

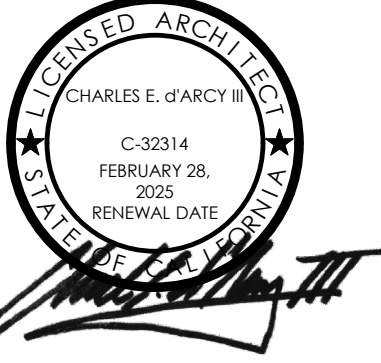
Attachment 3

THOMAS RESIDENCE

325 EMERALD BAY
LAGUNA BEACH, CA 92651



SCOTT BROWNDISIGNS
332 FOREST AVENUE, SUITE #3
LAGUNA BEACH, CA 92651
949 416-2074



PROJECT TEAM

OWNER CRISTINA THOMAS 526 EMERALD BAY LAGUNA BEACH, CA 92651 PH: 714.342.6748 cristinathomas@gmail.com	BUILDER CARL AKINS AKINS HOMES 3111 2ND AVE, #15 CORONA DEL MAR, CA 92625 PH: 949.715.5445
ARCHITECTURAL DESIGN CHARLES d'ARCY d'ARCY & ASSOC. ARCHITECTURE, INC. 18 TECHNOLOGY DRIVE SUITE 158 IRVINE, CA 92618 PH: 949.407.7740 CHARLES@dARCYPARCHITECTURE.COM	SCOTT BROWN DESIGNS 332 FOREST AVE, SUITE # 3 LAGUNA BEACH, CA 92651 PH: 949.616.2074 SCOTT@SCOTTBROWNDISIGNS.COM
LANDSCAPE NORD ERIKSSON EPT DESIGN 14988 SAND CANYON AVE, STUDIO 8 IRVINE, CA 92618 PH: 949.502.4500 neriksson@eptdesign.com	SURVEY APEX LAND SURVEY VILLA PARK, CA PH: 714.488.2006 openinc@gmail.com
CIVIL ADAM TOOL TOTAL ENGINEERING, INC. 139 AVENDA NAVARRO SAN CLEMENTE, CA 92672 PH: 949.492.8586 atool@totalengineering.com	



SHEET INDEX

SHEET #	DESCRIPTION
GENERAL	
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A093	PROPOSED STAGING PLAN
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A303	AREA CALCULATION - ROOF AREA
A304	AREA CALCULATION - LOT COVERAGE
STRUCTURAL	
MECHANICAL	
PLUMBING	
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TOTAL SHEETS 29	

PROJECT DESCRIPTION

NEW 2 STORY 3700.2 SF SINGLE FAMILY RESIDENCE + 3 CAR GARAGE WITH 3 BEDROOMS & 4 BATH. THIS PROJECT IS TO BE CONSTRUCTED AFTER COMPLETE DEMOLITION OF EXISTING RESIDENCE WITH IN THE EMERALD BAY COMMUNITY.

MUNICIPALITY NOTES

DEFERRED SUBMITTAL:
1. SEPERATE PERMITS AND REVIEW ARE REQUIRED FOR DEMOLITION OF EXISTING STRUCTURES, NEW POOLS, NEW SPAS, NEW WALLS, NEW FENCES, AND OTHER FREESTANDING STRUCTURES.

SPECIAL INSPECTIONS:
1. FIRE SPRINKLERS

COUNTY OF ORANGE NOTES:
1. THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK AND CONTACT CAL/OSHA AT 714-558-4451 FOR ADDITIONAL INFORMATION.

COUNTY PERMITS PKGXXX-XXX (IN REVIEW):
BUILDING: XXXX-XX
SOLAR: XXXX-XX
PLUMBING: XXXX-XX
MECHANICAL: XXXX-XX
ELECTRICAL: XXXXX-XXXX
GRADING: XXXXX-XXXX

CODE ANALYSIS OVERVIEW

PROJECT TYPE: SINGLE FAMILY DETACHED
CONSTRUCTION TYPE: TYPE V8
OCCUPANCY: R3
FIRE SPRINKLER: SPRINKLERED (NFPA 13D)
APPLICABLE CODES:
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA BUILDING CODE
ALL LOCAL ORDINANCES AND REQUIREMENTS

NOTE:
ALL PLANS SUBMITTED FOR BUILDING PERMIT SHALL COMPLY WITH THE CURRENT ADOPTED BUILDING CODES AND THE COUNTY REGULATIONS.

PROJECT DATA

PROJECT ADDRESS: 325 EMERALD BAY
LAGUNA BEACH, CA 92651
APN: 053-072-01
PARCEL: LOT 99 / TRACT 977
STORIES: 2 STORIES
LOT AREA: 4,885 SF (0.11 ACRES)

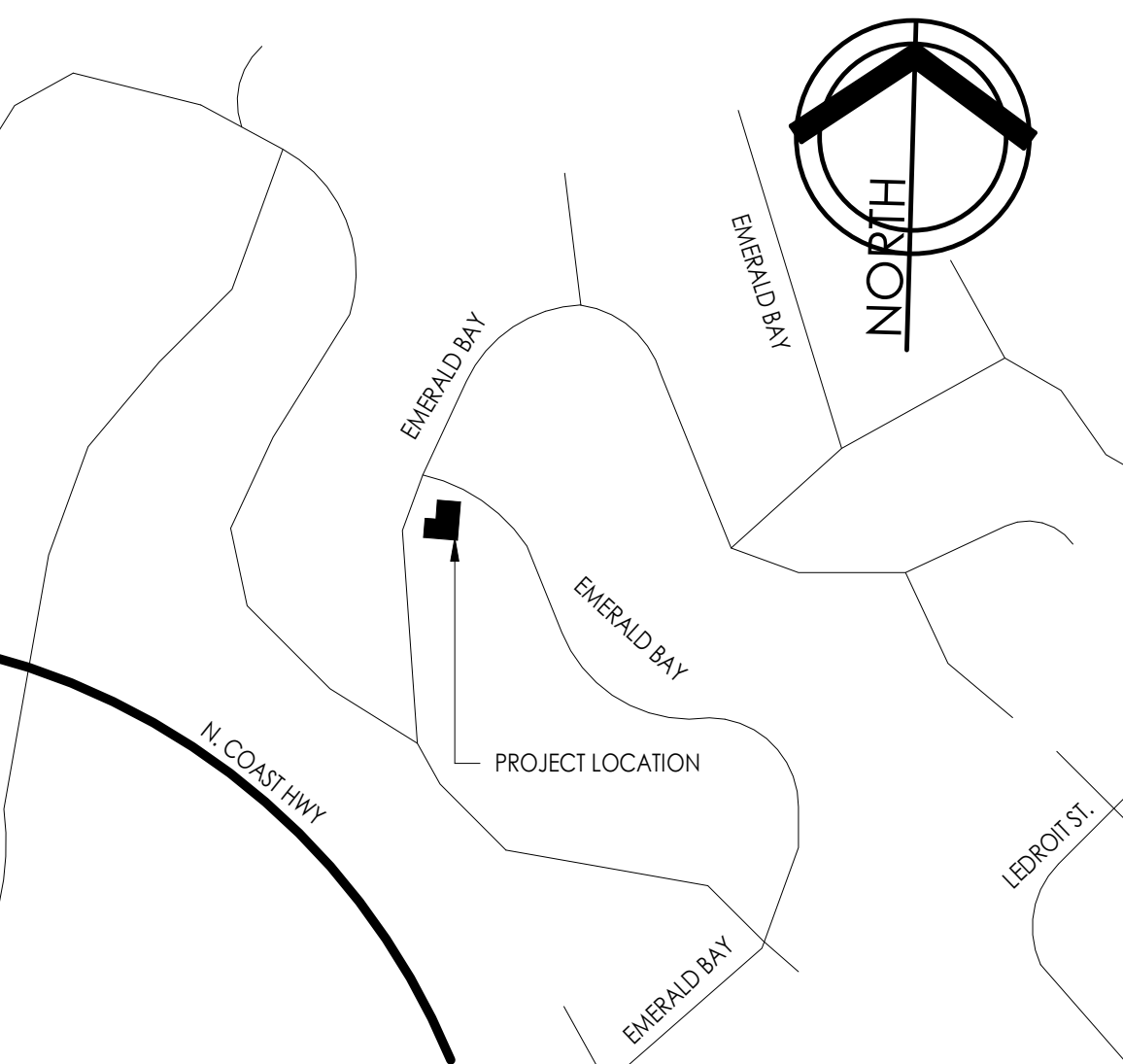
NPDES NOTES

- NPDES NOTES:**
- IN CASE OF EMERGENCY, CALL: Cal Airqs HOME PHONE: 949.715.5445
 - SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
 - STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
 - APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
 - RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
 - ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
 - AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
 - CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
 - POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
 - DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
 - GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESIGNATED FACILITIES.
 - THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
 - THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
 - THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSORS, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
 - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
 - ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 24-HR RAIN PROBABILITY FORECAST EXCEEDS 40%.
 - SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
 - APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

AREA TABULATIONS

LOWER LEVEL LIVABLE AREA	1144.3 SF
GARAGE AREA	805.3 SF
LOWER LIVABLE AREA + GARAGE:	1949.6 SF
UPPER LEVEL UPPER LIVABLE AREA:	1750.6 SF
TOTAL LIVABLE AREA (2894.9) + GARAGE (805.3): (LOWER LEVEL + UPPER LEVEL + GARAGE)	3700.2 SF
UPPER DECK:	242.7 SF
ROOF AREA PITCHED AREA:	1,647.1 SF
FLAT AREA (PERCENTAGE):	(12.4%) 234.3 SF
TOTAL ROOF AREA:	1,881.4 SF
DIMENSIONED PARAPET EXHIBIT (LESS THAN 25% OF ROOF PERIMETER) PERIMETER PARAPET LENGTH/ TOTAL PERIMETER LENGTH = %	
15'-4 1/2" (PERIMETER PARAPET)/ 229'-6" (PERIMETER)	6.7%
PARAPET LENGTH/ TOTAL OF ROOF ELEMENT PERIMETERS = %	
69'-2" (PARAPET LENGTH) / 310'-7" (PERIMETER OF ALL ROOF ELEMENTS)	22.3%
LOT COVERAGE LOT AREA:	4,885 SF
ALLOWABLE BUILDING AREA: 40% X 4,885 (LOT AREA)	1,954.0 SF
PROPOSED LOT COVERAGE:	1,949.6 SF
LOT COVERAGE:	39.5%
TOTAL STRUCTURAL AREA LESS GARAGE (3689.2 SF - 430 SF)	3,270.2 SF
ORANGE COUNTY DEVELOPMENT PARKING REQUIREMENT REQ'D: 3 COVERED PARKING SPACES	
PROPOSED: 3 NEW GARAGE PARKING	

LOCATION MAP



DRAWING SYMBOLS

	REVISION DESIGNATION
	WALL TAG
	KEYNOTE REFERENCE
	DETAIL REFERENCE DETAIL NUMBER OVER SHEET NUMBER
	BUILDING SECTION REFERENCE SECTION NUMBER OVER SHEET NUMBER
	EXTERIOR ELEVATION REFERENCE ELEVATION NUMBER OVER SHEET NUMBER
	INTERIOR ELEVATION REFERENCE ELEVATION NUMBER OVER SHEET NUMBER INSIDE
	ENLARGED AREA REFERENCE PLAN NUMBER OVER SHEET NUMBER

PROJECT LOG

DATE	DESCRIPTION
05.01.2024	EMERALD BAY CONCEPTUAL SUBMITTAL
06.04.2024	EMERALD BAY PRELIMINARY SUBMITTAL
09.03.2024	EMERALD BAY PRELIMINARY SUBMITTAL #2
09.04.2024	COUNTY PLANNING SUBMITTAL #1 (COASTAL DEVELOPMENT PERMIT)
10.15.2024	COUNTY PLANNING SUBMITTAL #1 (COASTAL DEVELOPMENT PERMIT)

THOMAS RESIDENCE

325 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

JOB: 2325

09/03/2024

COVER SHEET

SCALE: NTS

A000



VIEW D



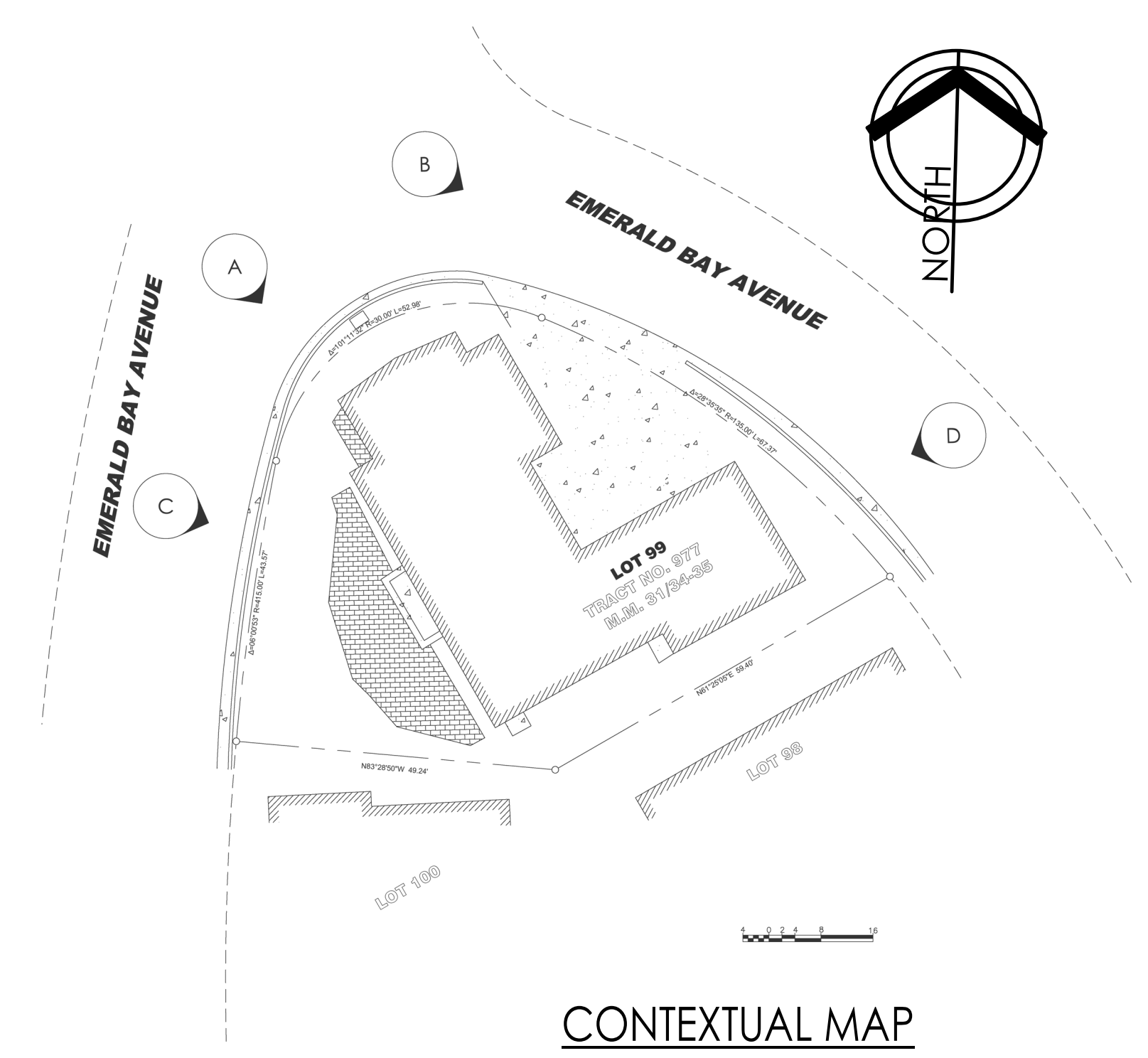
VIEW C



VIEW B



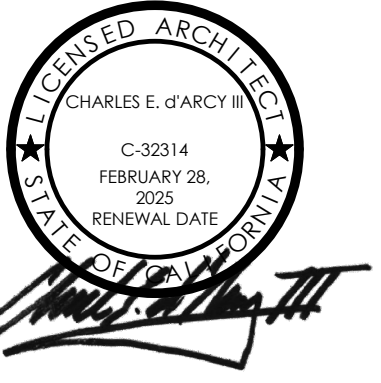
VIEW A



CONTEXTUAL MAP



SCOTT BROWNE DESIGNS
332 FOREST AVENUE, SUITE #3
LAGUNA BEACH, CA 92651
949.416.2074



THOMAS RESIDENCE

305 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

JOB: 2325

09/03/2024

CONTEXTUAL
PHOTOS

A040



VIEW H



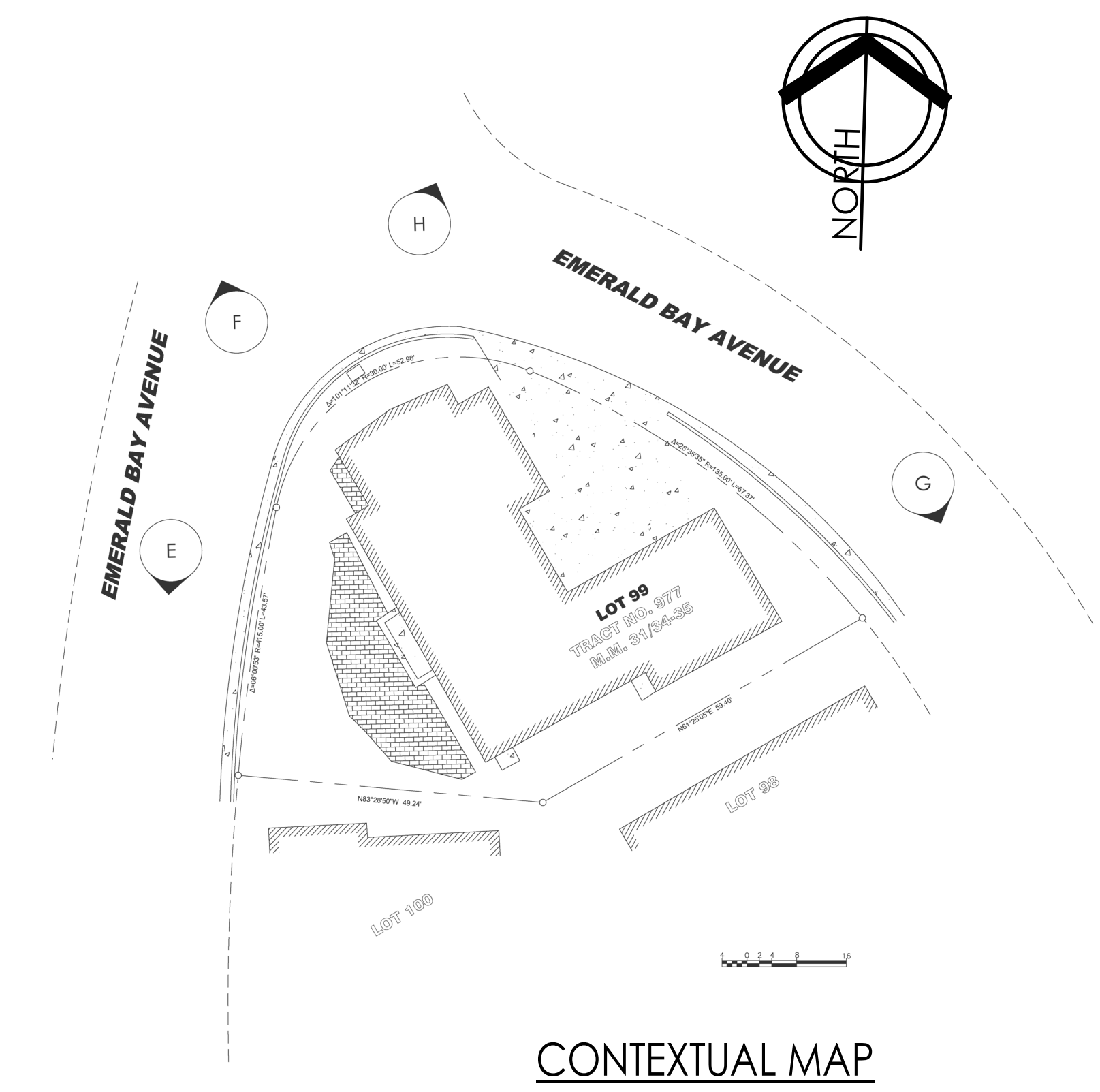
VIEW G



VIEW F



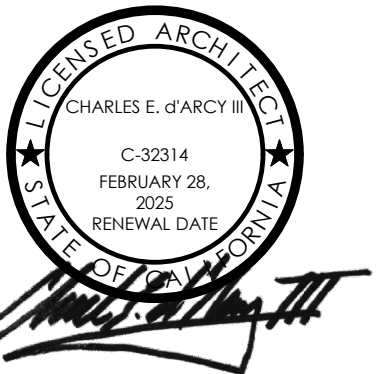
VIEW E



CONTEXTUAL MAP



SCOTT BROWNE DESIGNS
332 FOREST AVENUE, SUITE #3
Laguna Beach, CA 92651
949.416.2074



THOMAS RESIDENCE

305 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

JOB: 2325

09/03/2024

CONTEXTUAL
PHOTOS

A041



FRONT ELEVATION



NORTH (LEFT)



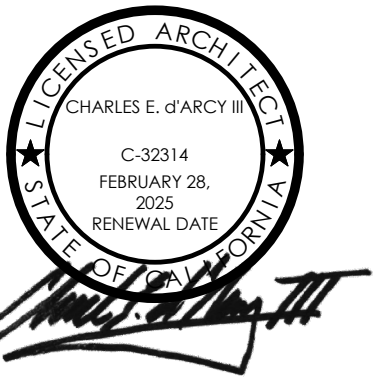
WEST (FRONT)



POOL BALCONY



SCOTT BROWNDISIGNS
332 FOREST AVENUE, SUITE #3
LAGUNA BEACH, CA 92651
949.416.2074



THOMAS RESIDENCE

305 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

NO.	DESCRIPTION

JOB: 2325

09/03/2024

3D VIEWS

A060



STREET AXON



AXON 2



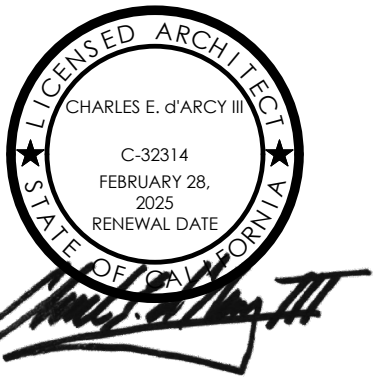
ENTRY COURT 2



ENTRY COURT 1



SCOTT BROWNE DESIGNS
 332 FOREST AVENUE, SUITE #3
 LAGUNA BEACH, CA 92651
 949 416-2074



THOMAS RESIDENCE

305 EMERALD BAY
 LAGUNA BEACH, CA 92651

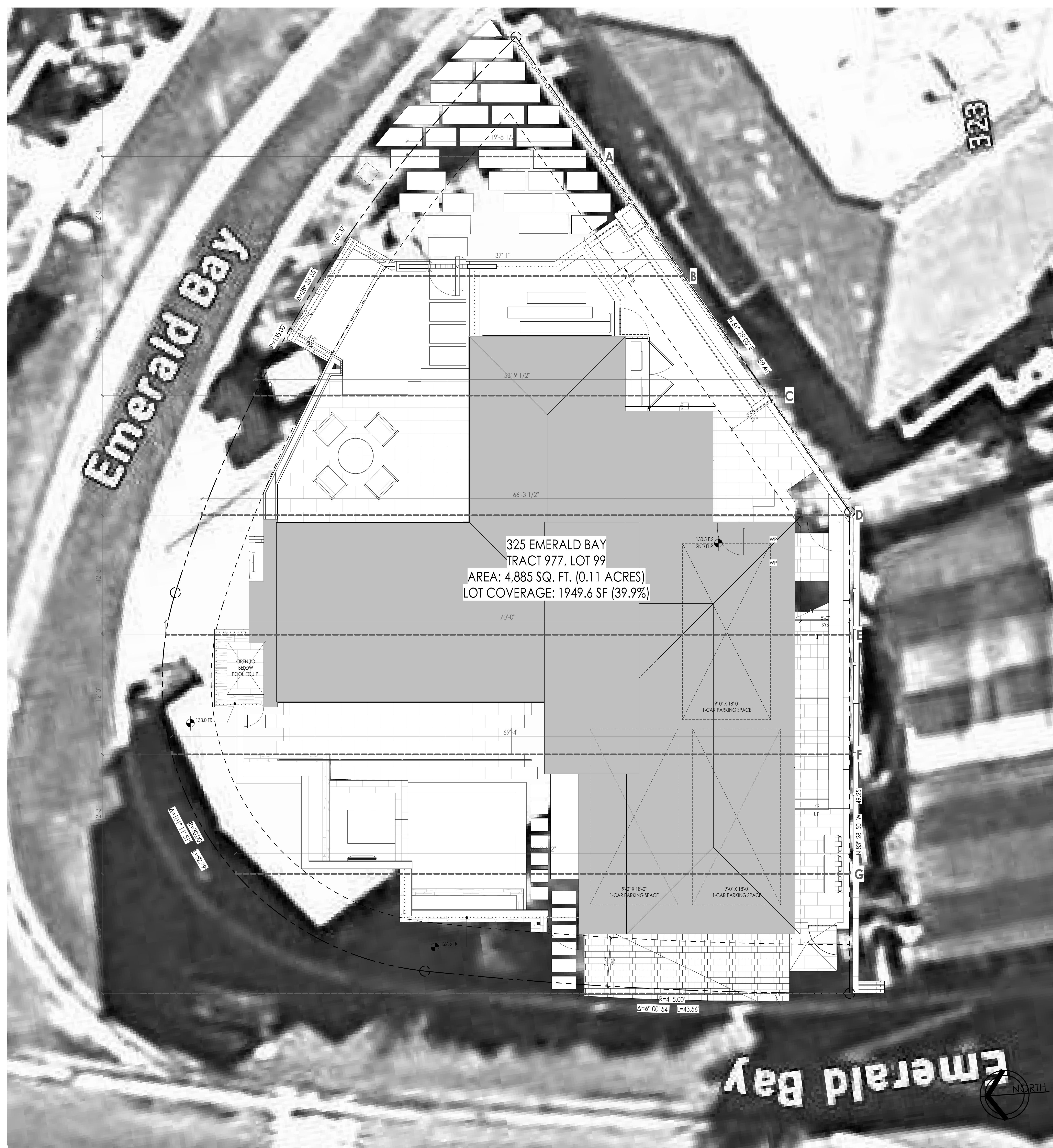
REVISIONS

JOB: 2325

09/03/2024

3D VIEWS

A062



325 EMERALD BAY
TRACT 977, LOT 99
AREA: 4,885 SQ. FT. (0.11 ACRES)
LOT COVERAGE: 1949.6 SF (39.9%)

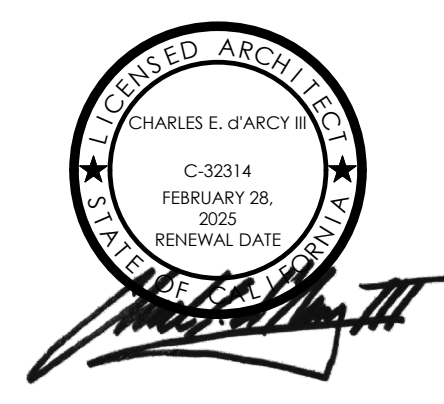
AVERAGE LOT DEPTH CALCULATION

A	19'-8 1/2"
B	37'-1"
C	53'-9 1/2"
D	66'-3 1/2"
E	70'-0"
F	69'-4"
G	62'-9 1/2"
TOTAL AVG.	54'-2"

REQUIRED SETBACKS FOR SHALLOW BUILDING LOT
 AVG. LOT DEPTH x 15% = REQUIRED FRONT & REAR SETBACK
 54.17 x 15% = 8.13' REQD. FRONT SETBACK
 * VARIANCE REQUEST FOR 5'-0" FRONT SETBACKS (NO REAR YARD SETBACK ON PROPERTY)



SCOTT BROWNE DESIGNS
332 FOREST AVENUE, SUITE #3
LAGUNA BEACH, CA 92651
949.416.2074



THOMAS RESIDENCE
325 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

JOB: 2325
09/03/2024

SITE PLAN -
AVERAGE DEPTH
CALCULATION

A092

LEGEND

- BLOCK WALL
- WOODEN FENCE (WDF)
- AC ASPHALT PAVEMENT
- BX BOTTOM OF CURB X
- CL CENTERLINE
- DO DRAIN OUTLET
- EG EDGE OF GUTTER
- EPB ELECTRICAL PULLBOX
- FF FINISHED FLOOR
- FFG FINISHED FLOOR GARAGE
- FH FIRE HYDRANT
- FL FLOWLINE
- FS FINISHED SURFACE
- GB GRADE BREAK
- GM GAS METER
- LP LIGHT POST
- NG NATURAL GROUND
- PA PLANTER AREA
- TBX TELEPHONE PULLBOX
- TC TOP OF CURB
- TF TOP OF FENCE
- TS TOP OF STEP
- TW TOP OF WALL
- TX TOP OF CURB X
- WM WATER METER
- WS WOOD STEP
- WV WATER VALVE
- () EXISTING ELEVATION
- O SEARCHED, FOUND NOTHING; SET NOTHING
- T.B.M. TEMPORARY BENCHMARK SET ON A SEWER MANHOLE (SMH) ELEVATION = 130.42 FEET
- BRICK SURFACE
- CONCRETE SURFACE

TITLE REPORT/EASEMENT NOTES

325 EMERALD BAY
LAGUNA BEACH, CA 92651
(APN: 053-072-01)

NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF LAGUNA BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 99 IN TRACT NO. 977, IN THE CITY OF LAGUNA BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 31, PAGES 33-35, OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK INFORMATION

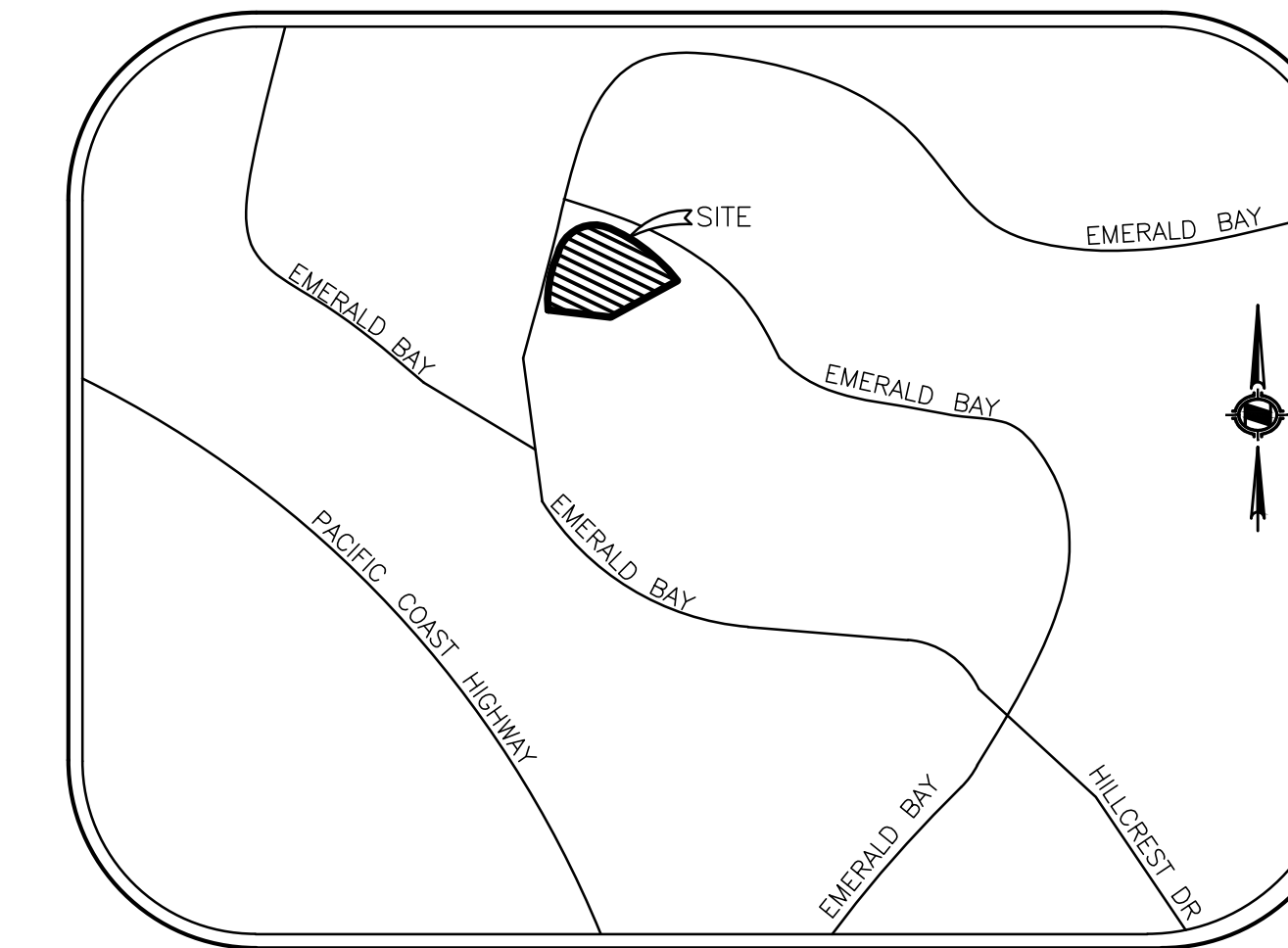
BENCHMARK NO: R-1415

DESCRIBED BY OCS 2003 - FOUND 3 3/4" USC&GS BRONZED DISK STAMPED "R 1415 1988", SET IN THE SOUTHERLY CORNER OF A CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE NORTHEASTERLY SIDE OF PACIFIC COAST HIGHWAY, 22 FT. NORTHEASTERLY OF THE NORTHBOUND LANES OF PACIFIC COAST HIGHWAY, 1.3 MILES NORTHERLY ALONG PCH FROM THE CENTERLINE OF BROADWAY IN LAGUNA BEACH AND 0.05 MILES NORTHWESTERLY FROM THE ENTRANCE INTO EMERALD BAY HOMES. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB.

ELEVATION: 72.963 FEET (NAVD88), YEAR LEVELED 2004

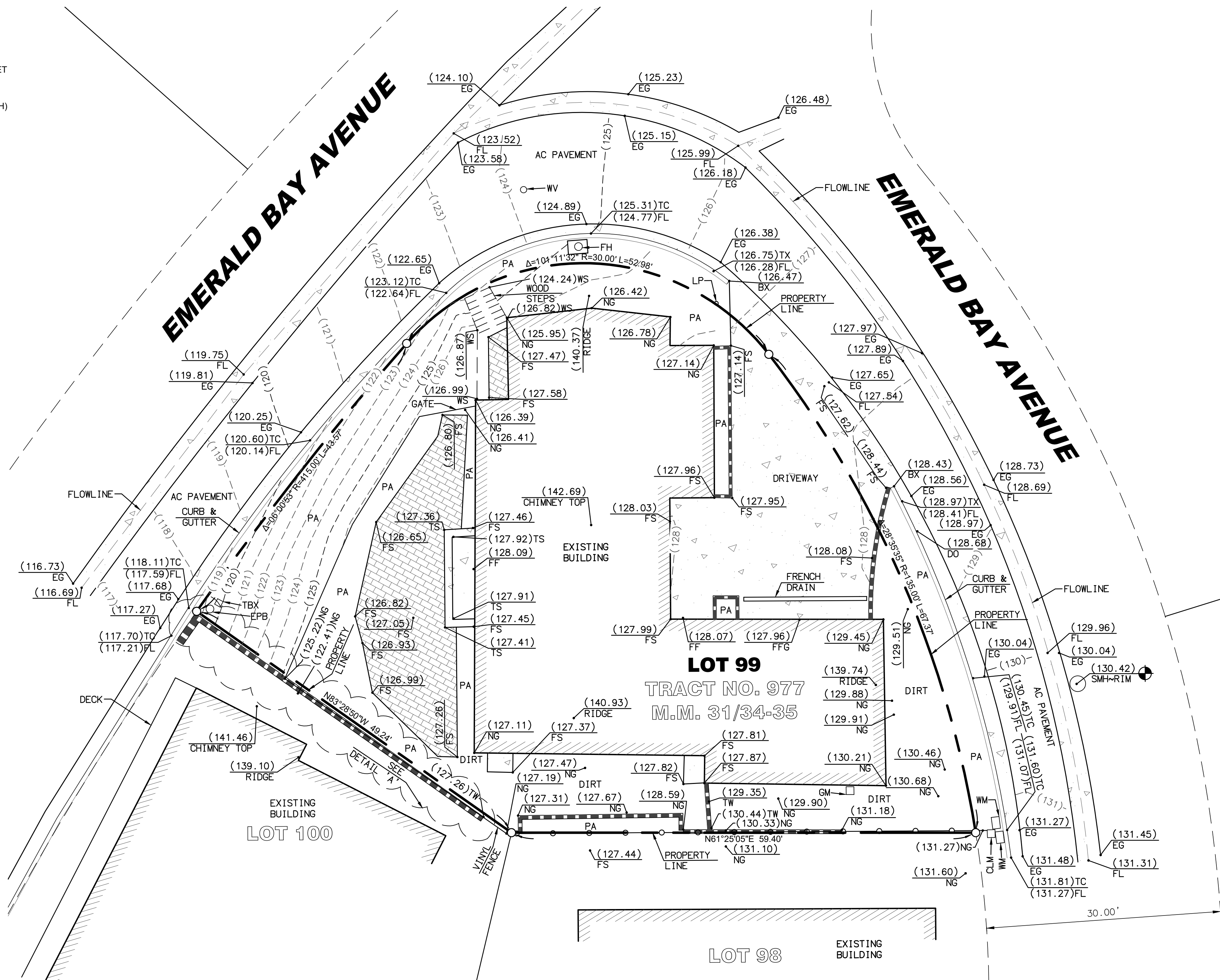
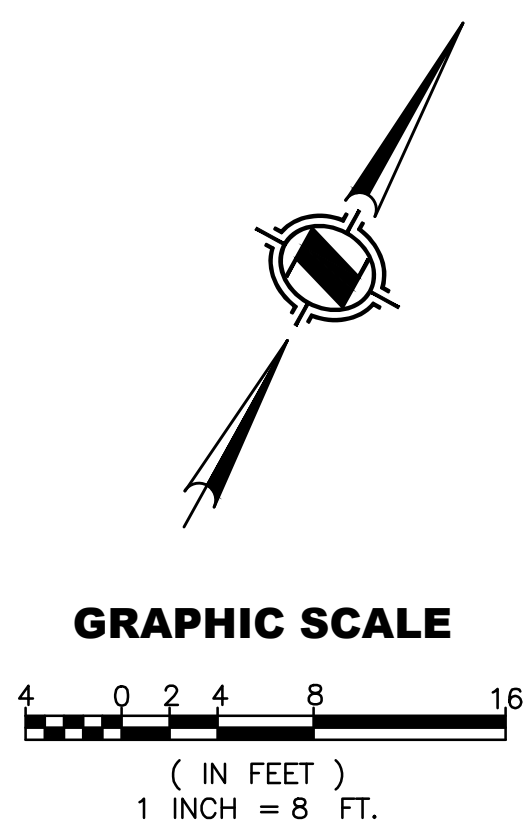
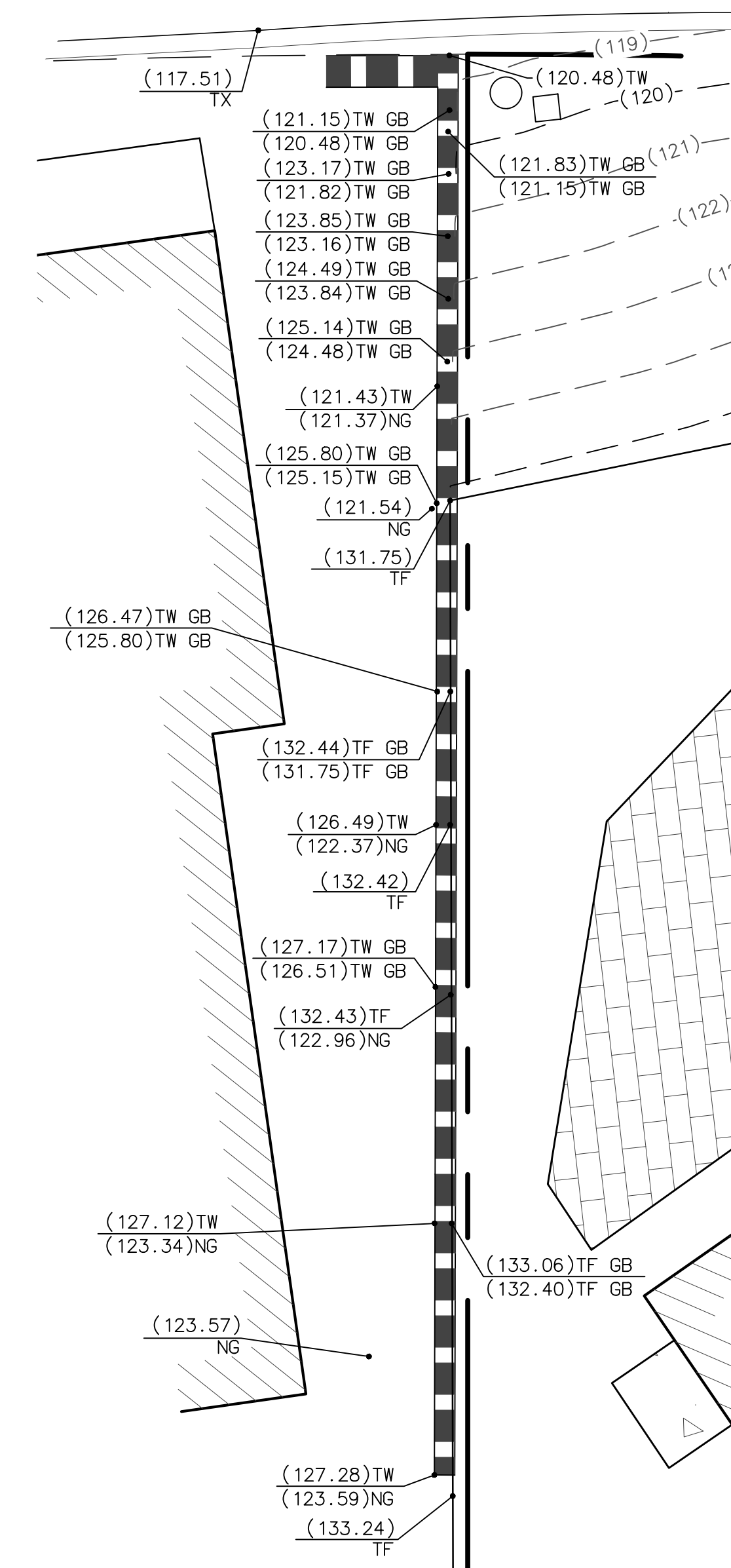
BASIS OF BEARINGS

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY LINE OF LOT 90, HAVING A BEARING OF N26°34'42"E PER TRACT NO. 977, M.M. 31/34-35.



VICINITY MAP
NO SCALE

DETAIL 'A'
(NO SCALE)



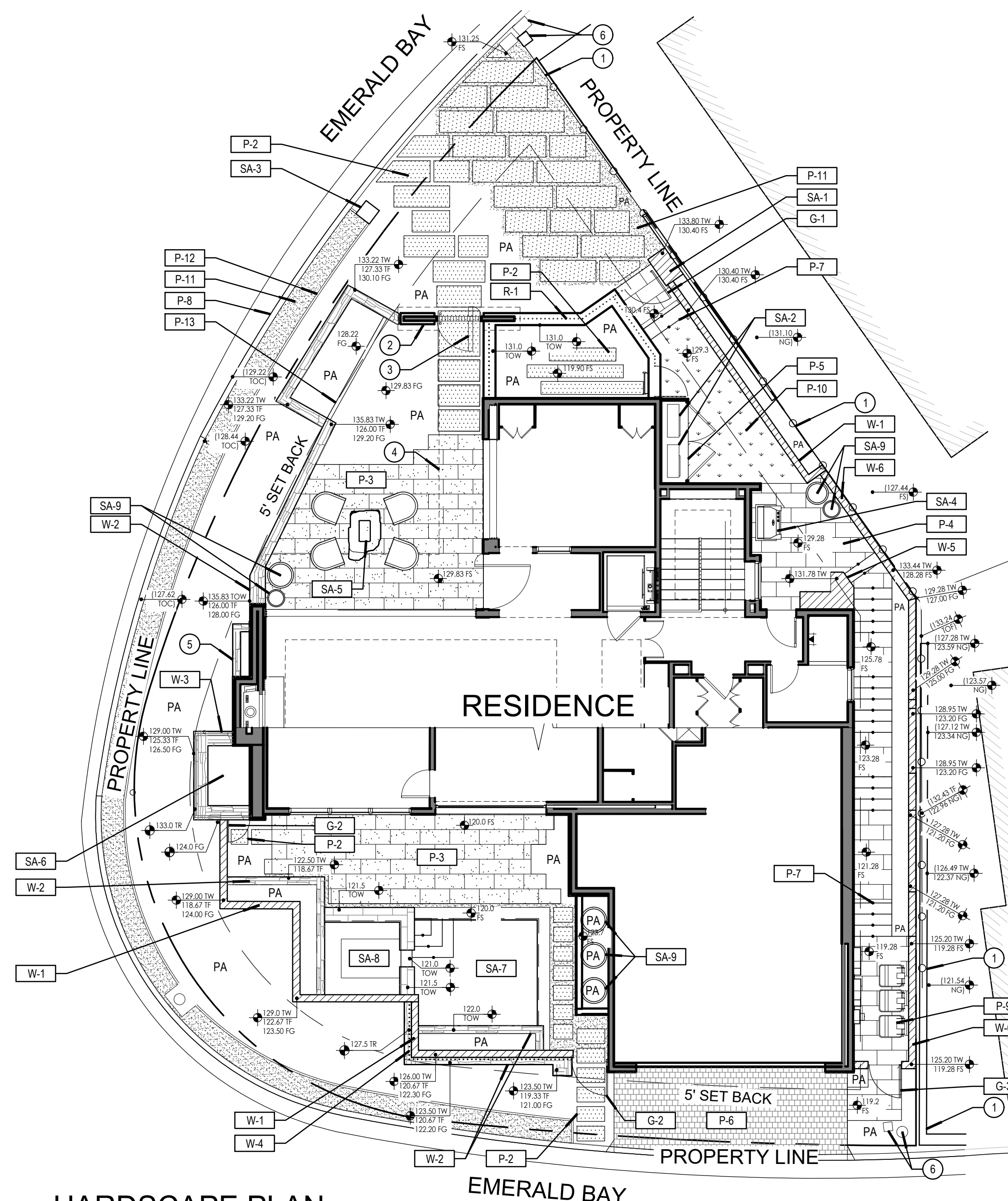
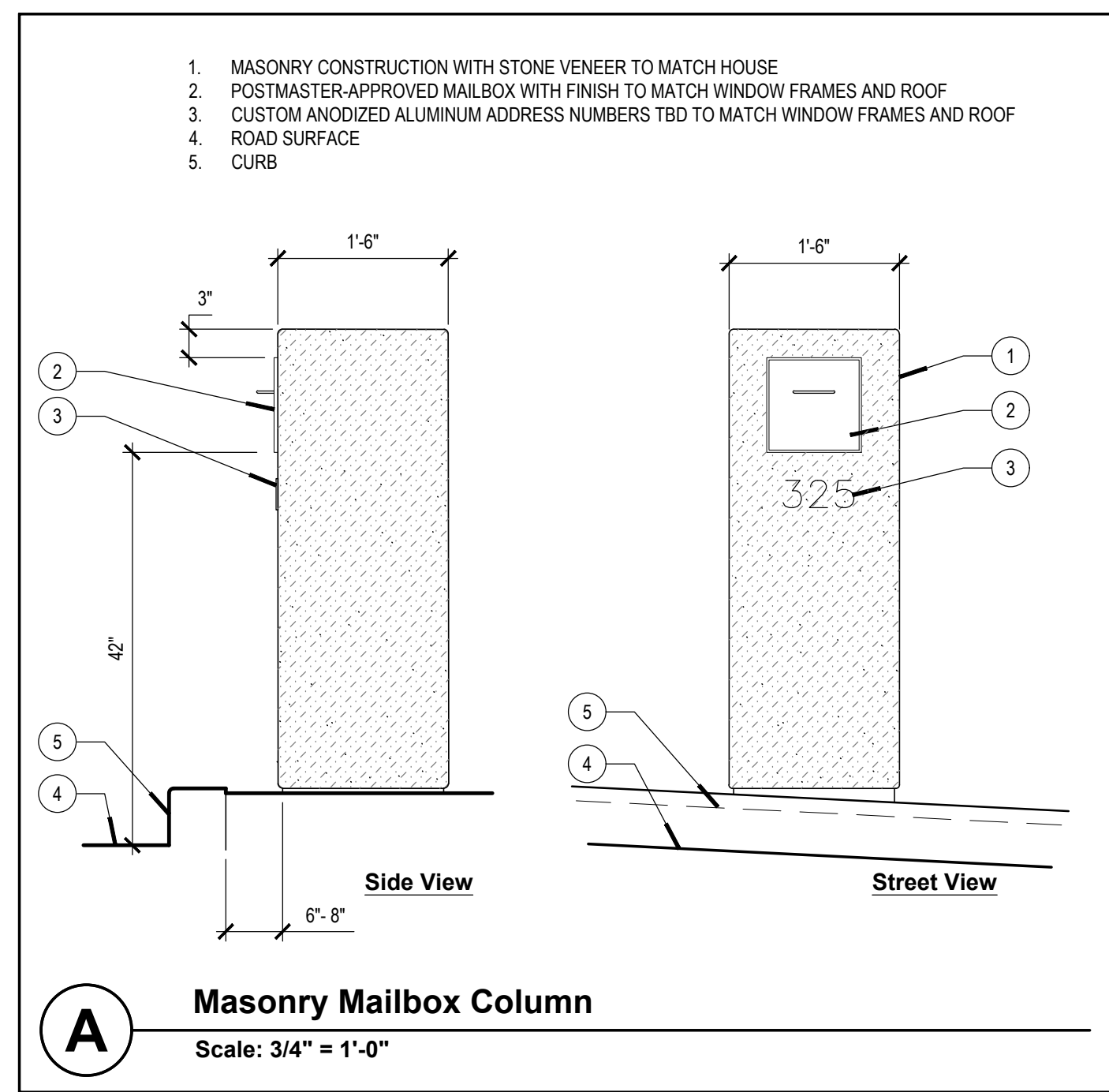
DATE 7/22/2024
 PAUL D. CRAFT, P.L.S. 8516
 LICENSE RENEWAL DATE 12/31/24
 NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

REVISIONS		DATE	APP'D
NO.	DESCRIPTION		P. D. C.
1			

PROJECT SURVEYOR	DATE	SCALE	DRAWN	CHECKED
APEX LAND SURVEYING INC.	11/10/2023	1" = 8'	A. R. H.	P. D. C.

TOPOGRAPHIC MAP	
325 EMERALD BAY	
LAGUNA BEACH, CA 92651	
(APN: 053-072-01)	

SHEET TITLE	SHEET NO.
TOPOGRAPHIC MAP	1 OF 1



REFERENCE LEGEND	
①	EXISTING PROPERTY LINE WALL/FENCE - PROTECT IN PLACE
②	WALL - PER ARCHITECT
③	WOOD GATE & PANELS - PER ARCHITECT
④	OVERHEAD STRUCTURE - PER ARCHITECT
⑤	LIGHT WELL - PER ARCHITECT
⑥	EXISTING UTILITIES
⑦	EXISTING HYDRANT
CL	CENTER LINE
PA	PLANTING AREA
TYP.	TYPICAL
F.O.B.	FACE OF BUILDING

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS GRADES, EXISTING STRUCTURES, AND FIELD CONDITIONS AT THE SITE BEFORE COMMENCING WORK. HE/SHE SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- TYPICAL DETAILS SHALL APPLY IN GENERAL CONSTRUCTION WHERE NO DETAILS ARE GIVEN. THE CONSTRUCTION SHALL BE AS FOR SIMILAR WORK. OMISSIONS, AND/OR FIELD CONDITIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK SO INVOLVED.
- REFERENCES OF THE A.S.T.M.S. AND THE UNIFORM BUILDING CODE SHALL BE TO THE LATEST EDITIONS AS ADOPTED BY LOCAL JURISDICTION.
- IMPORT SOIL SHALL BE APPROVED ON SITE BY OWNER'S REPRESENTATIVE. REFER TO SPECIFICATIONS FOR SOIL REQUIREMENTS. SOIL SHALL BE FREE FROM ROCK, DEBRIS, BERMUDA GRASS OR OTHER DELETERIOUS MATERIAL.
- AREAS WITHIN SCOPE OF WORK SHALL BE WEED KILLED WITH AN APPLICATION OF ROUNDUP TEN DAYS PRIOR TO START OF WORK. VERIFY WITH LANDSCAPE ARCHITECT.
- AREAS TO BE GRADED OR PAVED SHALL BE GRUBBED AND STRIPPED OF ALL VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIAL. ALL LOOSE SOIL DISTURBED BY REMOVAL OF TREES, EXISTING FILL AND LOOSE OR DISTURBED TOPSOIL SHALL BE REMOVED.
- EXCESS SOIL SHALL BE REMOVED FROM SITE.
- CONCRETE SHALL BE TRANSIT MIXED FROM A LICENSED BATCHING PLANT, WHICH SHALL BE 2500 P.S.I. AT 28 DAYS. ANY EXPOSED FINISHED CONCRETE SHALL HAVE A COLOR ADDITIVE, COLOR AND STRENGTH TO BE SELECTED BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUBMIT A 6"x6" SAMPLE OF FINISHED CONCRETE TO LANDSCAPE ARCHITECT FOR APPROVAL.
- REINFORCING STEEL: A.S.T.M. A-615, GRADE 40 FOR ALL REINFORCING. MINIMUM CLEARANCE FOR BARS SHALL BE 3" AT BOTTOM OF FOOTING AND 1 1/2" AT BOTTOM OF SLABS ON GRADE.
- SLEEVES: CONCRETE CONTRACTOR SHALL PROVIDE PVC UNDER PAVING. THE LOCATIONS SHALL BE COORDINATED WITH THE ELECTRIC CONTRACTOR AND PORTLAND CONTRACTOR.
- MORTAR SHALL BE 1:3 1/2:1 1/4 TO 1 1/2 PARTS BY VOLUME OF PORTLAND CEMENT, TO MORTAR SAND, TO LIME PUTTY. USE NO FIRE CLAY. ADD 1 PINT ADMIXTURE PER SACK OF CEMENT TO INHIBIT EFFLORESCENCE.
 - FOR MORTAR, LOAD MORTAR SAND, PORTLAND CEMENT, ADMIXTURE, AND WATER INTO MIXER IN THAT ORDER, AND MIX FOR 3 MINUTES THEN ADD LIME PUTTY AND MIX ADDITIONAL 10 MINUTES.
 - FOR GROUT, LOAD PEA GRAVEL, IF USED, SAND, PORTLAND CEMENT, ADMIXTURE, AND WATER INTO THE MIXER FOR 3 MINUTES. USE ENOUGH WATER TO FORM A POURING CONSISTENCY AND COLOR PER PLANS.
 - DO NOT USE ANY MORTAR OR GROUT AFTER MORE THAN 1 1/2 HOURS OF ITS INITIAL MIXING, EXCEPT MORTAR MAY BE RE-TEMPERED.
- USE AT LEAST A 1-SACK MIXER. MEASURE PARTS BY VOLUME FOR UNIFORMITY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REFER TO PLANTING PLANS TO DETERMINE LOCATION OF SPECIMEN TREES AND TO ROUTE UNDERGROUND STRUCTURES AROUND THESE LOCATIONS.

PAVING LEGEND		
ITEM	DESCRIPTION	DETAIL
P-1	NOT USED	DETAIL X SHEET LXXX
P-2	STONE PAVERS W/ PLANTED & GRAVEL JOINTS	DETAIL X SHEET LXXX
P-3	STONE PAVING ON PEDESTAL	DETAIL X SHEET LXXX
P-4	STONE PAVING ON CONCRETE SUBSLAB	DETAIL X SHEET LXXX
P-5	CONCRETE PAD	DETAIL X SHEET LXXX
P-6	6x6 STONE COBBLE DRIVEWAY	DETAIL X SHEET LXXX
P-7	STONE RISERS	DETAIL X SHEET LXXX
P-8	NEW CURB & GUTTER TO REPLACE EXISTING	DETAIL X SHEET LXXX
P-9	SERVICE YARD	DETAIL X SHEET LXXX
P-10	ARTIFICIAL TURF - PER SOFTSCAPE CONTRACTOR	DETAIL X SHEET LXXX
P-11	GRAVEL - PER SOFTSCAPE CONTRACTOR	DETAIL X SHEET LXXX
P-12	METAL HEADER - PER SOFTSCAPE CONTRACTOR	DETAIL X SHEET LXXX
P-13	CONCRETE CURB	DETAIL X SHEET LXXX

WALL & FENCE LEGEND		
W-1	STUCCO GARDEN WALL	DETAIL X SHEET LXXX
W-2	STONE WALL	DETAIL X SHEET LXXX
W-3	IRON POOL FENCE	DETAIL X SHEET LXXX
W-4	IRON FENCE	DETAIL X SHEET LXXX
W-5	BUILT-IN COUNTER	DETAIL X SHEET LXXX
W-6	STUCCO PROPERTY LINE WALL	DETAIL X SHEET LXXX

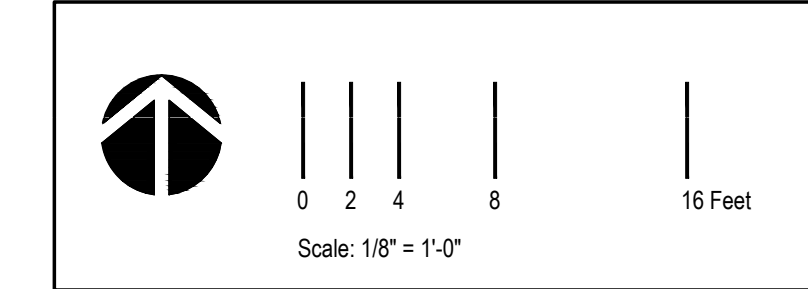
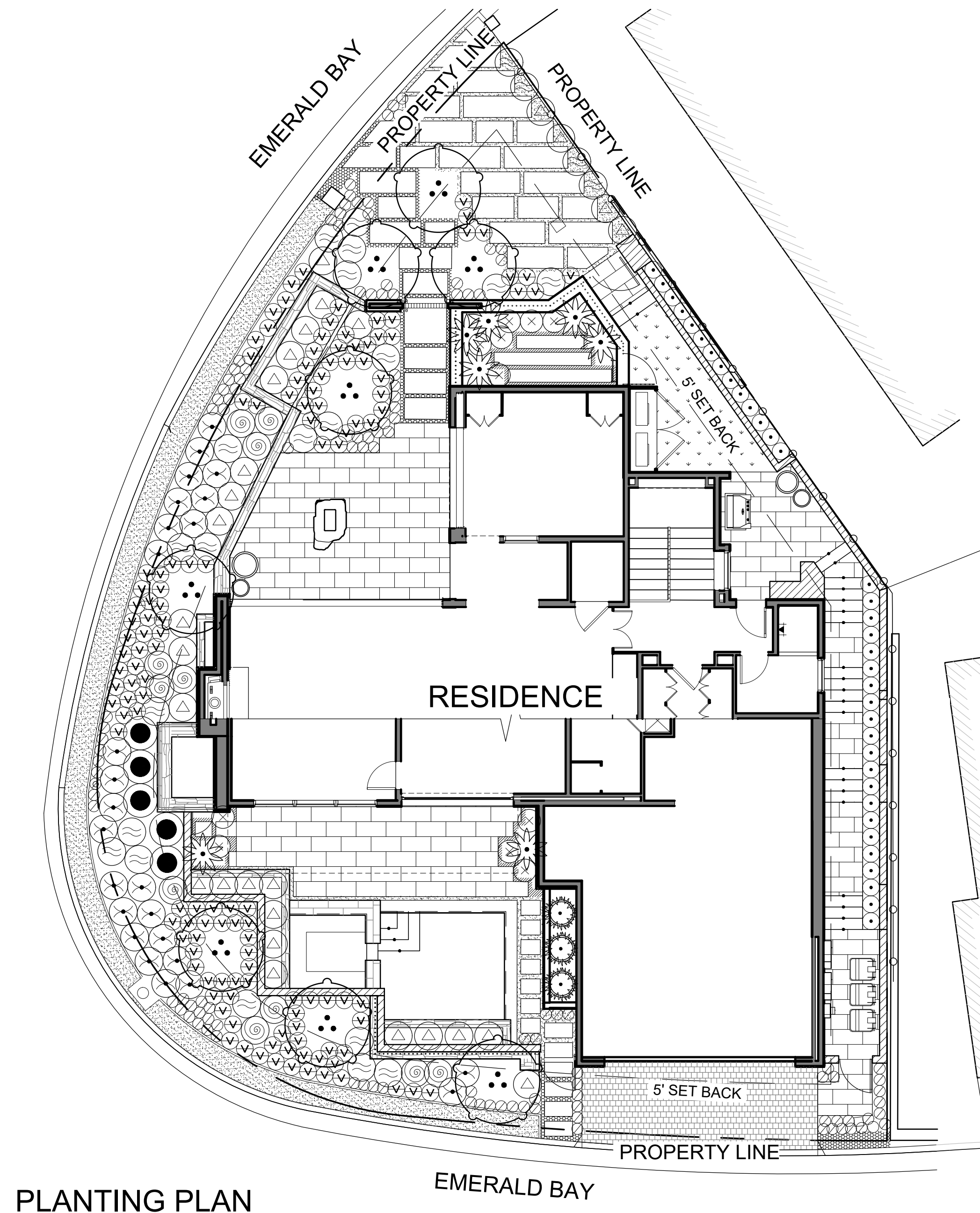
SITE AMENITIES LEGEND		
SA-1	GOLF CART CHARGING STATION	DETAIL X SHEET LXXX
SA-2	AC UNITS	DETAIL X SHEET LXXX
SA-3	MAILBOX	DETAIL X SHEET L01
SA-4	BBQ COUNTER	DETAIL X SHEET LXXX
SA-5	BOULDER FIREPIT	-
SA-6	POOL EQUIPMENT	DETAIL X SHEET LXXX
SA-7	POOL	DETAIL X SHEET LXXX
SA-8	SPA	DETAIL X SHEET LXXX
SA-9	POTS - TBS	DETAIL X SHEET LXXX

GATE LEGEND		
G-1	IRON GATE @ DRIVEWAY	DETAIL X SHEET LXXX
G-2	IRON GATE @ POOL DECK	DETAIL X SHEET LXXX
G-3	IRON GATE @ SERVICE YARD	DETAIL X SHEET LXXX

RAIL LEGEND		
R-1	IRON GUARDRAIL	DETAIL X SHEET LXXX

PLANTING LEGEND: Trees					
SYMBOL	NAME	SIZE	QTY	WATER REQ.*	DETAIL
⊙	MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK - MAINTAIN AT 12' HIGH	48" BOX	8	LOW	X / L3.51

PLANTING LEGEND: Shrubs					
SYMBOL	NAME	SIZE	QTY	WATER REQ.*	DETAIL
⊙	AGAVE ATTENUATA FOXTAIL AGAVE	15 GAL PER PLAN	3	LOW	X / L3.51
⊙	DICKSONIA ANTARCTICA MAN FERN	15 GAL PER PLAN	7	HIGH	X / L3.51
⊙	LAVANDULA X INTERMEDIA 'PROVENCE' LAVENDER 'PROVENCE'	1 GAL @ 18" O.C.	133	LOW	X / L3.51
⊙	LIQUISTRUM JAPONICUM 'TEXANUM' TEXAS PRIVET	15 GAL @ 18" O.C.	35	MED	X / L3.51
⊙	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE	15 GAL @ 36" O.C.	5	LOW	X / L3.51
⊙	OPHIPOGON JAPONICUS DWARF LILYTURF	FLATS SOLID FT.	10 SQ.	MED	X / L3.51
⊙	PITTSPORIUM TENUIFOLIUM 'GOLF BALL' GOLF BALL PITTSPORIUM	5 GAL @ 30" O.C.	24	MED	X / L3.51
⊙	POLYSTICHUM MUNITUM WESTERN SWORD FERN	1 GAL @ 24" O.C.	12	MED	X / L3.51
⊙	SALVIA 'WAVERLY' WAVERLY SAGE	5 GAL @ 30" O.C.	11	LOW	X / L3.51
⊙	SESSELERA AUTUMNALIS AUTUMN MOOR GRASS	1 GAL @ 12" O.C.	114	MED	X / L3.51
⊙	THYMUS SERPYLLUM ELFIN THYME	47 SQ. FT.	47	MED	X / L3.51
⊙	'WESTRINGIA FRUTICOSA' 'BLUE GEM' BLUE GEM COAST ROSEMARY	5 GAL @ 30" O.C.	28	LOW	X / L3.51
⊙	'WESTRINGIA FRUTICOSA' 'LOW HORIZON' LOW HORIZON COAST ROSEMARY	5 GAL @ 30" O.C.	25	LOW	X / L3.51
⊙	METAL HEADER - PER SOFTSCAPE CONTRACTOR	-	115 LIN. FT.	-	X / L3.51

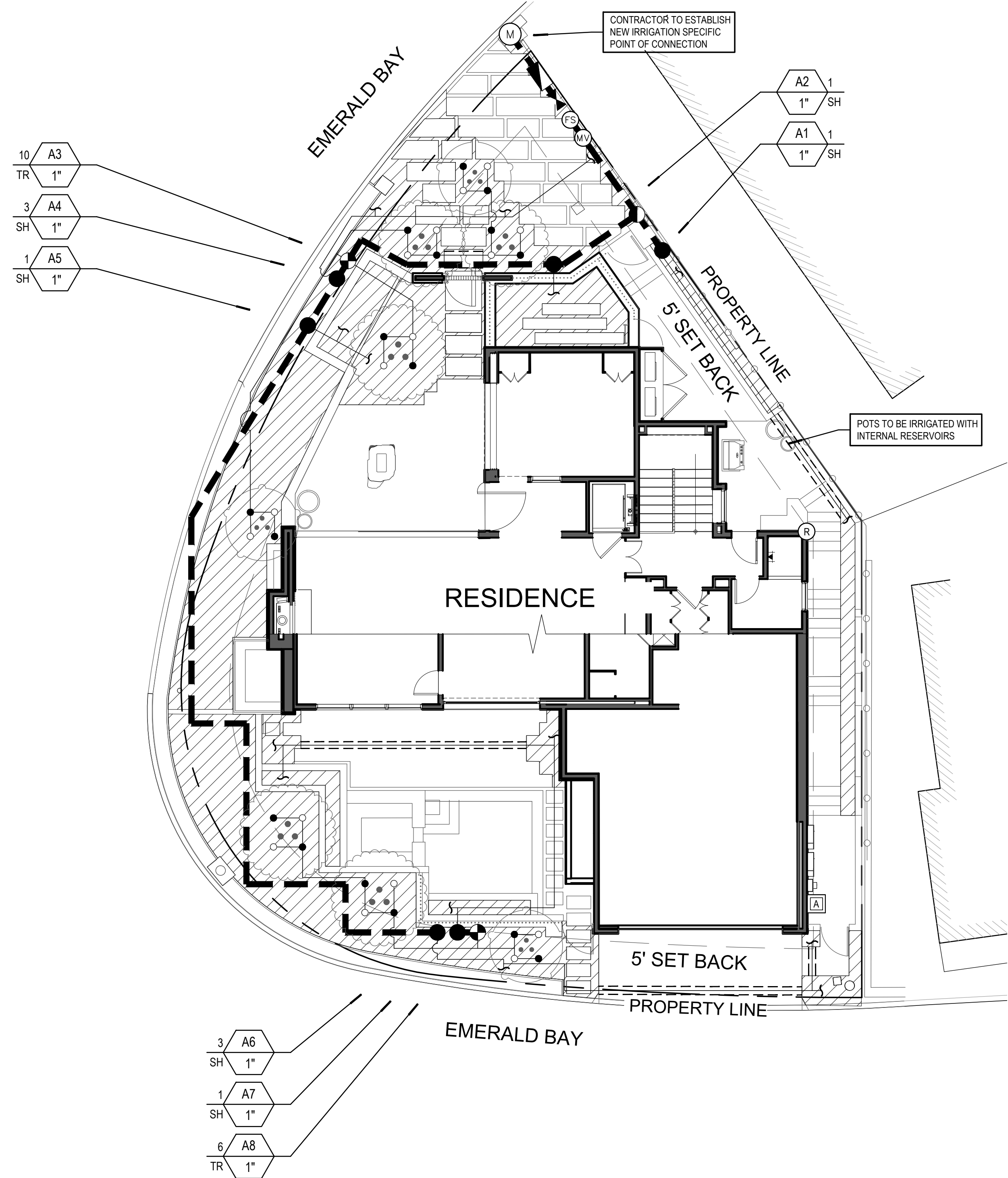


Revisions	By	Date
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Prelim Submittal #2	AW	08/30/24
Prelim Submittal #3	AW	09/23/24

Job Number: E24-023
Design Staff: BC
Project Manager: AW
Principal: NE

Hardscape & Planting Plan Opt 2

L1.01
Plan Check Number: 00000000-PARK
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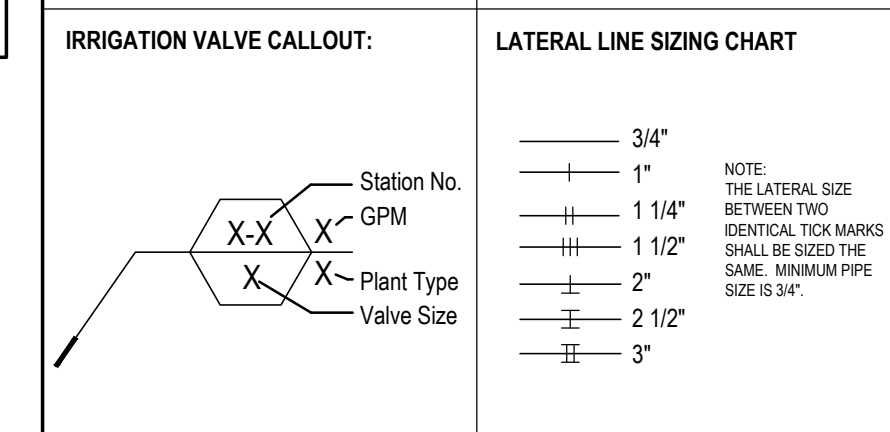
- ### GENERAL IRRIGATION NOTES
- The irrigation contractor shall be responsible for familiarizing themselves with all differences in grade, location of setbacks, location of retaining walls, etc. The contractor shall be responsible for coordinating all irrigation work with the general contractor, electrical contractor, and all other subcontractors for the location and the installation of irrigation related sleeves through walls, structures, under roadways, paving, etc.
 - The irrigation design presented in these documents is intended to be diagrammatic. All irrigation equipment, piping and valve locations, etc. shown within paved areas are for design clarification and shall only be installed in planting areas. Irrigation contractor shall install all remote control valves, quick couplers, and gate valves, in shrub planting areas or as approved by owner's representative & the landscape irrigation designer. Avoid any conflicts between the sprinkler system, piping and architectural features.
 - The irrigation system design is based upon the minimum operating pressure and the maximum flow demand shown on the irrigation drawings at each point of connection. The irrigation contractor shall verify water pressure prior to construction. Any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection shall be immediately reported in writing to the owner's authorized representative. If the pressure differences are not immediately reported prior to beginning construction, the irrigation contractor shall assume full responsibility for all revisions to the irrigation system deemed necessary by the owner's representative and all costs associated with those revisions.
 - When it is apparent to the landscape contractor in the field that obstructions, grade differences, or differences in the calculated area dimensions exist that may have not been considered in the design of the system, the irrigation contractor shall not willfully install the irrigation system as indicated on the construction drawings. The owner's authorized representative shall be notified in writing of any such obstructions or differences prior to beginning any irrigation installation. If notification is not received prior to beginning installation, the irrigation contractor shall assume full responsibility for all revisions to the irrigation system as deemed necessary by owner's representative and all costs associated with those revisions.
 - The irrigation contractor shall be responsible for installing all control wire sleeving of sufficient size, under all paved areas in addition to the control wire sleeving shown on the drawings.
 - All piping and equipment shall be installed per the irrigation details. Teflon tape or Teflon pipe dope shall be applied to all male PVC pipe threads on all irrigation valve assemblies.
 - All pop-up style irrigation heads located in shrub or groundcover areas shall be installed so the top of the irrigation head is 1" above finish grade.
 - All pop-up style irrigation heads to be located in turf areas shall initially be installed to the top of the irrigation heads are flush with the adjacent sidewalk or curb. Within 10 days of being notified by the owner's representative, the irrigation contractor shall be responsible for adjusting all turf irrigation heads so the top of the irrigation head is 1/2" above finish grade.
 - The irrigation contractor shall be responsible for flushing and adjusting all irrigation heads for optimum performance and to prevent over spray onto areas not intended for irrigation. This shall include selecting the proper arc pattern, adjusting the spray radius of the irrigation head with PRS screens and/or adjusting the flow control at each valve to obtain the optimum operating pressure for each system.
 - The irrigation contractor shall be responsible for adjusting the pressure regulator on each electric control valve so the irrigation head farthest and highest in elevation from its associated control valve functions within the operating pressure shown on the irrigation legend (not to exceed 5 PSI above the indicated operating pressure).
 - When installing Rain Bird 1800 series nozzles that require arc patterns other than the standard arc patterns (e.g., 360°, 180°, and 90°), the contractor shall use the appropriate fixed arc pattern (e.g., 120°, 240°, 270°). The contractor shall use Rain Bird variable arc nozzles (VAN) when installing irrigation heads using Rain Bird 1800 series nozzles only when required pattern is not one of the fixed arc patterns. Select the radius of VAN nozzles to match site conditions. For example: use 8-VAN where an 8 foot radius is required or a 12-VAN where a 12 foot radius is required.
 - The irrigation contractor shall be responsible for making field adjustments to the irrigation system by installing a quarter circle or half circle sprinkler head on each side of any vertical element (posts, street lights, trees, etc.) which prevents proper coverage by interfering with the spray pattern of the irrigation head. All adjustments shall be made at no additional costs to the owner.
 - Drainage of irrigation water through spray head will not be allowed. Rain Bird SAM feature shall be used to prevent spray head drainage. During construction, the contractor shall change spray bodies from Rain Bird 1800-PRS to 1800-SAM-PRS for spray heads showing signs of draining after the irrigation system has operated from an ON to OFF position. Installation of Rain Bird SAM feature shall be included in the Bid Price of the irrigation system.
 - The irrigation contractor shall be responsible for making the final connection between the power source and the automatic controller. 120 volt electrical power source shall be provided by others at the automatic controller location.
 - Adhesives, sealants and caulks shall meet local or regional air pollution control or south coast AQMD rule 1168 VOC and statewide VOC standards.
 - Contractor shall verify exterior mounted rain sensor location and provide wiring between rain sensor and controller.

- ### OBSERVATION SCHEDULING
- The landscape contractor shall schedule an irrigation site observation by the irrigation designer, and/or the owner's representative, which shall not occur without at least 48 hours prior notification. The following items shall be reviewed:
- Pre-jobkick-off meeting with contractor, general contractor, and irrigation designer.
 - Mainline, backflow preventer, master valves, flow sensors, booster pump installation and operation, installation review prior to backfilling trenches, irrigation mainline pressure test, etc.
 - Finalizing the location for the controller assemblies - landscape contractor shall coordinate with the irrigation designer to verify connection of flow sensors and associated equipment to each controller assembly and for certification/warranty of equipment.
 - Irrigation coverage test - a dynamic pressure test shall be performed by the landscape contractor and shall be observed by the owner (or the owner's representative) and the irrigation designer for each valve during the irrigation coverage test.

IRRIGATION LEGEND

SYMBOL	RAD.	MANF.	MODEL NO. WITH NOZZLE SIZE & TYPE
F	H	Q	A
⊙	8'-10"	Hunter	MP800SR-360 on PRO-06-PRS40-CV
⊙	8'-10"	Hunter	MP800SR-90 on PRO-06-PRS40-CV
⊙	10'-17"	Hunter	MP1000-360 on PRO-06-PRS40-CV
⊙	10'-17"	Hunter	MP1000-90 on PRO-06-PRS40-CV
⊙	10'-17"	Hunter	MP1000-270 on PRO-06-PRS40-CV
⊙	15'-25"	Hunter	MP2000-360 on PRO-06-PRS40-CV
⊙	15'-25"	Hunter	MP2000-270 on PRO-06-PRS40-CV
⊙	23'-37"	Hunter	MP3000-360 on PRO-06-PRS40-CV
⊙	23'-37"	Hunter	MP3000-270 on PRO-06-PRS40-CV
○	-	RainBird	RWS-B-C-140Z (50 GPM)
○	-	RainBird	140Z on 1802 w/ PA-80
■	3'-6"	RainBird	5F-6 on 1806-SAM-PRS
□	3'-6"	RainBird	5CST-B on 1806-SAM-PRS
▨	-	Netafun (Shrub)	Irrigation Dripline - Tefline CV Dripline TLCV6-18
▩	-	Netafun (Turf)	Irrigation Dripline - Tefline CV Dripline TLCV4-12
■	-	Netafun	Air Relief Valve
⊥	-	Netafun	TLSOV - Manual Flush Valve
⊥	-	Netafun	Drip Connector
⊙	-	-	Water Meter Per Civil
⊥	-	Wilkins	975XL - 2" Backflow Preventer
⊥	-	Nibco	T-111 Gate Valve - Line Size 2 1/2" and smaller.
⊙	-	Superior	3300 - 2" Normally Open Master Valve
⊙	-	WeatherTRAK	Flow HD
⊙	-	RainBird	33-DLRC - 3/4" Quick Coupler Valve
⊙	-	RainBird	EFB-CP-PRS-D
⊙	-	RainBird	KCZ-PRB-100-COM 0-20 GPM KCZ-PRB-150-COM 15-40 GPM
⊙	-	King Bros.	Line Size Check Valve
⊙	-	RainBird	RSD-BEX - Rain Sensor
⊙	-	RainBird	ESP-LXME-FS-MP or WeatherTRAK PRO3
⊙	-	-	Spare Wire Pull Box
---	-	-	Existing Mainline
---	-	-	Mainline
---	-	-	Lateral Line
---	-	-	PVC Sleeves

DESCRIPTION	PSI	FLOW RATE IN GPM	DETAIL			
	F	H	Q	A	#	
08" Pop-Up Turf Rotary Nozzle	40	.78	-	-	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	.42	23	-	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	.84	-	-	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	.42	21	-	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	-	-	-	.63	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	1.48	-	-	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	.77	A3	-	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	-	-	-	1.10	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	3.64	-	-	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	-	1.82	86	-	-L2.xx
08" Pop-Up Turf Rotary Nozzle	40	-	-	-	2.73	-L2.xx
Bubbler in Sleeve with Grate	30	.50	-	-	-	-L2.xx
Flood Bubbler on 2" pop-up Spray Head	30	.50	-	-	-	-L2.xx
Stream Bubbler on 6" pop-up Spray Head	30	1.50	-	-	-	-L2.xx
Stream Bubbler on 6" pop-up Spray Head	30	.5	-	-	-	-L2.xx
Space lateral rows at 18". Dripper spacing at 18". Install 3' min - 5' max below grade per specifications. Application rate: 0.43 in/hr. Time to apply 1/4": 36 minutes.	30	0.6 GPH Flow Rate	-	-	-	-L2.xx
Space lateral rows at 12". Dripper spacing at 12". Install on top of soil per manufacturer's specifications. Application rate: 0.64 in/hr. Time to apply 1/4": 24 minutes.	30	0.4 GPH Flow Rate	-	-	-	-L2.xx
Install per manufacturer's specifications.	-	-	-	-	-	-L2.xx
Install per manufacturer's specifications.	-	-	-	-	-	-L2.xx
See civil engineers plans for additional information.	-	-	-	-	-	-L2.xx
Verify location in field prior to installation. Install within Strong Box SBBC-45SS Stainless Steel Enclosure per detail.	-	-	-	-	-	-L2.xx
For mainline sizes 3" and larger, use Nibco F-619-SGN epoxy coated. Assemble with stainless steel hardware. Install in a 10" round valve box.	-	-	-	-	-	-L2.xx
Master Valve to be installed in rectangle valve box adjacent to flow sensor.	-	-	-	-	-	-L2.xx
Size per plan. Install per detail. See irrigation construction notes for additional information and report numbers.	-	-	-	-	-	-L2.xx
Quick coupler valve with locking rubber cover. Install in round valve box per detail.	-	-	-	-	-	-L2.xx
Remote control valve. Install in rectangle valve box per detail.	-	-	-	-	-	-L2.xx
Remote control valve kit with pressure regulating basket filter. Install in rectangle valve box per detail.	-	-	-	-	-	-L2.xx
Provide swing check valve when direction of water flow is uphill. Provide spring check valve when direction of flow is downhill.	-	-	-	-	-	-L2.xx
Rain Sensor. Verify location in field.	-	-	-	-	-	-L2.xx
Irrigation controller assembly with flow sensing and ET capability located per irrigation plans. See irrigation construction notes for more information.	-	-	-	-	-	-L2.xx
Four (4) continuous spare control wires, blue in color and one (1) white common wire, 24" coil minimum.	-	-	-	-	-	-L2.xx
Protect in place.	-	-	-	-	-	-L2.xx
Irrigation Mainline - PVC SCH. 40 IPS white pipe. PVC SCH. 40 IPS for mainline sizes 1" to 2". PVC Class 315 IPS for mainline sizes 2 1/2" and larger. Sleeve mainline per notes and details. Lateral Pipe - PVC SCH. 40 IPS white pipe. Minimum pipe size shall be 3/4" - size laterals per plan. PVC SCH. 40 IPS for sizes 3/4" to 2 1/2". PVC Class 315 IPS for sizes 3" and larger.	-	-	-	-	-	-L2.xx
PVC SCH. 40 IPS white pipe - sleeves shall be installed for any mainline, lateral, or wires crossing under hardscape per irrigation construction notes. Size to be two times the pipe diameter or wire bundle.	-	-	-	-	-	-L2.xx



LATERAL LINE SIZING CHART

3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"
------	----	--------	--------	----	--------	----

NOTE: THE LATERAL SIZE BETWEEN TWO IDENTICAL TYPING MARKS SHALL BE THE SAME. MINIMUM PIPE SIZE IS 3/4".

PLANT MATERIAL ABBREVIATIONS:

TF	Turf	WM	Water Meter	FS	Flow Sensor
SB	Shrub / Ground Cover	XX	Backflow	XX	Master Valve
TR	Trees	XX	Master Valve	XX	Flow Sensor
PT	Pots	XX	Flow Sensor	XX	Master Valve

DOMESTIC WATER POINT OF CONNECTION EQUIPMENT SIZES:

Plant Type: P.O.C.# WM BF MV FS POC + WATER METER
XX XX XX XX WM + WATER METER
XX XX XX XX SB + BACKFLOW
XX XX XX XX TR + MASTER VALVE
XX XX XX XX PT + FLOW SENSOR

Hydrozone:
H High
M Medium
L Low



Section 42164217 of the government code requires a dig alert identification number be issued before a "permit to excavate" will be valid.
1-800-227-2600
Call (2) working days before you dig.

Thomas Residence

325 Emerald Bay
Laguna Beach, CA

Client
Cristina Thomas
325 Emerald Bay,
Laguna Beach, CA
T 714-342-6768

EPTDESIGN

234 NORTH EL MOLINO AVE, SUITE 100
PASADENA, CA 91101
626.795.2008
EPTDESIGN.COM

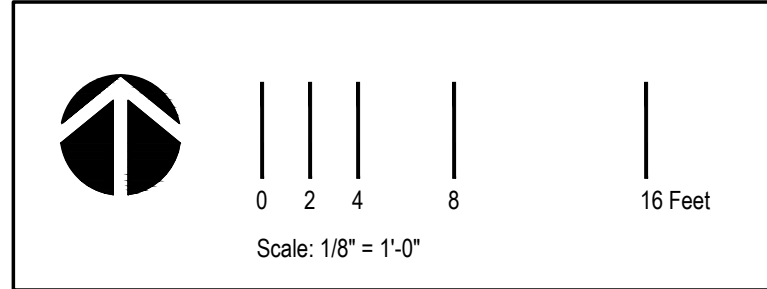
Revisions	By	Date
Prelim Submittal	AW	05/31/24
Prelim Submittal #2	AW	08/30/24

Job Number E24-023
Design Staff BC
Project Manager AW
Principal NE

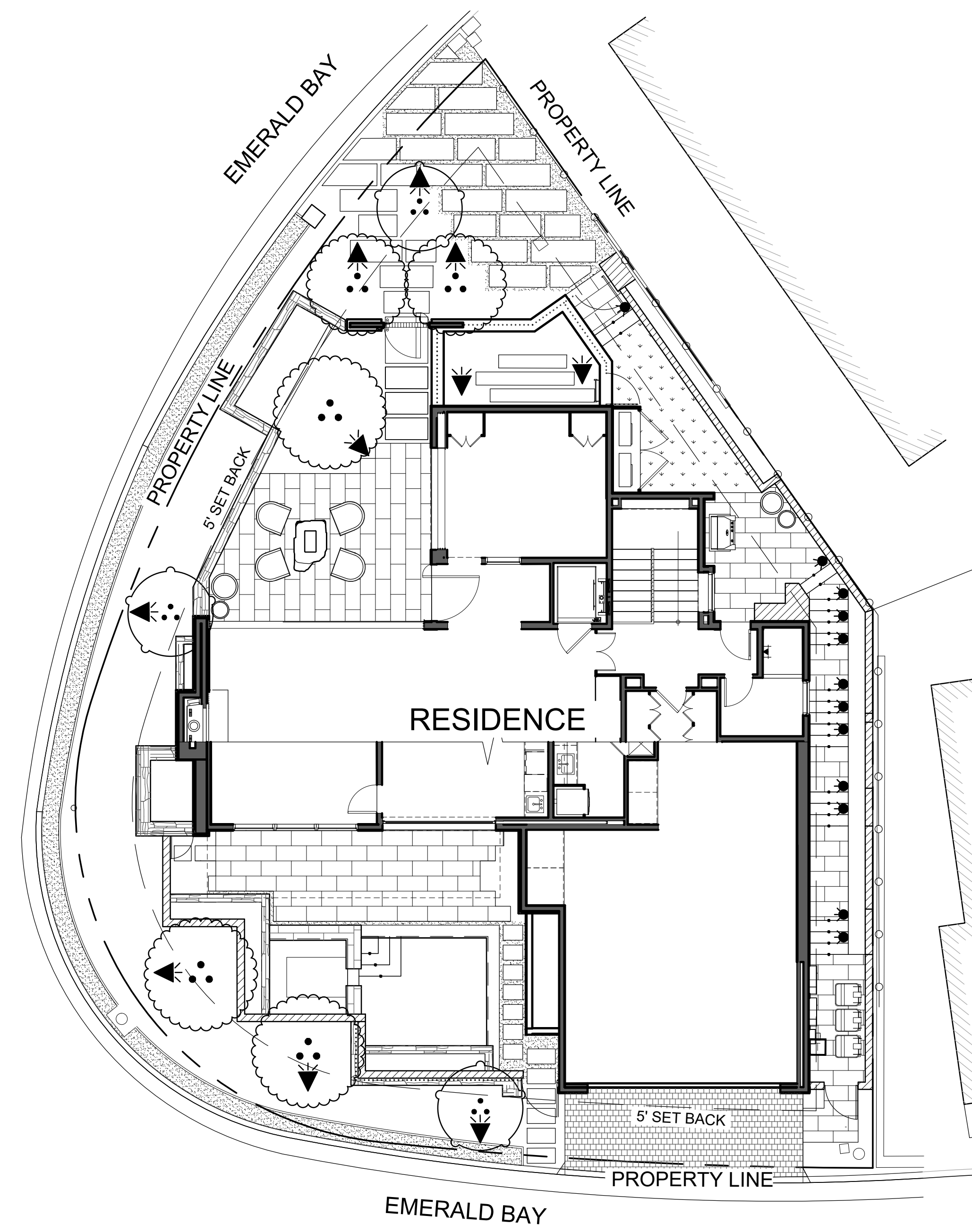
Irrigation Plan

L2.01

Plan Check Number: 00000000-PARK
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LANDSCAPE LIGHTING LEGEND			
SYMBOL	MANUFACTURER/MODEL	DESCRIPTION	QTY.
▼	AURORA-LSL10 AGAVE-60-WF-27-GS-BLP	12V LED - UPLIGHT - W/ SHIELD - GROUND STAKE MOUNT - WIDE FLOOD - BRONZE FINISH - 3W MAX.	10
●	BK LIGHTING MINI-MICRO LUME INVISIMOUNT SH-LED-4704-527-1-A	12V LED - PATHLIGHT - SURFACE MOUNT - 1 OPENING - BRASS FINISH - 2.5 W CENTER ON TREAD WIDTH 1" FROM WALL	12
□	TRANSFORMER - CONTROL TYPE TO BE COORDINATED W/ GENERAL CONTRACTOR	TBS BY CONTRACTOR	1

- LOW VOLTAGE LIGHTING NOTES**
1. CONTRACTOR SHALL SECURE PERMITS AND ARRANGE FOR ALL INSPECTIONS.
 2. CONTRACTOR SHALL COORDINATE POWER AND SWITCHING WITH GENERAL CONTRACTOR.
 3. ALL 110V WIRE IN CONDUIT AND LOW VOLTAGE WIRE SHALL BE INSTALLED AT A MINIMUM OF 12" BELOW FINISH GRADE.
 4. CONTRACTOR SHALL COORDINATE ANY SLEEVING UNDER PAVING WITH CONCRETE CONTRACTOR.
 5. CONTRACTOR SHALL SPECIFY TRANSFORMERS TO ACCOMMODATE MAX. WATTAGE PER FIXTURE AND NOT EXCEED 80% OF TRANSFORMER WATTAGE.
 6. LOCATE TRANSFORMERS WHERE THEY ARE HIDDEN FROM PLAIN VIEW.
 7. CONTRACTOR SHALL SIZE WIRING TO FIXTURES TO OBTAIN ZERO VOLTAGE DROP AT THE END OF THE LINE.
 8. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CONDUIT AND HARDWARE RUNS PER LOCAL JURISDICTIONS CODE.

Thomas Residence

325 Emerald Bay
Laguna Beach, CA

Client

Cristina Thomas

325 Emerald Bay,
Laguna Beach, CA
T 714-342-6768

EPTDESIGN

234 NORTH EL MOLINO AVE, SUITE 100
PASADENA, CA 91101
626.795.2008
EPTDESIGN.COM



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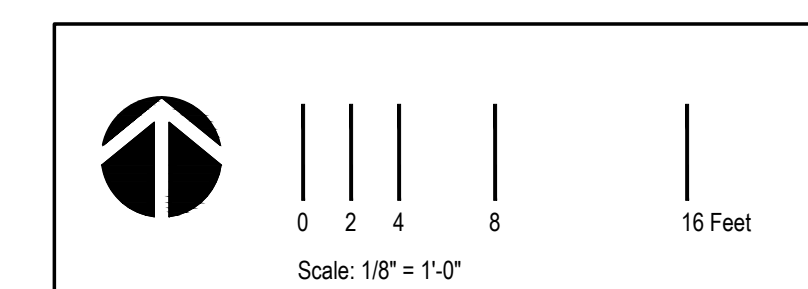
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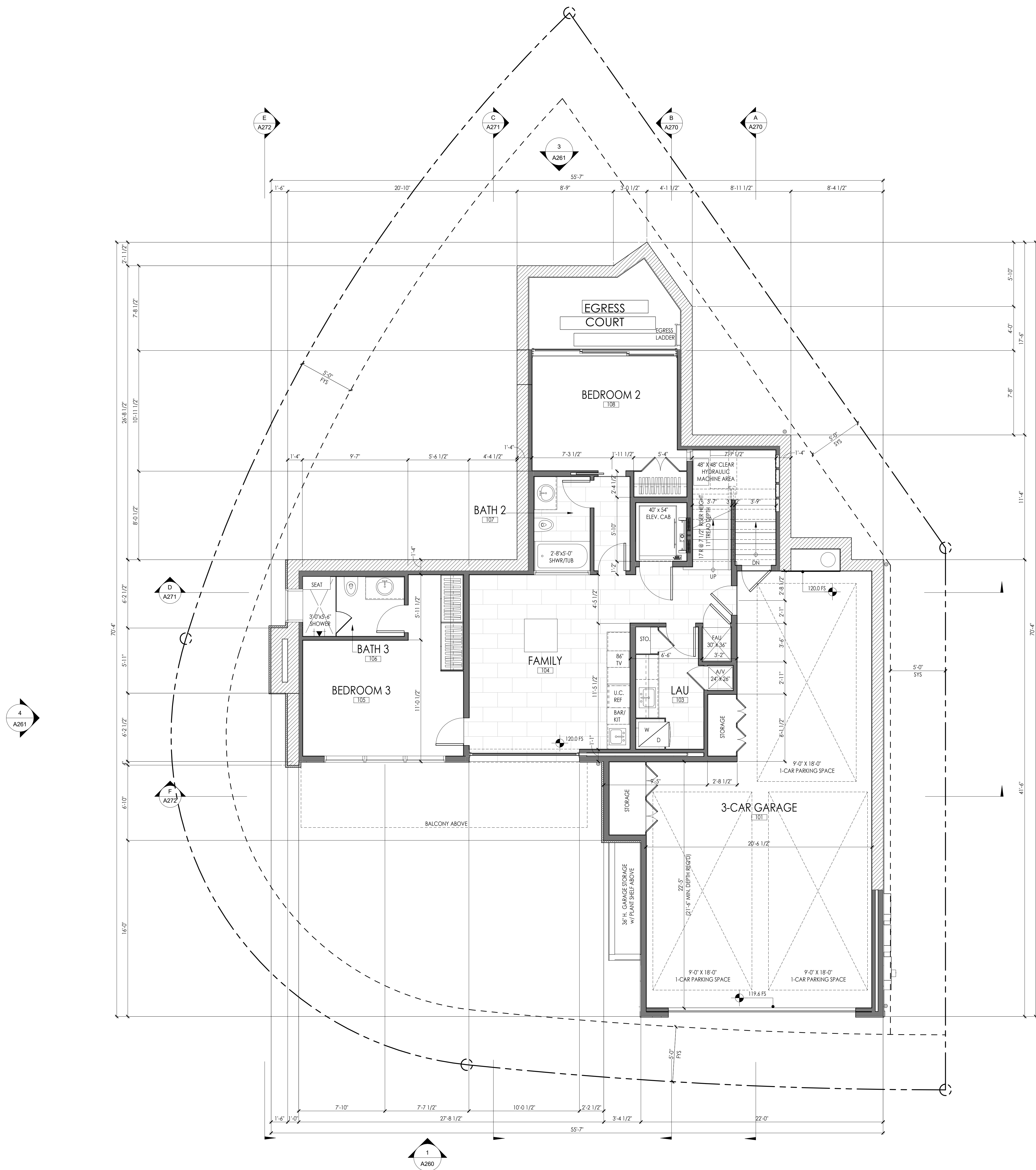
Lighting Plan

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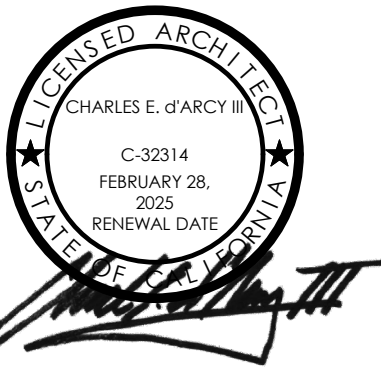


FLOOR PLAN NOTES

- A. ALL DIMENSIONS ARE TO THE FACE OF STUD. U.N.O.
- B. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.
- C. VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- D. ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- E. INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILINGS U.N.O.
- F. UNLESS NOTED OTHERWISE, DOORS ARE TO BE DOUBLE STUDDED WITH CASING (4" TOTAL) OR DOORS ARE TO BE CENTERED IN SPACE.

FLOOR PLAN WALL LEGEND

- 2X FRAMING, U.N.O.
- CONCRETE WALL, REF STRUCTURAL SHEETS
- SITE RETAINING, REF STRUCTURAL SHEETS



THOMAS RESIDENCE

305 EMERALD BAY
 LAGUNA BEACH, CA 92651

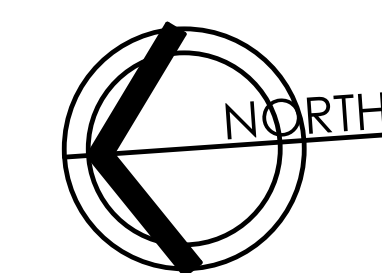
REVISIONS

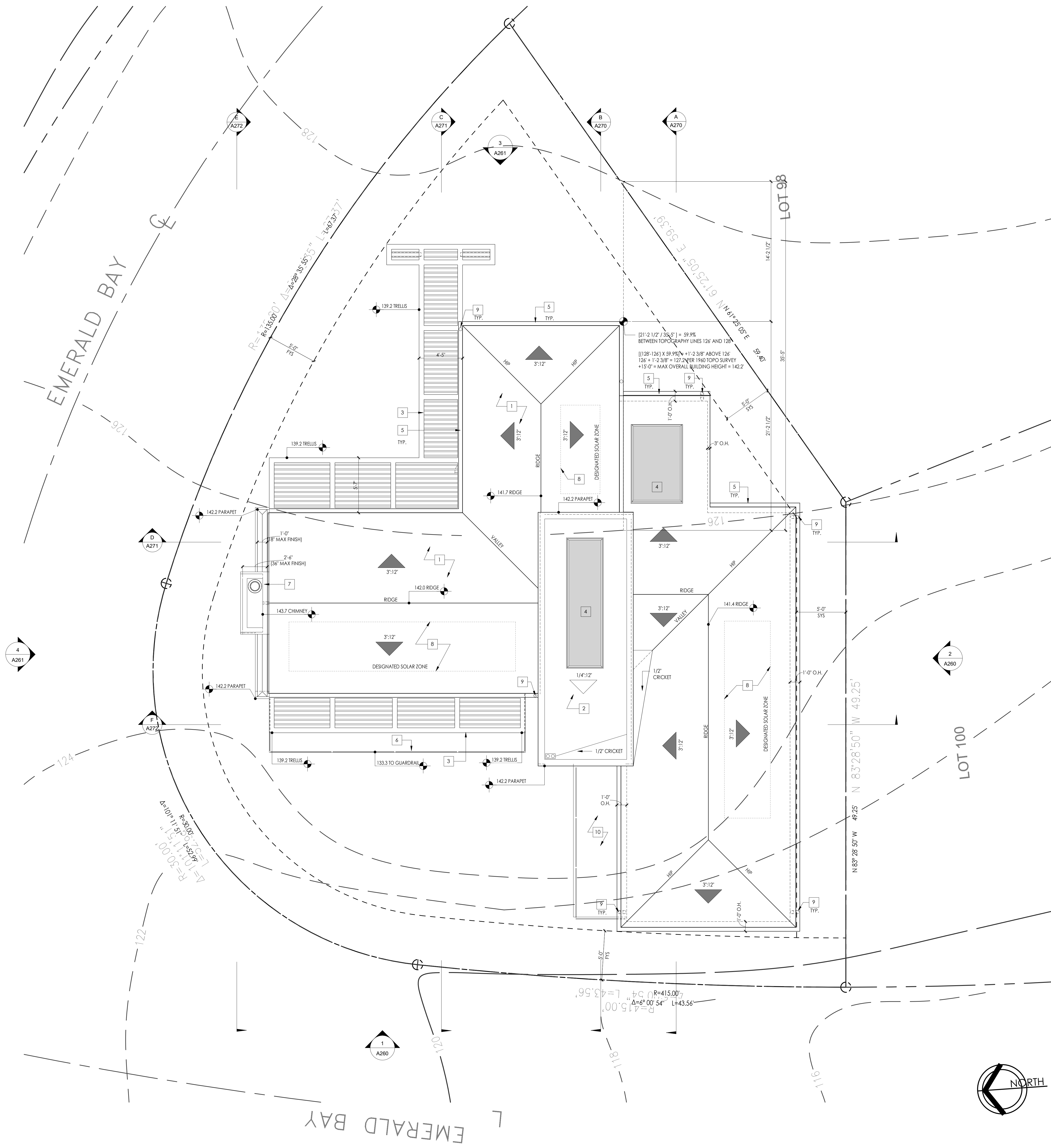
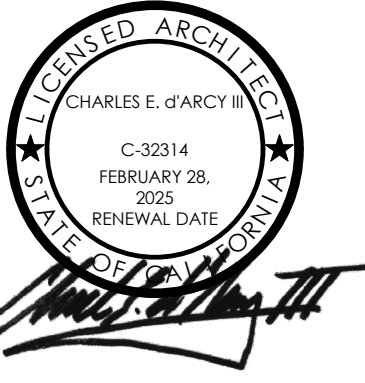
JOB: 2325
 09/03/2024

LOWER LEVEL FLOOR PLAN - DIMENSION

SCALE 1/4" = 1'-0"

A210





ROOF PLAN NOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR ROOF SHEATHING SPECIFICATIONS.
- B. WHERE NOTED, ROOF TO BE UNVENTED ATTIC ASSEMBLY AND SHALL COMPLY WITH R806.3
 - THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE.
 - NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY.
 - AIR-PERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING.
 - RIGID BOARD OR SHEET INSULATION WITH AN R-VALUE OF R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL.
- C. PROVIDE 24 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND WHERE ROOF PITCH CHANGES.
- D. THE CENTER LINE OF ALL FLASHING FOR VENT PIPES SHALL BE NOT LESS THAN 1/2" FROM ANY VALLEY.
- E. ALL ROOF PENETRATIONS SHALL BE INSTALLED AS TO MAKE THEM WATERPROOF.
- F. GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED.
- G. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.

ROOF PLAN KEYNOTES

1. ATAS ROOFING METALS - STANDING SEAM METAL ROOF, CLASS 'A' BY ASSEMBLY, ICC-ESR-2048, COLOR: GALVANIZED ZINC.
2. BUILD-UP ROOFING SYSTEM WITH PEA GRAVEL, CLASS 'A' RATED, INSTALLED PER MANUFACTURER'S SPECS, ESR-1274.
3. STUCCO FINISHED TRELLIS w/ WEATHERED WOOD TRELLIS MEMBERS.
4. SKYLIGHT (NON-REFLECTIVE), PROVIDE SHADES AS REQUIRED.
5. INTEGRAL GUTTERS SHALL BE PROVIDED AS REQUIRED.
6. CANTILEVERED DECK w/ 42" H. GLASS GUARDRAIL & PEDESTAL FLOOR COVERING.
7. FIREPLACE CHIMNEY CAP.
8. DESIGNATED SOLAR ZONE. LOCATION, SPECIFICATIONS, & REFLECTIVITY TO BE COMPLIANT w/ EMERALD BAY REGULATIONS.
9. 3" ROUND DOWNSPOUTS, COLOR: DARK ANODIZED BRONZE.
10. ROOF DECK, PEDESTAL FLOOR COVERING.

THOMAS RESIDENCE

305 EMERALD BAY
 LAGUNA BEACH, CA 92651

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NO.	DATE	DESCRIPTION

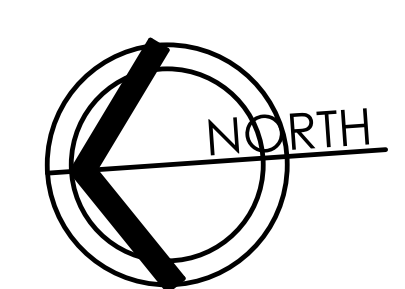
JOB: 2325

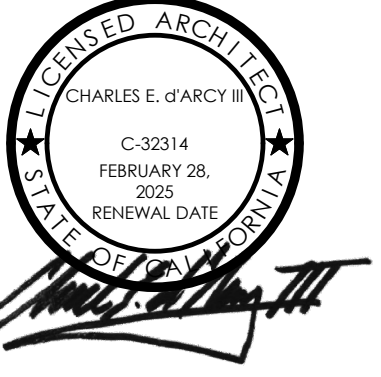
09/03/2024

ROOF PLAN
 w/1960 TOPO

SCALE 1/4" = 1'-0"

A250



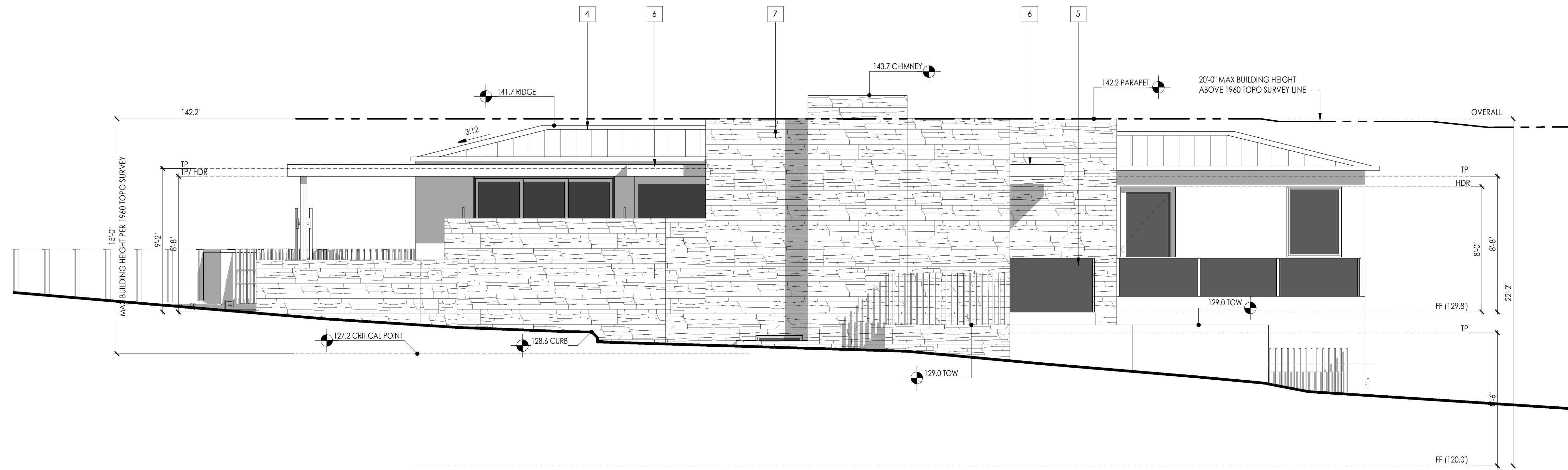


EXTERIOR ELEVATION NOTES

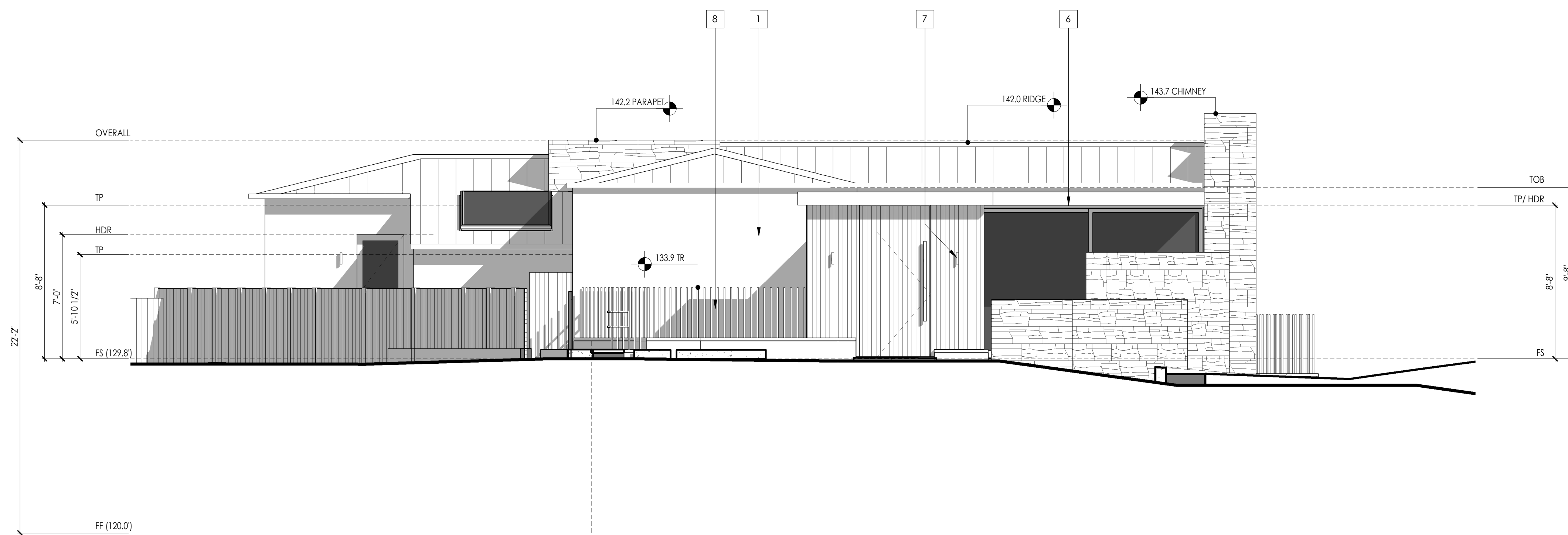
- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEVATIONS AND STEP LOCATIONS.
- D. WINDOW HEADERS ARE AT 7'-0" U.N.O.

EXT. ELEVATION KEYNOTES

- XX SYMBOL
- 1 7/8" MIN. EXTERIOR CEMENT PLASTER, SMOOTH TROWEL FINISH COLOR: MERLEX P-100
 - 2 NATURAL STONE THIN ADHERED VENEER COLOR: GREY GOLD LIMESTONE BY MODERN BUILDER'S SUPPLY
 - 3 NATURAL WEATHERED VERTICAL WOOD SIDING, PER SELECTION
 - 4 STANDING SEAM METAL ROOF, CLASS 'A' BY ASSEMBLY COLOR: GALVANIZED ZINC
 - 5 42" GLASS GUARDRAILING
 - 6 TRELLIS, STUCCO FINISH W/ WEATHERED WOOD TRELLIS MEMBERS
 - 7 EXTERIOR CYLINDER DOWNLIT WALL SCONCE AURORA LIGHT: HWM 1630 TELLURIDE DARK BRONZE
 - 8 1 1/2" ROUND METAL PICKETS FOR GUARDRAILING/ POOL ENCLOSURE. REFERENCE SITE PLAN FOR HEIGHTS, DARK BRONZE FINISH.
 - 9 ALUMINIUM WINDOW/DOOR BY AWAKE, DARK BRONZE FINISH



PROPOSED NORTH ELEVATION ④



PROPOSED EAST ELEVATION ③

THOMAS RESIDENCE

305 EMERALD BAY
 LAGUNA BEACH, CA 92651

REVISIONS

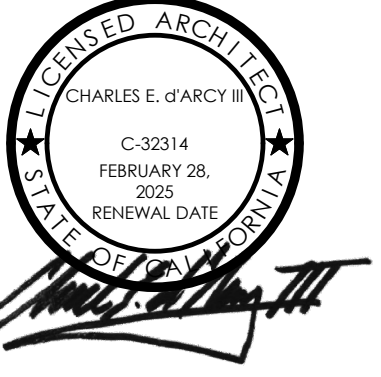
JOB: 2325

09/03/2024

EXTERIOR ELEVATIONS

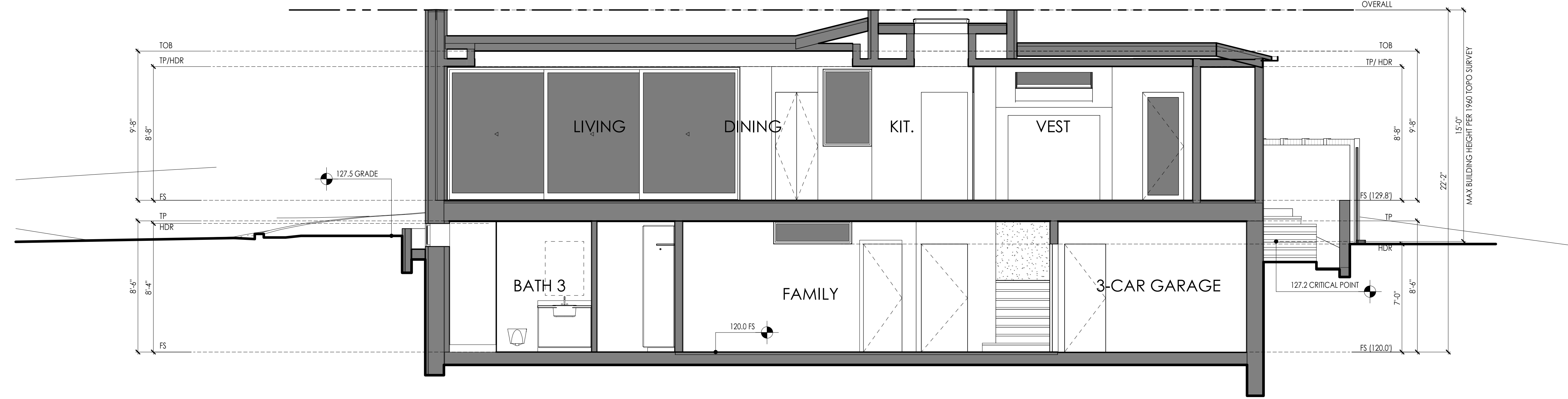
SCALE 1/4" = 1'-0"

A261

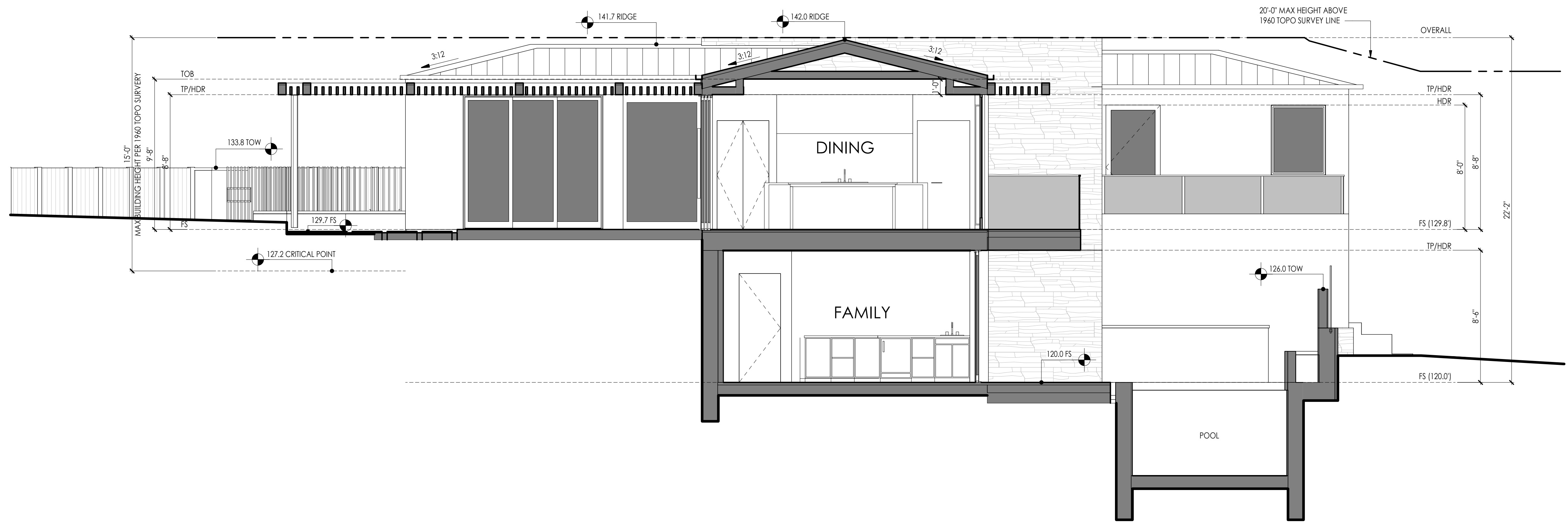


BUILDING SECTION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEVATIONS AND STEP LOCATIONS.
- D. THE FOUNDATION AND FRAMING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE STRUCTURAL PLANS, DETAILS AND CALCULATIONS FOR ALL STRUCTURAL INFORMATION.
- E. PROVIDE FIREBLOCKING AND DRAFT STOPS AT FURRED SPACES PER CODE.
- F. INSULATION REQUIREMENTS PER I-24 ENERGY REPORT:
 R-13 INSULATION IN EXTERIOR WALLS TYP.
 R-19 INSULATION IN RAISED WOOD FLOOR SPACE TYP.
 R-30 INSULATION IN CEILING SPACE TYP.
 (R-30 HIGH DENSITY 7.25" THICK "ROXUL COMFORTBATT" INSULATION AS NEEDED.)
- G. WINDOW HEADERS ARE AT 8'-0" TYP. U.N.O. ON ELEVATIONS OR PLANS.



SECTION D



SECTION C

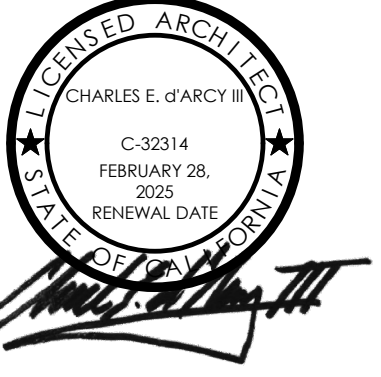
THOMAS RESIDENCE

305 EMERALD BAY
 LAGUNA BEACH, CA 92651

REVISIONS

JOB: 2325
 09/03/2024

BUILDING SECTIONS
 SCALE 1/4" = 1'-0"
A271



REVISIONS

JOB: 2325
 09/03/2024

BUILDING SECTIONS

SCALE 1/4" = 1'-0"

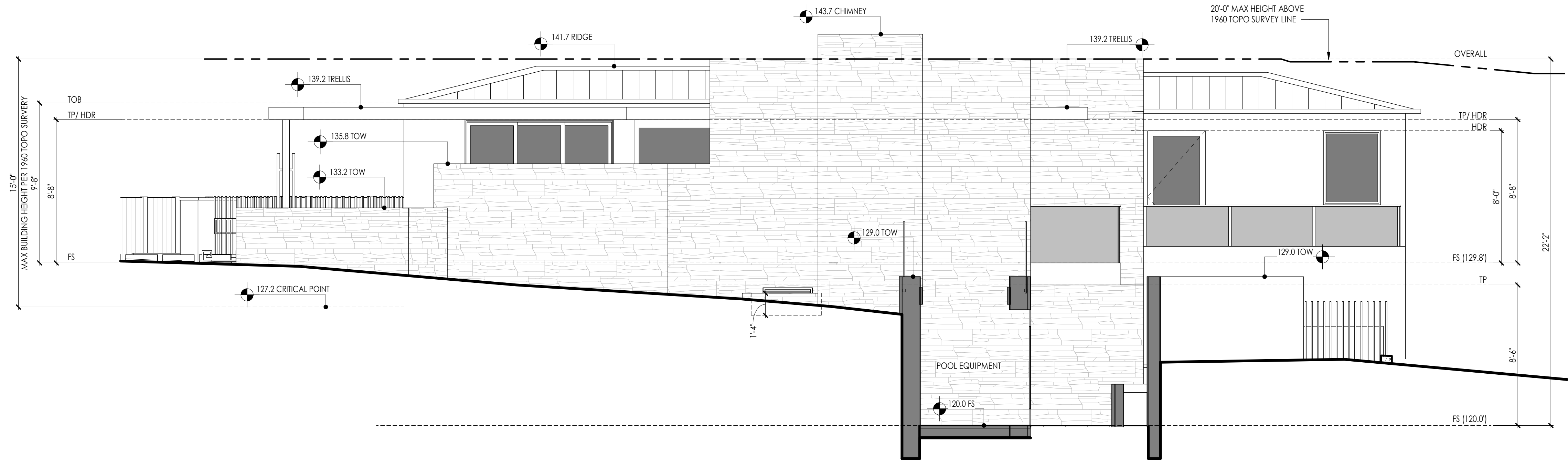
A272

BUILDING SECTION NOTES

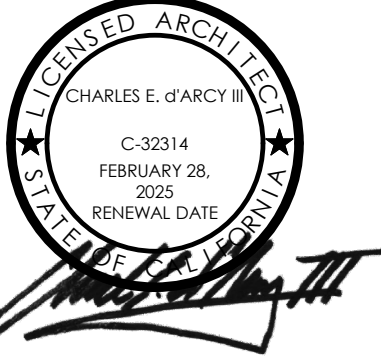
- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEVATIONS AND STEP LOCATIONS.
- D. THE FOUNDATION AND FRAMING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE STRUCTURAL PLANS, DETAILS AND CALCULATIONS FOR ALL STRUCTURAL INFORMATION.
- E. PROVIDE FIREBLOCKING AND DRAFT STOPS AT FURRED SPACES PER CODE.
- F. INSULATION REQUIREMENTS PER I-24 ENERGY REPORT:
 R-13 INSULATION IN EXTERIOR WALLS TYP.
 R-19 INSULATION IN RAISED WOOD FLOOR SPACE TYP.
 R-30 INSULATION IN CEILING SPACE TYP.
 (R-30 HIGH DENSITY 7.25" THICK "ROXUL COMFORTBATT" INSULATION AS NEEDED.)
- G. WINDOW HEADERS ARE AT 8'-0" TYP. U.N.O. ON ELEVATIONS OR PLANS.



SECTION F



SECTION E



THOMAS RESIDENCE

305 EMERALD BAY
 LAGUNA BEACH, CA 92651

REVISIONS

JOB: 2325

09/03/2024

PARKING/ AREA
 CALCULATION -
 LOWER LEVEL

SCALE 1/4" = 1'-0"

A301

AREA TABULATIONS

LOWER LEVEL	
LETTER	AREA
(A)	699.0 SF
(B)	0.3 SF
(C)	8.9 SF
(D)	302.4 SF
(E)	101.5 SF
(F)	27.3 SF
(G)	4.9 SF
TOTAL	1144.3 SF

GARAGE LOWER LEVEL	
LETTER	AREA
(AA)	8.4 SF
(BB)	250.4 SF
(CC)	21.6 SF
(DD)	509.7 SF
(EE)	24.2 SF
(FF)	11.0 SF
TOTAL GARAGE	805.3 SF

LOWER LEVEL LIVABLE AREA	1144.3 SF
GARAGE AREA	805.3 SF
LOWER LIVABLE AREA + GARAGE:	1949.6 SF

UPPER LEVEL UPPER LIVABLE AREA :	1750.6 SF
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TOTAL LIVABLE AREA (2894.9) + GARAGE (805.3): (LOWER LEVEL + UPPER LEVEL + GARAGE)	3700.2 SF
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UPPER DECK:	242.7 SF
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ROOF AREA PITCHED AREA:	1,647.1 SF
FLAT AREA (PERCENTAGE) :	(12.4%) 234.3 SF

TOTAL ROOF AREA :	1,881.4 SF
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DIMENSIONED PARAPET EXHIBIT	
(LESS THAN 25% OF ROOF PERIMETER)	
PERIMETER PARAPET LENGTH/ TOTAL PERIMETER LENGTH = %	6.7%
15'-4 1/2" (PERIMETER PARAPET) / 229'-6" (PERIMETER)	
PARAPET LENGTH/ TOTAL OF ROOF ELEMENT PERIMETERS = %	12.4%
69'-2" (PARAPET LENGTH) / 519'-7" (PERIMETER OF ALL ROOF ELEMENTS)	22.3%

LOT COVERAGE	
LOT AREA:	4,885 SF

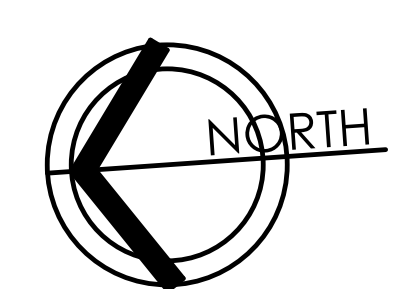
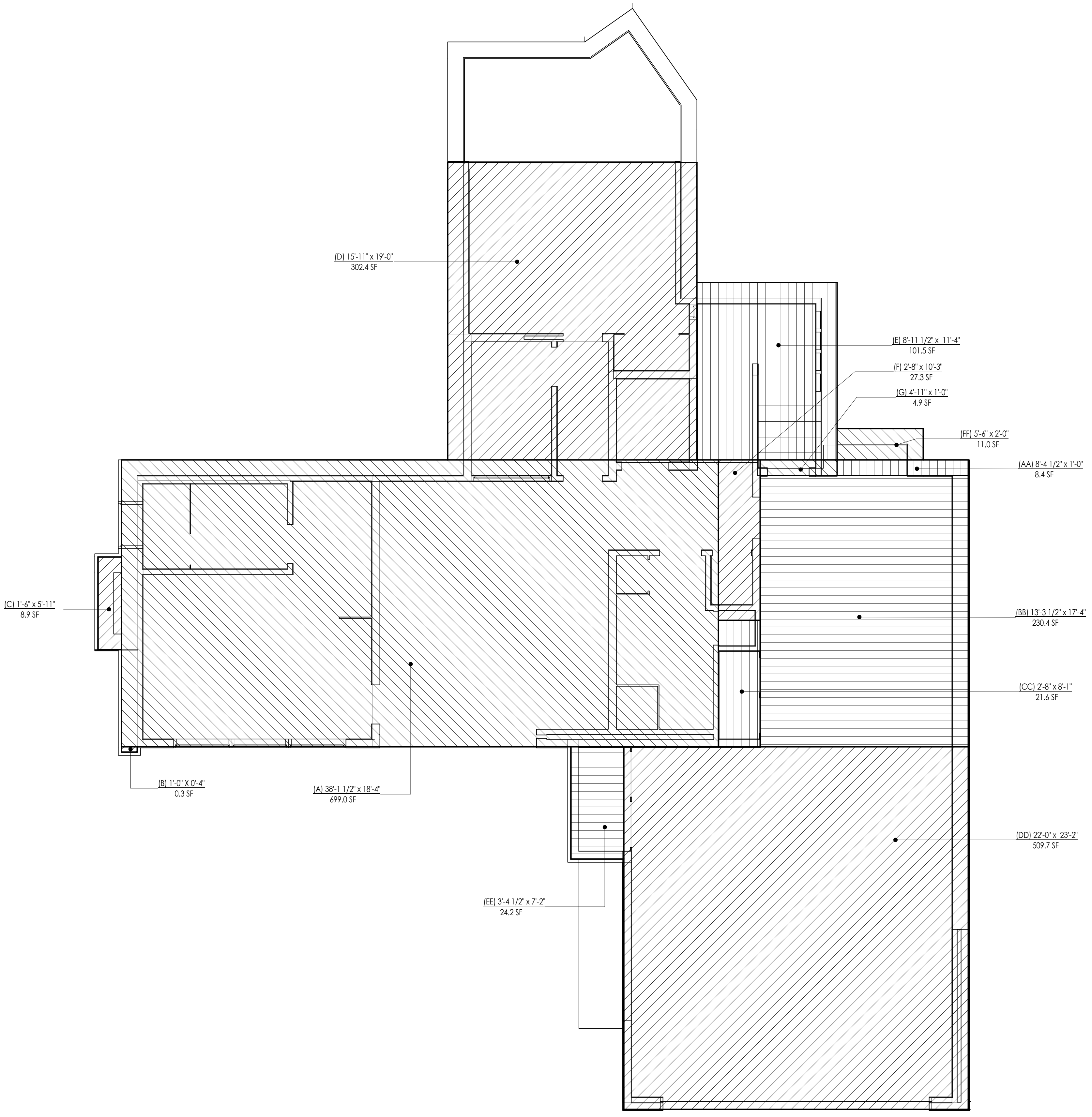
ALLOWABLE BUILDING AREA:	1,954.0 SF
40% x 4,885 (LOT AREA)	

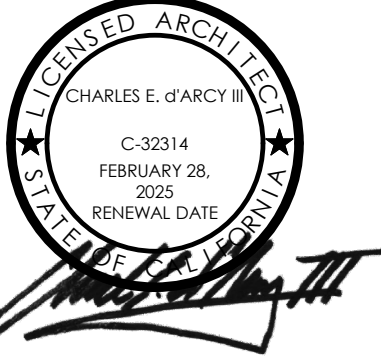
PROPOSED LOT COVERAGE:	1,949.6 SF
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LOT COVERAGE:	39.9%
---------------	-------

TOTAL STRUCTURAL AREA LESS GARAGE (TOTAL STRUCTURAL AREA - REG. ENCLOSED PARKING)	3,270.2 SF
(3689.2 SF - 430 SF)	

ORANGE COUNTY DEVELOPMENT PARKING REQUIREMENT
REQ'D: 3 COVERED PARKING SPACES
PROPOSED: 3 NEW GARAGE PARKING





AREA TABULATIONS

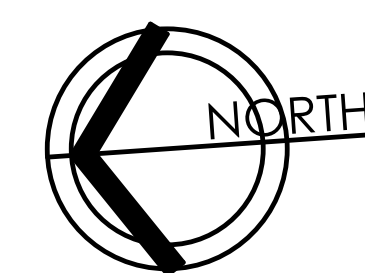
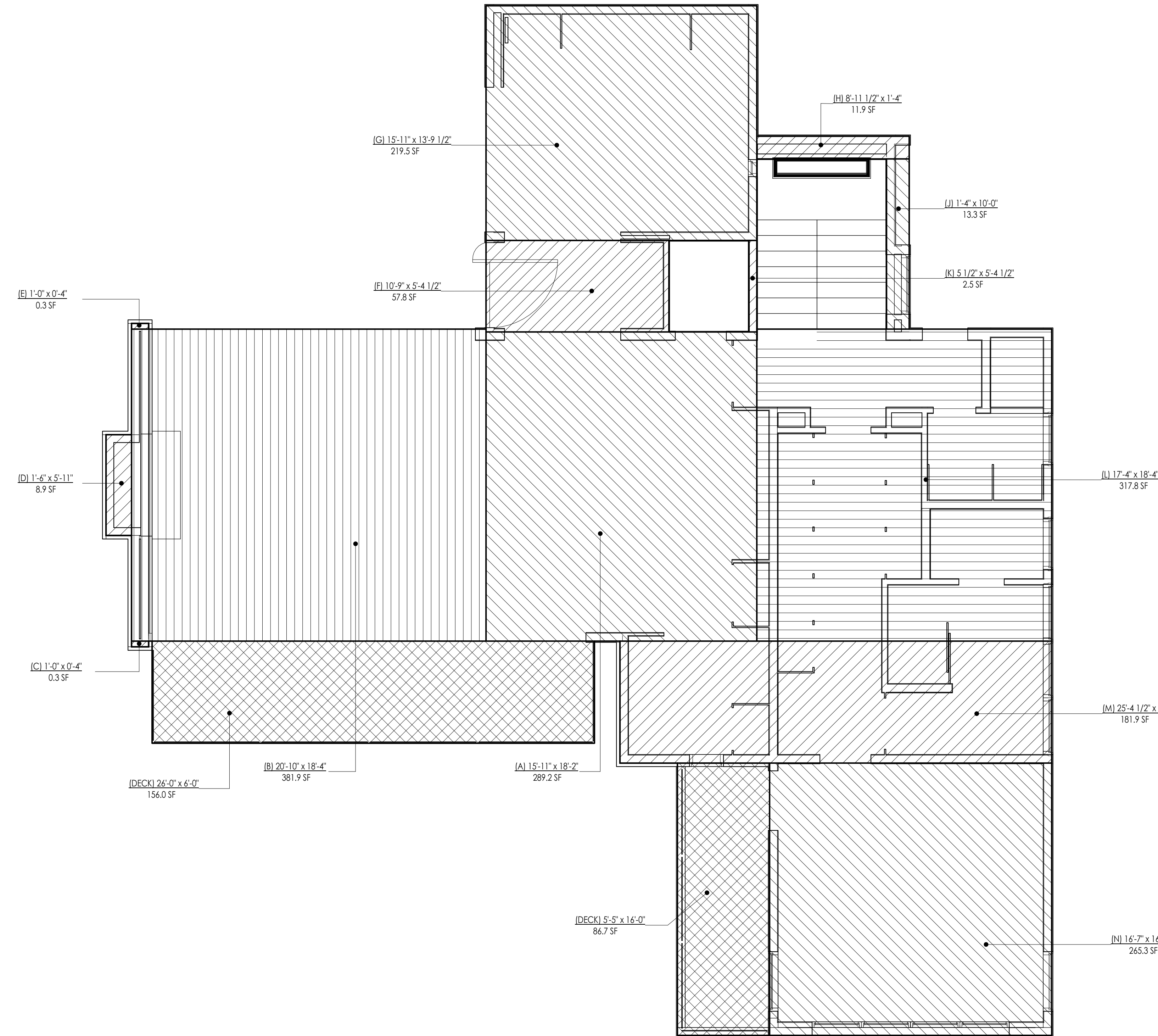
UPPER LEVEL	
LETTER	AREA
(A)	289.2 SF
(B)	381.9 SF
(C)	0.3 SF
(D)	8.9 SF
(E)	0.3 SF
(F)	57.8 SF
(G)	219.5 SF
(H)	11.9 SF
(I)	13.3 SF
(K)	2.5 SF
(L)	317.8 SF
(M)	181.9 SF
(N)	265.3 SF
TOTAL	1750.6 SF

LOWER LEVEL LIVABLE AREA	1144.3 SF
GARAGE AREA	805.3 SF
LOWER LIVABLE AREA + GARAGE:	1949.6 SF
UPPER LEVEL UPPER LIVABLE AREA :	1750.6 SF
TOTAL LIVABLE AREA (2894.9) + GARAGE (805.3):	3700.2 SF
[LOWER LEVEL + UPPER LEVEL + GARAGE]	
UPPER DECK:	242.7 SF
ROOF AREA PITCHED AREA:	1,647.1 SF
FLAT AREA (PERCENTAGE) :	(12.4%) 234.3 SF
TOTAL ROOF AREA :	1,881.4 SF

DIMENSIONED PARAPET EXHIBIT
 (LESS THAN 25% OF ROOF PERIMETER)
 PERIMETER PARAPET LENGTH / TOTAL PERIMETER LENGTH = % 6.7%
 15'-4 1/2" (PERIMETER PARAPET) / 229'-6" (PERIMETER)
 PARAPET LENGTH / TOTAL OF ROOF ELEMENT PERIMETERS = % 22.3%
 69'-2" (PARAPET LENGTH) / 310'-7" (PERIMETER OF ALL ROOF ELEMENTS)

LOT COVERAGE LOT AREA:	4,885 SF
ALLOWABLE BUILDING AREA: 40% x 4,885 (LOT AREA)	1,954.0 SF
PROPOSED LOT COVERAGE:	1,949.6 SF
LOT COVERAGE:	39.9%
TOTAL STRUCTURAL AREA LESS GARAGE (TOTAL STRUCTURAL AREA - REG. ENCLOSED PARKING) (3689.2 SF - 430 SF)	3,270.2 SF

ORANGE COUNTY DEVELOPMENT PARKING REQUIREMENT
REQD: 3 COVERED PARKING SPACES
PROPOSED: 3 NEW GARAGE PARKING



THOMAS RESIDENCE

305 EMERALD BAY
 LAGUNA BEACH, CA 92651

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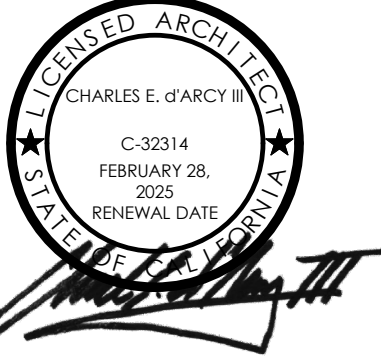
JOB: 2325

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PARKING/ AREA
 CALCULATION -
 UPPER LEVEL

SCALE 1/4" = 1'-0"

A302



AREA TABULATIONS

LOWER LEVEL		
LIVABLE AREA	1144.3 SF	
GARAGE AREA	805.3 SF	
LOWER LIVABLE AREA + GARAGE:	1949.6 SF	
UPPER LEVEL		
UPPER LIVABLE AREA :	1750.6 SF	
TOTAL LIVABLE AREA (2894.9) + GARAGE (805.3):	3700.2 SF	
[LOWER LEVEL + UPPER LEVEL + GARAGE]		
UPPER DECK:	242.7 SF	
ROOF AREA		
PITCHED AREA:	1,647.1 SF	
FLAT AREA (PERCENTAGE) :	(12.4%) 234.3 SF	
TOTAL ROOF AREA :	1,881.4 SF	
DIMENSIONED PARAPET EXHIBIT		
(LESS THAN 25% OF ROOF PERIMETER)		
PERIMETER PARAPET LENGTH/ TOTAL PERIMETER LENGH = %	6.7%	
15'-4 1/2" (PERIMETER PARAPET) / 229'-6" (PERIMETER)		
PARAPET LENGTH/ TOTAL OF ROOF ELEMENT PERIMETERS = %	12.4%	
69'-2" (PARAPET LENGTH) / 557'-7" (PERIMETER OF ALL ROOF ELEMENTS)	22.3%	
LOT COVERAGE		
LOT AREA:	4,885 SF	
ALLOWABLE BUILDING AREA:	1,954.0 SF	
40% x 4,885 (LOT AREA)		
PROPOSED LOT COVERAGE:	1,949.6 SF	
LOT COVERAGE:	39.9%	
TOTAL STRUCTURAL AREA LESS GARAGE	3,270.2 SF	
[TOTAL STRUCTURAL AREA - REG. ENCLOSED PARKING]		
[3689.2 SF - 430 SF]		
ORANGE COUNTY DEVELOPMENT PARKING REQUIREMENT		
REQ'D: 3 COVERED PARKING SPACES		
PROPOSED: 3 NEW GARAGE PARKING		

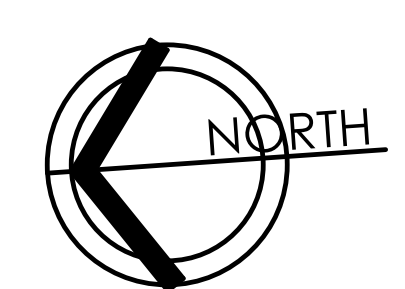
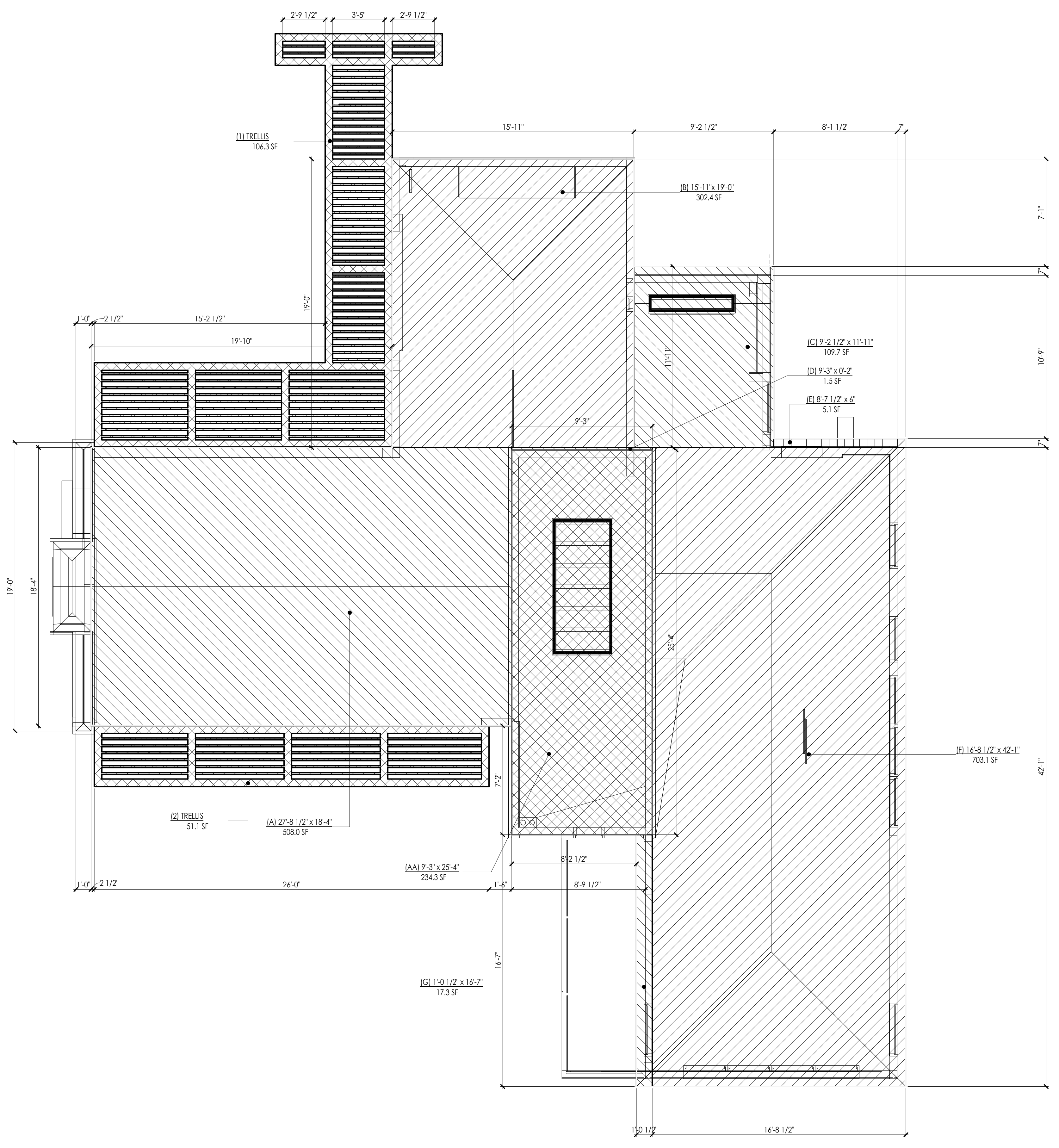
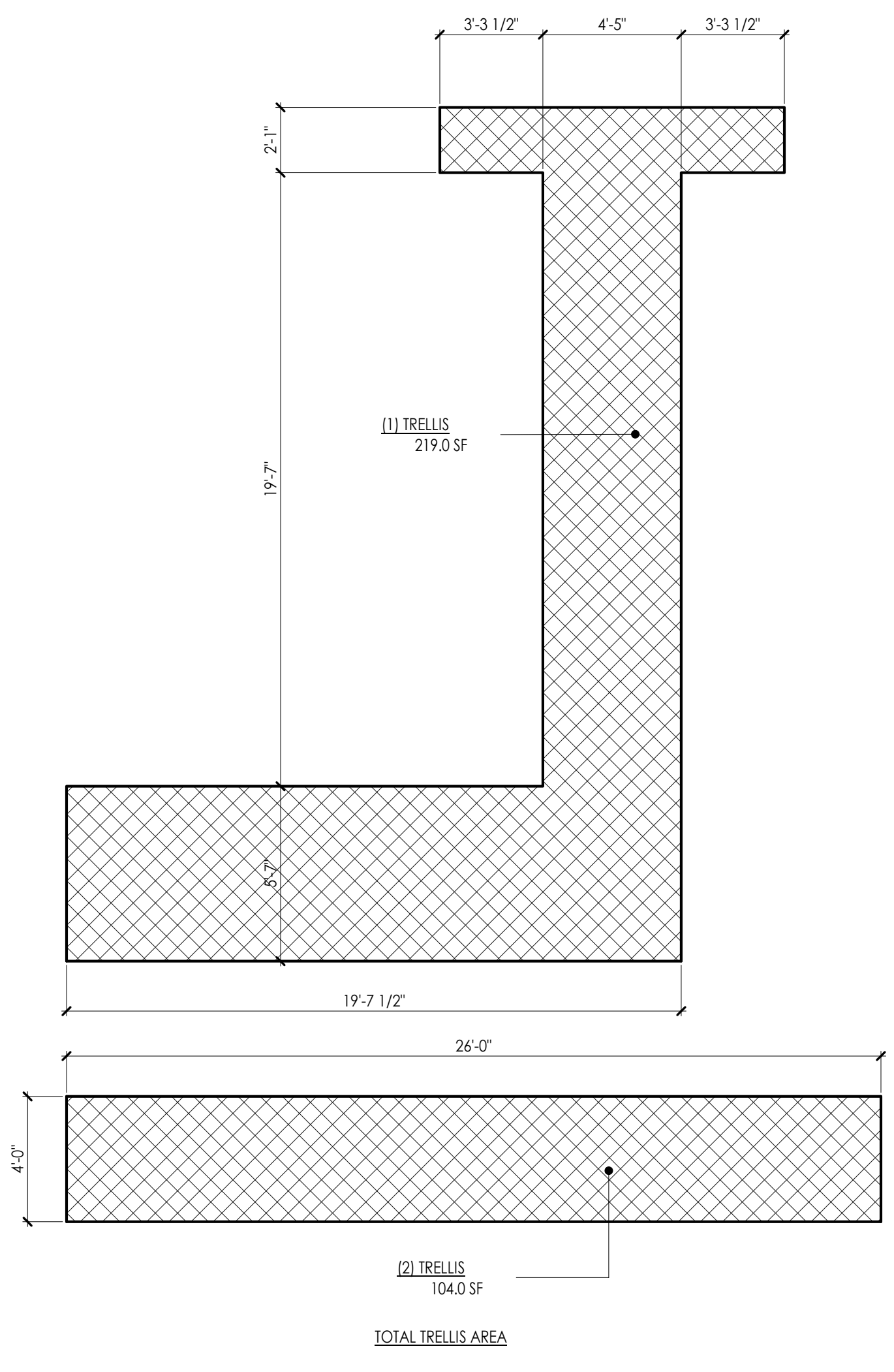
PITCHED ROOF AREA	
LETTER	AREA
(A)	508.0 SF
(B)	302.4 SF
(C)	109.7 SF
(D)	1.5 SF
(E)	5.1 SF
(F)	703.1 SF
(G)	17.3 SF
TOTAL	1647.1 SF

FLAT ROOF AREA	
LETTER	AREA
(AA)	234.3 SF
TOTAL	234.3 SF

TOTAL TRELLIS AREA	
ID	AREA
(1) TRELLIS	219.0 SF
(2) TRELLIS	104.0 SF
TOTAL	323.0 SF

TOTAL TRELLIS STRUCTURE	
ID	AREA
(1) TRELLIS	106.3 SF
(2) TRELLIS	51.1 SF
TOTAL	157.4 SF

(TOTAL TRELLIS STRUCTURE/ TOTAL TRELLIS AREA = %)
 157.4 SF / 323.0 SF = 48.7% SURFACE AREA
 100% - 48.7% = 51.2% OPEN AREA



THOMAS RESIDENCE

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 LAGUNA BEACH, CA 92651

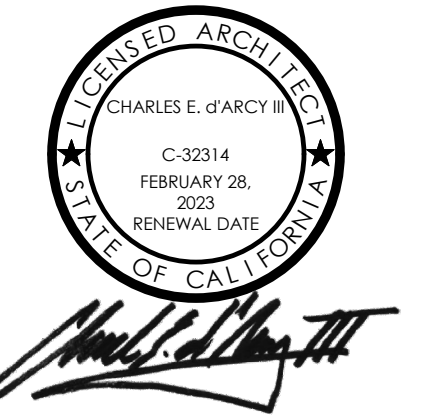
REVISIONS

JOB: 2325
 09/03/2024

AREA
 CALCULATION -
 ROOF AREA

SCALE 1/4" = 1'-0"

A303



THOMAS RESIDENCE

3225 EMERALD BAY
LAGUNA BEACH, CA 92651

REVISIONS

JOB: 2325

09/03/2024

AREA
CALCULATION -
LOT COVERAGE

SCALE 1/4" = 1'-0"

A304

AREA TABULATIONS

LOT COVERAGE AREA	
LETTER	AREA
(A)	699.0 SF
(B)	0.3 SF
(C)	8.9 SF
(D)	302.4 SF
(E)	101.5 SF
(F)	27.3 SF
(G)	4.9 SF
(HA)	8.4 SF
(HB)	230.4 SF
(CC)	21.6 SF
(DD)	509.7 SF
(EE)	24.2 SF
(FF)	11.0 SF
TOTAL	1949.6 SF

LOWER LEVEL	
LIVABLE AREA	1144.3 SF
GARAGE AREA	805.3 SF
LOWER LIVABLE AREA + GARAGE:	1949.6 SF
UPPER LEVEL	
UPPER LIVABLE AREA :	1750.6 SF
TOTAL LIVABLE AREA (2894.9) + GARAGE (805.3):	3700.2 SF
(LOWER LEVEL + UPPER LEVEL + GARAGE)	
UPPER DECK:	242.7 SF
ROOF AREA	
FITCHED AREA:	1,647.1 SF
FLAT AREA (PERCENTAGE) :	(12.4%) 234.3 SF
TOTAL ROOF AREA :	1,881.4 SF
DIMENSIONED PARAPET EXHIBIT (LESS THAN 25% OF ROOF PERIMETER) PERIMETER PARAPET LENGTH/ TOTAL PERIMETER LENGTH = % 15'-4 1/2" (PERIMETER PARAPET)/ 229'-6" (PERIMETER) = 6.7% PARAPET LENGTH/ TOTAL OF ROOF ELEMENT PERIMETERS = % 69'-2" (PARAPET LENGTH) / 310'-7" (PERIMETER OF ALL ROOF ELEMENTS) = 22.3%	
LOT COVERAGE	
LOT AREA:	4,885 SF
ALLOWABLE BUILDING AREA: 40% x 4,885 (LOT AREA)	1,954.0 SF
PROPOSED LOT COVERAGE:	1,949.6 SF
LOT COVERAGE:	39.9%
TOTAL STRUCTURAL AREA LESS GARAGE (TOTAL STRUCTURAL AREA - REG. ENCLOSED PARKING) (3689.2 SF - 430 SF)	3,270.2 SF
ORANGE COUNTY DEVELOPMENT PARKING REQUIREMENT REG. D: 3 COVERED PARKING SPACES PROPOSED: 3 NEW GARAGE PARKING	

