Accessory Dwelling Unit Studio Plan - 393 s.f. County of Orange, CA (FOR USE IN THE UNINCORPORATED COUNTY OF ORANGE)

TITLE SHEET T1.1 T1.2 EXTERIOR MATERIAL OPTIONS AS.1 SITE INFORMATION SITE PLAN (PROVIDED BY OWNER) AS.2 G0.1 CAL GREEN CHECKLIST G0.2 GENERAL NOTES G0.3 GENERAL NOTES A0.1 SCHEDULES A1.1 FLOOR PLAN/ ROOF PLAN CRAFTSMAN FLOOR PLAN / ROOF PLAN RANCH A1.2 FLOOR PLAN / ROOF PLAN SPANISH A1.3 A2.1 MECHANICAL/PLUMBING/ELECTRICAL PLANS A3.1 EXTERIOR ELEVATIONS CRAFTSMAN A3.2 EXTERIOR ELEVATIONS RANCH A3.3 EXTERIOR ELEVATIONS SPANISH A4.1 BUILDING SECTIONS CRAFTSMAN A4.2 BUILDING SECTIONS RANCH A4.3 BUILDING SECTIONS SPANISH A5.1 ARCHITECTURAL EXTERIOR WALL DETAILS SC A5.2 ARCHITECTURAL ROOF DETAILS STRUCTURAL NOTES & SPECIFICATIONS FOUNDATION AND FRAMING PLANS CRAFTSMAN FOUNDATION AND FRAMING PLANS RANCH S.3 FX FOUNDATION AND FRAMING PLANS SPANISH S.4 STRUCTURAL DETAILS S.5 ΕX STRUCTURAL DETAILS S.6 SAMPLE ENERGY CALC T24.1 T24.2 SAMPLE ENERGY CALC T24.3 SAMPLE ENERGY CALC **BUILDING INFORMATION** GOVERNING CODES: APPROVAL OF THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC). CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND THE COUNTY OF ORANGE MUNICIPAL CODE SITE ADDRESS: ADU ADDRESS ASSIGNED BY ORANGE COUNTY: ADI ALL GOVERNING AGENCY: COUNTY OF ORANGE, CA. OCCUPANCY GROUP: R3 STORIES: OF TYPE OF CONSTRUCTION: VB

SHEET INDEX

additional plan information provided by applicant:

Х	COMPLETED
	TITLE SHEET (T1.1) INFORMATION FILLED OUT
	FILL OUT TITLEBLOCK WITH OWNER NAME, ADDRESS, APN, AND LEGAL DESCRIPTION ON EACH SHEET
	SITE PLAN SHEET (AS.2) PROVIDED IN PLAN SET FOR CITY REVIEW
	<u>UPDATED</u> TITLE 24 ENERGY CALCULATION REPORT WITH CORRECT NAME, ADDRESS, AND EXACT ORIENTATION FOR SITE SPECIFIC CONDITIONS. OWNER MAY CONTACT THE ENTITY WHO PREPARED THE ORIGINAL REPORT (SHOWN ON T24.1) TO OBTAIN UPDATES TO THE REPORT.
	CONSTRUCTION AND DEMOLITION FORM
	HOLD HARMLESS AGREEMENT
	PHOTOVOLTAIC SYSTEM - THE PV SYSTEM MUST BE INSTALLED, OPERATIONAL AND FINAL <u>PRIOR</u> TO FINAL BUILDING INSPECTION AND APPROVAL FOR THE ADU. (WHEN REQUIRED) *IF THERE IS AN EXISTING PHOTOVOLTAIC SYSTEM OF SUFFICIENT SIZE ON THE MAIN HOUSE TO ACCOMMODATE THE NEW ADU THEN HOMEOWNER IS TO PROVIDE A REPORT STATING THE EXISTING SIZE OF THE PV PANEL
	MEP PERMIT REQUIRED FOR ADUS OVER 500SF
e	sterior style selection:
Х	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN RANCH
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN RANCH SPANISH
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN RANCH SPANISH Cterior wall material:
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN RANCH SPANISH Cterior wall material: SELECTION(S)
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN RANCH SPANISH Cterior wall material: SELECTION(S) STUCCO / COLOR
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN RANCH SPANISH Cterior wall material: SELECTION(S) STUCCO / COLOR STONE VENEER / COLOR
	SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING CRAFTSMAN RANCH SPANISH Cterior wall material: SELECTION(S) STUCCO / COLOR STONE VENEER / COLOR FIBER CEMENT - SIDING / COLOR

SEE EXAMPLE SITE PLAN, SHEET AS.2, FOR MORE INFORMATION OR AS REQUIRED BY STATE AND LOCAL LAWS.

ZONING INFORMATION	DIRECTORY	VICINITY MAP
CONTACT THE COUNTY OF ORANGE FOR THE INFORMATION BELOW https://myoceservices.ocgov.com/ PHONE:(714)573-6100	SITE PLAN & TITLE SHEET INFORMATION PREPARED BY:	PROVIDED BY OWNER
DNING :	COMPANY CONTACT PERSON	
/ERLAY :	ADDRESS	
CHOOL DISTRICT:	CITY STATE ZIP PHONE:	
t size :	EMAIL:	
ISTING HABITABLE SQ. FT. :	PROPERTY OWNER:	
ISTING FAR :	NAME ADDRESS	
X. ALLOWABLE FAR :	CITY STATE ZIP PHONE:	
POPOSED FAR :	EMAIL:	
OOR AREA OF GARAGE:	BUILDING DEPARTMENT:	
ISTING LOT COVERAGE:	ORANGE COUNTY PUBLIC WORKS	
LOWABLE LOT COVERAGE :	601 N. ROSS ST.	
ROPOSED LOT COVERAGE :	SANTA ANA, CA 92701 P. (714)667-8800	
T SLOPE :		
DU SETBACKS FROM PROPERTY LINE	PROJECT DESCRIPTION	
LOWED : FRONT- PROPOSED : FRONT- REAR- REAR-	NEW CONSTRUCTION OF A ONE STORY, STUDIO, 1 BATH, DETACHED 393 S.F. ACCESSORY DWELLING UNIT WITH PORCH AREAS USED BELOW:	
SIDE- SIDE- STREET SIDE- STREET SIDE-	CRAFTSMAN PORCH: 60 S.F. RANCH PORCH: 60 S.F. SPANISH PORCH: 60 S.F.	
DU SETBACKS FROM MAIN RESIDENCE	LEGAL DESCRIPTION	APN
LOWED : PROPOSED :		
F STREET PARKING REQUIRED: PROVIDED:		
	MENITAL INFORMATION TO BE COM	

REQUIRED SUPPLEIVIENTAL INFORMATION - TO BE COMPLETED BY OWNER deferred submittals - separate permit to be obtained by

a	pplicant:
Х	TO BE COMPLETED
	FIRE SPRINKLERS (WHEN REQUIRED)
ro	of material:
X	SELECTION
	ROOF COLOR OF PRINCIPAL DWELLING UNIT
	TRIM COLOR OF PRINCIPAL DWELLING (TRIM COLOR OF ADU TO MATCH PRINCIPAL DWELLING UNIT TRIM)
	CONCRETE TILE ROOF - EAGLE ROOF PRODUCTS INC IAMPO UES-ER 1900 MINIMUM 2-1/2:12 ROOF SLOPE. COLOR OF CONCRETE TILE ROOF
	ARCHITECTURAL GRADE SHINGLE - CERTAINTEED - ICC-ES ESR-3537 MINIMUM 2:12 ROOF SLOPE. COLOR OF ARCHITECTURAL GRADE SHINGLES
	OTHER ROOF MATERIAL / COLOR / ICC / UL:

lot size and impervious area:

Total Lot Size =
(Existing building footprint, patios, decks, hardscape, etc.)
Total Area of Existing Impervious Surfaces = (Existing building footprint, patios, decks, hardscape, etc.)
Total Area of New Impervious Surfaces = (Increase to building footprint, patios, decks, hardscape, etc.)
Total Area of Replaced Impervious Surfaces = (Replacement to building footprint, patios, decks, hardscape, etc.)

CONTACT LOCAL UTILITY COMPANIES REGARDING GAS AND ELECTRIC SERVICES TO THIS DETACHED ADU.

ADU MAY BE SUBJECT TO IMPACT FEES, INCLUDING, BUT NOT LIMITED TO SCHOOL, ROAD, AND PARK FEES. ADUS SHALL NOT BE USED FOR ANY SHORT TERM RENTALS: ADUS CAN BE RENTED/LEASED FOR MONTHLY OR YEARLY PERIODS ONLY

re sprinkler information:	X SELECTION
SELECTION	ADU TO HAVE NEW CONNECTION TO CITY SEWER MAIN
EXISTING RESIDENCE CURRENTLY HAS FIRE SPRINKLERS	ADU TO CONNECT TO EXISTING RESIDENCE SEWER LATERAL *IF EXISTING HOUSE HAS FOUR OR MORE TOILETS WITH AN EXISTING 3 INCH SEWER DRAIN
EXISTING RESIDENCE <u>DOES NOT</u> CURRENTLY HAVE FIRE SPRINKLERS PROPERTY IS LOCATED IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE	A SEPARATE CONNECTION TO THE CITY SEWER MAIN IS REQUIRED FOR THE NEW ADU. REFER TO CURRENT CPC SECTION 703.2 FOR PIPE SIZING REQUIREMENTS SHOW LOCATION AND SIZE OF EXISTING MAIN HOUSE SEWER LINE, 2% SLOPE REQUIRED FOR ALL NEW SEWER LINES, LIST NUMBER OF BATHROOMS IN EXITING HOME
PROPERTY <u>IS NOT</u> LOCATED IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE (VHSF2)	SEPTIC - REQUIRES REGIONAL WATER BOARD APPROVAL NEW SEPTIC TANKS WILL REQUIRE SEPARATE PLUMBING PERMIT AND SOILS REPORT.
NEW ADU IS REQUIRED TO HAVE FIRE SPRINKLERS IF THE EXISTING RESIDENCE HAS FIRE SPRINKLERS OR IS LOCATED IN VHFSZ. SEE NOTES ON A0.1 AND FIRE RATED DETAIL CHECKLIST ON THIS SHEET	DISTANCE TO CONNECTION
re rated details:	electrical service information:
X SELECTION	X SELECTION
ROOF EAVE DETAIL 1,2,3,5,6,7/A5.2	UPGRADED SERVICE
WALL FINISH DETAIL 9B,12B,15B/ A5.1	EXISTING SERVICE TO REMAIN
FIRE RATED DETAILS ABOVE ARE TO BE USED WHEN THE PROPERTY IS LOCATED IN THE VERY HIGH FIRE SEVERITY ZONE (VHFSZ) OR WHEN WALLS AND ROOF EAVES ARE LESS THAN 5 FT FROM PROPERTY LINE IN AN UNSPRINKLERED BUILDING OR LESS THAN 3 FT	NEW SERVICE
FROM PROPERTY LINE IN SPRINKLERED BUILDINGS PER TABLE R302.1(1) & R302.1(2). FIRE RATED DETAILS ABOVE ARE ALSO TO BE USED WHEN THE ADU IS LESS THAN 10 FT FROM THE MAIN DWELLING UNIT IN AN UNSPRINKLERED BUILDING OR LESS THAN 6 FT FROM THE MAIN DWELLING UNIT IN A SPRINKLERED BUILDING.	
vindow and trim color:	gas service information:
	X SELECTION
SELECTION	UPGRADED SERVICE
WINDOW COLOR OF PRINCIPAL DWELLING UNIT (WINDOW COLOR SELECTION BELOW FOR THE ADU IS TO MATCH PRINCIPAL DWELLING UNIT WINDOW COLOR)	EXISTING SERVICE TO REMAIN
WHITE	NEW SERVICE
	SIZE OF EXISTING SERVICE SIZE OF NEW SERVICE
TAN	off site work
DARK BRONZE	X SELECTION
OTHER WINDOW COLOR	
	YES
	IF YES, AN ENCROACHMENT PERMIT WILL BE REQUIRED FROM OC PUBLIC WORKS

APPLICANT AGREEMENT

APPLICANT AGREES TO PROVIDE ALL NECESSARY INFORMATION REQUIRED TO COMPLETE THESE CONSTRUCTION DOCUMENTS. MODIFICATIONS TO THE PERMIT READY DOCUMENTS PROVIDED BY DESIGN PATH STUDIO ARE TO BE DISCLOSED BY THE APPLICANT AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY MODIFICATIONS TO THESE CONSTRUCTION DOCUMENTS REQUIRES EACH SHEET TO BE SIGNED BY THE PERSON WHO MADE THE CHANGES. ANY ADDITIONAL SHEETS INCORPORATED INTO THESE DOCUMENTS ALSO REQUIRES A SIGNATURE BY THE PERSON WHO PREPARED THE INFORMATION. THE FOUNDATION DESIGN FOR THESE PERMIT READY CONSTRUCTION DOCUMENTS ASSUMES STANDARD SOILS CONDITIONS AND LEVEL TOPOGRAPHY, IF SITE SPECIFIC CONDITIONS REQUIRE A FOUNDATION DESIGN BEYOND WHAT IS PROVIDED IN THESE DOCUMENTS THEN THE APPLICANT IS TO PROVIDE A NEW FOUNDATION DESIGN WHICH COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER'S REPORT.

BY SIGNING BELOW THE APPLICANT AGREES TO AND AFFIRMS ALL STATEMENTS INCLUDED HEREIN AND WILL COMPLY WITH ALL LOCAL CODE REQUIREMENTS.

SIGNATURE:

EMERGENCY CONTACT

INCASE OF EMERGENCY CALL:

NAME: WORK PHONE: HOME PHONE:

CELL PHONE

HERS NOTES

. PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CF2R FORMS) SHALL BE POSTED WEATHER PROTECTED WITHIN BUILDING FOR REVIEW BY INSPECTORS - EES 10-103(A)3, 10-103(B)1.A - BY THE INSTALLING CONTRACTOR AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE SITE. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY WITH ITS OWN UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF1R FORM. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF2R FORMS ARE REVIEWED

AND APPROVED. 2. PROPERLY COMPLETED & ELECTRONICALLY SIGNED & REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED WEATHER PROTECTED WITHIN THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CE3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF3R IS REVIEWED AND APPROVED. EES 10-103(A)3, 10-103(B)1.A.

3. CF1R REGISTRATION FORMS ARE LOCATED ON THE PLANS. A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE. 4. HERS TESTS REQUIRED FOR THIS PROJECT ARE

QUALITY INSULATION INSTALLATION (QII), INDOOR AIR QUALITY VENTILATION, KITCHEN RANGE HOOD, VERIFIED REFRIGERANT CHARGE, AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.7), VERIFIED HEAT PUMP RATED HEATING CAPACITY, WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT2 (SC3.4.5, DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8)

KITCHEN RANGE HOOD CFM VERIFICATION(100 CFM & <= 3 SONES, CEC LISTED) IAQ MECHANICAL VENTILATION -STUDIO-26, 1BED-32 CFM, 2BED1BATH-45 CFM,

2BED2BATH-46 CFM, 3BEDA-59 CFM, 3BED-66 CFM 5. FOR IAQ FAN -ABOVE CFM REQUIRED FOR A CONTINUOUSLY OPERATING EXHAUST FAN. PROVIDE A TIMER SWITCH WITH A MANUAL OFF AND A SOUND RATING OF 1 SONE (3 SONES MAX FOR AN INTERMITTENT FAN). THIS FAN TO PROVIDE WHOLE BUILDING INDOOR AIR QUALITY VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. 6. SOLAR:

STUDIO - 1.4kWdc APPROXIMATE BASED ON INITIAL REPORTS 1 BEDROOM - 1.48kWdc APPROXIMATE BASED ON INITIAL REPORTS

2 BED 1 BATH - 2.10kWdc APPROXIMATE BASED ON INITIAL REPORTS 2 BED 2 BATH - 2.11kWdc APPROXIMATE BASED ON INITIAL REPORTS

3 BED A - 2.4kWdc APPROXIMATE BASED ON INITIAL REPORTS

3 BED B -2.46kWdc APPROXIMATE BASED ON INITIAL REPORTS 7. SPECIAL FEATURES: PV EXCEPTION 2: NO PV REQUIRED WHEN MINIMUM PV SIZE < 1.8 KWDC (SECTION 150.1(C)14) PV EXEMPTION BASED IN UPDATED ENERGY CALCULATIONS WITH SITE SPECIFIC INFORMATION.

ARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION (VERIFICATION DETAILS FROM VCHP STAFF REPORT, APPENDIX B, AND RA3) NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED

EXAMPLE GAS PIPE DIAGRAM TO BE UPDATED FOR SITE SPECIFIC CONDITIONS

NOTE: EXISTING GAS SERVICE AND METER SIZE TO BE PROVIDED BY HOMEOWNER AND UPDATED ISOMETRIC LAYOUT PROVIDED BY DESIGNER OF CHOICE. CFH & BTUS PROVIDED AS SUGGESTED LOADS. OWNER/DESIGNER IS TO PROVIDE ACCURATE INFORMATION. GAS PIPES BELOW GRADE SHALL BE POLYETHYLENE.

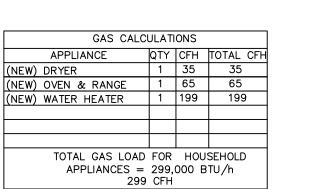
CPC TABLES FOR SIZING GAS PIPING SYSTEMS. TABLE 1215.2(1) THROUGH TABLE 1215.2(36) SHALL BE USED TO SIZE GAS PIPING IN CONJUNCTION WITH ONE OF THE METHODS DESCRIBED IN SECTION 1215.1.1 THROUGH SECTION 1215.1.3 ALLOWABLE GAS PIPING MATERIALS ABOVE GRADE

1208.6.3 METALLIC PIPE - CAST-IRON PIPE SHALL NOT BE USED. 1208.6.3.1 STEEL AND WROUGHT-IRON PIPE 1208.6.3.2 COPPER AND COPPER ALLOY PIPE 1208.6.3.3 ALUMINUM ALLOY PIPE

1208.6.4 METALLIC TUBING - SEAMLESS COPPER, ALUMINUM ALLOY, OR STEEL TUBING SHALL NOT BE USED WITH GASES CORROSIVE TO SUCH MATERIAL 1208.6.4.1 STEEL TUBING 1208.6.4.2 COPPER AND COPPER ALLOY TUBING 1208.6.4.3 ALUMINUM ALLOY TUBING 1208.6.4.3 ALUMINUM ALLOY TUBING 1208.6.4.4 CORRUGATED STAINLESS STEEL TUBING

1210.1.7 PLASTIC PIPING BE INSTALLED OUTDOORS, UNDERGROUND ONLY. PLASTIC PIP

(E)GAS METER -" PIPE BY PG&E --- CFH LENGTH)



SPECIFICATIONS FOR EQUIPMENT SHALL BE KEPT ON SITE TO PROVIDE TO COUNTY OF ORANGE BUILDING INSPECTOR

-" PIPE (N)DRYER 35 CFH (-' LENGTH) (N)RANGE – `& OVEN | 65 CFH -" PIPE (N)WH (-' LENGTH) 199 CFH

USE OF PROPANE TANKS REQUIRE OCFA APPROVAL.

0 _____ \square \supset S Т 4 Ω Ζ C S

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BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR E COUNTY OF ORANGE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE COUNTY OF ORANGE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES HAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS

OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOL DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS. SUITS LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO

COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS. DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project County of Orange Pre-Approved **ADU** Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description

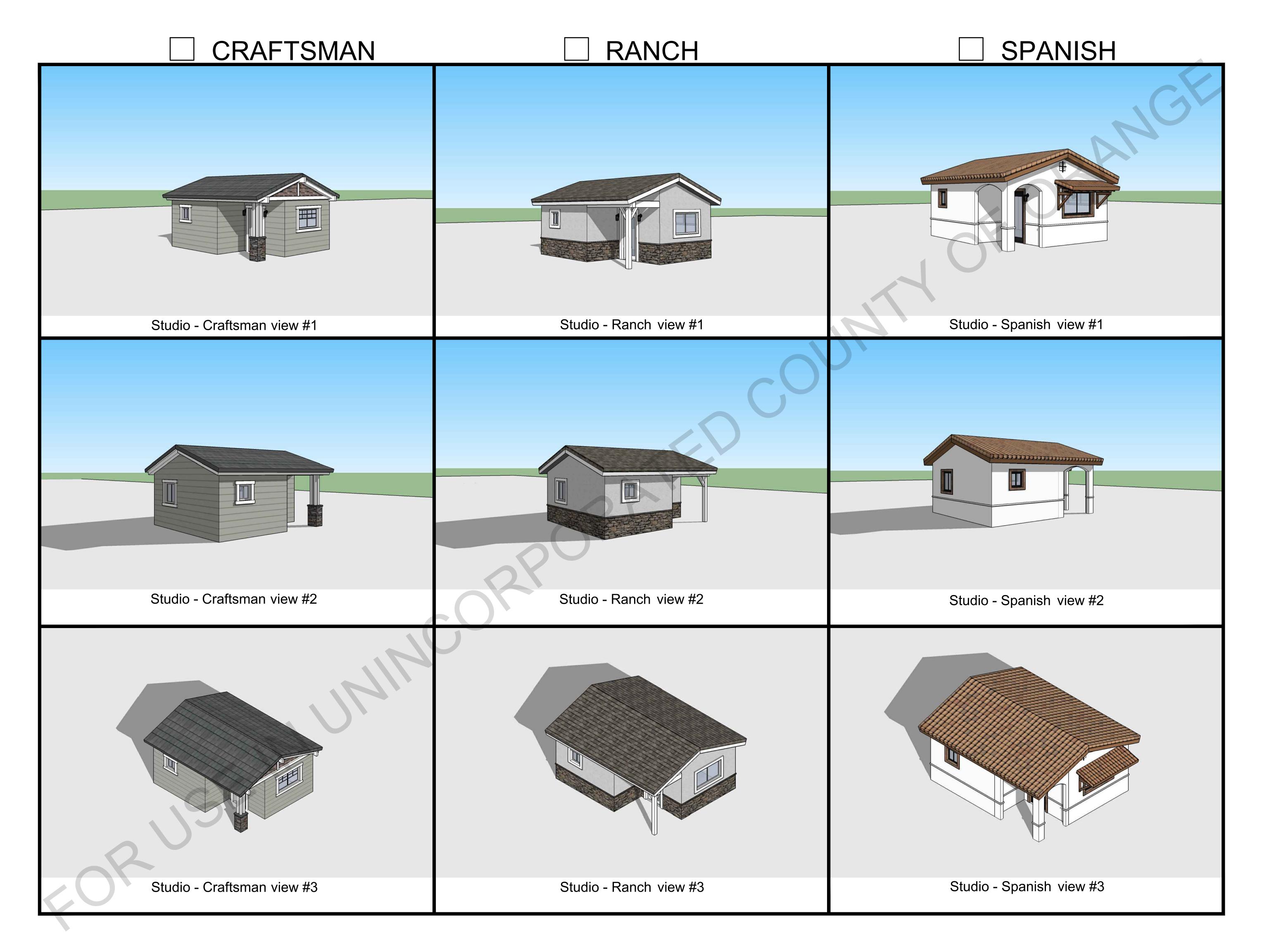
Title Sheet Studio

date 2024 project no.

DESIGN PATH STUDIO

sheet no.

drawn bv



U USING THESE PERMIT READY CONSTRUCTION U USING THE COUNTY OF ORANGE ONLY. THIS IS A LIMITED U OF OTHIS INFORMATION IS STRUCTED TO THE ORIGINAL PROJECT FOR WHICH WAS PERPARED FOR THE PERMIT READY U USING THESE PORTION DEPARTMENT BULDING CODES U CHANCE OVER THE AND RECIPIENT SHALL U INFORMATION RELEVANT TO THE SPOCIEST. U HE SECONSTRUCTION THIS FOCKATOR U USING THIS FOCKATION THIS FOCKATOR U UNITY OF ORANGE ONLY. THIS IS A LIMITED U OF TAIN STUDIO SHALL NOT BE RESPONSIBIL U INFORMATION RELEVANT TO THE RECOPIENT U THIS DOES NOT ELUMINATE OR REDUCE THI U THIS DOES NOT ELUMINATE OR REDUCE THE U THIS DOES NOT ELUMINATE ON THE SPOCIEST. U THE SEPONSIBILITY TO VERIFY ANY AND U INFORMATION RELEVANT TO THE RECOPIENT SHALL U THE COPIENT RECORNIZES AND ACKNOMEDICES U THANSLATION ERFORS NO NOT USE THESE U THANSLATION ERFORMATION WILL BE AT U THE INFORMATION CONTAINED THIS POCIEST. U THE INFORMATION CONTAINED THESE U USING PATH STUDIO AND UTHER THE EXPERIMIT HAS U THE INFORMATION CONTAINED THESE U USING THE RECOPIENT OR BY OTHERS U AND RESPONSIBILITY, FURTHERMORE, THE U EDES OF ANY NATURE, WHETHER EXPRESS U THE RECOPIENTS, OR COSTS U HELINCORMATION CONTAINED THERE ON ANY U HELINCORMATION CONTAINED THERE FOR ANY AND U THE INFORMATION CONTAINED THERE FOR THESE U DESONG THE PERMIT HORE SUBJECT TO U DEFEND, AND DEFEND, INDERVINES AND HERE U	E S
Project County of Orange Pre-Approved ADU Program OWNER NAME: ADDRESS: APN: EGAL DESCRIPTION:	

description Exterior Style Option: Select one option

2024

date

project no.

drawn by

DESIGN PATH STUDIO

Construction Runoff Guidance Manual

3.2 Minimum Site BMP Requirements

The following requirements are for deployment of selected construction BMPs and apply yearround (not just during the rainy season) to all projects.

- A. Pollution prevention where appropriate.
- B. Development and implementation of a site specific run-off management plan.
- C. Minimization of areas that are cleared and graded to only the portion of the site that is necessary for construction.
- D. Minimization of exposure time of disturbed soil areas.
- Minimization of grading during the wet season and correlation of grading with seasonal dry weather periods to the extent feasible.
- F. Limitation of grading to a maximum disturbed area as determined by the County / city before either temporary or permanent erosion controls are implemented to prevent stormwater pollution. The County / city has the option of temporarily increasing the size of disturbed soil areas by a set amount beyond the maximum, if the individual site is in compliance with applicable stormwater regulations and the site has adequate control practices implemented to prevent stormwater pollution.
- G. Temporary stabilization and reseeding of disturbed soil areas as rapidly as feasible.
- H. Non-stormwater management measures to prevent illicit discharges and control
- stormwater pollution sources.
- I. Erosion Control BMPs shall be implemented.
- Wind erosion control BMPs (dust control) shall be implemented.
- Sediment control BMPs shall be implemented at all appropriate locations along the site perimeter, at all operational storm drain inlets and at all non-active slopes.
- L. Tracking control BMPs to control off-site sediment tracking shall be implemented and maintained.
- M. Waste management and materials pollution control BMPs shall be implemented to prevent the contamination of stormwater by construction wastes and materials.
- N. Non-stormwater BMPs shall be implemented to reduce or prevent the contamination of stormwater from construction activities.
- O. Weather tracking: projects shall monitor the National Weather Service (www.weather.gov) probability of precipitation. When a rain event is predicted (forecast predicts a greater than 50% probability of precipitation), the project must be inspected and BMPs must be maintained or deployed as needed to protect the project from discharging pollutants. (CGP projects only)
- P. BMP failures must be repaired or replaced with an acceptable alternate as soon as it is safe to do so. Repairs or replacements must result in an adequate BMP, or additional BMPs should be installed to provide adequate protection.

EXISTING SWIMMING POOL REQUIREMENTS

WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL OR SPA OR THE REMODELING OF AN EXISTING SWIMMING POOL OR SPA AT A PRIVATE SINGLE-FAMILY HOME. THE RESPECTIVE SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH AT LEAST TWO OF THE FOLLOWING SEVEN DROWNING PREVENTION SAFETY FEATURES: (1) AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING

POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME. (2) REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)

SPECIFICATIONS F2286 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.

(3) AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921. (4) EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN." (5) A SELF-CLOSING. SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.

(6) AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY FEATURE.

(7) OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)

(B) BEFORE THE ISSUANCE OF A FINAL APPROVAL FOR THE COMPLETION OF PERMITTED CONSTRUCTION OR REMODELING WORK, THE LOCAL BUILDING CODE OFFICIAL SHALL INSPECT THE DROWNING SAFETY PREVENTION FEATURES REQUIRED BY THIS SECTION AND, IF NO VIOLATIONS ARE FOUND, SHALL GIVE FINAL APPROVAL

FIRE NOTES

December 2012

3. SITE PLAN SHALL PROVIDE DIMENSIONS SHOWING REQUIRED NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FORM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SECTION

ALL FIRE APPARATUS ROADS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NO LESS THAN 13 FEET 6 INCHES.

- Q. Active exposed areas: Sufficient materials needed to install standby erosion and sediment control BMPs necessary to protect all active exposed areas from erosion and to reduce or prevent sediment discharges shall be stored on site. The total active exposed area shall not exceed that which can be adequately protected by deploying standby erosion control and sediment control BMPs prior to a predicted rain event.
- Inactive exposed areas: All exposed areas not being actively worked in shall be protected from erosion with temporary or permanent BMPs (erosion and sediment control). The ability to deploy standby BMP materials is not sufficient for these areas; erosion and sediment control BMPs must actually be deployed.
- S. Completed areas: Areas that have already been protected from erosion using permanent erosion control BMPs (physical or vegetation) are not considered "exposed". Deployment of permanent erosion control BMPs should commence as soon as practical on completed areas.
- Preservation of natural hydrologic features where feasible.
- U. Preservation of riparian buffers and corridors where feasible.
- V. Evaluation and maintenance of all BMPs, until removed.
- W. Retention, reduction, and proper management of all stormwater pollutant discharges on site to the Maximum Extent Practicable (MEP) standard.

NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING
- STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM
- TACKING, OR WIND
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OR THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF. WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- 10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON- CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- 11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES. 12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY
- PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL
- DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED. 15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY
- DEVICES WHEN RAIN IS IMMINENT. 16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- 18. APPROPRIATE BMPS FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 24 FEET, EXCEPTIONS: 1. RESIDENTIAL DWELLINGS NOT IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SHALL HAVE MINIMUM OF

20 FEET OF UNOBSTRUCTED IMPROVED WIDTH. 2. SINGLE-FAMILY RESIDENTIAL DRIVEWAYS SERVING NO MORE THAN TWO SINGLE-FAMILY DWELLING SHALL HAVE A MINIMUM OF 16 FEET OF UNOBSTRUCTED IMPROVED WIDTH.

FIRE APPARATUS ACCESS ROADS. FIRE ACCESS ROADWAYS

GENERAL NOTES

- 1. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS 7.
- AND NOTES NOT SHOWN. 2. SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND
- LOCATIONS. 3. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS). THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (I.E. 7/8" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK MEASUREMENT. THE FIELD INSPECTOR WILL ADD THE PLANNED WALL FINISH THICKNESS TO THE 9
- FOUNDATION SETBACK. 4. NEW ELECTRIC SERVICE IS TO BE LOCATED - POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER 10. FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS
- 5. LANDSCAPE AND IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS
- ADU WILL BE CONNECTED TO THE PUBLIC SEWER SYSTEM OR WILL PROVIDE A COMPLYING SEPTIC SYSTEM.

CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND SHORING AND UNDERPINNING. A DIMENSIONED SITE PLAN DRAWN TO SCALE SHALL BE PROVIDED SHOWING THE FOLLOWING: NORTH ARROW, PROPERTY LINES, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS, AND STRUCTURES, LOCATION OF YARDS USED FOR ALLOWABLE INCREASE OF BUILDING AREA, DIMENSIONED SETBACKS, MINIMUM SEPARATION FROM EXISTING STRUCTURES AND FUEL MODIFICATION ZONES PER UNIFORM

ADMINISTRATIVE CODE SECTION 302. IF A GRADING PLAN IS REQUIRED, INCORPORATE THE ENTIRE APPROVED GRADING PLAN/IMPROVEMENT PLAN (ALL SHEETS) WITH THE BUILDING PLANS. PROJECTIONS, INCLUDING EAVES, MUST BE AT LEAST 24" FROM PROPERTY LINES.

GREEN BUILDING CODE NOTES SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER

- ARE CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPT.
- AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.
- INTERIOR MOISTURE CONTROL AT SLAB ON GRADE FLOORS SHALL BE PROVIDED BY THE SOIL ENGINEER. IF A SOIL ENGINEER HAS NOT PREPARED A SOIL REPORT FOR THIS PROJECT, THE FOLLOWING IS REQUIRED: A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, WITH A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED.

Orange County Stormwater Program

THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE

AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE

13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE

SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM

FIRE ACCESS ROADWAYS

 SURFACE FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS NOT LESS THAN 75,000 LBS AND SHALL BE PROVIDED WITH AN APPROVED PACED SURFACE TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. GATED ENTRANCES WITH CARD READERS, GUARD STATIONS

OR CENTER MEDIANS, WHICH WILL HAVE SEPARATED LANES OF ONE-WAY TRAFFIC, SHALL BE NOT LESS THAN 14 FEET WIDE PER LANE.

AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT

2. 65 % OF CONSTRUCTION WASTE IS TO BE RECYCLED.

VOC'S MUST COMPLY WITH THE LIMITATION LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3, AND 4.504.4 FOR: ADHESIVES, PAINTS

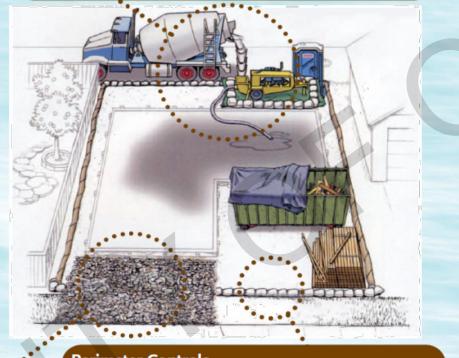
MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE LISTED METHODS LISTED IN CGC SECTION 4.503.3

6. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVEN TO THE BUILDING DEPT OFFICIAL TO BE FILED WITH THE APPROVED PLANS

7. LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS.

Best Management Practices for Construction Sites

Concrete Trucks/Pumpers Pumpers must be surrounded by perimeter controls, such as gravel bags, sandbags, and straw wattles. Tarps also must be placed beneath concrete pumpers at all times to prevent spills into the street and sidewalk. Residual materials must be cleaned up as well. Trucks and pumpers are required to clean out in the washout area, not in the street, catch basin or a wheelbarrow.



Perimeter Controls Gravel bags, silt fences and straw wattles are acceptable perimeter controls and must be used to control site run-or and runoff. Avoid running over perimeter controls with vehicles or heavy equipment, as they can damage the materials. Keep extra absorbent materials and/or a wet/dry vacuum onsite to quickly pick up spills. Sites ust be checked and maintained daily

Tracking Controls

All entrances/exits on the site must have coarse gravel (1" to 3' angular material) and/or steel shaker plates to limit offsite sedi ment tracking. Hand or mechanical sweeping must also be used as needed to clean up any material that gets tracked offsite.

Figure 2: Typical Construction Site BMPs (Graphic provided by the City of San Clemente)

December 2023

 EXISTING LEGAL LOTS THAT HAVE EASEMENTS ACCESS ROADWAYS LESS THAN 20 FEET WIDE THAT PROVIDE PRIMARY ACCESS TO OTHER LOTS SHALL RECORD A COVENANT GRANTING EASEMENT RIGHTS FOR EMERGENCY VEHICLE INGRESS AND EGRESS PURPOSES AND SHALL RELINQUISH RIGHTS TO BUILD ANY BUILDING, WALL, FENCE, OR OTHER STRUCTURE WITHIN 5 FEET OF THE EXISTING ACCESS EASEMENT. ALL DEAD END FIRE APPARATUS ACCESS ROADWAY IN EXCESS OF 150 FEET IN LENGTH SHALL BE

PROVIDED WITH AND APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. ACCESS ROADS SERVING MORE THAN (4) FOUR DWELLING UNITS SHALL BE PROVIDED WITH A CUL-DE-SAC. THE MINIMUM UNOBSTRUCTED PAVED RADIUS WIDTH FOR A CUL-DE-SAC SHALL BE 36 FEET CURB LINE TO CURB LINE WITH NO PARKING. ALTERNATE TYPES OF TURN-AROUND (HAMMERHEADS, ETC.) MAY BE CONSIDERED BY THE FIRE MARSHAL AS NEEDED TO ACCOMPLISH THE INTENT OF THE FIRE CODE.

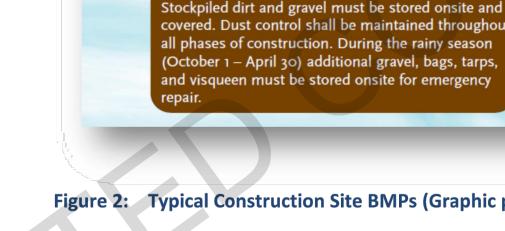
> 8. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASIN. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2.

THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2.

CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE 10. THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FORM MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.0

> 11. DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1

12. BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT.



isposed of properly.

Dirt and Grading

Washout Areas

Earthmoving Equipment

immediately

All earthmoving equipment must be stored onsite. Drip

pans must be placed under equipment not in use, and maintenance must be conducted onsite instead of in the

street. Any leaks should be cleaned up and repaired

Disposal of "wet" construction materials should be han

dled in the washout area. This includes paint, stucco,

and concrete. Use a plastic-lined pit to collect and con-

tain liquids and prevent runoff into the street and gutter

daily to ensure compliance. Washout material must be

The washout area must be checked and maintained

Orange County Stormwater Program

Dumpsters and Portable Toilets Dumpsters must be covered with a tarp at the end of each work day and area around dumpster must be kept clean. Dumpsters must be located onsite unless an Encroachment Permit is obtained for placement in street. Portable toilets must have drip pans and be placed onsite so that any spills do not discharge offsite

> Building Materials/Staging Areas Construction materials (including landscape materials)

must be stored onsite. Building materials must be covered when not in use to prevent runoff caused by wind



Liquid Storage

Paints, solvents, fuel and other liquids stored onsite must be contained and covered. It is illegal for contractors to wash out or dump liquid waste or residue in the street, storm drain or sewer. Use washouts or hazardous material drums to contain liquid waste and residue and dispose of this material properly.

Construction Runoff Guidance Manual

4. SECURITY GATES: AN AUTOMATIC GATE ACROSS A FIRE ACCESS ROADWAY OR DRIVEWAY SHALL BE EQUIPPED WITH AN APPROVED EMERGENCY KEY-OPERATED SWITCH OVERRIDING ALL COMMAND FUNCTIONS AND OPENING THE GATE. WHERE THIS SECTION REQUIRES AN APPROVED KEY-OPERATED SWITCH, IT MAY BE DUAL-KEYED OR EQUIPPED WITH DUAL SWITCHES PROVIDED TO FACILITATE ACCESS BY LAW ENFORCEMENT PERSONNEL. (CFC SECTION 503.6 AMENDMENT)

ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED A MINIMUM OF 30 FEET FROM THE NEAREST EDGE OF THE ROADWAY AND SHALL BE AT LEAST TWO FEET WIDER THAN THE WIDTH OF THE TRAFFIC LANE(S) SERVING THE

DIVISION 2 - SITEWORK

1. SITE PREPARATION PROJECT IS TO BE STAKED OUT FOR OWNER APPROVAL BEFORE FOR EARTHWORKIS TO

2. SITE CLEARING CONTRACTOR WILL VERIFY WITH OWNER ALL PLANTING TO BE REMOVED PRIOR TO STARTING WORK.

3. LINES AND LEVELS

THE CONTRACTOR WILL VISIT THE SITE AND EVALUATE GRADE CONDITION. FOR BIDDING PURPOSES, THE CONTRACTOR WILL CALCULATE HIS OWN CUT AND FILL QUANTITIES BASED ON THE SITE PLAN.

4. SHORING IS TO BE PROVIDE AS REQUIRED

5. EARTH WORK

a. REMOVE AND RECOMPACT LOOSE TOPSOIL AND SLIGHTLY ALTER THE EXISTING TOPOGRAPHY. ALL GRADING SHOULD BE PERFORMED IN ACCORDANCE WITH THE CITY OF ENCINITAS GRADING ORDINANCE b. THE CONTRACTOR IS TO VERIFY THE LOCATION OF UTILITY SERVICE IN THE AREA PRIOR

TO EXCAVATION. c. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL FINISH GRADES ARE TO SLOPE AWAY FROM THE BUILDING AND EXTERIOR PAVING 1/4" PER FOOT MINIMUM FOR A MINIMUM DISTANCE OF 5'-0". LOT DRAINAGE TO AVOID POOLING AT BUILDING.

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COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS. DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

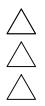
County of Orange Pre-Approved **ADU** Program

OWNER NAME:

ADDRESS: APN:

LEGAL DESCRIPTION:

revisions



description Site

Information

date

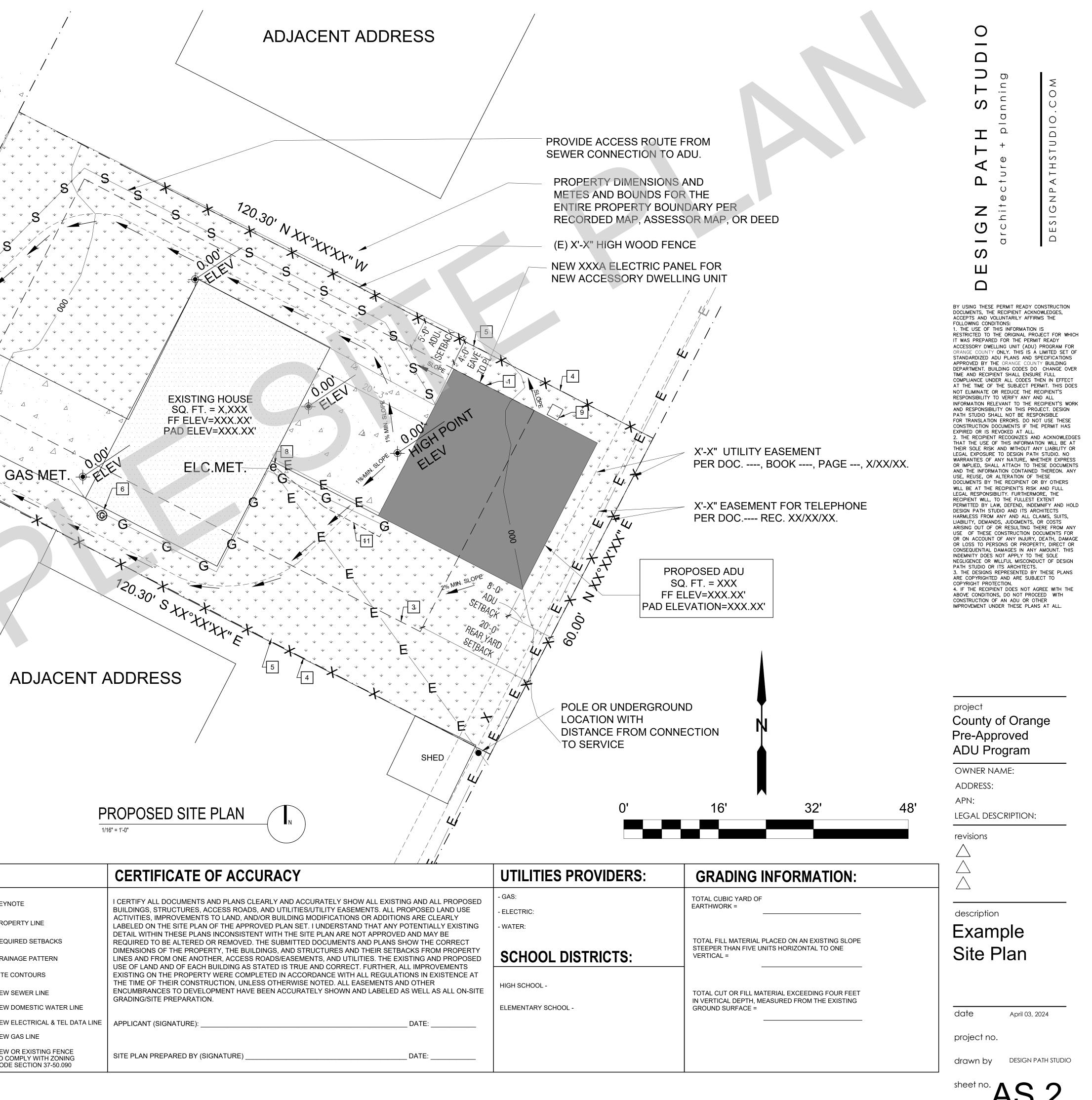
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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

	RESIDENTIAL		
Y N/A RESPON. PARTY	CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL	Y N/A RESPON. PARTY	4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory F not exceed 1.2 gallons per minute at not be less than 0.8 gallons per minu
	301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code,		4.303.1.4.2 Lavatory Faucets in Constraints 4.303.1.4.3 Metering Faucets No
	but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		4.303.1.4.4 Kitchen Faucets. The per minute at 60 psi. Kitchen faucets to exceed 2.2 gallons per minute at 6 minute at 60 psi.
	The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.		Note: Where complying faucets are reduction. 4.303.1.4.5 Pre-rinse spray valves.
	Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.		4.303.2 Submeters for multifamily buildings ar buildings NOT USED 4.303.3 Standards for plumbing fixtures and fi
	Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		accordance with the <i>California Plumbing Code</i> , an 1701.1 of the <i>California Plumbing Code</i> . NOTE: THIS TABLE COMPILES THE DATA IN SI
	301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] - NOT USED SECTION 302 MIXED OCCUPANCY BUILDINGS		CONVENIENCE FOR THE USER. TABLE - MAXIMUM FIXTURE W FIXTURE TYPE
	302.1 MIXED OCCUPANCY BUILDINGS NOT USED DIVISION 4.1 PLANNING AND DESIGN		SHOWER HEADS (RESIDENTIAL)
	ABBREVIATION DEFINITIONS:HCDDepartment of Housing and Community DevelopmentBSCCalifornia Building Standards CommissionDSA-SSDivision of the State Architect, Structural Safety		LAVATORY FAUCETS IN COMMON & PUI USE AREAS KITCHEN FAUCETS
	OSHPDOffice of Statewide Health Planning and DevelopmentLRLow RiseHRHigh RiseAAAdditions and AlterationsNNew		METERING FAUCETS WATER CLOSET URINALS
	CHAPTER 4 RESIDENTIAL MANDATORY MEASURES SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)		4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN I a local water efficient landscape ordinance or the Efficient Landscape Ordinance (MWELO), whiche NOTES:
	 FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also 		 The Model Water Efficient Landscape O Title 23, Chapter 2.7, Division 2. MWEL available at: https://www.water.ca.gov/
	 used for perimeter and inlet controls. 4.106 SITE DEVELOPMENT 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. 		DIVISION 4.4 MATERIAL C EFFICIENCY 4.406 ENHANCED DURABILITY AN
	4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.		 4.406.1 RODENT PROOFING. Annular spaces a sole/bottom plates at exterior walls shall be openings with cement mortar, concrete ma agency. 4.408 CONSTRUCTION WASTE REMARKS Set 10.1011 (Sec 10.1011)
	 Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. Compliance with a lawfully enacted storm water management ordinance. 		 4.408.1 CONSTRUCTION WASTE MANAGEME percent of the non-hazardous construction 4.408.2, 4.408.3 or 4.408.4, or meet a more management ordinance. Exceptions:
	Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)		 Excavated soil and land-clearing debris Alternate waste reduction methods devirecycle facilities capable of compliance close to the jobsite.
	 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 		 The enforcing agency may make excep jobsites are located in areas beyond th 4.408.2 CONSTRUCTION WASTE MANAGEME in conformance with Items 1 through 5. The
	 Swales Water collection and disposal systems French drains Water retention gardens Other water measures which keep surface water away from buildings and aid in groundwater recharge. 		 necessary and shall be available during cor 1. Identify the construction and demolition reuse on the project or salvage for futur 2. Specify if construction and demolition w bulk mixed (single stream). 3. Identify diversion facilities where the co
	 Exception: Additions and alterations not altering the drainage path. 4.106.4 Electric vehicle (EV) charging for new construction NOT USED 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities NOT USED 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing 		taken.4. Identify construction methods employed generated.5. Specify that the amount of construction by weight or volume, but not by both.
	multifamily buildings NOT USED DIVISION 4.2 ENERGY EFFICIENCY		4.408.3 WASTE MANAGEMENT COMPANY. Use nforcing agency, which can provide verifiademolition waste material diverted from the
	 4.201 GENERAL 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards. 		 Note: The owner or contractor may make to materials will be diverted by a waste manager. 4.408.4 WASTE STREAM REDUCTION ALTER weight of construction and demolition waster.
	DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 4.303 INDOOR WATER USE		Ibs./sq.ft. of the building area shall meet the Section 4.408.1
	 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.4.4. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving 		weight of construction and demolition waste per square foot of the building area, shall m requirement in Section 4.408.1
	plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		4.408.5 DOCUMENTATION. Documentation sha compliance with Section 4.408.2, items 1 th Notes:
	4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.		 Sample forms found in "A Guide (Residential)" located at www.hc documenting compliance with thi Mixed construction and demolitio Department of Resources Recyc
	 Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals NOT USED 4.303.1.3 Showerheads. 		4.410 BUILDING MAINTENANCE A 4.410.1 OPERATION AND MAINTENANCE MAN disc, web-based reference or other media a following shall be placed in the building:
	4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.		 Directions to the owner or occupant tha life cycle of the structure. Operation and maintenance instructions a. Equipment and appliances, inclu-
	 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 		photovoltaic systems, electric vel appliances and equipment. b. Roof and yard drainage, including c. Space conditioning systems, inclu d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and
			resource consumption, including recycl

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE FULL CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE CALIFORNIA GREEN BUILDING VERIFICATION WITH THE FULL CODE.

Public transportation and/or carpool options available in the area. N/A RESPON PARTY N/A RESPO PART 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent / Faucets. The maximum flow rate of residential lavatory faucets shall and what methods an occupant may use to maintain the relative humidity level in that range. at 60 psi. The minimum flow rate of residential lavatory faucets shall Information about water-conserving landscape and irrigation design and controllers which conserve inute at 20 psi. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 Common and Public Use Areas. - NOT USED feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, NOT USED painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. he maximum flow rate of kitchen faucets shall not exceed 1.8 gallons 10. A copy of all special inspections verifications required by the enforcing agency or this code. cets may temporarily increase the flow above the maximum rate, but not 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible at 60 psi, and must default to a maximum flow rate of 1.8 gallons per space around residential structures 12. Information and/or drawings identifying the location of grab bar reinforcements. are unavailable, aerators or other means may be used to achieve 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, es. - NOT USED corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. and dwelling units in mixed-used residential/commercial **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of fittings. Plumbing fixtures and fittings shall be installed in this section , and shall meet the applicable standards referenced in Table DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL SECTION 4.303.1, AND IS INCLUDED AS A 4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. WATER USE **SECTION 4.502 DEFINITIONS** FLOW RATE 5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) 1.8 GMP @ 80 PSI AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. PSI COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and PUBLIC 0.5 GPM @ 60 PSI medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 1.8 GPM @ 60 PSI 93120.1 0.2 GAL/CYCLE DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for 1.28 GAL/FLUSH combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. 0.125 GAL/FLUSH **MAXIMUM INCREMENTAL REACTIVITY (MIR).** The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O³/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 N LANDSCAPE AREAS. Residential developments shall comply with and 94701. he current California Department of Water Resources' Model Water hever is more stringent. **MOISTURE CONTENT.** The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). e Ordinance (MWELO) is located in the California Code Regulations, Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). ELO and supporting documents, including water budget calculator, are REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere **CONSERVATION AND RESOURCE VOC.** A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). AND REDUCED MAINTENANCE 4.503 FIREPLACES s around pipes, electric cables, conduits or other openings in **4.503.1 GENERAL**. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as be protected against the passage of rodents by closing such masonry or a similar method acceptable to the enforcing applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. REDUCTION, DISPOSAL AND RECYCLING 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING MENT. Recycle and/or salvage for reuse a minimum of 65 on and demolition waste in accordance with either Section **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final nore stringent local construction and demolition waste startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. leveloped by working with local agencies if diversion or 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the ice with this item do not exist or are not located reasonably requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: ceptions to the requirements of this section when isolated the haul boundaries of the diversion facility. 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air guality management district rules where MENT PLAN. Submit a construction waste management plan applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. The construction waste management plan shall be updated as Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic construction for examination by the enforcing agency. compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below. ion waste materials to be diverted from disposal by recycling, uture use or sale. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in waste materials will be sorted on-site (source separated) or units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including construction and demolition waste material collected will be prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507. yed to reduce the amount of construction and demolition waste 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of ion and demolition waste materials diverted shall be calculated the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss Utilize a waste management company, approved by the coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources ifiable documentation that the percentage of construction and Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in the landfill complies with Section 4.408.1. Table 4.504.3 shall apply. ke the determination if the construction and demolition waste 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR nagement company. Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of ERNATIVE [LR]. Projects that generate a total combined Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air aste disposed of in landfills, which do not exceed 3.4 Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation the minimum 65% construction waste reduction requirement in 8. Rule 49. **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the **ON ALTERNATIVE.** Projects that generate a total combined enforcing agency. Documentation may include, but is not limited to, the following: aste disposed of in landfills, which do not exceed 2 pounds I meet the minimum 65% construction waste reduction 1. Manufacturer's product specification. 2. Field verification of on-site product containers. shall be provided to the enforcing agency which demonstrates **4.504.3 CARPET SYSTEMS.** All carpet installed in the building interior shall meet the requirements of the 1 through 5, Section 4.408.3 or Section 4.408.4. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) de to the California Green Building Standards Code See California Department of Public Health's website for certification programs and testing labs. .hcd.ca.gov/CALGreen.html may be used to assist in https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. this section. lition debris (C & D) processors can be located at the California cycling and Recovery (CalRecycle). 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic AND OPERATION Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January **IANUAL.** At the time of final inspection, a manual, compact 2017 (Emission testing method for California Specification 01350) ia acceptable to the enforcing agency which includes all of the See California Department of Public Health's website for certification programs and testing labs. that the manual shall remain with the building throughout the https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. ons for the following: 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. cluding water-saving devices and systems, HVAC systems, vehicle chargers, water-heating systems and other major 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed , at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard ding gutters and downspouts. Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using cluding condensers and air filters. Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs. nd waste recovery providers on methods to further reduce ycle programs and locations. hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

		Y N/A RESPON. PARTY	= = =	YES NOT APPLICABLE RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)	
	.5 ENVIRONMEN				ທ
composite wood pr formaldehyde as sp	ITE WOOD PRODUCTS. Hardword roducts used on the interior or externation pecified in ARB's Air Toxics Contra tes specified in those sections, as	erior of the building ol Measure for Co	gs shal mposit	I meet the requirements for	
	ocumentation. Verification of cor			shall be provided as requested	
-	cing agency. Documentation shall		ne of th	e following:	
2. Ch 3. Pr CC 4. Ex W 01	roduct certifications and specificati hain of custody certifications. roduct labeled and invoiced as me CR, Title 17, Section 93120, et se xterior grade products marked as /ood Association, the Australian A 121, CSA 0151, CSA 0153 and CS ther methods acceptable to the er	eeting the Compos eq.). meeting the PS-1 S/NZS 2269, Euro SA 0325 standards	or PS-2 pean 6		Z Z
4.505 INTERIO	OR MOISTURE CONTRO)L	aliforn	ia Ruilding Standarda Cada	U U
	uildings shall meet or exceed the E SLAB FOUNDATIONS. Concre	-		-	
California Building Co	ode, Chapter 19, or concrete slab al Code, Chapter 5, shall also com	o-on-ground floors	require		
4.505.2.1 Cap following:	billary break. A capillary break sh	nall be installed in	complia	ance with at least one of the	
a va shrii ACI	apor barrier in direct contact with o inkage, and curling, shall be used. I 302.2R-06.	concrete and a cor . For additional inf	ncrete r formati	clean aggregate shall be provided with nix design, which will address bleeding, on, see American Concrete Institute,	BY USING THESE DOCUMENTS, THI ACCEPTS AND V
	er equivalent methods approved be a licensed lab design specified by a licensed				FOLLOWING CONI 1. THE USE OF RESTRICTED TO
shall not be installed		be enclosed when	the fra	ls with visible signs of water damage ming members exceed 19 percent owing:	IT WAS PREPARI ACCESSORY DWE THE COUNTY OF SET OF STANDA SPECIFICATIONS
moisture v found in Se	verification methods may be appro Section 101.8 of this code.	oved by the enforci	ng age	act-type moisture meter.Equivalent ency and shall satisfy requirements	ORANGE BUILDIN DO CHANGE OV ENSURE FULL C THEN IN EFFECT
of each pie	ece verified.	. ,		(1219 mm) from the grade stamped end and floor framing with documentation	PERMIT. THIS DO RECIPIENT'S RES ALL INFORMATIO
acceptable	e to the enforcing agency provided	d at the time of ap	proval	to enclose the wall and floor framing.	WORK AND RESI DESIGN PATH S FOR TRANSLATIO
	floor cavities. Wet-applied insulat			be replaced or allowed to dry prior to the manufacturers' drying	CONSTRUCTION EXPIRED OR IS 2. THE RECIPIEN THAT THE USE
4.506 INDOOR	AIR QUALITY AND EX exhaust fans. Each bathroom sha		wontil	atad and shall comply with the	THEIR SOLE RIS LEGAL EXPOSUR WARRANTIES OF
following:			y venu		OR IMPLIED, SH
	l be ENERGY STAR compliant an nctioning as a component of a who control.				USE, REUSE, OF DOCUMENTS BY WILL BE AT THE LEGAL RESPONS RECIPIENT WILL,
equ				lative humidity range less than or itilize manual or automatic means of	PERMITTED BY L DESIGN PATH S HARMLESS FROM LIABILITY, DEMA
b. A ĥu	ustment. umidity control may be a separate ggral (i.e., built-in)	component to the	exhau	st fan and is not required to be	ARISING OUT OF USE OF THESE OR ON ACCOUN
Notes:					OR LOSS TO PE CONSEQUENTIAL INDEMNITY DOES
tub/	the purposes of this section, a ba /shower combination.				NEGLIGENCE OR PATH STUDIO OI 3. THE DESIGNS
· ·	hting integral to bathroom exhaust	t tans shall comply	with th	e California Energy Code.	ARE COPYRIGHT COPYRIGHT PRO 4. IF THE RECIP
4.507.2 HEATING A				l air conditioning systems shall be s:	ABOVE CONDITIC CONSTRUCTION O IMPROVEMENT U
Load Calc	oss and heat gain is established a culation), ASHRAE handbooks or o ems are sized according to ANSI//	other equivalent de	esign s	oftware or methods.	

- ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods.
- **Exception:** Use of alternate design temperatures necessary to ensure the system functions are

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS

acceptable

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- State certified apprenticeship programs.
- 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations.
- 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
- 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state. national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

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RMIT READY CONSTRUCTION IPIENT ACKNOWLEDGES. ARILY AFFIRMS THE

INFORMATION IS ORIGINAL PROJECT FOR WHICH OR THE PERMIT READY UNIT (ADU) PROGRAM FO NGE ONLY. THIS IS A LIMITED D ADU PLANS AND OVED BY THE COUNTY OF PARTMENT. BUILDING CODES TIME AND RECIPIENT SHALL ANCE UNDER ALL CODES THE TIME OF THE SUBJEC OT ELIMINATE OR REDUCE THE

IBILITY TO VERIFY ANY AND LEVANT TO THE RECIPIENT'S BILITY ON THIS PROJECT. SHALL NOT BE RESPONSIBLE RORS. DO NOT USE THESE JMENTS IF THE PERMIT HAS KED AT ALL. COGNIZES AND ACKNOWLEDGES HIS INFORMATION WILL BE AT

WITHOUT ANY LIABILITY OR DESIGN PATH STUDIO. NO NATURE, WHETHER EXPRESS TTACH TO THESE DOCUMENTS N CONTAINED THEREON. ANY ERATION OF THESE RECIPIENT OR BY OTHERS PIENT'S RISK AND FULL FURTHERMORE, THE HE FULLEST EXTENT DEFEND, INDEMNIFY AND HOLD AND ITS ARCHITECTS AND ALL CLAIMS. SUITS

JUDGMENTS, OR COSTS RESULTING THERE FROM ANY TRUCTION DOCUMENTS FOR ANY INJURY, DEATH, DAMAGE S OR PROPERTY, DIRECT OF AGES IN ANY AMOUNT. THIS APPLY TO THE SOLE JL MISCONDUCT OF DESIGN ARCHITECTS RESENTED BY THESE PLANS ND ARE SUBJECT TO DOES NOT AGREE WITH THE DO NOT PROCEED WITH

ADU OR OTHER THESE PLANS AT ALL.

project

County of Orange Pre-Approved **ADU** Program

OWNER NAME:

ADDRESS:

APN:

EGAL DESCRIPTION:

revisions



description

Calgreen

date

project no.

drawn by

DESIGN PATH STUDIO

	ARCHITECTUAL GENERAL NOTES		ROOF NOTES (CONT'D)		FLOOR PLAN NOTES (CONT'D)	
	DO NOT SCALE THE DRAWING, USE THE DIMENSIONS ONLY. IF A DISCREPANCY IS FOUND TO EXIST, NOTIFY THE OWNER.	14.	FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN	19.	VOC'S MUST COMPLY WITH THE LIMITATION LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3, AND 4.504.4 FOR:	5.
2.	THESE PLANS/SPECIFICATIONS AND ALL WORK SHALL COMPLY WITH CURRENT EDITION OF STATE OF CALIFORNIA TITLE 24 CCR		AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL		ADHESIVES, PAINTS, STAINS, CAULKS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISHED	6. [
3.	AND CURRENT CPC, CMC AND CEC CODES. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF		ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.	20.	MATERIALS HAVE BEEN USED. INTERIOR MOISTURE CONTROL AT SLAB ON GRADE FLOORS	F
	ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND IS	15.	PER SECTION R806.5/EM3.9.6: a. IF INSULATION IS AIR PERMEABLE AND IT IS INSTALLED	20.	SHALL BE PROVIDED BY THE SOIL ENGINEER. IF A SOIL	7. <i>/</i>
	TO BE REVIEWED AND APPROVED BY THE COUNTY OF ORANGE.		DIRECTLY BELOW THE ROOF SHEATHING WITH RIGID BOARD OR SHEET INSULATION WITH A MINIMUM R-4 VALUE INSTALLED		PROJECT, THE FOLLOWING IS REQUIRED: A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH	ο. Ι
	VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND STAKE OUT STRUCTURE FOR OWNER'S APPROVAL PRIOR TO STARTING ANY WORK.		ABOVE THE ROOM SHEATHING. (OR) b. IF THE INSULATION IS AIR-IMPERMEABLE AND IS IN DIRECT		A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, WITH A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED.	0. [10. F
	ALL WEATHER-EXPOSED SURFACES ARE TO HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL		CONTACT WITH THE UNDERSIDE OF THE OF THE ROOF SHEATHING. (OR) c. IF TWO LAYERS OF INSULATION ARE INSTALLED BELOW THE	21.	MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE	١
	COVERING AND THAT EXTERIOR OPENINGS ARE TO BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.		ROOF SHEATHING: AN AIR-IMPERMEABLE LAYER IN DIRECT CONTACT WITH THE		IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE	11. F E
6.	SPECIFICATIONS FOR EQUIPMENT SHALL BE KEPT ON SITE TO PROVIDE TO THE COUNTY OF ORANGE BUILDING INSPECTOR		UNDERSIDE OF THE ROOF SHEATHING AND AN ADDITIONAL LAYER OF AIR PERMEABLE INSULATION IS TO BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION.		SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE	12. I
	AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY CONSTRUCTION, RECONSTRUCTION, OR CLOSURE OR THE		FLOOR PLAN NOTES	22.	OF THE LISTED METHODS LISTED IN CGC SECTION 4.503.3 PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE	13. I
	ROADWAY, SIDEWALK OR RIGHT OF WAY. APPLICANT SHALL CONTACT ENGINEERING DEPARTMENT TO PROCESS.	1. 2.	ALL DIMENSIONS TO FACE OF STUD, U.N.O. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING		CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION	E
8.	APPLICANT IS RESPONSIBLE TO PROVIDE SITE PLAN (PLOT PLAN) TO THE CITY FOR REVIEW AND APPROVAL.		WALL AT HINGED SIDE, U.N.O. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF		FORM AND GIVEN TO THE BUILDING DEPT OFFICIAL TO BE FILED WITH THE APPROVED PLANS	14. E
9.	APPLICANT IS RESPONSIBLE TO VERIFY WHETHER THE JOB SITE IS LOCATED WITHIN A FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD ZONE. PROJECTS LOCATED IN A SPECIAL FLOOD	0.	DRAWINGS. CONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY OWNER OF ANY	23.	BASED CONTROLLERS.	15. / L
	HAZARD AREA DESIGNATED ON THE FLOOD INSURANCE RATE MAP (FIRM) AS ZONE A OR AE, SHALL PROVIDE AN ELEVATION	4.	DISCREPANCIES. REFER TO FRAMING PLANS AND SECTIONS FOR CLARIFICATION	24.	PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION	16. F
10.	CERTIFICATE WITH SUPPORTED DOCUMENTS TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE. SUBMIT GRADING PLANS AND/OR PROVIDE ADU GRADING	5.	AND DIM. NOT SHOWN . ALL ROOF DRAIN PIPES TO BE MIN. 2" STORM DRAINAGE SYSTEM		BASIN. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC	17. F
	PERMIT EXEMPTION CHECKLIST FOR REVIEW AND APPROVAL AT TIME OF PERMIT APPLICATION.		UNLESS LOCAL CODE REQUIRES LARGER DRAIN SIZES. ROOF GUTTERS:		BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2.	Ę
11.	THE PV SYSTEM WILL BE SUBMITTED UNDER A SEPARATE PERMIT. A PHOTOVOLTAIC (SOLAR) SYSTEM BUILDING AND ELECTRICAL		STYLE A . INSTALLED AND DESIGNED IN ACCORDANCE WITH SMACNA MANUAL, PLATE #1,#2 & #3,GUTTER. PAGE 6 - 11, WIDTH AS REQUIRED TO HANDLE THE AMOUNT OF ROOF WATER	25.	THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT	
10	PERMIT SHALL BE ISSUED PRIOR TO ADU BUILDING FRAME INSPECTION REQUEST.			26.	REGULATES WASTE MANAGEMENT, PER CGC 4.408.2. THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FORM MAINTAINING APPLIANCES,	1. F
12.	SOIL REPORT REQUIREMENT: IF A SOILS REPORT IS REQUIRED BY THE LOCAL JURISDICTION, THE GEOTECHNICAL INVESTIGATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH CBC SECTION 1803.2		#7 <u>STYLE;</u> PLATE #2, STYLE A, PAGE 9 EXPANSION;PLATE #6, PAGE 16 &17		ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.0	F
	AND REPORTED IN ACCORDANCE WITH CBC SECTION 1803.6THE GEOTECHNICAL ENGINEER OF RECORD SHALL REVIEW THE CITY		HANGING; PLATE #19, FIG. C, PAGE 43. DOWN SPOUTS:	27.	DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE	2. /
	APPROVED PLANS FOR GENERAL CONFORMANCE WITH THE SOIL REPORT; OTHERWISE, AN ALTERNATE FOUNDATION PLAN DESIGNED BY A CALIFORNIA REGISTERED CIVIL ENGINEER IS		PLAIN RECTANGULAR.AS REQUIRED BY SMACNA MANUAL CHART #3, PAGE #3. SEE ARCHITECT FOR LOCATIONS OF DOWN SPOUTS. ALL DOWN SPOUTS ARE TO BE DESIGNED TO	28.	COVERED. CGC 4.504.1 BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED	Ē
		-	HANDLE THE AMOUNT OF ROOF WATER FOR MAXIMUM STORMS, SMACNA CHART #2, PAGE #2. DOWN SPOUTS ARE	29.	DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY	- - (
1.	ROOF NOTES FLASHINGS SHALL BE INSTALLED IN A MANNER THAT PREVENTS	-	TO DEPOSIT DIRECTLY OVER A NDS 6 INCH SQUARE, MODEL 641 OR APPROVED EQUAL.(SEE SECTION 02710 MORE INFORMATION)	20	MUST BE QUALIFIED AND ABEL TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.	3. E
	MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND	6.	TRANSITION OF FLOOR MATERIALS OCCURRING IN OPENINGS WITH DOORS TO BE LOCATED UNDER THE CENTER OF THE	30.	VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOC. PLANS, SPECIFICATION BUILDER OR INSTALLER CERTIFICATIONS, INSPECTIONS REPORTS, OR OTHER	k E
2.	OTHER PENETRATIONS THROUGH THE ROOF PLANE. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES, ROOF		DOOR IN THE CLOSED POSITION. TRANSITION OF FLOOR MATERIAL OCCURRING WITH NO DOOR TO BE LOCATED TO		METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH TO SHOW SUBSTANTIAL CONFORMATION.	4. / F
3.	DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF ROOF. ROOF ASSEMBLIES SHALL BE OF MATERIALS THAT ARE	7.	ALIGN WITH THE FACE OF THE PARTITION, U.O.N DIFFUSERS AND GRILLS TO MATCH COLOR OF SURFACE AT	31.	NEW SINGLE FAMILY RESIDENTIAL CONSTRUCTION SHALL BE DESIGNED FOR AGING-IN-PLACE DESIGN AND FALL PREVENTION	[
	COMPATIBLE WITH EACH OTHER AND WITH THE BUILDING OR STRUCTURE TO WHICH THE MATERIALS ARE APPLIED.	8.	WHICH THEY ARE MOUNTED, U.O.N. FLOOR FINISH TO CONTINUE UNDER MILLWORK WHERE FLOOR		PER R327 A) AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED. WHERE THERE IS	5. ¹
4.	BUILDING-INTEGRATED PHOTOVOLTAIC PRODUCTS INSTALLED AS THE ROOF COVERING SHALL BE TESTED, LISTED AND LABELED FOR FIRE CLASSIFICATION IN ACCORDANCE WITH		IS VISIBLE (I.E. TRASH, RECYCLING, ECT.) 8. SILICON SEALANT AT GLAZING TO BE CLEAR, U.O.N.		NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL	6. F
5.	SECTION R902.1 THROUGH R902.1.4. ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF	9.	PLUMBING, ELECTRICAL, AND SPRINKLER EQUIPMENT, IF REQUIRED TO BE PAINTED TO MATCH COLOR OF ADJACENT SURFACE.		COMPLY WITH THIS SECTION. B) REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING	F
	TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS	10.	ALL FINISH MATERIAL MUST MEET ALL APPLICATION FIRE, LIFE SAFETY, AND BUILDING CODES. 80% OF FLOOR AREA RECEIVING		AGENCY. C) REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH	F 7. (
	VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN		RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA. PARTICLE BOARD, MDF AND PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW		NOMINAL LUMBER. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39-1/4 INCHES ABOVE THE FINISHED	E
6.	ACCORDANCE WITH SECTION R905.1.1. CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF		FORMALDEHYDE EMISSION STANDARDS.		FLOOR FLUSH WITH THE WALL FRAMING. D) WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE	8. /
	SLOPES OF TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS	11.	OPERATION AND MAINTENANCE MANUAL: THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE		BACK WALL. E) SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE	F 9. (
	HORIZONTAL (25-PERCENT SLOPE) TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE	12.	TIME OF FINAL INSPECTION. WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE		WALL FRAMING IS PROVIDED. F) BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE	(
	UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.3.3.		SHALL BE A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS. CRC R703.7.2.1, CBC 2512.1.2		BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED	
7.	SLATE SHINGLES SHALL BE USED ONLY ON SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE) OR GREATER.	13.	FASTENERS AND CONNECTIONS (NAILS, ANCHORS BOLTS ECT) IN CONTACT WITH PRESERVATIVE -TREATED WOOD SHALL BE OF HOT -DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS		WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.	, , [
8.	THE MINIMUM SLOPE FOR STANDING-SEAM ROOF SYSTEMS SHALL BE ONE-QUARTER UNIT VERTICAL IN 12 UNITS		STEEL, SILICON BRONZE OR COPPER. (CRC R317.3, CBC 2304.10.5.1)		MECHANICAL NOTES	(10. \
q	HORIZONTAL (2-PERCENT SLOPE). BUILT-UP ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS	14.	ANCHOR BOLTS SHALL INCLUDE STEEL PLATE WASHERS A MIN. OF 0.229" X 3" X 3" IN SIZE, BETWEEN SILL PLATE AND NUT. (CRC	1.	SMOKE DETECTORS MUST BE PERMANENTLY WIRED. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE	
0.	THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE, EXCEPT FOR COAL-TAR	15	R602.11.1, CBC 2308.3.2 ACCEPTANCE ALTERNATIVE SDPWS 4.3.6.4.3)		SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE	-
	BUILT-UP ROOFS, WHICH SHALL HAVE A DESIGN SLOPE OF A MINIMUM ONE-EIGHTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (1-PERCENT SLOPE).	15.	FUTURE WATER HEATERS AND PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF SECTION 2-5314 AND TABLE 2-53G, TITLE 24, C.A.C.		ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A	[11. /
10.	MINERAL-SURFACED ROLL ROOFING SHALL NOT BE APPLIED ON	16.	15, 20 AND 30 AMP. RECEPTACLE OUTLETS SHALL BE INSTALLED NO MORE THAN 48" MEASURED FROM THE TOP OF OUTLET BOX	2	DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION.	۱2. ۱
	ROOF SLOPES BELOW ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (8-PERCENT SLOPE).	17	AND NOT LESS THAN 15" FROM THE BOTTOM OF OUTLET BOX ABOVE THE FLOOR.	2.	WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQ. IN EACH AREA. BATHROOMS SHALL HAVE AN EXHAUST FAN WITH	E
11.	MODIFIED BITUMEN ROOFING SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.	17.	SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE		HUMIDITY CONTROL SENSOR, MIN. 50 CFM CAPACITY. (CRC R303.3.)	13. l
12.	SINGLE-PLY MEMBRANE ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS		GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE	3.	HUMIDITY CONTROL SENSOR HAVING A MINI CARACITY OF 50	14. F
13.	HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE. A CLASS A ROOF ASSEMBLY SHALL BE INSTALLED. IF THE		CURRENTLY ENFORCED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPT.		CFM DUCTED TO TERMINATE OUTSIDE THE BLDG. (CRC R303.3, CAL GREEN 4.505.1, CBC 1203 .5.2.1, CMC 402.5	15. <i>i</i>
	APPLICANT DEVIATES FROM THE ROOF SPECIFICATIONS ON SHEET T1.1 THE APPLICANT SHALL PROVIDE A COPY OF THE ICC/UL LISTING	18.		4.	SUPPLY AND RETURN AIR DUCTS TO BE INSULATED AT A MIN. OF R-6. (CAL ENERGY CODE TABLE 150.1-A)	(F I
L					·	

MECHANICAL NOTES (CONT'D)

WHERE WHOLE HOUSE FANS ARE USED IN BATHROOT THE FAN MUST RUN CONTINUOUSLY AND SHALL NOT

- HUMIDITY CONTROL SENSOR. (CAL GREEN 4.506.1) ENVIRONMENTAL AIR DUCTS SHALL TERMINATE MIN. FROM PROPERTY LINE OR OPENINGS INTO BLDG., AN FROM A FORCED AIR INLET. (CMC 502.2.1)
- ALL HOSE BIBS ARE TO HAVE VACUUM BREAKERS. (C
- THE MAX. AMOUNT OF WATER CLOSETS ON A 3"
- HORIZONTAL DRAINAGE SYSTEM LINE IS 3 (CPC TABL THE MAX. AMOUNT OF WATER CLOSETS ON A 3" VERT
- DRAINAGE LINE IS 4. (CPC TABLE 703.2) PROVIDE GAS LINES WITH A MN. CAPACITY OF 200,000 WATER HEATER. (CAL ENERGY CODE 150.0(N)).
- PROVIDE A CONDENSATE DRAIN NO MORE THAN 2" AE BASE OF THE WATER HEATER SPACE. (CAL ENERGY C (N).
- INSULATE ALL HOT WATER PIPES. CAL ENERGY CODE (2), and CPC 609.11)
- 3. ISOLATION VALVES ARE REQ. FOR TANKLESS WATER ON THE HOT AND COLD SUPPLY LINES WITH HOSE BIE EACH VALVE, TO FLUSH THE HEAT EXCHANGER. (CAL CODE 110.3(7).
- EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIF BACK DRAFT DAMPERS
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATEL LIGHTING SYSTEMS. (CENC 150(K) 2B)
- PLUMBING FIXTURES AND FITTINGS INSTALLED IN RES BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE F SECTIONS 4.303.1.1 THROUGH 4.303.1.4.4.
- PLUMBING FIXTURES AND FITTINGS REQ. IN SECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CAL PLUMBING CODE AND SHALL MEET THE THE APPLICA REFERENCE STANDARDS.

ELECTRICAL NOTES

RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH ARTICLE 210.52. & CRC SECTION R327.1.2. TAMPER RE RECEPTACLE OUTLET LOCATIONS SHALL COMPLY W/ 210-52 AND 550.13 (I.E. ALL RECEPTACLES IN A DWELL

ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUS RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NI 210.12(A): KITCHENS, LAUNDRY AREAS, FAMILY, LIVING BEDROOMS, DINING, HALLS, ETC. ALL BRANCH CIRCU ARC FAULT CIRCUIT PROTECTED PER NEC ART. 210-1 THERE ARE TO BE A MINIMUM OF 2 SMALL APPLIANCE CIRCUITS WITHIN THESE AREAS CEC 210.11(C)1

- BATHROOM CIRCUITING SHALL BE EITHER: a) A 20 A
 CIRCUIT DEDICATED TO EACH BATHROOM.
 b) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONI
 BATHROOM RECEPTACLE OUTLETS PER NEC ART. 21
 ALL 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE
 RECEPTACLES INSTALLED IN BATHROOMS, GARAGES
 BASEMENTS, OUTDOORS, LAUNDRY AREA, KITCHEN
 DISHWASHERS, KITCHEN COUNTERS AND AT WET BAI
 WITHIN 6' OF A SINK, SHALL BE GFCI PROTECTED PER
 210-8(A).
- WEATHER RESISTANT TYPE FOR RECEPTACLES INST. DAMP OR WET LOCATIONS (OUTSIDE) NEC 406.4(D)(6)
- PER LIGHTING MEASURES 150(K)4 N T-24, THE BEDROOMS, HALLWAY, LIVING ROOM AND OFFICE ARE REQUIRED TO HAVE ANY INSTALLED FIXTURE TO BE ON A DIMMER SWITCH OR THE FIXTURE NEEDS TO BE HIGH EFFICACY.
- OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.
- A RECEPTACLE OUTLET MUST BE INSTALLED IN EVER SO THAT NO POINT ALONG THE WALL SPACE IS MORE FEET, MEASURED HORIZONTALLY ALONG THE FLOOR FROM A RECEPTACLE OUTLET CEC 210.52(A)
- SMOKE DETECTORS MUST BE PERMANENTLY WIRED. CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL R THEIR PRIMARY POWER FROM THE BUILDING WIRING SUCH WIRING IS SERVED FROM A COMMERCIAL SOUR SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMO ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED OVERCURRENT PROTECTION.
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED INSTALLED, THE SMOKE ALARMS SHALL BE INTERCOM SUCH A MANNER THAT THE ACTIVATION OF ONE ALAR ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL DWELL THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDR OVER BACKGROUND NOISE LEVELS WITH ALL INTERV DOORS CLOSED.
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATEL LIGHTING SYSTEMS. (CENC 150(K) 2B)
- A MINIMUM OF ONE LUMINAIRE SHALL BE INSTALLED BATHROOM CONTROLLED BY AN OCCUPANT OR VACA SENSOR PROVIDING AUTOMATIC -OFF FUNCTIONALLY .0(K)21)
- LAUNDRY AREA SHALL AT LEAST 1-20 AMP DEDICATED CIRCUIT (CEC 210 .11 (C)(2)
- PROVIDE A DEDICATED CIRCUIT FOR THE A.C./FAU (CE
- A DEDICATED 125V, 20AMP ELECTRICAL RECEPTACLE CONNECTED TO THE ELECTRICAL PANEL WITH A $\frac{120}{240}$ -CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, WIT FROM THE WATER HEATER AND ACCESSIBLE TO THE HEATER WITH NO OBSTRUCTIONS (CENC 150.0(N)1A)

OM AREAS.	ELECTRICAL NOTES (CONT'D) 16. PER CEC 2022 150.0(N).1.A.:	
T BE TIED TO	IF THE DESIGNATED SPACE IS WITHIN 3 FEET FROM THE WATER HEATER, THEN THIS SPACE SHALL INCLUDE THE FOLLOWING:A	
. 3 FEET ND 10'	DEDICATED 125 VOLT, 20 AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRIC PANEL WITH A 120/240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, WITHIN 3 FEET	
CPC603.5.7)	FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS; AND • BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE	
LE 703.2)	LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY ISOLATED; AND	
RTICAL	A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR THE BRANCH CIRCUIT IN A ABOVE AND LABELED WITH THE WORDS "FUTURE 240V USE"; AND	
ABOVE THE CODE 150.0	 A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP 	
E 150.0(j)	ASSISTANCE. 17. ELECTRICAL RECEPTACLE OUTLETS IN BATHROOM MUST BE NO MORE THAN 48 INCHES OR LESS THAN 15-INCHES MEASURE	
R HEATERS	 FROM THE FINISHED FLOOR. 18. DOORBELL BUTTON MUST BE INSTALLED NO MORE THAN 48 	
IBS ON L ENERGY	INCHES FROM EXTERIOR FLOOR.19.LUMINAIRE EFFICACY - ALL INSTALLED LUMINAIRES SHALL MEET	E
IPPED WITH	THE REQUIREMENTS OF 2022 BUILDING ENERGY EFFICIENCY STANDARDS TABLE 150.0-A PER SECTION 150.0(K).	А F 1 F
ELY FROM	ELECTRIC READY NOTES: 2022 ENERGY EFFICIENCY STANDARDS 150.0	ו ∧ ⊺
ESIDENTIAL		S C C
REQ. OF	(S) ENERGY STORAGE SYSTEMS (ESS) READY. ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE ONE OR TWO DWELLING UNITS SHALL	E
N 4.303.1	MEET THE FOLLOWING. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE:	R
LIFORNIA ABLE	1. AT LEAST ONE OF THE FOLLOWING SHALL BE PROVIDED: A. ESS READY INTERCONNECTION EQUIPMENT WITH A	n D F
	MINIMUM BACKED-UP CAPACITY OF 60 AMPS AND A MINIMUM OF FOUR ESS-SUPPLIED BRANCH CIRCUITS, OR	E 2
	B. A DEDICATED RACEWAY FROM THE MAIN SERVICE TO A	T L
	PANELBOARD (SUBPANEL) THAT SUPPLIES THE BRANCH CIRCUITS IN SECTION 150.0(S)(2). ALL BRANCH CIRCUITS	V C A
RESISTANT // NEC ART.	ARE PERMITTED TO BE SUPPLIED BY THE MAIN SERVICE PANEL PRIOR TO THE INSTALLATION OF AN ESS. THE	L D V
.LING). JST	TRADE SIZE OF THE RACEWAY SHALL BE NOT LESS THAN ONE INCH. THE PANELBOARD THAT SUPPLIES THE BRANCH CIRCUITS	L R F
NEC	(SUBPANEL) MUST BE LABELED "SUBPANEL SHALL INCLUDE ALL BACKED-UP LOAD CIRCUITS."	
NG, UITS WILL BE	2. A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE	A L C
·12(B). E BRANCH	IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE	C (
	SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED	N F J
AMPERE	NEAR THE PRIMARY EGRESS, AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET.	A C 4
NLY 210-11(c)3.	 3. THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS. 4. SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW 	A C II
S,	FUTURE INSTALLATION OF A SYSTEM ISOLATION	
AR SINKS,	EQUIPMENT/TRANSFER SWITCH WITHIN 3 FEET OF THE MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED	
R NEC ART.	BETWEEN THE PANELBOARD AND THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE	
TALLED IN 3)	CONNECTION OF BACKUP POWER SOURCE. (T) HEAT PUMP SPACE HEATER READY. SYSTEMS USING GAS OR	
	PROPANE FURNACE TO SERVE INDIVIDUAL DWELLING UNITS SHALL	-
RE	INCLUDE THE FOLLOWING: 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE	l (
0	INSTALLED WITHIN 3 FEET FROM THE FURNACE AND ACCESSIBLE TO THE FURNACE WITH NO OBSTRUCTIONS. THE BRANCH	F
E HIGH	CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL	
	ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.	-
RY ROOM RE THAN 6	2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED	
R LINE	SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE HEAT PUMP SPACE HEATER	
D. IN NEW	INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."	
RECEIVE G WHERE	(U) ELECTRIC COOKTOP READY. SYSTEMS USING GAS OR PROPANE COOKTOP TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE	-
JRCE AND	FOLLOWING: 1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE	
S ARE LOW.	INSTALLED WITHIN 3 FEET FROM THE COOKTOP AND	
D FOR	ACCESSIBLE TO THE COOKTOP WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 50 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V	
ED TO BE	READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.	-
NNECTED IN	2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A	
LLING UNIT. ROOMS	RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC	
VENING	COOKTOP INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."	
ELY FROM	(V) ELECTRIC CLOTHES DRYER READY. CLOTHES DRYER LOCATIONS WITH GAS OR PROPANE PLUMBING TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:	
	1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE CLOTHES DRYER	-
CANCY _Y (CENC 150	LOCATION AND ACCESSIBLE TO THE CLOTHES DRYER	_
,	LOCATION WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS	
ED BRANCH	MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE	ľ
CEC 422.12)	INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.	
.E THAT IS -VOLT 3	2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE	2
THIN 3 FEET	POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC CLOTHES DRYER	
	INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."	-

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BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE EQUIDMENC CONDUCTIONS:

FOLLOWING CONDITIONS: 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR E COUNTY OF ORANGE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE COUNTY OF ORANGE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

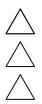
County of Orange Pre-Approved ADU Program

OWNER NAME:

ADDRESS: APN:

LEGAL DESCRIPTION:

revisions



description

General Notes

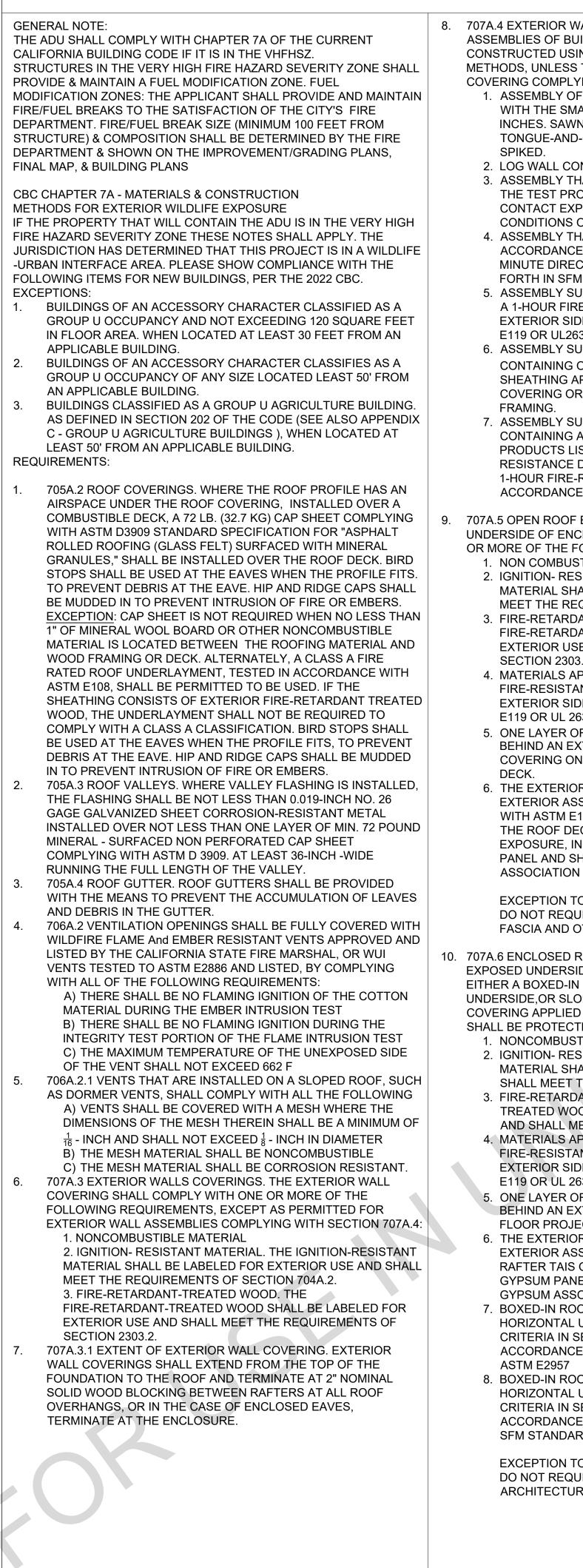
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project no.

drawn by

DESIGN PATH STUDIO

sheet no. G0.2



8. 707A.4 EXTERIOR WALL ASSEMBLIES. EXTERIO ASSEMBLIES OF BUILDINGS OR STRUCTURES CONSTRUCTED USING ONE OR MORE OF THE METHODS, UNLESS THEY ARE COVERED BY A

- COVERING COMPLYING WITH SECTION 707A. 1. ASSEMBLY OF SAWN LUMBER OR GLUE WITH THE SMALLEST MINIMUM NOMINA INCHES. SAWN OR GLUE-LAMINATED PL TONGUE-AND-GROVE, OR SET CLOSE
- 2. LOG WALL CONSTRUCTION ASSEMBLY
- 3. ASSEMBLY THAT HAS BEEN TESTED IN THE TEST PROCEDURES FOR A 10 MINU CONTACT EXPOSURE SET FORTH IN AS CONDITIONS OF ACCEPTANCE SHOWN
- 4. ASSEMBLY THAT MEET THE PERFORMA ACCORDANCE WITH THE TEST PROCED MINUTE DIRECT FLAME CONTACT EXPC FORTH IN SFM STANDARD 12-7A-1
- 5. ASSEMBLY SUITABLE FOR EXTERIOR FI A 1-HOUR FIRE RESISTANCE RATING. RA EXTERIOR SIDE, AS TESTED IN ACCORD E119 OR UL263
- 6. ASSEMBLY SUITABLE FOR EXTERIOR FI CONTAINING ONE LAYER OF à -INCH TYP SHEATHING APPLIED BEHIND THE EXTER COVERING OR CLADDING ON THE EXTE
- 7. ASSEMBLY SUITABLE FOR EXTERIOR E CONTAINING ANY OF THE GYPSUM PAN PRODUCTS LISTED IN THE GYPSUM ASS **RESISTANCE DESIGN MANUEL AS COM** 1-HOUR FIRE-RESISTANCE RATING, AS ACCORDANCE WITH ASTM E119 OR UL
- 707A.5 OPEN ROOF EAVES. THE EXPOSED RO UNDERSIDE OF ENCLOSED ROOF EAVES SHAI OR MORE OF THE FOLLOWING:
 - 1. NON COMBUSTIBLE MATERIAL
 - 2. IGNITION- RESISTANT MATERIAL. THE IG MATERIAL SHALL BE LABELED FOR EXT MEET THE REQUIREMENTS OF SECTION 3. FIRE-RETARDANT-TREATED WOOD. THE
 - FIRE-RETARDANT-TREATED WOOD SHA EXTERIOR USE AND SHALL MEET THE RI **SECTION 2303.2**
 - 4. MATERIALS APPROVED FOR NOT LESS FIRE-RESISTANCE-RATED CONSTRUCT EXTERIOR SIDE, AS TESTED IN ACCORD E119 OR UL 263
 - 5. ONE LAYER OF 5/8" TYPE X GYPSUM SHE BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIO
 - 6. THE EXTERIOR PORTION A 1- HOUR FIRE EXTERIOR ASSEMBLY, APPLIES AS TEST WITH ASTM E119 OR UL 263, APPLIED TO THE ROOF DECK DESIGNED FOR THE EX EXPOSURE, INCLUDING ASSEMBLES US PANEL AND SHEATHING PRODUCTS LIST ASSOCIATION FIRE RESISTANCE DEIGN

EXCEPTION TO SECTION 707A.5: THE FO DO NOT REQUIRE PROTECTION: FASCIA AND OTHER ARCHITECTURAL T

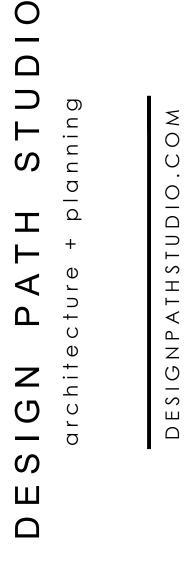
- 10. 707A.6 ENCLOSED ROOF EAVES AND ROOF E EXPOSED UNDERSIDE OF ENCLOSED ROOF E EITHER A BOXED-IN ROOF EAVE SOFFIT WITH UNDERSIDE, OR SLOPING RAFTER TAILS WITH COVERING APPLIED TO THE UNDERSIDE OF T SHALL BE PROTECTED BY ONE OR MORE OF
 - 1. NONCOMBUSTIBLE MATERIAL
 - 2. IGNITION- RESISTANT MATERIAL. THE IG MATERIAL SHALL BE LABELED FOR EXT SHALL MEET THE REQUIREMENTS OF SE
 - 3. FIRE-RETARDANT-TREATED-WOOD. THE TREATED WOOD SHALL BE LABELED FO AND SHALL MEET THE REQUIREMENTS
 - 4. MATERIALS APPROVED FOR NOT LESS FIRE-RESISTANCE-RATED CONSTRUCT EXTERIOR SIDE, AS TESTED IN ACCORD. E119 OR UL 263
 - 5. ONE LAYER OF 5/8" TYPE X GYPSUM SHE BEHIND AN EXTERIOR COVERING ON TH FLOOR PROJECTION.
 - 6. THE EXTERIOR PORTION A 1- HOUR FIRE EXTERIOR ASSEMBLY, APPLIED TO THE RAFTER TAIS OR SOFFIT, INCLUDING AS GYPSUM PANEL AND SHEATHING PRODU GYPSUM ASSOCIATION FIRE RESISTANCE
 - 7. BOXED-IN ROOF EAVE SOFFIT ASSEMBL HORIZONTAL UNDERSIDE THAT MEET T CRITERIA IN SECTION 707A.11 WHEN TES ACCORDANCE WITH THE TEST PROCED
 - 8. BOXED-IN ROOF EAVE SOFFIT ASSEMBL HORIZONTAL UNDERSIDE THAT MEET TI CRITERIA IN SECTION 707A.11 WHEN TES ACCORDANCE WITH THE TEST PROCED SFM STANDARD 12-7A-3

EXCEPTION TO SECTION 707A.6: THE FO DO NOT REQUIRE PROTECTION: FASCIA ARCHITECTURAL TRIM BOARDS

VERY HIGH FIRE SEVERITY ZONE (VHFSZ) NOTES

OR WALL S SHALL BE FOLLOWING AN EXTERIOR WALL S: LAMINATED WOOD L DIMENSION OF 4 ANKS SPLINED, TOGETHER AND WELL ACCORDANCE WITH JTE DIRECT FLAME TM E2707 WITH THE IN SECTION 707A.4.1. NCE CRITERIA IN DURES FOR A TEN SURE TEST SET RE EXPOSURE WITH ATED FROM THE DANCE WITH ASTM RE EXPOSURE PE X GYPSUM RIOR WALL RIOR SIDE OF THE XPOSURE EL AND SHEATHING SOCIATION FIRE	11.	 707A.7 EXTERIOR PORCH CEILINGS. THE EXPOSED UNDERSIDE OF THE EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE FOLLOWING: NON COMBUSTIBLE MATERIAL IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2 FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2 MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 ONE LAYER OF ⁵/₈" TYPE X GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119, APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL. PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957 PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957 PORCH CEILING ASSEMBLIES WITH A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3 	14.	 707A.10 UNDERSIDE OF APPENDAGES. WHEN REQUIRE ENFORCING AGENCY THE UNDERSIDE OF OVERHANGIN APPENDAGES SHALL BE ENCLOSED TO GRADE IN ACCO WITH THE REQUIREMENTS OF THIS CHAPTER OR THE L OF THE EXPOSED UNDER FLOOR SHALL CONSIST OF O FOLLOWING: NONCOMBUSTIBLE MATERIAL IGNITION- RESISTANT MATERIAL. THE IGNITION-I MATERIAL SHALL BE LABELED FOR EXTERIOR USE MEET THE REQUIREMENTS OF SECTION 704A.2 FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RE TREATED WOOD SHALL BE LABELED FOR EXTERIO SHALL MEET THE REQUIREMENTS OF SECTION 230 MATERIALS APPROVED FOR NOT LESS THAN 1-F FIRE-RESISTANCE-RATED CONSTRUCTION ON THE SIDE, AS TESTED IN ACCORDANCE WITH ASTM E112 ONE LAYER OF 5%" TYPE X GYPSUM SHEATHING BEHIND THE EXTERIOR COVERING ON THE UNDERS THE APPENDAGE PROJECTION THE EXTERIOR PORTION A 1- HOUR FIRE RESIST EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE ASTM E119 OR UL 263, APPLIED TO THE UNDERSIDI APPENDAGE, INCLUDING ASSEMBLES USING THE O PANEL AND SHEATHING PRODUCTS LISTED IN THE ASSOCIATION FIRE RESISTANCE DESIGN MANUAL. THE UNDERSIDE OF AN APPENDAGE ASSEMBLY MEETS THE PERFORMANCE CRITERIA IN SECTION WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957.
PLYING WITH A TESTED IN 263 DOF DECK ON THE	12.	EXCEPTION TO SECTION 707A.7: ARCHITECTURAL TRIM BOARDS DO NOT REQUIRE PROTECTION 707A.8 FLOOR PROJECTIONS. THE EXPOSED UNDERSIDE OF A CANTILEVER FLOOR PROJECTION WHERE A FLOOR ASSEMBLY		THE TEST PROCEDURES SET FORTH IN SFM_STAN 12-7A-3. EXCEPTION TO SECTION 707A.10: STRUCTURAL CO AND BEAMS DO NOT REQUIRE PROTECTION WHEN CONSTRUCTED WITH SAWN LUMBER OR GLUE-LAW
LL CONSIST OF ONE GNITION-RESISTANT ERIOR USE AN SHALL		 EXTENDS OVER AN EXTERIOR WALL SHALL BE PROTECTED BY ON OF THE FOLLOWING: 1. NONCOMBUSTIBLE MATERIAL 2. IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2 		WOOD WITH THE SMALLEST MINIMUM NOMINAL DIN 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SHA SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TO AND WELL SPIKED
E LL BE LABELED FOR EQUIREMENTS OF THAN 1-HOUR		3. FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2 4. MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR	15.	708A.2 EXTERIOR GLAZING. THE FOLLOWING EXTERIOR MATERIALS AND/OR ASSEMBLIES SHALL COMPLY WITH SECTION: 1. EXTERIOR WINDOWS 2. EXTERIOR GLAZED DOORS
ON ON THE DANCE WITH ASTM EATHING APPLIES		SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 5. ONE LAYER OF ⁵ / ₈ " TYPE X GYPSUM SHEATHING APPLIED BEHIND AND EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING 6. THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE		 GLAZED OPENINGS WITHIN EXTERIOR DOORS GLAZED OPENINGS WITHIN EXTERIOR GARAGE I EXTERIOR STRUCTURAL GLASS VENEERS SKYLIGHTS VENTS
OR OF THE ROOF E RESISTIVE TED IN ACCORDANCE D THE UNDERSIDE OF XTERIOR FIRE ING THE GYPSUM TED IN THE GYPSUM MANUAL.		EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119, APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL. 7. THE UNDERSIDE OF A FLOOR PROJECTIONS ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.10 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957.	16.	 708A.2.1 EXTERIOR WINDOWS AND EXTERIOR GLAZED I ASSEMBLY REQUIREMENTS: 1. BE CONSTRUCTED OF MULTI-PANE GLAZING WIT MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING 2. BE CONSTRUCTED OF GLASS BLOCK UNITS, OR 3. HAVE A FIRE-RESISTANT RATING OF NOT LESS T MINUTES WHEN TESTED IN ACCORDANCE TO NFPA 4. BE TESTED TO MEET THE PERFORMANCE REQU
OLLOWING MATERIALS RIM BOARDS		8. THE UNDERSIDE OF A FLOOR PROJECTIONS ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN THE SFM STD 12-7A-3.	17.	OF SFM STANDARD 12-7A-2. 708A.3 EXTERIOR DOORS. EXTERIOR DOORS SHALL CO ONE OF THE FOLLOWING:
AVE SOFFITS. THE AVES HAVING A HORIZONTAL AN EXTERIOR HE RAFTER TAILS, THE FOLLOWING: BNITION-RESISTANT ERIOR USE AND ECTION 704A.2 FIRE-RETARDANT OR EXTERIOR USE OF SECTION 2303.2 THAN 1-HOUR ON ON THE DANCE WITH ASTM EATHING APPLIED TE UNDERSIDE OF THE SEMBLES USING THE UNDERSIDE OF THE SEMBLES USING THE UNDERSIDE OF THE SEMBLES USING THE UNDERSIDE OF THE SEMBLES USING THE UCTS LISTED IN THE CE DESIGN MANUAL LES WITH A HE PERFORMANCE STED IN OURES SET FORTH IN		 EXCEPTION TO SECTION 707A.8: ARCHITECTURAL TRIM BOARDS DO NOT REQUIRE PROTECTION 707A.9 UNDERFLOOR PROTECTION. THE UNDERFLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING: NONCOMBUSTIBLE MATERIAL IGNITION- RESISTANT MATERIAL. THE IGNITION-RESISTANT MATERIAL SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 704A.2 FIRE-RETARDANT-TREATED-WOOD. THE FIRE-RETARDANT TREATED WOOD SHALL BE LABELED FOR EXTERIOR USE AND SHALL MEET THE REQUIREMENTS OF SECTION 2303.2 MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION ON THE EXTERIOR SIDE, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263 ONE LAYER OF ⁵/₈" TYPE X GYPSUM SHEATHING APPLIED BEHIND AND EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION THE EXTERIOR PORTION A 1- HOUR FIRE RESISTIVE EXTERIOR ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, APPLIED TO THE UNDERSIDE OF THE FLOOR, INCLUDING ASSEMBLES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL. THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN SECTION 707A.11 WHEN TESTED IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN ASTM E2957. THE UNDERSIDE OF A FLOOR ASSEMBLY THAT MEETS THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES SET FORTH IN SFM STANDARD 12-7A-3. 	18.	 THE EXTERIOR SURFACE OR CLADDING SHALL E NON-COMBUSTIBLE OR IGNITION-RESISTANT MATE THE EXTERIOR SURFACE OR CLADDING SHALL E RESISTANT MATERIAL TEH EXTERIOR DOOR SHALL BE CONSTRUCTED CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS: STILES AND RAILS SHALL NOT BE LESS THAN THICK. STAISED PANELS SHALL NOT BE LESS THAN 1 EXCEPT FOR THE EXTERIOR PERIMETER OF THE THAT SHALL BE PERMITTED TO TAPER TO A TON LESS THAN %" THICK. THE EXTERIOR DOOR SHALL HAVE A FIRE-RESIS RATING OF NOT LESS THAN 20 MINUTES WHEN TES ACCORDING TO THE NFPA 252. THE EXTERIOR SURFACE OR CLADDING SHALL E TO MEET THE PERFORMANCE IN SECTION 707A.3.1 TESTED IN ACCORDANCE WITH ASTM E2707. THE EXTERIOR SURFACE OR CLADDING SHALL E TO MEET THE PERFORMANCE REQUIREMENTS OF STANDARD 12-7A-1. T08A.3.1 EXTERIOR DOOR GLAZING. GLAZING IN EXTERI SHALL COMPLY WITH SECTION 708A2.1.
OLLOWING MATERIALS AND OTHER		BEAMS DO NOT REQUIRE PROTECTION WHEN CONSTRUCTED WITH SAWN LUMBER OR GLUE-LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSION OF 4 INCHES. SAWN OR GLUE-LAMINATED PLANKS SHALL BE SPLINED, TONGUE-AND-GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED.		

	FIRE SPRINKLER NOTES
REQUIRED BY THE	
RHANGING	 IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY.
IN ACCORDANCE	2. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE
R THE UNDERSIDE	SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE
	SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED
NITION-RESISTANT	PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR.
OR USE AND SHALL	3. SECTION 903.2.8 GROUP R AN AUTOMATIC SPRINKLER SYSTEM
4A.2 FIRE-RETARDANT	INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE
XTERIOR USE AND	AREA. THIS INCLUDES SINGLE FAMILY DWELLINGS, MULTI-FAMILY
ION 2303.2 HAN 1-HOUR	DWELLINGS AND ALL RESIDENTIAL CARE FACILITIES REGARDLESS OF
ON THE EXTERIOR	OCCUPANT LOAD. 4. SECTION 903.3.2 WHERE AUTOMATIC SPRINKLER SYSTEMS ARE
TM E119 OR UL 263	REQUIRED, QUICK-RESPONSE OR RESIDENTIAL AUTOMATIC
ATHING APPLIED UNDERSIDE OF	SPRINKLERS SHALL BE INSTALLED IN ALL OF THE FOLLOWING AREAS IN ACCORDANCE WITH SECTION 903.3.1 AND THEIR LISTINGS:
	1. THROUGHOUT ALL SPACES WITHIN A SMOKE COMPARTMENT
RESISTIVE	CONTAINING CARE RECIPIENT SLEEPING UNITS IN GROUP I-2 IN ACCORDANCE WITH THIS CODE.
DERSIDE OF THE	2. THROUGHOUT ALL SPACES WITHIN A SMOKE COMPARTMENT
G THE GYPSUM IN THE GYPSUM	CONTAINING TREATMENT ROOMS IN AMBULATORY CARE FACILITIES.
ANUAL.	3. DWELLING UNITS AND SLEEPING UNITS IN GROUP I-1 AND R
SEMBLY THAT CTION 707A.11	OCCUPANCIES. 4. LIGHT-HAZARD OCCUPANCIES AS DEFINED IN NFPA 13.
TEST	5. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE
	REQUIRED AT FINAL INSPECTION. 6. SECTION 903.5 SPRINKLER SYSTEMS SHALL BE TESTED AND
CORDANCE WITH	6. SECTION 903.5 SPRINKLER SYSTEMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE.
I STANDARD	
N WHEN LUE-LAMINATED	
INAL DIMENSION OF	
NKS SHALL BE CLOSE TOGETHER	
TERIOR GLAZING	ABBREVIATIONS
Y WITH THIS	
	ADU ACCESSORY DWELLING UNIT AFF ABOVE FINISH FLOOR
DORS	AMP AMPERE
ARAGE DOORS	AWG AMERICAN WIRE GAUGE BMP BEST MANAGEMENT PRACTICE
S	BM BEAM
	BN BOUNDARY NAILING BTTM BOTTOM
	C COUNTER
LAZED DOOR	CALC CALCULATION CFH CUBIC FEET PER HOUR
	CFM CUBIC FEET PER HOUR CFM CUBIC FEET PER MINUTE
IG THE GLAZING, OR	CONC CONCRETE CONT CONTINUOUS
ITS, OR	DBL DOUBLE
LESS THAN 20 O NFPA 257, OR	DIA DIAMETER DTP DOUBLE TOP PLATE
E REQUIREMENTS	DTP DOUBLE TOP PLATE DW DISH WASHER
	EQ EQUAL
ALL COMPLY WITH	FFE FINISH FLOOR ELEVATION FIN FINISH
SHALL BE OF	FR FIRE RATED
IT MATERIAL	GAL GALLON GD GARBAGE DISPOSAL
SHALL BE IGNITION	GFI GROUND-FAULT CIRCUIT INTERRUPTER
RUCTED OF SOLID	GI GALVANIZED IRON GL GLASS
LOWING	GPM GALLON PER MINUTE
SS THAN 1-3/8"	GYP GYPSUM HLW HALLOW
	HGT HEIGHT
THAN 1-1/4" THICK. R OF THE PANEL	HDR HEADER HDU HOLDOWN INSTALLATION
O A TONGUE NOT	LVL LEVEL
E-RESISTANCE	
HEN TESTED	OAE OR APPROVED EQUIVALENT OC ON CENTER
SHALL BE TESTED	OPER OPERATION
707A.3.1 WHEN	O OVEN OSB ORIENTED STRAND BOARD
7. SHALL BE TESTED	PSI POUNDS PER SQUARE INCH
NTS OF SFM	PSL PARALLEL-STRAND LUMBER PT POST TENTION
	QNTY QUANTITY
EXTERIOR DOORS	REQ REQUIRED REF REFRIGERATOR
	REINF REINFORCED
	SDS SAFETY DATA SHEET
	SIM SIMILAR SF SQUARE FOOTAGE
	SHT SHEET
	T TEMPERED THICK THICKNESS
	TYP TYPICAL
	UNO UNLESS NOTED OTHERWISE VB TYPE 5 B CONSTRUCTION
	W/D WASHER AND DRYER
	WD WOOD WH WATER HEATER
	WH WATER HEATER WR WEATHER RESISTANT
	V VOLT



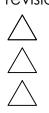
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project County of Orange Pre-Approved

ADU Program OWNER NAME: ADDRESS: APN:

LEGAL DESCRIPTION: revisions



description

General Notes

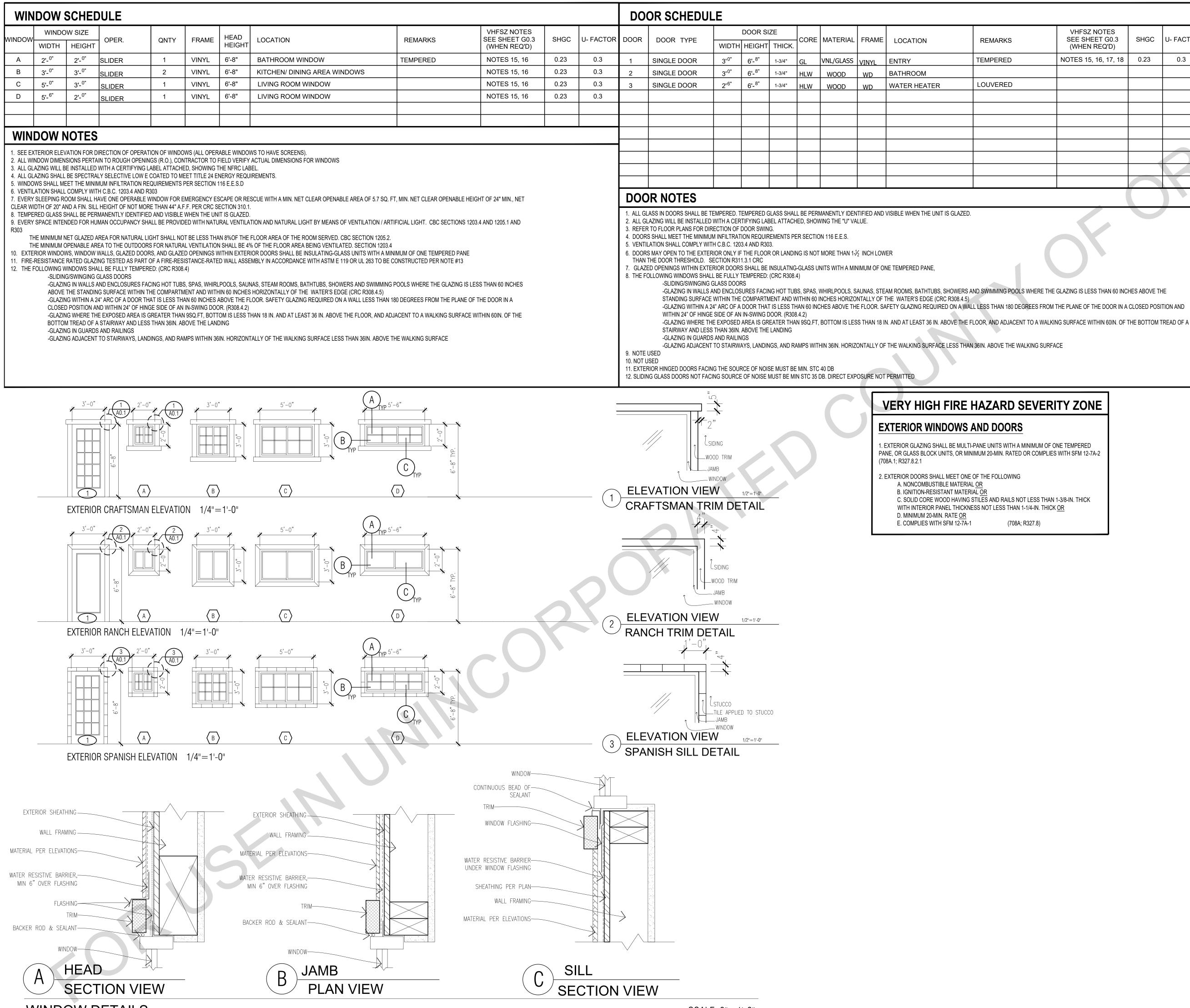
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drawn by

DESIGN PATH STUDIO

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WINDOW DETAILS

VHFSZ NOTES SEE SHEET G0.3 (WHEN REQ'D)	SHGC	U- FACTOR
DTES 15, 16, 17, 18	0.23	0.3



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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN:

LEGAL DESCRIPTION

revisions



description

Schedules & Notes

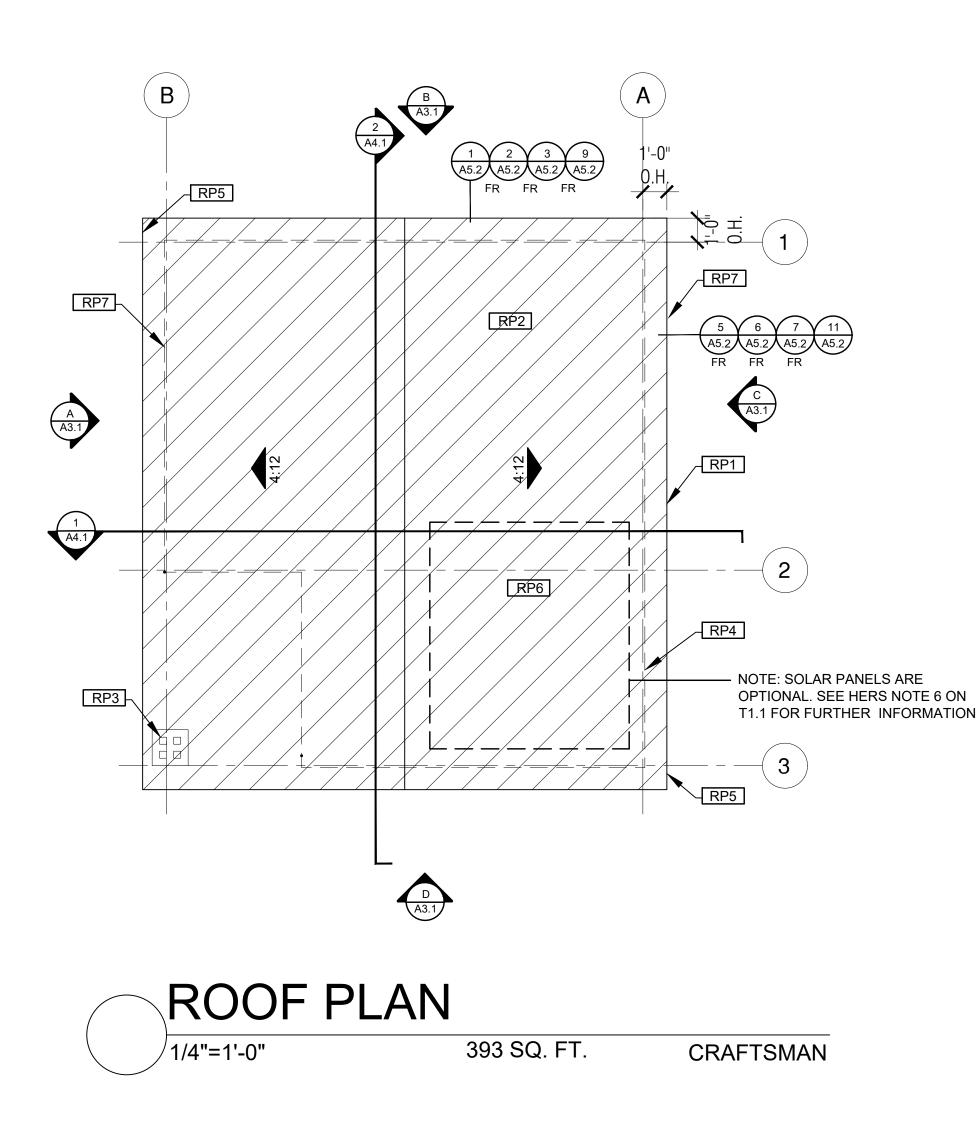
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ROOF KEYNOTES

RP1 LINE OF ROOF OVERHANG

RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2

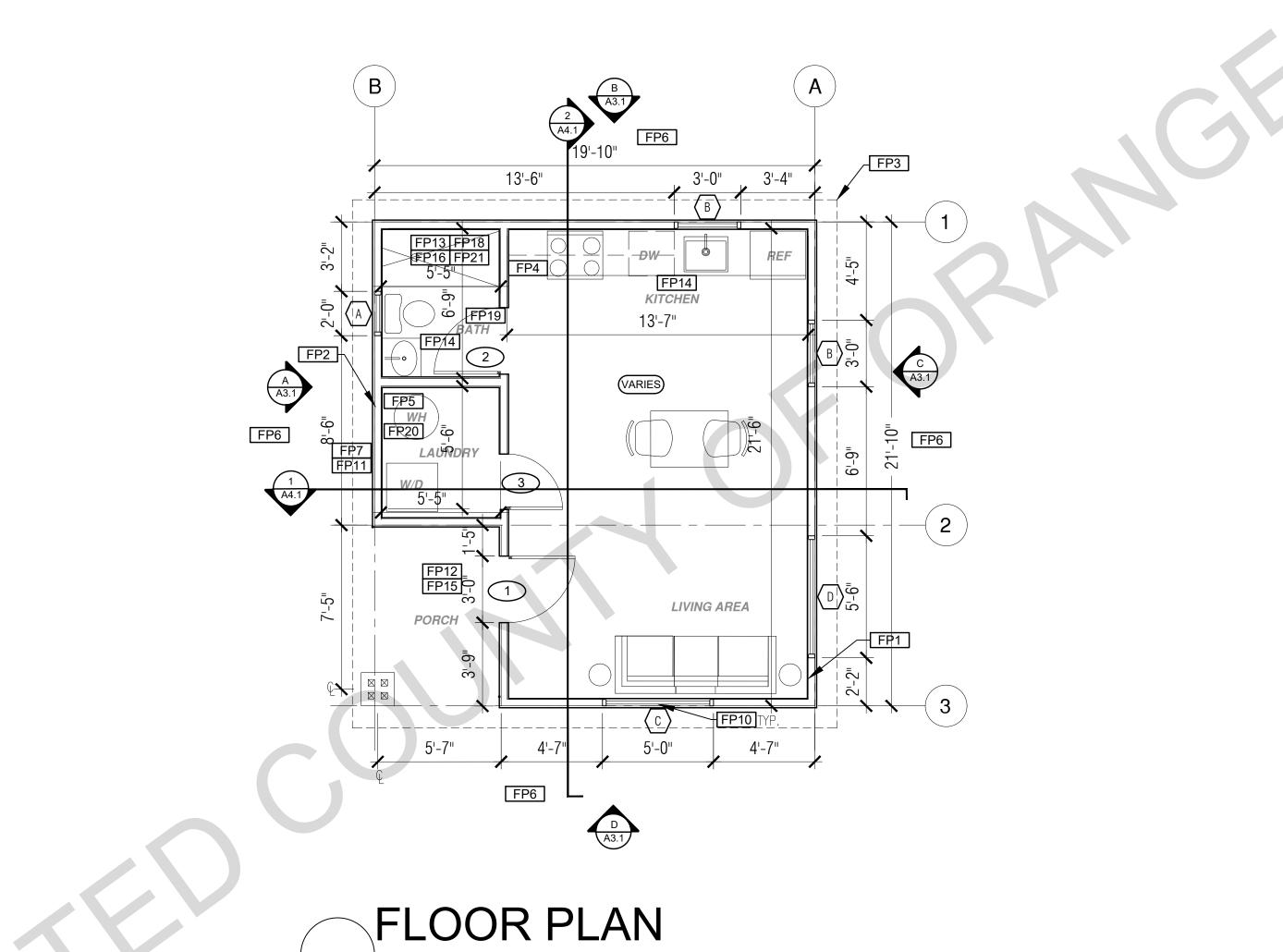
- RP3 SUPPORT POST BELOW
- RP4 LINE OF WALLS BELOW
- RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS

RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX 1/4", MIN

CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET

FLOOR PLAN KEYNOTES

FP1 STUD WALL SIZED PER STRUCTURAL FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING FP3 LINE OF OVERHANG ABOVE	FP12 MIN. 1 HINGED ENTRY COMPLIANCE REQUIE BE SIDE-HNGED AND OF NOT LESS THAN 3 BETWEEN THE FACE
FP4 36" HIGH COUNTER	WITH THE DOOR OPE DOOR OPENING SHAL IN HEIGHT MEASUREI THRESHOLD TO THE
FP6 SLOPE SURFACE AWAY FROM FOUNDATION. 5% SLOPE FOR A DISTANCE OF 10' OR 2% IF HARDSCAPED	FP13 SURROUND AROUND TEMPERED. GLAZING OR CONTAINING BATI SPAS, WHIRLPOOLS,
FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING FP8 CLOSET SHELF AND POLE	INDOOR/OUTDOOR S ¹ BOTTOM EXPOSED EI THAN 60" ABOVE THE EXCEPTION: GLAZING
FP9 EMERGENCY EGRESS WINDOW	MEASURED HORIZON EDGE OF A BATHTUB OR SWIMMING POOL.
FP10 WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS	FP14 PER SECTION 301.1.1 1101.3(c), ALL PLUMBI COMPLIANT WATER -(FIXTURES. SEE MECH FURTHER INFORMATI
FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION	



393 SQ. FT.

[/]1/4"=1'-0"

SOLAR READY NOTES LEGEND FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE RY DOOR FOR EGRESS SOLAR READY ROOF AREA: JIRED - THE EGRESS DOOR SHALL MIN DIMENSION > 5FT. MIN. SF. > 80SF. ID SHALL PROVIDE A CLEAR WIDTH DOOR SERVED AND HAVE A MIN 36 INCH DEPTH PER CALIFORNIA ENERGY CODE SECTION 110.10(b) MEASURED IN THE DIRECTION OF TRAVEL. 32 INCHES WHERE MEASURED EXTERIOR LANDINGS SHALL BE PERMITTED TO E OF THE DOOR AND THE STOP, THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, PEN 90°. THE CLEAR HEIGHT OF THE HAVE A SLOPE NOT TO EXCEED $\frac{1}{4}$ " PER FOOT. AND S[PACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER ALL BE NOT LESS THAN 78 INCHES LANDINGS OR FINISHED FLOORS AT EGRESS DOOR PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION RED FROM THE TOP OF THE SHALL NOT BE MORE THAN 1.5" LOWER THAN THE E BOTTOM OF THE STOP TOP OF THE THRESHOLD FOR OUTWARD SWINGING SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN ND THE SHOWER MUST BE OUTWARD. 250SQFT. NG IN THE WALLS/DOORS FACING FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR ATHTUBS, SHOWERS, HOT TUBS, APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE , SAUNAS, STEAM ROOMS AND PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR OR TUB WITH SHOWERS. MATERIALS OTHER THAN SWIMMING POOLS WHERE THE SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR STRUCTURAL ELEMENTS ARE TO BE MOISTURE EDGE OF THE GLAZING IS LESS RESISTANT. CRC R307.2 PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW IE STANDING SURFACE. TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS NG THAT IS MORE THAN 60", FP17 DOOR BELL BUTTON TO BE NO MORE THEN REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. ONTALLY, FROM THE WATER'S 48" ABOVE EXTERIOR FLOOR OR LANDING JB, HOT TUB, SPA, WHIRLPOOL FP18 WATER CLOSET AND SHOWER TO HAVE 1 CALGREEN AND CIVIL CODE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO IBING FIXTURES SHALL BE 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL R -CONSERVING PLUMBING NOTE #32 ON SHEET G0.2 FOR FURTHER INFORMATION **VENTING CALCULATIONS** CHANICAL / PLUMBING PLANS FOR FP19 DOOR TO HAVE A NET CLEAR TION OPENING OF 32" FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR PUMP WATER HEATER PER CEC 2022 SECTION ENCLOSED RAFTER AREA. 150.0(N) ENCLOSED RAFTER AREA: 393 SF. VENTILATION AREA REQUIRED: 393 SF./150SF.= 2.62 SF.

CONVERT TO SQ. IN: <u>2.62</u> SF. x 144 = <u>377</u> SQ. IN.

MINIMUM VENTILATION AREA REQUIRED: 377 SQ. IN.

FP21 FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH

CRAFTSMAN

^	SECTION CUT	<u> </u>	- KEYNOTE
$\mathbf{\hat{\varphi}}$	ELEVATION CALLOUT	X	DOOR SYMBOL
	DETAIL DRAWING REF.	$\langle x \rangle$	WINDOW SYMBOL
	WALL BELOW OR ROOF ABOVE	X'-X"	CEILING HEIGHTS
	SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2	VARIES	VAULTED CEILING
	ROOFING	X:12	ROOF SLOPE

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FOLLOWING CONDITIONS: 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE COUNTY OF ORANGE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE COUNTY OF ORANGE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Craftsman Roof Plan/ Floor Plan Studio

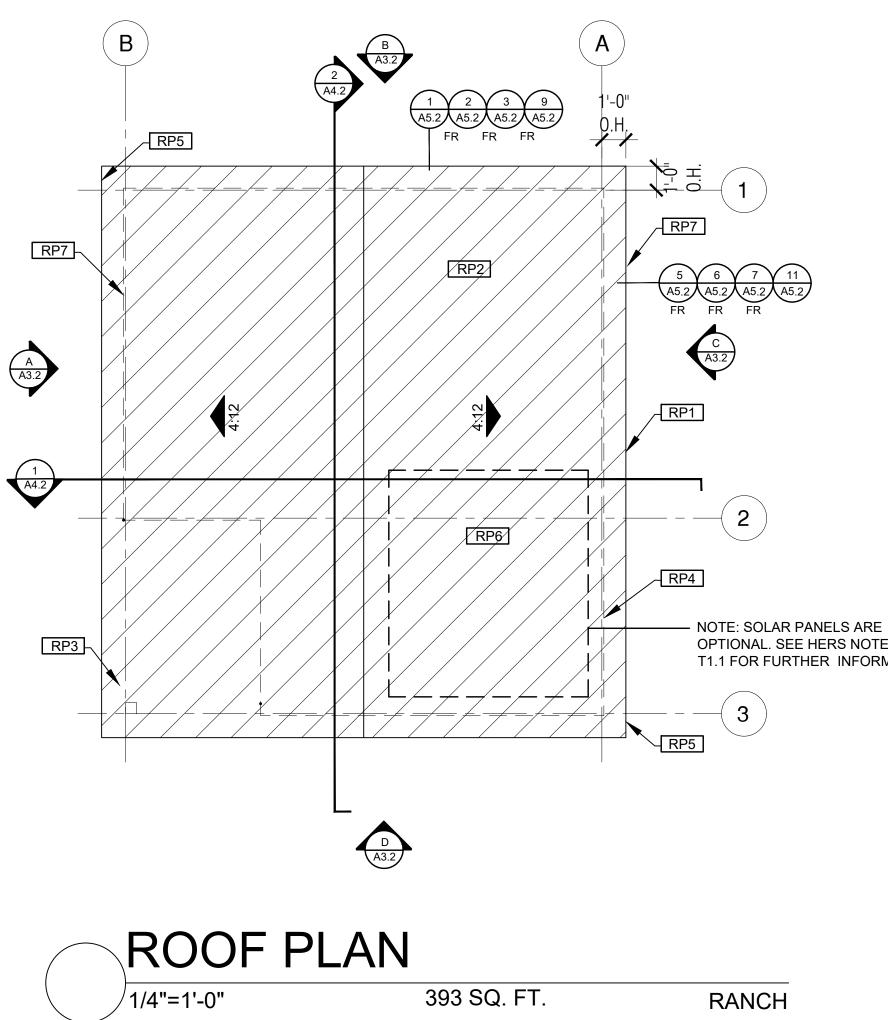
date 2024

project no.

drawn by

DESIGN PATH STUDIO





ROOF KEYNOTES

RP1 LINE OF ROOF OVERHANG

RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2

- **RP3** SUPPORT POST BELOW
- RP4 LINE OF WALLS BELOW
- RP5 ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS

RP6 DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET RP7 RAFTER VENTS TO MEET REQUIRED VENTILATION AREA FOR ENCLOSED RAFTER SPACES. MAX ${1 \over 4}$, MIN ${1 \over 4}{}_6$ "OPENING SIZE ON VENT SCREEN WITH

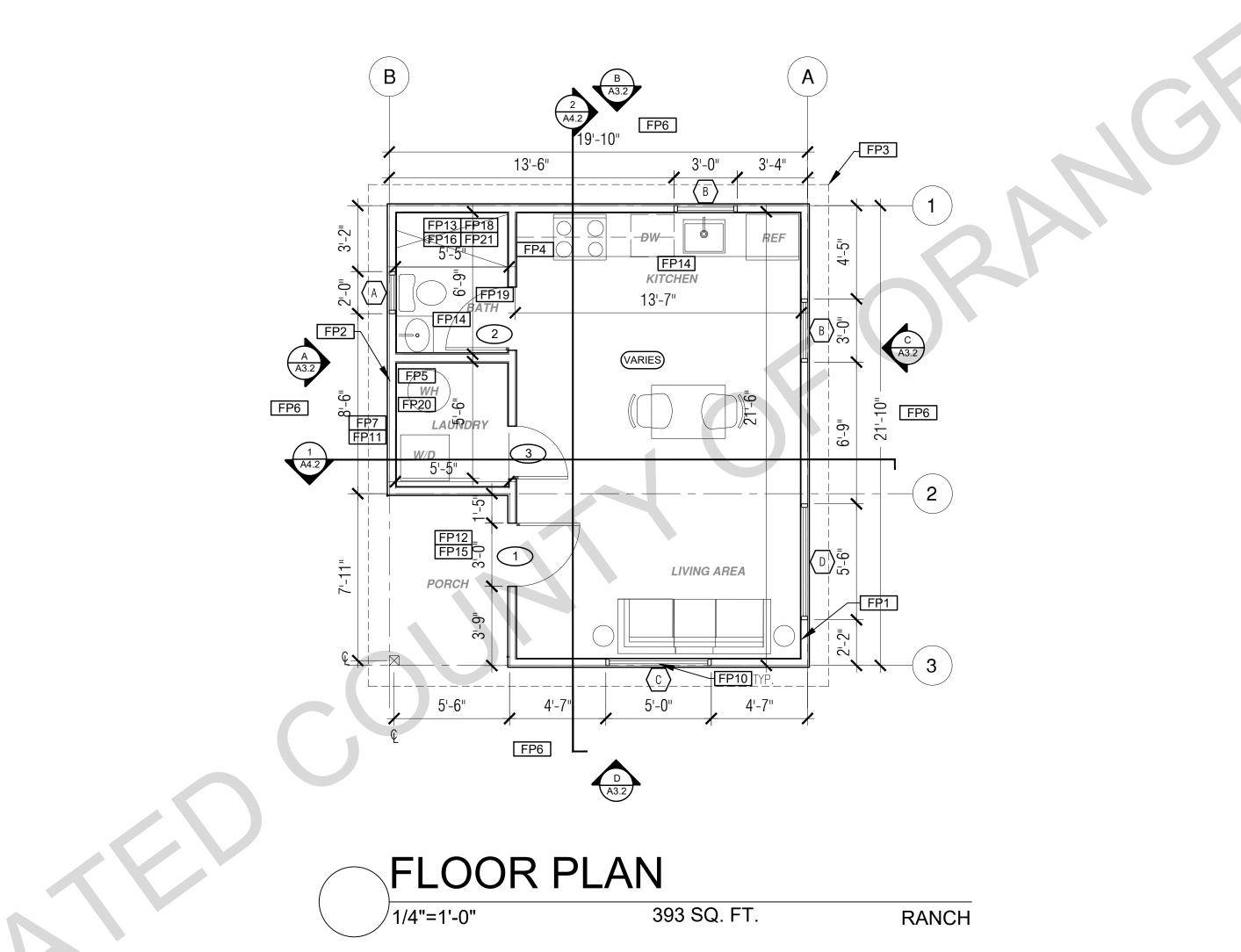
CORROSION-RESISTANT WIRE SCREEN MATERIAL. 1 SF OF VENTING PER 150 SF OF ENCLOSED RAFTER AREA IN NON-FIRE RATED CONSTRUCTION PLEASE SEE VENTING CALCULATIONS OF THIS SHEET

FLOOR PLAN KEYNOTES

FLOOR PLAN KEYNOTES			SOLAR READY NOTES	L
 FP1 STUD WALL SIZED PER STRUCTURAL FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING FP3 LINE OF OVERHANG ABOVE FP4 36" HIGH COUNTER FP5 WATER HEATER FP6 SLOPE SURFACE AWAY FROM FOUNDATION. 5% SLOPE FOR A DISTANCE OF 10' OR 2% IF HARDSCAPED FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING FP8 CLOSET SHELF AND POLE FP9 EMERGENCY EGRESS WINDOW FP10 WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL 	 (FP12) MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HNGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP (FP13) SURROUND AROUND THE SHOWER MUST BE TEMPERED. GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60° ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60°, MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL. (FP14) PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE 	 FP15 LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED ¹/₄" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7.75" FOR DOORS THAT DO NOT SWING OUTWARD. FP16 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2 FP17 DOOR BELL BUTTON TO BE NO MORE THEN 48" ABOVE EXTERIOR FLOOR OR LANDING FP18 WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 39.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL 	SOLAR READY ROOF AREA: MIN DIMENSION > 5FT. MIN. SF. > 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b) THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND S[PACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED NY LOCAL JURISDICTION SINGLE FAMILY RESIDENCE. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT. FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.	
REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS	COMPLIANT WATER -CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION	NOTE #32 ON SHEET G0.2 FOR FURTHER INFORMATION FP19 DOOR TO HAVE A NET CLEAR OPENING OF 32"	VENTING CALCULATIONS	
FP11 VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION		FP20 DESIGNATED 2'- 6" x 2'- 6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT PUMP WATER HEATER PER CEC 2022 SECTION	ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA.	

150.0(N)

FP21 FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH

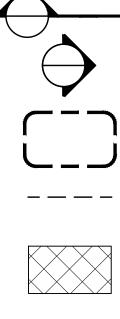


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ORMATION	

ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA. ENCLOSED RAFTER AREA: 393 SF.

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SECTION CUT	X	- KEYNOTE
ELEVATION CALLOUT	X	DOOR SYMBOL
DETAIL DRAWING REF.	$\langle x \rangle$	WINDOW SYMBOL
WALL BELOW OR ROOF ABOVE	X'-X"	CEILING HEIGHTS
SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2	VARIES	VAULTED CEILING
	X:12	ROOF SLOPE
ROOFING		

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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Ranch Roof Plan/ Floor Plan Studio

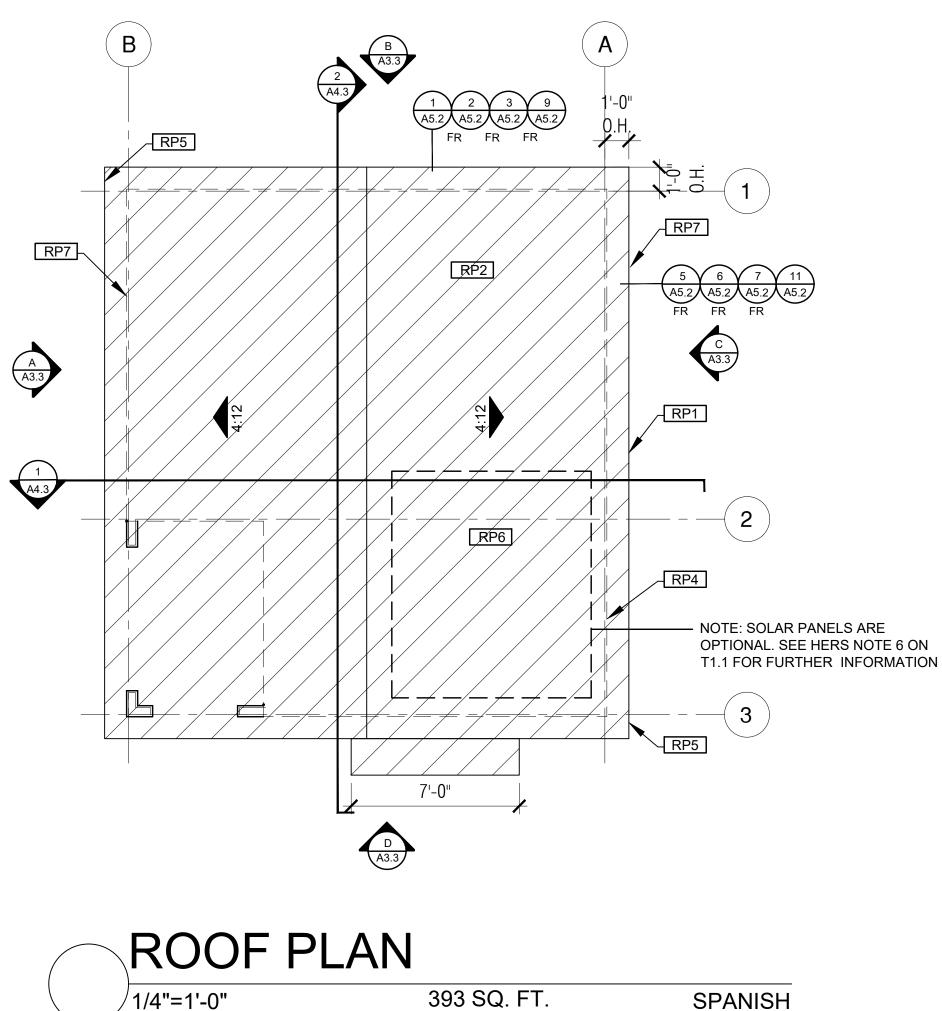
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project no.

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RP1 LINE OF ROOF OVERHANG

RP2 CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2

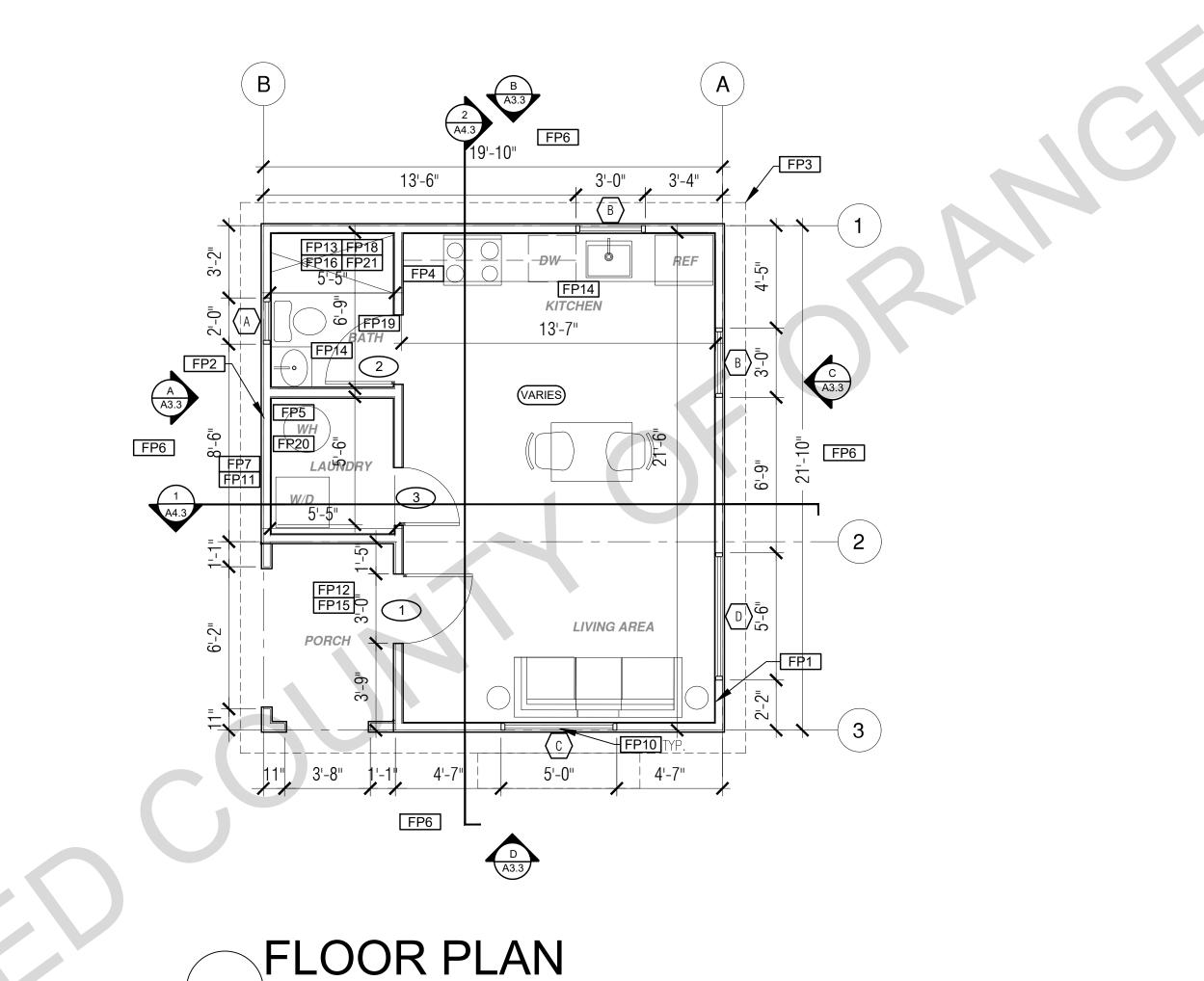
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FLOOR PLAN KEYNOTES

FP1 STUD WALL SIZED PER STRUCTURAL	FP12 MIN. 1 HINGED ENTRY COMPLIANCE REQUI
FP2 2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING	BE SIDE-HNGED AND OF NOT LESS THAN 3
FP3 LINE OF OVERHANG ABOVE	BETWEEN THE FACE WITH THE DOOR OPE DOOR OPENING SHA
FP4 36" HIGH COUNTER	IN HEIGHT MEASURE THRESHOLD TO THE
FP5 WATER HEATER	FP13 SURROUND AROUND
FP6 SLOPE SURFACE AWAY FROM FOUNDATION. 5% SLOPE FOR A DISTANCE OF 10' OR 2% IF HARDSCAPED	TEMPERED. GLAZING OR CONTAINING BAT SPAS, WHIRLPOOLS,
FP7 DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING	INDOOR/OUTDOOR S BOTTOM EXPOSED E THAN 60" ABOVE THE
FP8 CLOSET SHELF AND POLE	EXCEPTION: GLAZING MEASURED HORIZON
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393 SQ. FT

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PUMP WATER HEATER PER CEC 2022 SECTION

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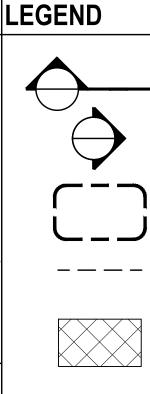
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SHOWER LENGTH

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SHEET G0.2

ROOFING

SPANISH

X KEYNOTE SECTION CUT ELEVATION (x) DOOR SYMBOL CALLOUT WINDOW SYMBOL DETAIL DRAWING REF. WALL BELOW OR X'-X" CEILING HEIGHTS ROOF ABOVE VARIES) VAULTED CEILING SOLAR ZONE. REFER TO SOLAR NOTES ON

X:12

ROOF SLOPE

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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Spanish Roof Plan/ Floor Plan Studio

2024

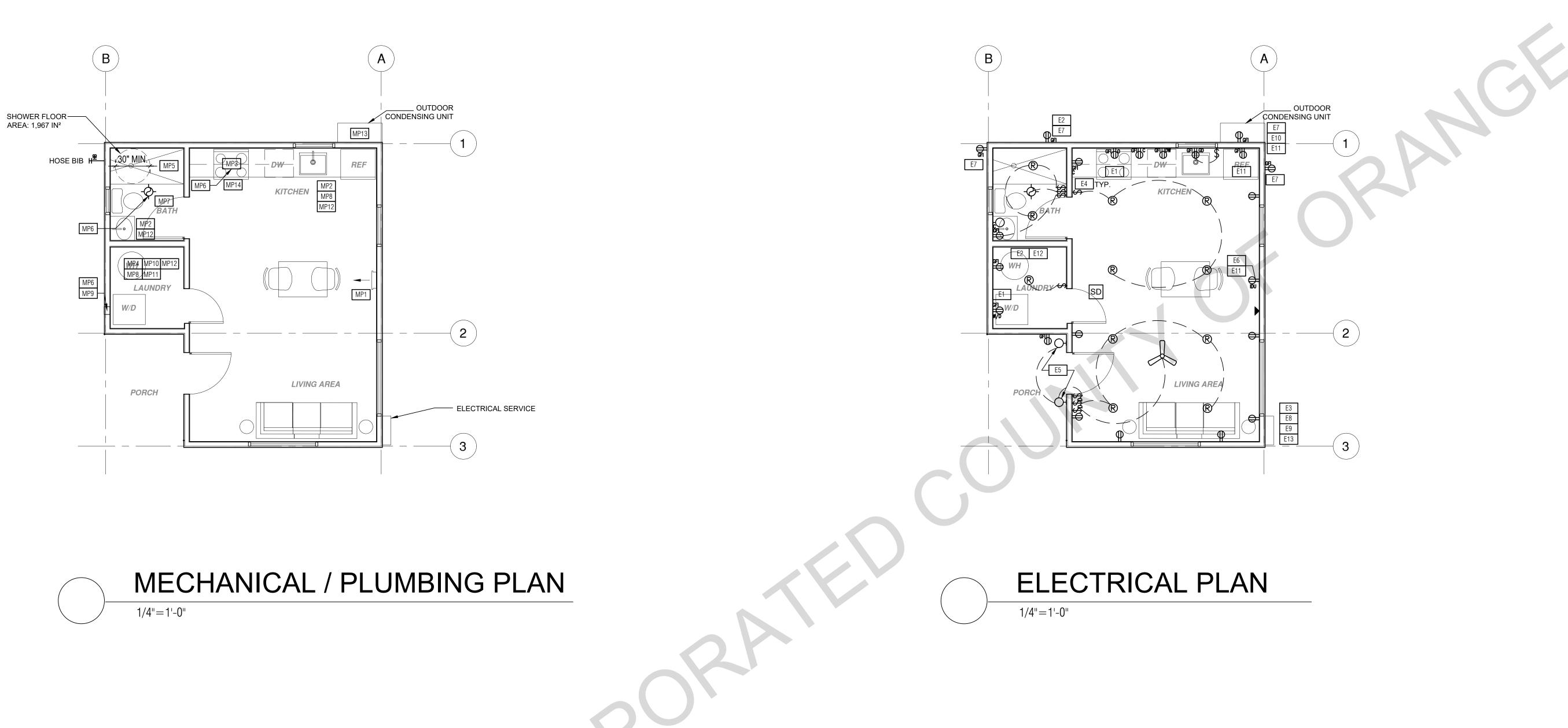
project no.

drawn by

date

DESIGN PATH STUDIO





MECHANICAL / PLUMBI	NG KEYNOTES	ELECTRICAL KEYNOTES
 MP1 INDOOR UNIT MINI SPLIT SYSTEM. MP2 WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. OF WATER PER FLUSH, LAVATORIES LIMITED TO 1.2 GPM, KITCHEN FAUCETS NOT TO EXCEED 1.8 GPM AT 60 PSI THEY CAN INCREASE THE FLOW MOMENTARILY BUT CANT EXCEED 2.2GALLONS PER MIN. AT 60 PSI AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.8GALLONS PER MIN AT 60 PSI., AND SHOWERS NOT EXCEED 1.8 GPM. AT 80 PSI AND ALL SHALL BE CERTIFIED TO MEET THE PERFORMANCE CRITERIA OF THE EPA WATERSENCE SPECIFICATIONS FOR SHOWERHEADS. CPC SECTIONS 407, 408, 411, 412 AND SECTION 301.1.1 CALGREEN CODE AND CIVIL CODE 1101.3(c) MP3 EXHAUST HOOD ABOVE/ TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3) MP4 NEW 40 GAL. HEAT PUMP WATER HEATER - TO HAVE CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2' ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE MP5 CONTROL VALVES IN SHOWERS, BATHTUBS, & BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIX VALVES MP6 MINIMUM OF 3 FT CLEARANCE TO ANY OPENING INTO BUILDING FOR EXHAUST FAN TERMINATIONS MP7 CLEARANCE FOR WATER CLOSET TO BE A MIN. OF 24" IN FRONT, AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5) MP8 THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF WATER HEATER BOTH REQUIRE 1" INSULATION 	 MP9 DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH 14' WITH MAXIMUM OF TWO 90° ELBOWS.EXHAUST VENT MUST TERMINATE A MIN. OF 3' FROM ANY OPENING. MIN. TYPE 1 CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL & SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL (100 MM), & THE THICKNESS SHALL BE NOT LESS THAN 0.016 OF AN INCH (0.406 MM). EXHAUST DUCTS & DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS MP10 NEW WATER HEATER WITH T&P RELIEF VALVE AND DISCHARGE PIPE AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER MANUFACTURER REQUIREMENTS. MP11 WATER HEATER SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVES FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED MP12 ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: ¹/₂ PIPE (¹/₂ INSULATION); ³/₄ PIPE (1" INSULATION); ³/₄ PIPE (1" INSULATION); ¹/₄ TO 1-1/2" PIPE (1-1/2" INSULATION) MP13 OUTDOOR CONDENSING UNIT TO BE PIPED TO INDOOR HVAC UNIT MP14 A MINIMUM RATING HOOD OVER ELECTRICAL RANGE INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND SHALL BE HERS VERIFIED PER CEC TABLE 150.0-G: 160 cfm OR 65% CE AT <750 s.f. 130 cfm OR 55% CE AT 750-1000 s.f., 110 cfm OR 50% CE AT >1500 s.f. 	 E1 DEDICATED 30 AMP/240V POWER FOR ELECTRIC DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS E2 OUTLET FOR NEW WATER HEATER WITHIN 3' OF WATER HEATER. E3 MAIN ELECTRICAL SERVICE PANEL FOR ADU TO HAVE A 200AMP MINIMUM BUSBAR RATING PER MANDATORY MEASURE 110.10(e)1 SEE ELECTRIC READY NOTE (S) ON G0.2 FOR MORE INFORMATION E4 OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH CEC ARTICLE 210.52(C): IN KITCHENS A RECEPTACLE 0UTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12' OR WIDER; SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24'; ISLAND IN PENINSULAR COUNTERTOPS 12'' X 24''LONG (OR GREATER) SHALL HAVE AT LEAST ONCE RECEPTACLE E5 OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR. E6 OUTLET DEDICATED FOR INDOOR HVAC UNIT E7 WEATHER RESISTANT TYPE RECEPTACLES GFCI PROTECTED E8 OVER-CURRENT FEEDER TO EXTEND TO EXISTING PANEL- ALUMINUM CONDUCTOR BURIED UNDER GROUND WITH AWG ALLOWABLE VOLTAGE DROP PER CEC 250.4

	MECHANICAL / PLUMBING LEGEND	ELECTRICAL LEGEN	ID	
E GROUND ELECTRODE SYSTEM PER 4 R CONDENSING UNIT RECEPTACLE SHALL BE INSTALLED AT AN ACCESSIBLE IN FOR THE SERVICING OF THE HEATING DUNG EQUIPMENT AND SHALL BE 0 ON THE SAME LEVEL AND WITHIN 25 THE EQUIPMENT. THIS RECEPTACLE E GFCI-WP PROTECTED. INECTING MEANS CAPABLE OF ECTING AIR-CONDITIONING AND RATING EQUIPMENT, INCLUDING COMPRESSORS AND CONTROLLERS E CIRCUIT CONDUCTOR IS REQUIRED IGHT FROM THE EQUIPMENT LOCATION SECTION 440.11 2022 150.0(N).1.A.: THE DESIGNATED ND WATER HEATER AND IS TO COMPLY ECTRICAL NOTES 15&16 ON SHEET G0.2 CTOR TO VERIFY MAIN PANEL BURNING APPLIANCES SHALL BE C READY PLEASE SEE ELECTRIC READY N G0.2	MECHANICAL EXHAUST FAN: MINIMUM 50 CFM TO BE DUCTED TO THE EXTERIOR AND SHALL PROVIDE FIVE AIR CHANGES PER HOUR; SECTION 1203.3. CFM AND NOISE RATING MAXIMUM 3 SONE FOR INTERMITTENT USE. SHALL BE ENERGY STAR RATED AND CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50-80% HUMIDITY. DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:: 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ ACCA 2 MANUAL J-2011 OR EQUIVALENT. 2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ ACCA 1 MANUEL D-2014 OR EQUIVALENT. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA 3 MANUAL S-2014 OR EQUIVALENT. THETURN AIR GRILLE, WALL MOUNTED THERMOSTAT THERMOSTAT THERMOSTAT	 FIRE DETECTION SMOKE DETECTORS PER SECTION R314 DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP. SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL O F THE ALARMS IN THE UNIT. SHALL COMPLY WITH THE FOLLOWING: AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING-MOUNTED FAN NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM AT LEAS 20' FROM A COOKING APPLIANCE OR 10' FROM COOKING APPLIANCE WHEN THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4 AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING /COOLING SYSTEM CM CARBON MONOXIDE ALARM PERMANENTLY WIRED WITH BATTERY BACKUP PER SECTION R315. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL O F THE ALARMS IN THE UNIT. 	 POWER/DATA ★ TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110 V DUPLEX U.O.N ELECTRICAL OUTLETS IN KITCHENS SHALL BE BOTH ACFI AND GFCI. ALL ELECTRICAL OUTLETS WITHIN REACH SHALL BE TAMPER RESISTANCE PER CEC 406.11 OUTDOOR ELECTRICAL OUTLETS SHALL BE GFCI, W.P. AND HAVE BOBBLE COVER PER CEC406.3. GFI = WATER PROOF GFCI CT = COOKTOP/ GRILL 240 V O = OVEN 240 V MW = MICROWAVE 110 V GD = GARBAGE DISPOSAL 110 V R = RANGE 220V C = COUNTER HEIGHT 6" ABV COUNTER IDU = INDOOR UNIT POWER 84" AFF W/D = WASHER/DRYER 30AMP/ 240AMP PHONE / DATA / MEDIA CEILING, WATERPROOF OUTLET FLOOR MOUNTED DUPLEX RECEPTACLE, VERIFY LOCATION IN FIELD. SPECIAL PURPOSE CONNECTION (VOLTAGE SHALL MATCH APPLIANCE REQ.) SUB PANEL 	

WITCHING	LIGH	ITING
SWITCH, MOUNT AT 43" AFF	R	CEILING, RECESSED, DIRECTIONAL, ZERO CLEARANCE IC RATED LED BULB
THREE-WAY SWITCH FOUR-WAY SWITCH	R	CEILING, RECESSED, ZERO CLEARANCE IC RATED LED BULB
DIMMER SWITCH MOUNT 6" ABV COUNTER	R	CEILING, RECESSED, ZERO CLEARANCE IC RATED, WATER RESISTANT, LED BULB
ISC.	Ю	WALL MOUNTED LIGHT
CEILING FAN/LIGHT COMBO	J	JUNCTION BOX FLUSH CEILING MOUNTED
\langle	- (-	UNDER COUNTER LIGHTING
CIRCUIT WIRING	Ś	LOW VOLTAGE, LANDSCAPE LIGHT
DOOR BELL	- 	FLUORESCENT FIXTURE (USE SHALLOW TYPE WHEN UNDER COUNTER)
BATHROOM EXHAUST	FAN	REQUIREMENTS: PER CGBC 4.506.1-
EACH BATHROOM SHALL BE M 1. FANS SHALL BE ENERGY ST, 2. UNLESS FUNCTIONING AS A CONTROLLED BY A HUMIDITY (BETWEEN A RELATIVE HUMIDI UTILIZE MANUAL OR AUTOMAT	ECHANIC AR COMP COMPON CONTROL TY RANG	ALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: LIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. IENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE A. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT E OF = 50 % TO A MAXIMUM OF 80 %. A HUMIDITY CONTROL MAY<br S OF ADJUSTMENT. B. A HUMIDITY CONTROL MAY BE A SEPARATE NOT REQUIRED TO BE INTEGRAL(I.E. BUILT IN)
	LIGHTI	NG REQUIREMENTS: *ALL LIGHT FIXTURES TO BE HIGH
EFFICIENCY ES 150.0(K) *IN THE KITCHEN, AT LEAST ONE-HAL	.F OF THE V	VATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY.

*IN THE BATHROOMS, AT LEAST ONE FIXTURE SHALL BE HIGH EFFICACY AND ALL REMAINING FIXTURES SHALL BE HIGH EFFICACY OR BE CONTROLLED BY A VACANCY SENSOR. *LIGHTING INSTALLED IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND BE CONTROLLED BY VACANCY SENSORS.

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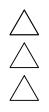
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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



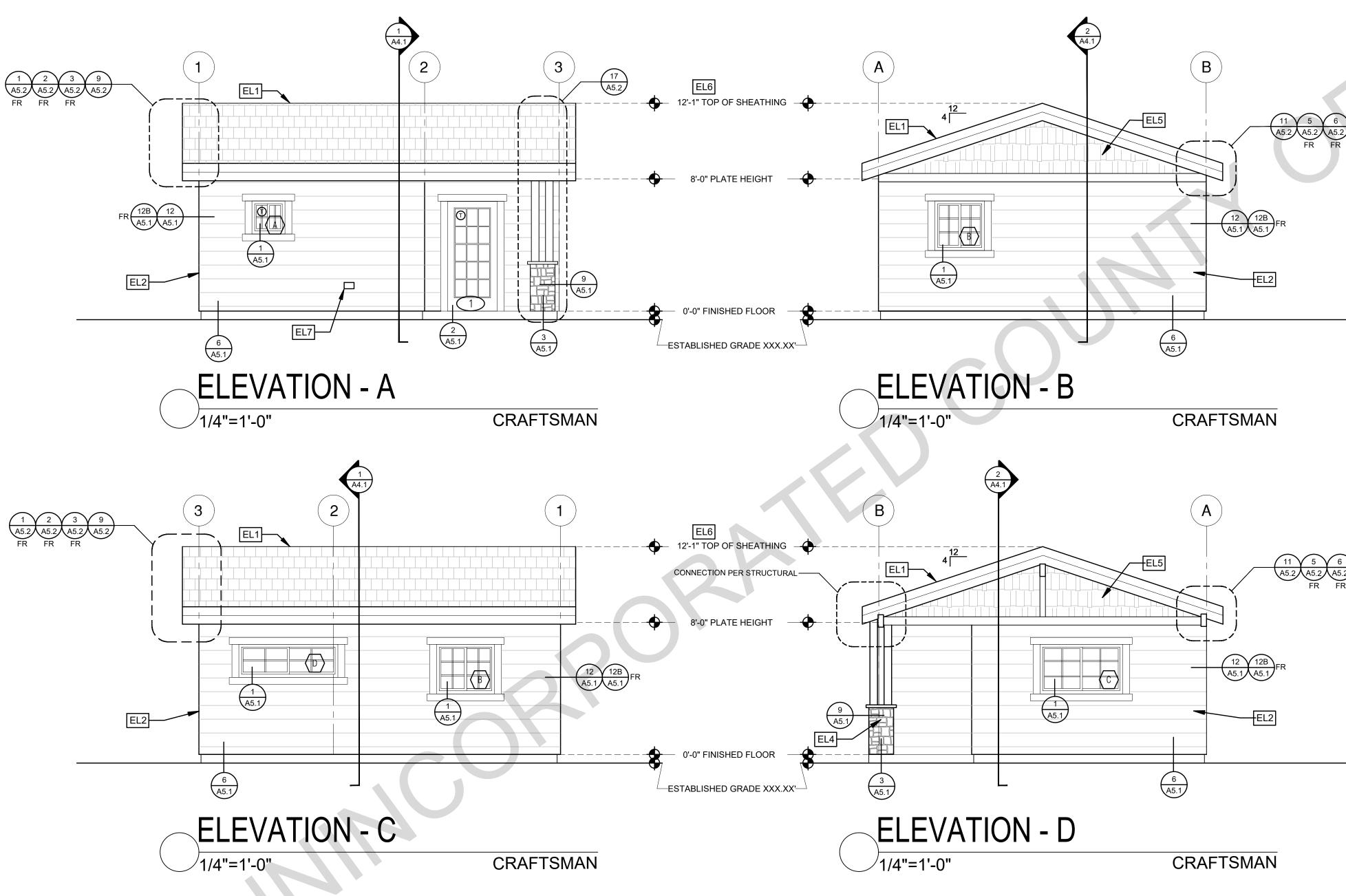
description Mechanical/ Plumbing & Electrical Plans

date 2024

project no.

drawn by DESIGN PATH STUDIO







ELEVATION KEYNOTES

- EL1 MINIMUM CLASS A ROOF ASSEMBLY SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
- EL2 SIDING
- EL3 STUCCO
- EL4 STONE VENEER
- EL5 HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
- EL6 DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)

ELEVATION GENERAL NOTES

- 1. ALL DIMENSIONS TO FINISH FACE, U.N.O.
- 2. ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.

3. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.

4. REFER TO FRAMING PLANS, FLOOR PLANS, AND SECTIONS FOR CLARIFICATION AND DIMENSIONS

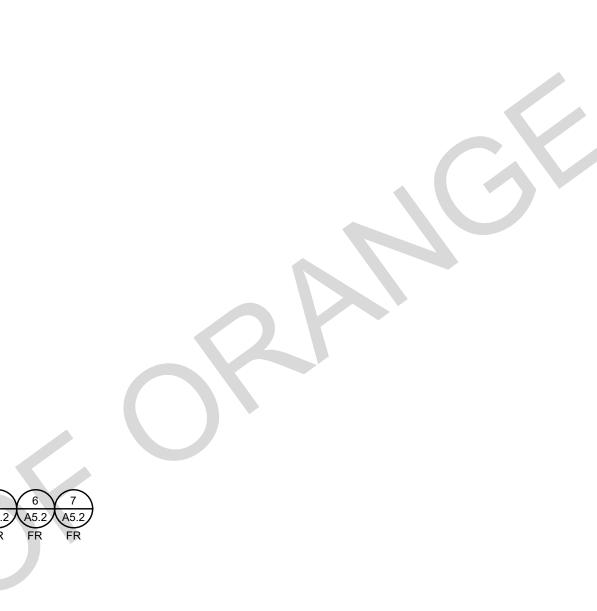
- 5. SEE SCHEDULE FOR DOOR AND WINDOW INFORMATION AND HEIGHTS
- 6. LATH & PLASTER

A. MATERIALS FOR PLASTER IS TO BE THE STANDARD PRODUCTS OF RECOGNIZED MANUFACTURES, AND SHALL BE AS MANUFACTURED BY US GYPSUM CO. AND APPROVED BY THE LATH AND PLASTER INSTIGAT OR APPROVED EQUAL. B. ALL PLASTER CORNER BEADS, CASING BEADS, CONTROL JOINTS, EXPANSION SCREEDS AND ACCESSORIES ARE TO BE GALVANIZED.PROVIDE CASING BEADS AT ALL JOINTS OF

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SECTION CUT MARKER

ELEVATION CALLOUT DETAIL DRAWING REF. ELEVATION

 \mathbf{X} $\left< 1 \right>$ TEMPERED GLASS \bigcirc

1	KEYNOTE
X	DOOR SYMBOL
$\langle 1 \rangle$	WINDOW SYMBOL

GLAZING
ROOFING
SHINGLES
SIDING
SPRAY FIN. STUCCO
STONE VENEER

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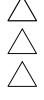
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OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

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description Exterior Elevations Craftsman Studio

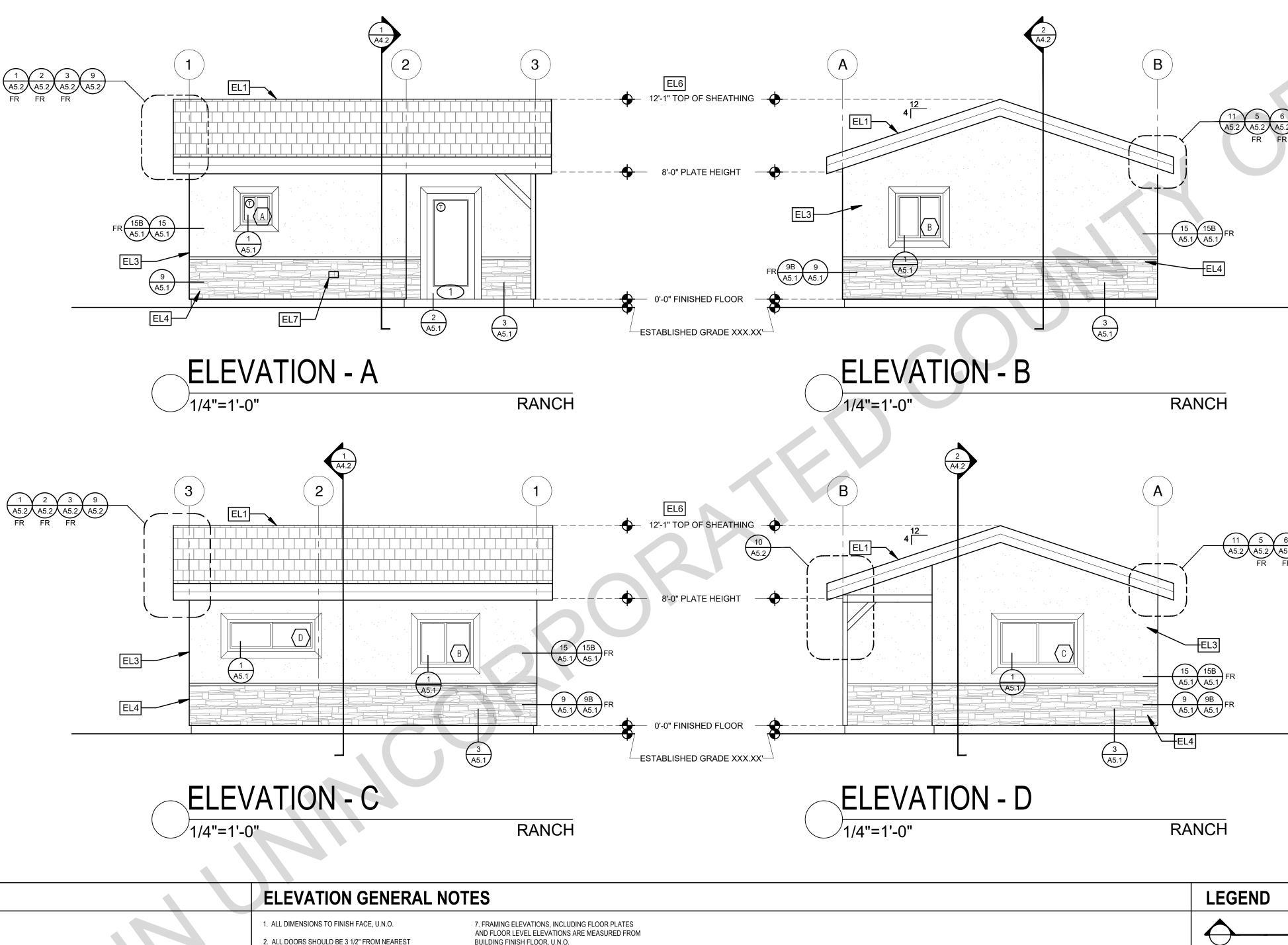
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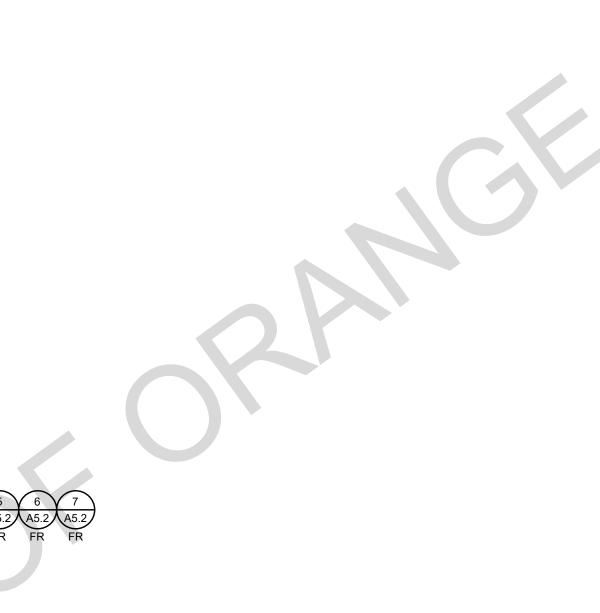
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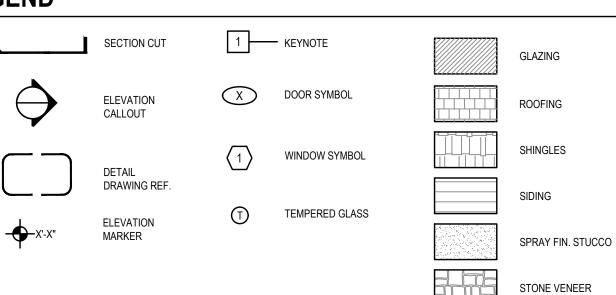
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- BUILDING FINISH FLOOR, U.N.O.
- 8. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
- 10. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK



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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions \bigtriangleup



description Exterior Elevations Ranch Studio

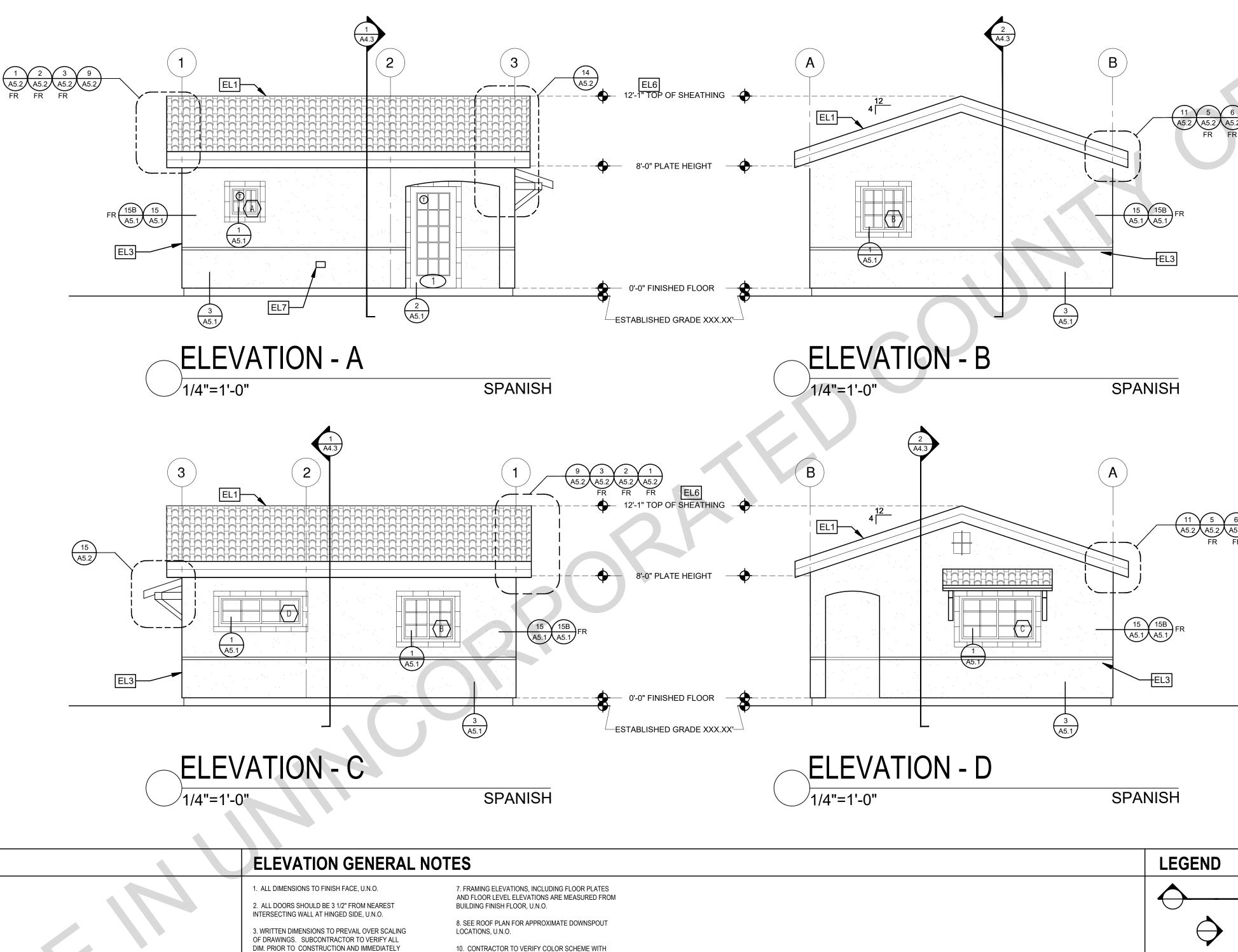
date 2024

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DESIGN PATH STUDIO







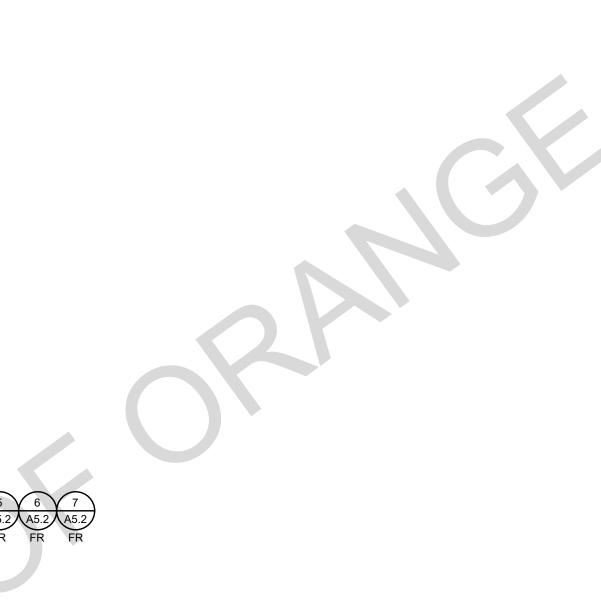
ELEVATION KEYNOTES

- EL1 MINIMUM CLASS A ROOF ASSEMBLY SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
- EL2 SIDING
- EL3 STUCCO
- EL4 STONE VENEER
- EL5 HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
- EL6 DRYER VENT TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)

DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.

- 4. REFER TO FRAMING PLANS, FLOOR PLANS, AND SECTIONS FOR CLARIFICATION AND DIMENSIONS
- 5. SEE SCHEDULE FOR DOOR AND WINDOW
- INFORMATION AND HEIGHTS 6. LATH & PLASTER
- A. MATERIALS FOR PLASTER IS TO BE THE STANDARD PRODUCTS OF RECOGNIZED MANUFACTURES, AND SHALL BE AS MANUFACTURED BY US GYPSUM CO. AND APPROVED BY THE LATH AND PLASTER INSTIGAT OR APPROVED EQUAL. B. ALL PLASTER CORNER BEADS, CASING BEADS, CONTROL JOINTS, EXPANSION SCREEDS AND ACCESSORIES ARE TO BE
- GALVANIZED.PROVIDE CASING BEADS AT ALL JOINTS OF STUCCO TO DISSIMILAR SURFACES UNLESS OTHERWISE NOTED C. WHERE INDICATED ON THE DRAWINGS, PORTLAND
- CEMENT PLASTER IS TO BE HAND APPLIED (3) THREE COAT WORK, 7/8" THICK ON EXTERIOR SURFACES. THE COATS ARE TO CONSIST OF A SCRATCH (3/8" AND A TWO COAT FINISH (1/8" MIN.) COAT PROPORTIONED AND MIXED ADS RECOMMENDED BY THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION.

OWNER BEFORE PERFORMING THE WORK



11 5 6 7 A5.2 A5.2 A5.2 A5.2 A5.2

SECTION CUT ELEVATION CALLOUT DETAIL DRAWING REF. ELEVATION -**-**X'-X" MARKER

X DOOR SYMBOL WINDOW SYMBOL T TEMPERED GLASS

1 KEYNOTE

ROOFING SHINGLES SIDING SPRAY FIN. STUCCO STONE VENEER

GLAZING

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description Exterior Elevations Spanish Studio

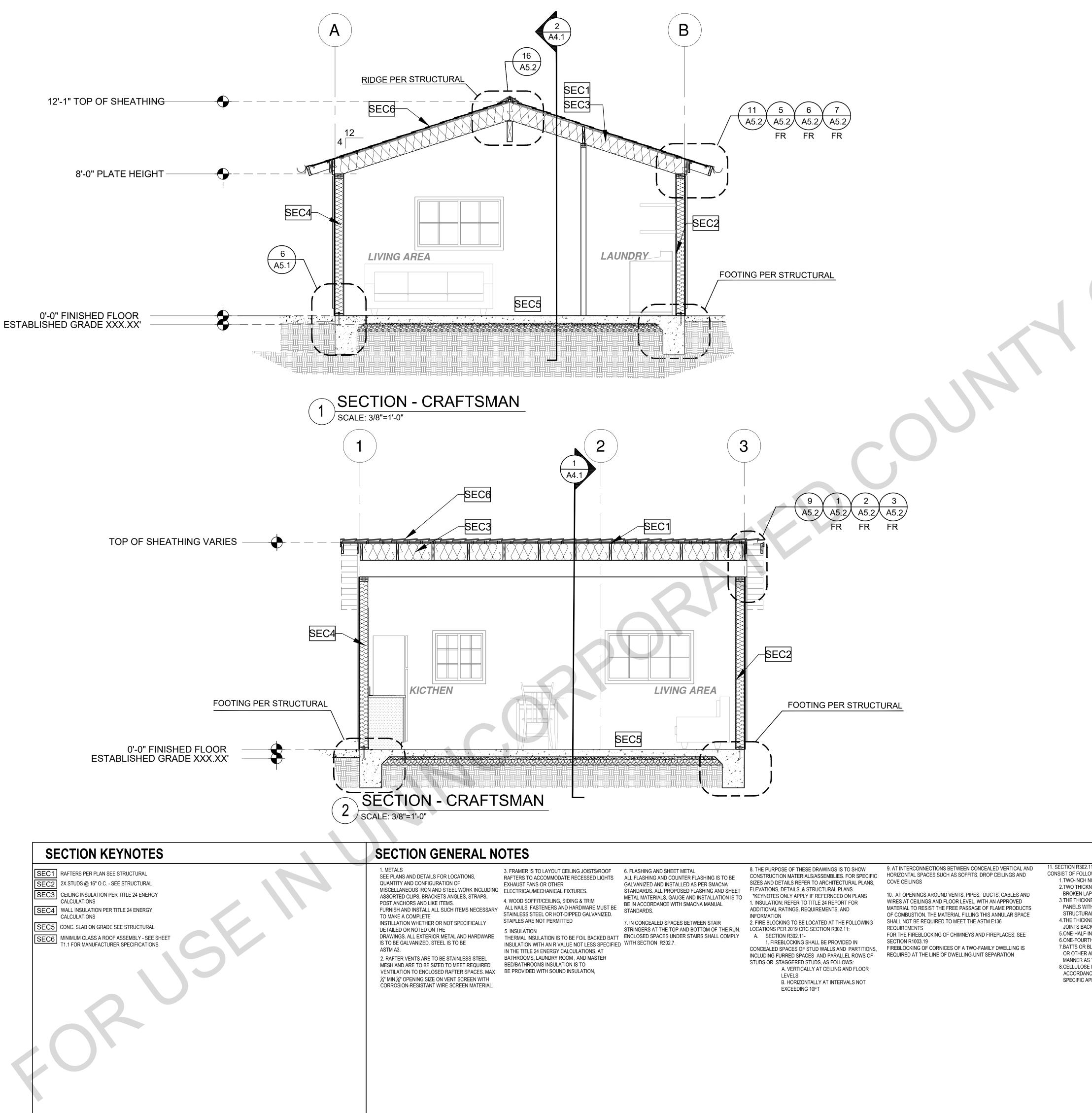
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CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL NUMBER

- BROKEN LAP JOINTS
- STRUCTURAL PANELS
- 5.ONE-HALF-INCH GYPSUM BOARD

- SPECIFIC APPLICATION



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description Sections Craftsman Studio

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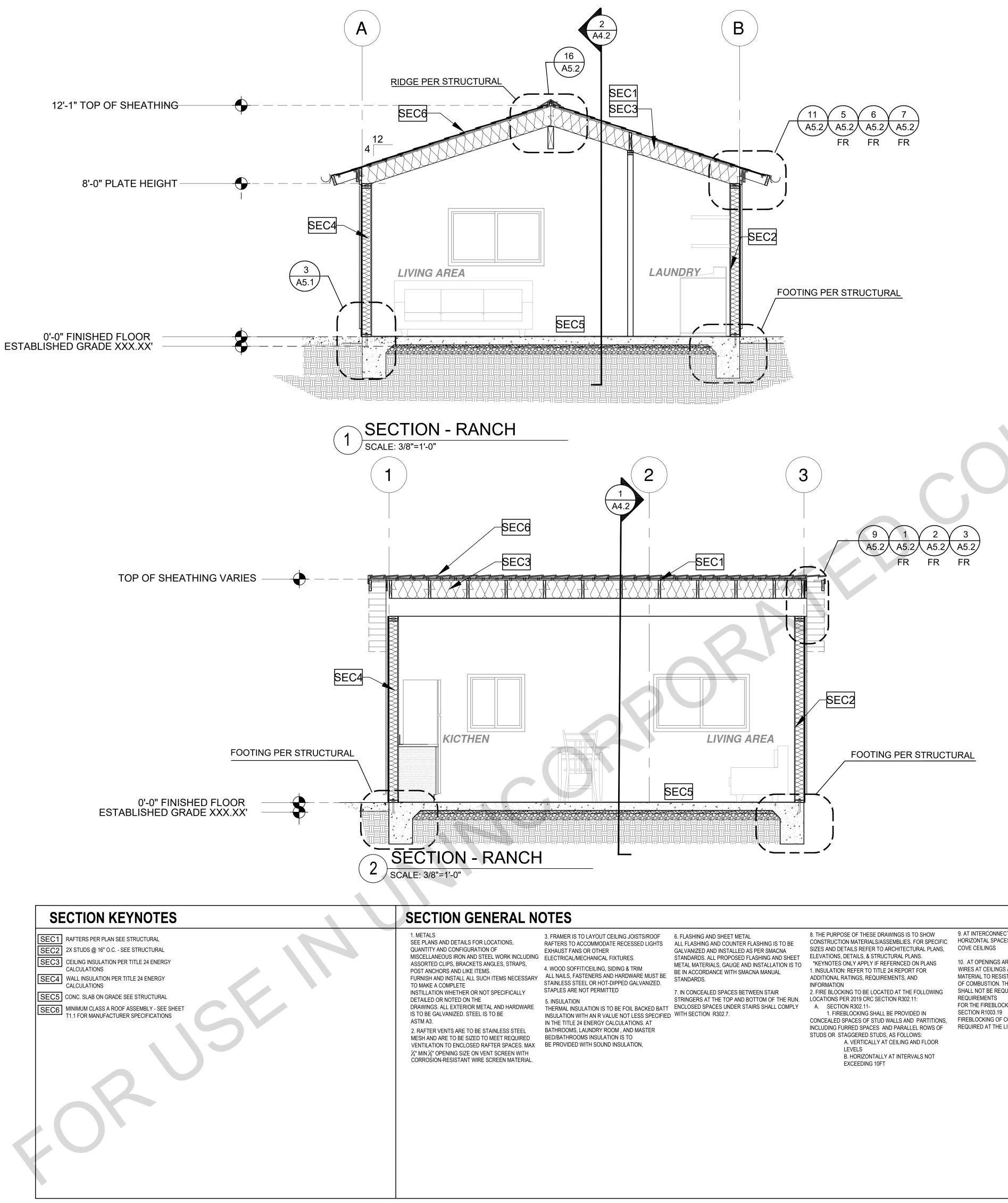
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sheet no.



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LEGEND 11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL SECTION CUT 2.TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL ELEVATION PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD CALLOUT 4.THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 6.ONE-FOURTH-INCH CEMENT-BASED MILLBOARD DETAIL 7.BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER DRAWING REF. OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE ELEVATION 8.CELLULOSE INSULATION INSTALLED AS TESTED IN -**(-)**--X'-X" MARKER ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE



9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND

10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136

FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION

11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL NUMBER

- 2.TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
- 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD
- STRUCTURAL PANELS
- 5.ONE-HALF-INCH GYPSUM BOARD
- 6.ONE-FOURTH-INCH CEMENT-BASED MILLBOARD

8.CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION



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description Sections Ranch Studio

date

project no.

drawn by

DESIGN PATH STUDIO

sheet no.

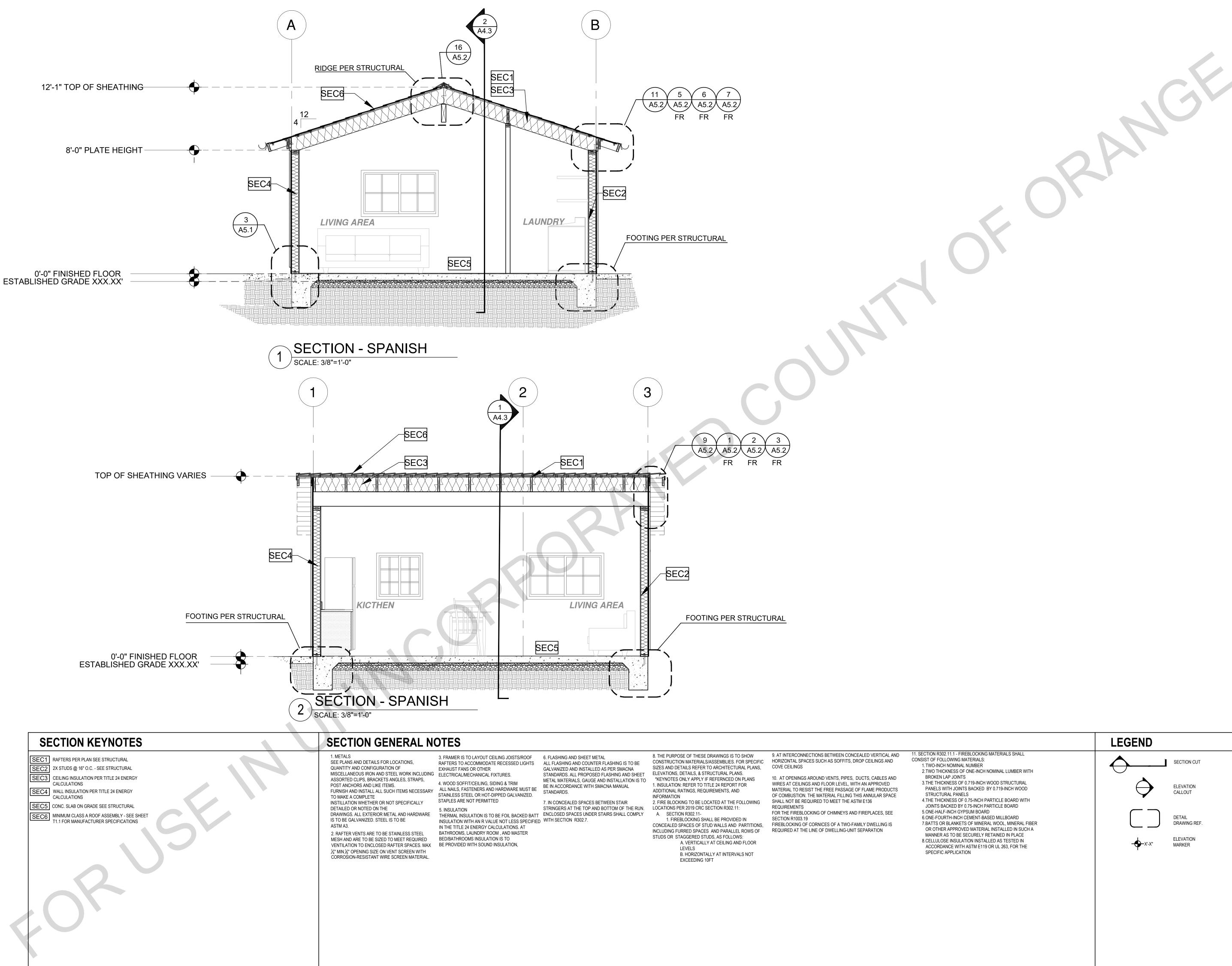


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4.THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 7.BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE

LEGEND	
\bigcirc	SECTION CUT
\diamond	ELEVATION CALLOUT
$\Box \Box$	DETAIL DRAWING REF.

RAWING REF. ELEVATION -**()**-X'-X" MARKER



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description Sections Spanish Studio

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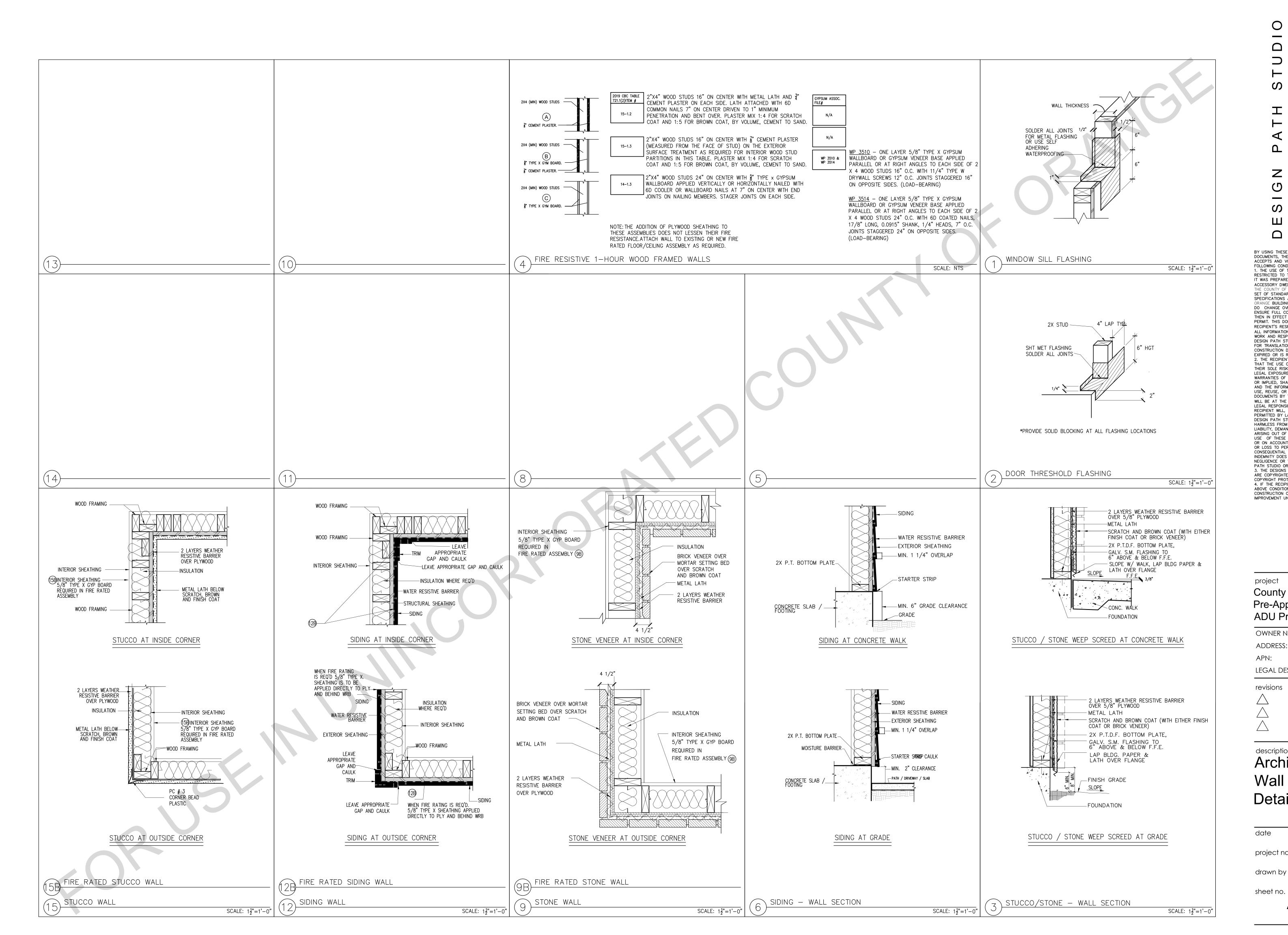
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description Architectural Wall Details

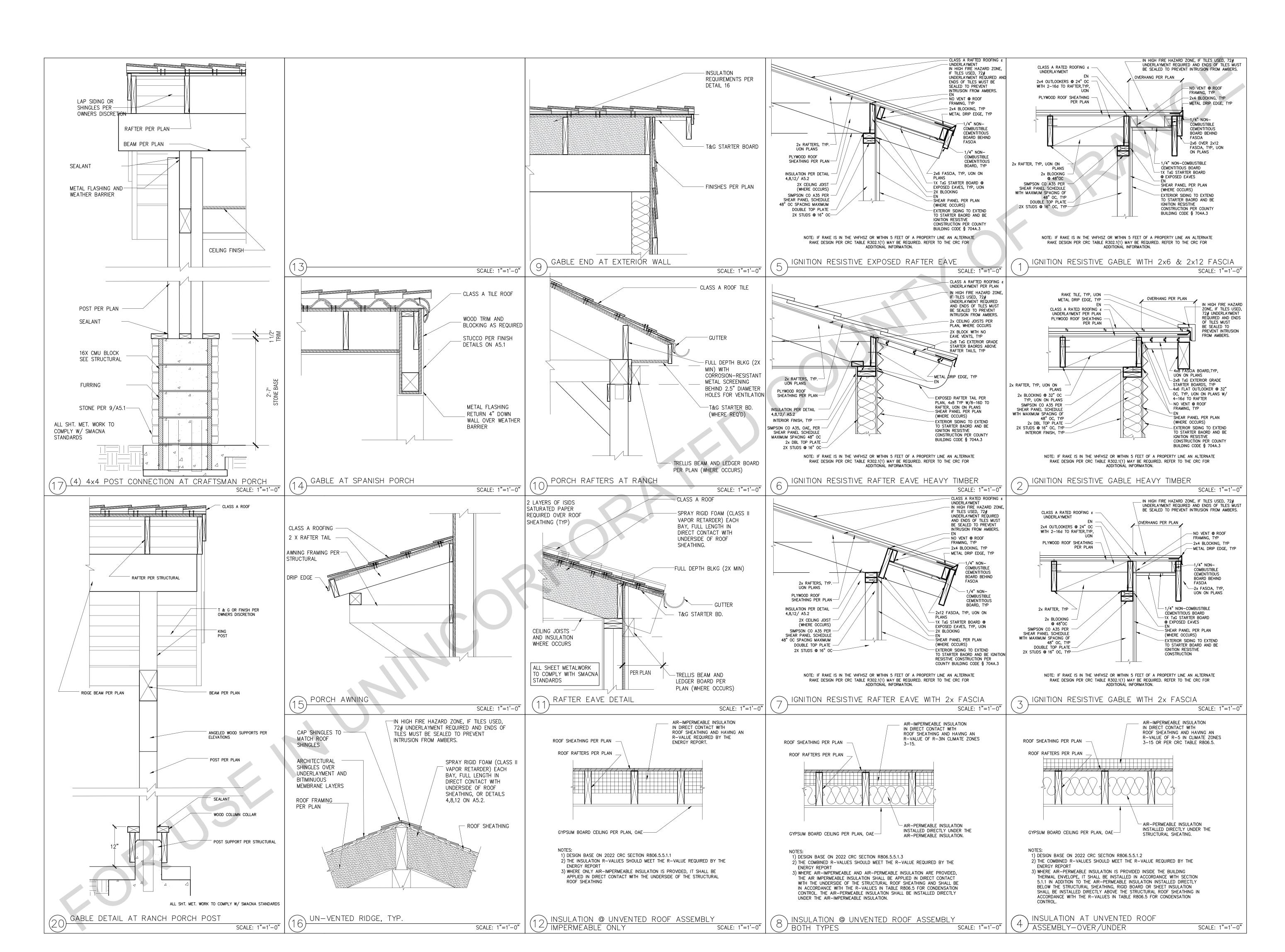
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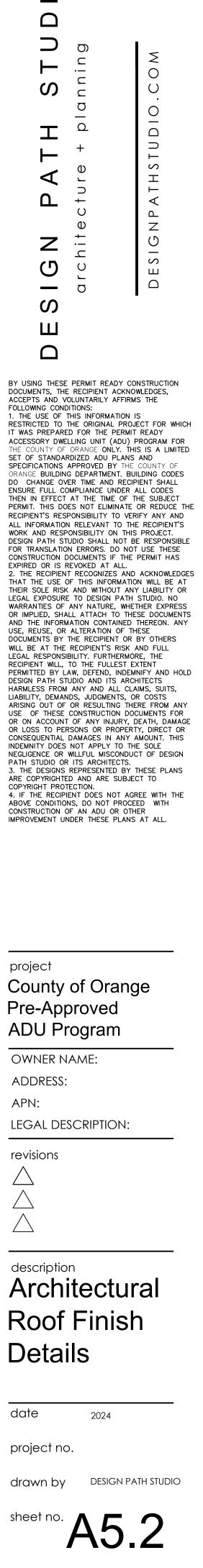
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2.	CONCRETE FOUNDATION CONSTRUCTION	3. WOOD FRAMING CONSTRUCTION (CONT.)	3. WOOD FRAMING CONSTRUCTION (CONT.)	6. NAILING SCHEDULE, MINI
200.	THE FIELD INSPECTOR SHALL VERIFY FOUNDATION REQUIREMENTS DURING FOUNDATION INSPECTION.	305. TYPICAL SHEAR TRANSFER: ROOF TO WALL: CONNECT ROOF FRAMING TO TOP PLATE W/ SIMPSON H1 @ 24" O/C	321. WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE OR USP STRUCTURAL	BLKNG AT CEILING JOISTS, RAFTERS, OR TRUSSES TO
201.	CONCRETE SHALL BE 4,500 PSI WITH WATER CEMENT RATIO OF 0.45 AND CEMENT TYPE V UNLESS SOILS REPORT IS PROVIDED AND RECOMMEND OTHERWISE. NO SPECIAL INSPECTION REQUIRED IF CONCRETE TRUCK MIX TICKET IS PROVIDED.	OR A35 OR RBC @ 24" O/C OR PER SHEAR TRANSFER DETAILS.	CONNECTORS. ALL SPECIFIED CONNECTOR CALL-OUTS ARE SIMPSON CATALOG CALL-OUTS. USP SUBSTITUTIONS SHALL HAVE A CAPACITY EQUAL TO OR GREATER THAN THE SIMPSON CATALOG VALUES. ANY OTHER ICC APPROVED METAL CONNECTOR MAY BE USED UPON APPROVAL BY THE ENGINEER OR ARCHITECT.	BLKNG AT CEILING RAFTERS OR TRUSSES NOT AT WAL BLKNG AT CEILING RAFTERS OR TRUSSES NOT AT WAL FLAT BLKNG TO TRUSS AND WEB, F.N. CEILING JOISTS TO TOP PLATE, T.N.
202.	SLAB REINFORCEMENT & FOOTINGS SHALL BE PER STRUCTURAL DETAILS CENTERED IN SLAB.	306. GROUND FLOOR / SLAB ON GRADE WALLS: PROVIDE 2X (MIN.) PTDF SILL PLATES. SEE CONCRETE FOUNDATION CONSTRUCTION NOTES 206, 207 & 208 FOR ANCHOR	322. ICC APPROVED CONNECTORS SHALL BE USED WHERE CONNECTORS ARE SPECIFIED.	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, CEILING JOISTS ATTACHED TO PARALLEL RAFTER (HEE
203.	REINFORCING BARS TO BE GRADE 40 FOR #3 BARS, GRADE 60 FOR #4 BARS & LARGER	BOLTS. AT INTERIOR NON-SHEAR CONDITIONS, 0.145 SHOT PIN ANCHORS @ 32" O/C	UNLESS OTHERWISE NOTED, THE FOLLOWING BEAM AND JOIST HANGERS SHALL BE USED: BEAM OR JOIST SIMPSON/USP HANGER	COLLAR TIE TO RAFTER, F.N. RAFTER/TRUSS TO TOP PLATE, T.N. PER TABLE 2308.7.3
204.	PROVIDE WEAKENED PLANE JOINTS FOR CRACK CONTROL (SAWCUT OR TOOLED JOINT) AT	MAY BE USED TO CONNECT PARTITIONS AND BEARING WALLS TO SLAB.	RAFTERS LU, LUS, LUC, OR HU 1.75 X LSL AND LVL HU, HUS, OR WPU	RAFTERS TO RIDGE VALLEY OR HIP; OR FATER TO 2" RII TOENAIL
	14'-0" O/C MAX.	307. ALL WOOD SILL PLATES AND ALL WOOD MEMBERS DIRECTLY AGAINST CONCRETE OR MASONRY SHALL BE FOUNDATION GRADE REDWOOD SILLS OR PTDF SILLS, TREATED WITH	2.69 X PSL AND LVL HU OR HWU	ENDNAIL
205.	SILL ANCHORAGE AT ALL SHEARWALL LOCATIONS SHALL BE PER THE SHEARWALL SCHEDULE. ALL SHEARWALL ANCHOR BOLTS SHALL RECEIVE A 3" SQUARE X 0.229" THICK WASHER. THE	SODIUM BORATE (SBX/DOT) WHEN INSTALLED IN A DRY OR ENCLOSED ENVIRONMENT. (SODIUM BORATE TREATMENT DOES NOT REQUIRE CORROSION RESISTANT CONNECTORS.)	3.5 X PSL AND LVL HHUS OR HWU 5.25 X PSL AND LVL HHUS OR HWU	STUD TO STUD (NOT AT BRACED WALL PANELS) STUD TO STUD AT INTERSECTING WALL CORNERS (BRA
	WASHER MAY BE DIAGONALLY SLOTTED (WIDTH >= BOLT DIAMETER + $\frac{3}{16}$ ", LENGTH<=1 $\frac{3}{4}$ ") PROVIDED THAT A STANDARD CUT WASHER IS USED ON TOP OF THE SQUARE WASHER.	IF OTHER TREATMENTS ARE USED, SEE NOTE 309.	7 X PSL AND LVL HHUS OR HWU	BUILT-UP HEADER (2" TO 2"), FN EA. EDGE CONT. HEADER TO STUD, T.N.
	SHEARWALL ANCHORS SHALL BE PLACED A MIN. OF $1\frac{3}{4}$ " FROM THE EDGE OF CONCRETE.	308. FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD: ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH	AT BEAM HANGER CALLOUTS, IE HGUS OR HU BEAMS, THE CALLOUT IS ABBREVIATED. THE HANGER WIDTH MAY BE OMITTED TO ALLOW FLEXIBILITY IN ORDERING. EXAMPLE: 2.69 PSL	TOP PLATE TO TOP PLATE
206	· EMBEDDED SILL ANCHOR BOLTS AT TYPICAL NON-SHEARWALL CONDITIONS SHALL BE	ACQ-C, ACQ-D, CA-B, AND CBA-A WITHOUT AMMONIA SHALL BE GALVANIZED PER	THE CALLOUT MAY READ HGUS12. AN HGUS2.75/12 OR HGUS412 (WITH FILLERS) ARE APPLICABLE. WHERE HANGERS OFFER (MIN) OR (MAX), NAIL TO APPLY (MAX) LOADS.	TOP PLATE TO TOP PLATE, AT END JOINTS (EACH SIDE 24" MIN LAP SPLICE EA. SIDE
	$\frac{5}{8}$ " DIA. MIN. ANCHOR BOLTS WITH A STANDARD CUT WASHER. SPACING SHALL NOT EXCEED 48 INCHES O/C. LOCATE AN ANCHOR BOLT NOT MORE THAN 9 INCHES, OR	ASTM A153.	^{323.} WHERE SHEARWALL LENGTHS ARE SPECIFIED ON THE PLANS, THE LENGTH SHOWN IS A	BOTTOM PLATE TO JOIST, RIM, OR BLKG, FACENAIL UNBRACED WALL: 16" o.c. FN
	LESS THAN 4" FROM ENDS AND SPLICES. EACH SILL SHALL HAVE (2) SILL BOLTS MIN.	ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH ACQ-C, ACQ-D, CA-B, AND CBA-A WITH AMMONIA SHALL BE TYPE 303, 304, 305,	MINIMUM DIMENSION. THE SHEARWALL MAY BE LENGTHENED FOR CONSTRUCTION PURPOSES, BUT SHALL NOT BE REDUCED UNLESS OTHERWISE NOTED. ALL ENGINEERED	UNBRACED WALL: 12" o.c. FN BRACED WALL: 16"o.c. FN
207.	ANCHOR BOLTS SHALL BE EMBEDDED A MIN. OF 7 INCHES INTO CONCRETE. IN A	OR 316 STAINLESS STEEL.	WOOD PANEL SHEAR (PLYWOOD OR OSB) SHALL BE BLOCKED.	STUD TO TOP OR BOTTOM PLATE
	TWO-POUR SYSTEM, ANCHOR BOLTS TO BE EMBEDDED 5 INCHES MIN. INTO FIRST POUR.	WHERE PRESSURE TREATED LUMBER IS INSTALLED IN AN EXTERIOR WET ENVIRONMENT, ALL NAILS AND FASTENERS IN CONTACT WITH THE PRESSURE TREATED LUMBER SHALL BE	 ^{324.} THE FOLLOWING HOLES IN SHEARWALLS ARE ALLOWED: A) APPROXIMATELY SQUARE HOLES NOTCHED, PUNCHED, OR CUT THAT ARE LESS THAN 	TOENAIL ENDNAIL
	SEE WOOD FRAMING CONSTRUCTION NOTES FOR ALTERNATE SILL ANCHORAGE.	TYPE 303, 304, 305, OR 316 STAINLESS STEEL.	25 SQ. INCHES B) APPROXIMATELY SQUARE HOLES CLEAN CUT OR BORED IN SHEARWALLS THAT ARE	TOP PLATES, LAPS AT CORNERS AND INTERSECTION, F 1" BRACE TO EACH STUD AND PLATE, F.N.
209.	ALL HOLDOWNS SHALL BE PLACED A MINIMUM DIM AS SHOWN IN DETAIL 3&4 ON FND DETAIL SHEET FROM EXTERIOR CORNER OF SLAB.	309. RE-TIGHTEN ALL HOLDOWN ANCHORS JUST PRIOR TO COVERING THE WALL FRAMING.	LESS THAN 64 SQ. INCHES (ONE HOLE PER 4' OF SHEARWALL.) C) APPROXIMATELY SQUARE HOLES, LESS THAN 64 SQ. INCHES (ONE HOLE PER 8' OF	1"x6" SHEATHING TO EACH BEARING, F.N. 1"x8" SHEATHING AND WIDER TO EACH BEARING, F.N.
210.	VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. SUBCONTRACTOR TO VERIFY	310. ENGINEERED BEAMS ARE AS FOLLOWS:	SHEARWALL) WITH ALL EDGES BLOCKED & EDGE NAILED.	JOIST TO SILL, TOP PLATE, OR GIRDER, T.N.
	ALL DIMENSIONS PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY HOMEOWNER AND COUNTY OF ORANGE BUILDING DEPARTMENT OF ANY DISCREPANCY, TYPICAL.	"PSL" REFERS TO PARALLEL STRAND LUMBER (E=2.0, FB=2900). "LSL" REFERS TO LAMINATED STRAND LUMBER (E=1.55, FB=2325).	D) HOLES INDIVIDUALLY APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD. 325. STUDS SHALL BE SPACED @ 16" O/C MAX. UNLESS OTHERWISE SPECIFIED. USE STUD GRADE	RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, S 1"x6" SUBFLOOR OR LESS TO EACH JOIST, F.N.
211	PROVIDE A UFER GROUND FOR ELECTRICAL SYSTEM PER ARTICLE 250.52 N.E.C.	(E=1.3 & FB=1700 AT LSL CONDITIONS WITH D (DEPTH) < 9") "LVL" REFERS TO LAMINATED VENEER LUMBER (E=2.0, FB=2800).	EXCEPT AT PLATE HEIGHTS HIGHER THAN 10'-0", THEN USE DF#2 OR BETTER	2" SUBFLOOR TO JOIST OR GIRDER, F.N. or BLIND 2" PLANKS (PLANK & BEAM - FLOOR & ROOF), FACENAIL
		"GLB" REFERS TO 24F-1.8E GLU-LAM WITH STANDARD CAMBER, U.N.O. "IJC" ENGINEERED GLU-LAM BEAM MAY BE USED UPON ENGINEER APPROVALS.	326. ALL FINISHES, WATERPROOFING, DRAINAGE, AND FIRE-RELATED ELEMENTS ARE BY THE ARCHITECT OF RECORD AND ARE REQUIRED EVEN THOUGH THEY MAY NOT BE SHOWN	BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS
212.	ALL SURROUNDING FLAT WORK SHALL BE VERIFIED WITH HOMEOWNER FOR LOCATION AND AMOUNT TO BE POURED.	AN A.I.T.C CERTIFICATE OF COMPLIANCE ISSUED BY A CURRENT ICC APPROVED QUALITY CONTROL AGENCY FOR GLUED LAMINATED WOOD MEMBERS	ON THE STRUCTURAL PLANS AND DETAILS.	32" o.c. FN Top & BTTM STAGGERED ON OPPO 24" o.c. FN Top & BTTM
213.	RETROFIT MISPLACED HOLDOWNS AS NOTED BELOW. AT EPOXY ANCHORS USE SIMPSON	SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION.	4. ICC-ES AND NER APPROVALS 400. PLYWOOD AND OSB PANELS: FULL REPORTS FOUND AT:	ENDS & SPLICES, FN LEDGER SUPPORTING JOISTS/RAFTERS
	SET-XP EPOXY PER MANUFACTURERS INSTALLATION REQUIREMENTS AS FOLLOWS: MISPLACED HOLDOWN <u>RETROFIT BOLT</u> <u>REPLACEMENT H</u> ARDWARE	311. LUMBER SPECIFICATIONS: ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH. STUDS, PLATES & BLOCKING:	APA PLYWOOD & OSBESR-2586 HTTP://WWW.ICC-ES.ORG	JOIST TO BAND OR RIM JOIST, END NAIL BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS
	LSTHD8, HTT4 5 " ALL-THREAD, EMBED 9" HTT4 STHD10, STHD14, HTT5 5 " ALL-THREAD, EMBED 9" HTT5	2X4 FRAMING LUMBER NOT LISTED BELOW STANDARD GRADE OR BETTER	401. JOISTS AND RAFTERS AND BEAMS: TRUS-JOIST TJI JOISTS AND PSL, LSL, & LVLICC-ES ESR-1387, 1153,	WOOD STRUCT. PANELS, SUBFLOOR, ROOF AND INTERI PARTICLEBOARD WALL SHEATHING TO FRAMING
	LTT20B	92-1/4", 104-1/4", & 116-1/4" 2X4 STUDS 2X4 STUDS OVER 10' #2 OR BETTER #2 OR BETTER	BOISE CASCADE BCI JOISTS, VERSA-LAM, & VERSA-STRANDICC-ESR-1040, 1336 LOUISIANA PACIFIC JOISTS & BEAMSESR-1305, 2403	16d Com or deformed; or 2 ³ / ₈ "x.113" nail (subfloor
	HDU8 ATTACH TO EXISTING A.B. HDU8 $\frac{7}{8}$ " ALL-THREAD, EMBED 15"	2X4 SILLS & PLATESSTANDARD OR BETTER2X6 STUDS, SILLS, & PLATES#2 OR BETTER	ROSEBURG JOISTS & BEAMSESR-1210, 1251 GLU-LAM BEAMS ESR-1940	$\frac{3}{8}$ $\frac{1}{2}$ 8d Com or deformed (roof) or $2\frac{3}{8}$ x.113" nail (root) $\frac{3}{4}$ $\frac{1}{4}$ 16 Ga Staple, $\frac{7}{16}$ crown (subfloor and wall)
		4X4 STUDS & POSTSSTANDARD OR BETTER OR #14X6, 6X6, & LARGER STUDS & POSTS#1 OR BETTER	PACIFIC WOOD TECH - ESR 2909	$2\frac{3}{8}$ " x.113"x.266" head nail (roof) $1\frac{3}{4}$ " 16 Ga Staple, $\frac{7}{16}$ " crown (roof)
214.	RETROFIT $\frac{3}{4}$ " & $\frac{5}{8}$ " EMBEDDED ANCHOR BOLTS AS NOTED BELOW. AT EPOXY ANCHORS USE SIMPSON SET-XP EPOXY PER SIMPSON'S INSTALLATION REQUIREMENTS.	4X4, 4X6 BEAMS & HEADERS 4X8, 4X10, 4X12, 4X14 BEAMS & HEADERS #1 OR BETTER #1 OR BETTER	402. WOOD CONNECTORS:	8d Com or deformed (subfloor and wall)
	LOCATIONTYPEREPLACEMENTSLAB EDGE, 1 3/4" DIST.SHEARWALL§ " ALL-THREAD. EPOXY. EMBED 3"	6X4 BEAMS & HEADERS 6X6 & LARGER BEAM & HEADERS #1 OR BETTER #1 OR BETTER	SIMPSON CONNECTORSICC-ES ESR #S 1161, 1622, 1866, 2105, 2203, 2236, 2320, 2549, 2551, 2552, 2553, 2330, 2554, 2555, 2604, 2605, 2606, 2607, 2608,	$\frac{13}{32}$ $\frac{13}{32}$ $\frac{13}{4}$ 8d Com or deformed (roof) or $2\frac{3}{8}$ x.113" nail (root $2\frac{3}{8}$ x.113"x.266" head nail, 2"16 Gage staple, $\frac{7}{16}$
	$OR\frac{5}{8}$ " TITEN HD, EMBED 3" MIN.	2X10 AND LARGER RAFTERS AND JOISTS #1 OR BETTER	2611, 2613, 2614, 2615, 2616, 2877, 2920, 3046 IAPMO ER-112, 130, 143, 192, 262	$\frac{7}{8} - 1\frac{1}{4}$ 10d Com or (3"x0.148"); or deformed (2 ¹ / ₂ x.131"x
	INTERIOR > 6," EDGE DIST. SHEARWALL OR NON-SHEAR $\frac{5}{8}$ " TITEN HD, EMBED 3" MIN.	312. HOLES, CUTOUTS, AND NOTCHES IN FRAMING MEMBERS: BY VIRTUE OF CODE COMPLIANCE WITH ELECTRICAL AND PLUMBING CODES. HOLES	USP LUMBER CONNECTORSICC-ES ESR #S 1178, 1280, 1575, 1702, 1781, 1881, 1970, 2104, 2685, 1831, 1465, 2761, 2787, IAPMO ER-200	OTHER EXTERIOR WALL SHEATHING (FIBERBOARD)
	ANY OTHER NON-SHEAR 0.145 DIA. SHOT PINS SPACED 4 INCHES	AND NOTCHES WILL INEVITABLY BE MADE IN FRAMING MEMBERS. THE CODE RECOGNIZES AND APPROVES VARIOUS HOLES AND NOTCHES WITHOUT ENGINEERING	QUICK DRIVE WOOD SCREWSICC-ES ESR-1472	$\frac{1}{2}$ $\frac{1}{2}$ $1\frac{1}{2}$ x0.120", galvanized roofing nail ($\frac{7}{16}$ " head dia)
	APART ON SILL. (2) FOR EACH MISSING ANCHOR BOLT. MAX. OF (6) SHOT PINS	JUSTIFICATION IN CBC SECTION 2308.8.2. ENGINEERED (PSL, LSL) RECTANGULAR	403. ADHESIVES & ANCHORS: SIMPSON EPOXY-TIE HIGH STRENGTH EPOXY (SET-XP)ICC-ES ESR-1772, 2508.	$\frac{25}{32}$ ^b $1\frac{3}{4}$ ["] x0.120", galvanized roofing nail ($\frac{7}{16}$ ["] head dia)
215	EVERY 6 FT. WHEN REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, HAVE CONTRACTOR	LUMBER BEAMS BEHAVE LIKE ANY OTHER RECTANGULAR SHAPE WHEN NOTCHED OR BORED, SO THE ENGINEER OR ARCHITECT MAY SPECIFY LIMITS WITHOUT MANUFACTURER	SIMPSON WEDGE-ALL (WA) WEDGE ANCHORSICC-ES ES-1771 SIMPSON TITEN HDICC-ESR-1056, 2713	WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOD $\frac{3}{4}$ " & LESS 8d COMMON (2 $\frac{1}{2}$ "x0.131"); or deformed (2"x0.1
	DOCUMENTATION IN WRITING FOR THE FOLLOWING:	APPROVAL OTHER HOLES AND NOTCHES ARE ALLOWED AS NOTED BELOW:	SIMPSON SHOT PINS ICC-ES ESR-2138 HILTI X-DN, X-ZF, X-CF SHOT PINSICC-ES ER-1663, 1752, 2269	$\frac{7}{8}$ "-1" 8d COMMON (2 $\frac{1}{2}$ "x0.131"); or deformed (2"x0.1
	A) THE PAD WAS PREPARED IN ACCORDANCE WITH THE SITE REQUIREMENTS AND COUNTY OF ORANGE APPROVAL	PSL AND LVL BEAMS: A HOLE 1 INCH IN DIAMETER CAN BE DRILLED ANYWHERE, AND A 2 INCH DIA. HOLE CAN BE DRILLED IN THE MIDDLE THIRD OF THE SPAN IN	5. NAILING & FASTENING	$\frac{1\frac{1}{8}"-1\frac{1}{4}"}{10d \text{ COMMON (3"x0.148"); or deformed (2\frac{1}{2}"x0.148"); or deforme$
	 B) THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED & COMPACTED. C) THE FOUNDATION EXCAVATIONS, EXPANSIVE CHARACTERISTICS AND BEARING 	THE MIDDLE THIRD OF THE DEPTH OF THE BEAM FOR ANY PSL OR LVL BEAM, EXCEPT CANTILEVERED BEAMS AND BEAMS SUPPORTING CONCENTRATED LOADS.	500. 16D NAILS AS SHOWN ON THE DETAILS MAY BE COMMON, BOX, OR SINKER NAILS (0.135" MIN. DIA)	$\frac{1}{2}$ " & LESS 6d corrosion-resistant siding ($1\frac{7}{8}$ "x.106"); or 6d corrosion-resistant siding
	CAPACITY COMPLIES WITH THE COUNTY OF ORANGE RECOMMENDATIONS .	HOLES IN THOSE CONDITIONS REQUIRE APPROVAL IN WRITING FROM THE ENGINEER.	501. AS AN ALTERNATE TO THE COMMON AND BOX NAILS SPECIFIED IN THE STRUCTURAL PLANS, THE FOLLOWING "CUTLER" GUN NAILS (OR EQUAL) ARE ACCEPTABLE ALTERNATIVES.	$\frac{5}{8}$ 8d corrosion-resistant siding ($2\frac{3}{8}$ "x0.128"); or 8d of INTERIOR PANELING
216.	ALL HOLDOWN ANCHORS & HARDWARE MUST BE TIED IN PLACE PRIOR TO CALLING FOR A FOUNDATION INSPECTION.	PSL AND LVL BEAMS: A RAKE CUT (TAPER) AT THE TOP OF THE BEAM AT THE END OF THE SUPPORT IS ALLOWED IF NOTED ON PLANS, TO A	502. ALTERNATE NAILING FOR ROOF SHEATHING:	$\frac{1}{4}$ " 4d casing (1 ¹ / ₂ "x0.080"); or 4d finish (1 ¹ / ₂ "x0.072")
	WOOD FRAMING CONSTRUCTION	MINIMUM OF 4-3/8" AT INSIDE FACE OF SUPPORT. RAKE CUT (TAPER) THAT RESULTS IN A DEPTH AT THE INSIDE FACE OF THE SUPPORT OF 2/3RDS THE	8D 2 $\frac{1}{2}$ " X 0.135 WIRE BARBED NAILS BY CUTLER OR EQUAL.	3r 6d casing (2"x0.099"); or 6d finish (2"x.092") - (F 7. DESIGN CRITERIA
300	. ROOFING MATERIALS SHALL BE PER ARCHITECTURAL DRAWINGS.	BEAM DEPTH IS ALLOWED AT CONDITIONS NOT SPECIFIED. OTHER TAPERED ENDS AND SQUARE NOTCHES IN TOP OR BOTTOM FACE REQUIRE APPROVAL IN	503. ALTERNATE NAILING FOR FLOOR SHEATHING: #8 X 2" SELF SETTING WOOD SCREWS, OR	700. BUILDING CODE: 2022 CALIFORNIA BUILDING CODE
301	• ROOF SHEATHING SHALL BE $\frac{19}{32}$ " OR $\frac{5}{8}$ " C-D GRADE, INTERIOR TYPE PLYWOOD WITH EXTERIOR GLUE, OR OSB PANELS. IDENTIFICATION INDEX (24/0) W/ 8D	WRITING FROM THE ENGINEER OR ARCHITECT.	8D 2 $\frac{1}{2}$ " X 0.135 OR 0.148 SCREW SHANK FLOOR NAILS BY CUTLER OR EQUAL	RESIDENTIAL CODE.
	COMMON NAILS @ 6" O/C @ ALL PERIMETER EDGES AND ALL INTERIOR SUPPORTED	SEE STRUCTURAL DETAILS 13 & 14 ON DETAIL SHEETS NOTCHING AND BORING.	504. SHEAR PANELS WHERE 8D COMMON NAILS ARE SPECIFIED: 10D 2 ¹ / ₂ " X 0.148" WIRE BARBED NAILS BY CUTLER OR EQUAL	701. SEISMIC DESIGN CRITERIA: SOIL BEARING VALUE
	EDGES AND @ 12" O/C @ ALL INTERMEDIATE SUPPORTS PER AWC NDS. SEE DETAILS FOR SHEAR	AND DORING.		SITE CLASS
	AND DRAG NAILING.		NAIL SIZES	SEISMIC DESIGN CATEGORY
302	· TYPICAL WALL SHEATHING:	313. PROVIDE 2X4 TRIMMER & 2X4 KING STUD EACH END OF EACH 4X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE	SIZE OF STANDARD WIRE SIZE PENETRATION	SEISMIC DESIGN CATEGORY RISK CATEGORY SEISMIC IMPORTANCE FACTOR
302	 TYPICAL WALL SHEATHING: INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. 5" GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 7" O/C TO ALL STUDS AND TO TOP & 	OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER.	SIZE OF STANDARD WIRE SIZE PENETRATION NAIL LENGTH GAUGE (INCHES) REQUIRED	
302	• TYPICAL WALL SHEATHING: INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. 5" GYPSUM	OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE	SIZE OF STANDARD WIRE SIZE PENETRATION	RISK CATEGORY SEISMIC IMPORTANCE FACTOR Ss S1
302	• TYPICAL WALL SHEATHING: INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. 5" GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 7" O/C TO ALL STUDS AND TO TOP & BOTTOM PLATES (UNBLOCKED) AT INTERIOR SIDE OF EXTERIOR WALLS AND AT BOTH SIDES OF ALL INTERIOR WALLS.	OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER. 314. PROVIDE 2X6 TRIMMER & 2X6 KING STUD EACH END OF EACH 6X DROPPED BEAM	SIZE OF STANDARD WIRE SIZE PENETRATION NAIL LENGTH GAUGE (INCHES) REQUIRED	RISK CATEGORY SEISMIC IMPORTANCE FACTOR Ss S1 BASIC SEISMIC FORCE RESISTING SYSTEM:BEARII METHOD: EQUIVALENT LATERAL FORCE PROCEDU
302	 TYPICAL WALL SHEATHING: INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. ⁵/₈" GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 7" O/C TO ALL STUDS AND TO TOP & BOTTOM PLATES (UNBLOCKED) AT INTERIOR SIDE OF EXTERIOR WALLS AND AT BOTH SIDES OF ALL INTERIOR WALLS. EXTERIOR SURFACES: SEE PLANS. WHERE "STUCCO" IS SPECIFIED PROVIDE ⁷/₈" EXTERIOR CEMENT PLASTER OVER WIRE LATH OVER TYPE 15 BUILDING PAPER. 	 OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER. 314. PROVIDE 2X6 TRIMMER & 2X6 KING STUD EACH END OF EACH 6X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 6X8 OR LARGER. PROVIDE DOUBLE 	SIZE OF NAIL STANDARD LENGTH WIRE GAUGE SIZE (INCHES) PENETRATION REQUIRED 6D 2" 12 0.099 1" 8D 2<"	RISK CATEGORY SEISMIC IMPORTANCE FACTOR Ss S1 BASIC SEISMIC FORCE RESISTING SYSTEM:BEARI METHOD: EQUIVALENT LATERAL FORCE PROCEDU CALCULATIONS FOR SD1, SDS, DESIGN BASE SHE
302	• TYPICAL WALL SHEATHING: INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. $\frac{5}{8}$ " GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 7" O/C TO ALL STUDS AND TO TOP & BOTTOM PLATES (UNBLOCKED) AT INTERIOR SIDE OF EXTERIOR WALLS AND AT BOTH SIDES OF ALL INTERIOR WALLS. EXTERIOR SURFACES: SEE PLANS. WHERE "STUCCO" IS SPECIFIED PROVIDE $\frac{7}{8}$ " EXTERIOR CEMENT PLASTER OVER WIRE LATH OVER TYPE 15 BUILDING PAPER. LATH ATTACHED TO ALL STUDS AND TOP AND BOTTOM PLATES (OR BLOCKING AS OCCURS) W/ 16 GAGE X $\frac{7}{16}$ " STAPLES @ 6" O/C OR NO. 11 GAGE X 1-1/2"	 OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER. 314. PROVIDE 2X6 TRIMMER & 2X6 KING STUD EACH END OF EACH 6X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 6X8 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 5.1/4 X 7-1/2 PSL OR LSL OR LARGER. 315. PROVIDE DOUBLE KING STUDS AT ALL OPENINGS 8'-1" WIDE AND WIDER OR PER PLAN. 316. PROVIDE MINIMUM 2-1/4" BEARING @ EACH END OF EACH FLUSH BEAM OR HEADER 	SIZE OF NAIL STANDARD LENGTH WIRE GAUGE SIZE (INCHES) PENETRATION REQUIRED 6D 2" 12 0.099 1" 8D 2<"	RISK CATEGORY SEISMIC IMPORTANCE FACTOR Ss S1 BASIC SEISMIC FORCE RESISTING SYSTEM:BEARI METHOD: EQUIVALENT LATERAL FORCE PROCEDU
	TYPICAL WALL SHEATHING: INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. $\frac{5}{8}$ " GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 7" O/C TO ALL STUDS AND TO TOP & BOTTOM PLATES (UNBLOCKED) AT INTERIOR SIDE OF EXTERIOR WALLS AND AT BOTH SIDES OF ALL INTERIOR WALLS. EXTERIOR SURFACES: SEE PLANS. WHERE "STUCCO" IS SPECIFIED PROVIDE $\frac{7}{8}$ " EXTERIOR CEMENT PLASTER OVER WIRE LATH OVER TYPE 15 BUILDING PAPER. LATH ATTACHED TO ALL STUDS AND TOP AND BOTTOM PLATES (OR BLOCKING AS OCCURS) W/ 16 GAGE X $\frac{7}{16}$ " STAPLES @ 6" O/C OR NO. 11 GAGE X 1-1/2" FURRING NAILS WHERE INDICATED ON ELEVATIONS.	 OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER. 314. PROVIDE 2X6 TRIMMER & 2X6 KING STUD EACH END OF EACH 6X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 6X8 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 5-1/4 X 7-1/2 PSL OR LSL OR LARGER. 315. PROVIDE DOUBLE KING STUDS AT ALL OPENINGS 8'-1" WIDE AND WIDER OR PER PLAN. 316. PROVIDE MINIMUM 2-1/4" BEARING @ EACH END OF EACH FLUSH BEAM OR HEADER WHERE BEARING IS ON TOP PLATE. PROVIDE 2X4 STUD WITHIN 3" OF BEARING POINT. PROVIDE (2) 2X STUDS @ 6X OR LSL OR PSL BEAMS. 	SIZE OF NAIL STANDARD LENGTH WIRE GAUGE SIZE (INCHES) PENETRATION REQUIRED 6D 2" 12 0.099 1" 8D 2 " 11 0.113 1" 10D 3" 10 0.128 1 " 16D 3 " 10 0.135 1 " 16D SINKER 3" 9 0.148 1 "	RISK CATEGORY SEISMIC IMPORTANCE FACTOR Ss S1 BASIC SEISMIC FORCE RESISTING SYSTEM:BEARI METHOD: EQUIVALENT LATERAL FORCE PROCEDU CALCULATIONS FOR SD1, SDS, DESIGN BASE SHE 702. WIND DESIGN CRITERIA :
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IIMUMS (CBC CHAPTER 23, TABLE 2304.10.2) 4-8d Box, 3-8d Com, 3-10d box, 3-3" x 0.131" nails, 3-3" 14 gage staples TOP PLATE OR OTHER FRAMING, T.N. 2-8d Com, 2-3" x 0.131" nails, 2-3" 14 gage staples L TOP PLATE TO RAFTER OR TRUSS, T.N. L TOP PLATE TO RAFTER OR TRUSS, E.N. 2-16d Com, 3-3" x 0.131" nails, 3-3" 14 gage staples 16d Com, 3"x.131" nails, 3"x14 gage staples @ 6" o.c 4-8d box, 3-8d Com, 3-10d box, 3-3"x.131 nails, 3-3" 14 gage staples 3-16d Com, 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples LAPS OVER PARTITIONS, F.N. PER 2308.7.3.1 L JOINT), F.N. PER 2308.7.3.1 3-16d Com, 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples 3-10d Com, 4-10d box, 4-3"x0.131" nails, 4-3" 14 gage staples 3-10d Com, 3-16d or 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples IDGE BEAM 4-16d box, 3-10d Com, 3-16d or 4-10d box, 4-3" x 0.131" nails, 4-3" 14 gage staples 2-16d Com, 3-16d box, 3-10d box, 3-3" x 0.131" nails, 3-3" 14 gage staples 16d Com @ 24" o.c. FN OR 2-10d box, 3" x 0.131" nails, 3-3" 14 gage staples @ 16" o.c. FN ACED WALL) 16d Com @ 16" o.c. FN OR 16d Box, 3" x 0.131" nails, 3-3" 14 gage staples @ 12" o.c. FN 16d Com @ 16" o.c OR 16d Box @ 12" o.c. 4-8d Com, 4-10d Box, 5-8d box 16d Com @ 16" o.c. FN OR 10d Box, 3" x 0.131" nails, 3" 14 gage staples @ 12 o.c. FN E OF END JOINT), FACENAIL 8-16d Com, 12-16d Box, 12-10d Box, 12-3" x 0.131" nails, 12-3" 14 gage staples 16d Com 16d Box, 3" x 0.131" nails, 3" 14 gage staples 2-16d Com, 3-16d Box,4-3"x.131" nails,4-3" 14 gage staples 4-8d Box, 4x10d Box, 4-8d Com, 3-16d Box, 4-3"x0.131" nails, 4-3" 14 gage staples 3-16d Box, 2-16d Com, 3-10d Box, 3-3"x0.131" nails, 3-3" 14 gage staples 2-16d Com, 3-10d box, 3-3" x 0.131" nails, 3-3" 14 gage staples 3-8d Box, 2-8d Com, 2-10d Box, 2-3" x 0.131" nails, 2-3" 14 gage staples 3-8d Box, 2-1.75" 16 Gage staples, 2-8d Com, 2-10d Box 4-8d box, 4-1.75" 16 Gage staples, 3-8d Com, 3-10d Box 4-8d box, 3-8d Com, 3-10d Box, 3-3" x 0.131" nails, 3-3" 14 gage staples SILL OR OTHER 8d Box @ 4" o.c. TN OR 8d Com, 10d Box, 3" x 0.131" nails, 3" 14 gage staples @ 6" o.c. TN 2-1.75" Gage Staples, 2-8d Com, 3-10d Box 3-16d Box, 2-16d Com L & EACH BEARING 3-16d Box, 2-16d Com SITE SIDES 20d Com 10d Box, 3"x0.131" nails, 3" 14 gage staples 2-20d Com, 3-10d Box, 3-3"x0.131" nails, 3-3" 14 gage staples 4-16d Box, 3-16d Com, 4-10d Box, 4-3"X0.131, 4-3" 14ga. STAPLES 3-16d Com, 4-10d Box, 4-3"X0.131, 4-3" 14ga. STAPLES EACH END, T.N. 2-8d Com, 2-10d box, 2-3" x 0.131" nails, 2-3" 14 gage staples RIOR WALL SHTNG TO FRMG AND EDGES INTERMEDIATE (IN) SUPPORTS (IN) r and wall) FOOTNOTES: a. Nails spaced at 6 inches at intermediate supports where spans are 48 inches or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Section 2305. Nails for wall sheathing are permitted to be common, box or casing. b. Spacing shall be 6 inches on center on the edges and 12 inches on center at intermediate supports for nonstructural applications. Panel supports at 16 inches (20 inches if strength axis in the long direction of " crown the panel, unless otherwise marked). x.281 head) c. Where a rafter is fastened to an adjacent parallel ceiling joist in 6 12 accordance with this schedule and the ceiling joist is fastened to the top plate in accordance with this schedule, the number of toenails in the rafter shall be permitted to be reduced by one nail. a) or $1\frac{1}{4}$ " 16 Ga Staple w/ $\frac{7}{16}$ " or 1" crown d. RSRS-01 is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM F1667. a) or $1\frac{1}{2}$ " 16 Ga Staple w/ $\frac{7}{16}$ " or 1" crown e. Tabulated fastener requirements apply where the ultimate design wind speed is less than 140 mph. For wood structural panel roof sheathing attached to gable-end roof framing and to intermediate R UNDERLAYMENT TO FRAMING supports within 48 inches of roof edges and ridges, nails shall be spaced at 4 inches on center where the ultimate design wind speed is 12 6 113"); or deformed (2"x0.120") greater than 130 mph in Exposure B or greater than 110 mph in 12 6 Exposure C. Spacing exceeding 6 inches on center at intermediate 113"); or deformed (2"x0.120") supports shall be permitted where the fastening is designed per the 12 1.131"; or deformed ($2\frac{1}{2}$ "x0.120") 6 AWC NDS. e. Fastening is only permitted where the ultimate design wind speed is less than or equal to 110 mph g. Nails and staples are carbon steel meeting the specifications of 6 12 corrosion-resistant (2"x.099") ASTM F1667. Connections using nails and staples of other materials, 12 corrosion-resistant casing $(2\frac{1}{2}$ "x0.113") such as stainless steel, shall be designed by acceptable engineering practice or approved under Section 104.11. 6 12 12 Panel supports at 24 inches) 6 8. STATEMENT OF SPECIAL INSPECTIONS E AND 2022 CALIFORNIA 800. RETROFIT ANCHOR BOLTS FOR MISPLACED HOLDOWNS WITH ALL-THREAD ROD AND SIMPSON SET-XP EPOXY REQUIRE SPECIAL INSPECTION. (NO SPECIAL INSPECTION IS REQUIRED FOR RETROFIT ANCHOR BOLTS OR TITEN HD'S WITHOUT A 1,500 psf HOLDOWN ATTACHED.) D (Default) 801. PER CBC 1705.3 SPECIAL INSPECTION IS NOT REQUIRED FOR NON-STRUCTURAL SLABS ON GRADE NOR FOR CONCRETE FOOTINGS THAT SUPPORT 3 STORIES ABOVE GRADE OR LESS. 1.872 0.658 802. PER CBC 1705.11 SPECIAL INSPECTION IS NOT REQUIRED FOR SEISMIC COMPONENTS FOR DETTACHED ONE- AND ING WALL ANALYSIS TWO-FAMILY DWELLINGS NOT EXCEEDING 2 STORIES ABOVE OURE SEE STRUCTURAL GRADE. EAR, Cs, & R FACTORS. 9. SOILS REPORT A SOILS REPORT IS REQUIRED PER COUNTY OF ORANGE REQUIREMENTS FOR ALL 124 mph NEW STRUCTURE EXEPT: 1) DETACHED ACCESSORY STRUCTURE OR SINGLE FAMILY DWELLING LARGER THAN 500 SQUARE FEET BUT NOT MORE THAN 1,200 SQUARE FEET LOCATED IN LIQUEFACTION AREA SHALL REQUIRE 4' OVEREXCAVATION. 2) ONE STORY DETACHED ACCESSORY STRUCTURE UP TO 1,200 SQUARE FEET LOCATED IN NON-LIQUEFACTION AREA. ONE STORY DETACHED ACCESSORY 20 psf STRUCTURE UP TO 500 SQUARE FEET LOCATED IN LIQUEFACTION AREA. 20 psf 10 psf IN-LIEU OF A SOILS REPORT FOR PERMIT READY ADU PROGRAM, A CONSERVATIVE VALUE FOR THE SOIL BEARING ALLOWABLE OF 1500 PSF HAS BEEN USED IN

DESIGN OF THE BUILDING.

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BY USING THESE PERMIT READY CONSTRUCTION

DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE

FOLLOWING CONDITIONS 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE COUNTY OF ORANGE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE COUNTY OF ORANGE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY. DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE

ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project County of Orange Pre-Approved ADU Program

OWNER NAME:

ADDRESS:

APN: LEGAL DESCRIPTION:

revisions

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description

Structural Notes & **Specifications**

2024

date

project no.

drawn by DESIGN PATH STUDIO

sheet no. 🔿 🖌

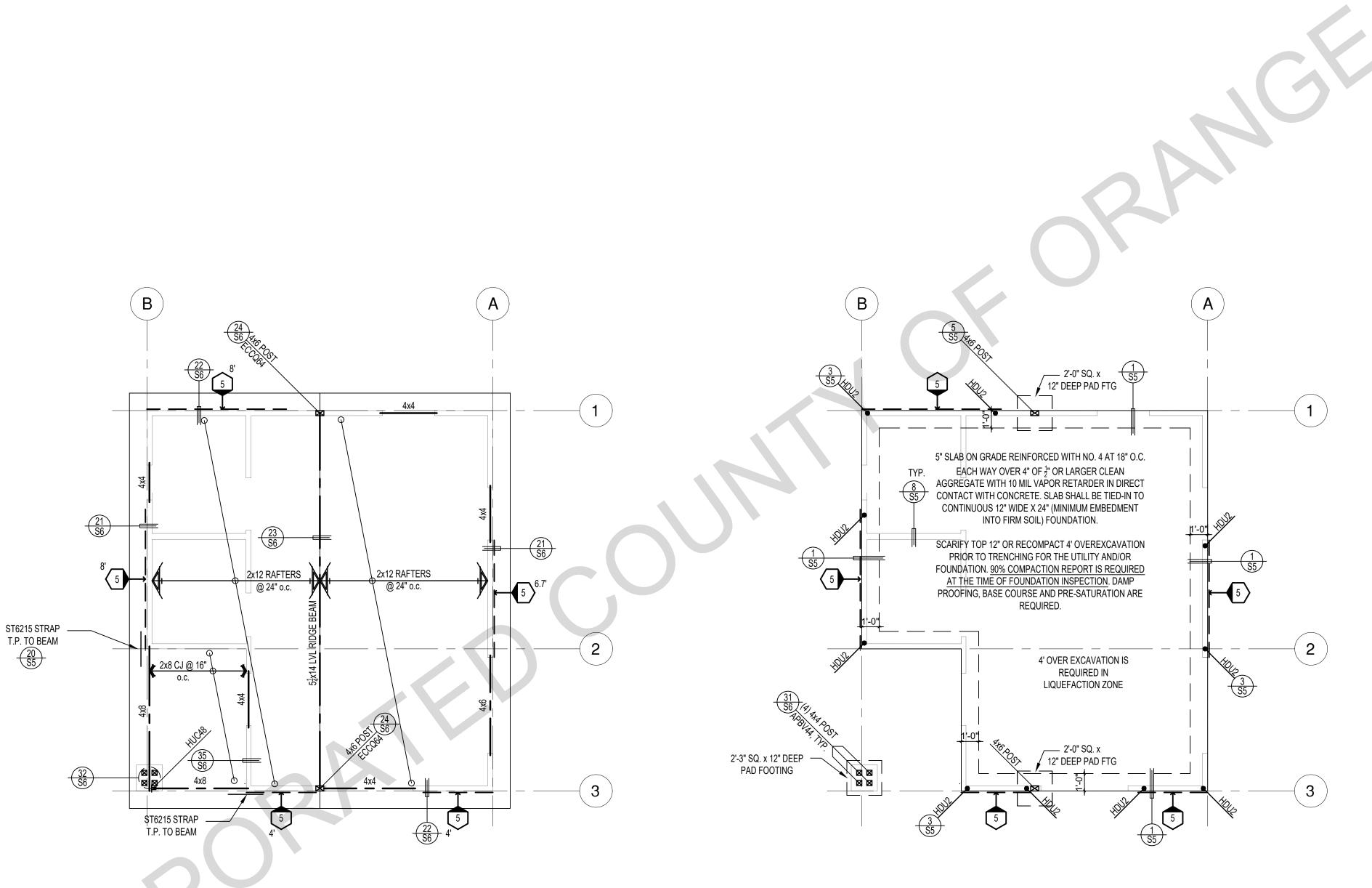
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FOUNDATION NOTES

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x4 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHORBOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT. 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- 5. SEE SHT S5 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- . POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA SIDE, TYP.
- . FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.
- . BOTTOM OF THE FOOTINGS SHALL BE CERTIFIED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCEMENT BARS

	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1& 4)	³ ∕ ₈ " ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	$\frac{3}{6}$ " ply. C-D or C-C sheathing, (1) side w/ 8d @ $\frac{4}{2}$ " o/c edge, 12" o/c field, blocked (See footnote 3)	³ / ₈ " ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	³ / ₈ " rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	¹⁵ / ₃₂ " rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	15 / ₃₂ " rated STRUCT 1 panel, (1) side of the observation of th
SHEAR VALUE (PLF)	260*	350*	490*	550*	665*	870*
ANCHOR BOLT SPACING	5⁄8" @ 48" or 1∕2" @ 32"	5⁄8" @ 32" or 1∕2" @ 24"	5%" @ 24" or ½" @ 16"	5⁄8" @ 24" or ½" @ 16"	5⁄8" @ 16" or 1∕2" @ 24"	5⁄8" @ 12" or 1∕2" @ 8"
16d (0.148") SILL NAILING	6"	4½"	3½"	3"	½"x4½" SDS screws @ 8"	½"x4½" SDS screws @ 8"
SPACING OF A35/LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

- PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- (*) ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

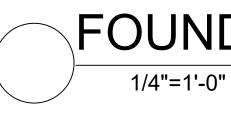


ROOF FRAMING PLAN

1/4"=1'-0"

<u>20</u> S5

CRAFTSMAN



SHEAR WALL SCHEDULE (ASD VALUES)

SHEAR WALL FOOTNOTES

(1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.

(2) SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209. 307, 308, 309, ETC.)

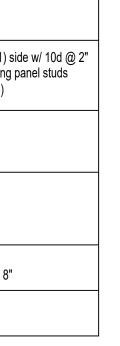
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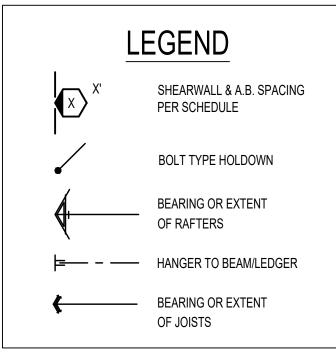
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(5) IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.

FOUNDATION PLAN

CRAFTSMAN





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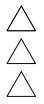
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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Craftsman Foundation & Framing Plan

2024

date

project no.

drawn by

DESIGN PATH STUDIO

sheet no.

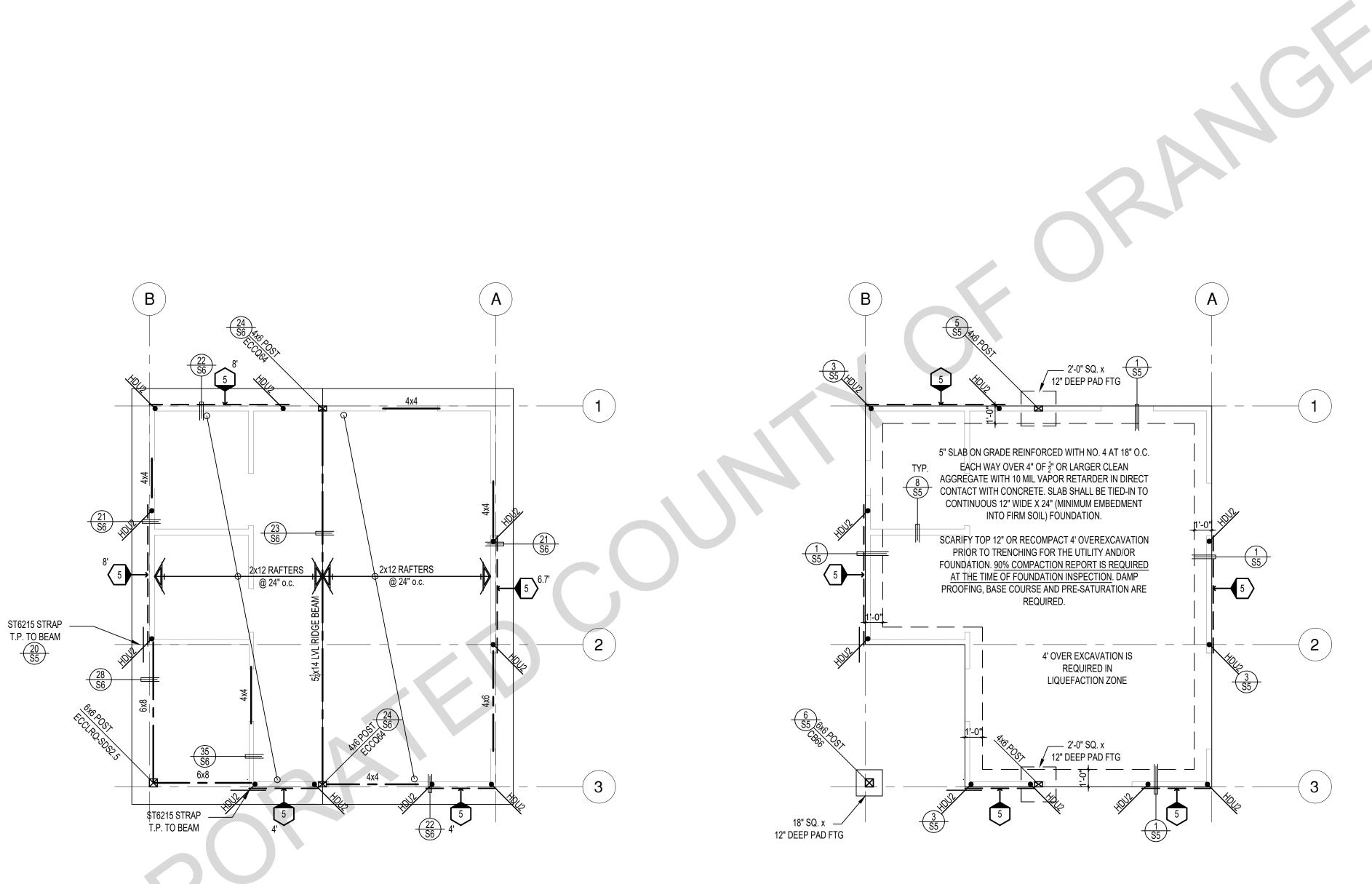
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FOUNDATION NOTES

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- ALL EXTERIOR STUDS TO BE 2x4 @ 16" O.C.
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- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT. 5. PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
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- . POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA SIDE, TYP.
- . FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.
- . BOTTOM OF THE FOOTINGS SHALL BE CERTIFIED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF REINFORCEMENT BARS

	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1& 4)	$\frac{3}{8}$ " ply. C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	$\frac{3}{8}$ " ply. C-D or C-C sheathing, (1) side w/ 8d @ $\frac{4}{2}$ " o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply. C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	³ / ₈ " rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	15 / ₃₂ " rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	15 / ₃₂ " rated STRUCT 1 panel, (1) side o/c edge, 12" o/c field 3x abutting p blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	350*	490*	550*	665*	870*
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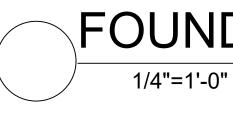
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ROOF FRAMING PLAN

1/4"=1'-0"

RANCH



SHEAR WALL SCHEDULE (ASD VALUES)

SHEAR WALL FOOTNOTES

(1) AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARSHALL BE APPLIED OVER STUDS @ 16" O/C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.

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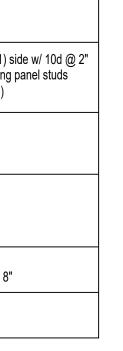
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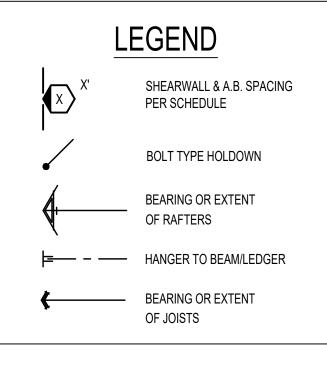
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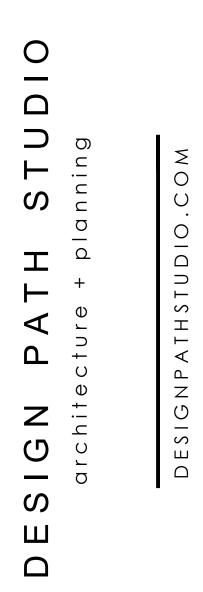
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FOUNDATION PLAN

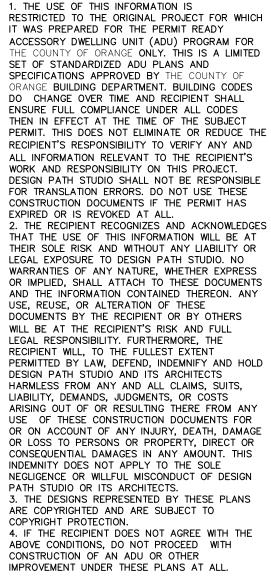
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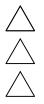


project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Ranch Foundation & Framing Plan

2024

date

project no.

drawn by

DESIGN PATH STUDIO

sheet no.

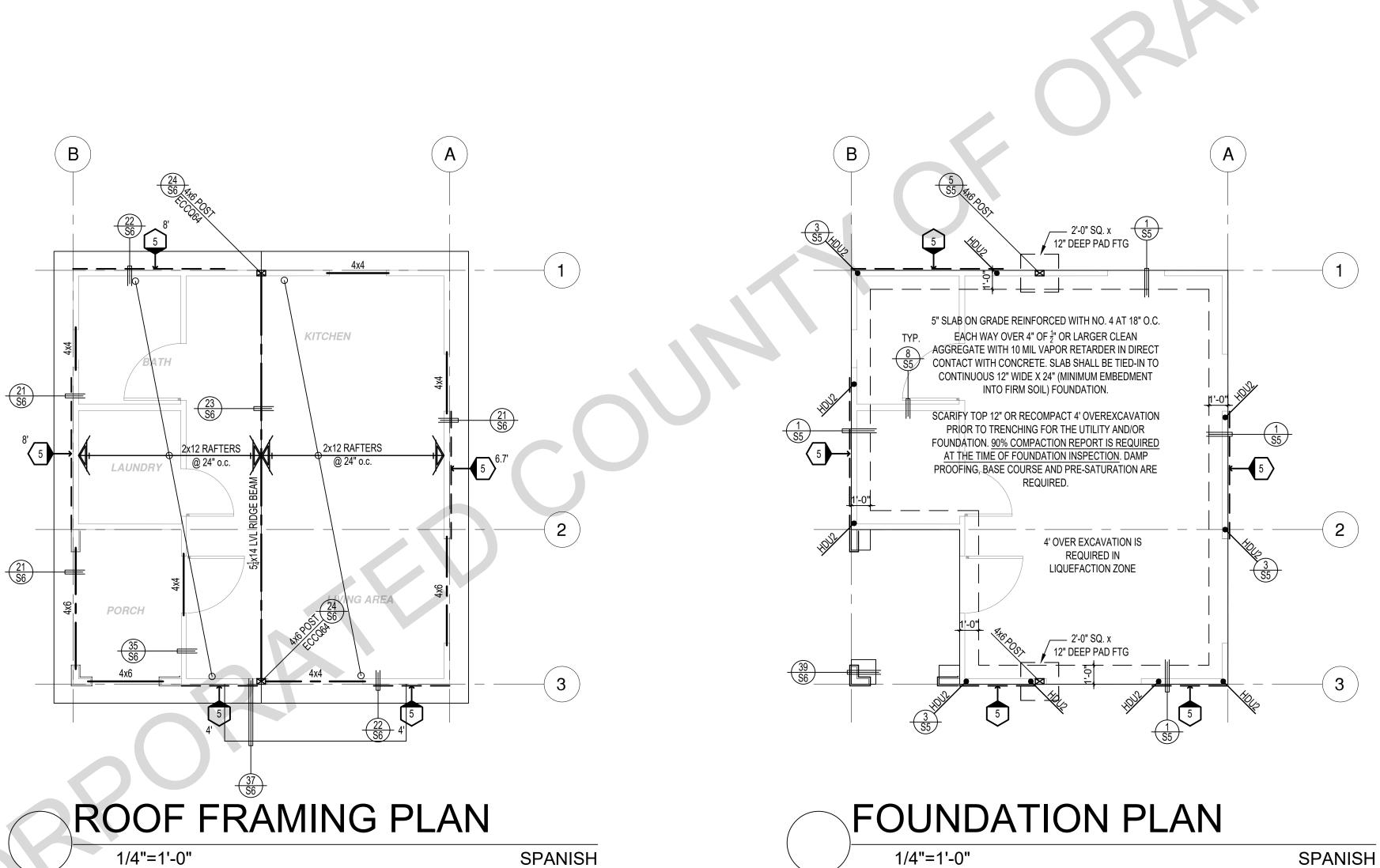
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SHEAR WALL SCHEDULE (ASD VALUES)

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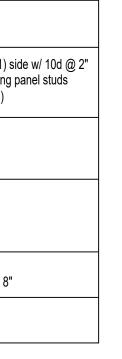
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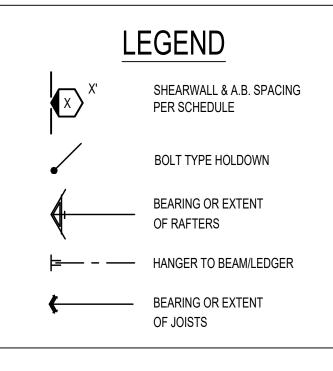
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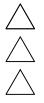
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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Spanish Foundation & Framing Plan

2024

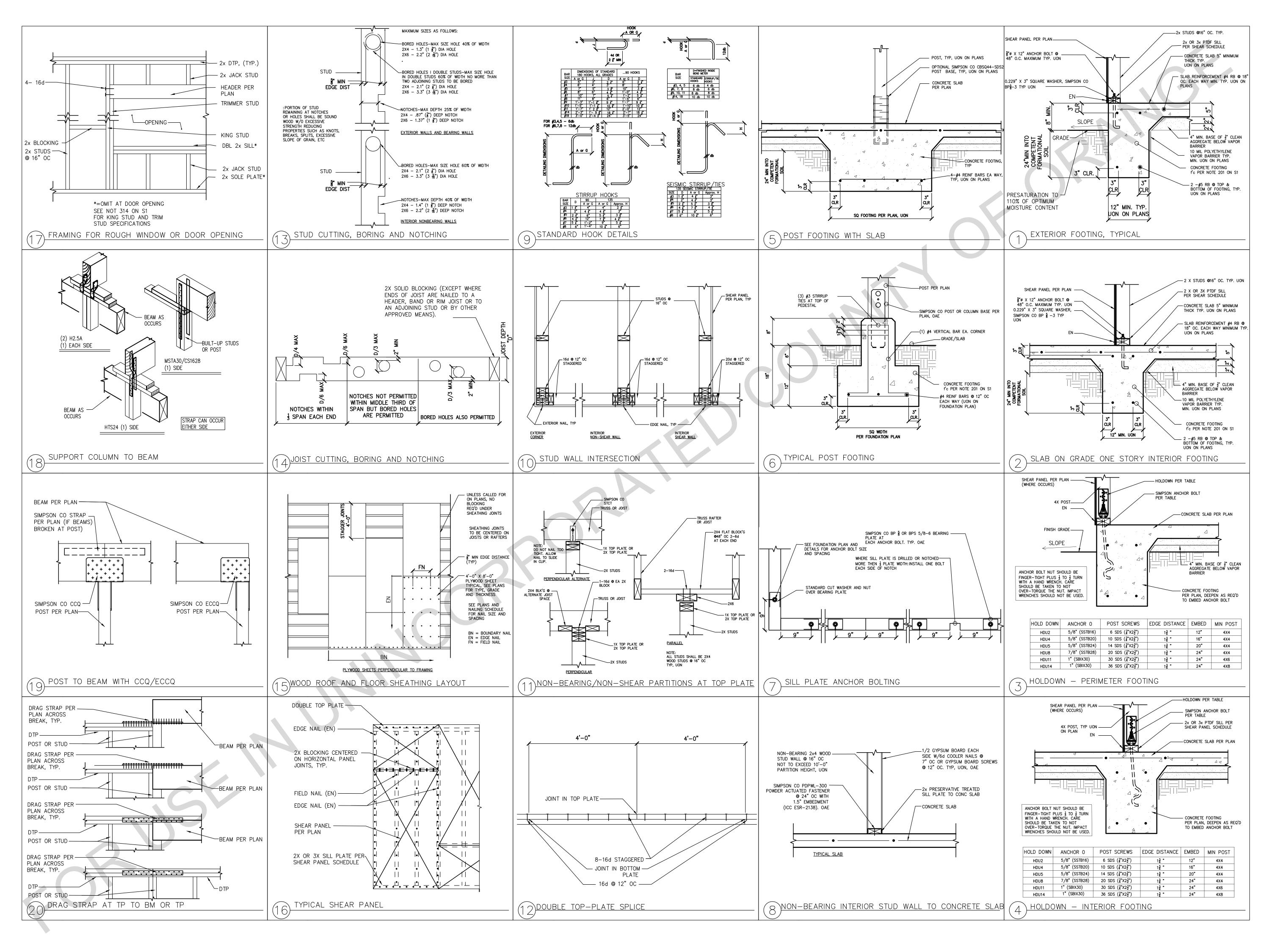
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DESIGN PATH STUDIO





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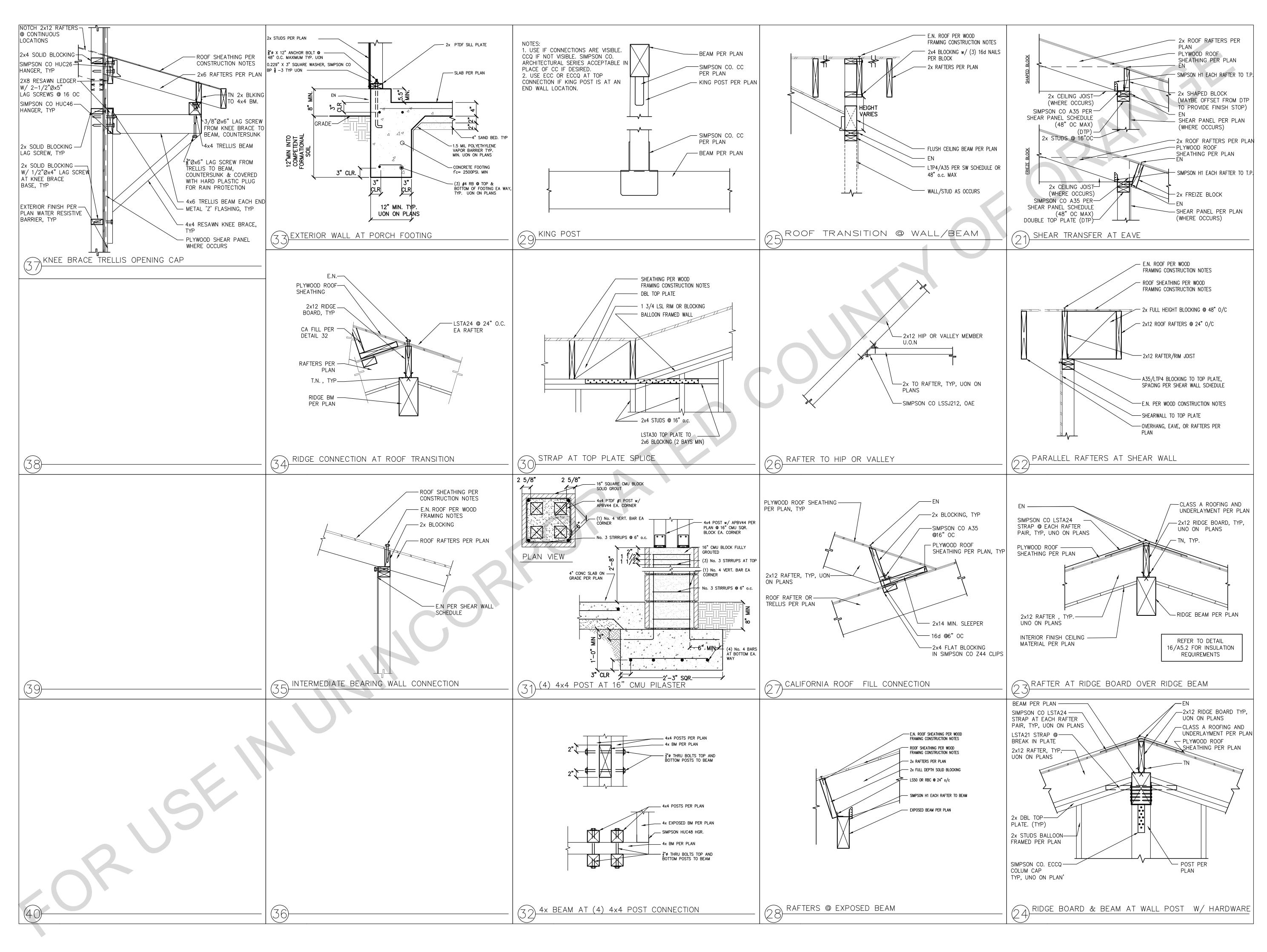
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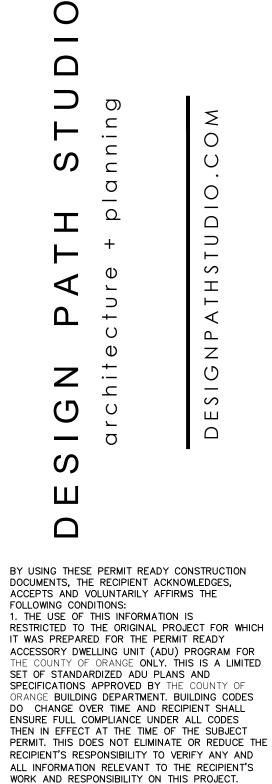
revisions



description Structural Details

date	2024
project no.	
drawn by	DESIGN PATH STUDIO
sheet no.	35





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IMPROVEMENT UNDER THESE PLANS AT ALL.

project County of Orange Pre-Approved ADU Program

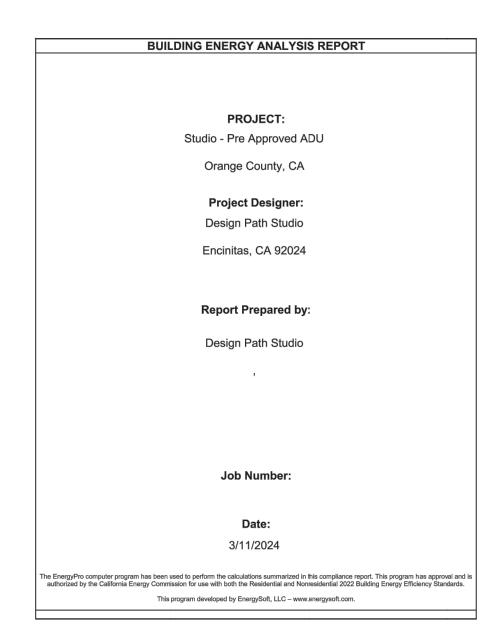
OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Structural Details

2024
design path studio
6



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01E Project Name: Residential Building Calculation Date/Time: 2024-03-11T10:41:29-07:00 (Page 3 of 12) Calculation Description: Title 24 Analysis Input File Name: 0 Studio.ribd22x

ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0.04	0.28	1.29	9.68	-1.25	-9.4
Space Cooling	2.29	47.17	1.22	33.85	1.07	13.32
IAQ Ventilation	0.53	5.6	0.53	5.6	0	0
Water Heating	3.91	41.87	3.05	34.41	0.86	7.46
Self Utilization/Flexibility Credit				0		0
North Facing Efficiency Compliance Total	6.77	94.92		83.54	0.68	11.38
Space Heating	0.04	0.28		9.37	-1.2	-9.09
Space Cooling	2.29	H 47.17 R S	$PR_{1,24}$ VII	$\mathcal{O} \in \mathbb{R}_{35.6}$	1.05	11.57
IAQ Ventilation	0.53	5.6	0.53	5.6	0	0
Water Heating	3.91	41.87	3.05	34.38	0.86	7.49
Self Utilization/Flexibility Credit				0		0
East Facing Efficiency Compliance Total	6.77	94.92	6.06	84.95	0.71	9.97

Registration Number: 224-P010031296A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

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Registration Date/Time: 2024-03-11 11:23:52 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2024-03-11 10:42:16

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01E Calculation Date/Time: 2024-03-11T10:41:29-07:00 (Page 6 of 12) Project Name: Residential Building Calculation Description: Title 24 Analysis Input File Name: 0 Studio.ribd22x REQUIRED PV SYSTEMS 06 07 08 09 01 10 11 12 03 05 02 04 Annual TiltArray AngleTilt: (x in
12)Inverter Eff. Azimuth (deg) DC System Size Module Type Array Type Solar Access Exception Power Electronics (kWdc) Input (deg) (%) Standard (14-17%) 150-270 1.46 NA Fixed none true n/a n/a <=7:12 96 98 REQUIRED SPECIAL FEATURES The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3) Northwest Energy Efficiency Alliance (NEE<mark>A) r</mark>ated heat pump water heater; specific brand/model, or equivalent, must be installe HERS FEATURE SUMMARY The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry Quality insulation installation (QII) Indoor air quality ventilation Kitchen range hood ROVIDER I E R S Verified Refrigerant Charge Airflow in habitable rooms (SC3.1.4.1.7) Verified heat pump rated heating capacity Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5) Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8) BUILDING - FEATURES INFORMATION 02 01 03 06 07 04 05 Number of Dwelling Number of Water Number of Ventilation Number of Zones Project Name Conditioned Floor Area (ft²) Number of Bedrooms Units Heating Systems Cooling Systems Residential Building 384.64 1 0 1 0 1

Registration Number: 224-P010031296A-000-000-0000000-0000

Registration Date/Time: 2024-03-11 11:23:52 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2024-03-11 10:42:16

CERTI	FICATE OF COMPLIANCE - RESIDENTIAL P	ERFORMANCE COMPLIANCE METHOD			CF1R-PRF-01E
Proje	t Name: Residential Building		Calcul	ation Date/Time: 2024-03-11T10:41:29-0	07:00 (Page 1 of 12)
Calcul	ation Description: Title 24 Analysis		Input	File Name: 0 Studio.ribd22x	
GENE	AL INFORMATION				
01	Project Name	Residential Building		·	
02	Run Title	Title 24 Analysis			
03	Project Location	_			
04	City	Orange	05	Standards Version	2022
06	Zip code		07	Software Version	EnergyPro 9.2
08	Climate Zone	8	09	Front Orientation (deg/ Cardinal)	All orientations
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Newly Constructed	13	Number of Bedrooms	0
14	Addition Cond. Floor Area (ft ²)	0	15	Number of Stories	1
16	Existing Cond. Floor Area (ft ²)	n/a	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft ²)	384.64	19	Glazing Percentage (%)	13.26%
20	ADU Bedroom Count	n/a	21	ADU Conditioned Floor Area	n/a
22	Fuel Type	Natural gas	23	No Dwelling Unit:	No
60145		<u>a ana </u>			
COMP		<u> </u>		OVIDER	
	01 Building Complies with Computer	Performance			
	02 This building incorporates feature	es that require field testing and/or verification	n by a ce	ertified HERS rater under the supervision of a	CEC-approved HERS provider.
	03 This building incorporates one or	more Special Features shown below			

Calculation Description: Title 24 Analysis ENERGY DESIGN RATINGS Standard Design North Facing East Facing South Facing West Facing ¹Efficiency EDR includes improvements li<mark>ke</mark> a l ²Total EDR includes efficiency and demand resp ³Building complies when source energy, efficien Standard Design PV Capacity: 1.46 kWdc Proposed PV Capacity Scaling: North (1.46 kWdc) East (1.46 kWdc) South (1.46 kWdc) West (1.46 kWdc)

Registration Number: 224-P010031296A-000-0 CA Building Energy Efficiency Standards - 2022 F

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building Calculation Description: Title 24 Analysis _____

	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage
North Facing	•		· · · · ·	
Gross EUI ¹	35.88	33.52	2.36	6.58
Net EUI ²	14.65	12.29	2.36	16.11
East Facing				
Gross EUI ¹	35.88	33.62	2.26	6.3
Net EUI ²	14.65	12.39	2.26	15.43
South Facing				
Gross EUI ¹	35.88	33.52	2:36	6.58
Net EUI ²	14.65		2.37	16.18
West Facing		KS PRUV	IDEK	
Gross EUI ¹	35.88	33.53	2.35	6.55
Net EUI ²	14.65	12.3	2.35	16.04
Notes 1. Gross EUI is Energy Use Total (r 2. Net EUI is Energy Use Total (inc	not including PV) / Total Building Area. Iuding PV) / Total Building Area.	<u> </u>	·	

Registration Number: 224-P010031296A-000-000 CA Building Energy Efficiency Standards - 2022 Re

CERTIFICATE OF COMPLIANCE - RESIDENTIAL Project Name: Residential Building Calculation Description: Title 24 Analysis

FENESTRATION /	GLAZIN		e 24 Analysis						
01	02	2	03						
Name	Тур	e	Surface						
Window 4	Wind	low	Rear Wall						
Window 5	Wind	low	Right Wall						
OPAQUE DOORS	-								
	01								
	Nam	е							
	Doo	r							
SLAB FLOORS									
01			02						
Name			Zone						
Slab-on-Grad	e		Zone 1						
OPAQUE SURFACE	E CONST	RUCTI	IONS						
01			02						
Construction N	lame		Surface Type						
R-13 Wall			Exterior Walls						

Registration Number: 224-P010031296A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Compliance Total	6.77	94.92	6.08	84.01	0.69	10.91
Registration Number:	224-P010031296A-000-000-0000000	-0000 R	egistration Date/Time: 2	24-03-11 11:23:52 HEF	S Provider: CalCERT	S inc.
CA Building Energy Effici	ency Standards - 2022 Residentia		eport Version: 2022.0.000 chema Version: rev 2022090		ort Generated: 2024-03	-11 10:42:16

Project Name: Residential Building Calculation Date/Time: 2024-03-11T10:41:29-07:00 (Page 7 of 12) Calculation Description: Title 24 Analysis Input File Name: 0 Studio.ribd22x ZONE INFORMATION 01 03 05 06 02 04 07 Zone Name Zone Type HVAC System Name Zone Floor Area (ft²) Avg. Ceiling Height Water Heating System Status 384.64 Zone 1 Conditioned Ductless Minisplit1 8 DHW Sys 1 New OPAQUE SURFACES 01 02 03 04 05 06 07 08 Window and Doo Name Zone Construction Azimuth Orientation Gross Area (ft²) Tilt (deg) Area (ft2) Front Wall Zone 1 R-13 Wall Front 0 175 24 90 Left Left Wall Zone 1 R-13 Wall 90 195 90 R-13 Wall 180 Back Rear Wall 90 Zone 1 175 23 Right Wall R-13 Wall 270 Right 90 Zone 1 195 15 OPAQUE SURFACES - CATHEDRAL CEILINGS 01 02 03 04 05 06 -07 08 09 10 11 Skylight Area Roof Roof Rise (x in Roof Emittance Cool Roof Name Orientation Area (ft²) Zone Construction Azimuth (ft²) 12) Reflectance R-30 Roof No Roof Zone 1 Front 393 0.1 0.85 0 0 4 No Attic FENESTRATION / GLAZING 01 05 06 07 08 09 10 11 12 13 02 04 03 14 Mult. Area (ft²) Width Height U-factor SHGC Name U-factor SHGC Source Exterior Shading Type Surface Azimuth (ft) (ft) Source Window Front Wall 0.3 NFRC 0.23 NFRC Bug Screen Window Front Window 2 Left Wall NFRC 0.23 NFRC Bug Screen Window Left 90 0.3 Window 3 Window Rear Wall Back 180 0.3 NFRC 0.23 NFRC Bug Screen

Registration Number: 224-P010031296A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Registration Date/Time: 2024-03-11 11:23:52

Report Version: 2022.0.000 Schema Version: rev 20220901 HERS Provider: CalCERTS inc.

Report Generated: 2024-03-11 10:42:16

CF1R-PRF-01E

		So	chema Version: rev 20220901			
RTIFICATE OF COMPI	LIANCE - RESIDENTIAL PERFO	RMANCE COMPLIANCE METH	IOD			CF1R-PRF-01
oject Name: Resident	tial Building		Calculation Date/Time	: 2024-03-11T10:41:29-07:00		(Page 4 of 12
Iculation Description	: Title 24 Analysis		Input File Name: 0 Stud	dio.ribd22x		
ERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0.04	0.28	1.15	8.64	-1.11	-8.36
Space Cooling	2.29	47.17	1.29	35.23	1	11.94
IAQ Ventilation	0.53	5.6	0.53	5.6	0	0
Water Heating	3.91	41.87	3.05	34.34	0.86	7.53
Self Jtilization/Flexibility Credit				0		0
South Facing fficiency Compliance Total	6.77	94,92	6.02	83.81	0.75	11.11
Space Heating	0.04	0.28		9.02	-1.16	-8.74
Space Cooling	2.29	H 47.17 R S	PROVI	$D \mathbb{E} \mathbb{R}^{35.03}$	0.99	12.14
IAQ Ventilation	0.53	5.6	0.53	5.6	0	0
Water Heating	3.91	41.87	3.05	34.36	0.86	7.51
Self Utilization/Flexibility Credit				0		0
/est Facing Efficiency Compliance Total	6.77	94.92	6.08	84.01	0.69	10.91

Registration Number: 224-P010031296A-000-000-000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

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Registration Date/Time: 2024-03-11 11:23:52

Report Version: 2022.0.000

HERS Provider: CalCERTS inc.

Report Generated: 2024-03-11 10:42:16

CERTIFICATE OF COMPLIANCE - RESIDENTI Project Name: Residential Building

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тіл	L PERFORMANCE CO					CF1R-PRF-01
			Calculation Date/Tim	e: 2024-03-11T10:41:	29-07:00	(Page 2 of 12
i			Input File Name: 0 St			
_						
		Energy Design Ratings			Compliance Margins	
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
	37	40.8	29.1		• • •	
		Propose	d Design			
	35.7	35.9	26.5	1.3	4.9	2.6
	35.6	36.5	26.8	1.4	4.3	2.3
/	35.6	36	26.6	1.4	4.8	2.5
	35.7	36.1	26.7	1.3	4.7	2.4
		RESULT	³ : PASS	he c	· · · ·	
espo	onse measures such as p	nd more efficient equipm hotovoltaic (PV) system a margins are greater than	nd batteries	DER net load hour limits are n	not exceeded	
dc		וומוקווז מוכ צוכמנכו נוזמו	or equal to zero and unit			

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2 Residential Compliance	Report Version: 2022.0.000 Schema Version: rev 202209		Report Generated	: 2024-03-11 10:42:16

Calculation Date/Time: 2024-03-11T10:41:29-07:00 Input File Name: 0 Studio.ribd22x

00-000000-0000	Registration Date/Time:	2024-03-11 11:23:52	HERS Provider:	CalCERTS inc.
esidential Compliance	Report Version: 2022.0.000 Schema Version: rev 202209		Report Generated	: 2024-03-11 10:42:16

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					Input F	ile Name	: 0 Stu	dio.rib	d22x						
	04	05	06	07	08	09	1	0	11		12	13		14	
	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-fa	actor U-factor SH				SHGC Sou	irce	Exterior Shading	
	Back	180			1	11	0.	3	NFRC		0.23	NFRC		Bug Screen	
	Right	270			1	15	0.	3	NFRC		0.23	NFRC		Bug Screen	
		02					03					()4		
T		Side of Build	ing				Area (ft ²)				U-fa	actor		
1		Front Wall					20					C	.5		
/		2													
Г	03	2 F	04		nF	05	T		06			07		08	
	03		04		K.							07	<u> </u>	08	
	Area (ft ²		Perimete	r (ft)	Edge Insul. R-value			Edge Insul. R-value and Depth		lue	Carpeted Fraction			Heated	
	393		0.1			none		0			80%			No	
_															
	03			04		05		()6	0	7		08		
	Constructio	n Type	Fra	aming	Total Cavity R-value			Interior / Exterior Continuous U-fa R-value		U-fa	ctor	Asse	mbly I	.ayers	
	Wood Frame	ed Wall	2x4 @	16 in. O. C	2.	R-13		None	/ None	0.1	.01	Cavity / F	rame:	Gypsum Board ne: R-13 / 2x4 n: 3 Coat Stucco	

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BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE

FOLLOWING CONDITIONS: 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR HE COUNTY OF ORANGE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE COUNTY OF ORANGE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL. 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS. 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION. 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

CF1R-PRF-01E

(Page 5 of 12)

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN:

LEGAL DESCRIPTION:

revisions



description Example Energy Calculations

date

project no.

drawn by DESIGN PATH STUDIO

2024

sheet no.

Registration Date/Time: 2024-03-11 11:23:52 Report Version: 2022.0.000

Schema Version: rev 20220901

HERS Provider: CalCERTS inc.

Report Generated: 2024-03-11 10:42:16

Declast Newsey Deci-	Inntial Pullet-						Coloulet	ion Data /	Time: 202	1 02 1171	.41.20.07		(Deee 0 of 12
Project Name: Resid								_		4-03-11T1(d22y):41:29-07	:00	(Page 9 of 12
Calculation Descript		laiysis					input Fi	e Name: () Studio.ril	JUZZX			
01		2	03			04		05		06	07	T	08
Construction Name		e Type	Constructio	n Type	F	raming		Total Cavit R-value	y Interior Con	/ Exterior tinuous value	U-factor	Asse	mbly Layers
R-30 Roof No Attic	c Cathedra	al Ceilings	Wood Fra Ceilin		2x12 (@ 16 in. O.	с.	R-30	None	e / None	0.034	Tile G Roof Siding/sh Cavity / Fr	SF (RoofTileAirGap) iap: present Deck: Wood eathing/decking ame: R-30 / 2x12 h: Gypsum Board
BUILDING ENVELOPE	- HERS VERIFICA	TION	<u></u>										
01			02			C	3			04			05
Quality Insulation In	stallation (QII)	High R-va	alu <mark>e Spray Fo</mark> an	n Insulati	on Buil	ding Envelo	ope Air Lea	akage		CFM50			CFM50
Require	d		Not Required	P.			/A	RC		n/a			n/a
WATER HEATING SYST	EMS					5 5	NH	Ð	7				
01	02	T	03	H	64 R S	5 R	5 R (ÞV	06 D	ERo)7	08	09
Name	System Type	Dist	ribution Type	Water H	leater Name	Number	of Units		Heating stem		pact bution	HERS Verification	Nater Heater
DHW Sys 1	Domestic Ho Water (DHW		Standard	DHW	Heater 1	:	1		n/a	No	one	n/a	DHW Heater 1 (1)
WATER HEATERS - NE	EA HEAT PUMP												
01	02		03		04			05		06		07	08
Name	# of Ur	iits	Tank Vol. (gal)	NEEA Hea Brar			Heat Pump Model	р Та	nk Locatior	n Du	ct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1		40		Rhee	em	RH37	0PH40 T2 530 (40 gal, JA13)	,	Outside		Zone 1	Zone 1
Registration Number	: 224-P010031	296A-000-00	0-000000-0000			Registra	tion Date/	Time:	2024-03-11 1	1:23:52	HEF	RS Provider: Calo	ERTS inc.
CA Building Energy Ef	ficiency Standar	ds - 2022 Re	esidential Comp	liance			/ersion: 20 Version: r)22.0.000 ev 202209(01		Rep	oort Generated: 202	4-03-11 10:42:16

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01E Calculation Date/Time: 2024-03-11T10:41:29-07:00 (Page 12 of 12) Project Name: Residential Building Calculation Description: Title 24 Analysis Input File Name: 0 Studio.ribd22x DOCUMENTATION AUTHOR'S DECLARATION STATEMENT . Leartify that this Certificate of Compliance documentation is accurate and complete mentation Author Name mentation Author Signature: Yvonne St Pierre Yvonne St Pierre Design Path Studio 2024-03-11 11:23:52 EA/ HERS Certification Identification (If applicable) PO Box 230165 itv/State/Ziu 619-292-8807 Encinitas, CA 92023 RESPONSIBLE PERSON'S DECLARATION STATEMEN er the laws of the State of Californ I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, nent agency for approval with this building permit application. calculations, plans and specificat nsible Designer Name sible Designer Signature 🐧 📕 🥥 🍙 📕 Yoonne St Pierre Yvonne St Pierre HEKS 2024-03-11 11:23:52 Design Path Studio PO Box 230165 C 34789 Encinitas, CA 92023 619-292-8807

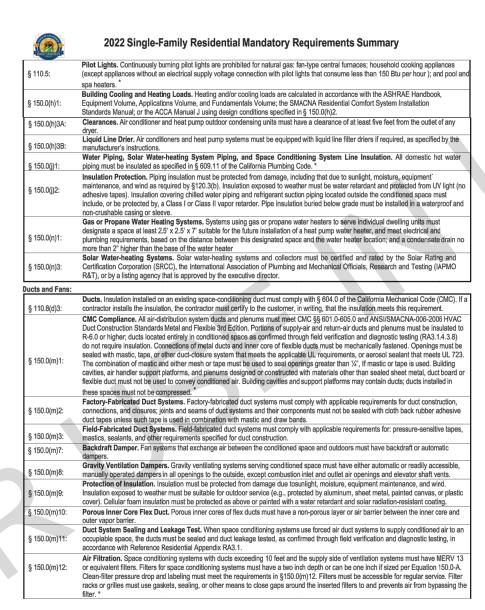
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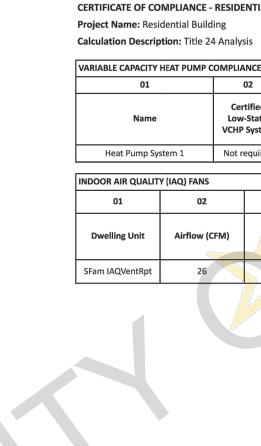
Registration Date/Time: 2024-03-11 11:23:52 Report Version: 2022.0.000 Schema Version: rev 20220901



HERS Provider: CalCERTS inc. Report Generated: 2024-03-11 10:42:16



CERTIFICATE OF CO	MPLIANCE - RESID	ENTIAL PERF	ORMAN	NCE CON	/IPLIAN(CE MET	HOD								CF1R-PRF-01
Project Name: Resid	dential Building						Calc	ulatio	on Date	/Time: 202	24-03-117	10:41:29-07	:00		(Page 10 of 1
Calculation Descrip	tion: Title 24 Analy	sis					Input File Name: 0 Studio.ribd22x								
WATER HEATING - HE	RS VERIFICATION														
01	02	2		03			04			05			06		07
Name	Pipe Inst	ulation	Pa	rallel Pip	oing	Co	mpact Distrib	ution	Ca	ompact Dist Type	ribution	Recircula	tion Control	Show	ver Drain Water He Recovery
DHW Sys 1 - 1/1	Not Rec	quired	N	ot Requi	red		Not Require	d		None		Not F	Required		Not Required
SPACE CONDITIONING	G SYSTEMS														
01	02	03			04		05			06		07	08		09
Name	System Type	Heating Uni	t Name		g Equipm Count	ent C	ooling Unit N	ame		g Equipment Count	t Fa	n Name	Distribution N	Name	Required Thermostat Type
Ductless Minisplit1	Heat pump heating cooling	Heat Pump	System		1	Н	leat Pump Sys 1	tem		1		n/a	n/a		Setback
HVAC - HEAT PUMPS				5				_							
01	02	03	04		05	06	07		08	09	10	11	12		13
Name	System Type	Number of Units	Heat Efficie Typ	ency H	Heatin SPF/HS F2/COP	Cap 47	7 Cap 17	Effi	ooling ciency Type	Cooling SEER/SE ER2	EER/EER 2/CEER	Zonally Controlled	Compressor Type	ŀ	IERS Verification
Heat Pump System 1	VCHP-ductless	1	HSF	PF	8.2	12800	7950	EE	RSEER	14	11.7	Not Zonal	Single Speed		eat Pump System 1-hers-htpump
HVAC HEAT PUMPS -	HERS VERIFICATION														
01	02	03			04		05			06		07	08		09
Name	Verified Airflow	Airflow Ta	arget	Verifie	d EER/EI	R2	Verified SEER/SEER	2		d Refrigeran Charge		erified F/HSPF2	Verified Heating Cap 47		Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0		Not	Required	1	Not Require	d		Yes		No	Yes		Yes



CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Number: 224-P010031296A-000-000-000000-0000

Registration Date/Time: 2024-03-11 11:23:52 Report Version: 2022.0.000

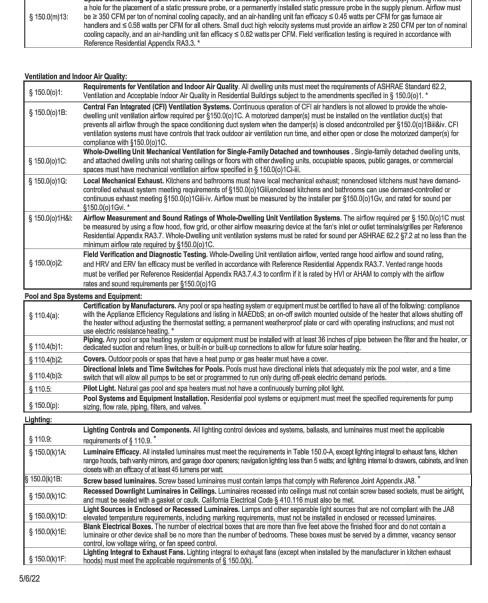
Schema Version: rev 20220901

HERS Provider: CalCERTS inc. Report Generated: 2024-03-11 10:42:16

RESIDENTI		SURES SI		RY						RMS-	
Project Name Studio - Pre App		Building Type I Single Family Addition Alone			on/Alteration	Date 3/11/2024					
Project Address	Califo			,		Total Cond. Floor Area Addit		# of Unit			
Orange Count	CA					385	n/a	1			
INSULATION					Area						
Construction	Туре		Cavi	ity	(ft ²)	S	pecia	al Features	;	Status	
Wall Wood Fra	med		R 13		669					New	
Door Opaque L	Door		- no insi	ulation	20	1				New	
Roof Wood Fra	med Rafter		R 30		393					New	
Slab Unheated	I Slab-on-Grade	1	- no însi	ulation	393	Perim =	= 0'			New	
FENESTRATI	ON	Total Area:	51	Glazing	Percenta	ige: 1	3.3%	New/Altered Ave	arage U-Factor:	0.30	
Orientation	Area(ft ²)	U-Fac S	HGC	Overl	nang	Sidef	ins	Exterior S	hades	Status	
Front (N)	4.0	0.300	0.23	none		none		N/A		New	
Left (E)	9.0	0.300	0.23	none		none		N/A		New	
Rear (S)	23.0	0.300	0.23	none		none		N/A		New	
Right (W)	15.0	0.300	0.23	none		none N/A			New		
HVAC SYSTE	мз										
Qty. Heating	1	Min. Eff	Cod	oling		Min	. Eff	The	ermostat	Status	
1 Electric Hea	at Pump	8.20 HSPF	Split	Heat Pu	тр	14.0	SEER	Setba	ck	New	
HVAC DISTRI	BUTION								Duct		
Location Heating			Coc	Cooling Du		ct Location		<u> </u>	R-Value		
Ductless Minisplit	Ductle	ss / with Fan	Ductl	888	n/a				n/a	New	
	TING										
	ty. Type Gallo		ons					on		Status	
Qty. Type											
WATER HEAT Qty. Type 1 Heat Pump)	40		3.10		Standard	d			New	
Qty. Type)			3.10		Standard	đ			New	
Qty. Type			}	3.10		Standard	d	ID:		New Page 14 of	

2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have



Registration Number: 224-P010031296A-000-000-0000000-0000

<u>NOTE:</u> Single used. Review (04/2022)
Building Enve
§ 110.6(a)1:
§ 110.6(a)5:
§ 110.6(b):
§ 110.7:
§ 110.8(a):
§ 110.8(g):
§ 110.8(i):
§ 110.8(j):
§ 150.0(a):
§ 150.0(b):
§ 150.0(c):
§ 150.0(d):
§ 150.0(f):
§ 150.0(g)1:
§ 150.0(g)2:
§ 150.0(q):
Fireplaces, De
§ 110.5(e)
§ 150.0(e)1:
§ 150.0(e)2:
§ 150.0(e)3:
Space Condit
§ 110.0-§ 110
§ 110.2(a):
§ 110.2(b):

10.3(c)3: § 110.3(c)6: 5/6/22 § 150.0(k)1G:

150.0(k)2A: 150.0(k)2B: § 150.0(k)2D: 50.0(k)2E: 150.0(k)2F: 150.0(k)2K: 150.0(k)3A: § 150.0(k)4: § 150.0(k)5:

> 10.10(a)1: 10.10(b)2: 10.10(b)4: 10.10(c): 10.10(d): 110.10(e)1:

										C		
NTIAL PE	ITIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01E											
	Calculation Date/Time: 2024-03-11T10:41:29-07:00 (Page 11 of 12)											
s Input File Name: 0 Studio.ribd22x												
	ON - HERS V	ERIFIC	CATION									
2	03		04	05	06		07	7 08		09		10
ified Static System	Airflow to Habitable n Rooms		Ductless Units in Conditioned Space		Air Filter Sizing & Pressure Drop Rating	Cor	Low Leakage Minim Ducts in Airflow Conditioned RA3.3 Space SC3.3.		w per 3 and 5 and		ous	Indoor Fan not Running Continuously
quired	Require	d	Required	Required	Not required	No	t required	Not req	required Not required		d	Not required
. (03		04	05	06		07		08		09	
	Fan Efficacy (W/CFM)		AQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE/ASRE		Includes Fault Indicator Display?		HERS Verification			Status
0	0.35 Exhaust		Exhaust		No n/a / n/a		No		Yes			
	X)	H	ERS	S P R (ER					

Report Generated: 2024-03-11 10:42:16 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Schema Version: rev 20220901 2022 Single-Family Residential Mandatory Requirements Summary E: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach view the respective section for more information Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a) Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped. * Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped. Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs. Bureau of Household Goods and Services (BHGS). Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g). Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specifie Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consur Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value. i0.0(b): Vall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood i0.0(c): framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0 Masonry walls must meet Tables 150.1-A or B. * Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.* Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate. for the insulation material alo without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected for physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g). Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class por retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation. Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have).0(g)2: a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.* ces, Decorative Gas Appliances, and Gas Log: Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces Closable Doors, Masonry or factory-built fireplaces must have a closable metal or plass door covering the entire opening of the firebo Combustion Intake. Masonry or factory-built fireplaces must have a closable metan or glass door commig the entire opening or ne metox. Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches i area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device. Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. * Conditioning, Water Heating, and Plumbing System:
 Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other
 regulated appliances must be certified by the manufacturer to the California Energy Commission.*

 HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N.* 0.0-§ 110.3: Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heater, and the net heat the net heat pump alone; the cut-off temperature for compression healing is higher than the cut-off temperature for supplementary healing. Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a 10.2(c): setback thermostat.* Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank surface heat loss rating.

Registration Date/Time: 2024-03-11 11:23:52

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2022 Single-Family Residential Mandatory Requirements Summary Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. * Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 150.0(k)1H: elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires. Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not requir 3 150.0(k)1I: to comply with Table 150.0 A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet linen closet is closed. 150.0(k)2A: Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A. \$ 150.0(k)28: Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems. Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. * Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is installe to comply with § 150.0(k). § 150.0(k)2C: Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9 Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specific in § 150.0(k)2A. Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire Automatic Snuori Controls. In balmounts, garages, taunory rooms, dun youns and wain-in objects, a neast one installed infinitate must be controlled by an occupancy or vacancy sensor providing automic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed. Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wail-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED ligi sources in these spaces must comply with NEMA SSL 7A. Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting. Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or other buildings on the same lot, must have a manual on/off switch and either a photoell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and mee applicable requirements may be used to meet these requirements. Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 Watts of power. Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0. olar Readiness: Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e). Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 2/Part 9 or other parts of Title 2/A or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 110.10(b)1A: square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and root 10.10(b)3A: Stading The solar 20ne mass how contain any obstructions, including our non-innee to verils, chainneys, are intercutian relatives, and noo mounted equipment. Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane. Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for solar doed and soft like load and soft the clock undifieded on the construction disendence as a solar zone, the structural design loads for solar doed and soft like load and soft the clock undifieded on the construction disendence to be constructed as a solar zone. 110.10(b)3B: h roof dead load and roof live load must be clearly indicated on the construction documents. Interconnection Pathways. The construction documents must indicate: a location documents. Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system. Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must b provided to the occupant. Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps. Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double policicuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric." 10.10(e)2:

Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with

hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

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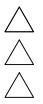
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project

County of Orange Pre-Approved ADU Program

OWNER NAME: ADDRESS: APN: LEGAL DESCRIPTION:

revisions



description Example Energy Calculations

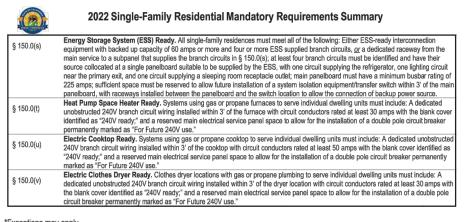
date 2024

project no.

drawn by

DESIGN PATH STUDIO





*Exceptions may apply.

5/6/22



HVAC SYSTEM HE	ATING	AND COOLING LOAD		MARY							
Project Name	ATING	AND COOLING LOAD	3 3014			Date					
Studio - Pre Approved ADU											
System Name											
Ductless Minisplit ENGINEERING CHECKS SYSTEM LOAD											
Number of Systems	1			COOLING F		COIL HTG. PEAK					
Heating System			CFM	Sensible	Latent	CFM	Sensible				
Output per System	12,800	Total Room Loads	159	3,411	177	110	4,355				
Total Output (Btuh)	12,800	Return Vented Lighting		0							
Output (Btuh/sqft)	33.3	Return Air Ducts		0			0				
Cooling System		Return Fan		0			0				
Output per System	12,300	Ventilation	0	0	0	0	-				
Total Output (Btuh)	12,300	Supply Fan		0			0				
Total Output (Tons)	1.0	Supply Air Ducts		0			0				
Total Output (Btuh/sqft)	32.0										
Total Output (sqft/Ton)	375.3	TOTAL SYSTEM LOAD		3,411	177		4,355				
Air System											
CFM per System	0	HVAC EQUIPMENT SELECTION									
Airflow (cfm)	0	Minisplit		11,447	0		9,563				
Airflow (cfm/sqft)	0.00										
Airflow (cfm/Ton)	0.0										
Outside Air (%)	0.0%	Total Adjusted System Output		11,447	0		9,563				
Outside Air (cfm/sqft)	0.00	(Adjusted for Peak Design conditions)									
Note: values above given at ARI		TIME OF SYSTEM PEAK			Aug 3 PM		Jan 1 AM				
HEATING SYSTEM PSYCHRO	DMETRICS	(Airstream Temperatures at Time of	of Heating	Peak)							
33 ºF	68 °F	105 ºF									
					•						
	→≥		→□		1254		7				
Outside Air	Heating			1 1			*				
0 cfm	Heating	Coll				1	105 °F				
Ť					DC	DOM					
68 °F							68 °F				
← ∧											
COOLING SYSTEM PSYCHR	OMETRICS	(Airstream Temperatures at Time	of Cooling	Peak)							
COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)											
92 / 68 °F	78	5/62°F 55/54°F									
		• =			E		-				
Outside Air							↓ I				
0 cfm		Cooling Coil				55	54 °F				
Ī				46.89	% PC	DOM	à				
				+0.0	" INC	4150704263467	1				
75 / 62 °F		No-i-stavila - D				75	5/62 ⁰F				
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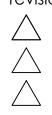
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