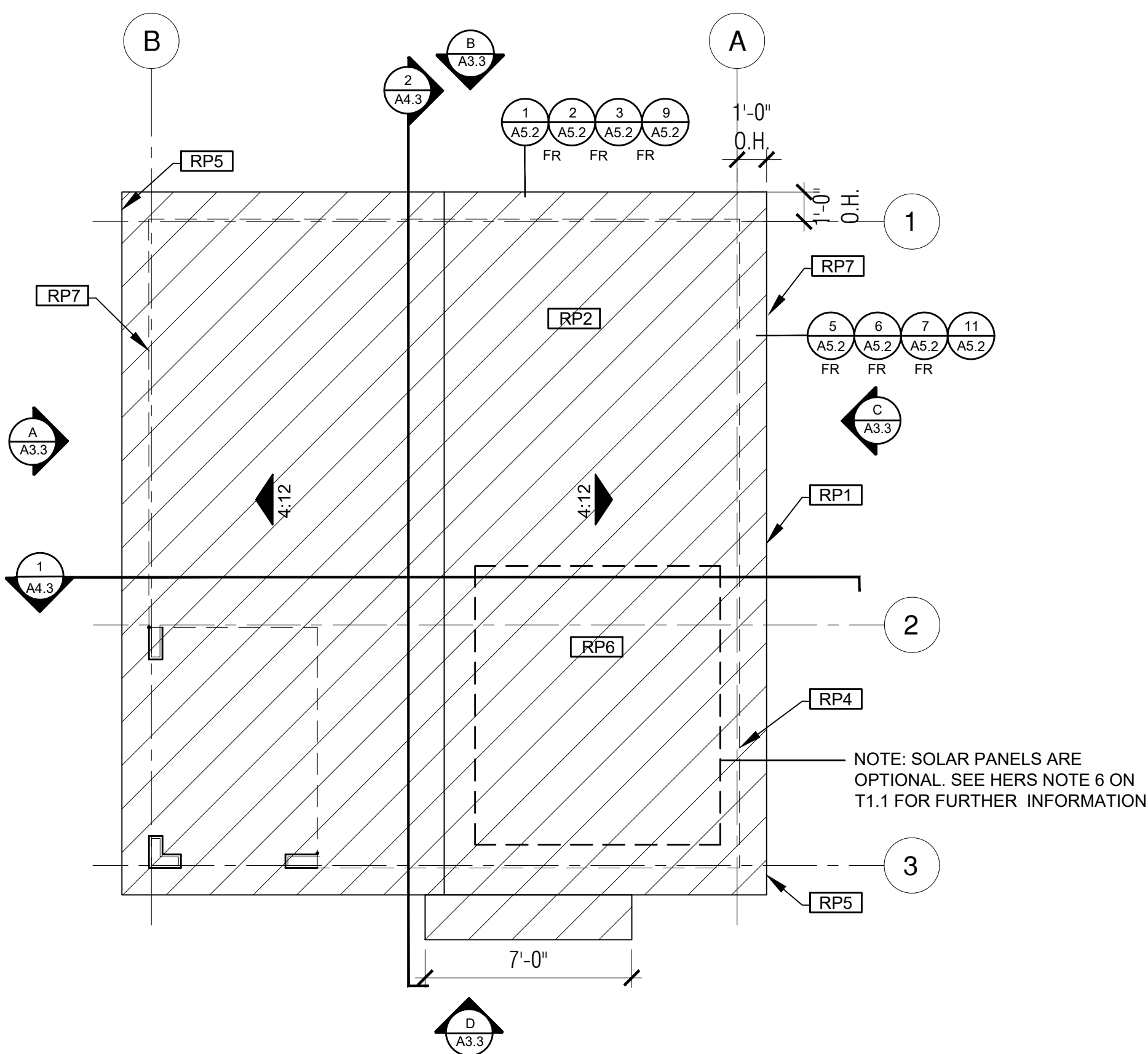


ROOF PLAN

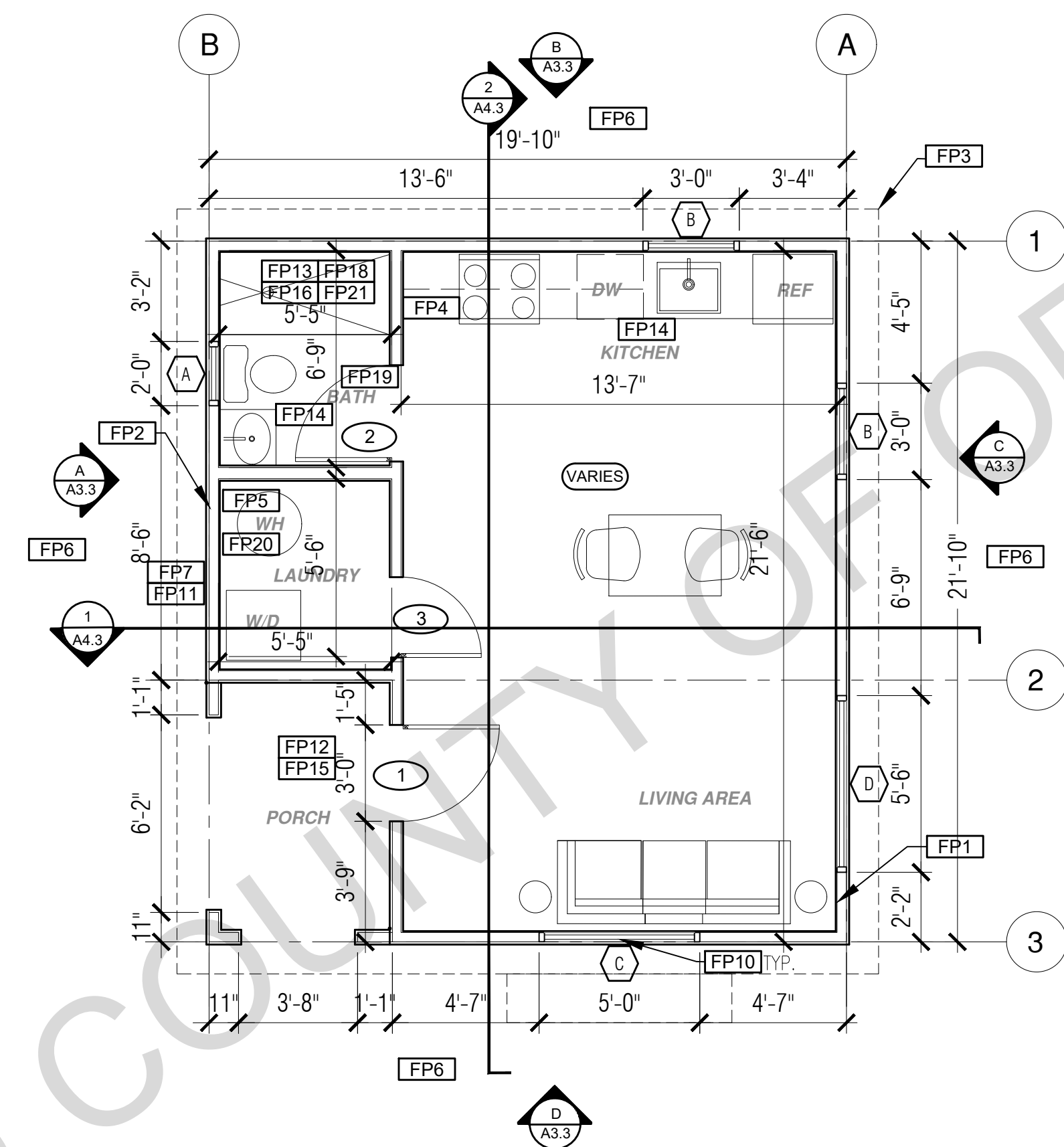
1/4"=1'-0" 393 SQ. FT. RANCH

NOTE: SOLAR PANELS ARE OPTIONAL. SEE HERS NOTE 6 ON T1.1 FOR FURTHER INFORMATION

| ROOF KEYNOTES   | FLOOR PLAN KEYNOTES   | SOLAR READY NOTES  | LEGEND   |
|---|---|--|--|
| <p><b>RP1</b> LINE OF ROOF OVERHANG</p> <p><b>RP2</b> CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2</p> <p><b>RP3</b> SUPPORT POST BELOW</p> <p><b>RP4</b> LINE OF WALLS BELOW</p> <p><b>RP5</b> ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS</p> <p><b>RP6</b> DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET</p> <p><b>RP7</b> RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. 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**ROOF PLAN**  
1/4"=1'-0" 393 SQ. FT. SPANISH



**FLOOR PLAN**  
1/4"=1'-0" 393 SQ. FT. SPANISH

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| ROOF KEYNOTES  | FLOOR PLAN KEYNOTES   | SOLAR READY NOTES  | LEGEND   |
|--|---|--|--|
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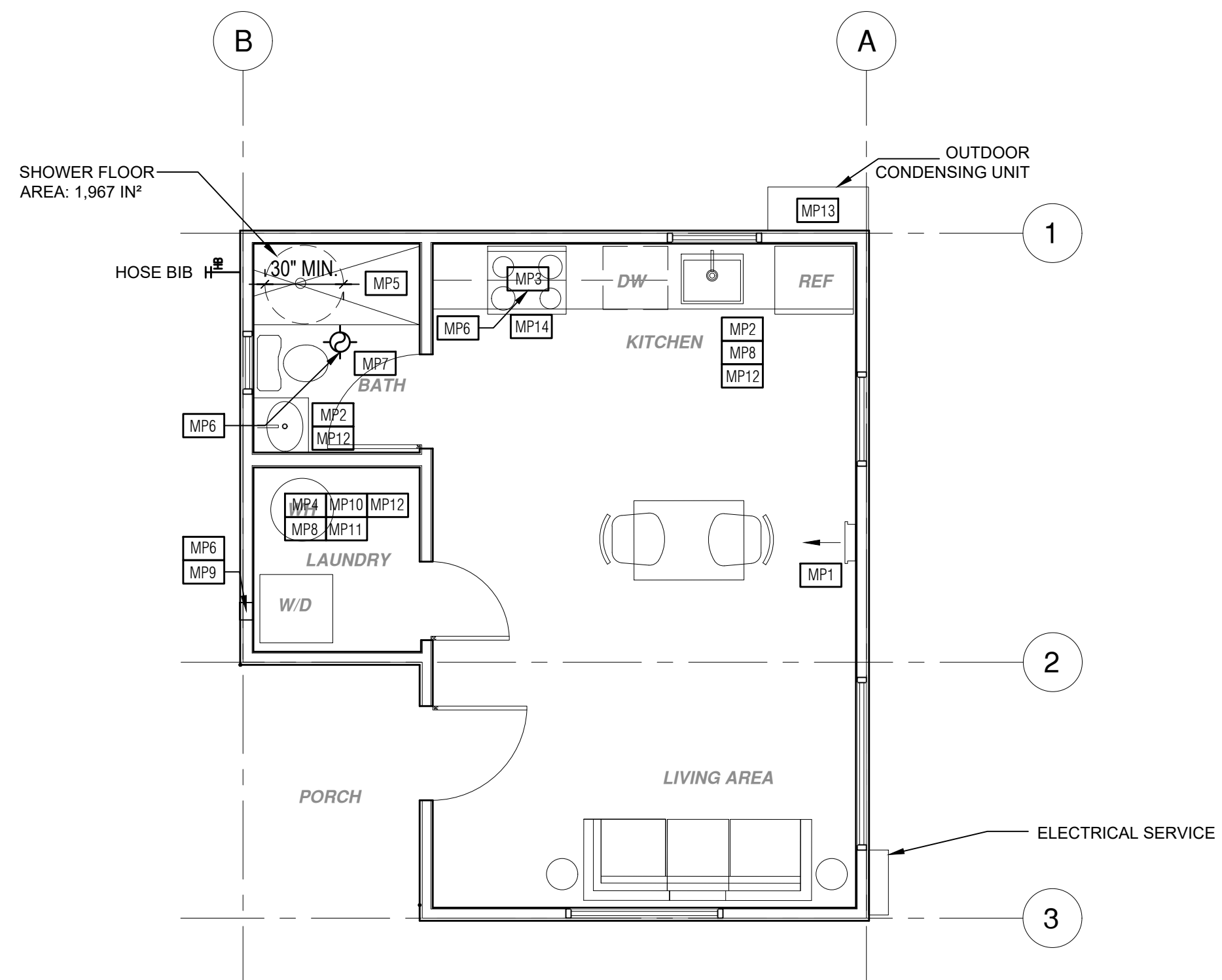
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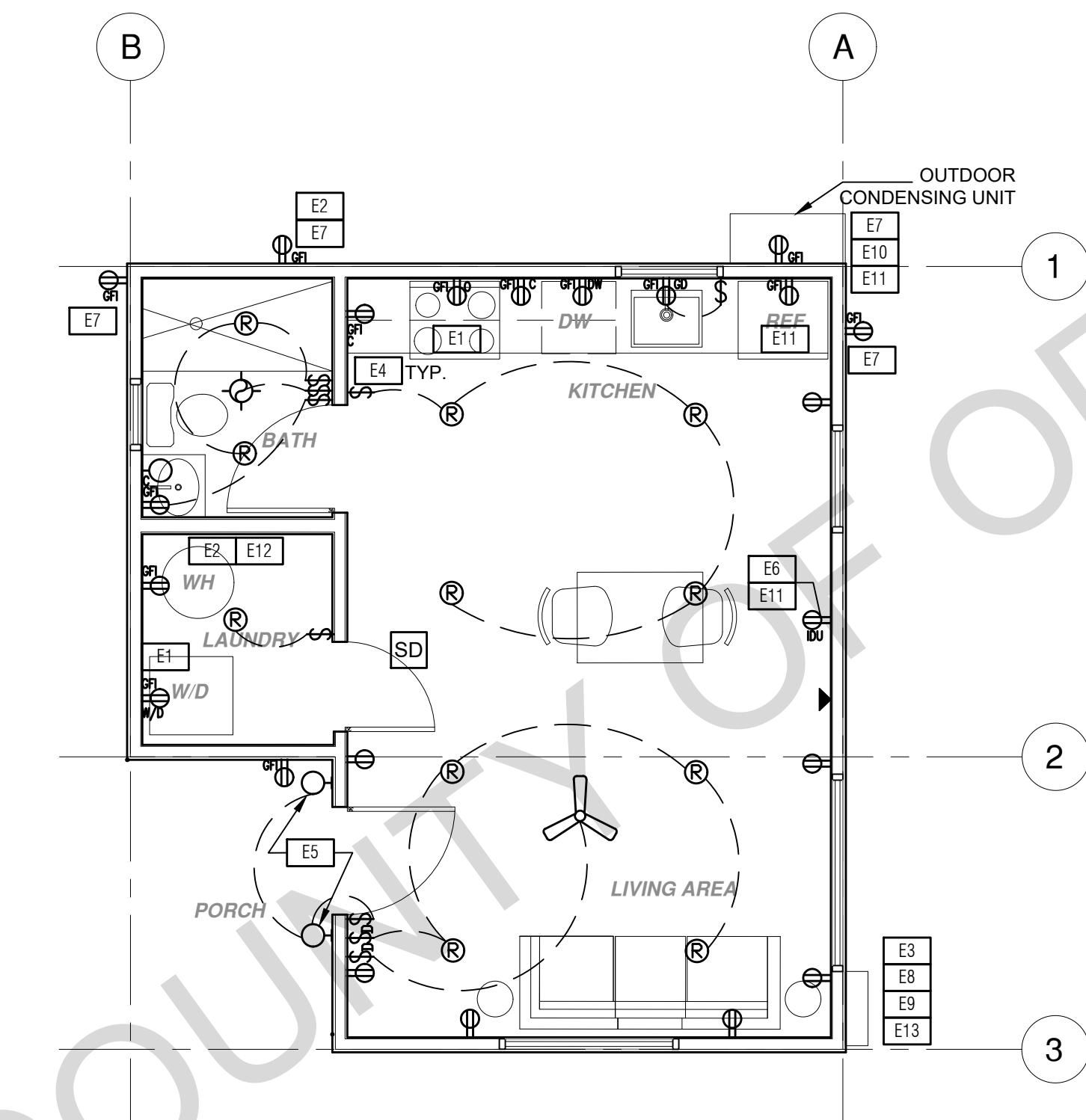
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MECHANICAL / PLUMBING PLAN

1/4"=1'-0"



ELECTRICAL PLAN

1/4"=1'-0"

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| MECHANICAL / PLUMBING KEYNOTES   |  | ELECTRICAL KEYNOTES   |  | MECHANICAL / PLUMBING LEGEND                |  | ELECTRICAL LEGEND   |                    |
|--|--|---|--|---|--|---------------------|--------------------|
| <b>MP1</b> INDOOR UNIT MINI SPLIT SYSTEM.  | <b>MP9</b> DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH 14' WITH MAXIMUM OF TWO 90° ELBOWS EXHAUST VENT MUST TERMINATE MIN. OF 3' FROM ANY OPENING MIN.<br>TYPE 1 CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL & SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL (100 MM), & THE THICKNESS SHALL BE NOT LESS THAN 0.015 OF AN INCH (0.406 MM). EXHAUST DUCTS & DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS. | <b>E1</b> DEDICATED 30 AMP/240V POWER FOR ELECTRIC DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS.  | <b>E9</b> SEPARATE GROUND ELECTRODE SYSTEM PER CEC 250.4   | <b>M1</b> RETURN AIR GRILLE, WALL MOUNTED   | <b>FD</b> FIRE DETECTION   | <b>P</b> POWER/DATA | <b>S</b> SWITCHING |
| <b>MP2</b> WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH LAVATOIRES LIMITED TO 1.2 GPM. KITCHEN FAUCETS NOT TO EXCEED 1.8 GPM AT 60 PSI THEY CAN INCREASE THE FLOW MOMENTARILY BUT CAN EXCEED 2.2 GALLONS PER MIN. AT 80 PSI AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.8 GALLONS PER MIN AT 60 PSI. AND SHOWERS NOT EXCEED 1.8 GPM AT 80 PSI AND ALL SHALL BE CERTIFIED TO MEET THE PERFORMANCE CRITERIA OF THE EPA WATER SAVING SPECIFICATIONS FOR SHOWERHEADS. CPC SECTIONS 407, 408, 411, 412 AND SECTION 301.1.1 CALGREEN CODE AND CIVIL CODE 1101.36(5) | <b>MP10</b> NEW WATER HEATER WITH T&P RELIEF VALVE AND DISCHARGE PIPE AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER MANUFACTURER REQUIREMENTS.  | <b>E2</b> OUTLET FOR NEW WATER HEATER WITHIN 3' OF WATER HEATER.  | <b>E10</b> OUTDOOR CONDENSING UNIT RECEPTACLE LOCATION FOR THE SERVICING OF THE HEATING AND COOLING EQUIPMENT AND SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THIS RECEPTACLE SHALL BE GFCI-WP PROTECTED.                      | <b>M2</b> SUPPLY AIR DIFFUSER, WALL MOUNTED | <b>SM</b> SMOKE DETECTORS PER SECTION R314 DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP. SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. | <b>W</b> WIRELESS   | <b>L</b> LIGHTING  |
| <b>MP3</b> EXHAUST HOOD ABOVE/TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3)   | <b>MP11</b> WATER HEATER SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPES LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVES FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED   | <b>E3</b> MAIN ELECTRICAL SERVICE PANEL FOR ADU TO HAVE A 20AMP MINIMUM BUSBAR RATING PER MANDATORY MEASURE 110.10(6) SEE ELECTRIC READY NOTE (5) ON G0.2 FOR MORE INFORMATION  | <b>E11</b> A DISCONNECTING MEANS CAPABLE OF DISCONNECTING AIR-CONDITIONING AND REFRIGERATING EQUIPMENT, INCLUDING MOTOR-COMPRESSORS AND CONTROLLERS FROM THE CIRCUIT CONDUCTOR IS REQUIRED WITHIN SIGHT FROM THE EQUIPMENT LOCATION PER CEC SECTION 440.11 | <b>M3</b> THERMOSTAT                        | <b>SD</b> CARBON MONOXIDE ALARM PERMANENTLY WIRED WITH BATTERY BACKUP PER SECTION R315. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.   | <b>W</b> WIRELESS   | <b>LI</b> LIGHTING |
| <b>MP4</b> NEW 40 GAL. HEAT PUMP WATER HEATER - TO HAVE CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2' ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE  | <b>MP12</b> ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED:<br>2" PIPE (1" INSULATION);<br>1" TO 1-1/2" PIPE (1-1/2" INSULATION)   | <b>E4</b> OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH CEC ARTICLE 210.52(C). IN KITCHENS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24" ISLAND IN PENINSULAR COUNTERTOPS 12" X 24" (LONG OR GREATER) SHALL HAVE AT LEAST ONCE RECEPTACLE | <b>E12</b> PER CEC 2022 150.0(N) 1.A. THE DESIGNATED SPACE AND WATER HEATER AND IS TO COMPLY WITH ELECTRICAL NOTES 158.16 ON SHEET G0.2  | <b>M4</b> HOSE BIB                          | <b>W</b> WIRELESS  | <b>W</b> WIRELESS   | <b>LI</b> LIGHTING |
| <b>MP5</b> CONTROL VALVES IN SHOWERS, BATHTUBS, & BIDETS MUST BE PRESSURE-BALANCED OR THERMOSTATIC MIX VALVES  | <b>MP13</b> OUTDOOR CONDENSING UNIT TO BE PIPED TO OUTDOOR HVAC UNIT   | <b>E5</b> ALL OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.   | <b>E13</b> CONTRACTOR TO VERIFY MAIN PANEL   | <b>M5</b> THERMOSTAT                        | <b>W</b> WIRELESS  | <b>W</b> WIRELESS   | <b>LI</b> LIGHTING |
| <b>MP6</b> MINIMUM OF 3 FT CLEARANCE TO ANY OPENING INTO BUILDING FOR EXHAUST FAN TERMINATIONS   | <b>MP14</b> A MINIMUM RATING HOOD OVER ELECTRICAL RANGE INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND SHALL BE HERS VERIFIED PER CEC TABLE 150.0-6: 150 cfm OR 50% CE AT <math>750-1000\text{ s.f.}</math>, 110 cfm OR 50% CE AT <math>1000-1500\text{ s.f.}</math>, OR 110 cfm OR 50% CE AT >1500 s.f.  | <b>E6</b> OUTLET DEDICATED FOR INDOOR HVAC UNIT   | <b>E14</b> ALL GAS BURNING APPLIANCES SHALL BE ELECTRIC READY PLEASE SEE ELECTRIC READY NOTES ON G0.2  | <b>M6</b> HOSE BIB                          | <b>W</b> WIRELESS  | <b>W</b> WIRELESS   | <b>LI</b> LIGHTING |
| <b>MP7</b> CLEARANCE FOR WATER CLOSET TO BE A MIN. OF 24" IN FRONT, AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5)   |  | <b>E7</b> WEATHER RESISTANT TYPE RECEPTABLES GFCI PROTECTED   |  |   | <b>W</b> WIRELESS  | <b>W</b> WIRELESS   | <b>LI</b> LIGHTING |
| <b>MP8</b> THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF WATER HEATER BOTH REQUIRE 1" INSULATION   |  | <b>E8</b> OVER-CURRENT FEEDER TO EXTEND TO EXISTING PANEL. ALUMINUM CONDUCTOR BURIED UNDER GROUND WITH AWG ALLOWABLE VOLTAGE DROP PER CEC 250.4   |  |   | <b>W</b> WIRELESS  | <b>W</b> WIRELESS   | <b>LI</b> LIGHTING |

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revisions  
description  
Mechanical/  
Plumbing &  
Electrical  
Plans

date 2024

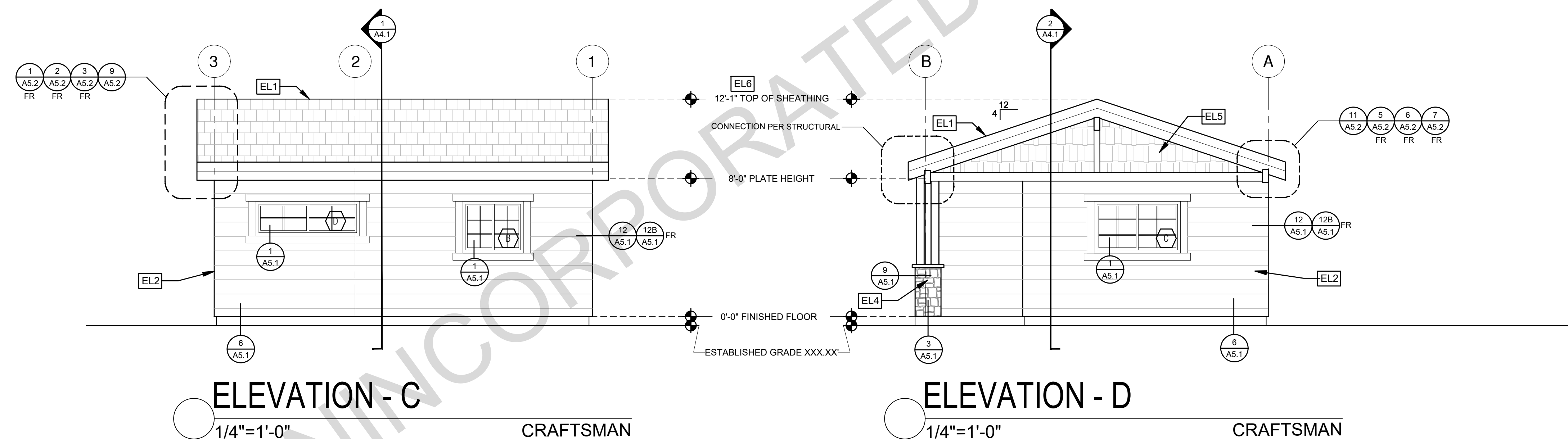
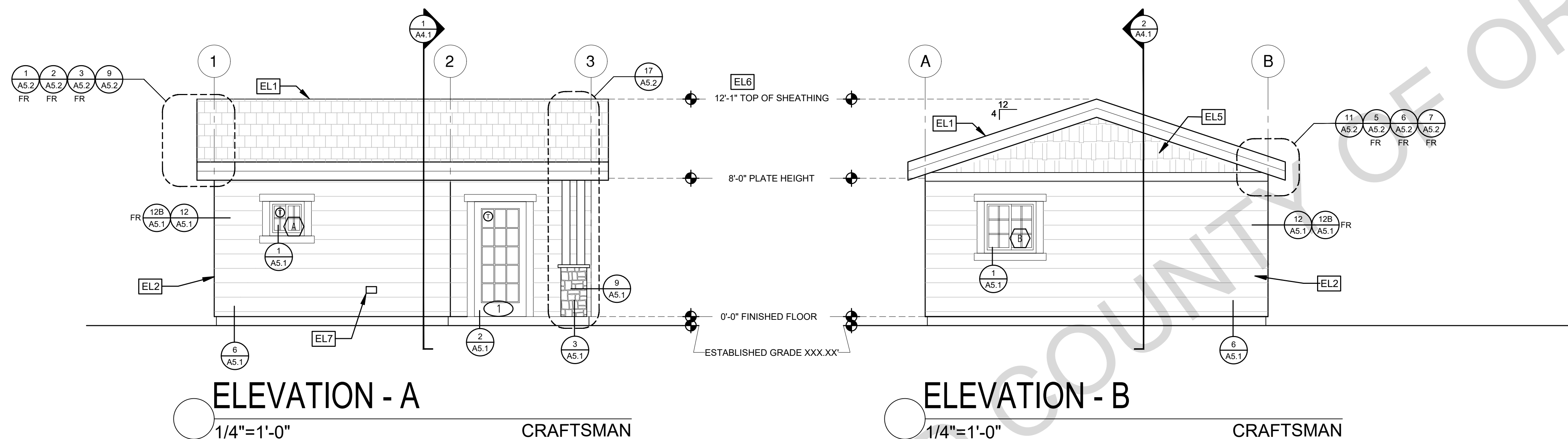
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A2.1

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| ELEVATION KEYNOTES |   |
|--------------------|---|
| EL1                | MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS          |
| EL2                | SIDING  |
| EL3                | STUCCO  |
| EL4                | STONE VENEER  |
| EL5                | HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES |
| EL6                | DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)                               |

| ELEVATION GENERAL NOTES  |  |
|--|--|
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| 3. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.   | 10. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK  |
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| LEGEND |                     |  |                  |
|--------|---------------------|--|------------------|
|        | SECTION CUT         |  | KEYNOTE          |
|        | ELEVATION CALLOUT   |  | DOOR SYMBOL      |
|        | DETAIL DRAWING REF. |  | WINDOW SYMBOL    |
|        | ELEVATION MARKER    |  | TEMPERED GLASS   |
|        |                     |  | GLAZING          |
|        |                     |  | ROOFING          |
|        |                     |  | SHINGLES         |
|        |                     |  | SIDING           |
|        |                     |  | SPRAY FIN STUCCO |
|        |                     |  | STONE VENEER     |

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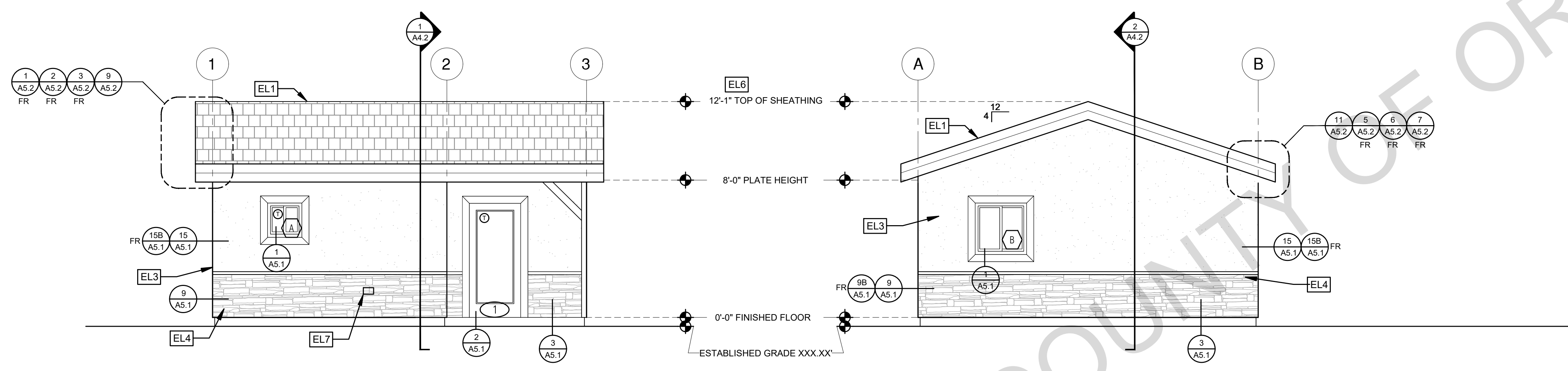
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description  
Exterior  
Elevations  
Craftsman  
Studio

date 2024  
project no.  
drawn by DESIGN PATH STUDIO  
sheet no.

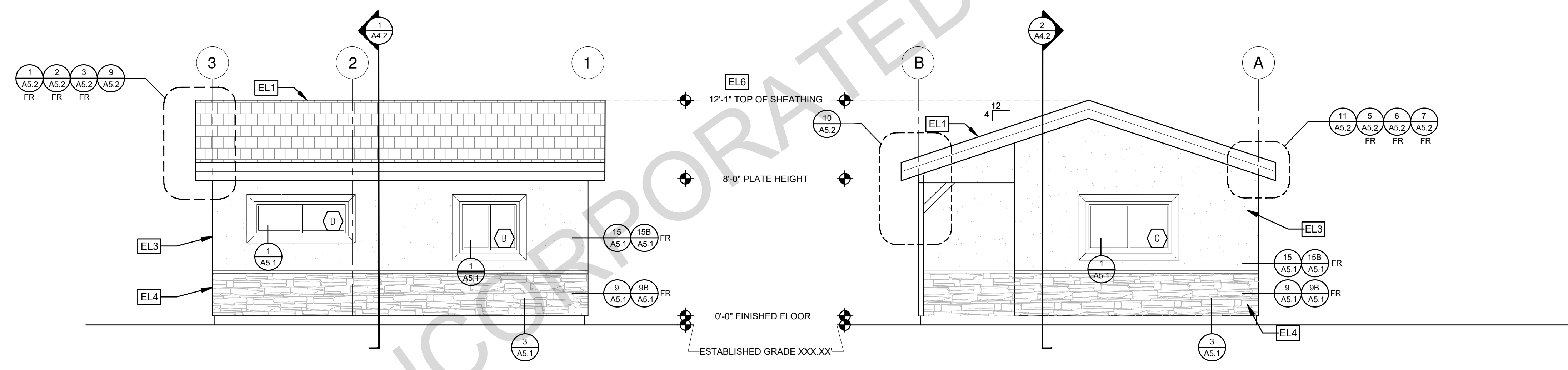
A3.1

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ELEVATION - A  
1/4"=1'-0" RANCH

ELEVATION - B  
1/4"=1'-0" RANCH



ELEVATION - C  
1/4"=1'-0" RANCH

ELEVATION - D  
1/4"=1'-0" RANCH

| ELEVATION KEYNOTES |   |
|--------------------|---|
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| LEGEND |                     |  |                |  |                  |
|--------|---------------------|--|----------------|--|------------------|
|        | SECTION CUT         |  | KEYNOTE        |  | GLAZING          |
|        | ELEVATION CALLOUT   |  | DOOR SYMBOL    |  | ROOFING          |
|        | DETAIL DRAWING REF. |  | WINDOW SYMBOL  |  | SHINGLES         |
|        | ELEVATION MARKER    |  | TEMPERED GLASS |  | SIDING           |
|        |                     |  |                |  | SPRAY FIN STUCCO |
|        |                     |  |                |  | STONE VENEER     |

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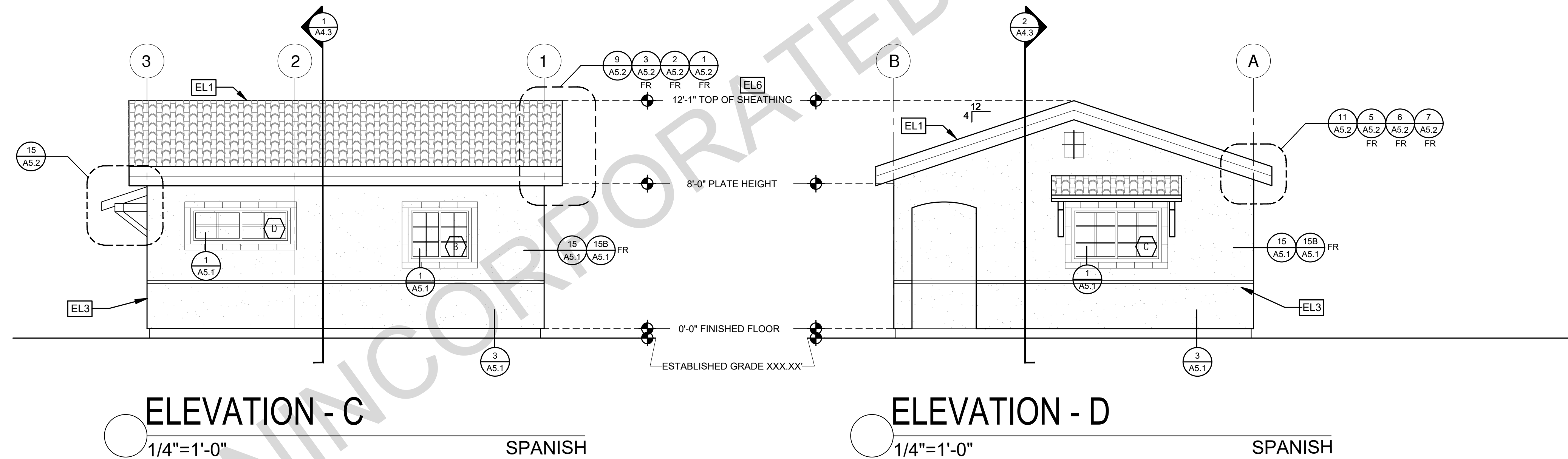
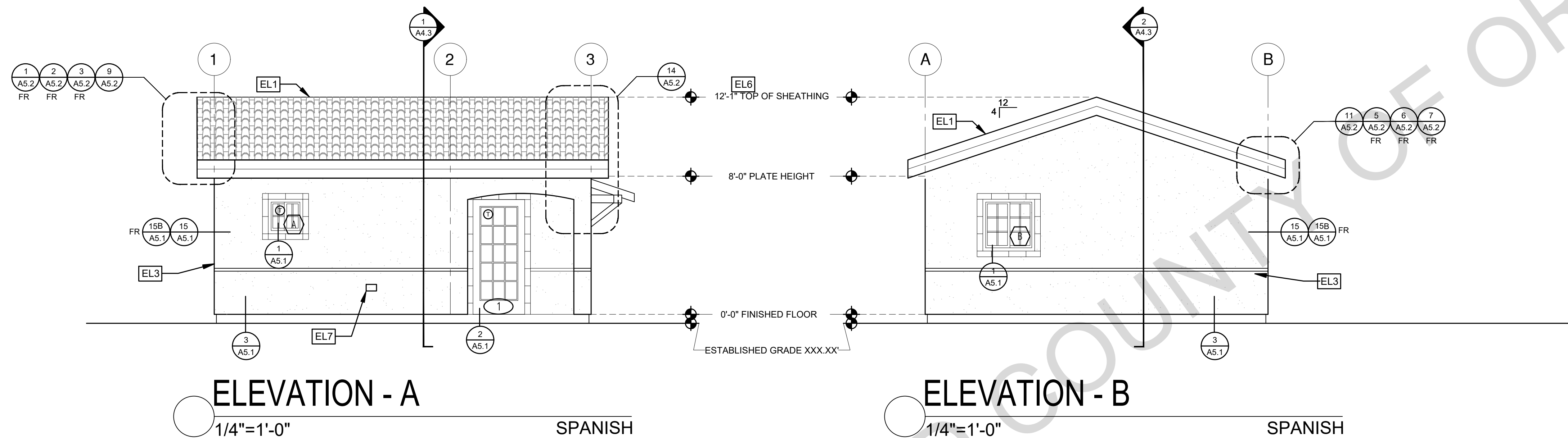
description  
Exterior  
Elevations  
Ranch  
Studio

date 2024

project no.

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sheet no.



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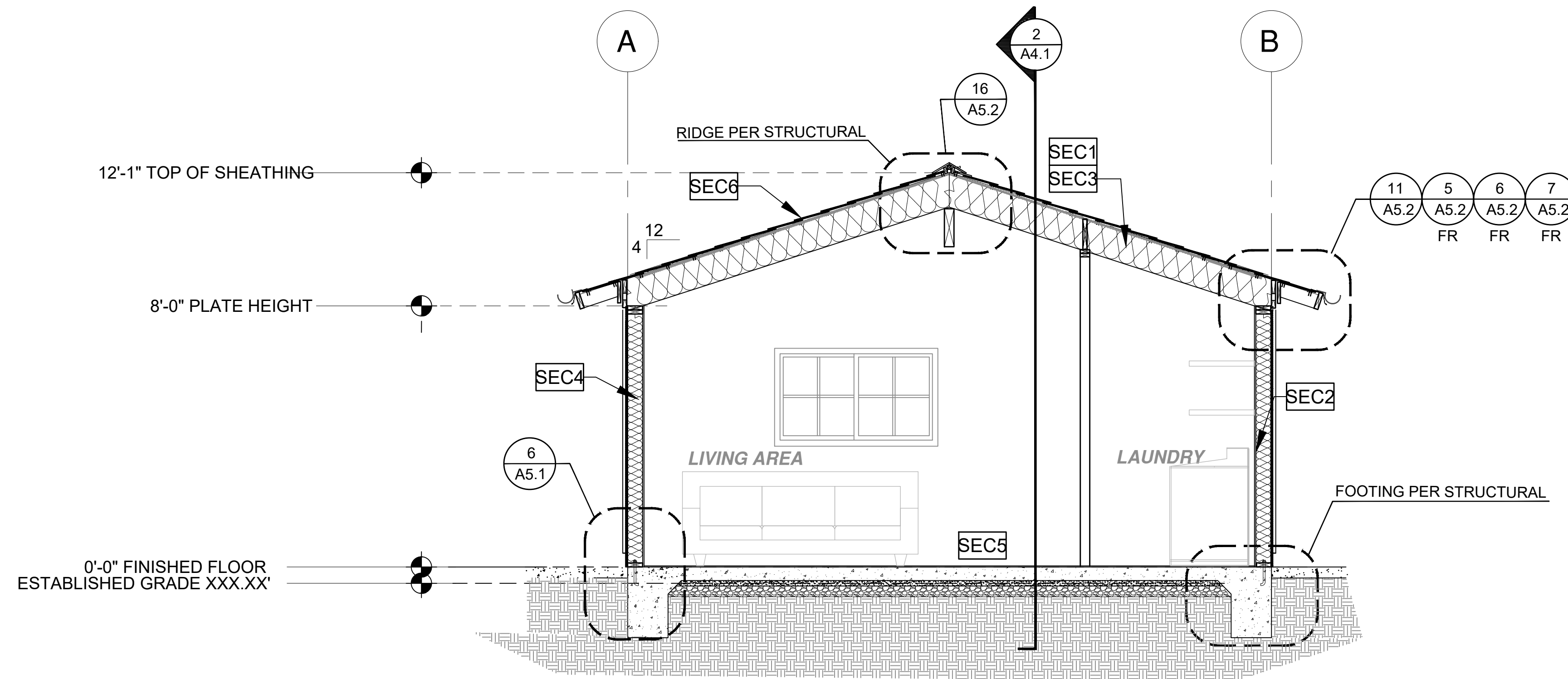
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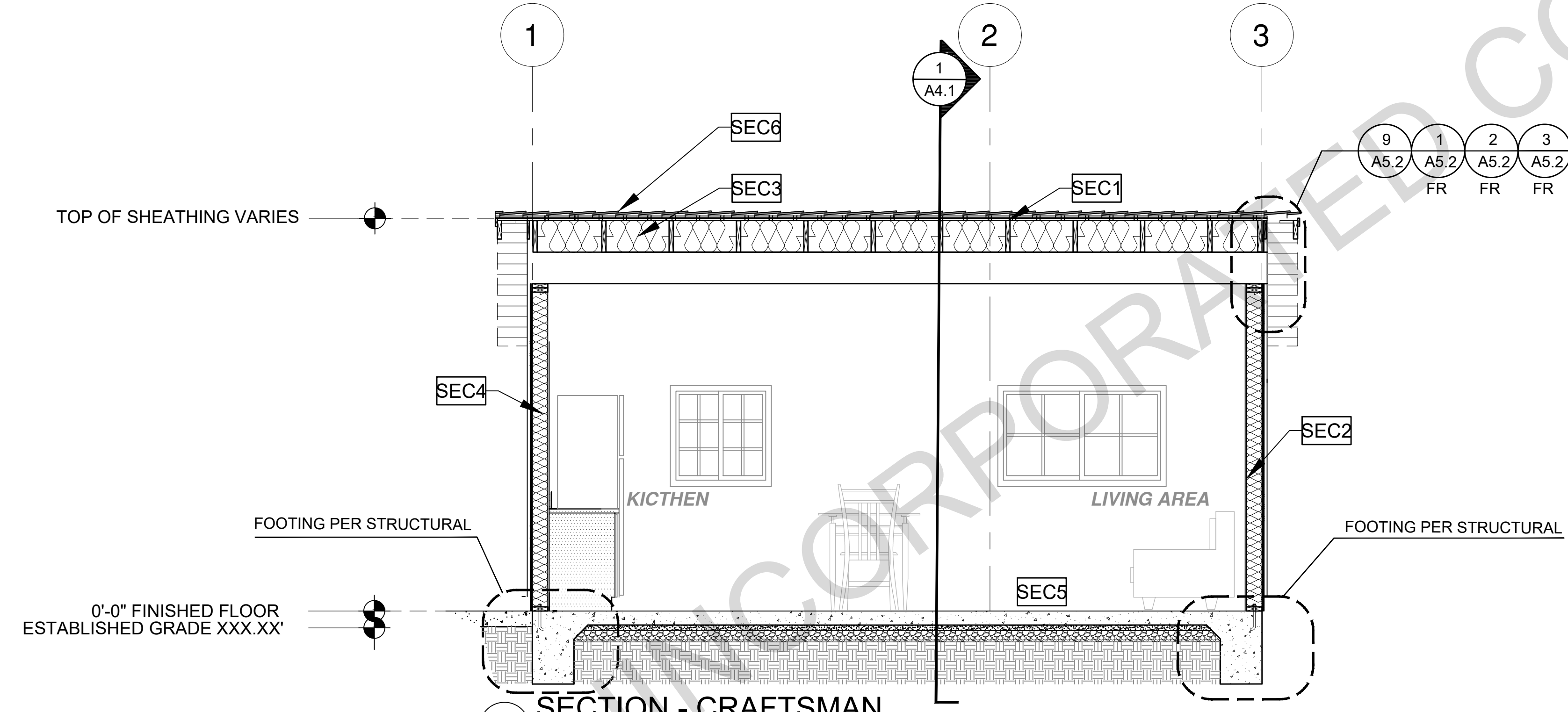
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sheet no.

A3.3

| ELEVATION KEYNOTES  | ELEVATION GENERAL NOTES   | LEGEND   |
|---|---|--|
| <p><b>EL1</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p> <p><b>EL2</b> SIDING</p> <p><b>EL3</b> STUCCO</p> <p><b>EL4</b> STONE VENEER</p> <p><b>EL5</b> HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES</p> <p><b>EL6</b> DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)</p> | <p>1. ALL DIMENSIONS TO FINISH FACE, U.N.O.</p> <p>2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.</p> <p>3. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.</p> <p>4. REFER TO FRAMING PLANS, FLOOR PLANS, AND SECTIONS FOR CLARIFICATION AND DIMENSIONS</p> <p>5. SEE SCHEDULE FOR DOOR AND WINDOW INFORMATION AND HEIGHTS</p> <p>6. LATH &amp; PLASTER<br/>A. MATERIALS FOR PLASTER IS TO BE THE STANDARD PRODUCTS OF RECOGNIZED MANUFACTURERS, AND SHALL BE AS MANUFACTURED BY US GYPSUM CO. AND APPROVED BY THE LATH AND PLASTER INSTIGAT OR APPROVED EQUAL.<br/>B. ALL PLASTER CORNER BEADS, CASING BEADS, CONTROL JOINTS, EXPANSION SCREEDS AND ACCESSORIES ARE TO BE GALVANIZED. PROVIDE CASING BEADS AT ALL JOINTS OF STUCCO TO DISSIMILAR SURFACES UNLESS OTHERWISE NOTED.<br/>C. WHERE INDICATED ON THE DRAWINGS, PORTLAND CEMENT PLASTER IS TO BE HAND APPLIED (3) THREE COAT WORK, 7/8" THICK ON EXTERIOR SURFACES. THE COATS ARE TO CONSIST OF A SCRATCH (3/8" AND A TWO COAT FINISH (1/8" MIN.) COAT PROPORTIONED AND MIXED ADS RECOMMENDED BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION.</p> <p>7. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.</p> <p>8. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.</p> <p>10. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK</p> | <p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p> <p>KEYNOTE</p> <p>DOOR SYMBOL</p> <p>WINDOW SYMBOL</p> <p>TEMPERED GLASS</p> <p>GLAZING</p> <p>ROOFING</p> <p>SHINGLES</p> <p>SIDING</p> <p>SPRAY FIN STUCCO</p> <p>STONE VENEER</p> |



1 SECTION - CRAFTSMAN  
SCALE: 3/8"=1'-0"



2 SECTION - CRAFTSMAN  
SCALE: 3/8"=1'-0"

**SECTION KEYNOTES**

- SEC1** RAFTERS PER PLAN SEE STRUCTURAL
- SEC2** 2X STUDS @ 16" O.C. - SEE STRUCTURAL
- SEC3** CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS
- SEC4** WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS
- SEC5** CONC. SLAB ON GRADE SEE STRUCTURAL
- SEC6** MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS

**SECTION GENERAL NOTES**

1. METALS  
SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS, ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.
2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/4" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.
3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.
4. WOOD SOFFIT/CEILING, SIDING & TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.
5. INSULATION  
THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.
6. FLASHING AND SHEET METAL  
ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.
7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, & STRUCTURAL PLANS.  
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A. VERTICALLY AT CEILING AND FLOOR LEVELS  
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT  
9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS  
10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS  
FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19  
FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION
11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:  
1. TWO-INCH NOMINAL LUMBER  
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3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS  
4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD  
5. ONE HALF-INCH GYPSUM BOARD  
6. ONE FOURTH-INCH CEMENT-BASED MILLBOARD  
7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE  
8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION

**LEGEND**

- SECTION CUT
- ELEVATION CALLOUT
- DETAIL DRAWING REF.
- ELEVATION MARKER

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project  
County of Orange  
Pre-Approved  
ADU Program

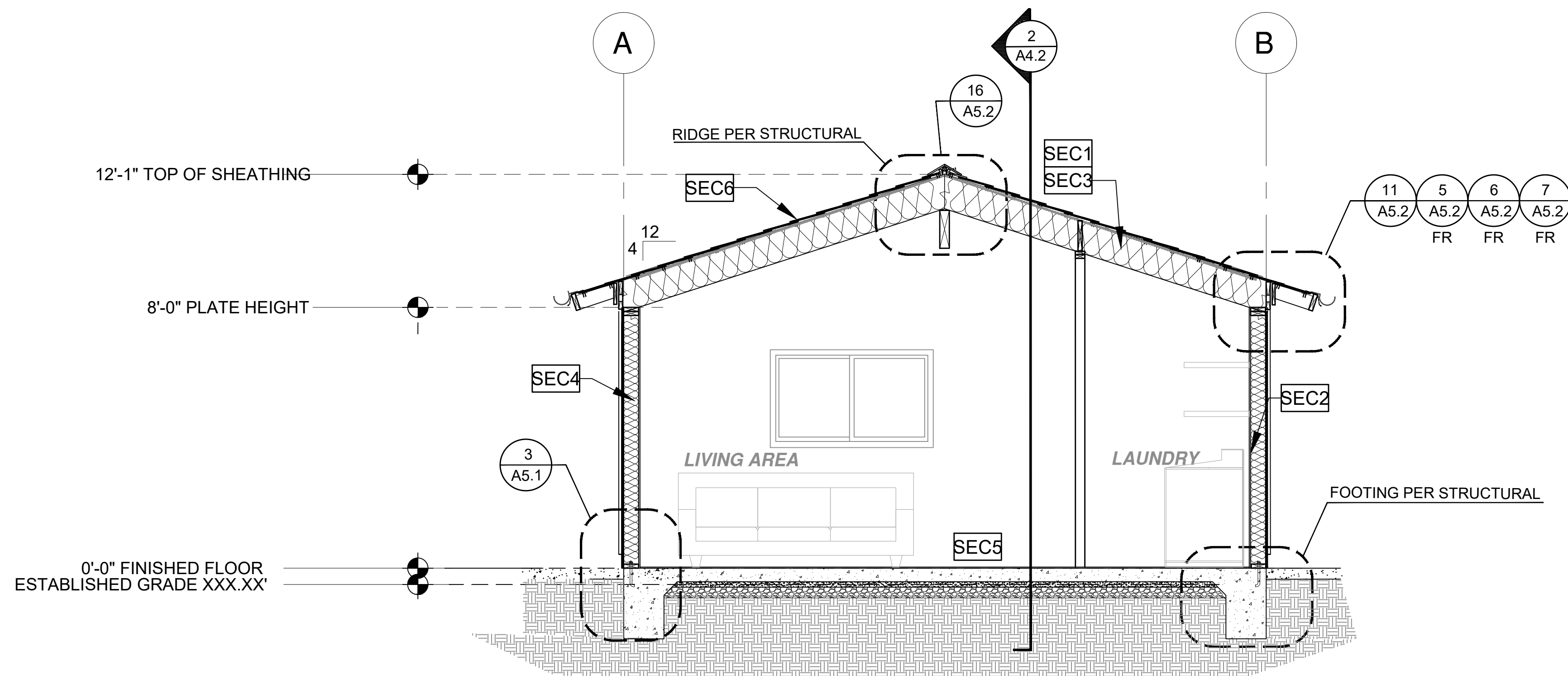
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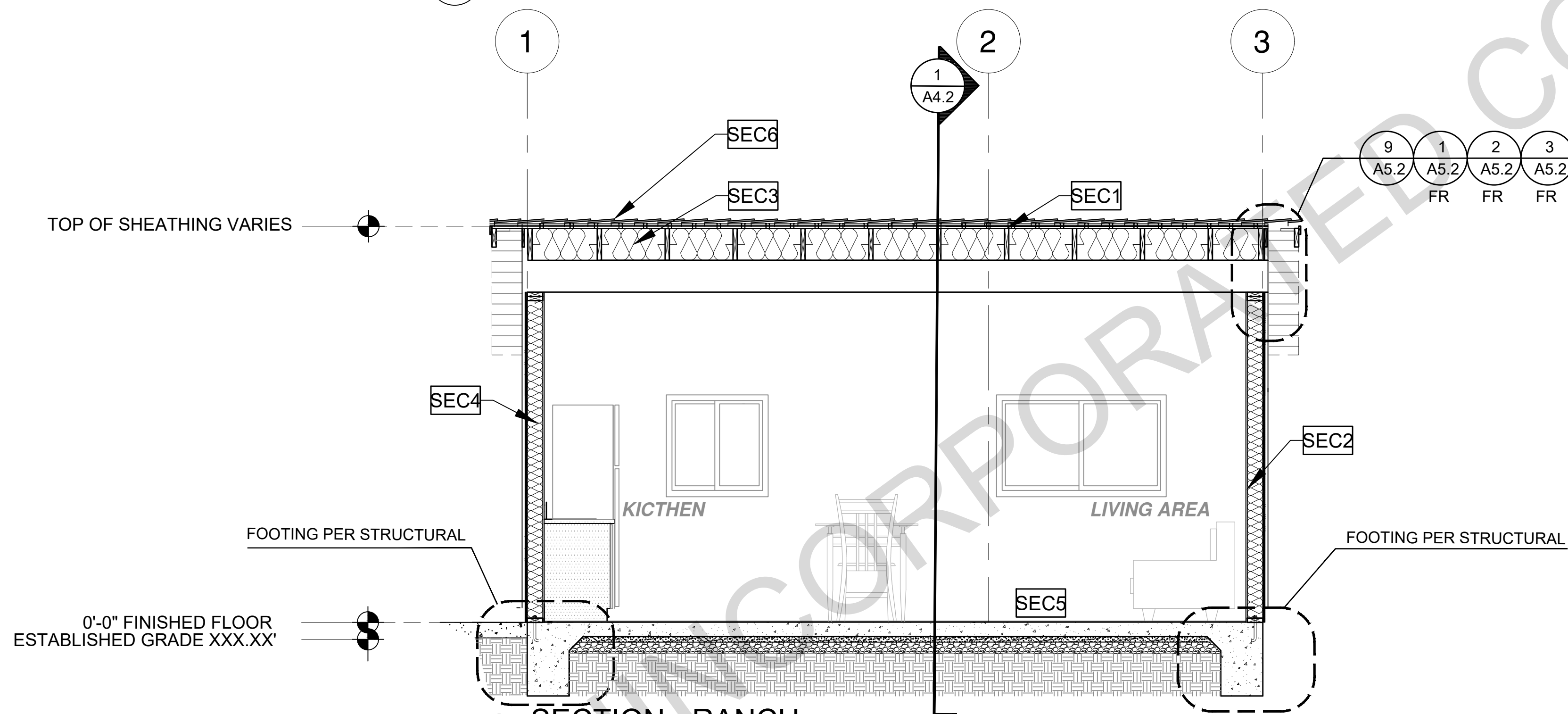
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Studio

date 2024  
project no.  
drawn by DESIGN PATH STUDIO  
sheet no.





1 SECTION - RANCH  
SCALE: 3/8"=1'-0"



2 SECTION - RANCH  
SCALE: 3/8"=1'-0"

SECTION KEYNOTES

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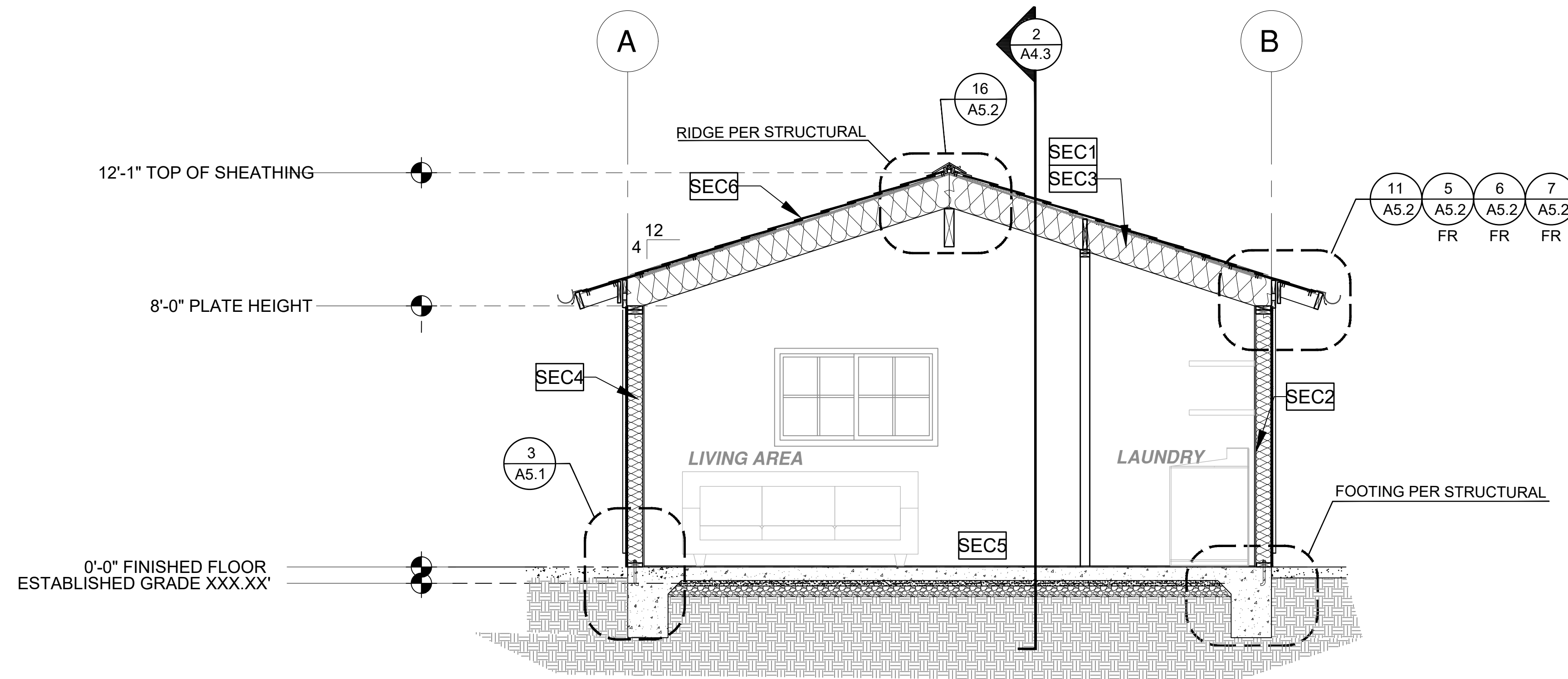
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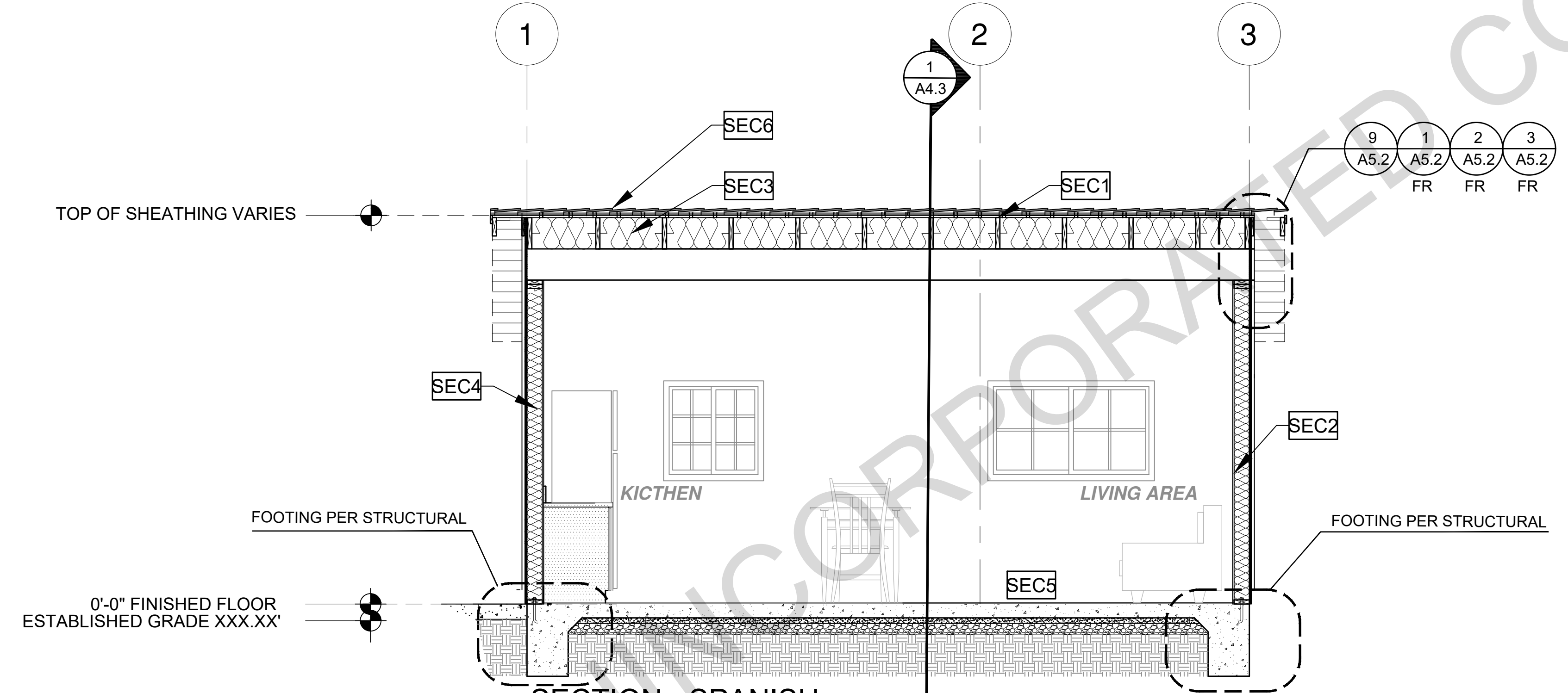
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description  
Sections  
Ranch  
Studio

date 2024  
project no.  
drawn by DESIGN PATH STUDIO  
sheet no.



1 SECTION - SPANISH  
SCALE: 3/8"=1'-0"



2 SECTION - SPANISH  
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| SECTION KEYNOTES  | SECTION GENERAL NOTES  | LEGEND  |
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| <p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p> | <p>1. METALS<br/>SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/4" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.</p> <p>5. INSULATION<br/>THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL<br/>ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS.<br/>"KEYNOTES ONLY APPLY IF REFERENCED ON PLANS"</p> <p>1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION</p> <p>2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2019 CRC SECTION R302.11:<br/>A. SECTION R302.11-1<br/>1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:<br/>A. VERTICALLY AT CEILING AND FLOOR LEVELS<br/>B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19<br/>FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:<br/>1. TWO-INCH NOMINAL LUMBER<br/>2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS<br/>3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS<br/>4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD<br/>5. ONE-HALF-INCH GYPSUM BOARD<br/>6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD<br/>7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE<br/>8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p> | <p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p> |

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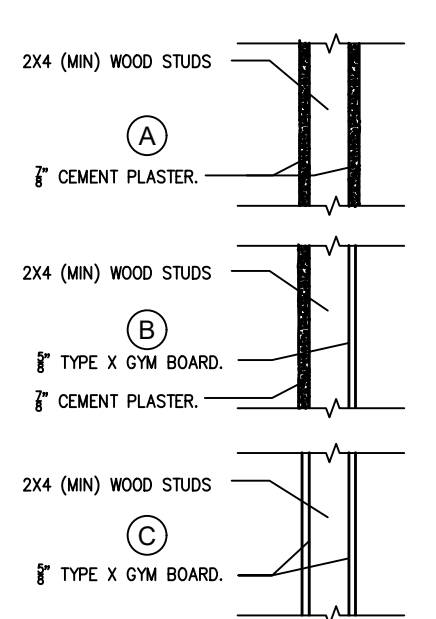
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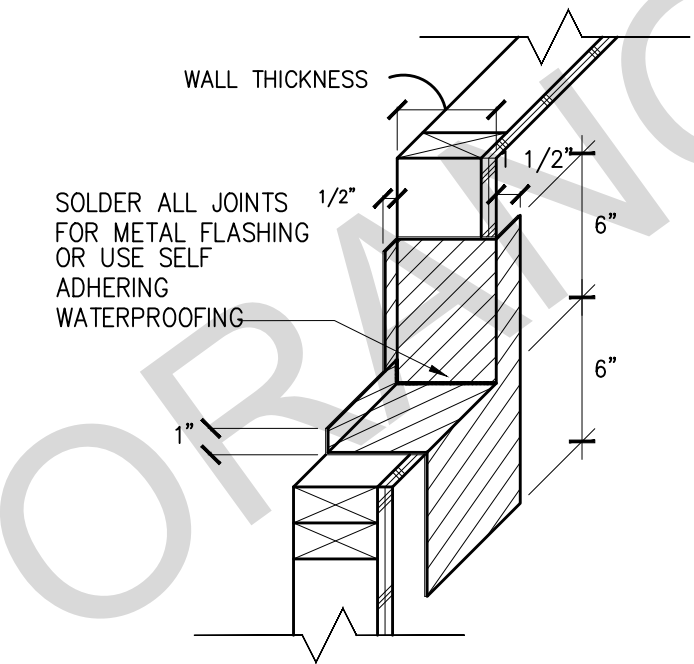


| 2019 CBC TABLE 721.12/ITEM # | DESCRIPTION   | GYPSUM ASSOC. FILE# |
|------------------------------|---|---------------------|
| 15-1.2                       | 2"x4" WOOD STUDS 16" ON CENTER WITH METAL LATH AND 1/2" CEMENT PLASTER ON EACH SIDE. LATH ATTACHED WITH 6D COMMON NAILS 7" ON CENTER DRIVEN TO 1" MINIMUM PENETRATION AND BENT OVER. PLASTER MIX 1:4 FOR SCRATCH COAT AND 1:5 FOR BROWN COAT, BY VOLUME, CEMENT TO SAND.    | N/A                 |
| 15-1.3                       | 2"x4" WOOD STUDS 16" ON CENTER WITH 1/2" CEMENT PLASTER (MEASURED FROM THE FACE OF STUD) ON THE EXTERIOR SURFACE TREATMENT AS REQUIRED FOR INTERIOR WOOD STUD PARTITIONS IN THIS TABLE. PLASTER MIX 1:4 FOR SCRATCH COAT AND 1:5 FOR BROWN COAT, BY VOLUME, CEMENT TO SAND. | N/A                 |
| 14-1.3                       | 2"x4" WOOD STUDS 24" ON CENTER WITH 5/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 6D COOLER OR WALLBOARD NAILS AT 7" ON CENTER WITH END JOINTS ON NAILING MEMBERS. STAGER JOINTS ON EACH SIDE.  | WP 3510 & WP 3514   |

NOTE: THE ADDITION OF PLYWOOD SHEATHING TO THESE ASSEMBLIES DOES NOT LESSEN THEIR FIRE RESISTANCE. ATTACH WALL TO EXISTING OR NEW FIRE RATED FLOOR/CEILING ASSEMBLY AS REQUIRED.

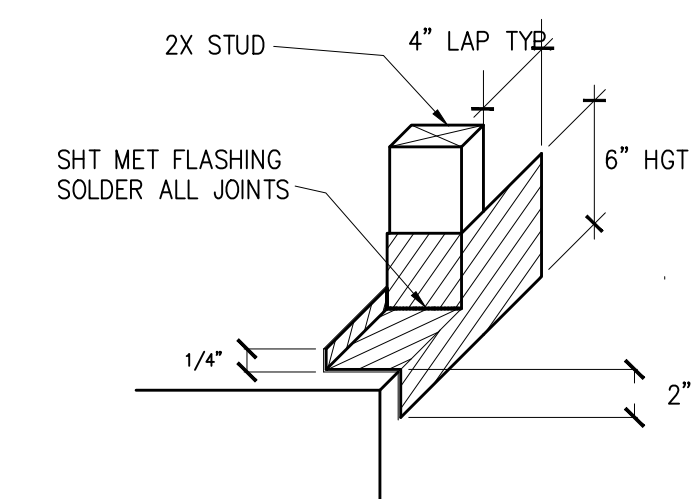
4 FIRE RESISTIVE 1-HOUR WOOD FRAMED WALLS

SCALE: NTS



1 WINDOW SILL FLASHING

SCALE: 1/2"=1'-0"



\*PROVIDE SOLID BLOCKING AT ALL FLASHING LOCATIONS

2 DOOR THRESHOLD FLASHING

SCALE: 1/2"=1'-0"

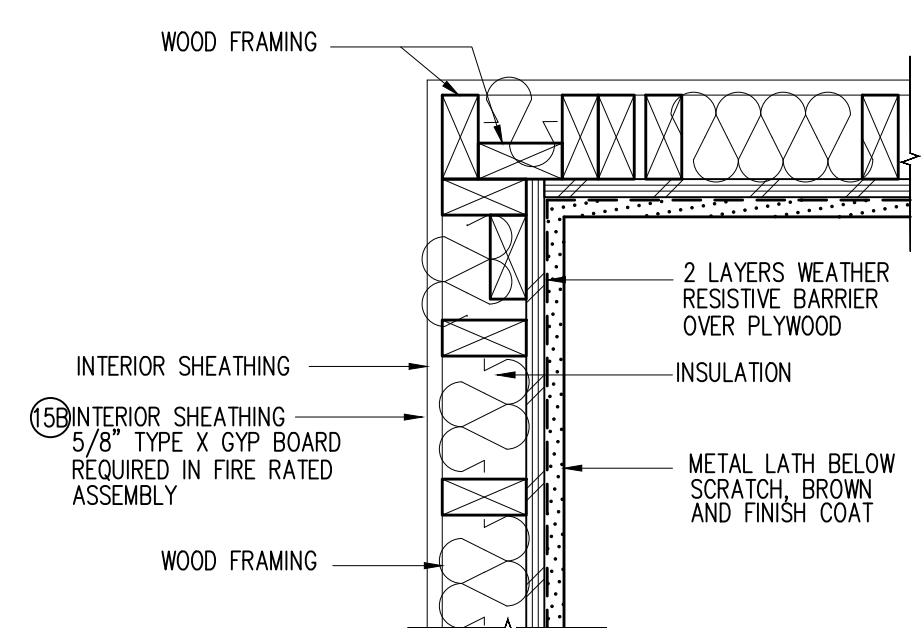
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13

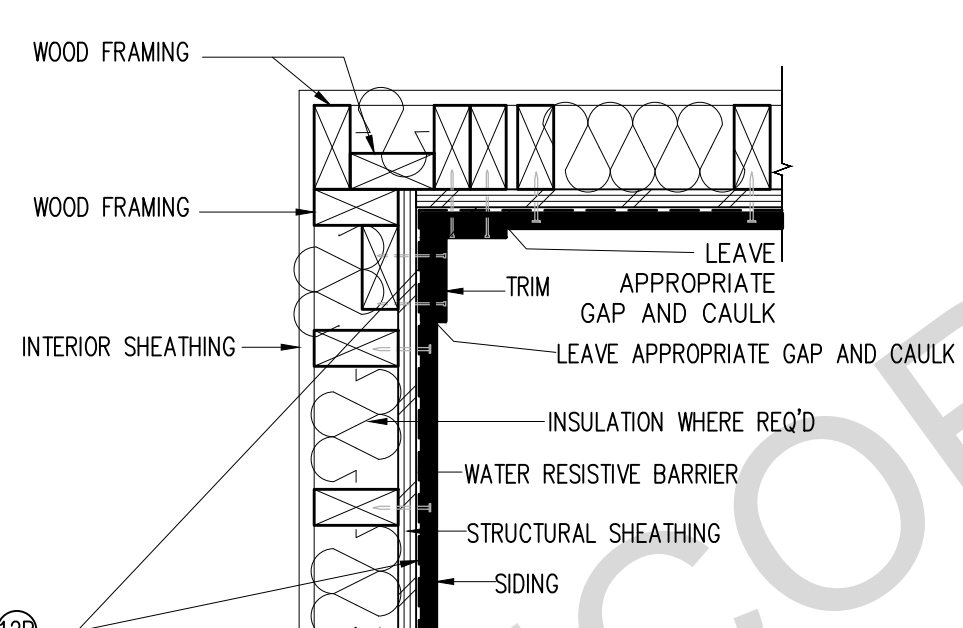
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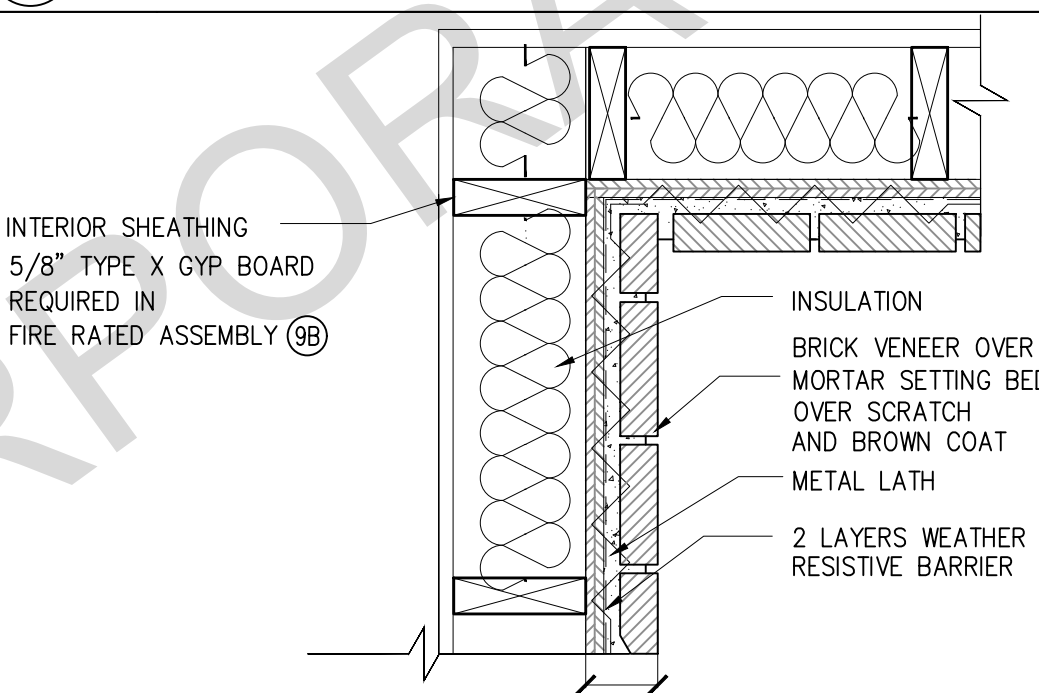


STUCCO AT INSIDE CORNER



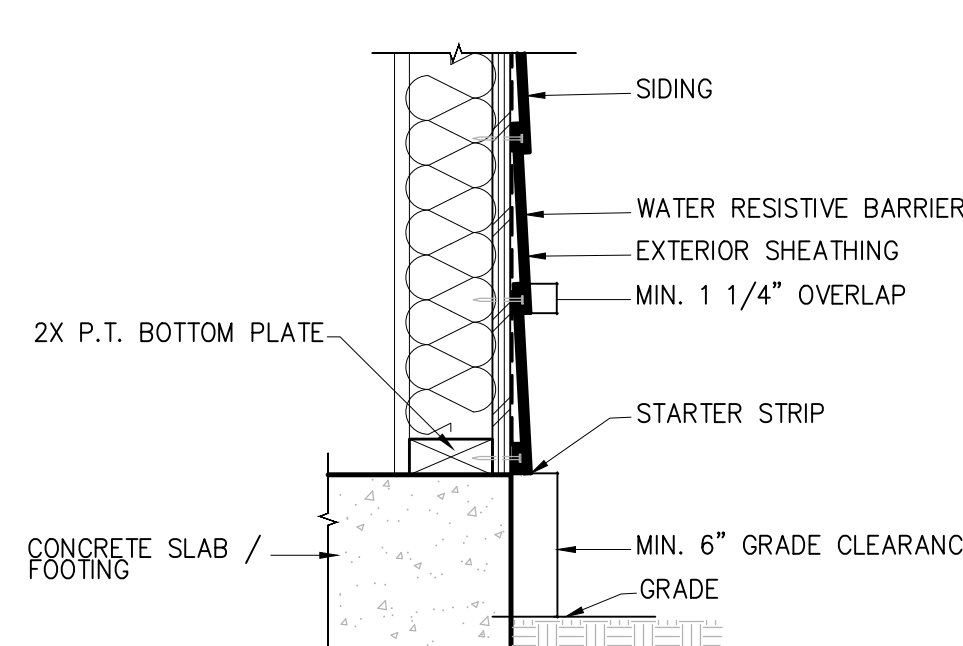
SIDING AT INSIDE CORNER

8



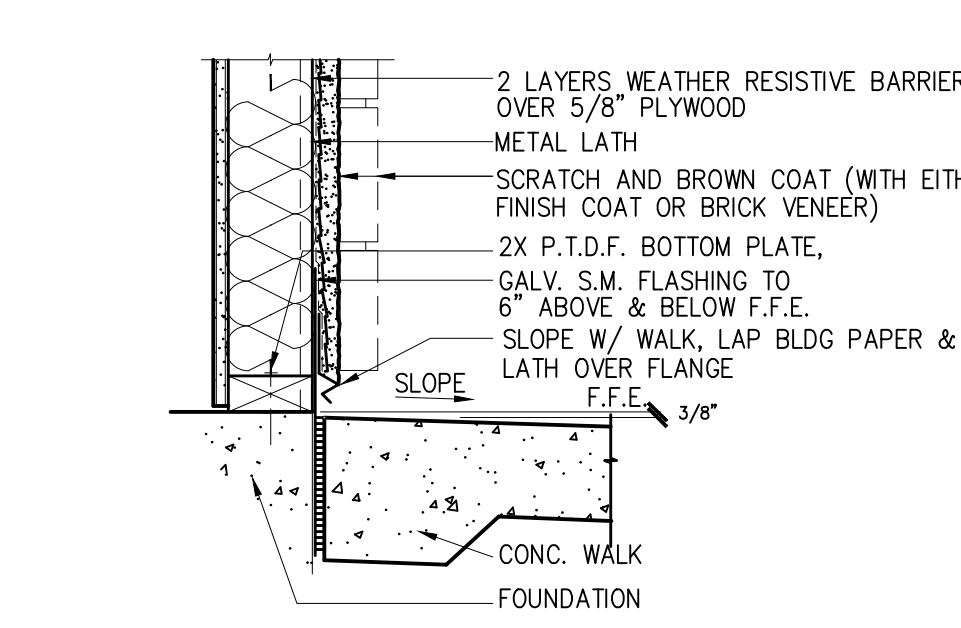
STONE VENEER AT INSIDE CORNER

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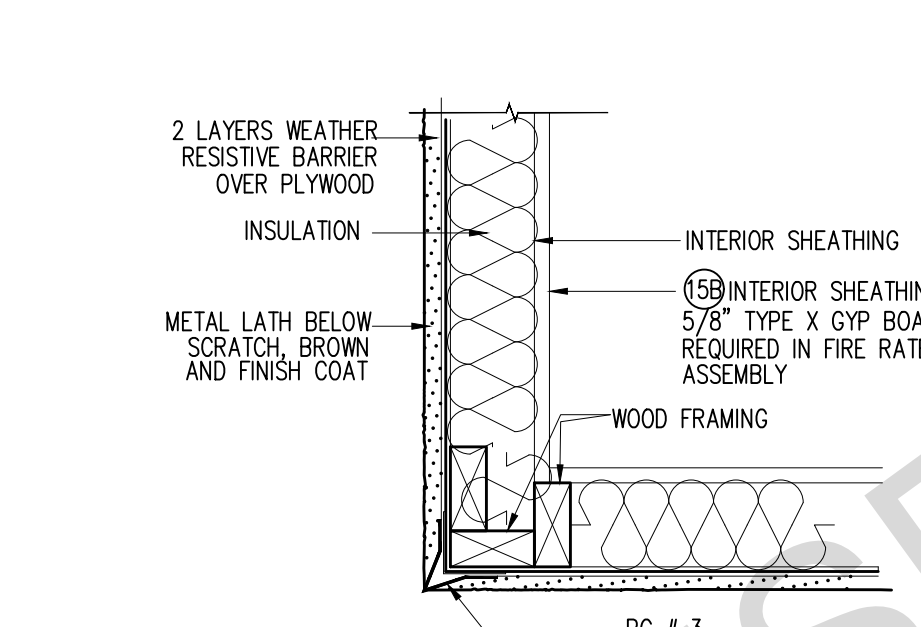


SIDING AT CONCRETE WALK

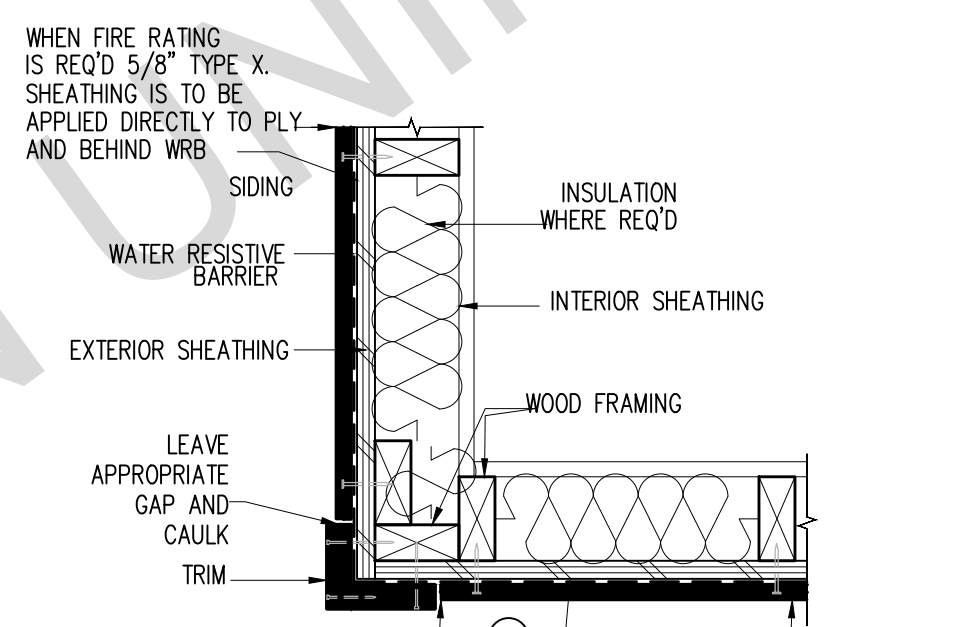
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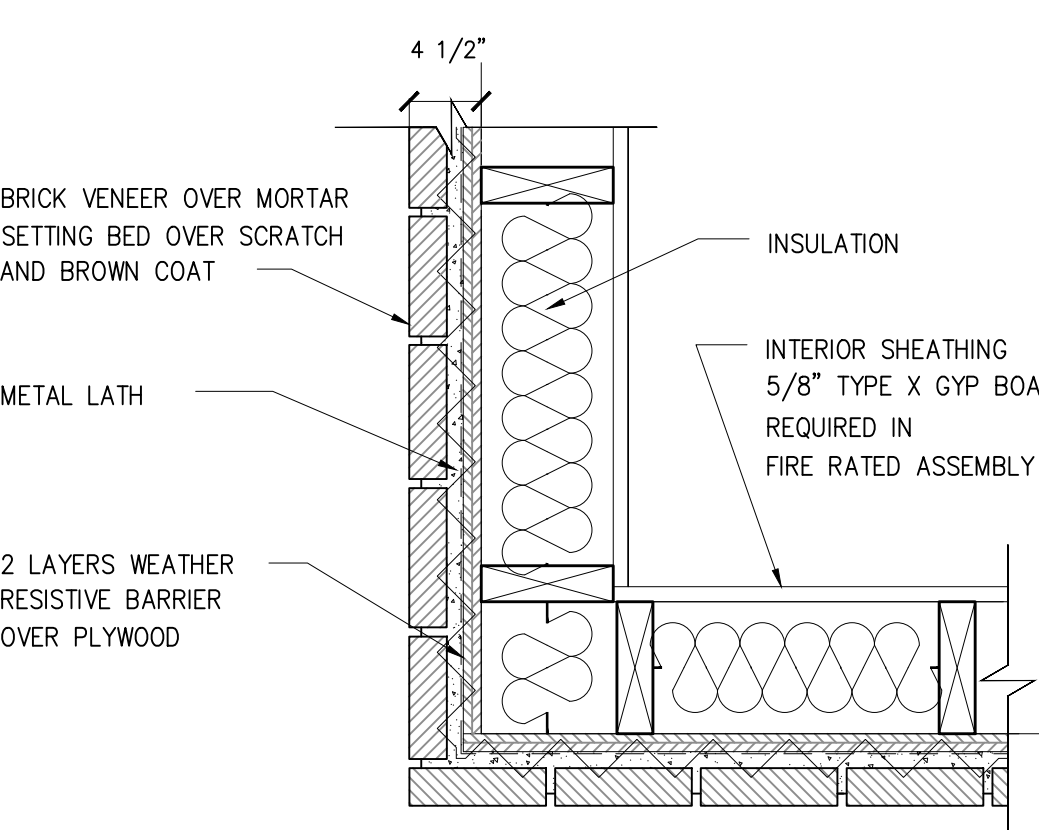
STUCCO / STONE WEEP SCREED AT CONCRETE WALK



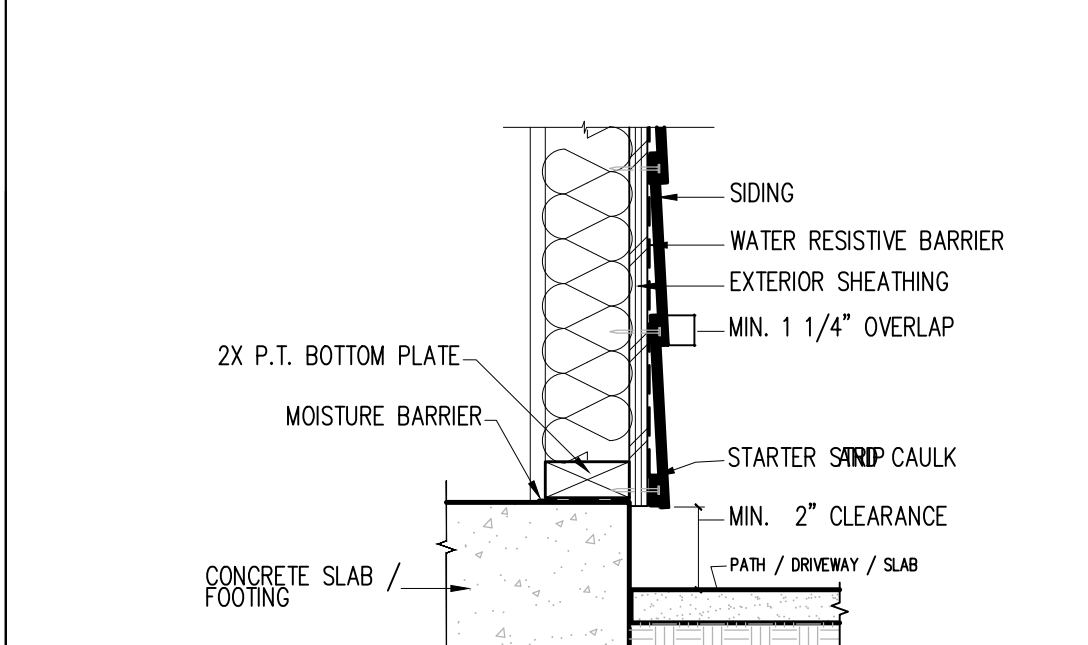
STUCCO AT OUTSIDE CORNER



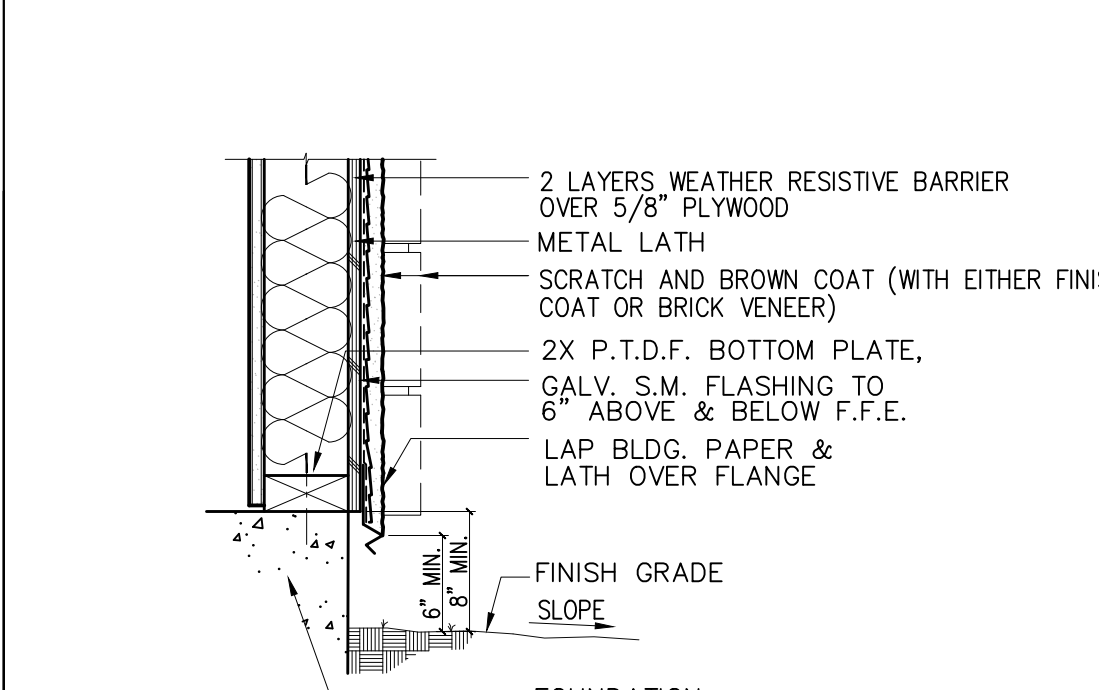
SIDING AT OUTSIDE CORNER



STONE VENEER AT OUTSIDE CORNER



SIDING AT GRADE



STUCCO / STONE WEEP SCREED AT GRADE

15B FIRE RATED STUCCO WALL

12B FIRE RATED SIDING WALL

9B FIRE RATED STONE WALL

6 SIDING - WALL SECTION

3 STUCCO/STONE - WALL SECTION

15 STUCCO WALL

12 SIDING WALL

9 STONE WALL

6 SIDING - WALL SECTION

3 STUCCO/STONE - WALL SECTION

SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"

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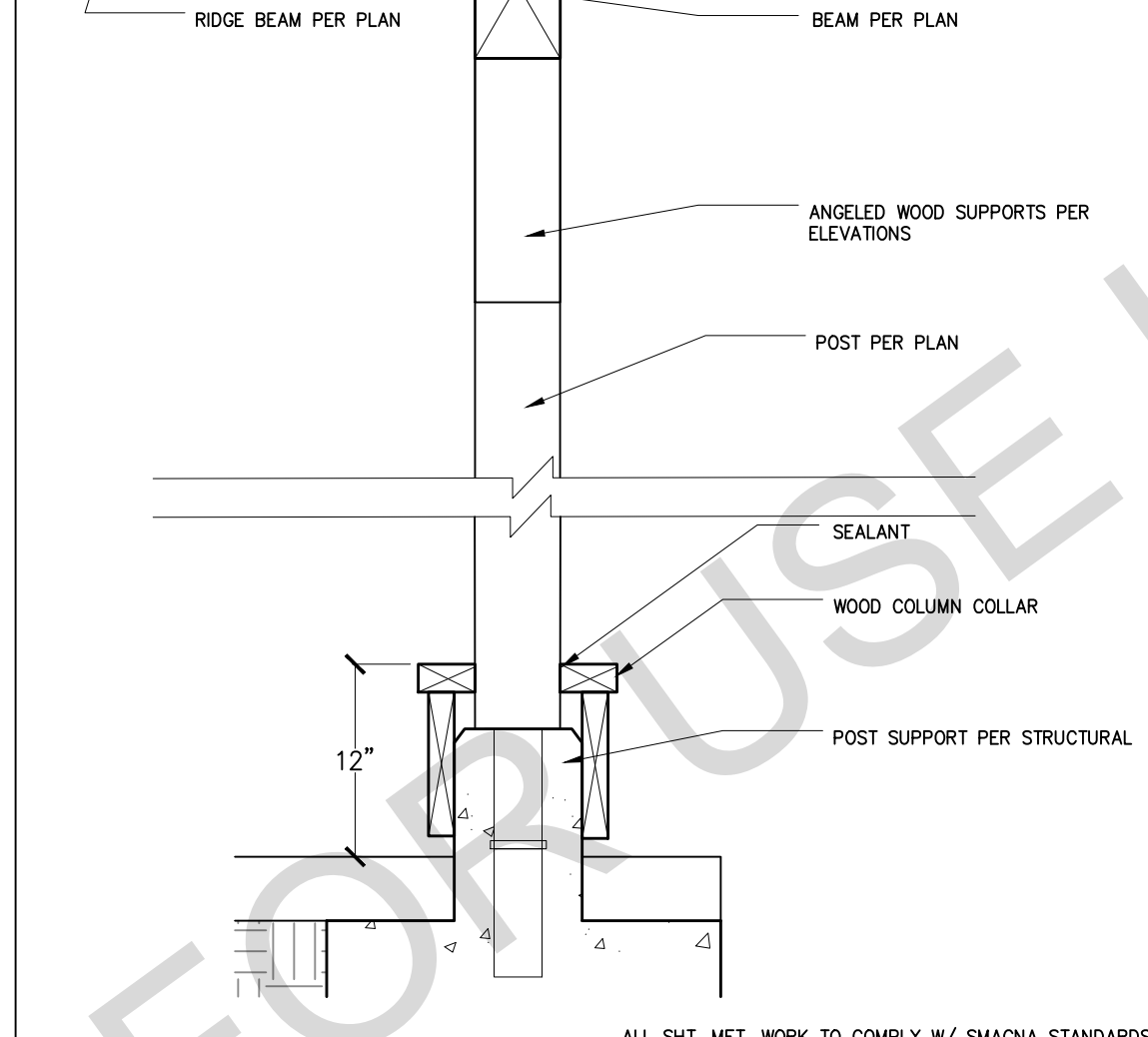
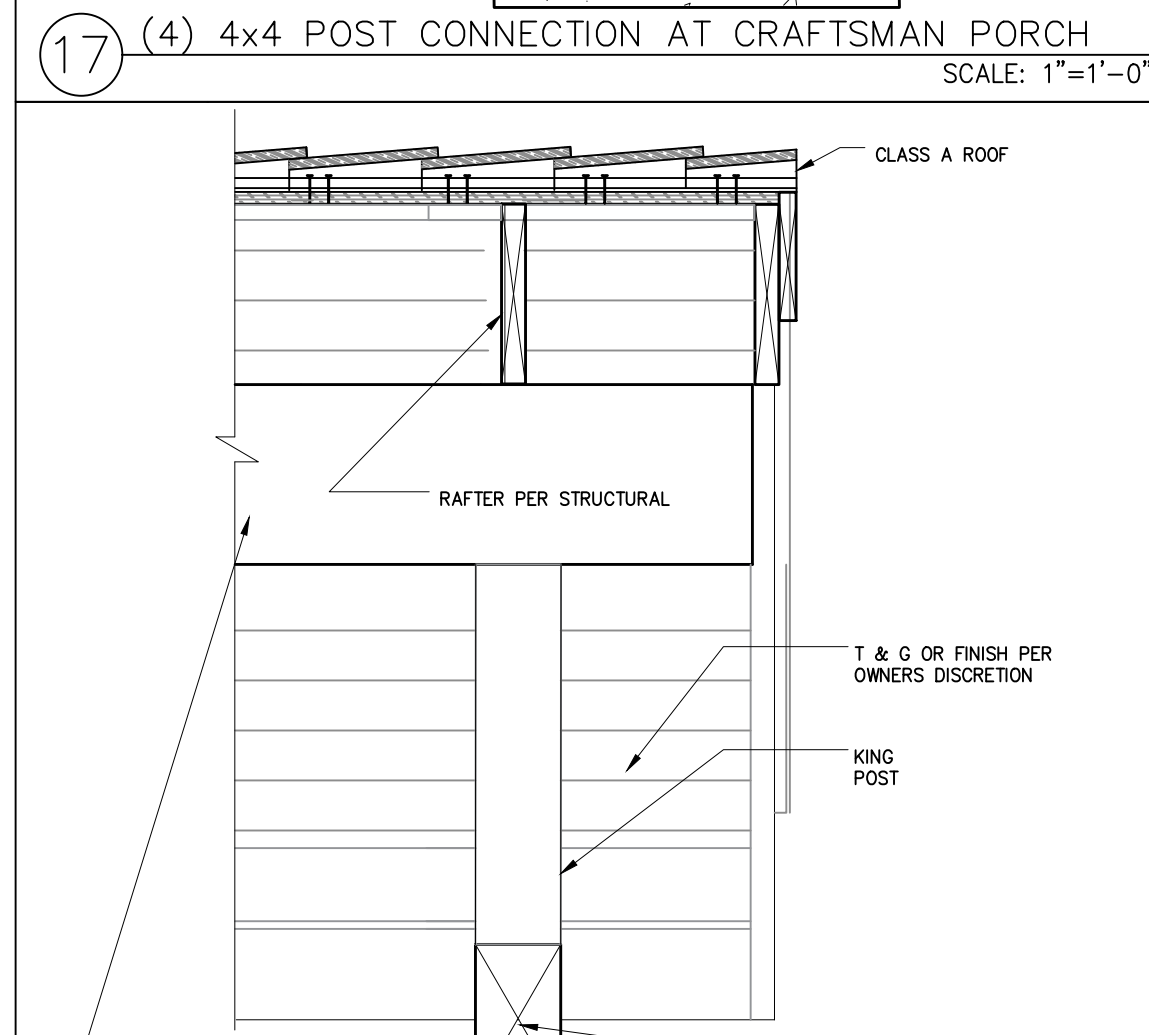
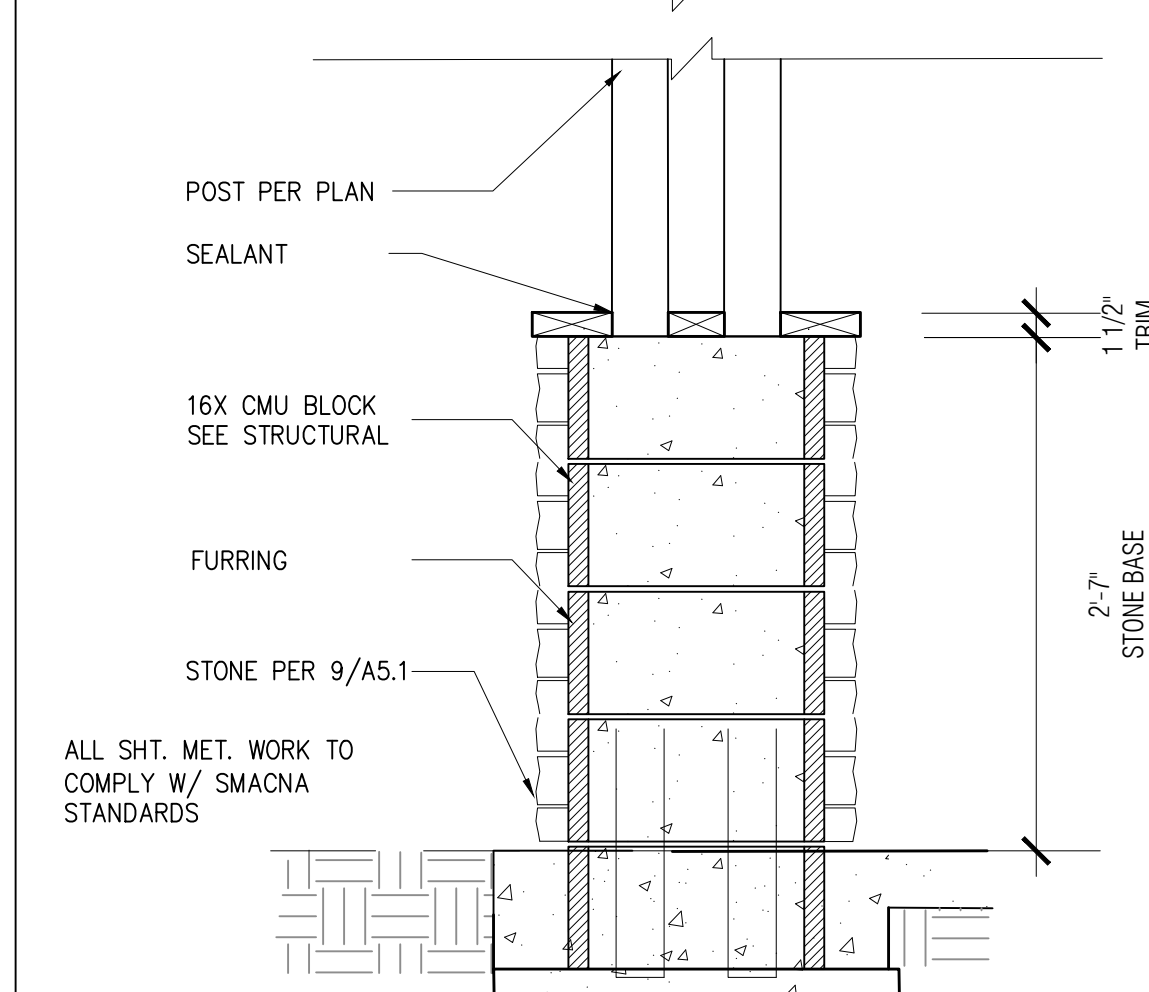
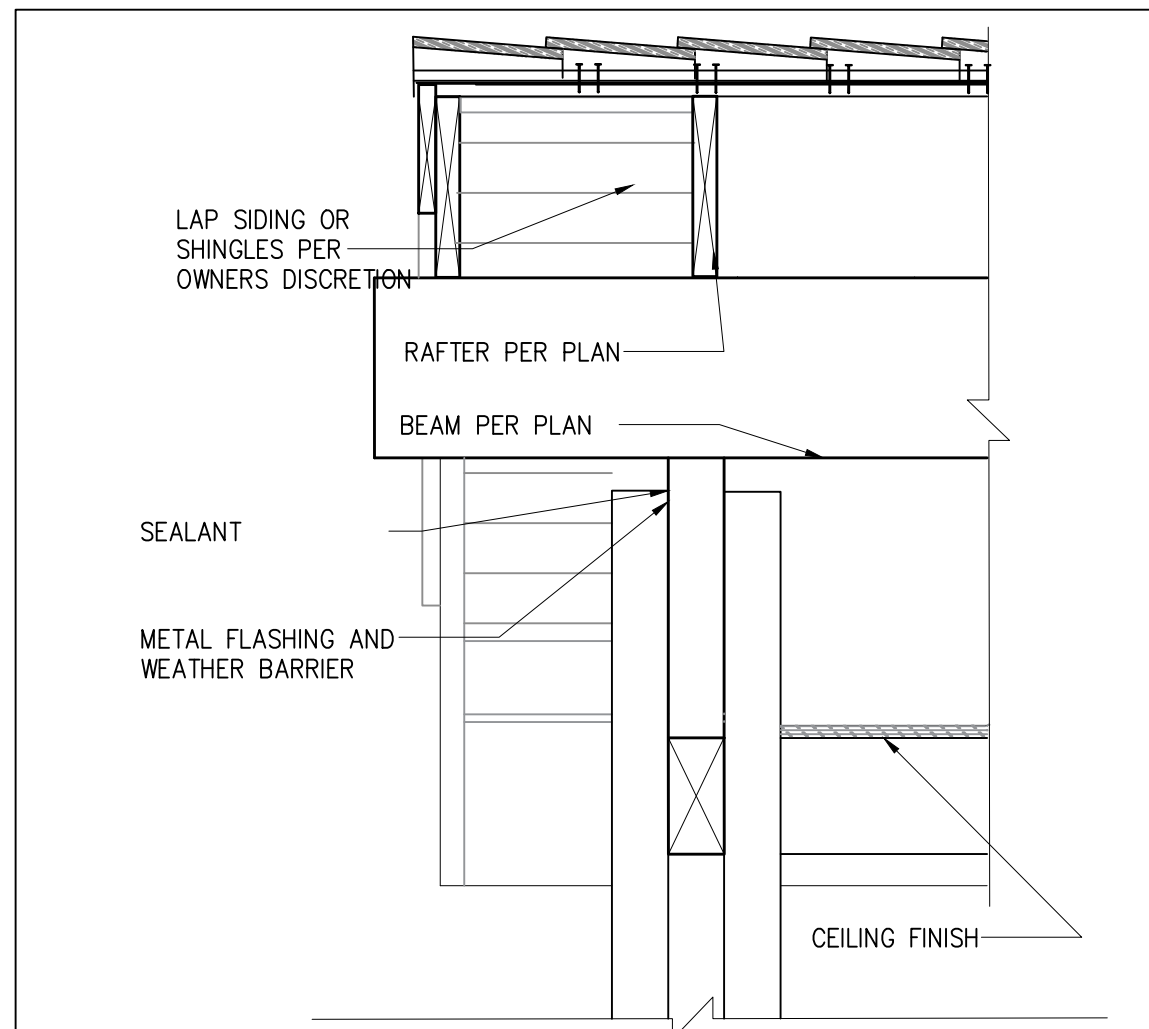
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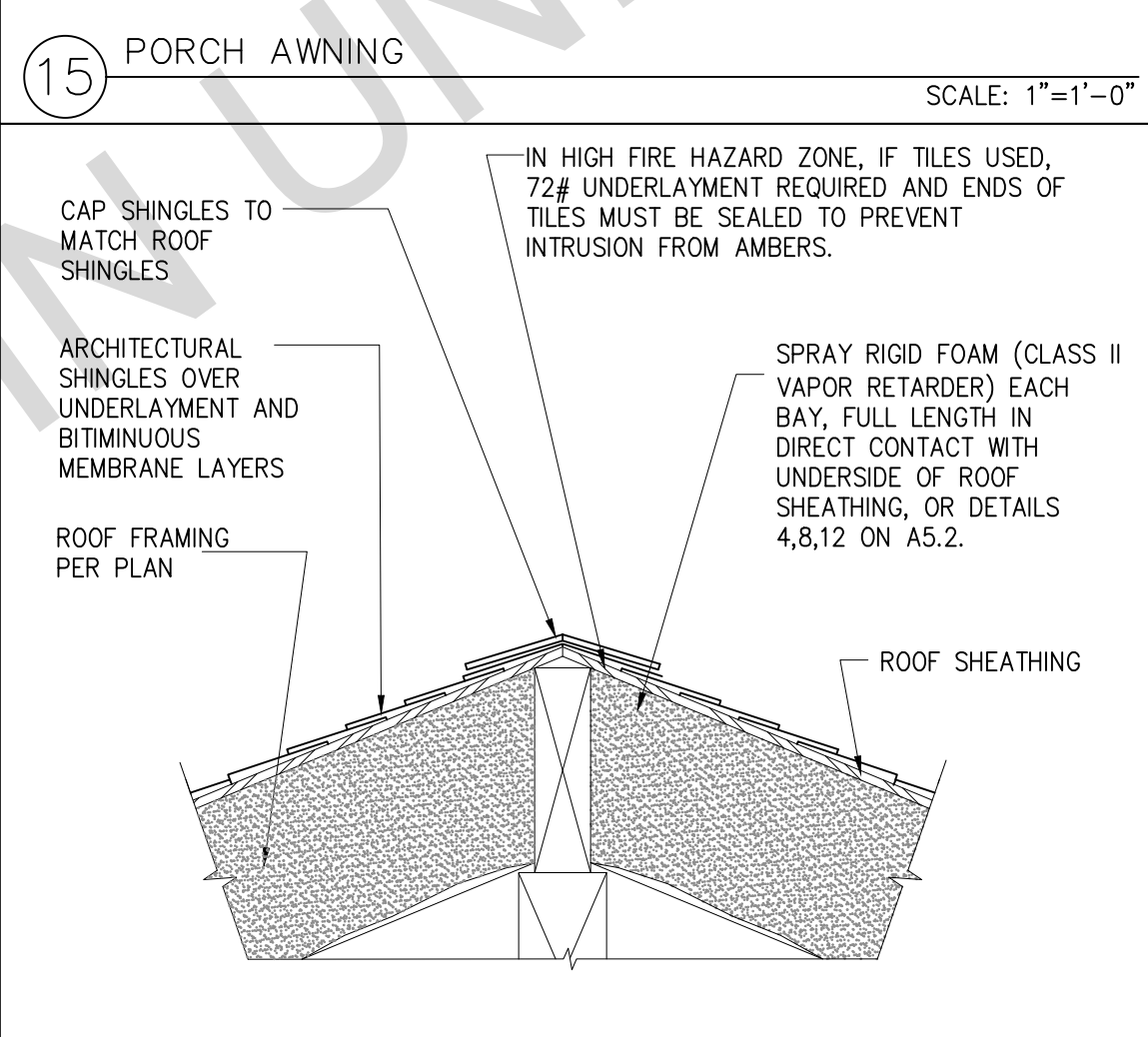
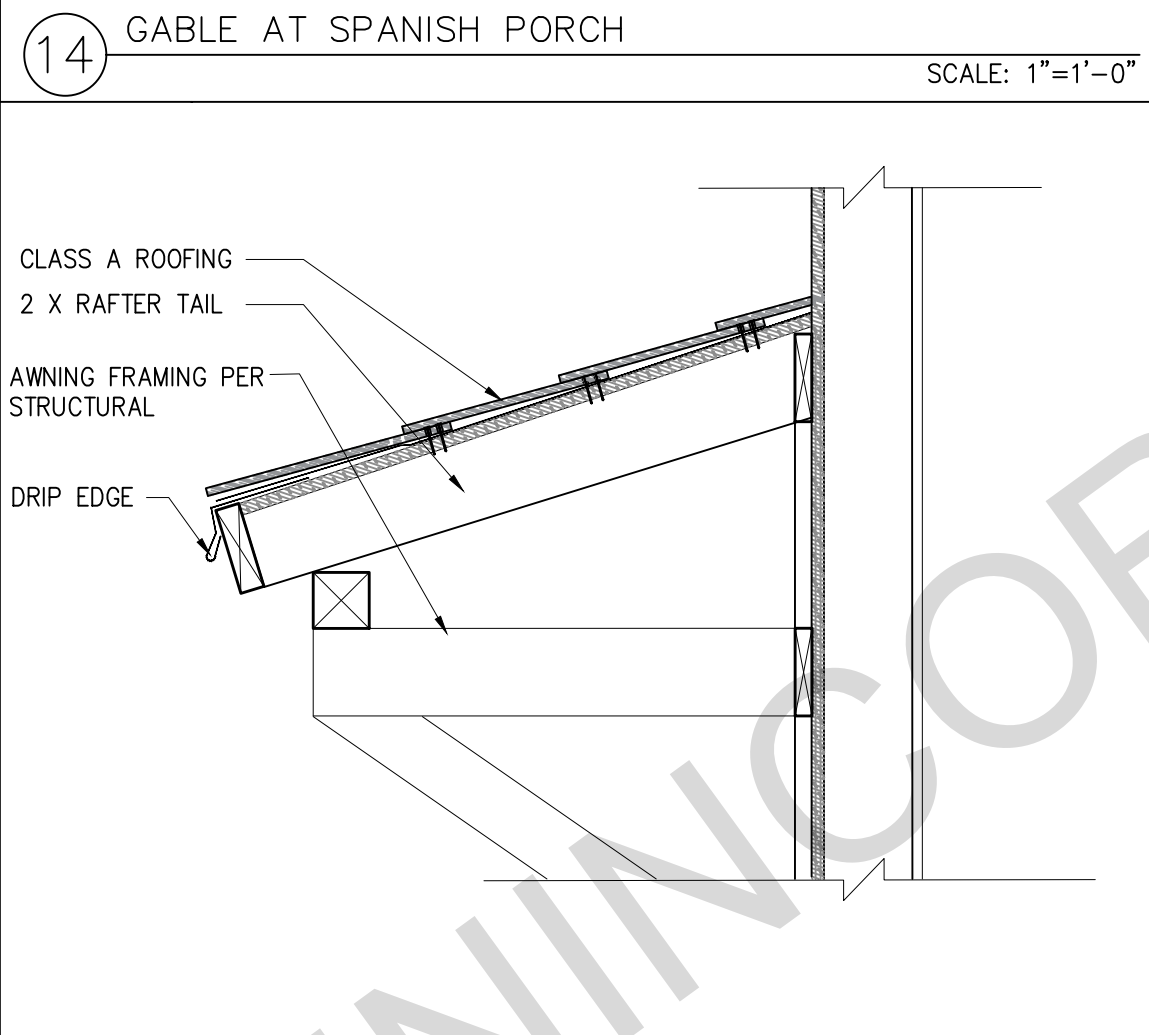
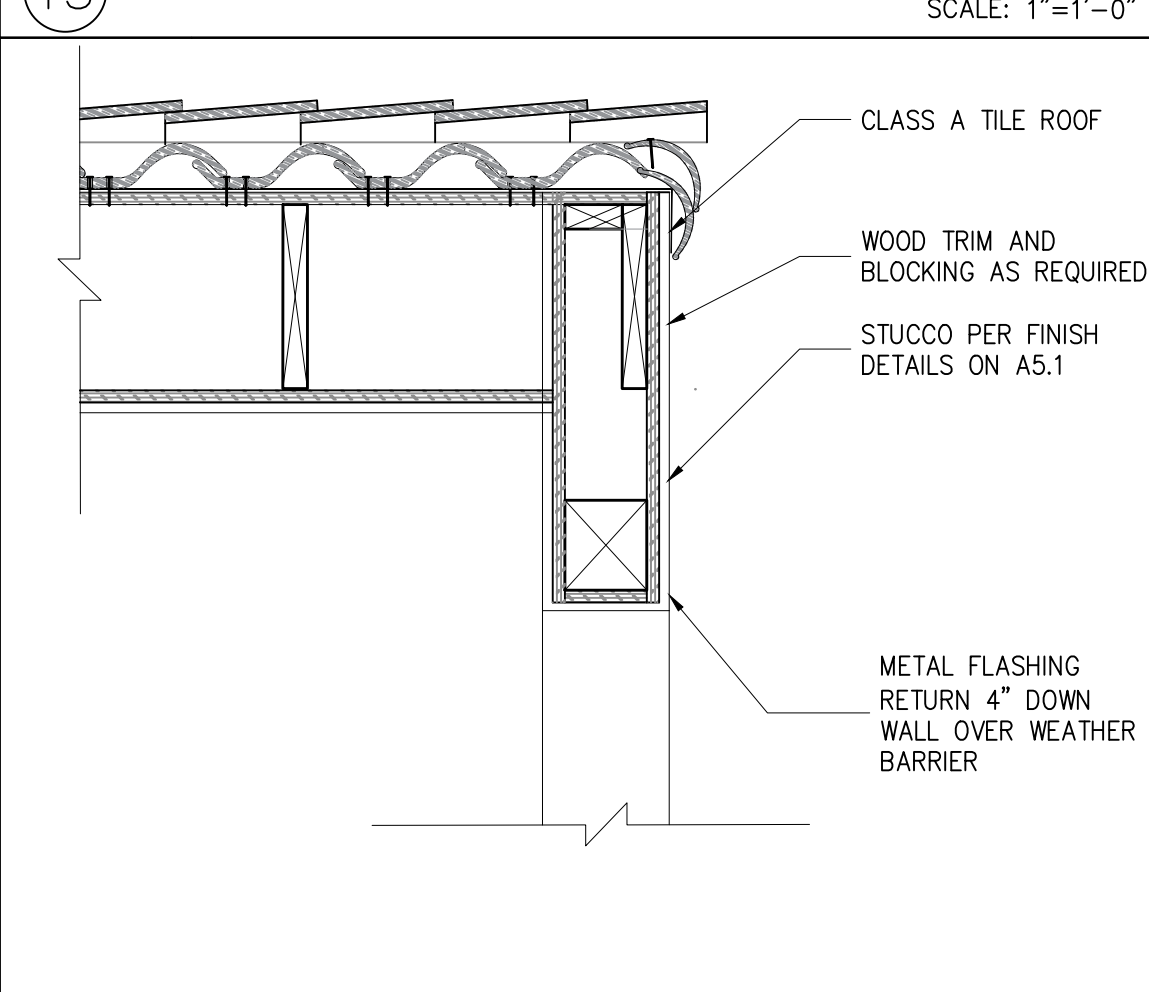
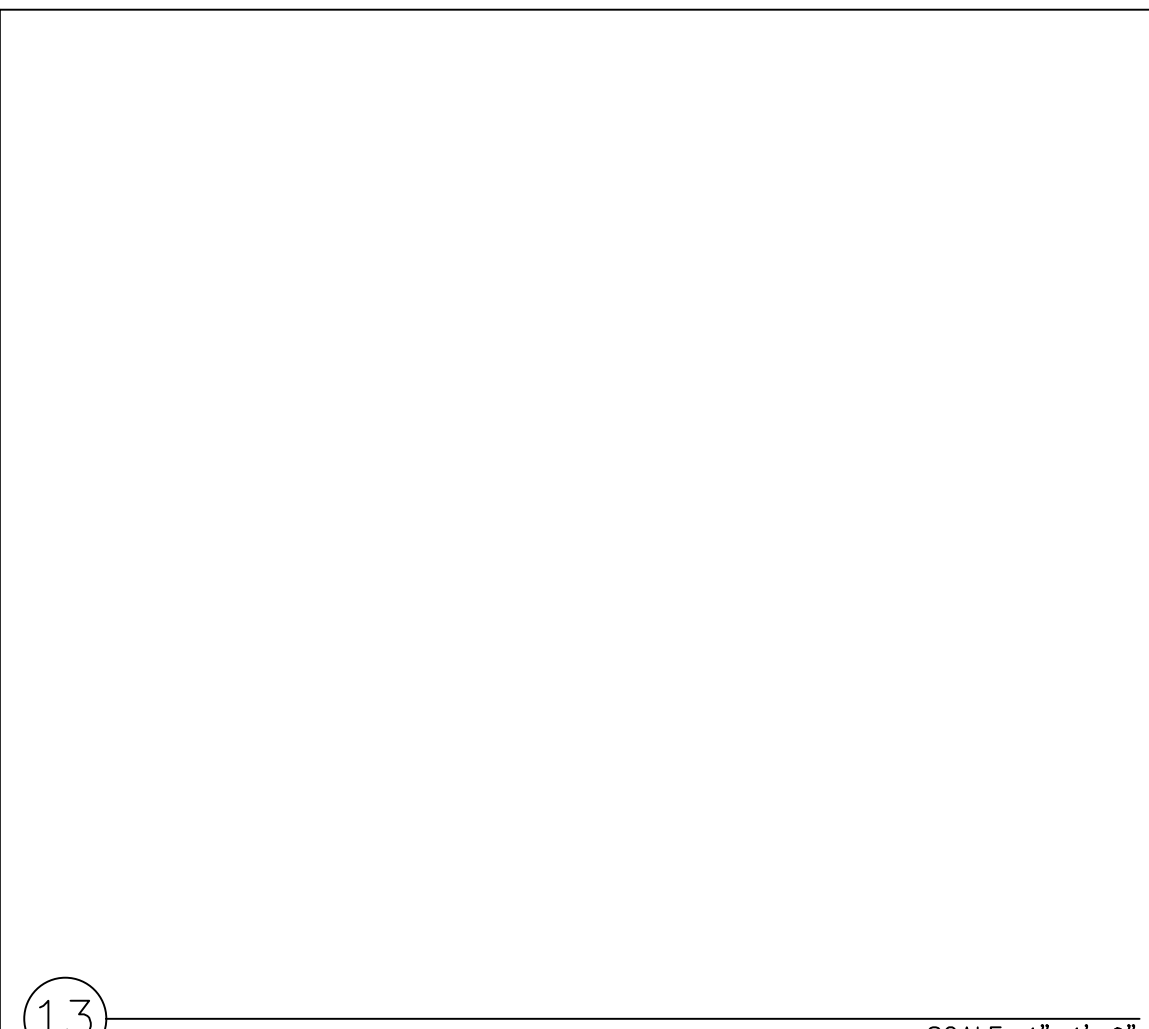
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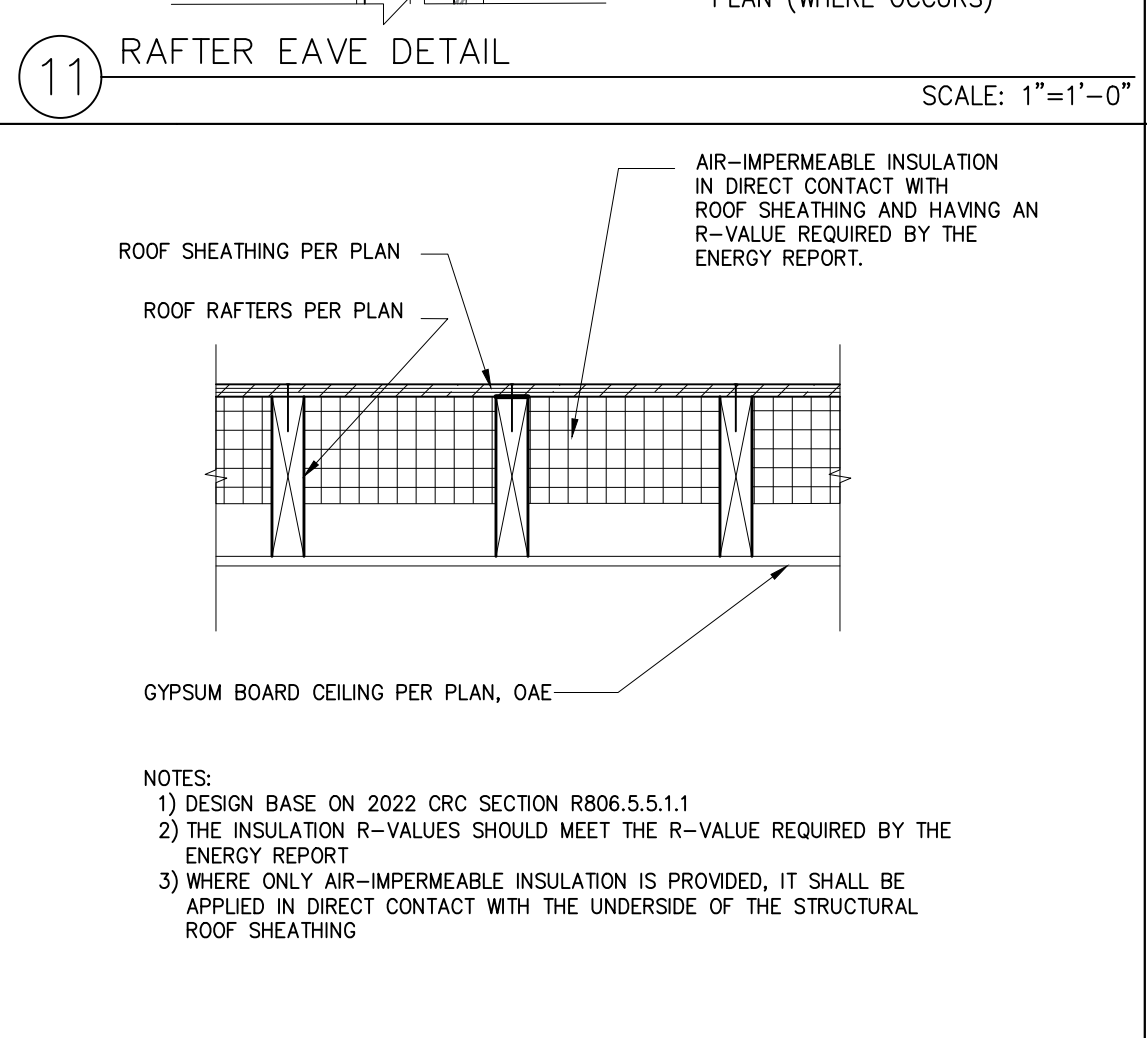
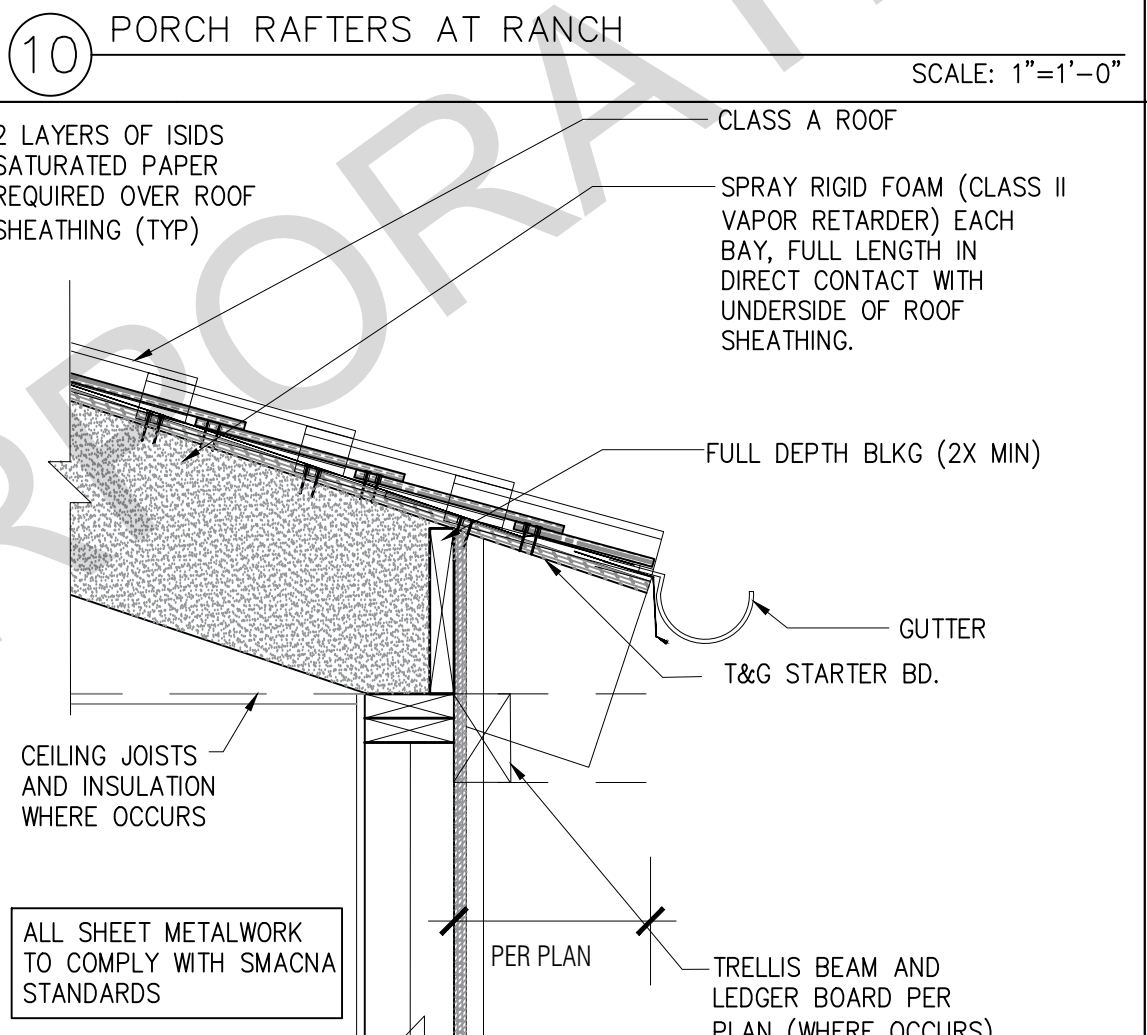
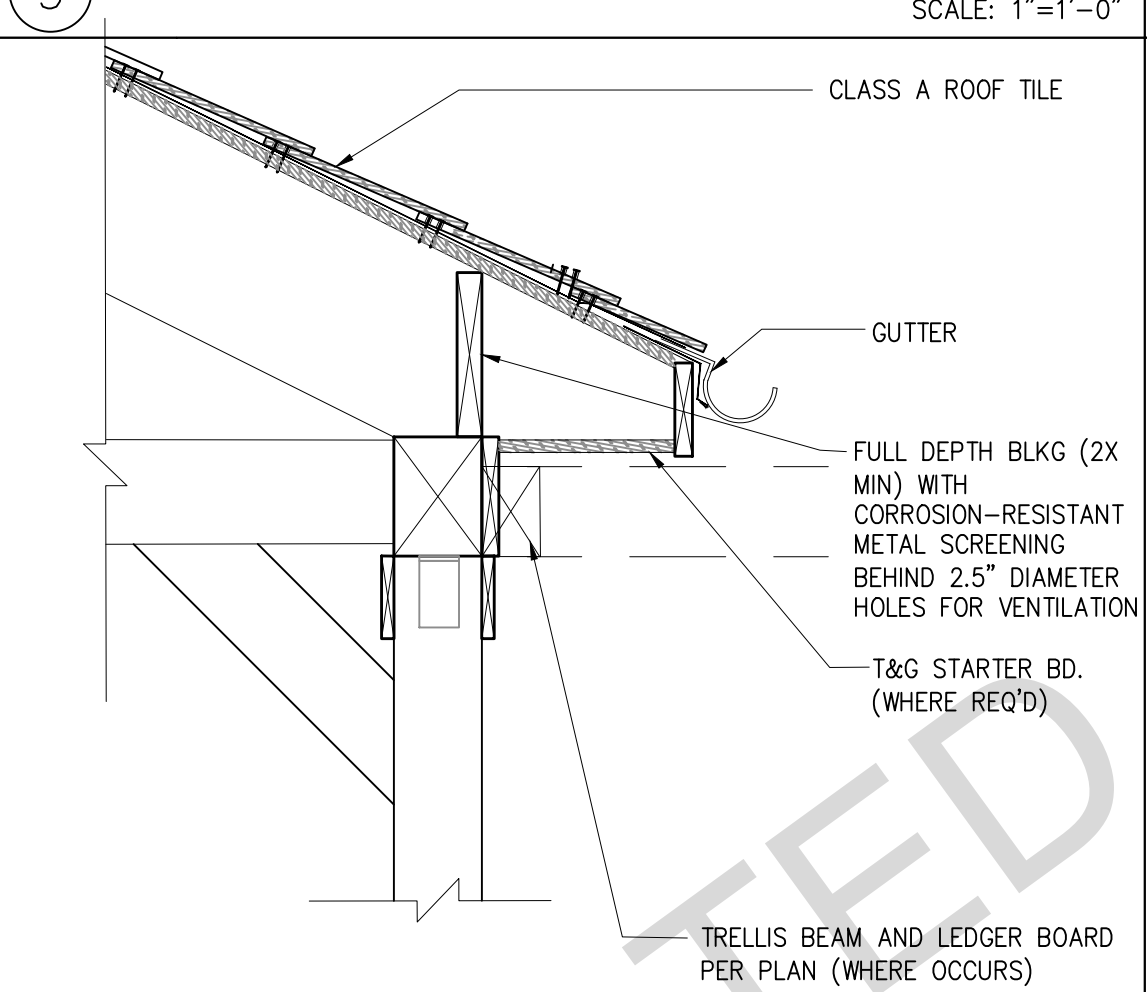
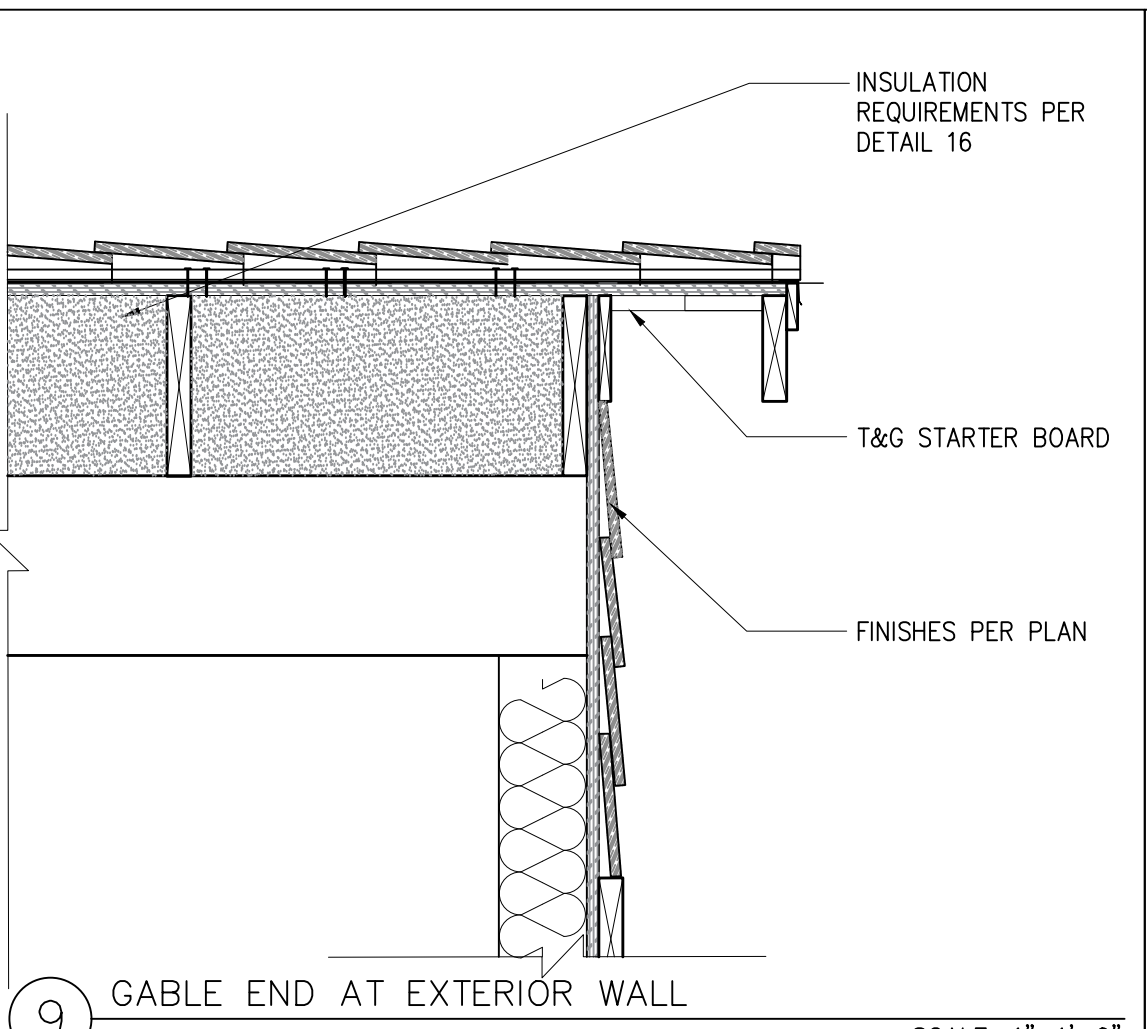
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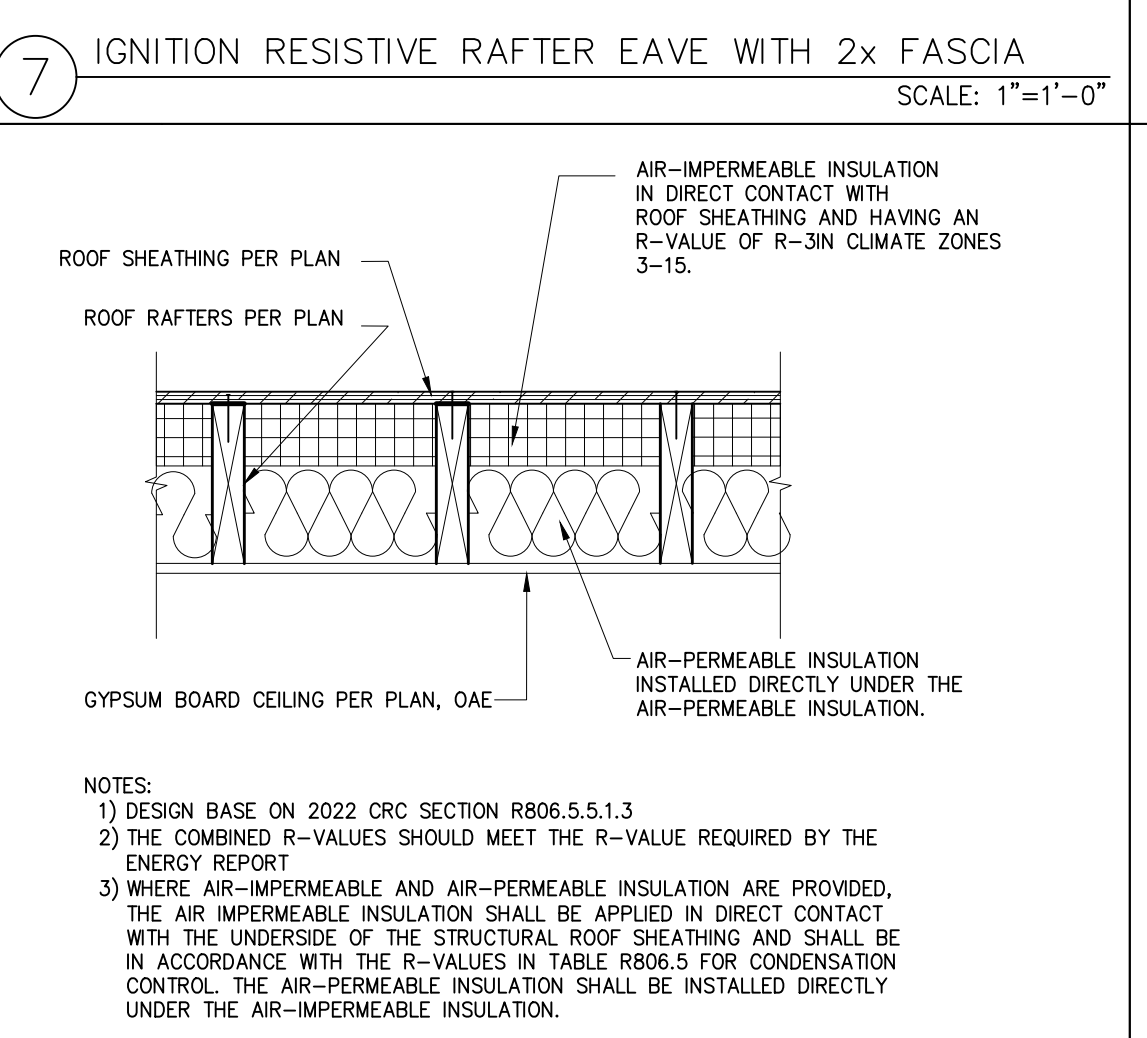
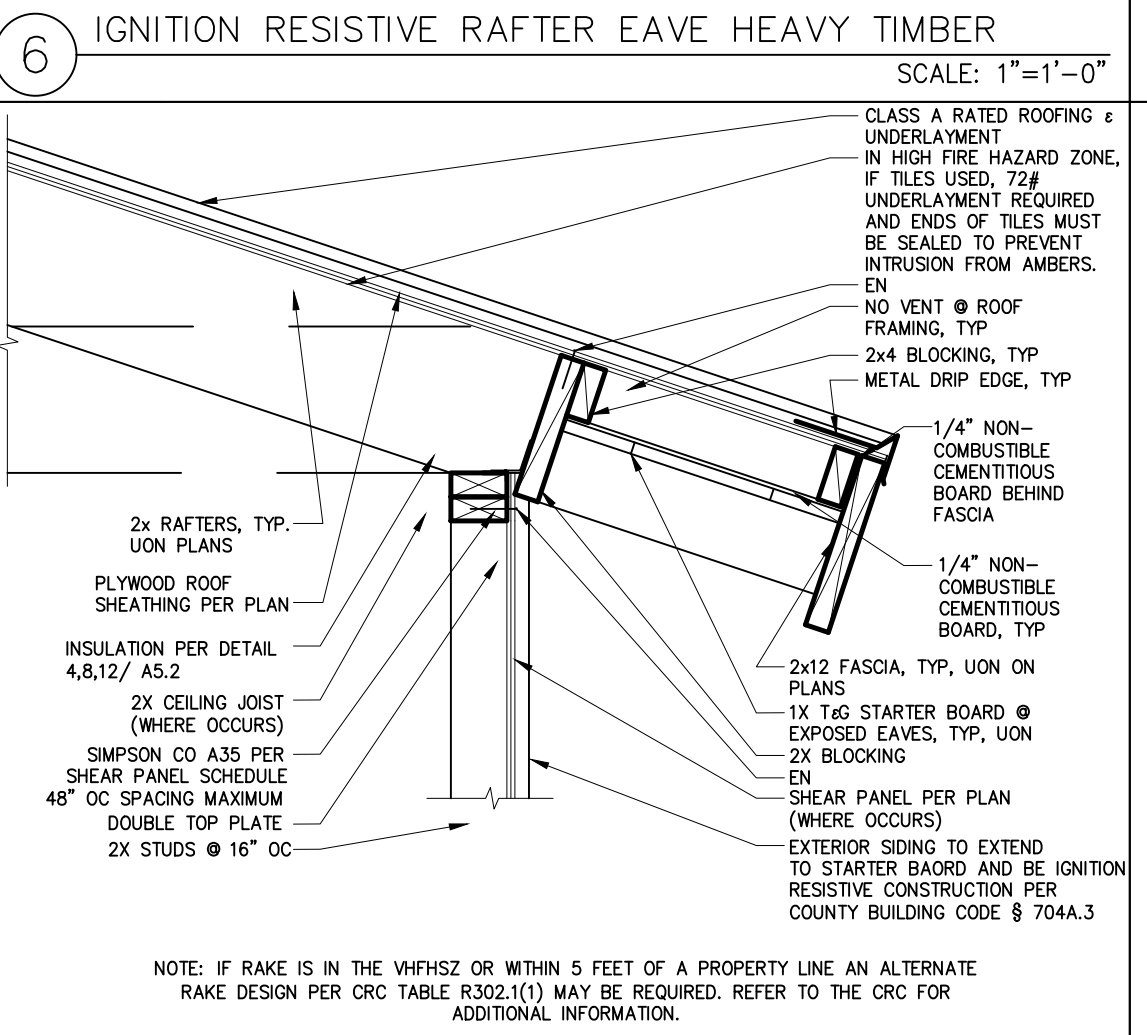
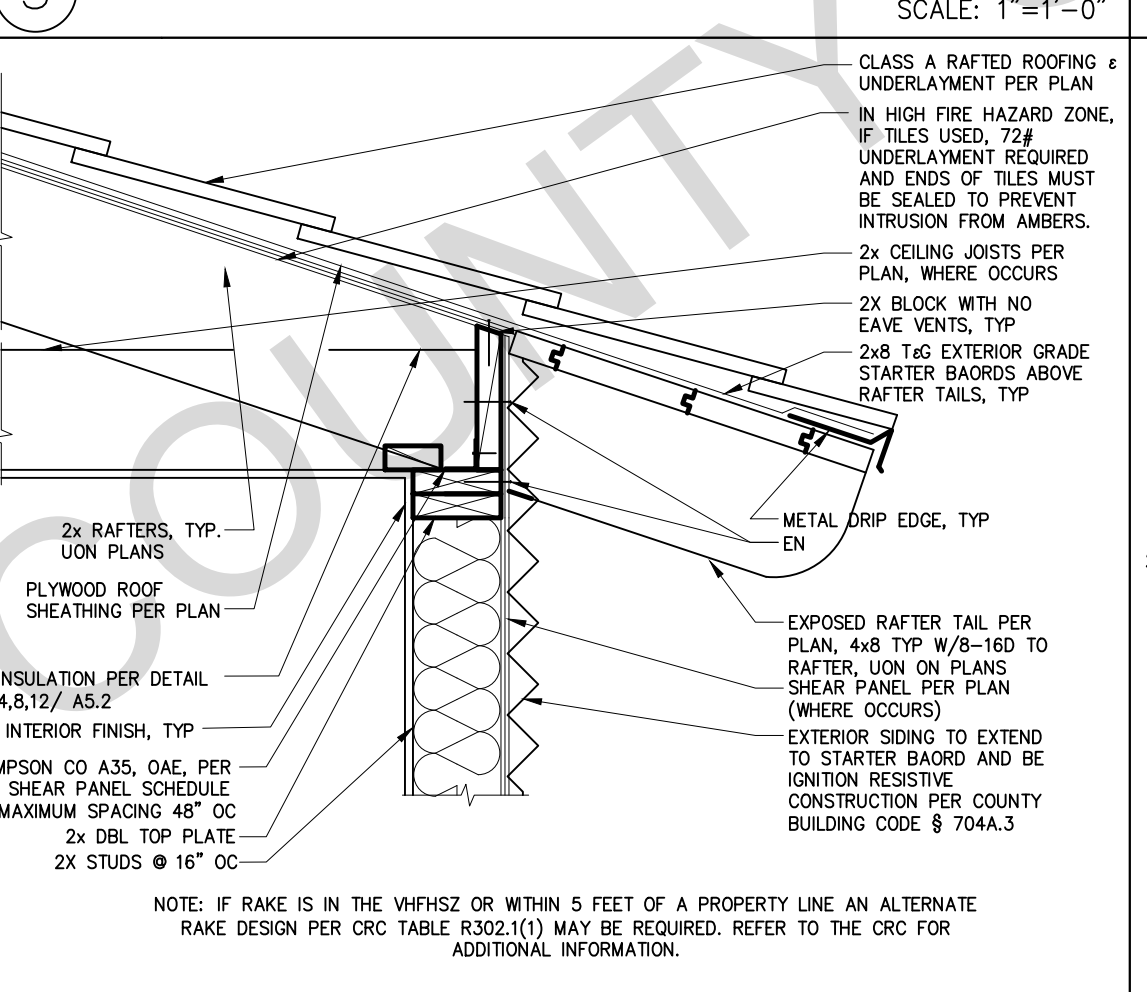
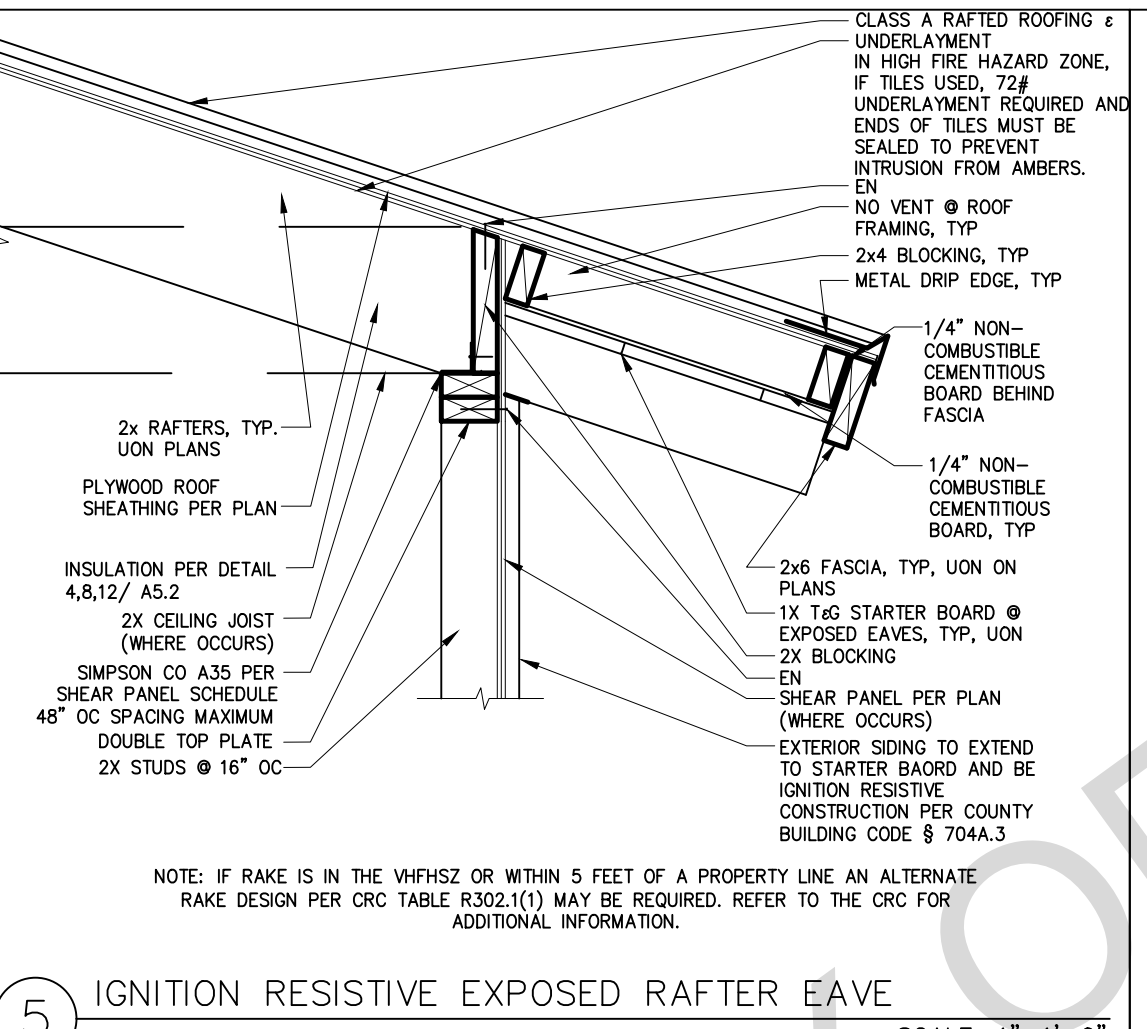
17 (4) 4x4 POST CONNECTION AT CRAFTSMAN PORCH SCALE: 1"=1'-0"



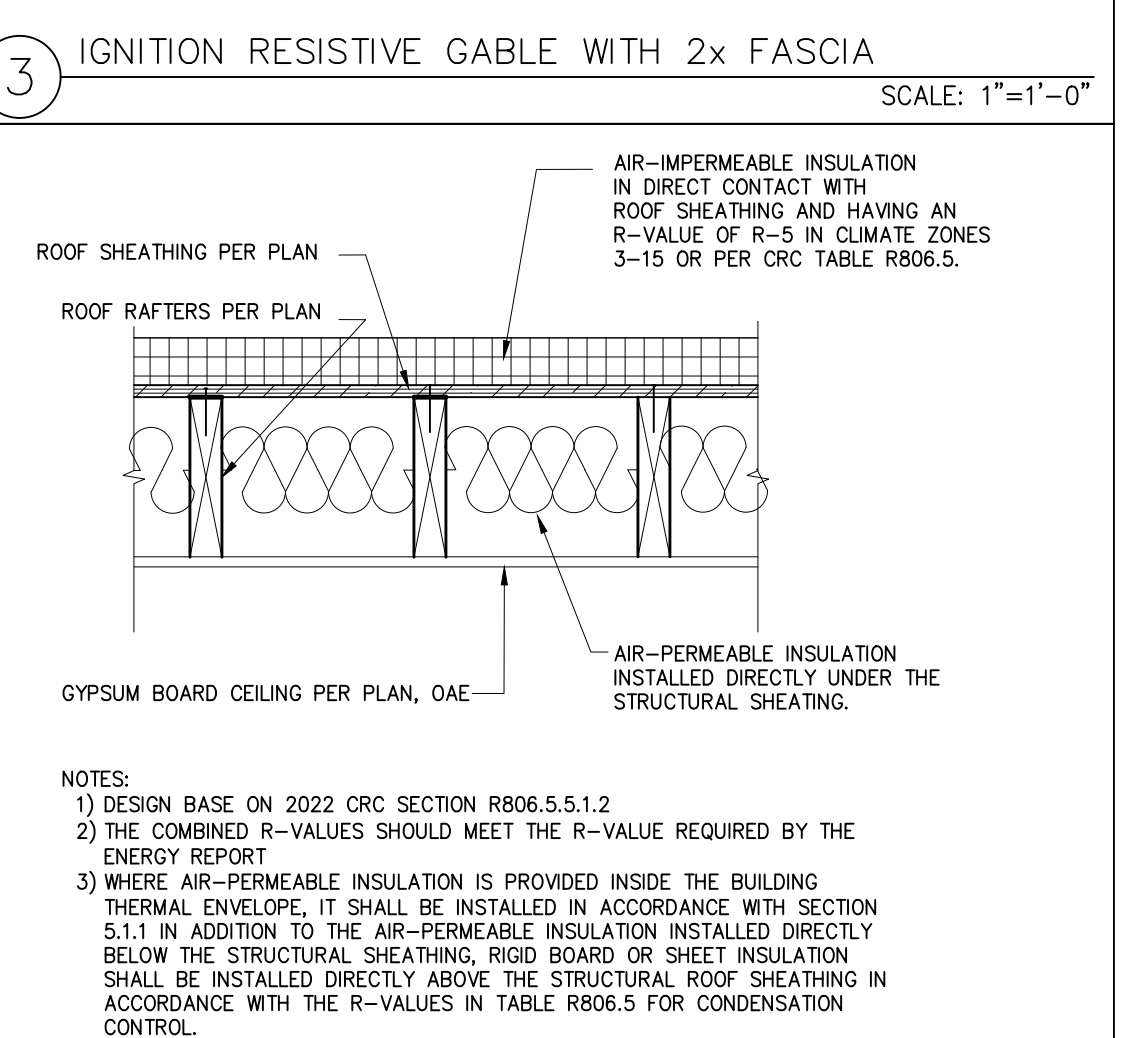
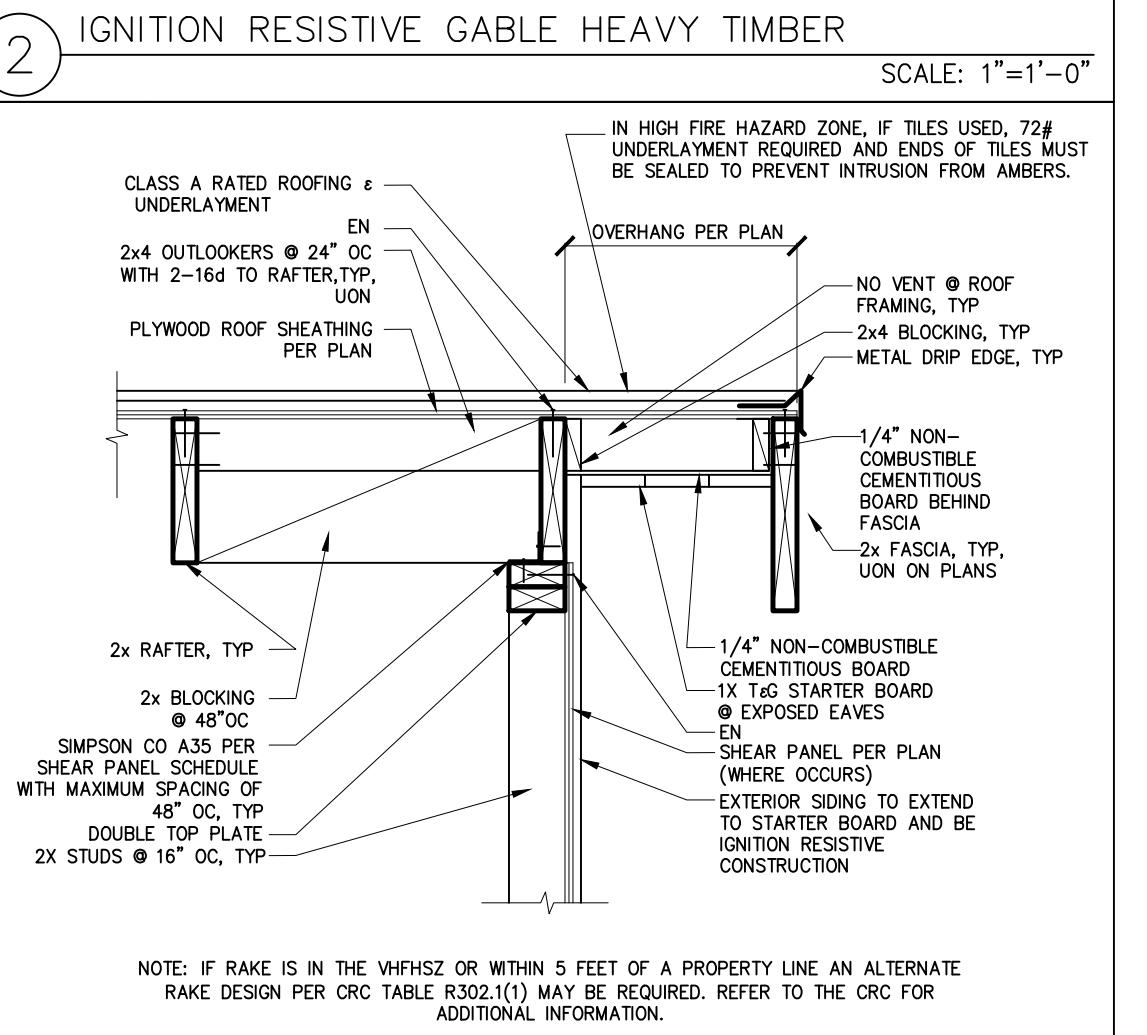
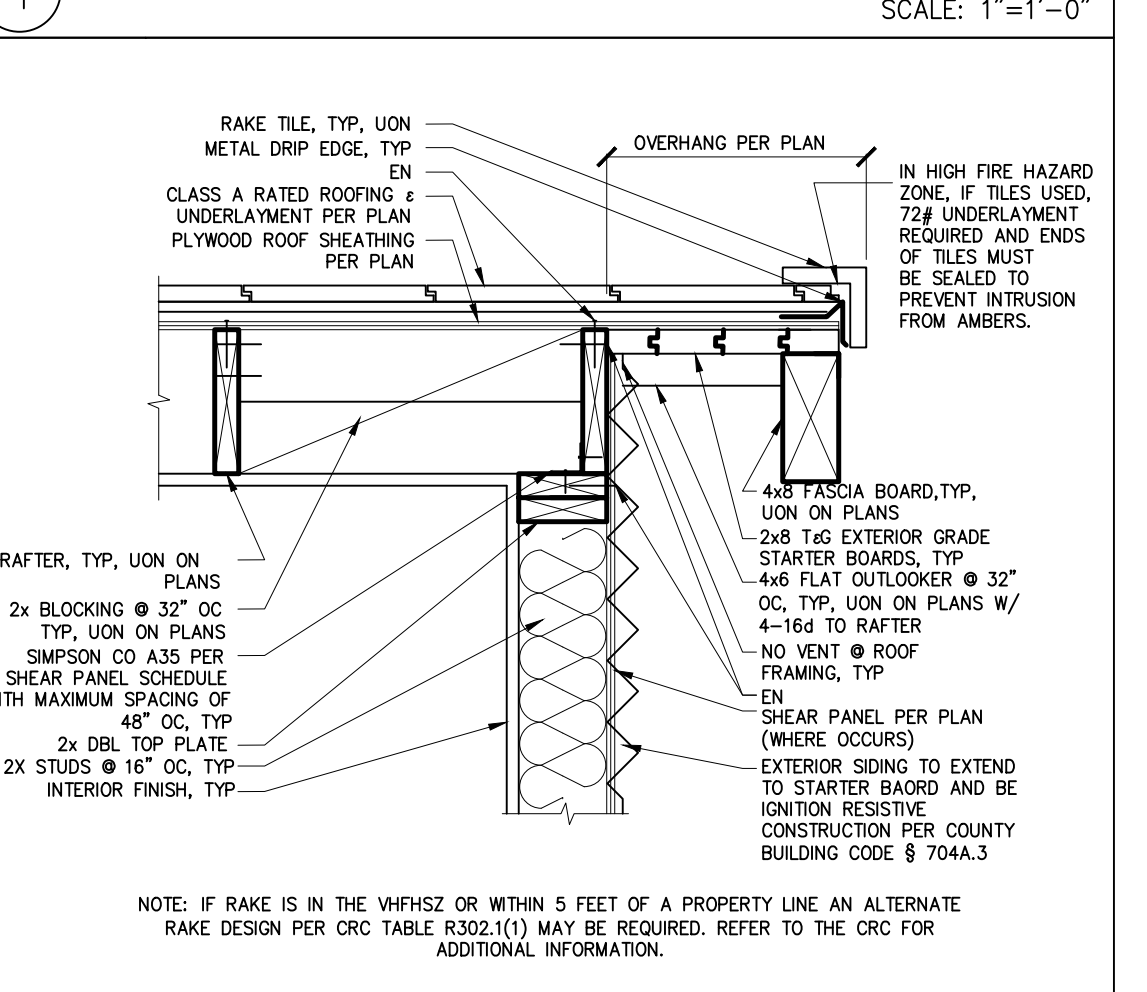
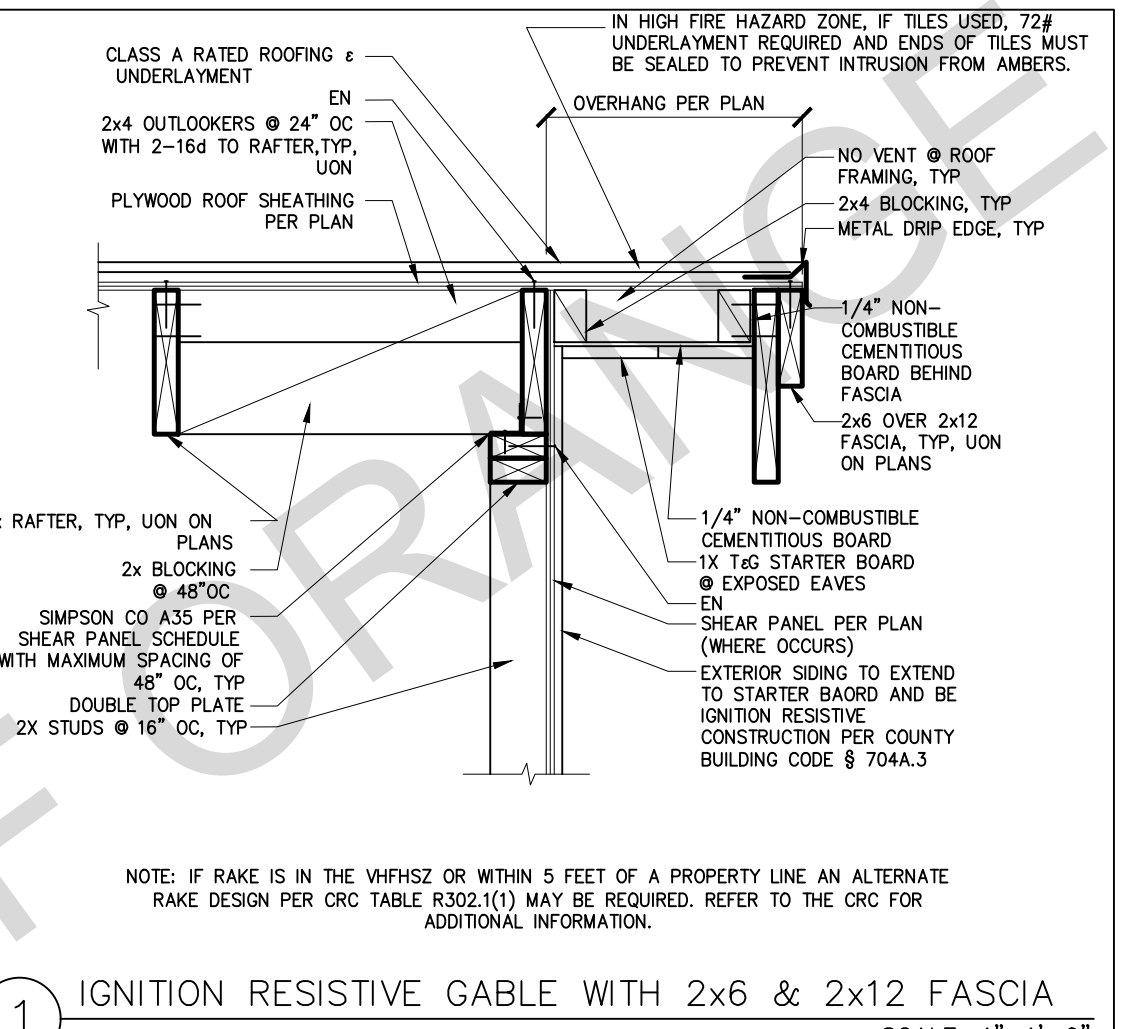
14 GABLE AT SPANISH PORCH SCALE: 1"=1'-0"



9 GABLE END AT EXTERIOR WALL SCALE: 1"=1'-0"



5 IGNITION RESISTIVE EXPOSED RAFTER EAVE SCALE: 1"=1'-0"



17 (4) 4x4 POST CONNECTION AT CRAFTSMAN PORCH SCALE: 1"=1'-0"

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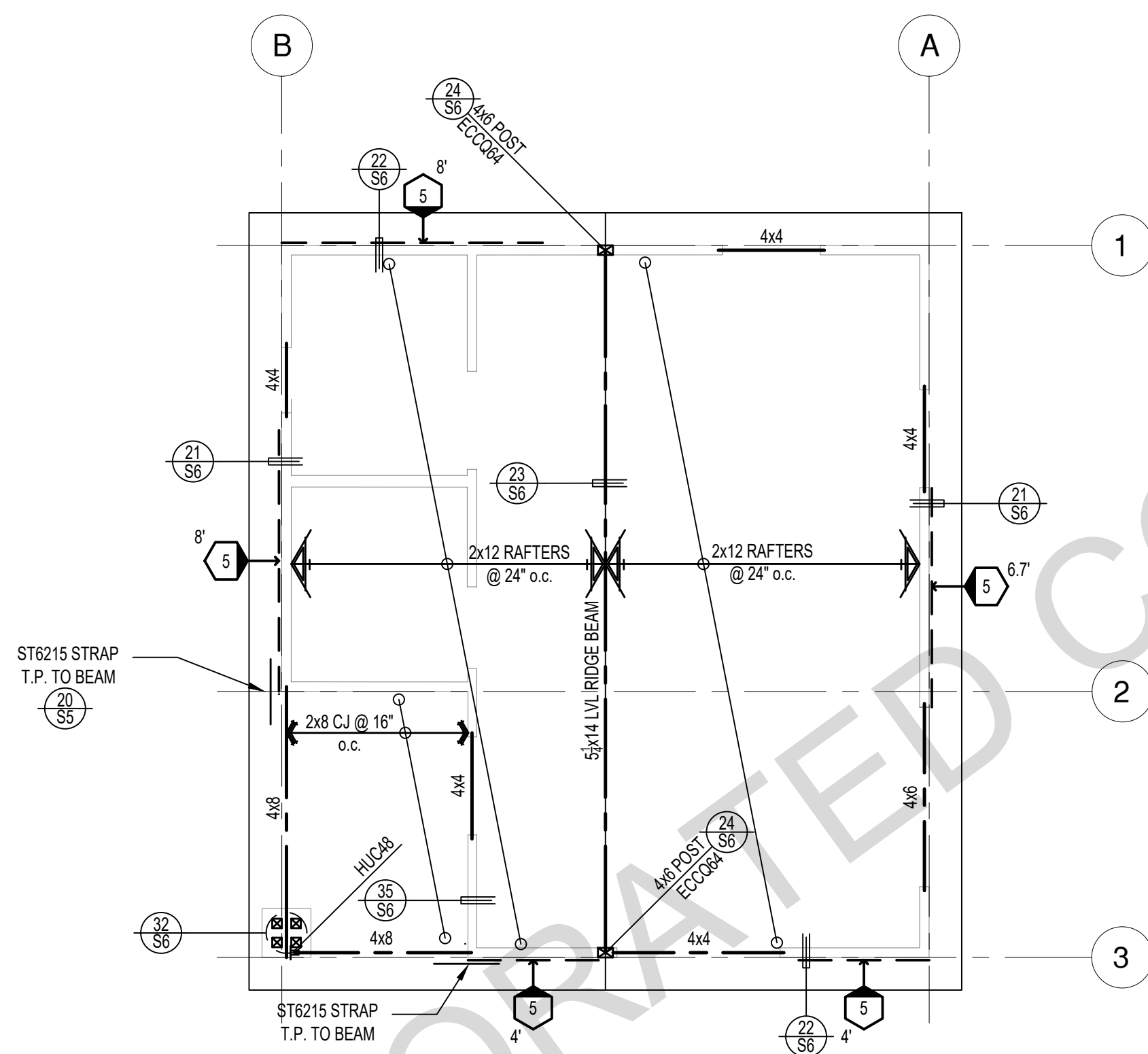
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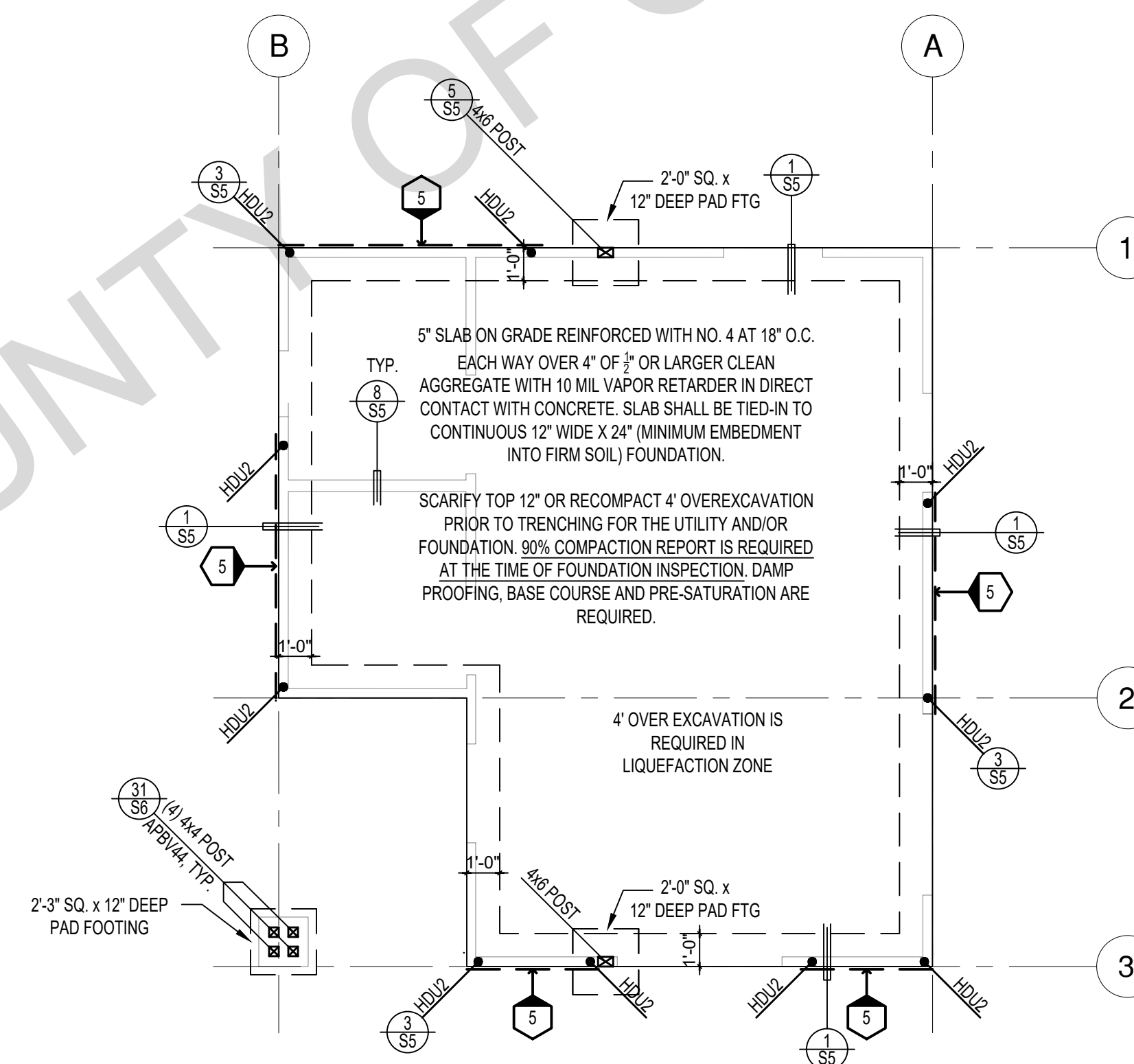




ROOF FRAMING PLAN

1/4"=1'-0"

CRAFTSMAN



FOUNDATION PLAN

1/4"=1'-0"

CRAFTSMAN

SHEAR WALL SCHEDULE (ASD VALUES)

|  | 4   | 5   | 6  | 7   | 8  | 9  |
|--|---|---|--|---|--|--|
| SHEARWALL DESCRIPTION<br>(See footnotes 1 & 4) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4 1/2" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) | 1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) |
| SHEAR VALUE (PLF)                              | 260*  | 350*  | 490*   | 550*  | 665*   | 870*   |
| ANCHOR BOLT SPACING                            | 3/4" @ 48" or 1/2" @ 32"  | 3/4" @ 32" or 1/2" @ 24"  | 3/4" @ 24" or 1/2" @ 16"   | 3/4" @ 24" or 1/2" @ 16"  | 3/4" @ 16" or 1/2" @ 24"   | 3/4" @ 12" or 1/2" @ 8"  |
| 16d (0.148") SILL NAILING                      | 6"  | 4 1/2"  | 3 1/2"   | 3"  | 1/2" x 4 1/2" SDS screws @ 8"  | 1/2" x 4 1/2" SDS screws @ 8"  |
| SPACING OF A35LTP4 FRAMING TO TOP PLATE        | 32" O.C.  | 18" O.C.  | 12" O.C.   | 12" O.C.  | 8" O.C.  | 8" O.C.  |

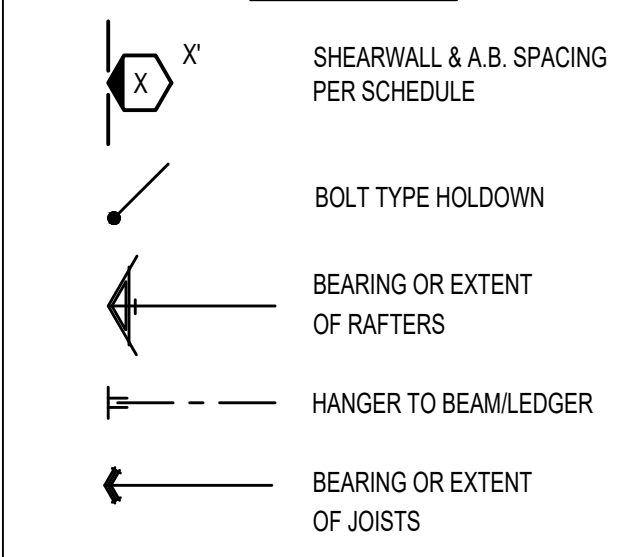
SHEAR WALL FOOTNOTES

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- WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

FOUNDATION NOTES

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
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- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- SEE SHT S5 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA. SIDE, TYP.
- FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.
- BOTTOM OF THE FOOTINGS SHALL BE CERTIFIED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCEMENT BARS

LEGEND



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ADU Program

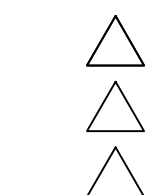
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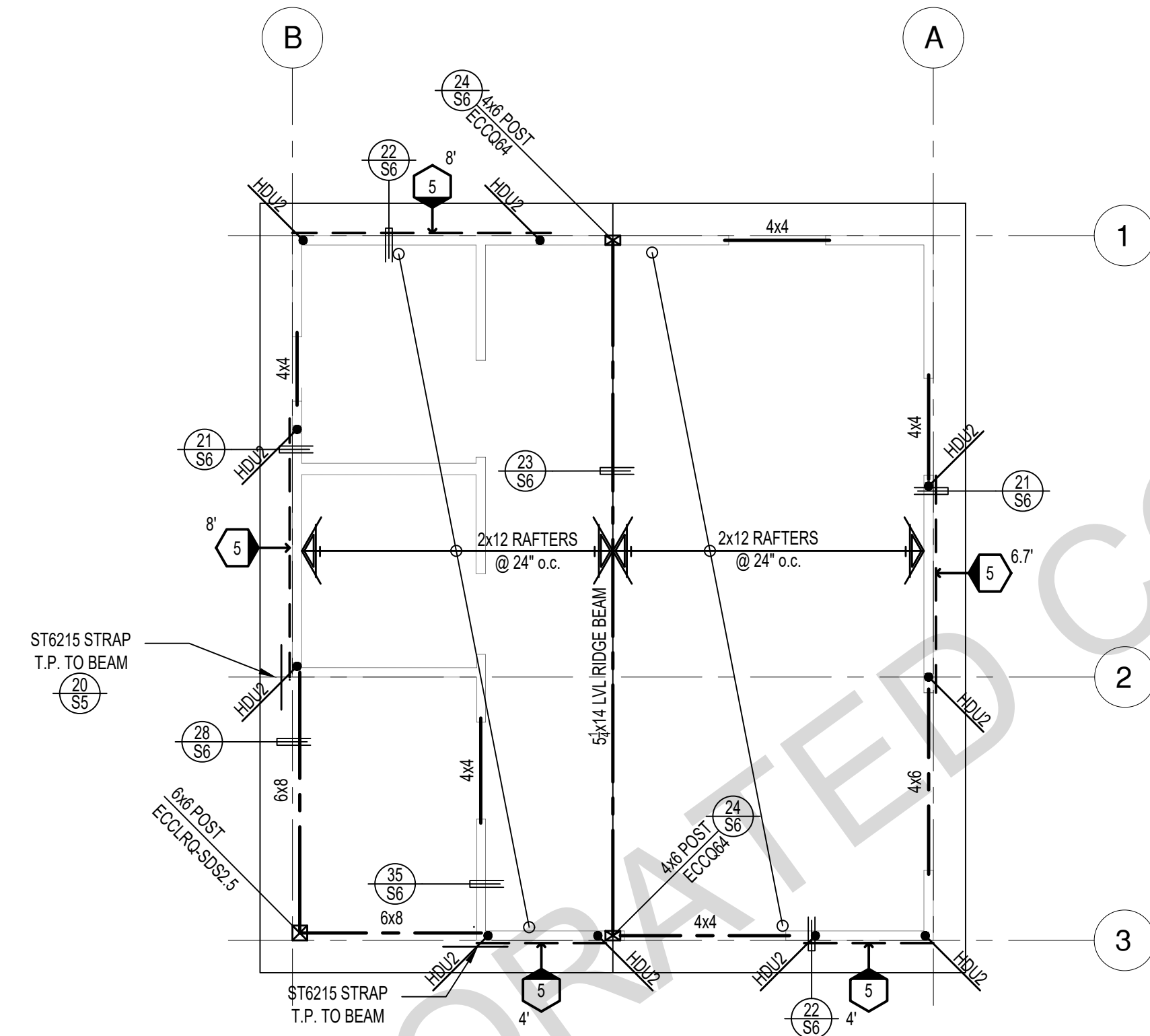
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date 2024

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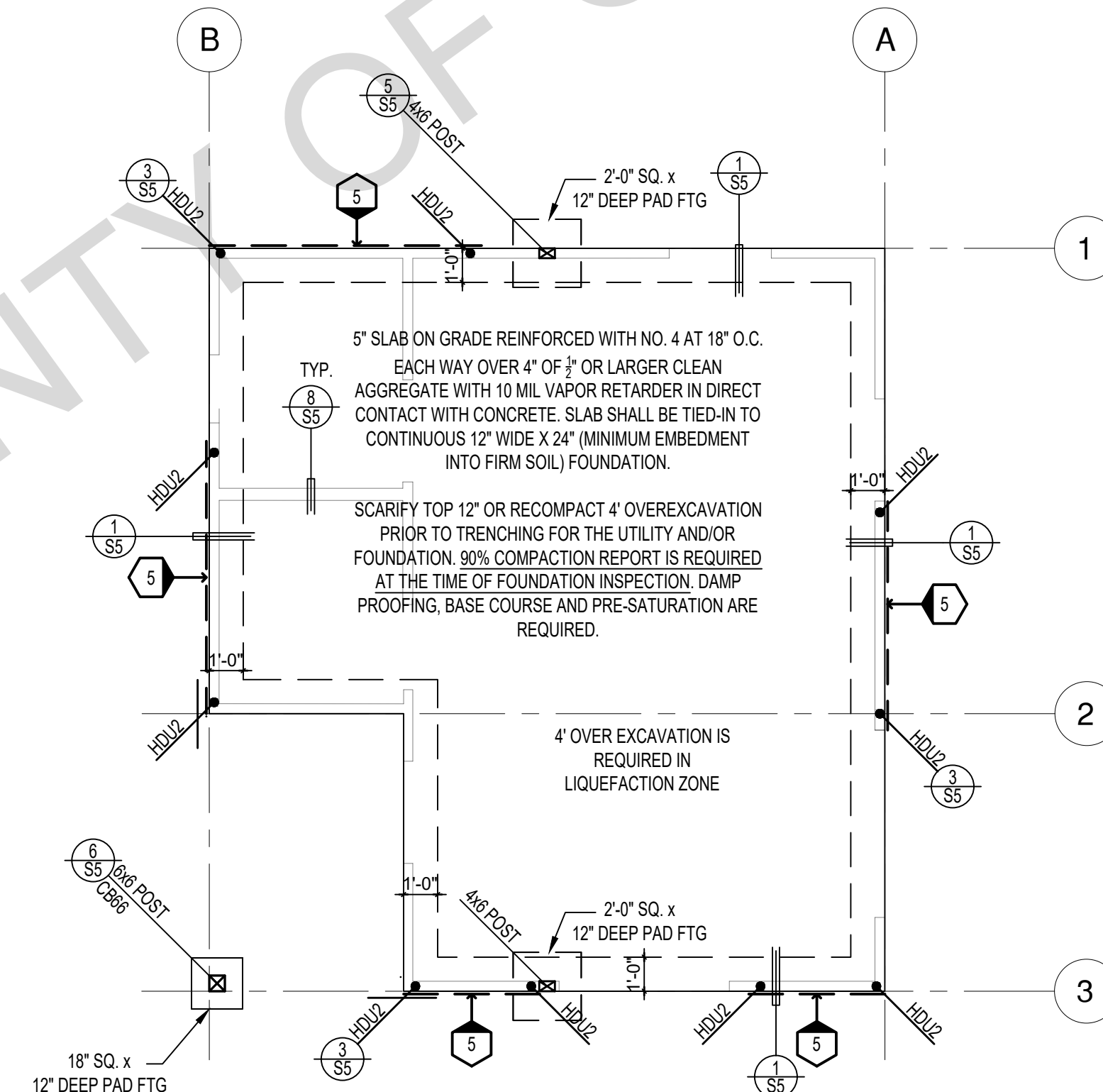
drawn by DESIGN PATH STUDIO

sheet no.



ROOF FRAMING PLAN

1/4"=1'-0" RANCH



FOUNDATION PLAN

1/4"=1'-0" RANCH

SHEAR WALL SCHEDULE (ASD VALUES)

|  | 4   | 5   | 6  | 7   | 8  | 9  |
|--|---|---|--|---|--|--|
| SHEARWALL DESCRIPTION<br>(See footnotes 1 & 4) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 4 1/2" o/c edge, 12" o/c field, blocked (See footnote 3) | 3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4) | 1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) | 1 1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5) |
| SHEAR VALUE (PLF)                              | 260*  | 350*  | 490*   | 550*  | 665*   | 870*   |
| ANCHOR BOLT SPACING                            | 3/4" @ 48" or 1/2" @ 32"  | 3/8" @ 32" or 1/2" @ 24"  | 3/8" @ 24" or 1/2" @ 16"   | 3/8" @ 24" or 1/2" @ 16"  | 3/8" @ 16" or 1/2" @ 24"   | 3/8" @ 12" or 1/2" @ 8"  |
| 16d (0.148") SILL NAILING                      | 6"  | 4 1/2"  | 3 1/2"   | 3"  | 1/2" x 4 1/2" SDS screws @ 8"  | 1/2" x 4 1/2" SDS screws @ 8"  |
| SPACING OF A35LTP4 FRAMING TO TOP PLATE        | 32" O.C.  | 18" O.C.  | 12" O.C.   | 12" O.C.  | 8" O.C.  | 8" O.C.  |

SHEAR WALL FOOTNOTES

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**LEGEND**

- X' SHEARWALL & A.B. SPACING PER SCHEDULE
- BOLT TYPE HOLDOWN
- BEARING OR EXTENT OF RAFTERS
- HANGER TO BEAM/LEDGER
- BEARING OR EXTENT OF JOISTS

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County of Orange  
Pre-Approved  
ADU Program

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ADDRESS:  
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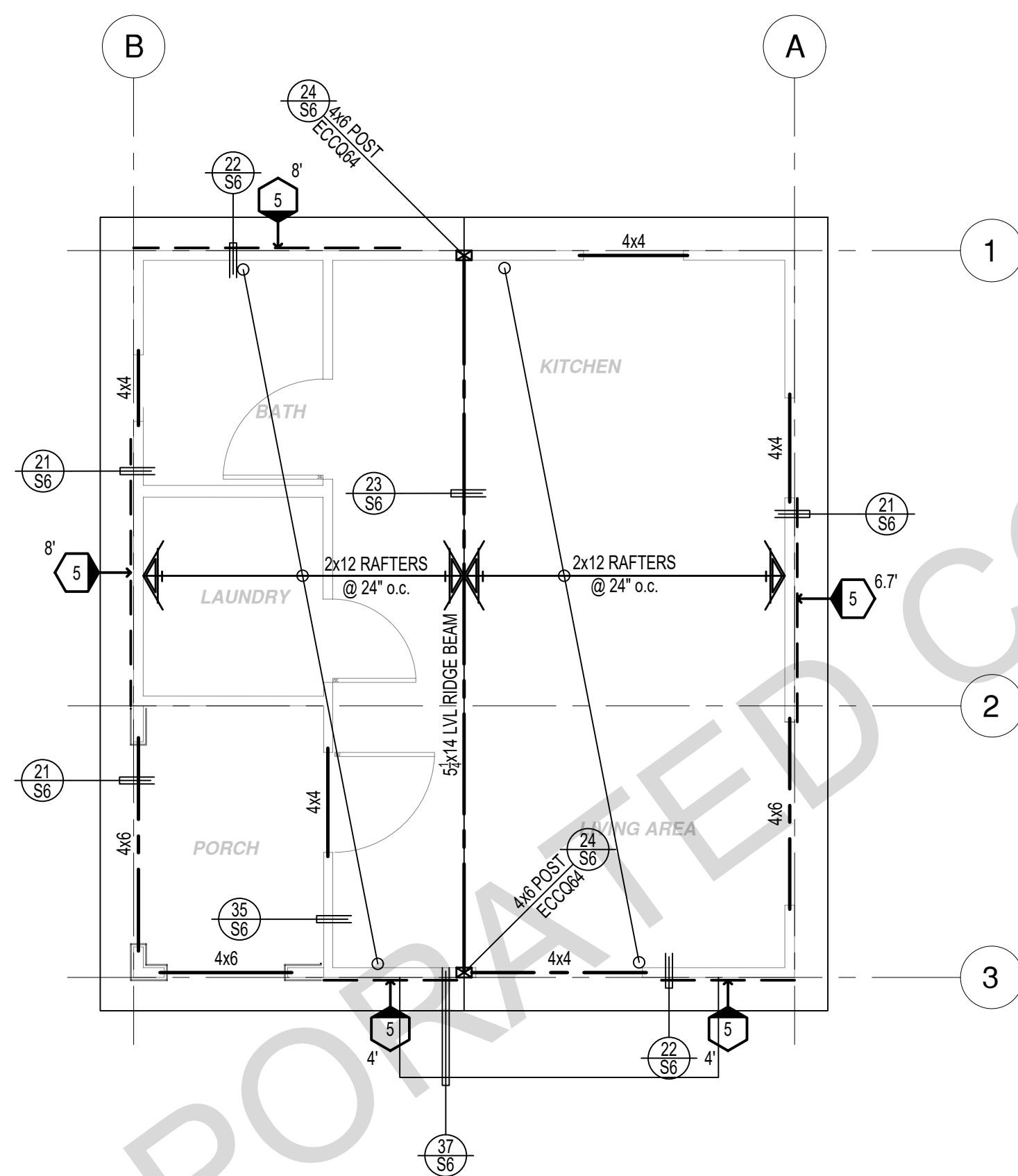
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Ranch  
Foundation &  
Framing  
Plan

date 2024

project no.

drawn by DESIGN PATH STUDIO

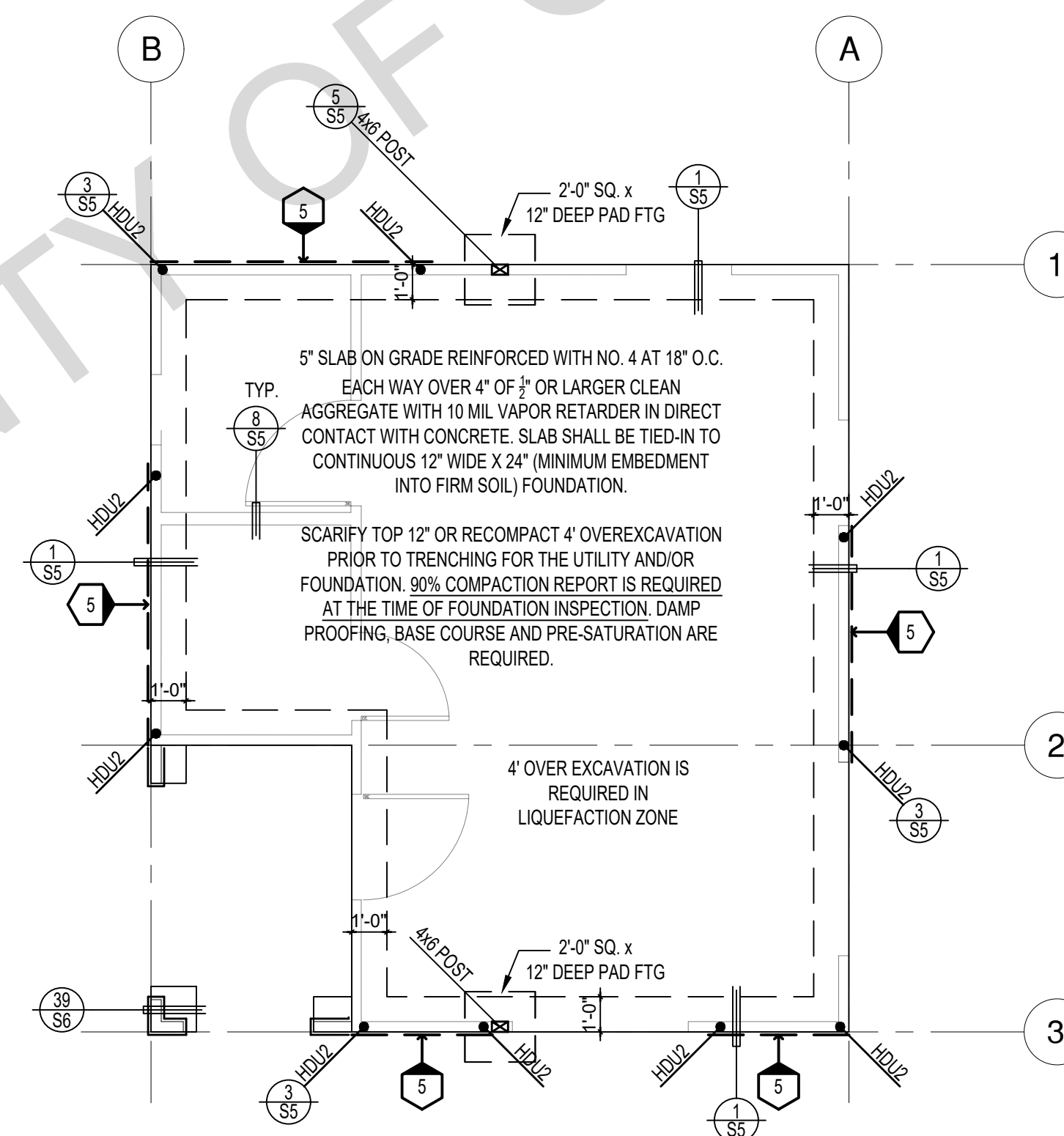
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ROOF FRAMING PLAN

1/4"=1'-0"

SPANISH



FOUNDATION PLAN

1/4"=1'-0"

SPANISH

SHEAR WALL SCHEDULE (ASD VALUES)

|  | 4   | 5   | 6  | 7   | 8  | 9  |
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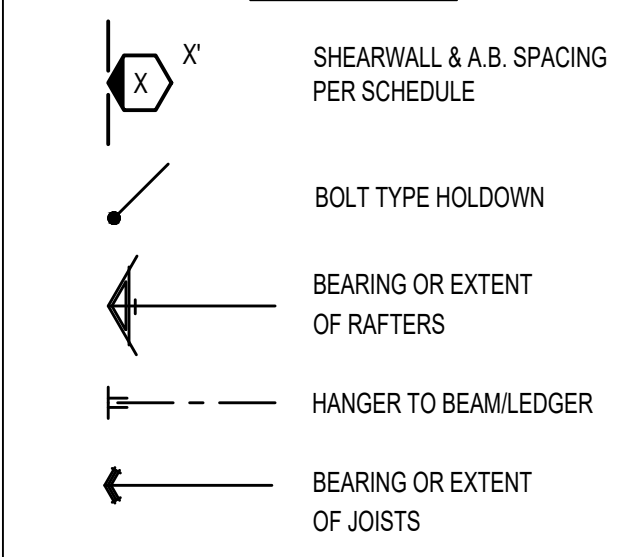
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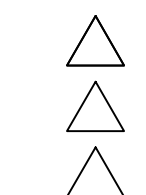
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revisions



description

Spanish  
Foundation &  
Framing  
Plan

date 2024

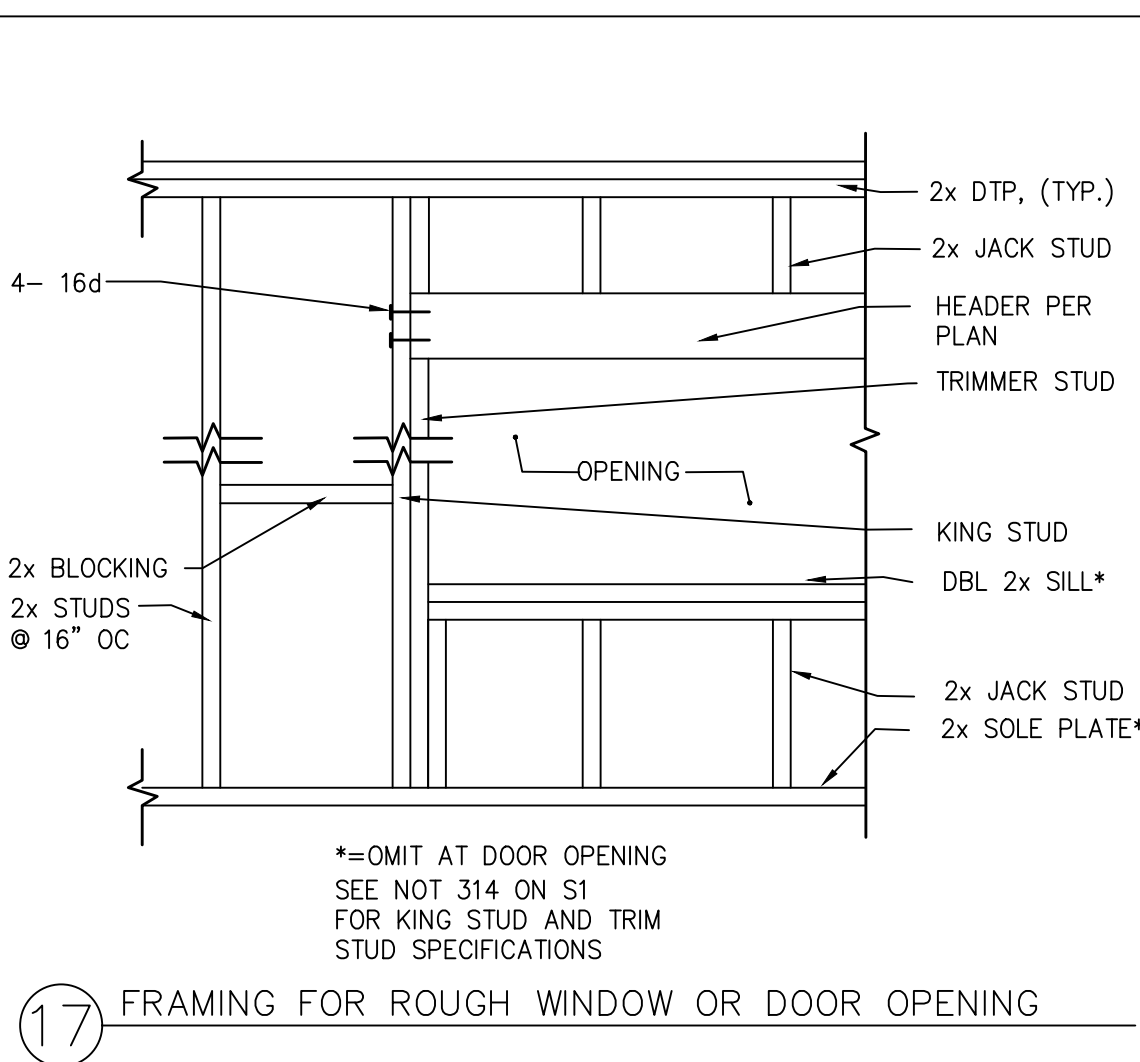
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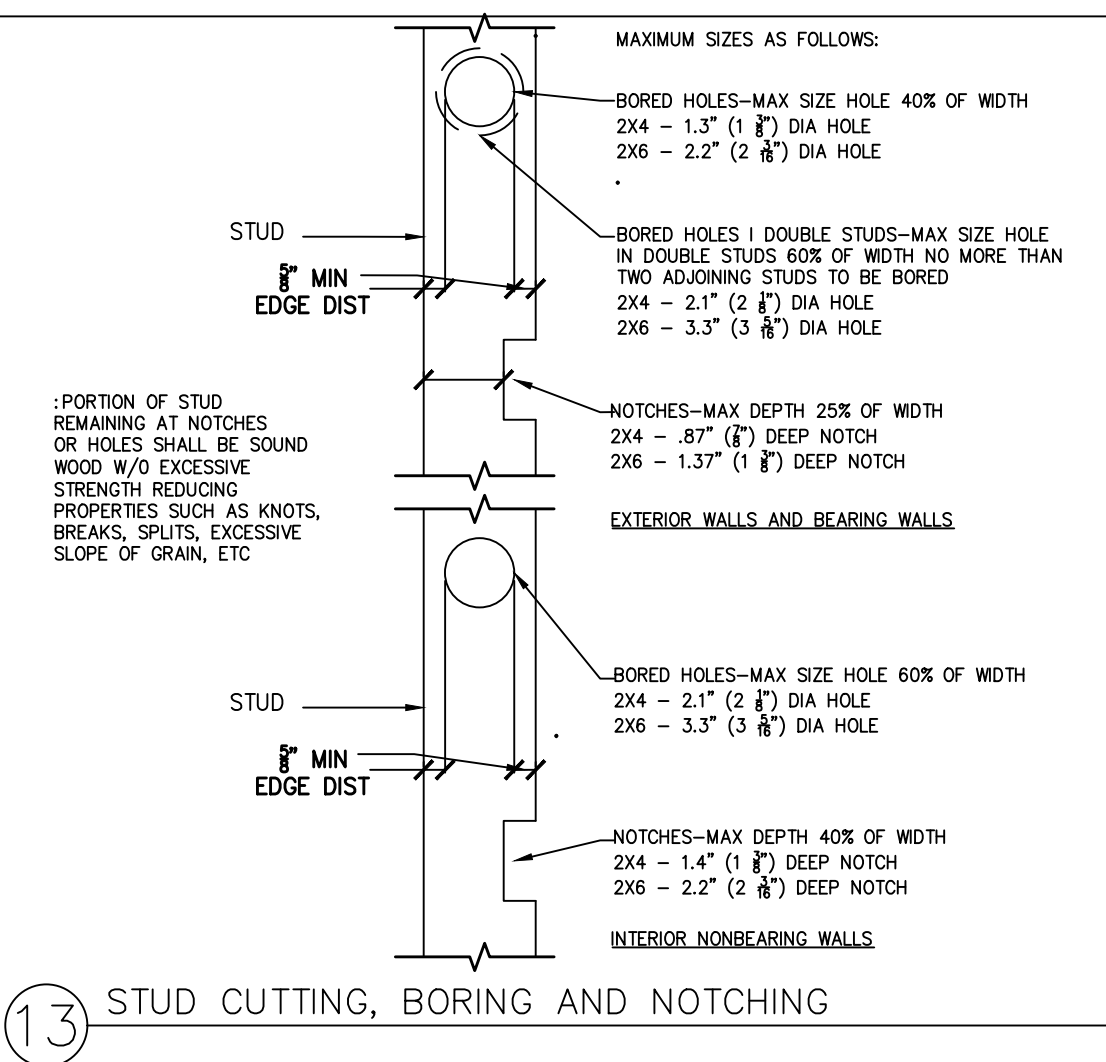
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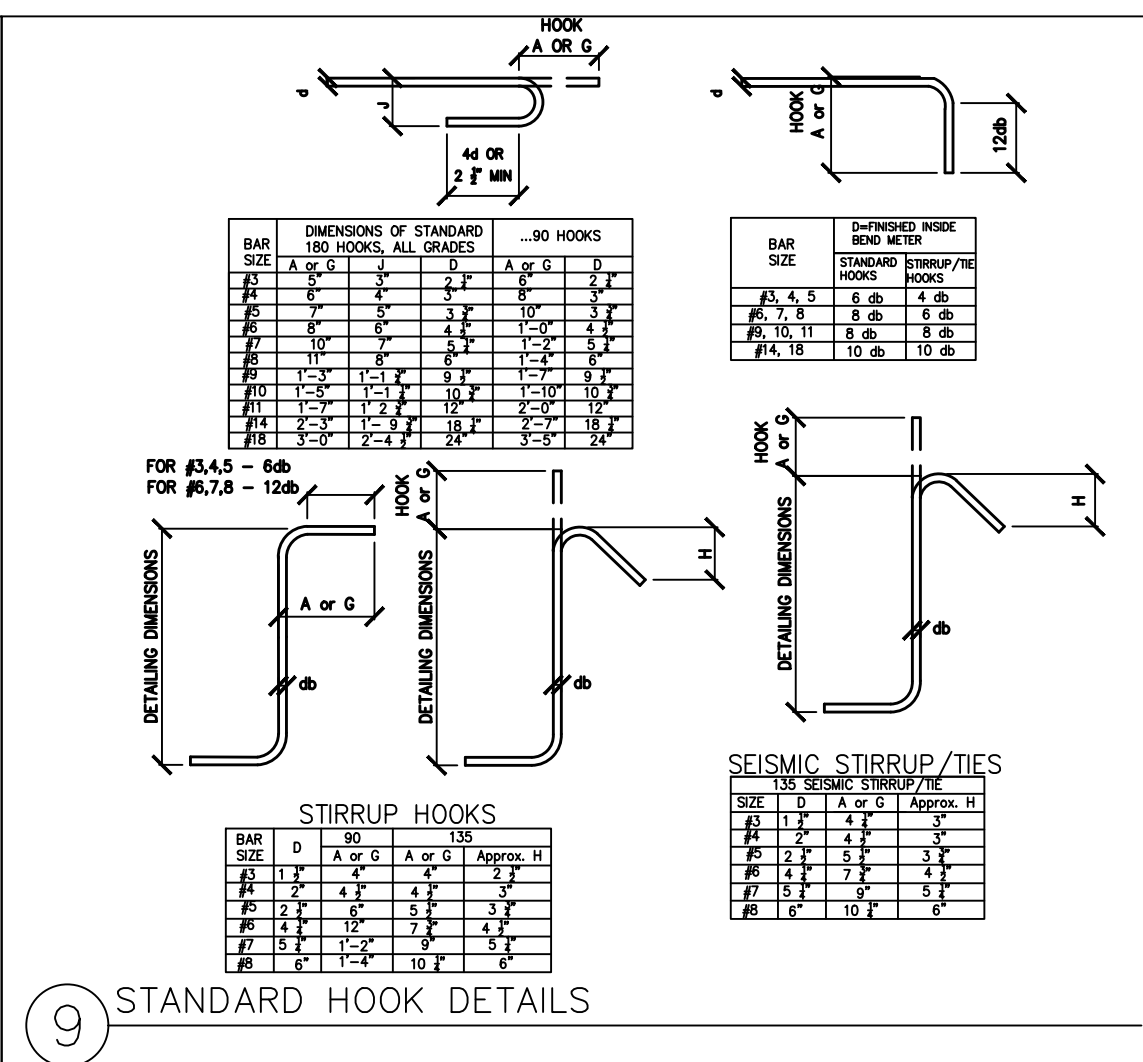




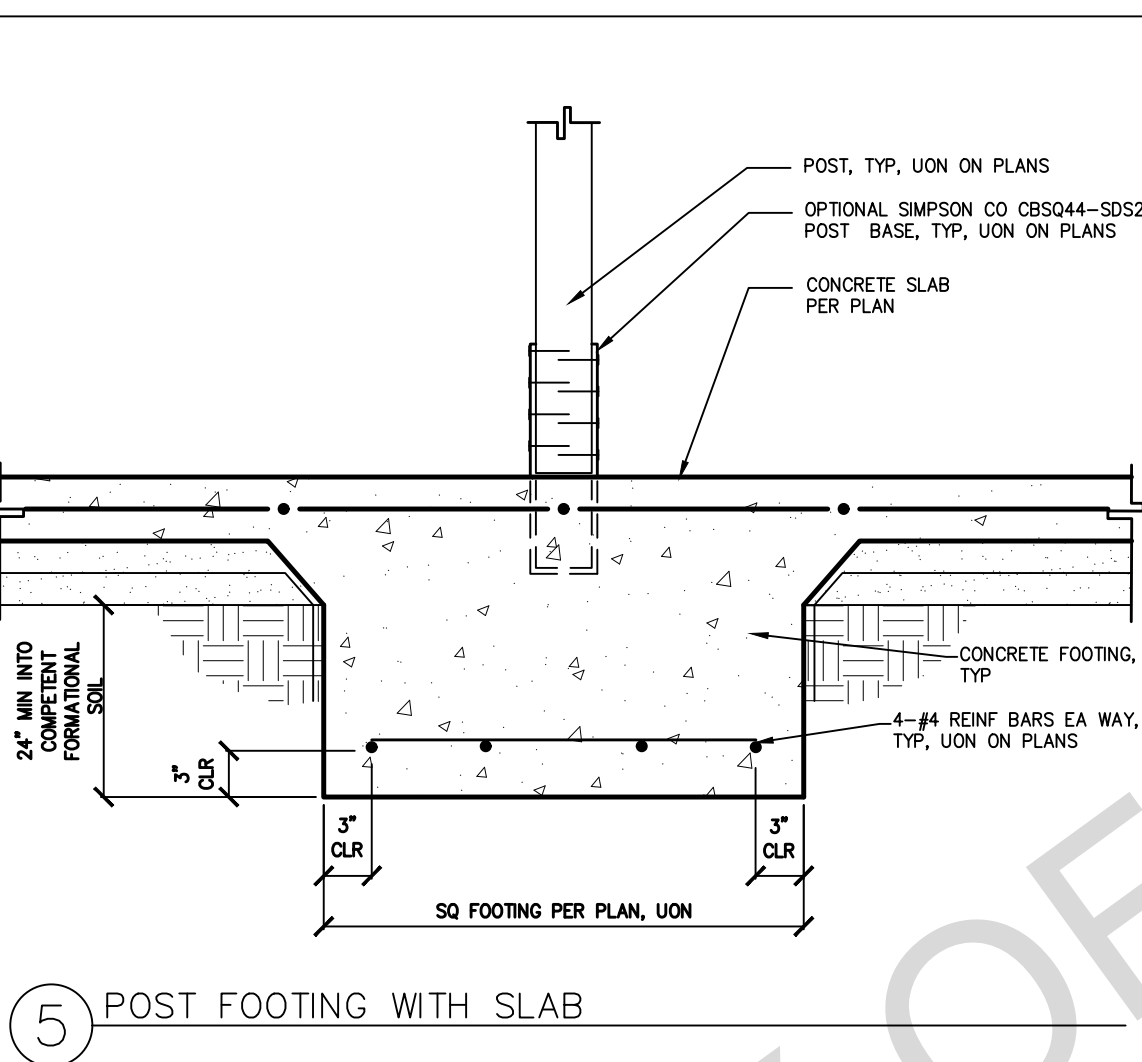
17 FRAMING FOR ROUGH WINDOW OR DOOR OPENING



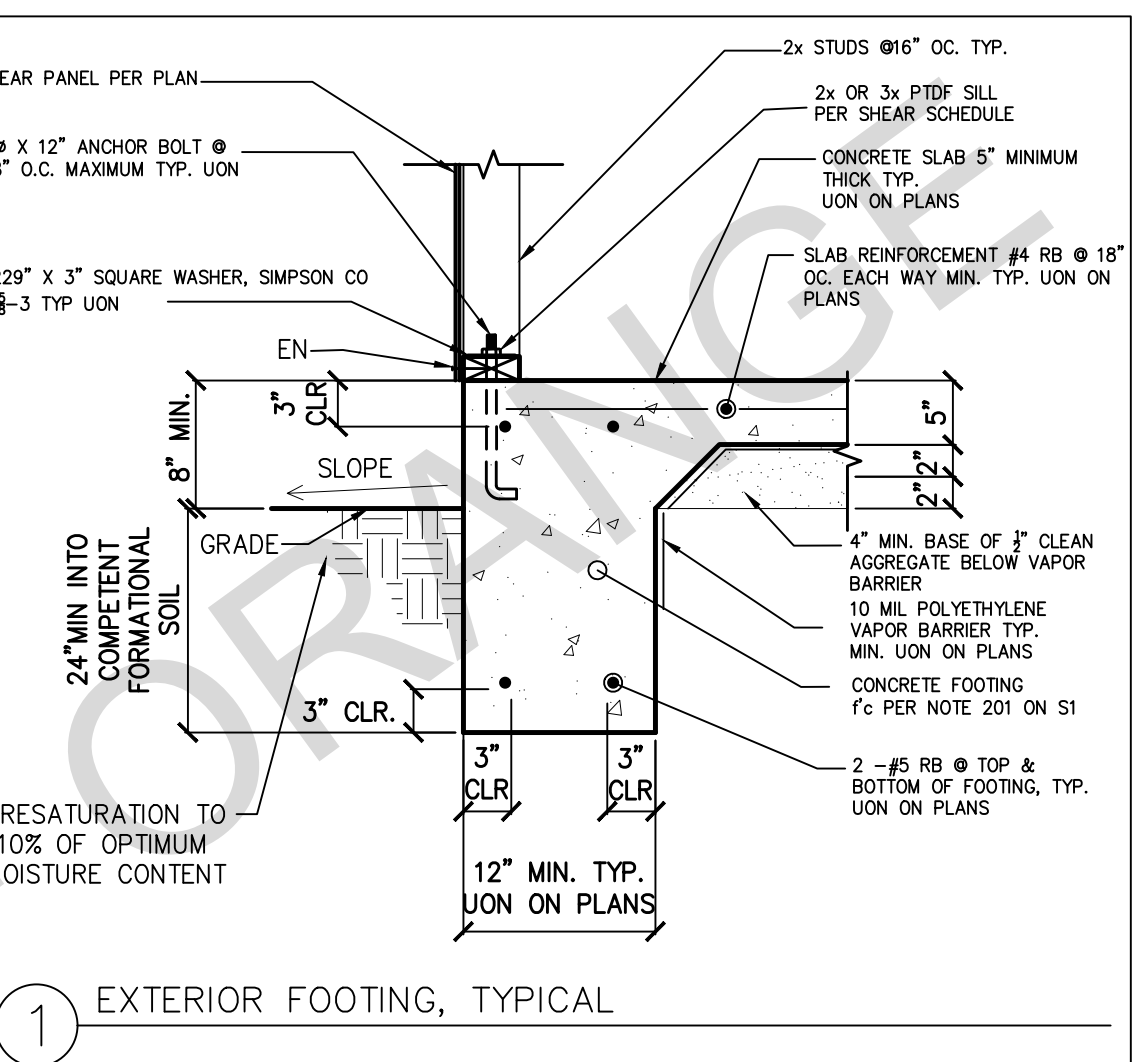
13 STUD CUTTING, BORING AND NOTCHING



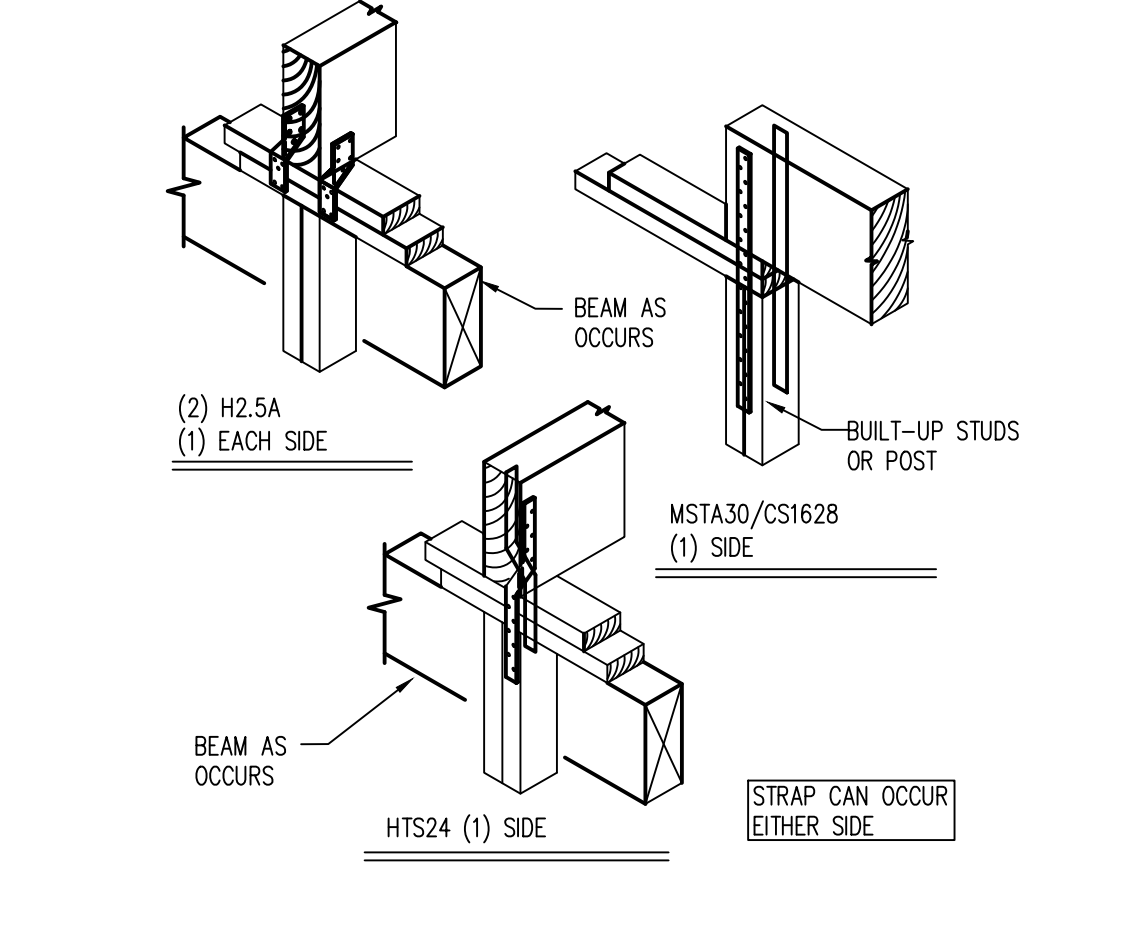
9 STANDARD HOOK DETAILS



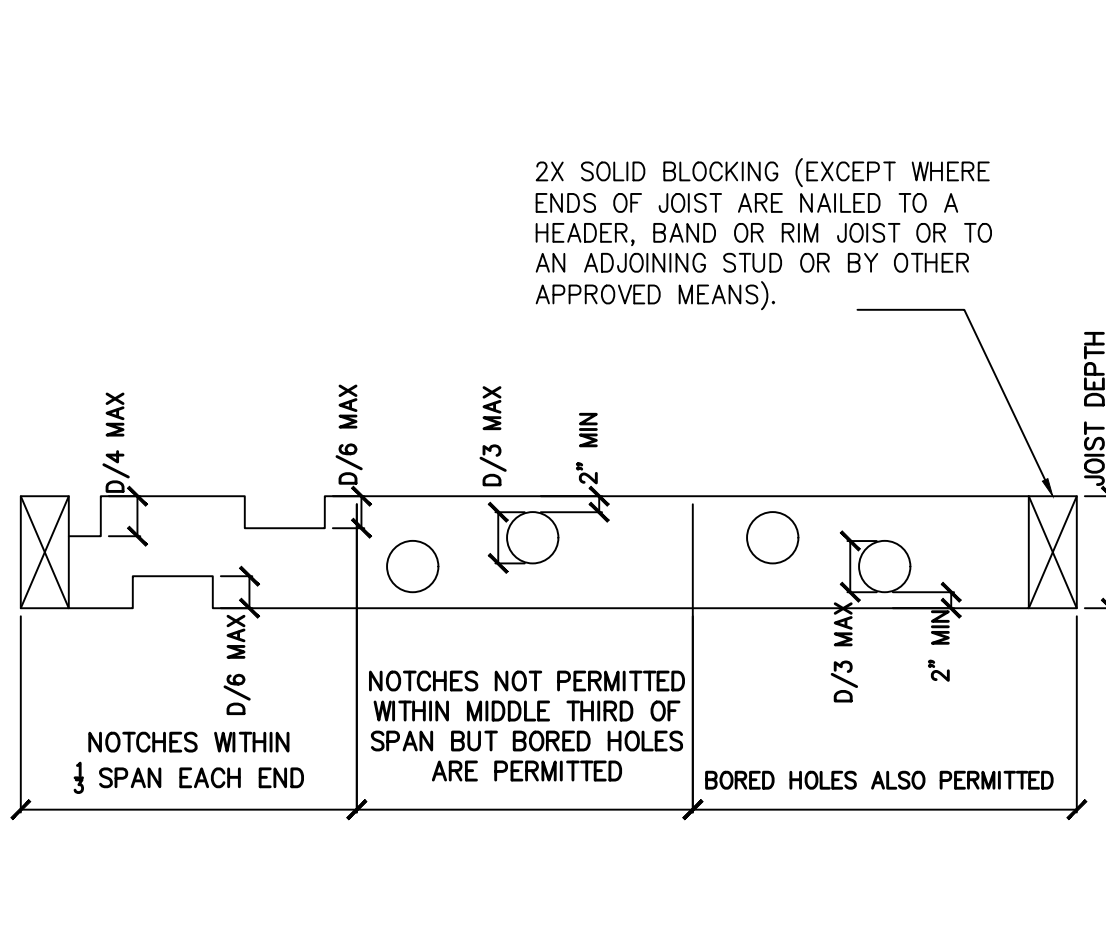
5 POST FOOTING WITH SLAB



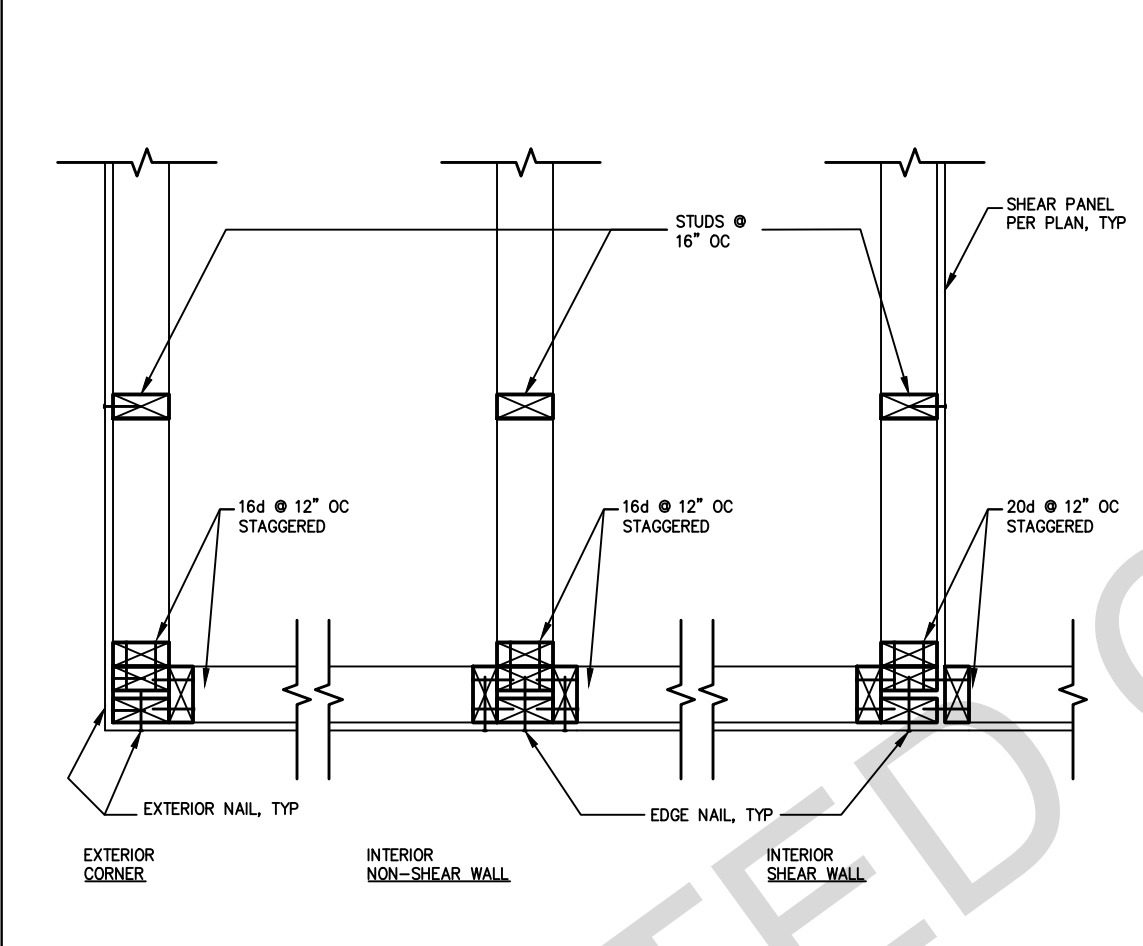
1 EXTERIOR FOOTING, TYPICAL



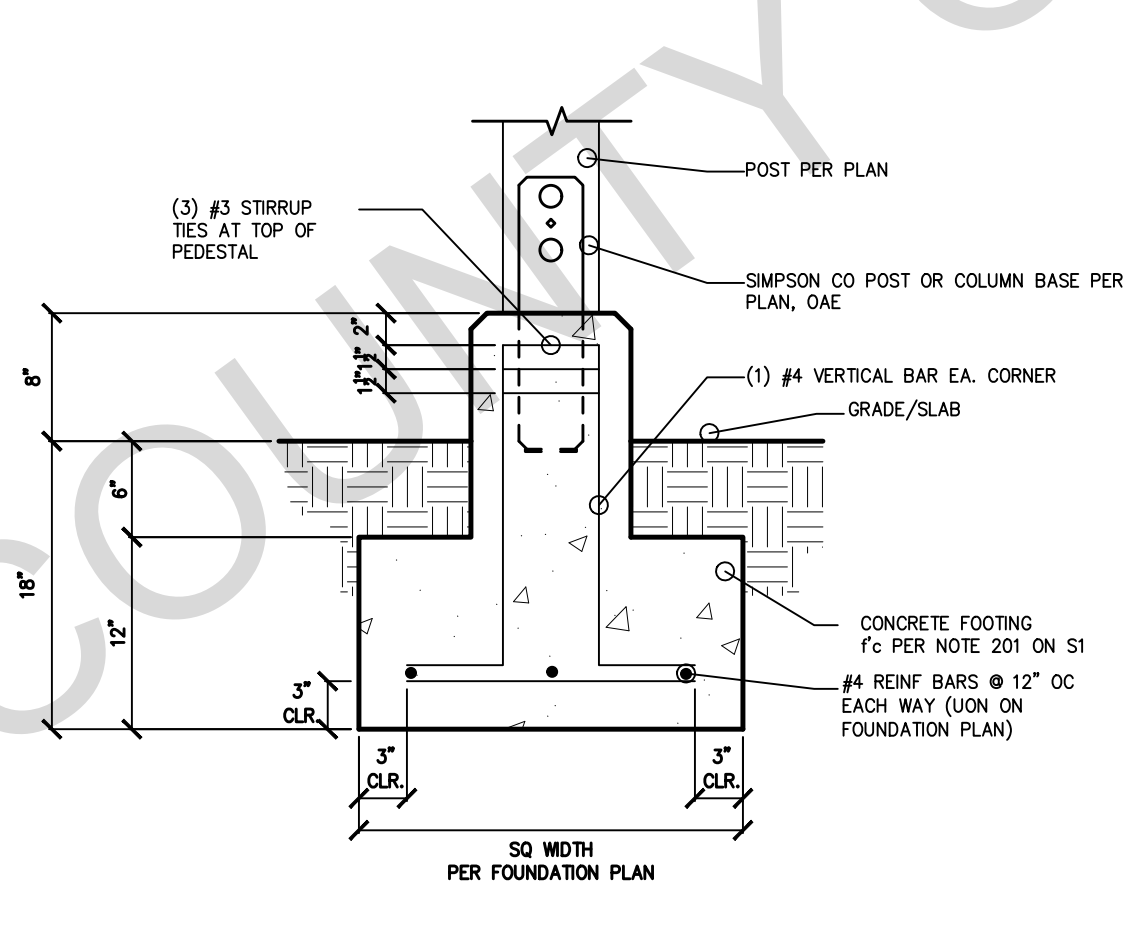
18 SUPPORT COLUMN TO BEAM



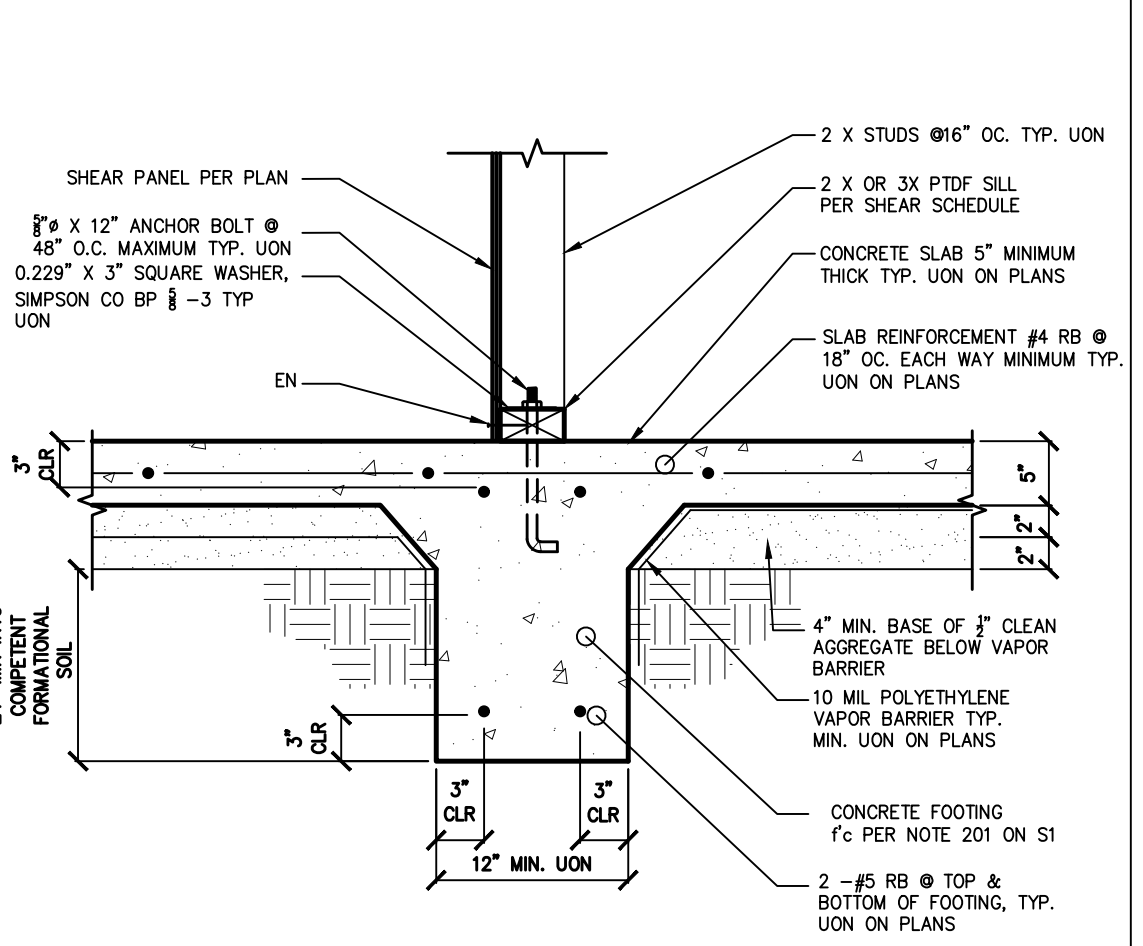
14 JOIST CUTTING, BORING AND NOTCHING



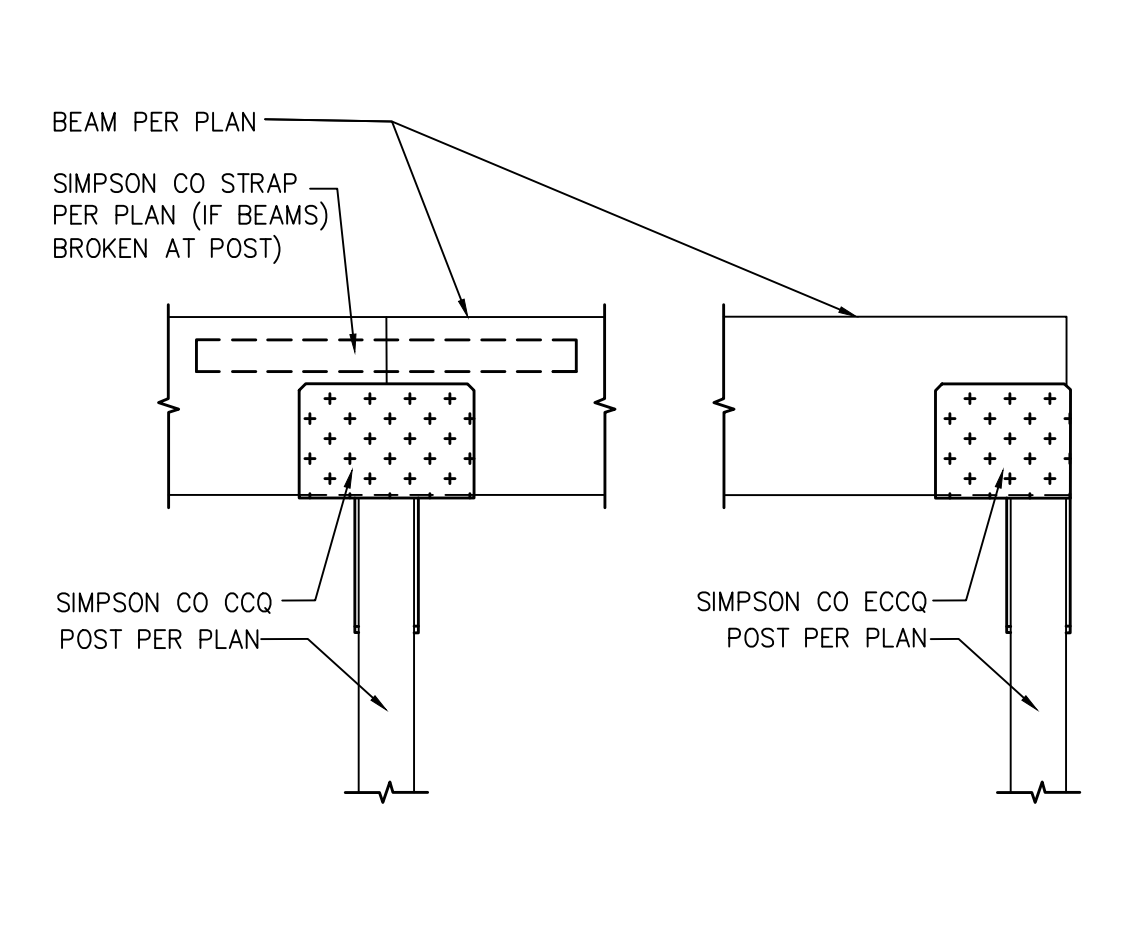
10 STUD WALL INTERSECTION



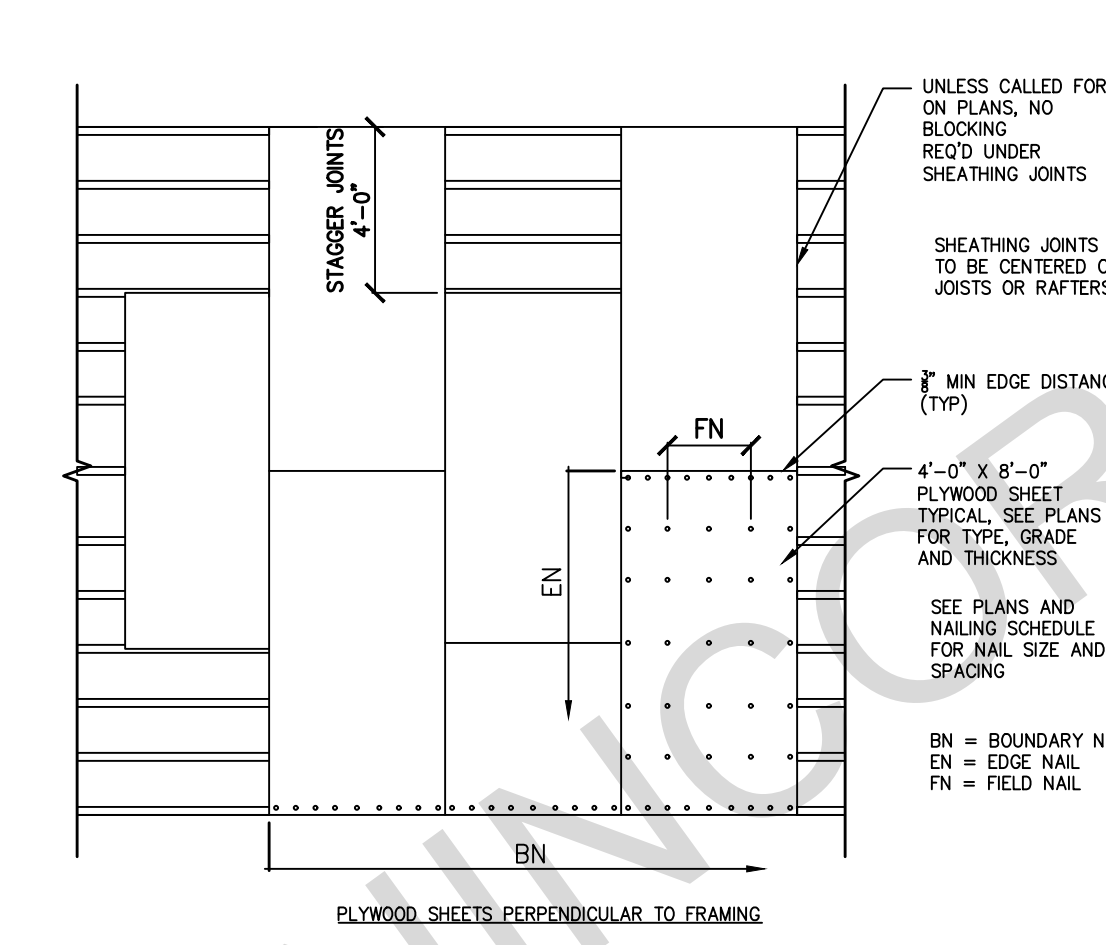
6 TYPICAL POST FOOTING



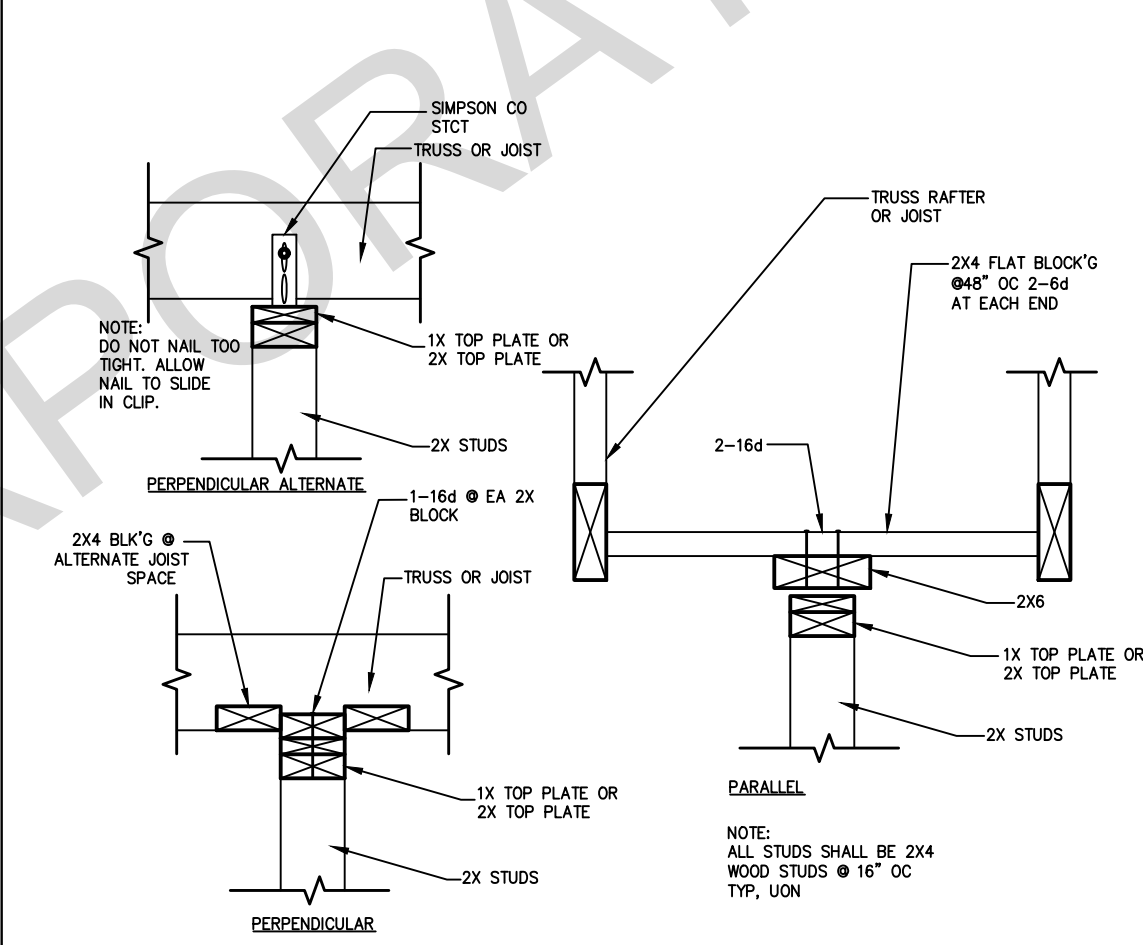
2 SLAB ON GRADE ONE STORY INTERIOR FOOTING



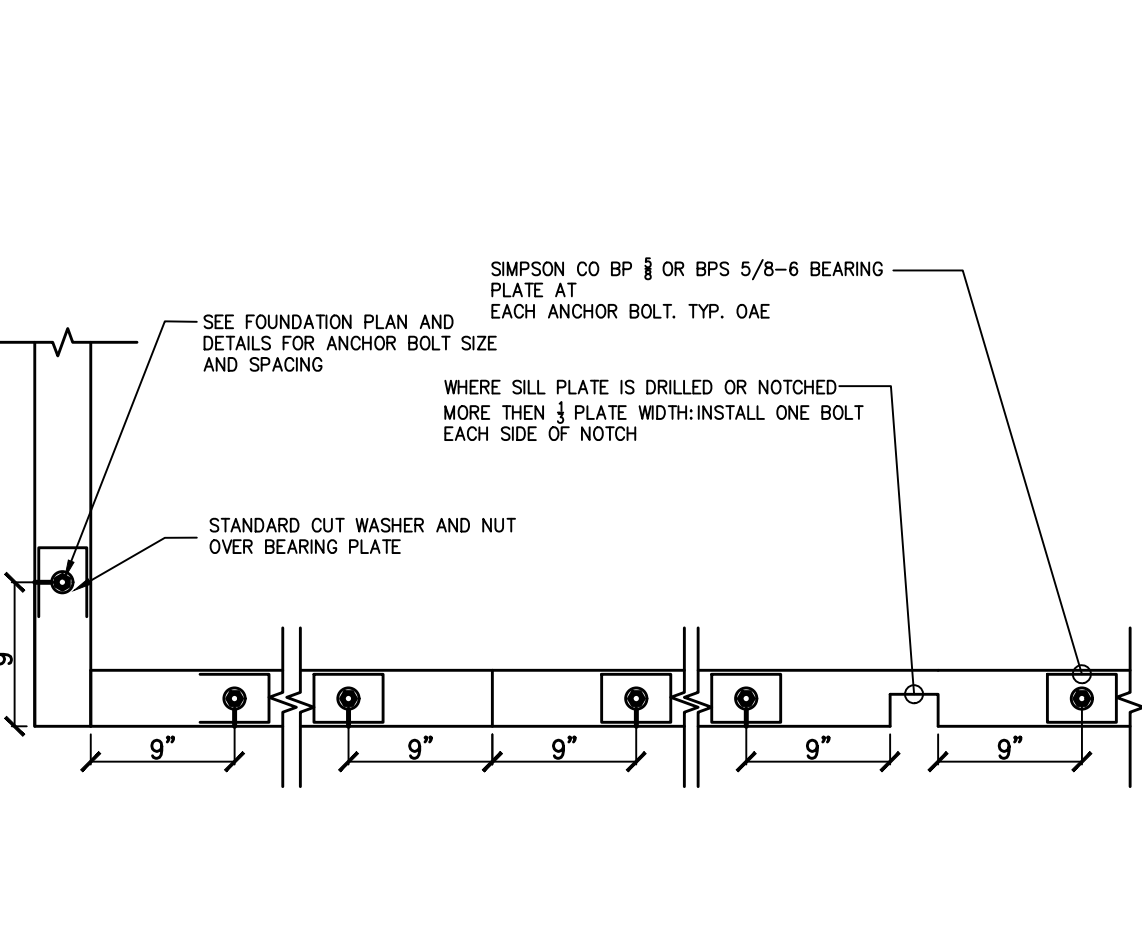
19 POST TO BEAM WITH CCQ/ECCQ



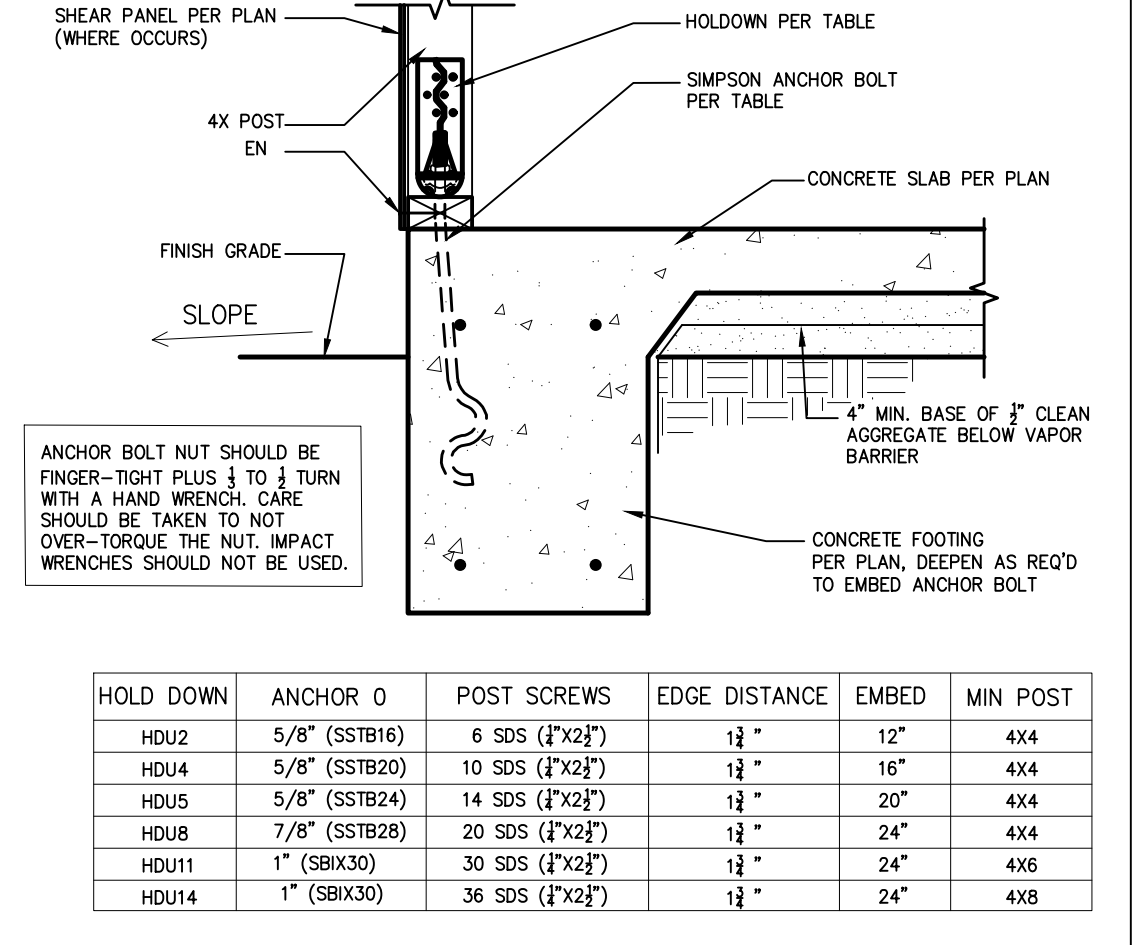
15 WOOD ROOF AND FLOOR SHEATHING LAYOUT



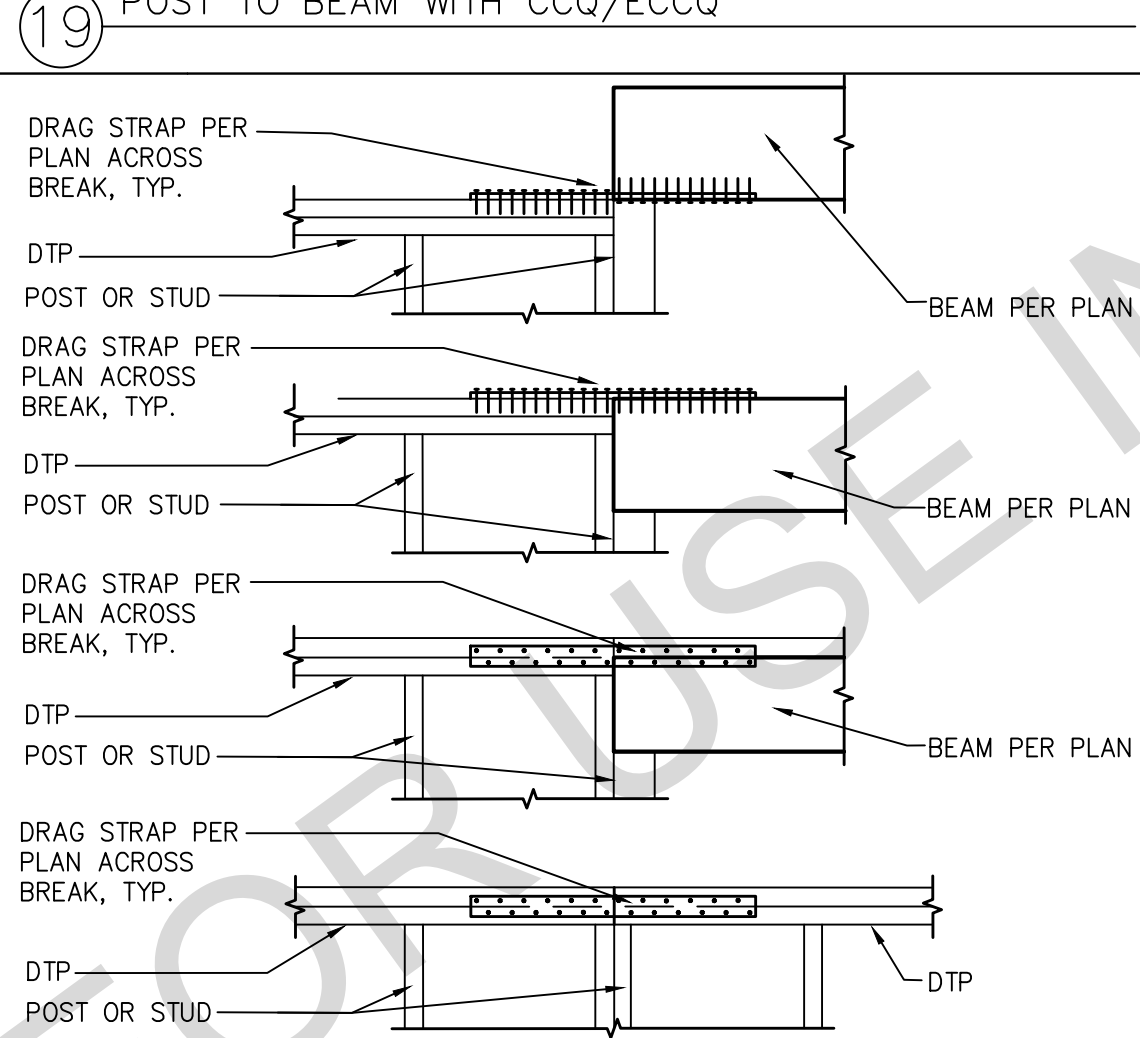
11 NON-BEARING/NON-SHEAR PARTITIONS AT TOP PLATE



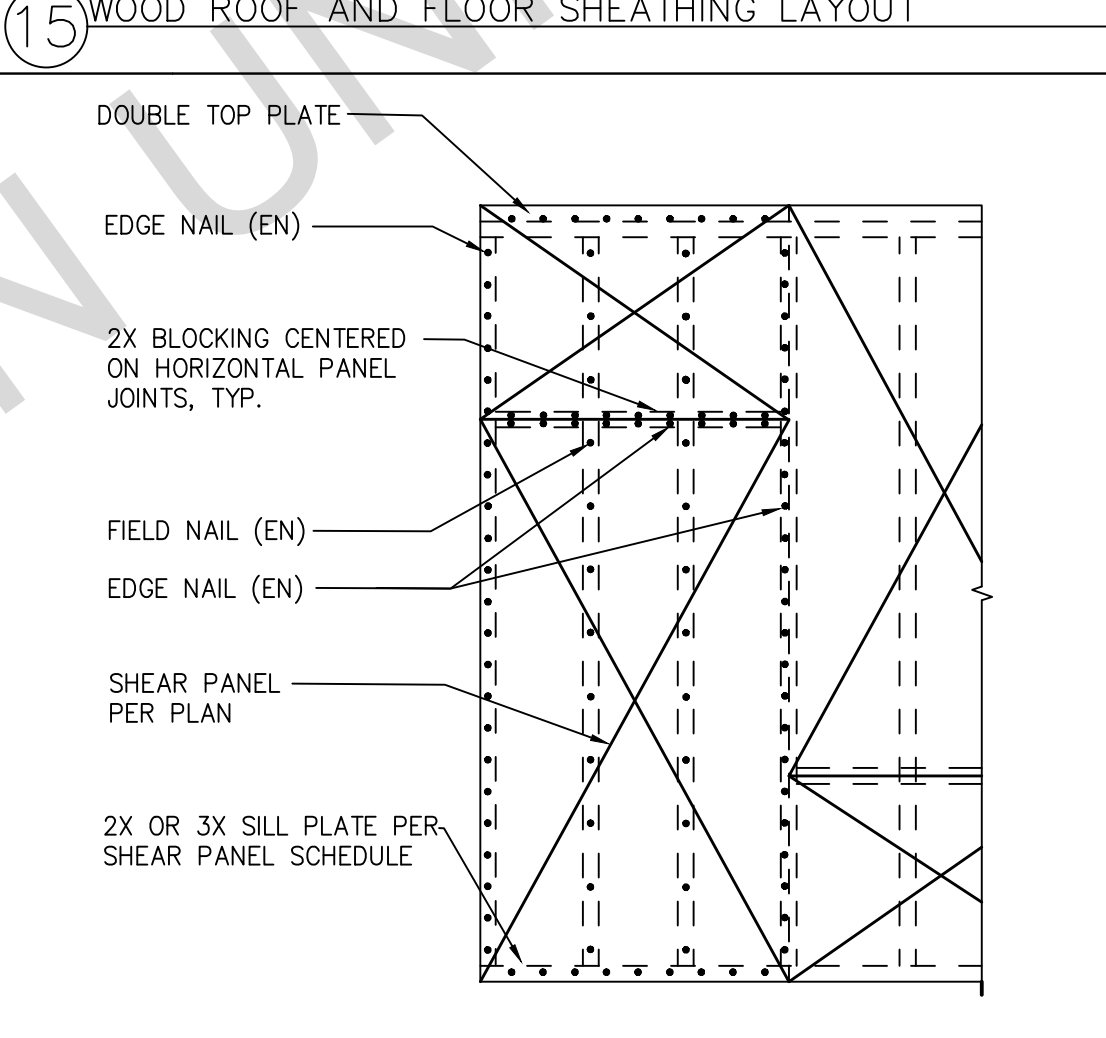
7 SILL PLATE ANCHOR BOLTING



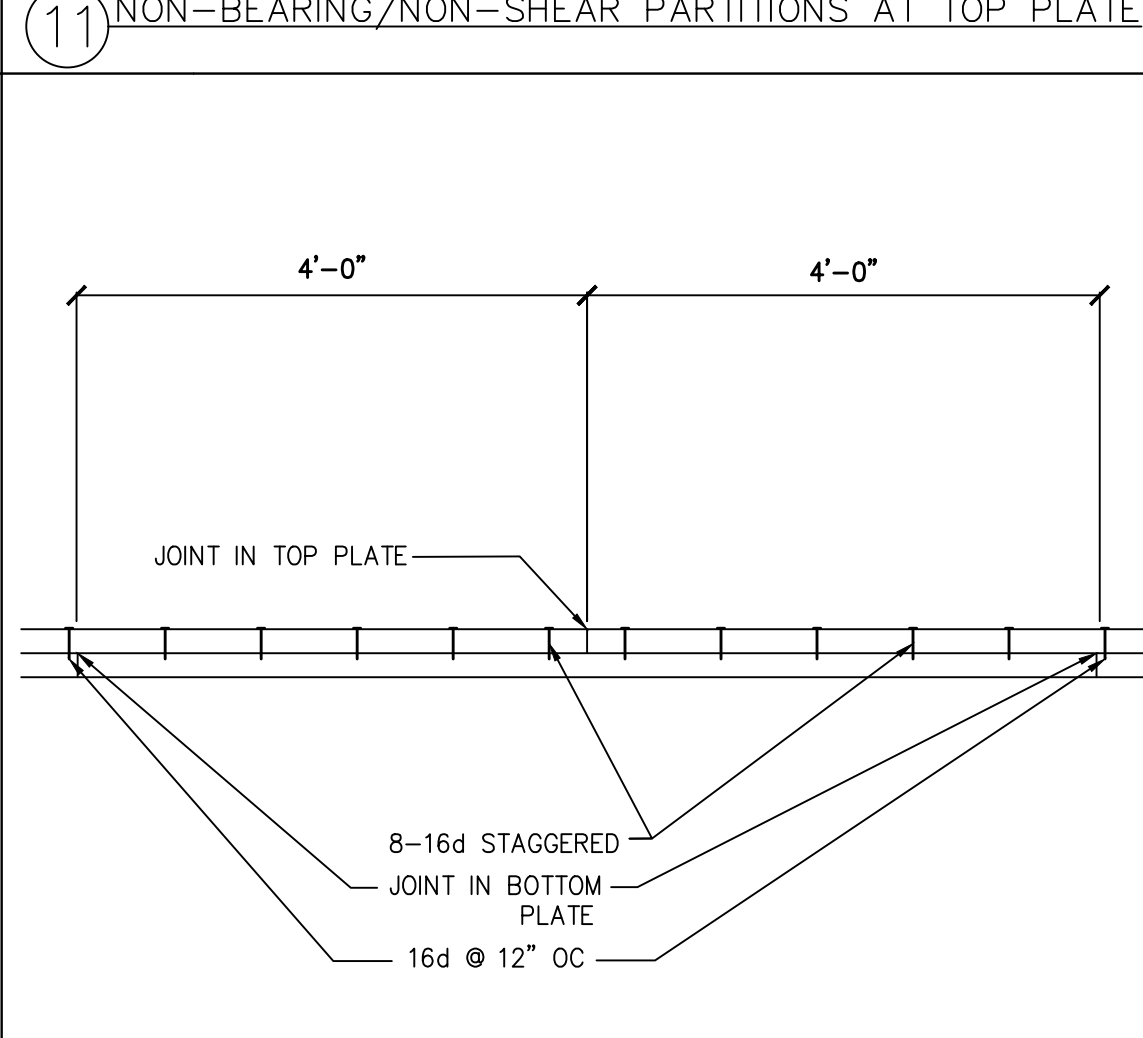
3 HOLDDOWN - PERIMETER FOOTING



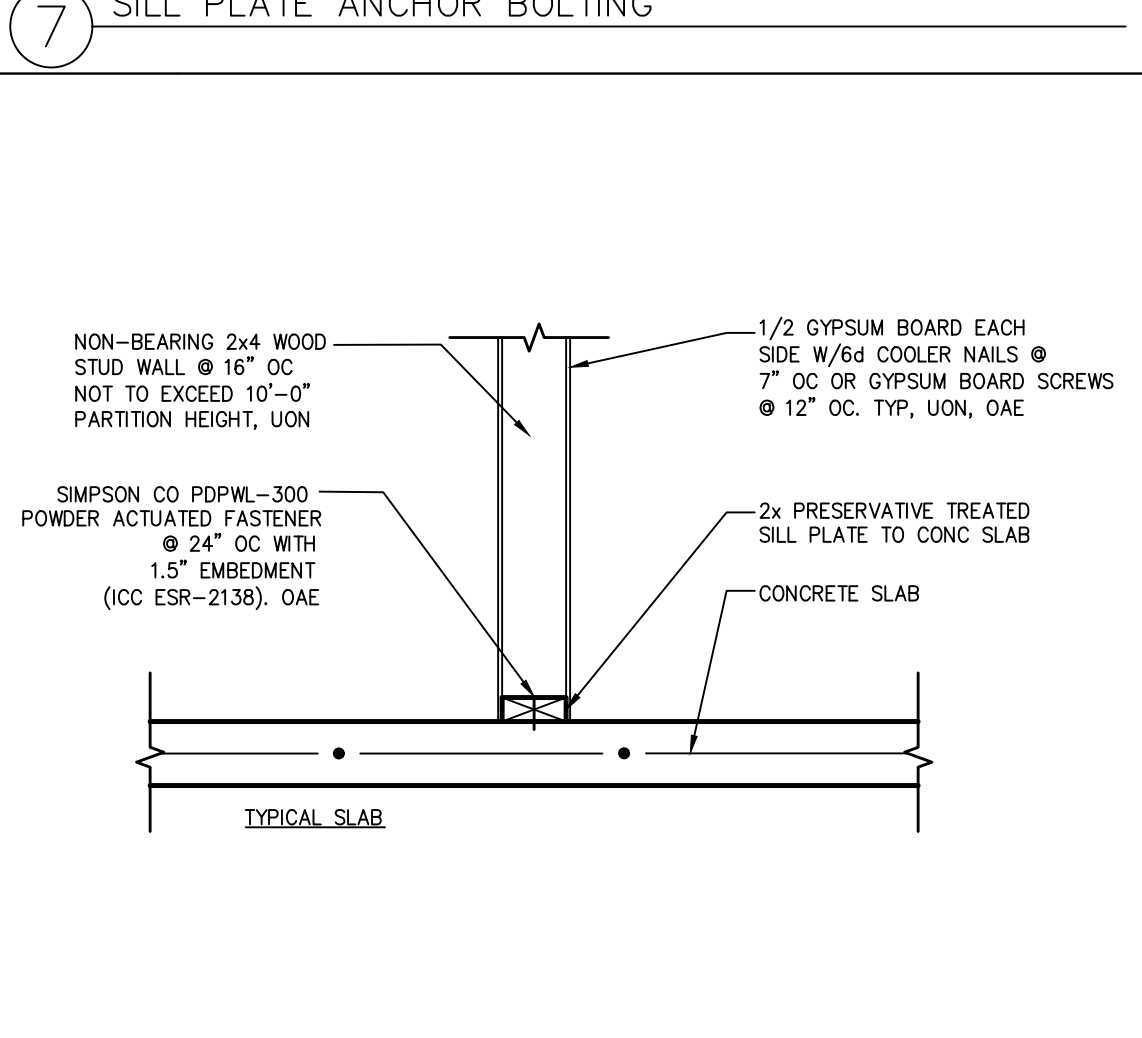
20 DRAG STRAP AT TP TO BM OR TP



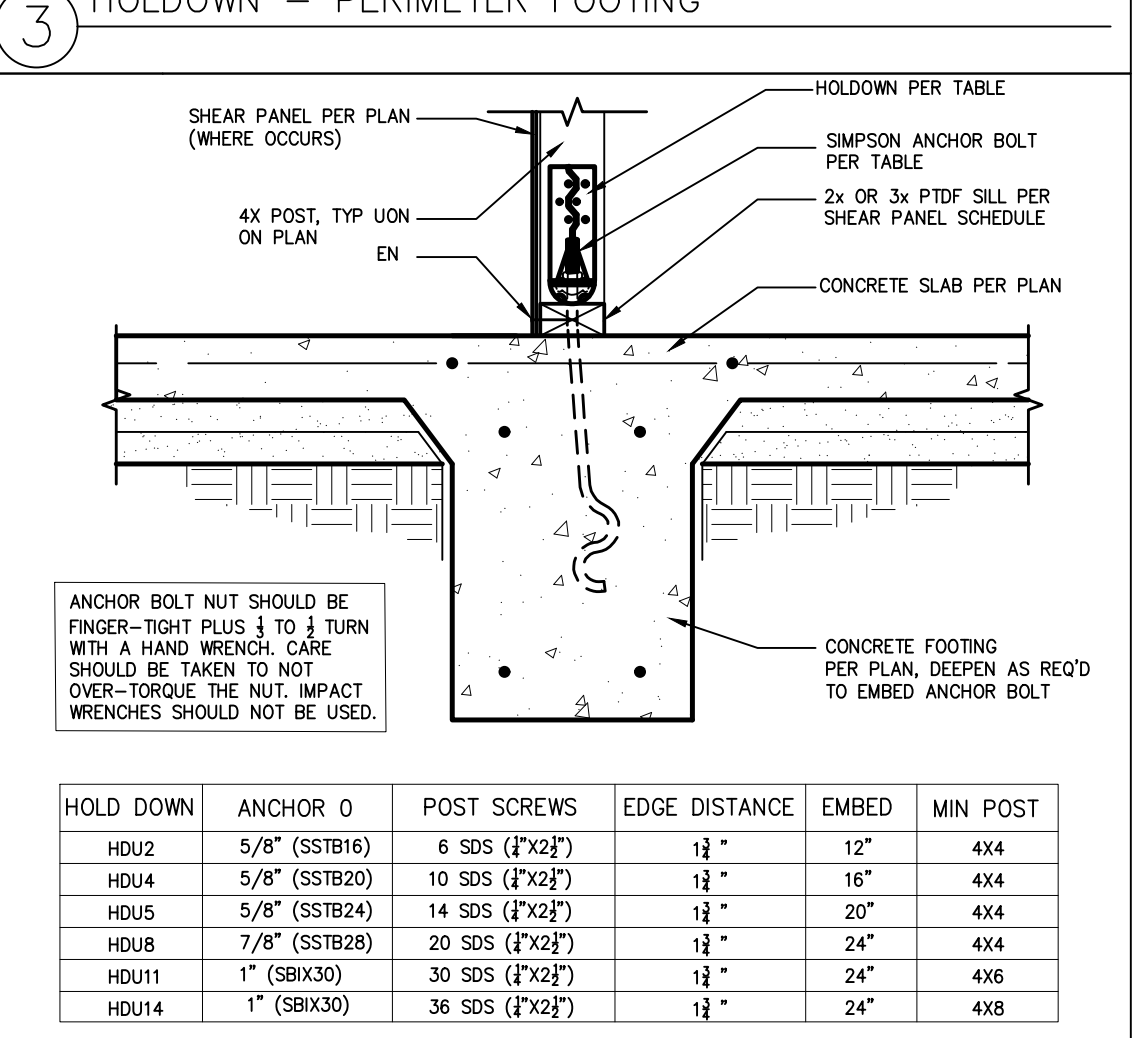
16 TYPICAL SHEAR PANEL



12 DOUBLE TOP-PLATE SPLICE



8 NON-BEARING INTERIOR STUD WALL TO CONCRETE SLAB



4 HOLDDOWN - INTERIOR FOOTING

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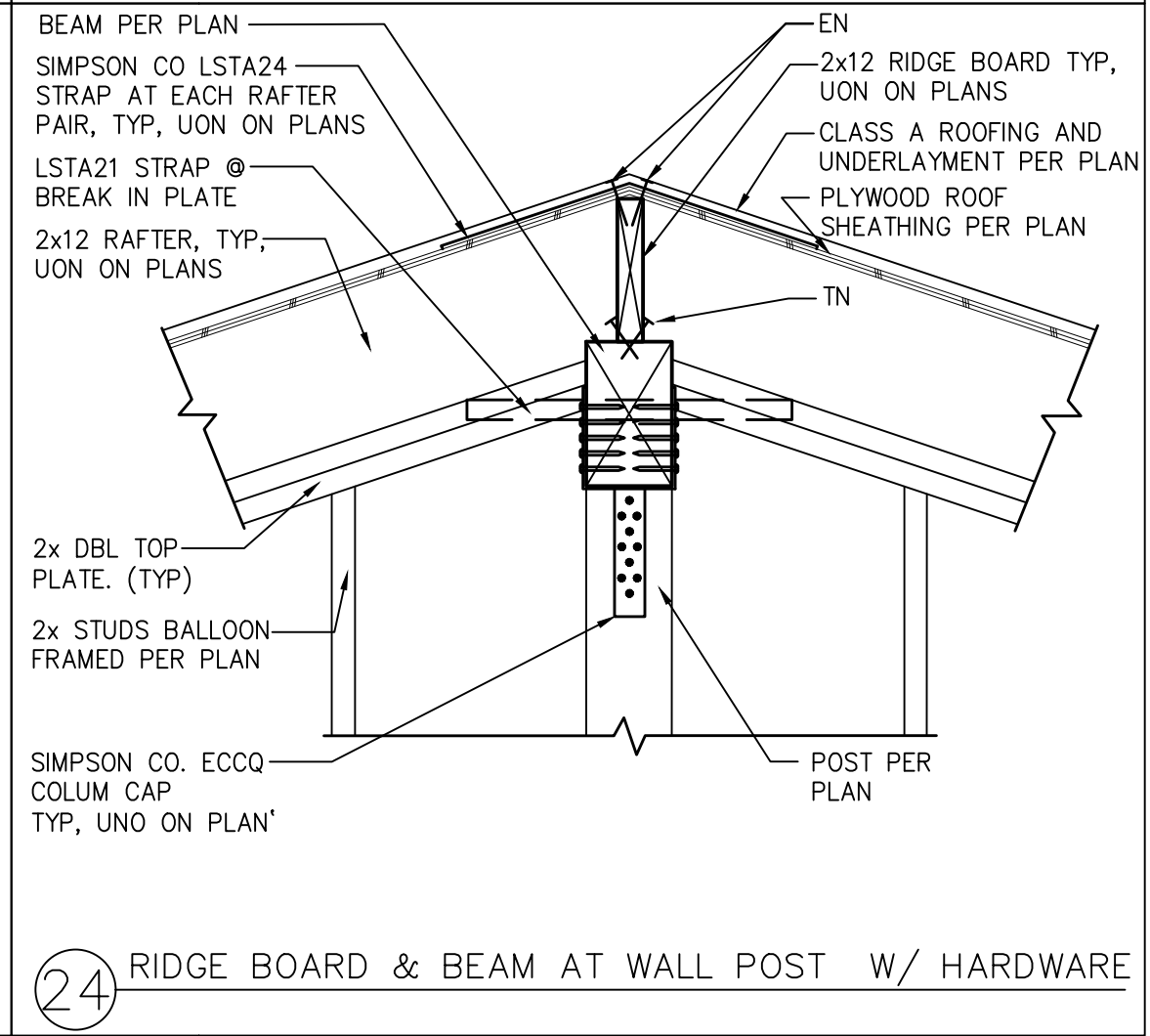
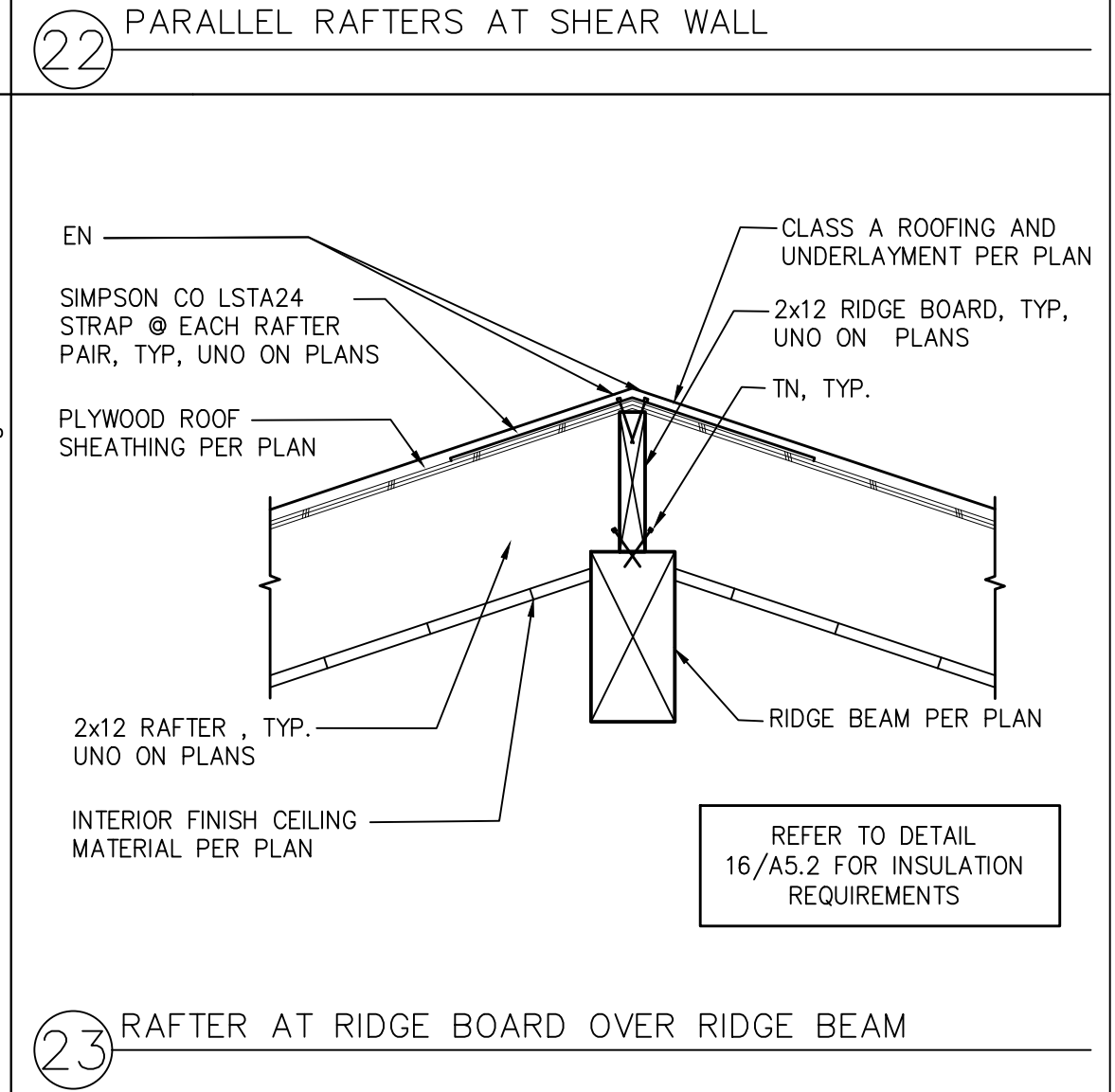
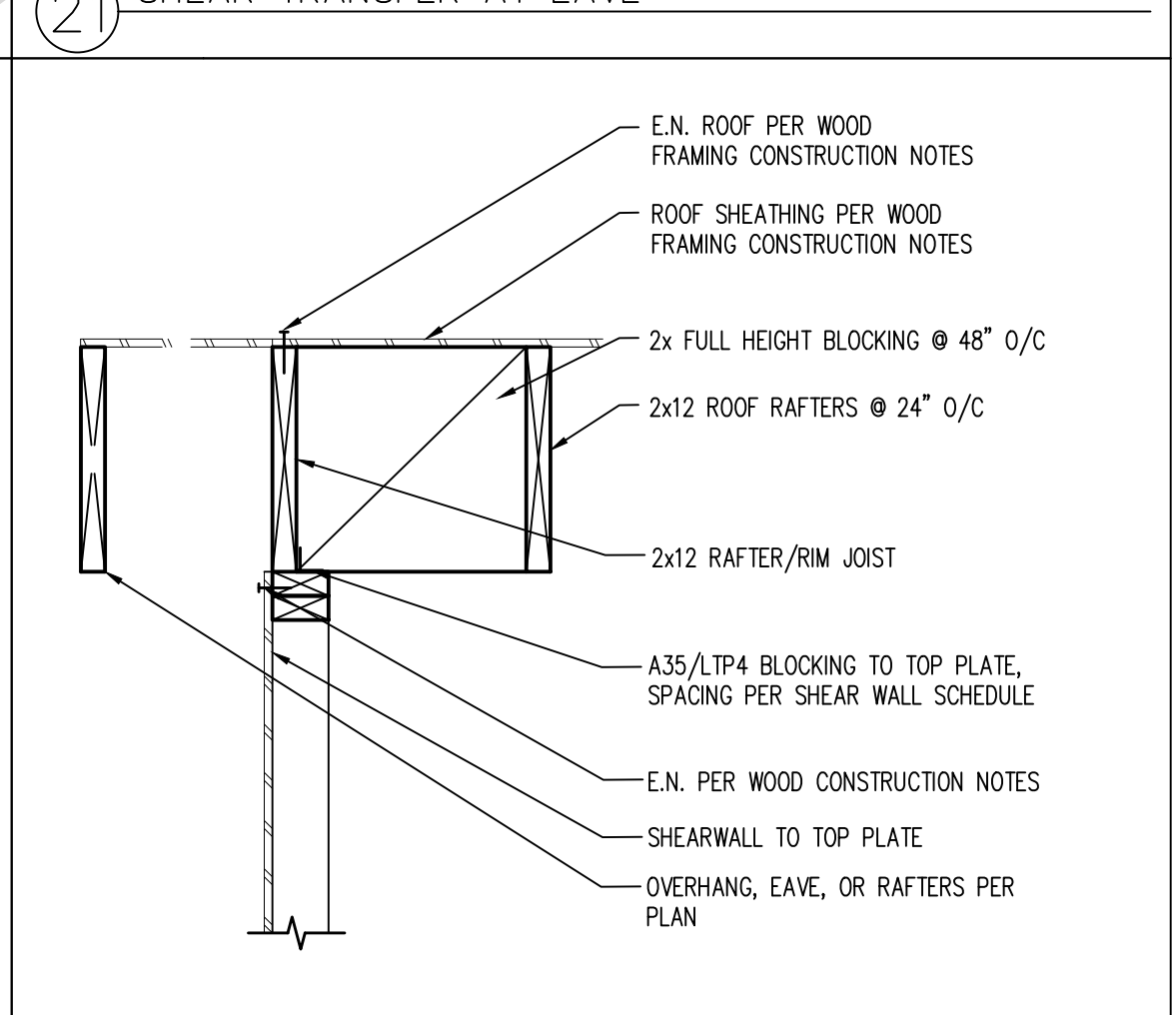
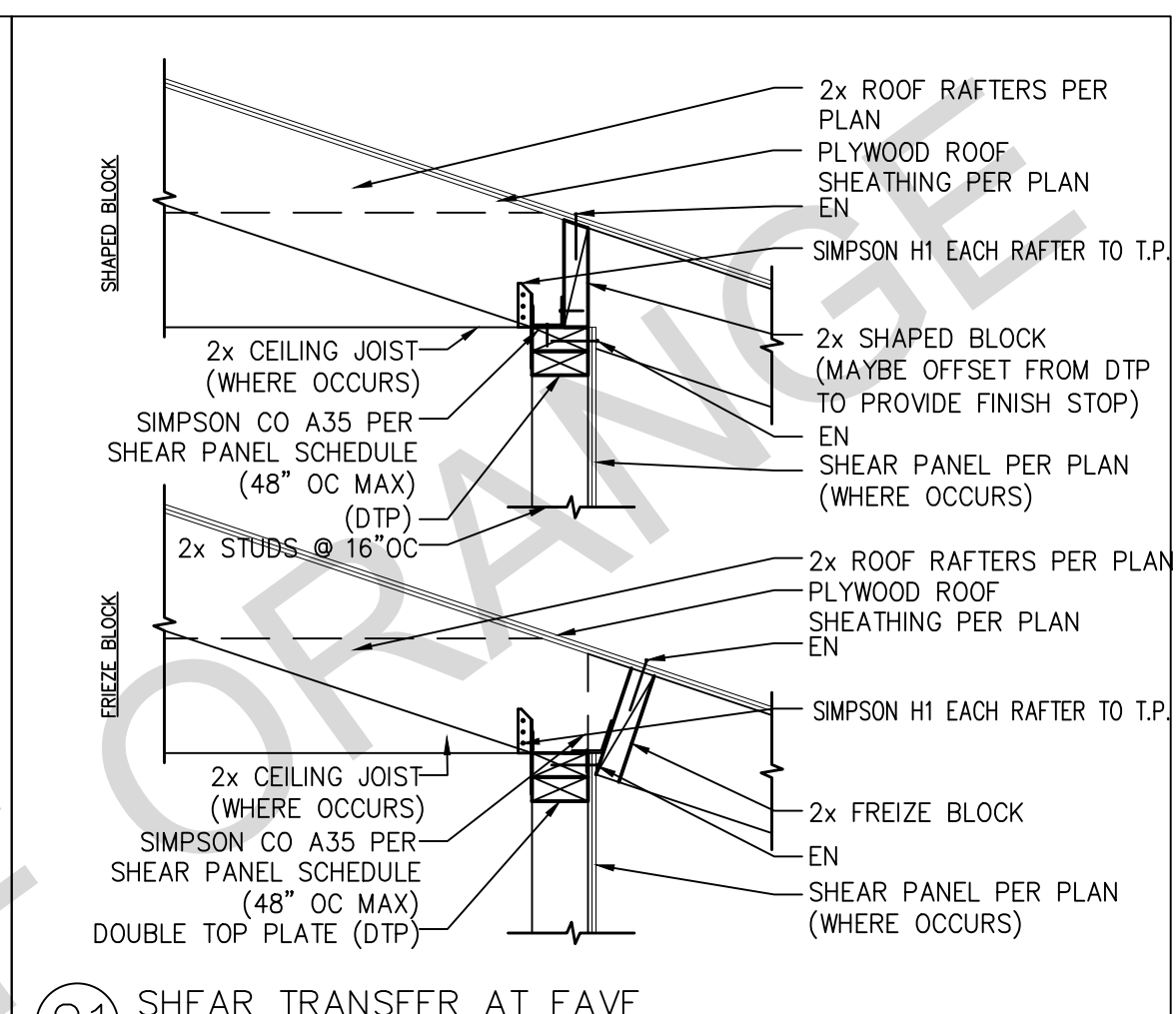
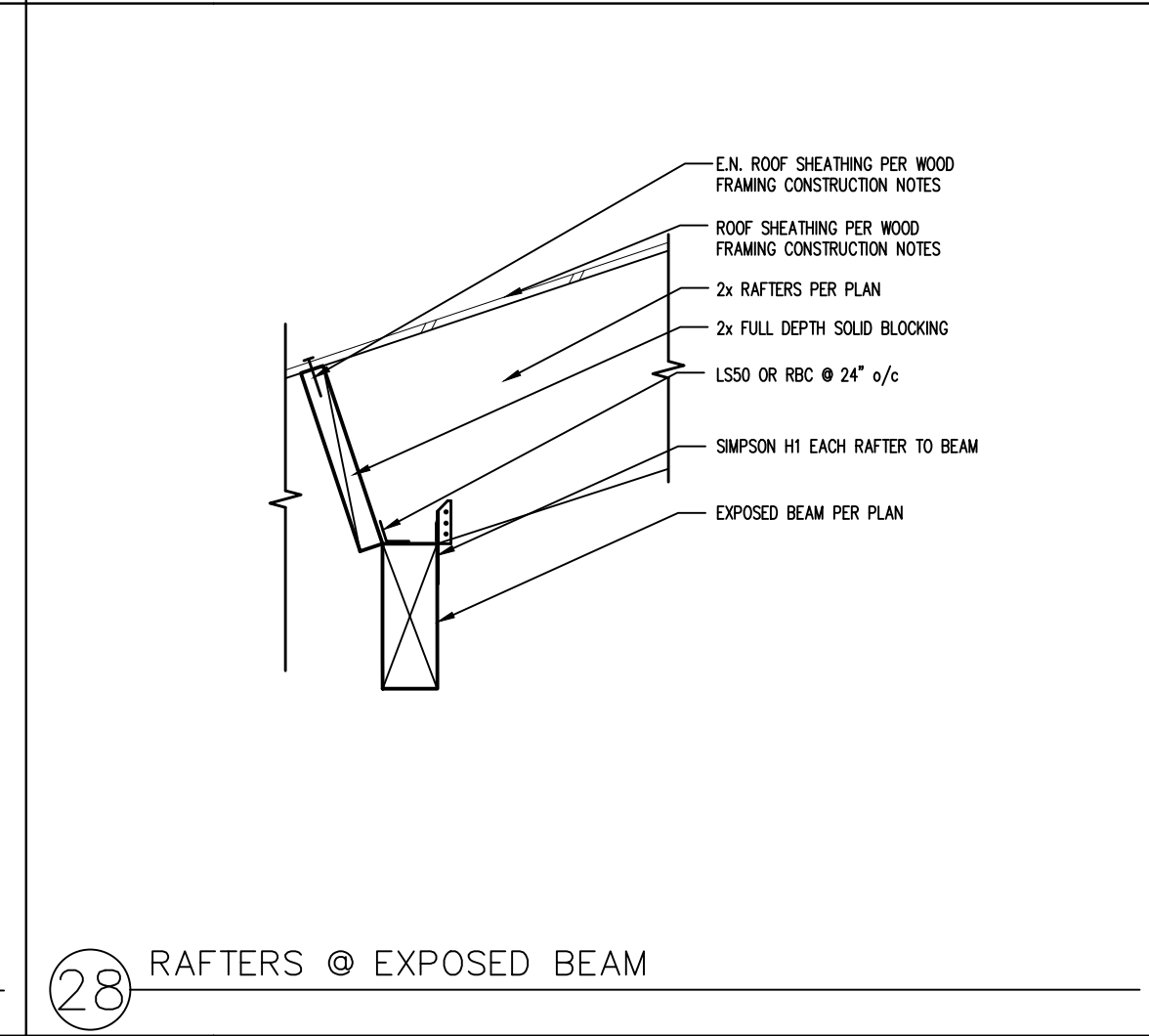
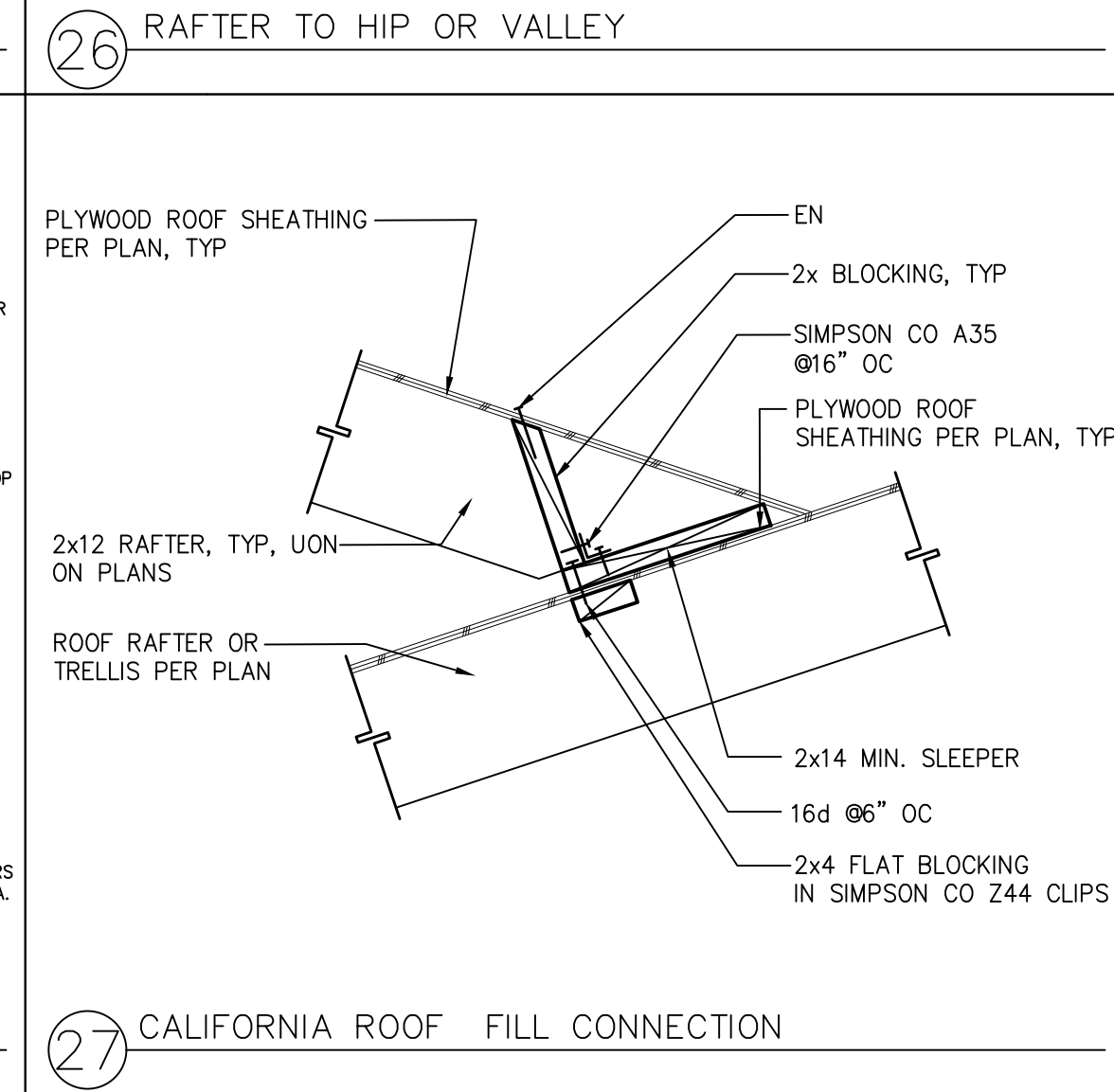
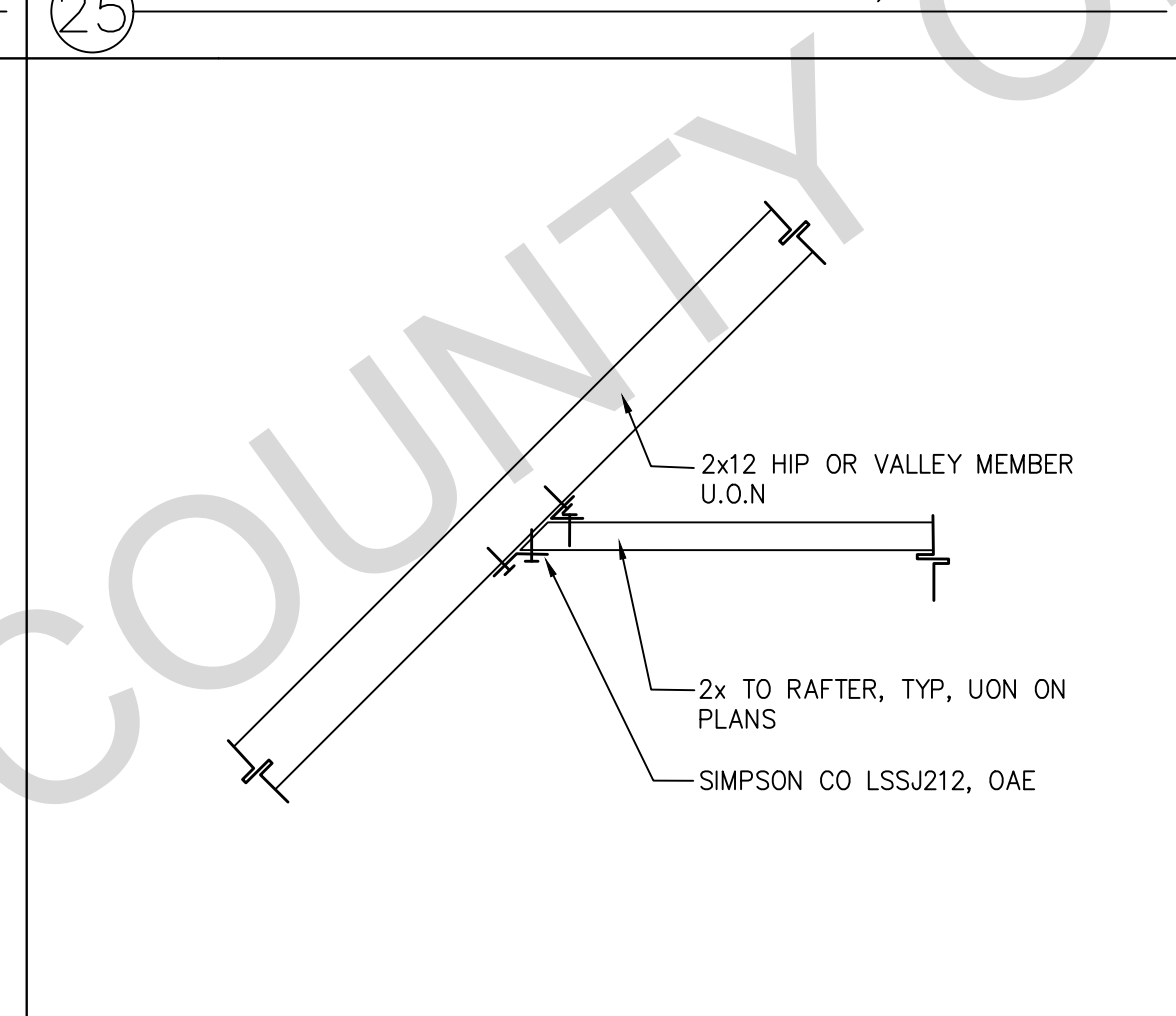
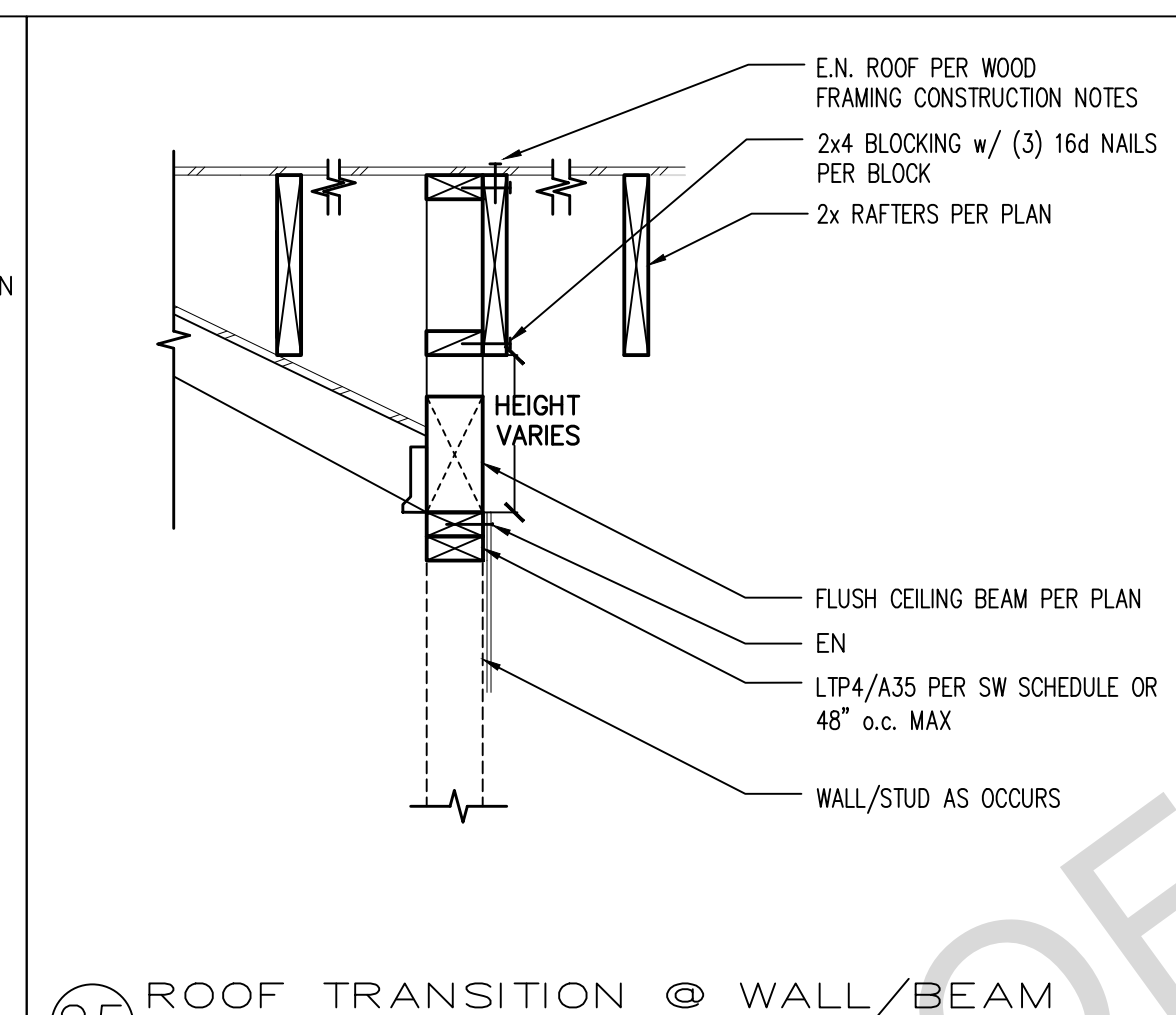
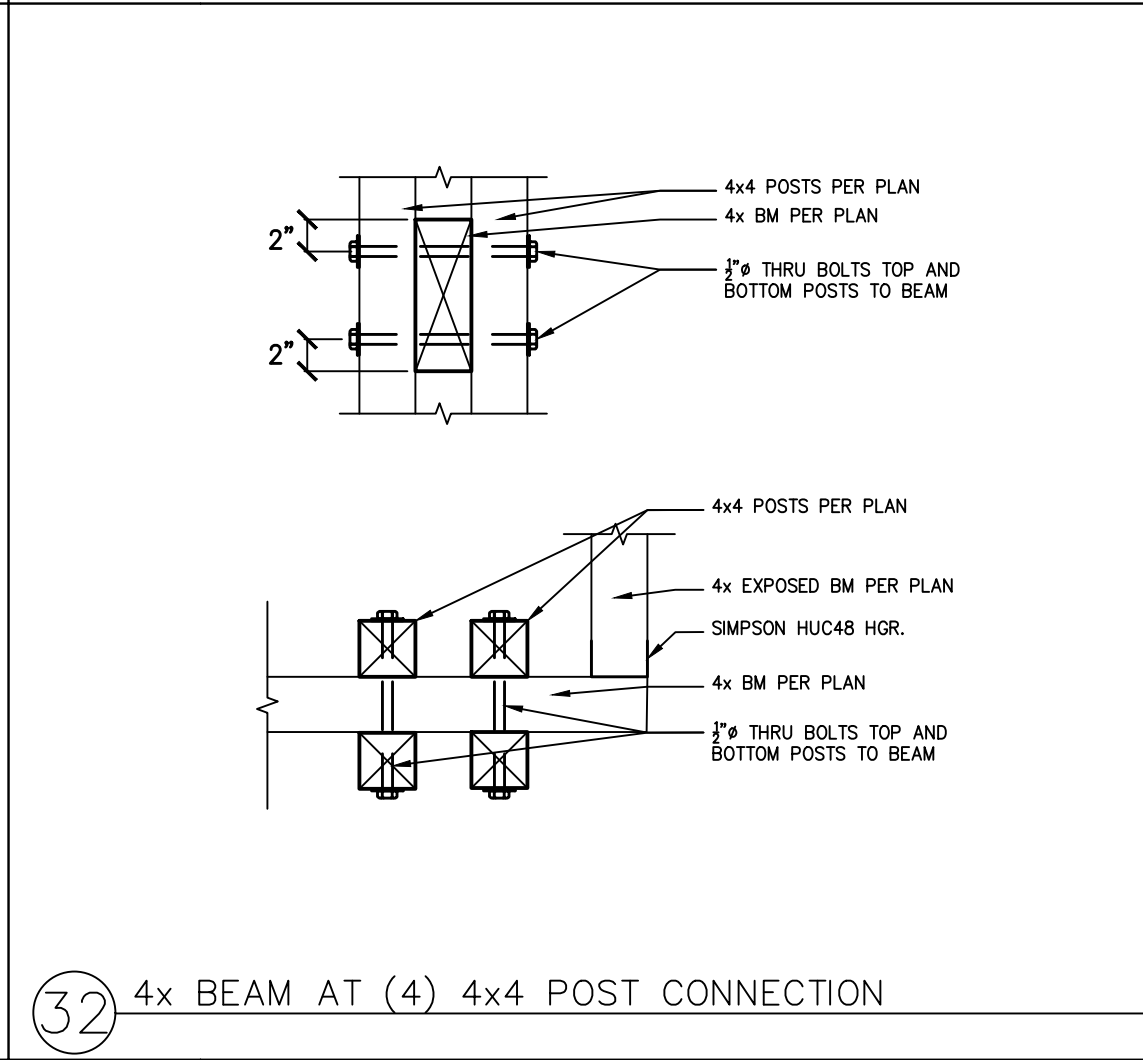
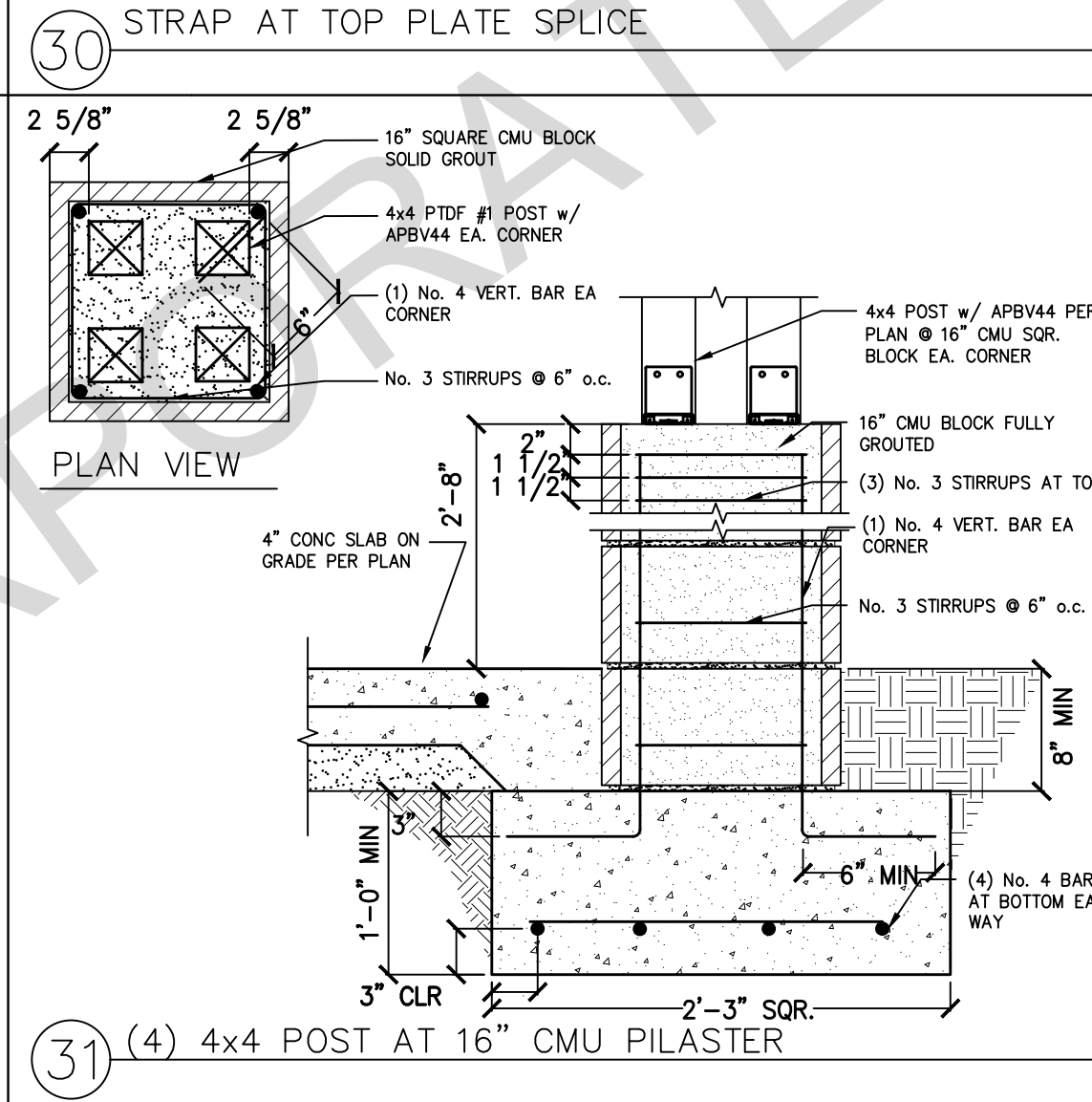
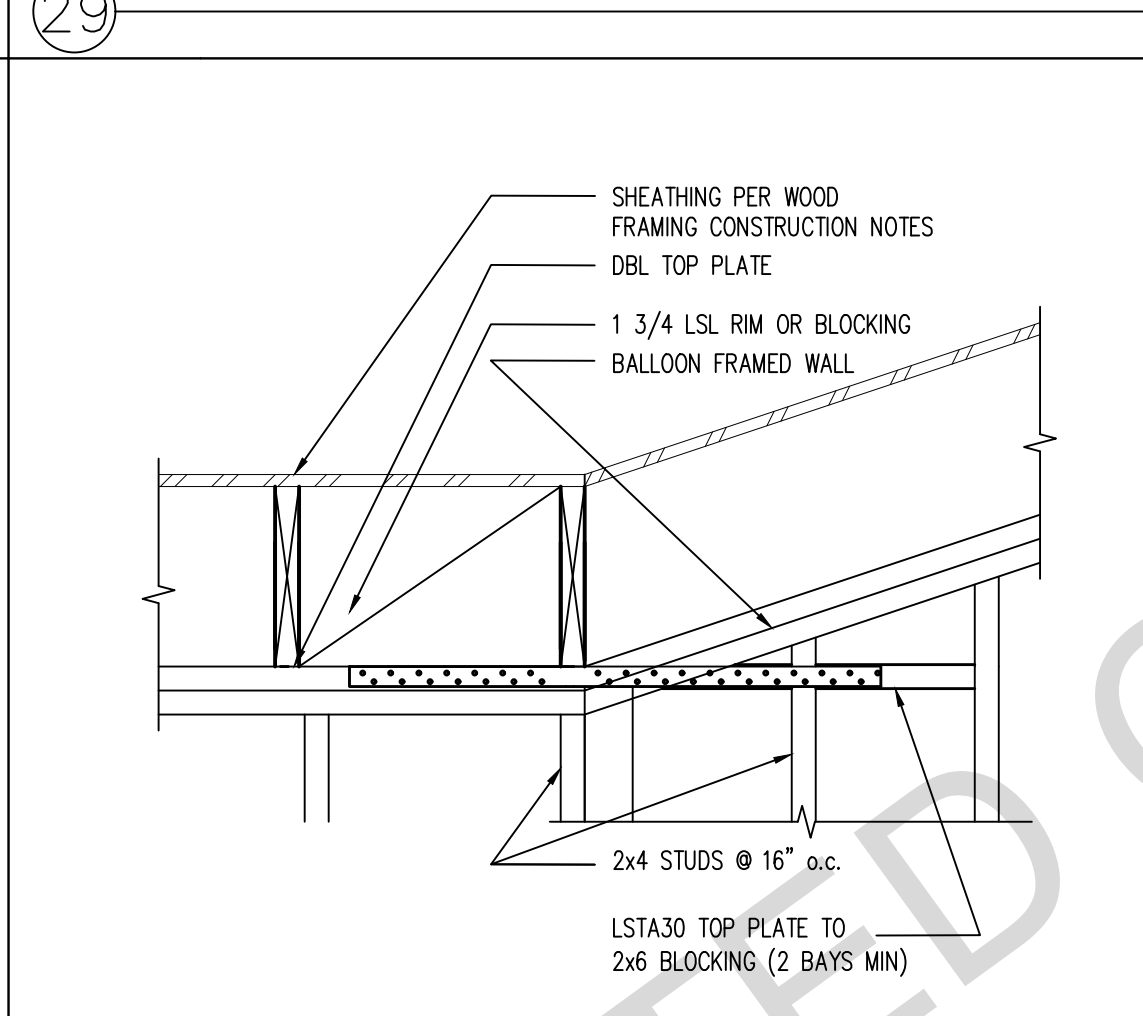
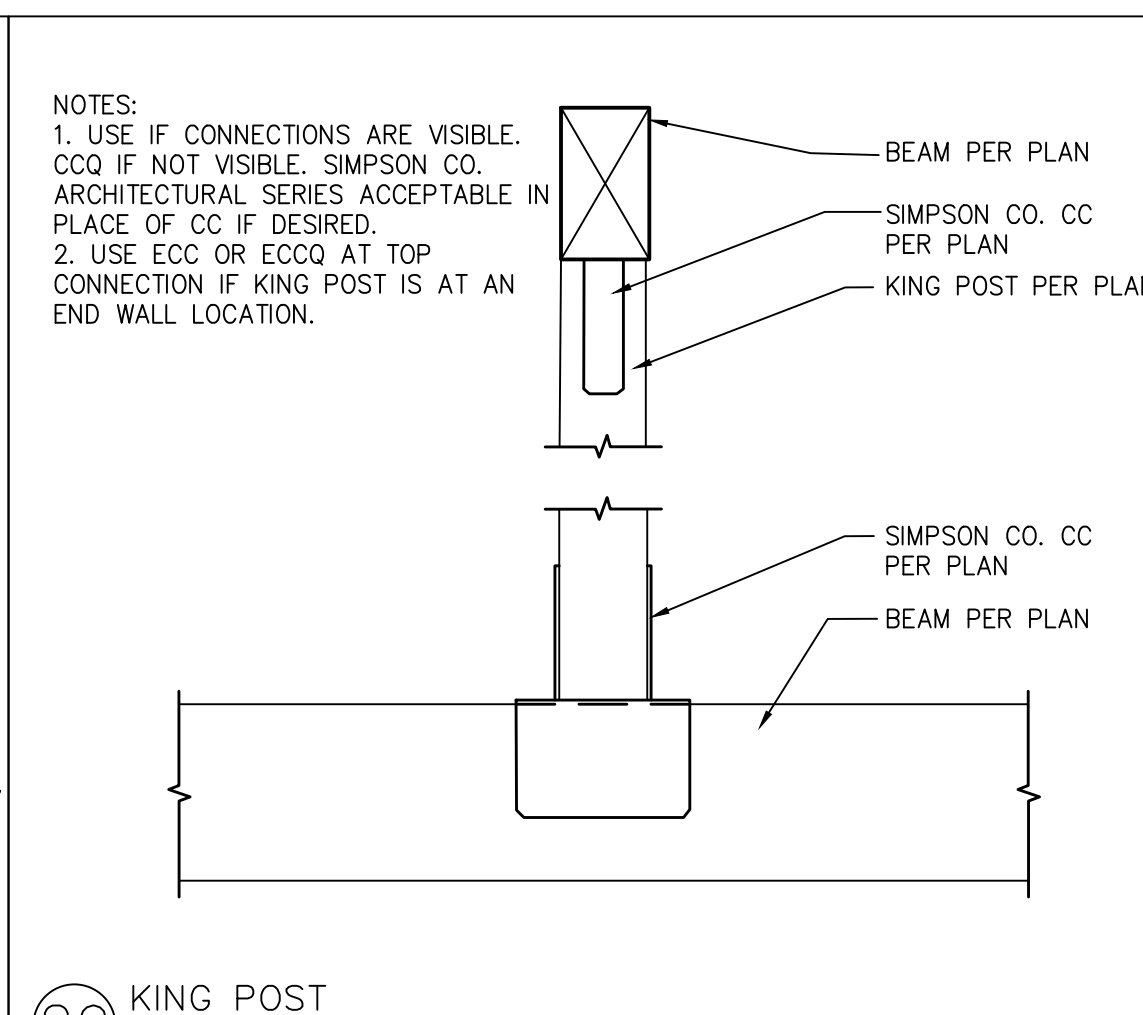
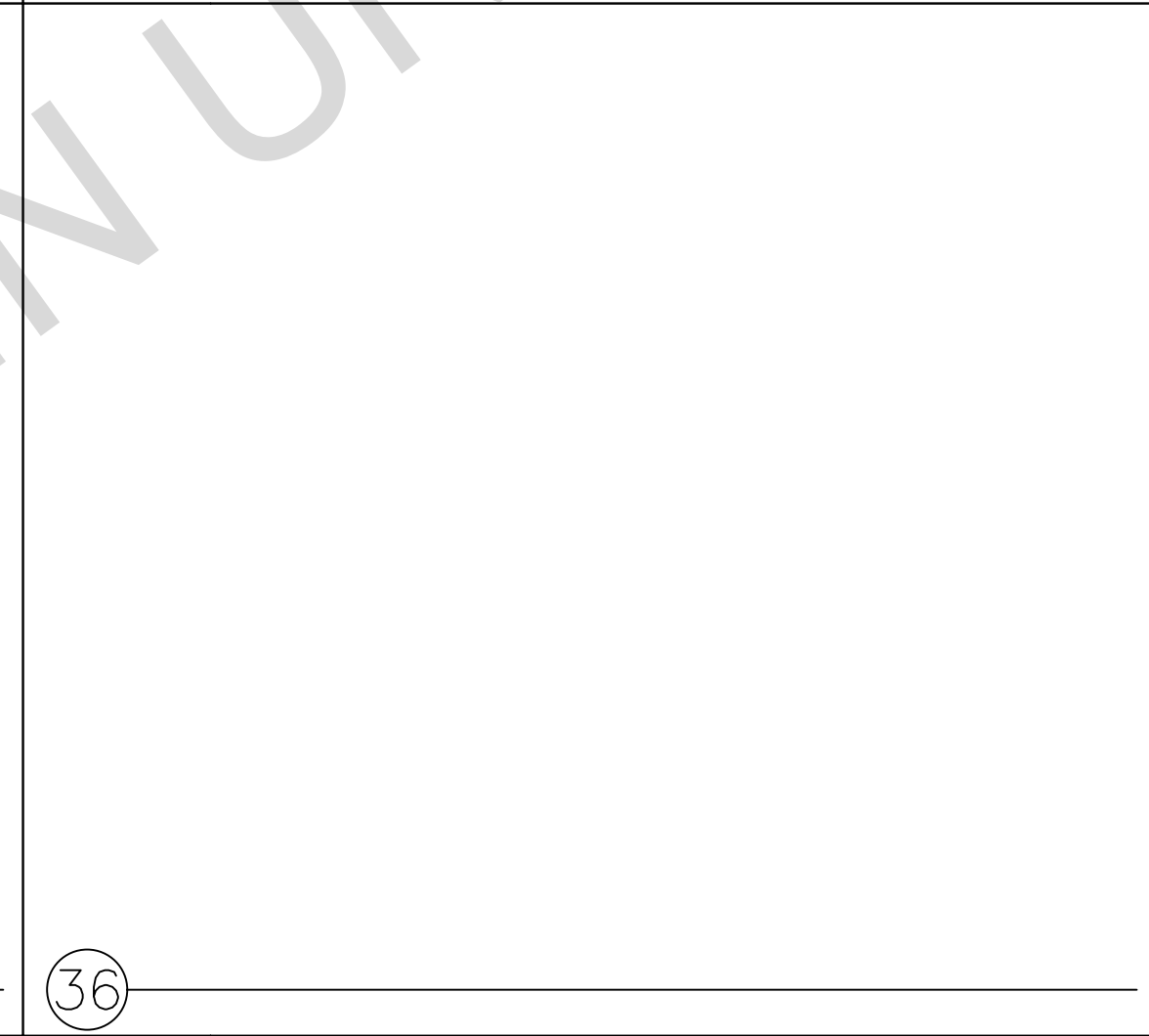
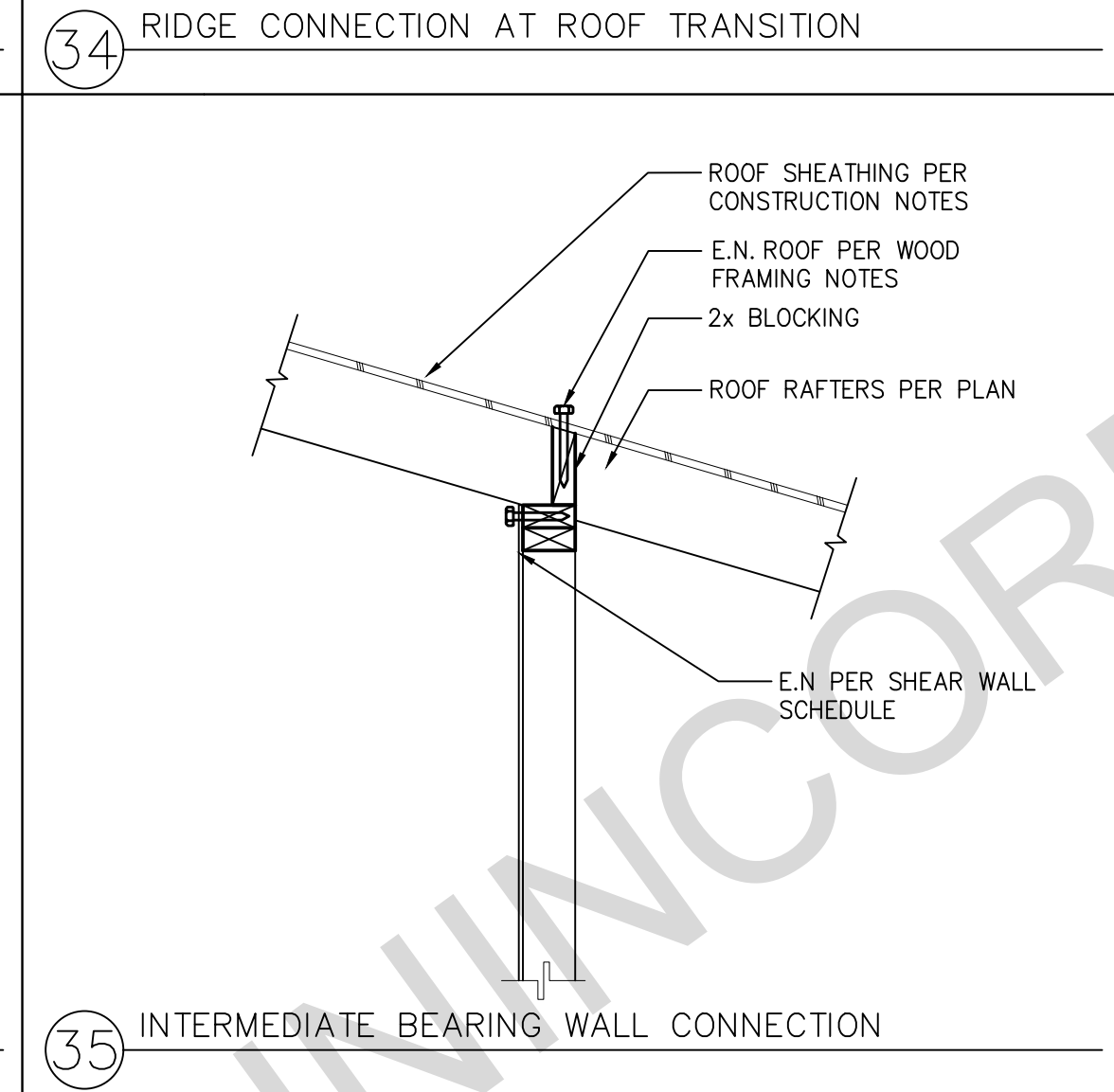
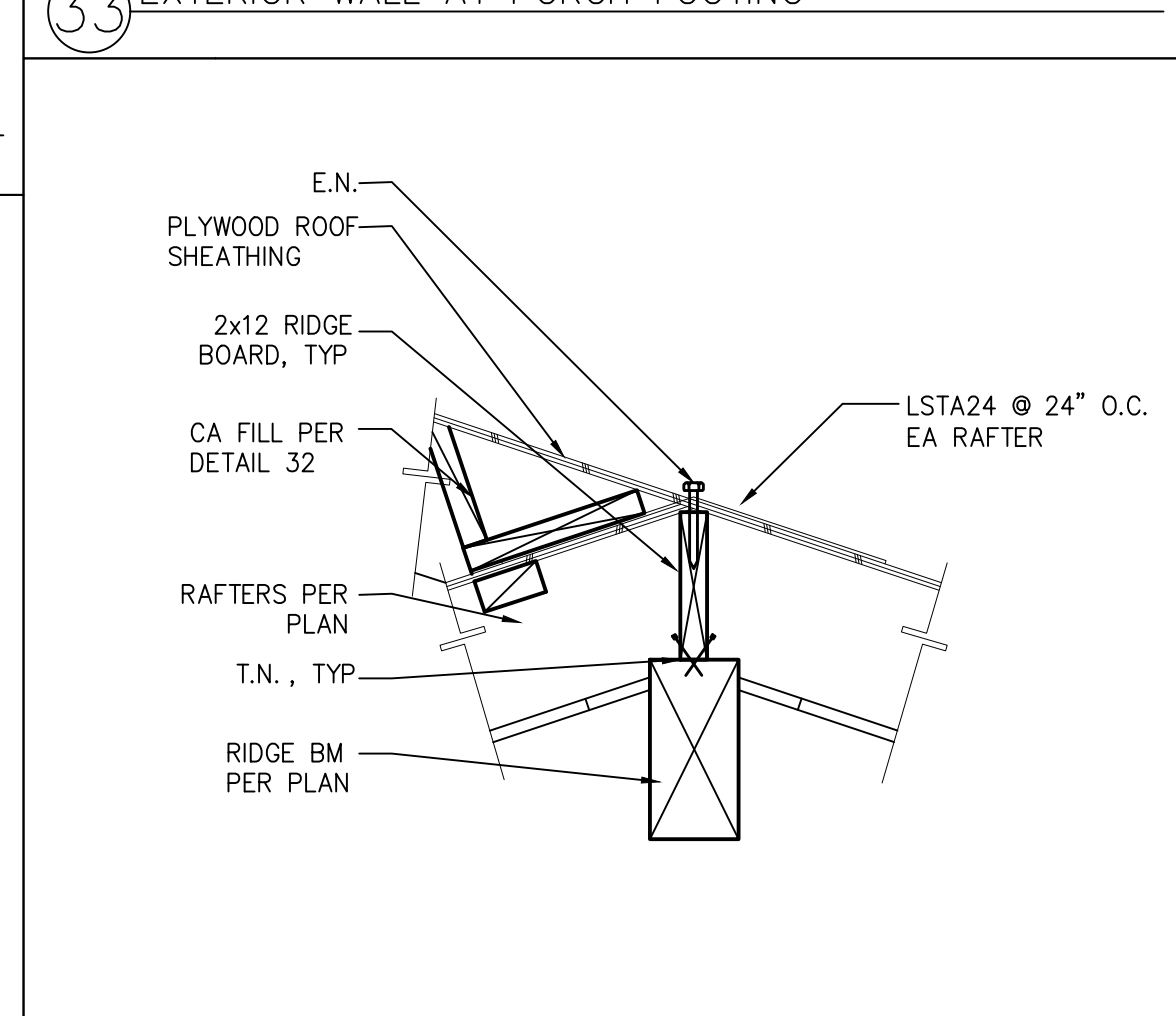
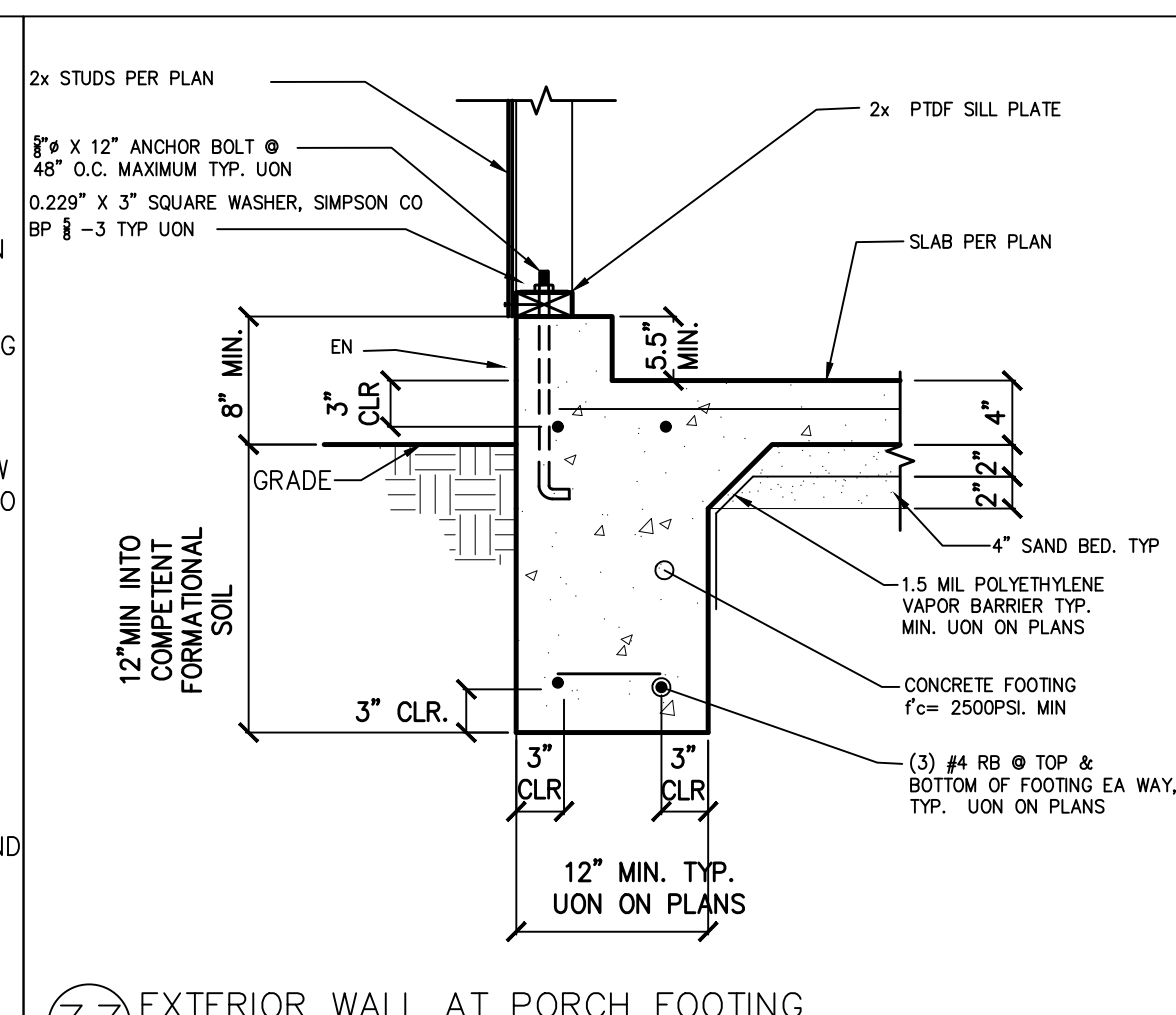
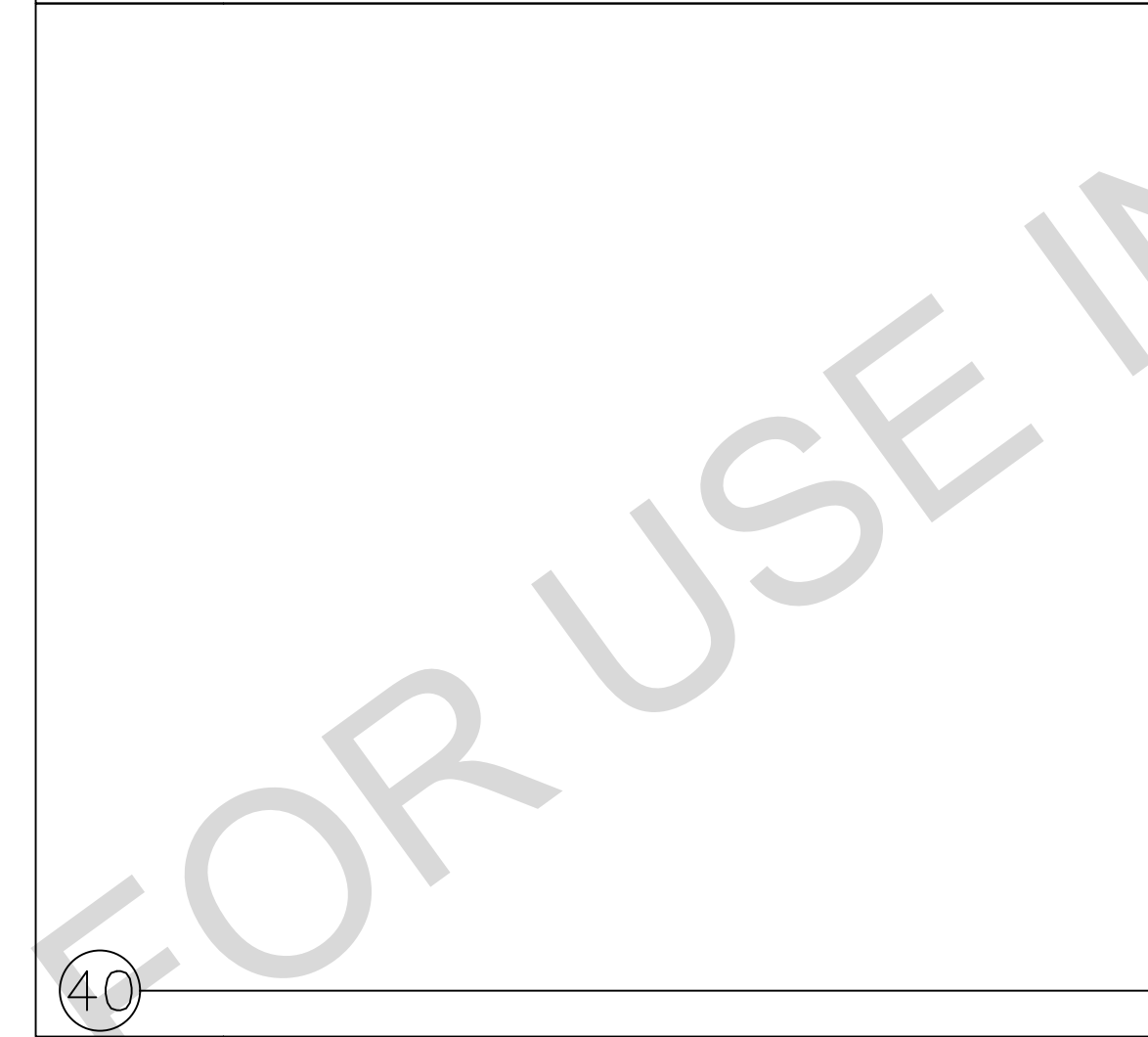
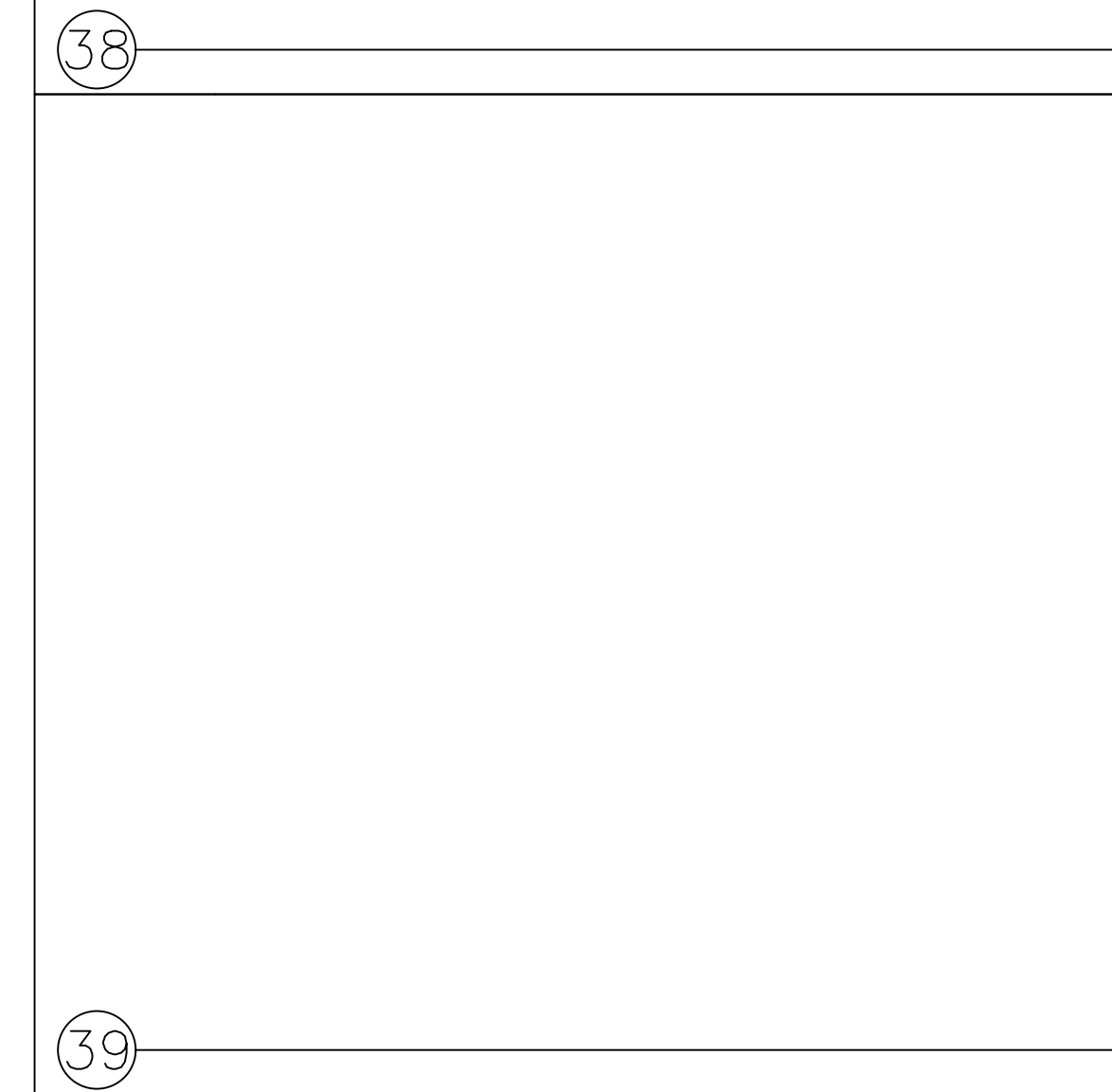
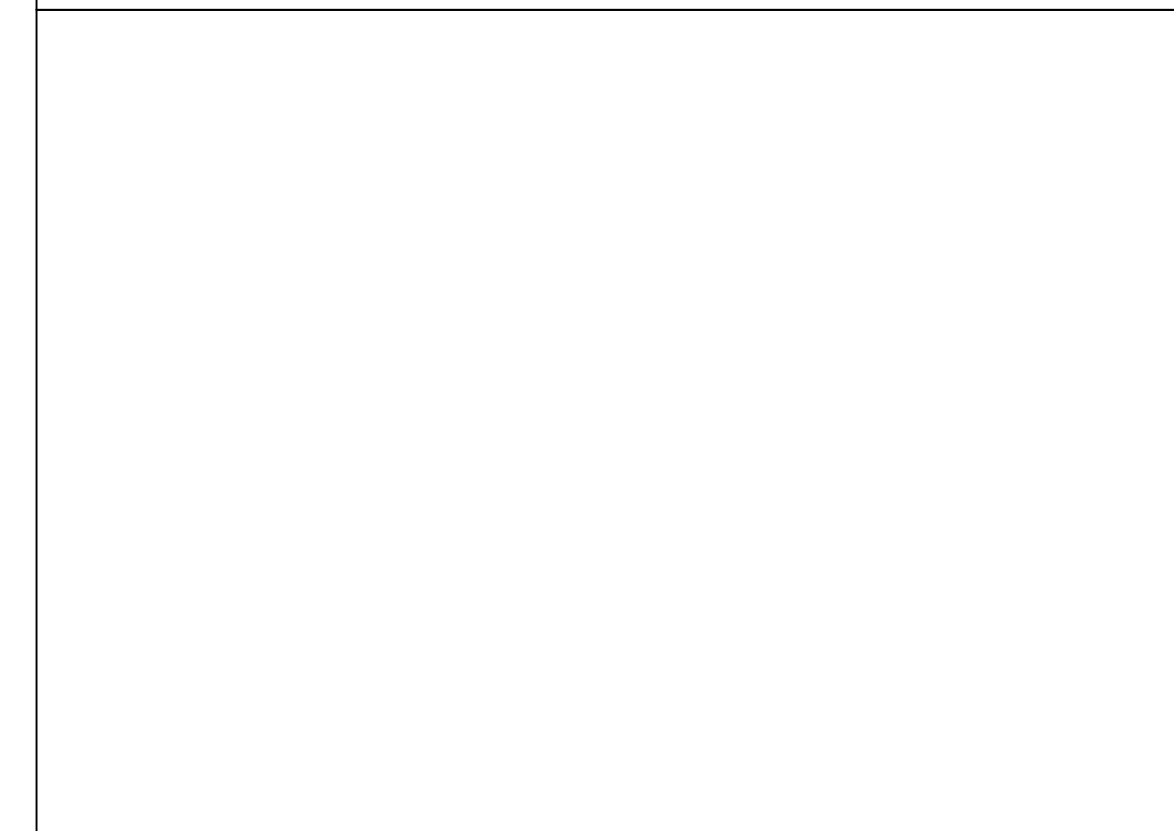
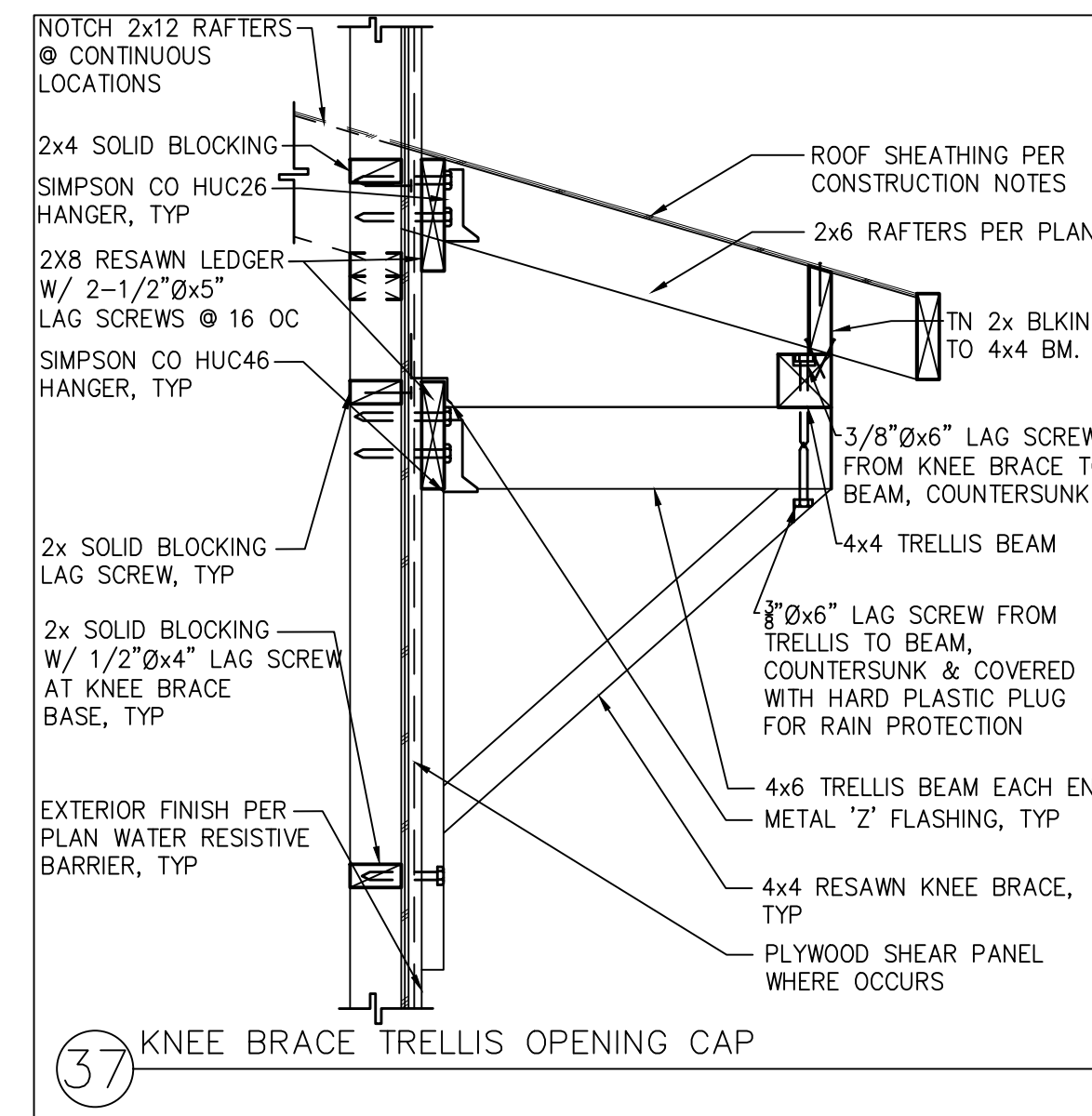
project  
County of Orange  
Pre-Approved  
ADU Program  
OWNER NAME:  
ADDRESS:  
APN:  
LEGAL DESCRIPTION:

revisions  
description  
Structural  
Details

date 2024  
project no.  
drawn by DESIGN PATH STUDIO  
sheet no. S5

| HOLD DOWN | ANCHOR Ø      | POST SCREWS   | EDGE DISTANCE | EMBED | MIN POST |
|-----------|---------------|---------------|---------------|-------|----------|
| HU2       | 5/8" (SS1816) | 6 SDS (F7x2)  | 12"           | 12"   | 4x4      |
| HU4       | 5/8" (SS1820) | 10 SDS (F7x2) | 12"           | 16"   | 4x4      |
| HU5       | 5/8" (SS1824) | 14 SDS (F7x2) | 12"           | 20"   | 4x4      |
| HU8       | 7/8" (SS1828) | 20 SDS (F7x2) | 12"           | 24"   | 4x4      |
| HU11      | 1" (SBX30)    | 30 SDS (F7x2) | 12"           | 24"   | 4x6      |
| HU14      | 1" (SBX30)    | 36 SDS (F7x2) | 12"           | 24"   | 4x8      |

| HOLD DOWN | ANCHOR Ø      | POST SCREWS   | EDGE DISTANCE | EMBED | MIN POST |
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| HU14      | 1" (SBX30)    | 36 SDS (F7x2) | 12"           | 24"   | 4x8      |



NOTES:  
1. USE IF CONNECTIONS ARE VISIBLE. CQ IF NOT VISIBLE. SIMPSON CO. ARCHITECTURAL SERIES ACCEPTABLE IN PLACE OF CO IF DESIRED.  
2. USE ECC OR ECCO AT TOP CONNECTION IF KING POST IS AT AN END WALL LOCATION.

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project  
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revisions  
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Structural  
Details  
date 2024  
project no.  
drawn by DESIGN PATH STUDIO  
sheet no. S6



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Table with 8 columns: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers. Includes R-30 Roof No Attic.

Table with 5 columns: Building Envelope Area, High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50, CFM50. Includes Required/Not Required status.

Table with 9 columns: Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, HERS Verification, Water Heater Name (H). Includes DHW Sys 1.

Table with 8 columns: Name, # of Units, Tank Vol. (gal), NEA Heat Pump Brand, NEA Heat Pump Model, Tank Location, Duct Inlet Air Source, Duct Outlet Air Source. Includes DHW Heater 1.

Registration Number: 224-PO10012964-000-000-000000-0000 Registration Date/Time: 2024-03-11 11:23:52 HERS Provider: CaCERTS Inc. Report Version: 2022.0.0000

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Table with 7 columns: Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Shower Drain Water Heat Recovery. Includes DHW Sys 1-1/1.

Table with 9 columns: Name, System Type, Heating Unit Name, Heating Equipment Count, Cooling Unit Name, Cooling Equipment Count, Fan Name, Distribution Name, Required Thermostat Type. Includes Ductless MiniSplit.

Table with 13 columns: Name, System Type, Heating, Cooling, Cooling Efficiency Type, Zonally Controlled, Compressor Type, HERS Verification. Includes Heat Pump System 1.

Table with 9 columns: Name, Verified Airflow, Airflow Target, Verified EER/EER2, Verified SEER/SEER2, Verified Refrigerant Charge, Verified HSPF/HSFP2, Verified Heating Cap 47, Verified Heating Cap 17. Includes Heat Pump System 1.

Registration Number: 224-PO10012964-000-000-000000-0000 Registration Date/Time: 2024-03-11 11:23:52 HERS Provider: CaCERTS Inc. Report Version: 2022.0.0000

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Table with 10 columns: Name, Certified Low-Static VCHP System, Airflow to Heatable Rooms, Ductless Units in Conditioned Space, Wall Mount Thermostat, Air Filter Sizing, Low Leakage Ducts in Conditioned Space, Minimum Airflow per RAL3 and SCS 3.3.4.1, Certified non-continuous Fan, Indoor Fan Not Continuously. Includes Heat Pump System 1.

Table with 9 columns: Dwelling Unit, Airflow (CFM), Fan Efficiency (W/CFM), IAQ Fan Type, Includes Heat/Energy Recovery?, IAQ Recovery SRE/ASRE, Includes Fruit Indicator Display?, HERS Verification, Status. Includes Sfam IAQVentRpt.

Registration Number: 224-PO10012964-000-000-000000-0000 Registration Date/Time: 2024-03-11 11:23:52 HERS Provider: CaCERTS Inc. Report Version: 2022.0.0000

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Table with 8 columns: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers. Includes R-30 Roof No Attic.

Registration Number: 224-PO10012964-000-000-000000-0000 Registration Date/Time: 2024-03-11 11:23:52 HERS Provider: CaCERTS Inc. Report Version: 2022.0.0000

RESIDENTIAL MEASURES SUMMARY RMS-1. Includes Project Name, Building Type, Insulation, Fenestration, HVAC Systems, and Water Heating sections.

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 224-PO10012964-000-000-000000-0000 Registration Date/Time: 2024-03-11 11:23:52 HERS Provider: CaCERTS Inc. Report Version: 2022.0.0000

2022 Single-Family Residential Mandatory Requirements Summary

- 110.0B(1) Air Leakage... 110.0B(2) Labeling... 110.0B(3) Air Leakage... 110.0C(1) Insulation... 110.0C(2) Roofing Products... 110.0C(3) Radiant Barriers... 110.0C(4) Roof Deck, Ceiling and Rafter... 110.0C(5) Glass Edge Insulation... 110.0C(6) Glass Edge Insulation... 110.0C(7) Vapor Barrier... 110.0C(8) Vapor Barrier... 110.0C(9) Vapor Barrier... 110.0C(10) Vapor Barrier... 110.0C(11) Vapor Barrier... 110.0C(12) Vapor Barrier... 110.0C(13) Vapor Barrier... 110.0C(14) Vapor Barrier...

5622

2022 Single-Family Residential Mandatory Requirements Summary

- 110.0B(1) Space Conditioning System Airflow Rate and Fan Efficiency... 110.0B(2) Space Conditioning System Airflow Rate and Fan Efficiency... 110.0B(3) Space Conditioning System Airflow Rate and Fan Efficiency... 110.0C(1) Ventilation and Indoor Air Quality... 110.0C(2) Ventilation and Indoor Air Quality... 110.0C(3) Ventilation and Indoor Air Quality... 110.0C(4) Ventilation and Indoor Air Quality... 110.0C(5) Ventilation and Indoor Air Quality... 110.0C(6) Ventilation and Indoor Air Quality... 110.0C(7) Ventilation and Indoor Air Quality... 110.0C(8) Ventilation and Indoor Air Quality... 110.0C(9) Ventilation and Indoor Air Quality... 110.0C(10) Ventilation and Indoor Air Quality... 110.0C(11) Ventilation and Indoor Air Quality... 110.0C(12) Ventilation and Indoor Air Quality... 110.0C(13) Ventilation and Indoor Air Quality... 110.0C(14) Ventilation and Indoor Air Quality... 110.0C(15) Ventilation and Indoor Air Quality... 110.0C(16) Ventilation and Indoor Air Quality... 110.0C(17) 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2022 Single-Family Residential Mandatory Requirements Summary

- 110.0B(1) Screw based luminaires... 110.0B(2) Light Sources in Enclosures or recessed luminaires... 110.0B(3) Light Sources in Enclosures or recessed luminaires... 110.0B(4) Light Sources in Enclosures or recessed luminaires... 110.0B(5) Light Sources in Enclosures or recessed luminaires... 110.0B(6) Light Sources in Enclosures or recessed luminaires... 110.0B(7) Light Sources in Enclosures or recessed luminaires... 110.0B(8) Light Sources in Enclosures or recessed luminaires... 110.0B(9) Light Sources in Enclosures or recessed luminaires... 110.0B(10) Light Sources in Enclosures or recessed luminaires... 110.0B(11) Light Sources in Enclosures or recessed luminaires... 110.0B(12) Light Sources in Enclosures or recessed luminaires... 110.0B(13) Light Sources in Enclosures or recessed luminaires... 110.0B(14) Light Sources in Enclosures or recessed luminaires... 110.0B(15) Light Sources in Enclosures or recessed luminaires... 110.0B(16) Light Sources in Enclosures or recessed 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project County of Orange Pre-Approved ADU Program OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION: revisions description Example Energy Calculations date 2024 project no. drawn by DESIGN PATH STUDIO sheet no. T24.2

**2022 Single-Family Residential Mandatory Requirements Summary**

|           |  |
|-----------|--|
| § 190.004 | <b>Energy Storage System (ESS) Ready.</b> All single-family residences must meet all of the following: Either ESS-ready retroconstruction equipment with back-up capacity of 60 ampere hours and four or more 200-ampere branch circuits, or dedicated metering from the main service to a submeter that supplies the branch circuits as § 190.004, at least four branch circuits must be identified and have four square centimeters of a single-pole disconnect to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amperes sufficient space must be reserved to allow future installation of a system transfer equipment/master switch within 3' of the main panelboard, with receptacles installed between the panelboard and the switch location to allow the connection of back-up power source. |
| § 190.005 | <b>Heat Pump Space Heater Ready.</b> Systems using gas or propane burners to serve individual dwelling units must include a dedicated ungrounded 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amperes with the break cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double-pole circuit breaker permanently marked as "For Future 240V Use."  |
| § 190.006 | <b>Electric Clothes Dryer Ready.</b> Systems using gas or propane burners to serve individual dwelling units must include a dedicated ungrounded 240V branch circuit wiring installed within 3' of the clothes dryer with circuit conductors rated at least 30 amperes with the break cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double-pole circuit breaker permanently marked as "For Future 240V Use."  |
| § 190.007 | <b>Electric Clothes Dryer Ready.</b> Clothes dryer locations with gas or propane burners to serve individual dwelling units must include a dedicated ungrounded 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amperes with the break cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double-pole circuit breaker permanently marked as "For Future 240V Use."  |

\*Exceptions may apply.

**HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY**

Project Name: Studio - Pre-Approved ADU Date: 3/11/2024  
 System Name: Floor Area: 385

| ENGINEERING CHECKS  | SYSTEM LOAD | COIL COOLING PEAK            |          | COIL HTG. PEAK |       |
|---|-------------|------------------------------|----------|----------------|-------|
|   |             | CFM                          | Sensibla | Latent         | CFM   |
| <b>Heating System</b>   |             |                              |          |                |       |
| Output per System   | 12,800      | Total Rooms Loads            |          |                |       |
| Total Output (Btu/h)  | 12,800      | 159                          | 3,411    | 177            | 110   |
| Output (Btu/h)  | 33.3        | Return Vented Lighting       |          |                |       |
| Return Air Ducts  |             |                              |          |                |       |
| Output per System   | 0           | Return Fan                   |          |                |       |
| Total Output (Btu/h)  | 12,800      | Ventilation                  |          |                |       |
| Output per System   | 0           | Supply Fan                   |          |                |       |
| Total Output (Btu/h)  | 12,800      | Supply Air Ducts             |          |                |       |
| Total Output (Btu/h)  | 12,800      | TOTAL SYSTEM LOAD            |          |                |       |
| Total Output (Btu/h)  | 375.3       | 3,411                        | 177      | 110            | 4,300 |
| <b>Air System</b>   |             |                              |          |                |       |
| CFM per System  | 0           | HVAC EQUIPMENT SELECTION     |          |                |       |
| Airflow (cfm)   | 0.00        | 11,447                       | 0        | 9,563          |       |
| Airflow (cfm/hqft)  | 0.00        |                              |          |                |       |
| Airflow (cfm/hqft)  | 0.00        |                              |          |                |       |
| Outside Air (%)   | 0.0%        | Total Adjusted System Output |          |                |       |
| Outside Air (cfm/hqft)  | 0.00        | 11,447                       | 0        | 9,563          |       |
| Note: values above given at ARI conditions                                    |             |                              |          |                |       |
| TIME OF SYSTEM PEAK   |             |                              |          |                |       |
| HEATING SYSTEM PSYCHROMETRICS (Airstream Temperature at Time of Heating Peak) |             |                              |          |                |       |
|   |             |                              |          |                |       |
| COOLING SYSTEM PSYCHROMETRICS (Airstream Temperature at Time of Cooling Peak) |             |                              |          |                |       |
|   |             |                              |          |                |       |

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project  
 County of Orange  
 Pre-Approved  
 ADU Program

OWNER NAME:  
 ADDRESS:  
 APN:  
 LEGAL DESCRIPTION:

revisions  
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description  
 Example  
 Energy  
 Calculations

date 2024

project no.

drawn by DESIGN PATH STUDIO

sheet no. T24.3