

REED RESIDENCE

lohnbach
studio

31742 SOUTH COAST HWY.
LAGUNA BEACH CA 92651
TEL 949.661 5068 FAX 949.715.9528
Seal / Signature:

Consultants:

REED RESIDENCE
& ACCESSORY
DWELLING UNIT

30122 Canyon Creek Dr.
Trabuco Canyon, Ca 92679

Revisions:		
No.	Date	Revision
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Date:	2 / 21 / 14
Job No.:	
Association Submittal:	
Bldg. Dept. Submittal:	
Bid Issue:	
Construction Issue:	

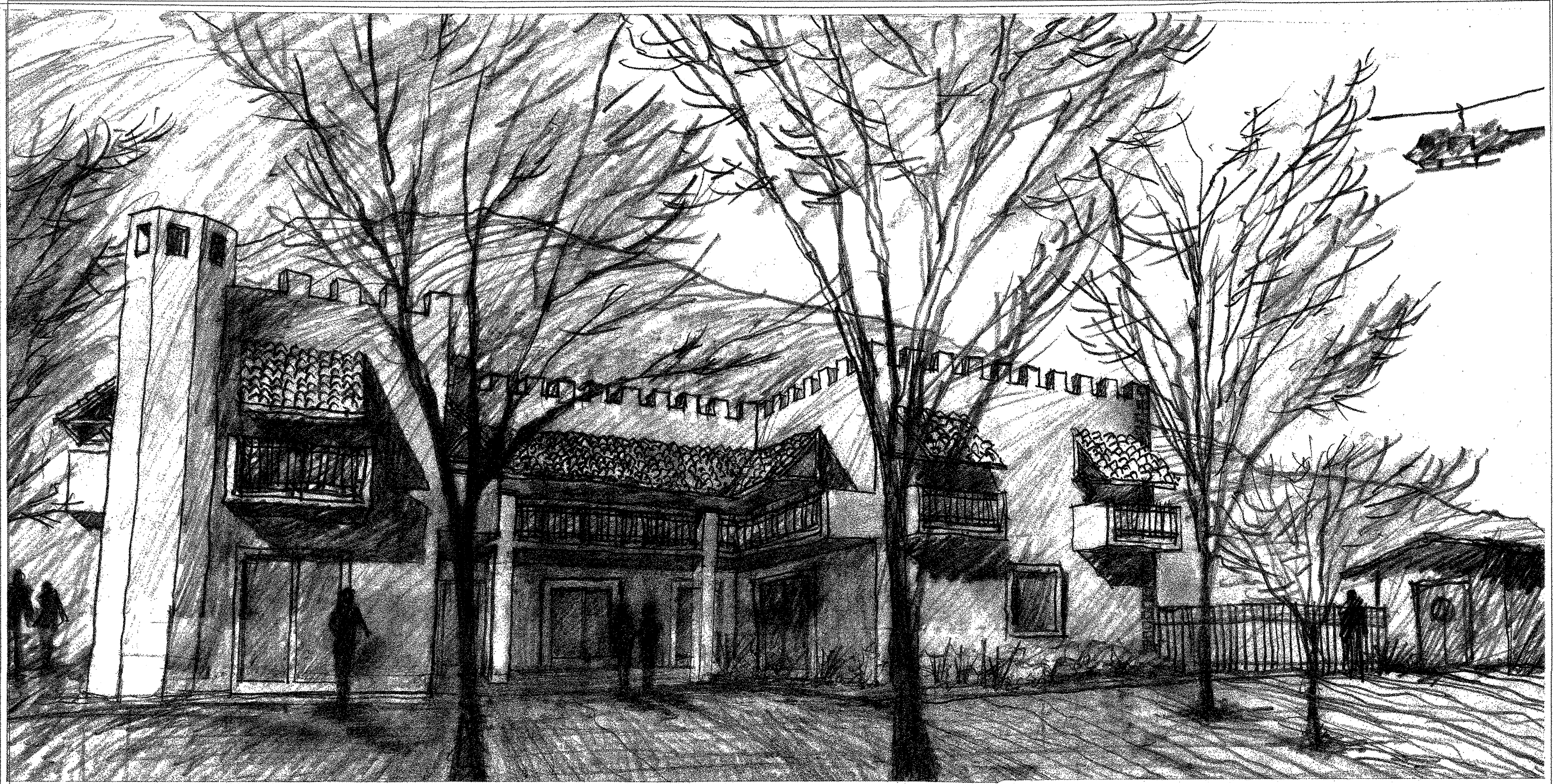
Sheet Title:

TITLE SHEET

Sheet No.:

A-0.0

EWEL (9)



Conceptual Sketch

VICINITY MAP	SITE AND BUILDING DATA	PROJECT DATA	SHEET INDEX
	<p>1. SITE AND BUILDING DATA:</p> <p>SITE AREA 73,616 S.F.</p> <p>2. HOUSE FOOTAGES:</p> <p>A- MAIN RESIDENCE:</p> <p>EXISTING -3 STORY 1,618 S.F.</p> <p>ADDITION -3 STORY 3,723 S.F.</p> <p>TOTAL AREA: 5,341 S.F.</p> <p>EXISTING 3-CAR GARAGE 1,476 S.F.</p> <p>EXTERIOR STAIRWAY 181 S.F.</p> <p>BALCONY@ UPPER FLOOR 677 S.F.</p> <p>B- ACCESSORY DWELLING UNIT</p> <p>EXISTING - 1 STORY 1,000 S.F.</p> <p>DECKS 663 S.F.</p>	<p>OWNER:</p> <p>JAKE REED 30122 CANYON CREEK DR. TRABUCO CANYON CA 92679</p> <p>LEGAL DESCRIPTION:</p> <p>ACCESSOR'S PARCEL NUMBER:</p> <p>PROJECT DESCRIPTION:</p> <p>PROPOSED 2 STORY ADDITION TO EXISTING REED AS-BUILT RESIDENCE AND AS-BUILT PLANS FOR EXISTING FAMILY GUEST HOUSE</p> <p>ZONING:</p> <p>TYPE OF CONSTRUCTION:</p> <p>OCCUPANCY GROUP:</p> <p>BUILDING CODES:</p> <p>PLANS SHALL COMPLY WITH: 2010 CALIFORNIA BUILDING CODE (CBC) 2010 CMC, CPC, CEC AND CRC T-24 ENERGY CONSERVATION REGULATIONS COUNTY ORDINANCES AND REGULATIONS AND</p> <p>2010 CALIFORNIA RESIDENTIAL CODE, WHICH ADOPTS THE 2009 IRC, 2009 UMC, 2009 UPC AND THE 2008 NEC. SECTION R106.2.</p> <p>Compliance Note:</p> <p>Project must comply with requirements of 2013 CRC, CALGREEN and ENERGY Codes. A project submitted after January 1, 2017 shall also comply with 2016 California Codes and all other applicable codes as determined by OC Building Department.</p> <p>Retaining Wall Note:</p> <p>A separate retaining wall permit must be must be obtained at the time of building permit submittal, all other permits as determined by OC Building Department must also be obtained.</p>	<p>A-0.0 TITLE SHEET</p> <p>A-1.0 SITE PLAN</p> <p>A-2.0 MAIN LEVEL FLOOR PLAN</p> <p>A-2.1 UPPER LEVEL FLOOR PLAN</p> <p>A-2.2 ROOF PLAN</p> <p>A-3.0 EXTERIOR ELEVATIONS</p> <p>A-3.1 EXTERIOR ELEVATIONS</p> <p>A-4.0 BUILDING SECTIONS</p> <p>A-4.1 BUILDING SECTIONS</p> <p>A-5.0 MAIN LEVEL FLOOR PLAN (ACCESSORY DWELLING UNIT)</p> <p>A-5.1 ROOF PLAN (ACCESSORY DWELLING UNIT)</p> <p>C1 GRADING PLAN</p> <p>C2 TOPOGRAPHIC SURVEY</p> <p>DRIVEWAY \ BUILDING PAD OVERLAY</p> <p>SEPTIC TANK \ LEACH FIELD OVERLAY</p> <p>1.1 SITE COVERAGE OVERLAY CAL.</p> <p>NATURAL OPEN SPACE DEDICATION</p> <p>HARDSCAPE COVERAGE CAL.</p> <p>BUILDING SITE COVERAGE CAL.</p> <p>A-1.1 SITE PLAN (PRECISE GRADING PLAN)</p>

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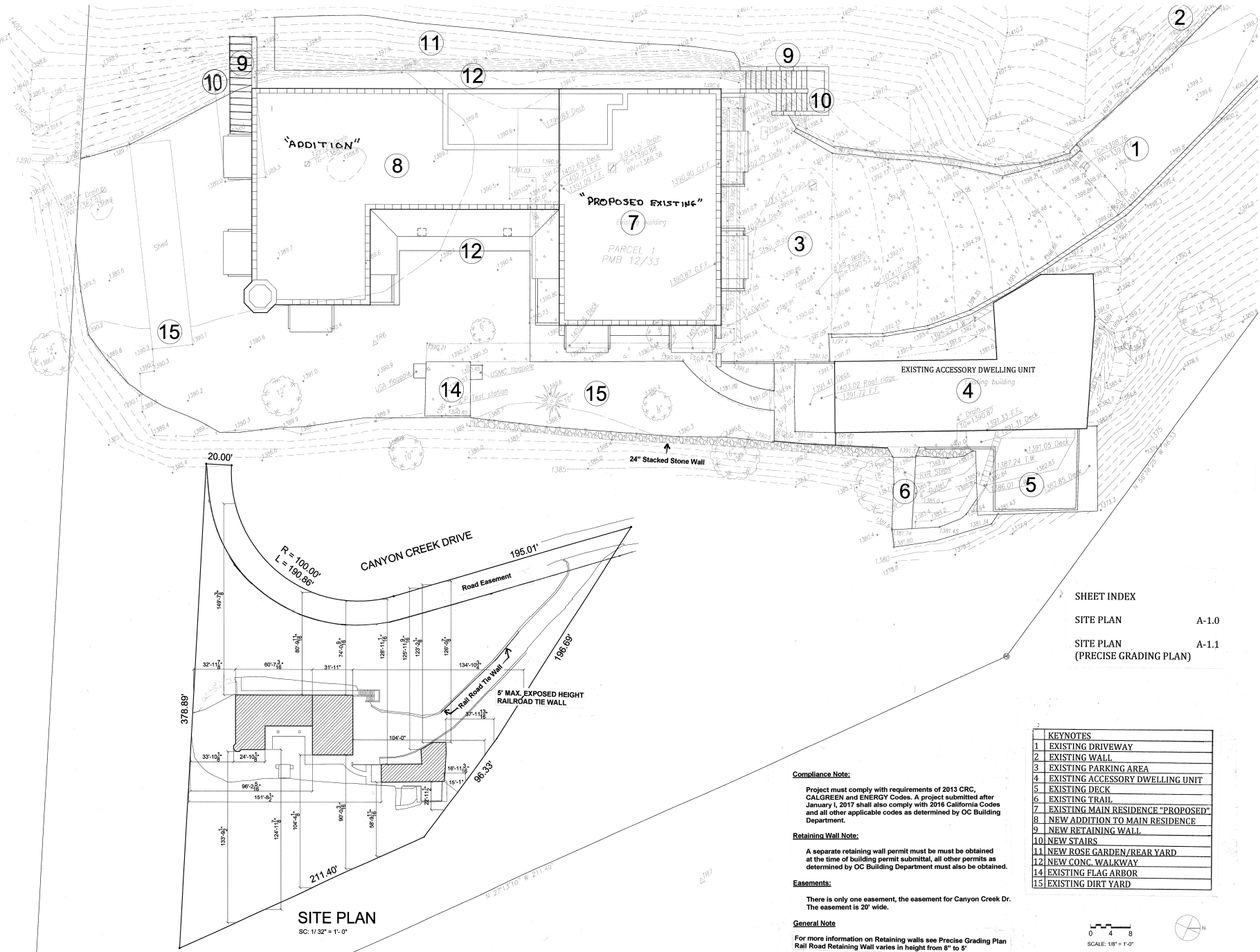
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SITE PLAN

Sheet No.:

A-1.0



SHEET INDEX

SITE PLAN	A-1.0
SITE PLAN (PRECISE GRADING PLAN)	A-1.1

KEYNOTES
1 EXISTING DRIVEWAY
2 EXISTING WALL
3 EXISTING PARKING AREA
4 EXISTING ACCESSORY DWELLING UNIT
5 EXISTING DECK
6 EXISTING TRAIL
7 EXISTING MAIN RESIDENCE "PROPOSED"
8 NEW ADDITION TO MAIN RESIDENCE
9 NEW RETAINING WALL
10 NEW STAIRS
11 NEW ROSE GARDEN/REAR YARD
12 NEW CONC. WALKWAY
14 EXISTING FLAG ARBOR
15 EXISTING DIRT YARD

Compliance Note:

Project must comply with requirements of 2013 CRC, CALGREEN and ENERGY Codes. A project submitted after January 1, 2017 shall also comply with 2016 California Codes and all other applicable codes as determined by OC Building Department.

Retaining Wall Note:

A separate retaining wall permit must be obtained at the time of building permit submittal, all other permits as determined by OC Building Department must also be obtained.

Easements:

There is only one easement, the easement for Canyon Creek Dr. The easement is 20' wide.

General Note

For more information on Retaining walls see Precise Grading Plan Rail Road Retaining Wall varies in height from 8" to 5'

0 4 8
SCALE: 1/8" = 1'-0"



SITE PLAN
SC: 1/32" = 1'-0"

OPEN SPACE AREA "E"

CANYON CREEK DRIVE
R=100.00' Δ=109°21'11" L=190.86'

OPEN SPACE AREA "D"

OPEN SPACE AREA "C"

OPEN SPACE AREA "F"

5' MAX. EXPOSED HEIGHT
RAILROAD TIE WALL

STABILIZED SLOPE WITH
STEPPED RAILROAD TIES

PARCEL 2

PROPOSED BUILDING
F.F. = 1391.38
PAD = 1390.80
SEE ADD'L NOTE #2 HEREON

GARAGE
PAD = 1390.30
PROPOSED

PARCEL 3
PMB 12/33

ACCESSORY DWELLING UNIT
F.F. = 1392.33
PAD = 1391.75

WOOD DECK
F.S. = 1391.41

WOOD DECK
F.S. = 1382.85

NOTICE TO CONTRACTOR

REQUIRED CERTIFICATIONS / APPROVALS

In addition to any certifications required by the agencies having jurisdiction over this project, the following approvals from the Civil engineer of record are required:

- Foundation forms for improvements on or abutting property lines is required prior to concrete pour.
- Location, size, and depth of all drain lines prior to backfill.

ADDITIONAL NOTES

- WHERE SHOWN, ROOFS SHALL BE GUTTERED AND DOWNSPOUTS SHALL CONNECT TO THE ON-SITE STORM DRAIN SYSTEM.
- TYPICAL RESIDENCE AND GARAGE PAD ELEVATIONS BASED ON MINIMUM 5" CONCRETE SLAB OVER 2" SAND OVER 10 MIL VAPOR BARRIER OVER 1" SAND. CONTRACTOR TO VERIFY PAD WITH THE STRUCTURAL AND SOILS ENGINEERS PRIOR TO GRADING.
- WHERE EXTERIOR/INTERIOR UTILITY TRENCHES ARE PROPOSED IN A DIRECTION THAT PARALLELS ANY BUILDING FOOTING, THE BOTTOM OF THESE TRENCHES SHALL NOT EXTEND BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF FOOTING. WHERE THIS OCCURS, ADJACENT FOOTING SHALL BE DEEPEMED OR UTILITY CONSTRUCTED & BACKFILLED PRIOR TO CONSTRUCTION.
- FOR FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
- RETAINING WALLS UNDER SEPARATE PLAN & PERMIT. SEPARATE RETAINING WALL PERMIT MUST BE SUBMITTED AT THE TIME OF BUILDING PERMIT SUBMITTAL.
- ALL RECOMMENDATIONS IN THE PROJECT SOILS REPORT PREPARED BY G.A. NICOLL AND ASSOCIATES, INC. (DATED OCTOBER 13, 2016; PROJECT: 7016-04) ARE CONSIDERED A PART OF THESE PLANS.

CONSTRUCTION NOTES

- CONSTRUCT CONC. DRIVEWAY AND HARDSCAPE. SEE DETAIL ON SHEET C3.
- CONSTRUCT CONC. PAVERS. SEE DETAIL ON SHEET C3.
- INSTALL 6" Ø PVC DRAIN PIPE SYSTEM (SCH. 40)
- INSTALL 4" Ø PVC DRAIN PIPE SYSTEM (SCH. 40 OR SDR35).
- CONSTRUCT 24" WIDE CONC. V-DITCH. SEE DETAIL ON SHEET C3.
- INSTALL 6" ATRIUM GRATE NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL 6" FLAT GRATE NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL 12" ATRIUM GRATE NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL 18" SQ. DRAINBOX (BROOKS 1818CB) W/ TRAFFIC RATED GRATE.
- INSTALL 18" ATRIUM GRATE NDS TYPE 1881 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL 24" SQ. DRAINBOX (BROOKS 2424CB) W/ TRAFFIC GRATE (NDS 2415).
- INSTALL DRAINAGE SPREADER DEVICE. SEE DETAIL ON SHEET C3.
- INSTALL SUBDRAIN PER SOILS REPORT. SEE DETAIL ON SHEET C3.
- INSTALL 5" WIDE TRENCH DRAIN W/ TRAFFIC GRATE (NDS 864 OR EQUAL).
- INSTALL 12" SQ. DRAINBOX (BROOKS 1212CB) W/ TRAFFIC RATED GRATE.

SURVEY NOTE

EXISTING ELEVATIONS AND 5' CONTOURS SHOWN HEREON REPRESENT A BEST FIT COMPILATION OF COUNTY OF ORANGE GIS DATABASE AERIAL INFORMATION AND FIELD SHOT ELEVATIONS FROM TOPOGRAPHIC SURVEY PREPARED BY TOAL ENGINEERING, INC. DATED 10-24-2013.

EASEMENTS OF RECORD

EASEMENTS OF RECORD PER PRELIMINARY TITLE REPORT PREPARED BY WESTERN RESOURCES TITLE COMPANY AS ORDER No. 93620 (AF) AND DATED MARCH 16, 2015.

- EASEMENTS AND SERVITUDES AS THEY APPEAR ON MAPS, OR IN DOCUMENTS RECORDED IN THE OFFICIAL RECORDS OF SAID COUNTY. 40' WIDE EASEMENT FOR INGRESS AND EGRESS AND FOR PUBLIC UTILITY PURPOSES PER PM 1-44 AS SHOWN ON P.M.B. 12/33. (PLOTTED HEREON)

LEGEND

- CONCRETE PAVING
- CONCRETE PAVERS
- GRAVEL DRIVEWAY
- CUT / FILL LINE
- 100 - CONTOUR (EXISTING)
- 100 - CONTOUR (PROPOSED)
- 100.00 PROPOSED SPOT ELEVATION
- 100.00 PROP. SPOT ELEV. (FIELD SHOT)
- 100.00 EXISTING SPOT ELEVATION
- 4" PROPOSED DRAIN LINE
- PROPOSED BUILDING BEARING WALL
- PROPOSED RETAINING WALL
- PROPOSED PLANTER/SCREEN WALL
- SECTION LETTER SHEET NUMBER
- DS DOWNSPOUT
- FF FINISH FLOOR
- FG FINISH GRADE
- FL OR FL FINISH SURFACE
- FS FINISH SURFACE
- GFF GARAGE FINISH FLOOR
- INV INVERT
- P.L. OR PL PROPERTY LINE
- PA PLANTER AREA
- R.O.W. RIGHT-OF-WAY
- TC TOP OF CURB
- TF TOP OF FOOTING
- TG TOP OF GRADE
- TP TOP OF PILASTER
- TW TOP OF WALL

PLANS PREPARED BY:

TOAL ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

139 Avenida Navarro
San Clemente, CA 92672
949 492 8586
www.toalengineering.com

REGISTERED PROFESSIONAL ENGINEER
CALEB RIOS
No. 57587
EXP. 12-31-15
STATE OF CALIFORNIA

DATE: 4-21-17

PREPARED FOR:
MR. JOHN REED
30122 CANYON CREEK DRIVE
TRABUCO CANYON, CA 92679
TEL: (619) 861-9599
EMAIL: republicanj@yahoo.com

NO.	DATE	BY	APPROVED
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THE REED RESIDENCE
SITE PLAN
PRECISE GRADING PLAN

PARCEL 3, P.M.B. 12/33
30122 CANYON CREEK DRIVE, TRABUCO CANYON, CA

DATE: 4/24/17
SURVEY DATE: 10-24-13
DRN.: P.G.
CHD.: M.F.B.
APPD.: C.R.

H. SCALE: 1"=10'
V. SCALE: N/A
DWG. NO.: A-1.1
JOB NO.: 15176
SHEET 2 OF 2

REED RESIDENCE
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RESIDENTIAL UNIT

30122 Canyon Creek Dr.
Trabuco Canyon, Ca 92679

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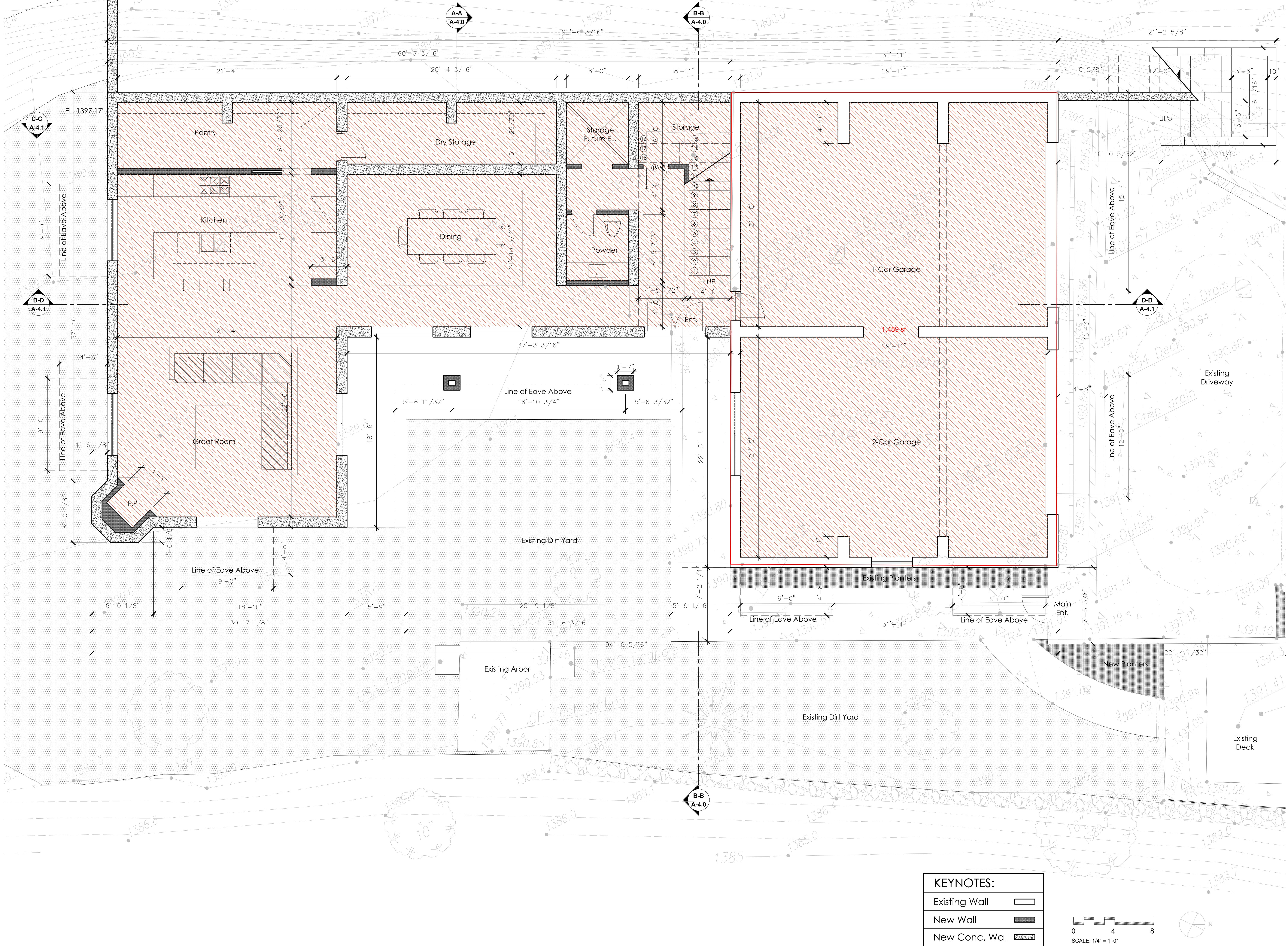
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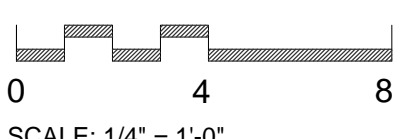
MAIN LEVEL
FLOOR PLAN

Sheet No.:

A-2.0



KEYNOTES:	
Existing Wall	
New Wall	
New Conc. Wall	



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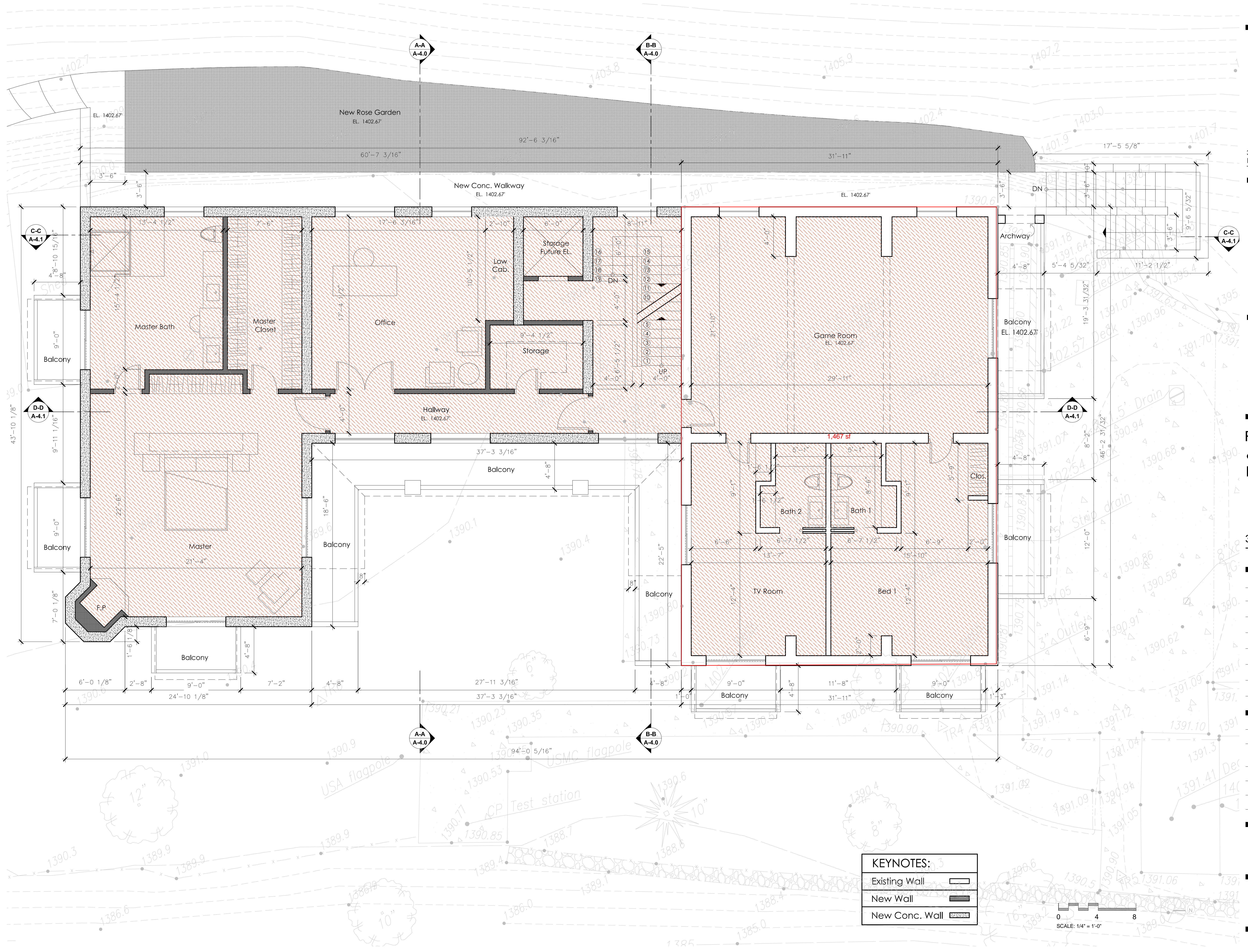
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Sheet Title:

UPPER LEVEL
FLOOR PLAN







Sheet No.:

A-2.1






Consultants:

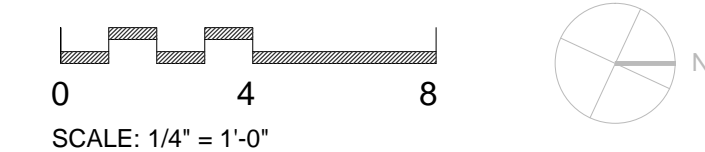
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KEYNOTES:	
Existing Wall	
New Wall	
New Conc. Wall	



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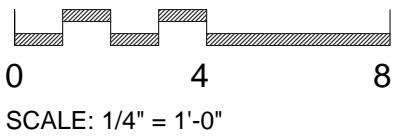
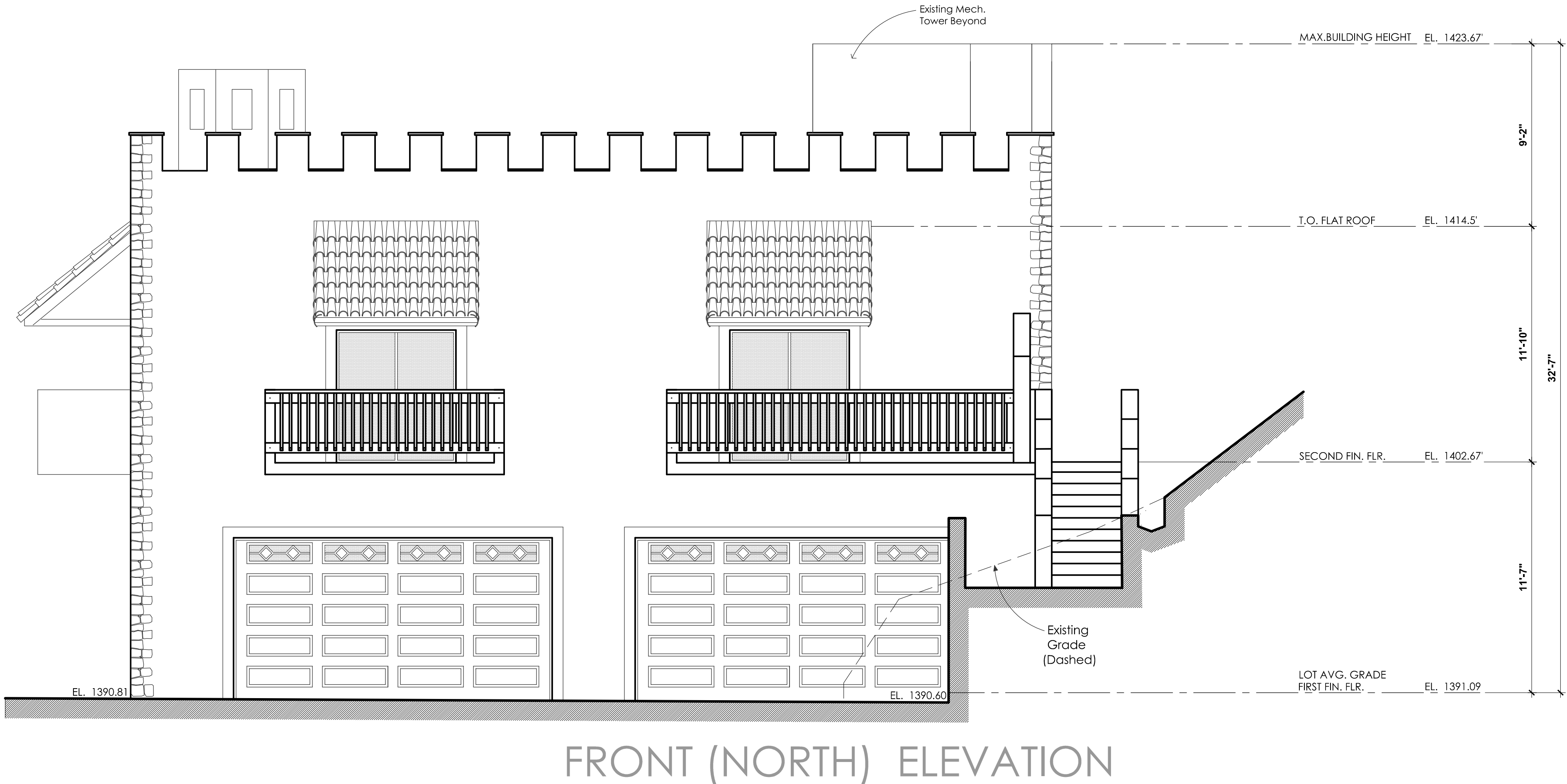
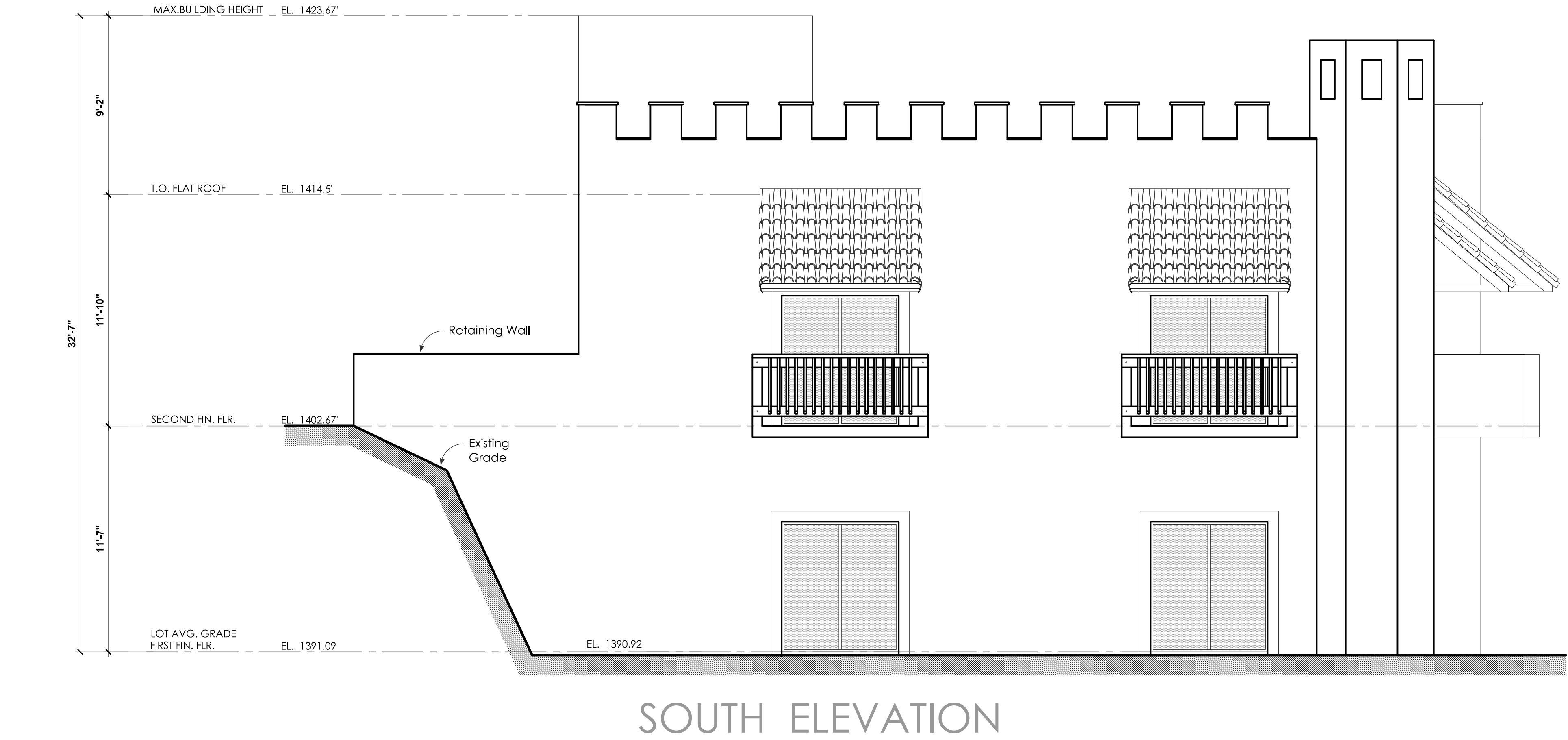
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Trabuco Canyon, Ca 92679

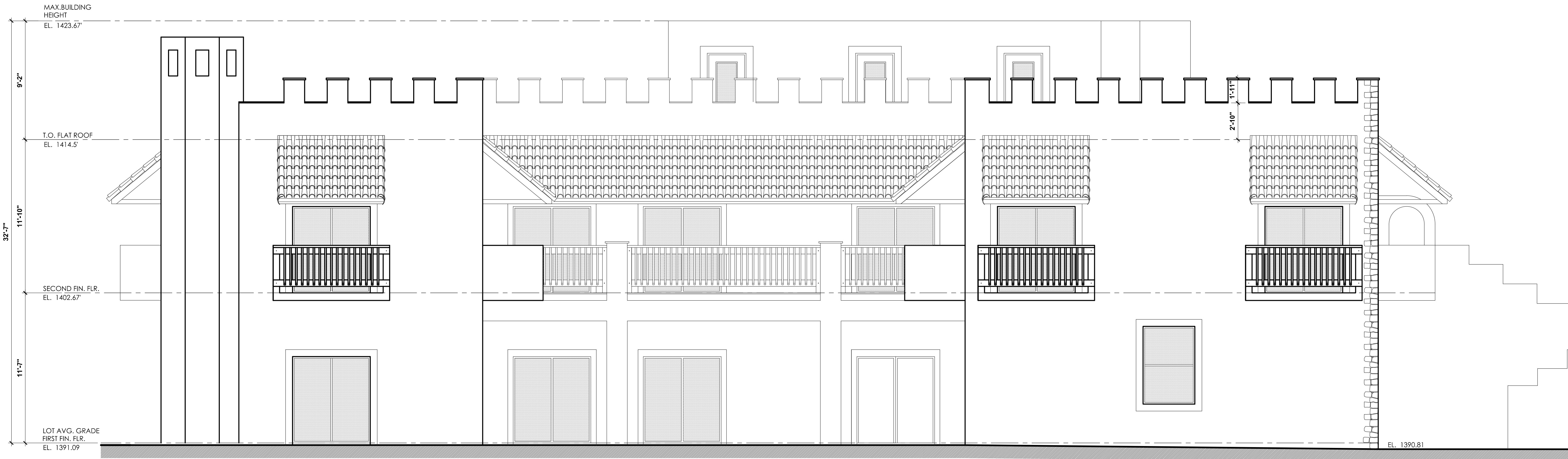
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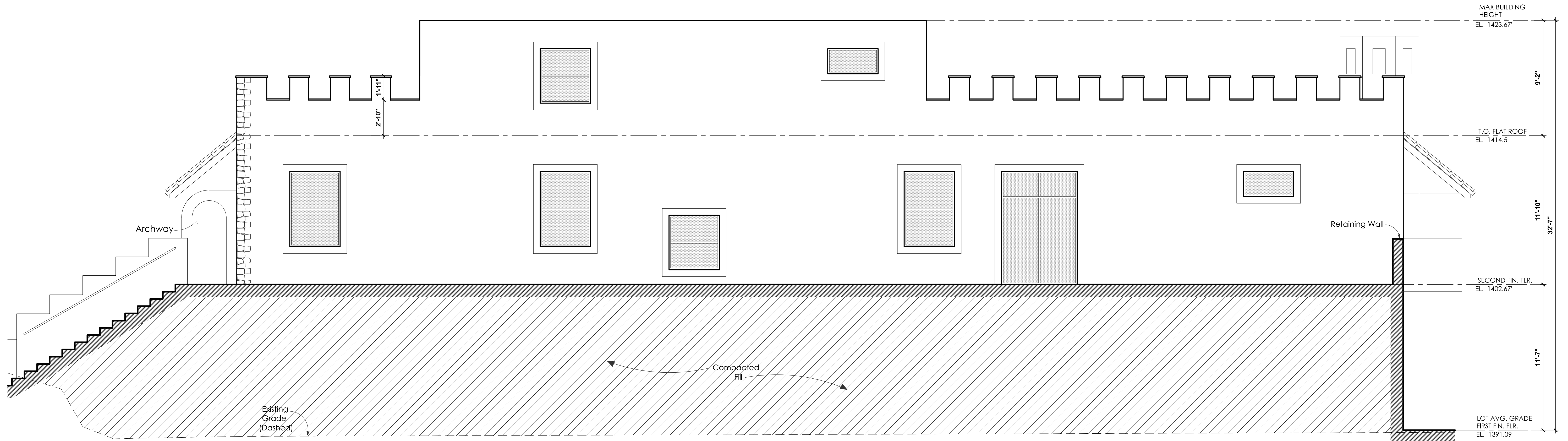
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EXTERIOR
ELEVATIONS

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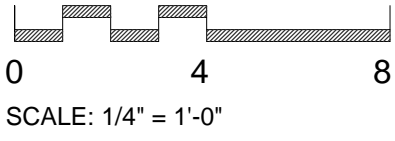




EAST ELEVATION



WEST ELEVATION



lohrbach
studio

31742 SOUTH COAST HWY.
LAGUNA BEACH CA 92651
TEL 949.661 5068 FAX 949.715.9528

Seal / Signature:

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30122 Canyon Creek Dr.
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Sheet Title:

EXTERIOR
ELEVATIONS

Sheet No.:

A-3.1

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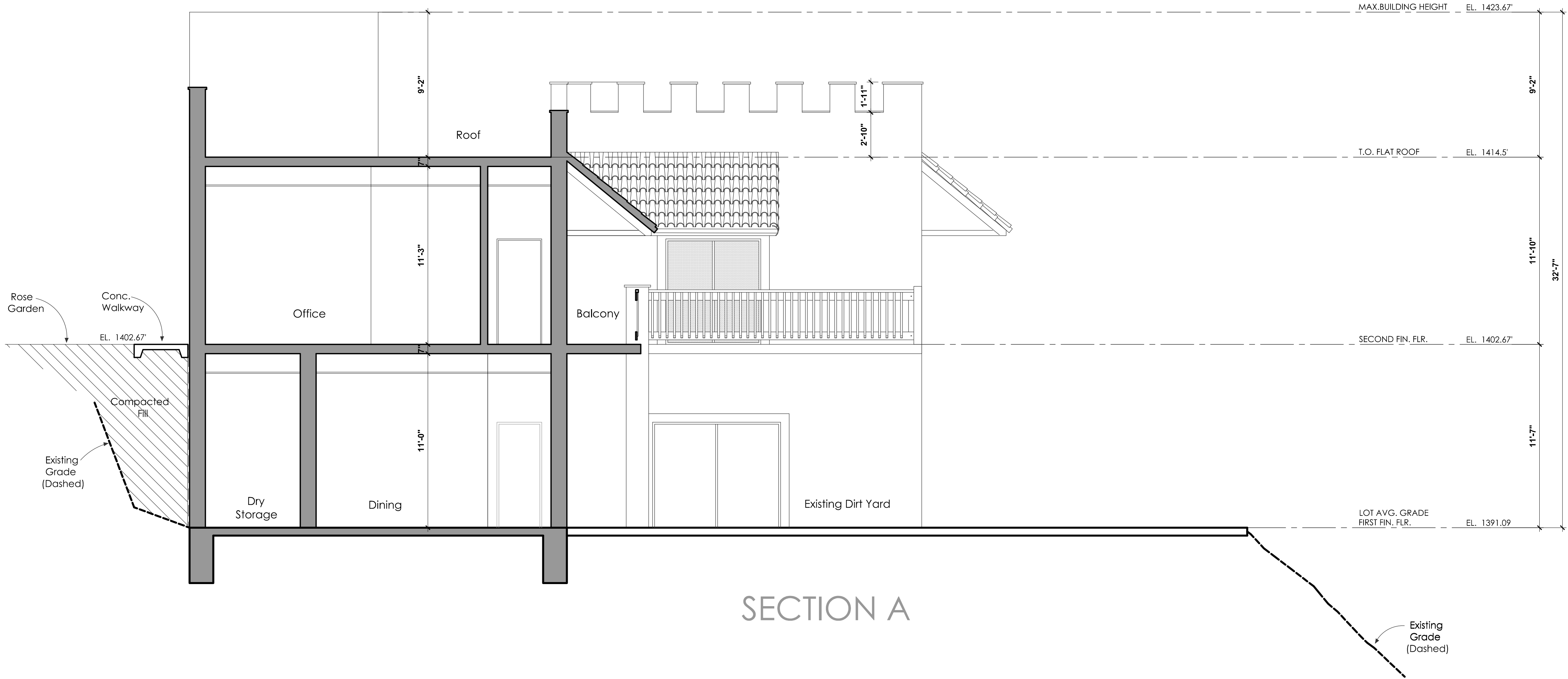
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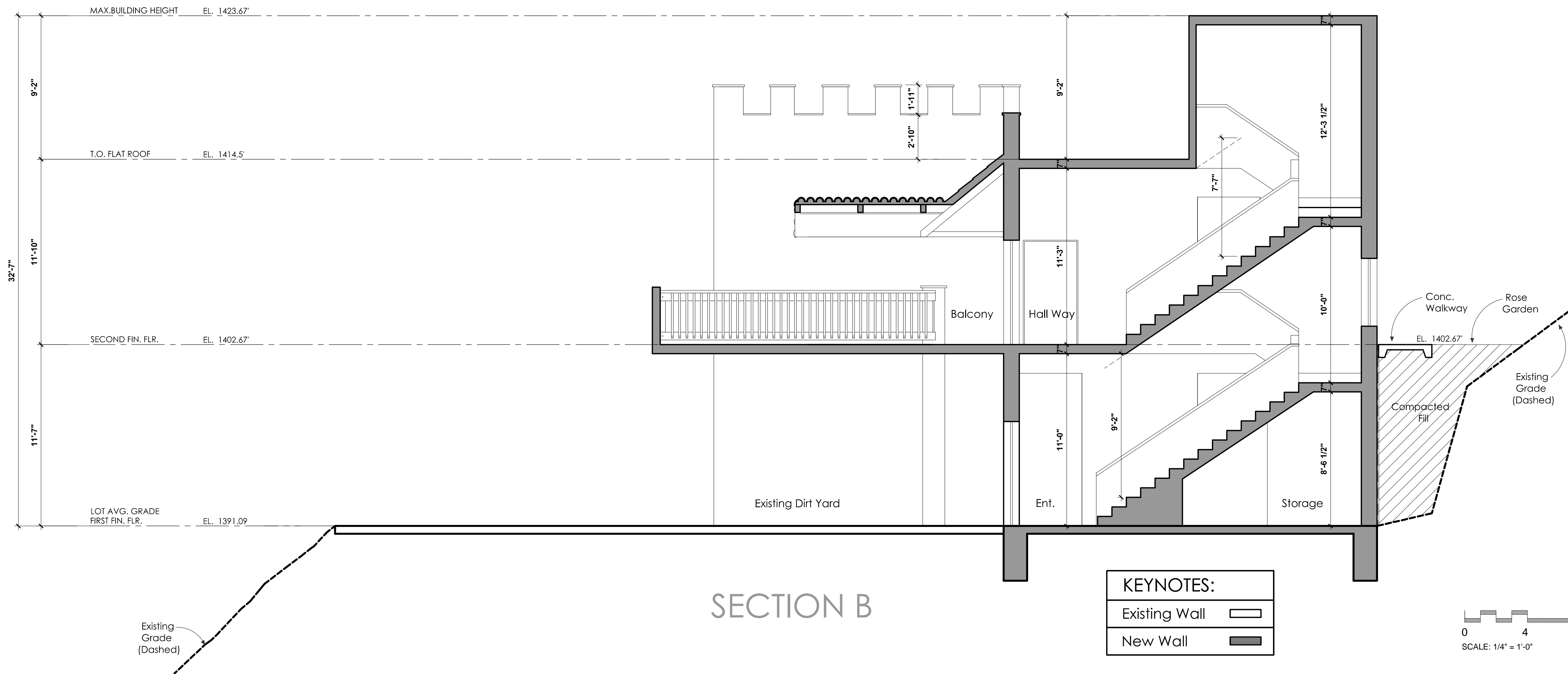
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SHEET TITLE:
BUILDING
SECTIONS

SHEET NO.:
A-4.0

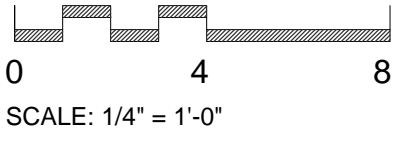


SECTION A



SECTION B

KEYNOTES:	
Existing Wall	
New Wall	



lohrbach
studio

31742 SOUTH COAST HWY.
LAGUNA BEACH CA 92651
TEL 949.661 5068 FAX 949.715.9528

Seal / Signature:

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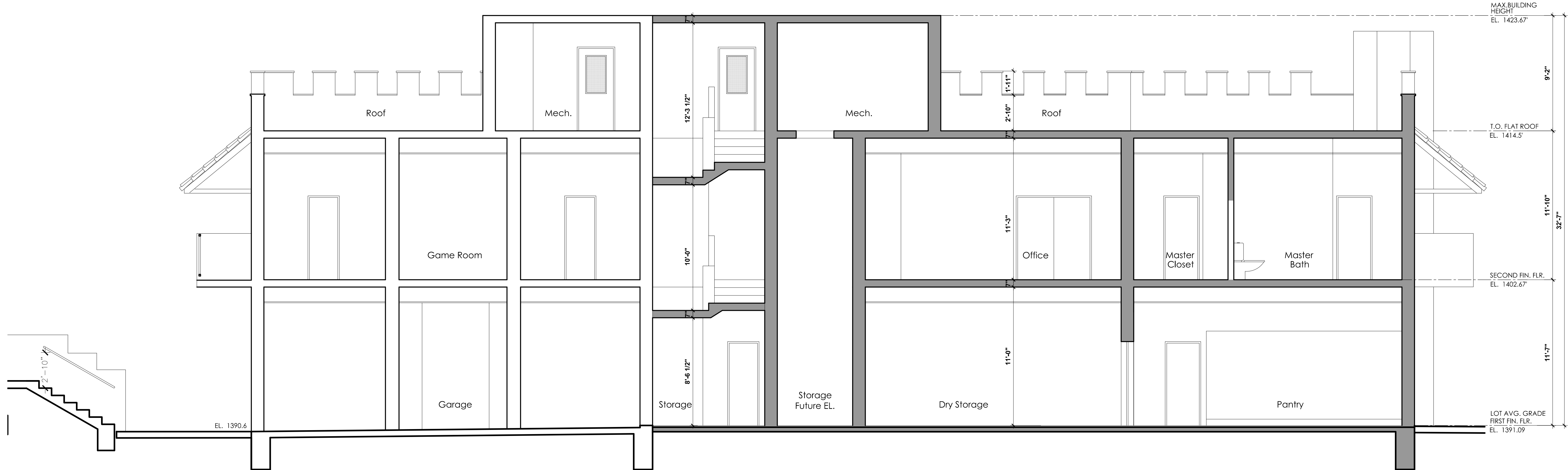
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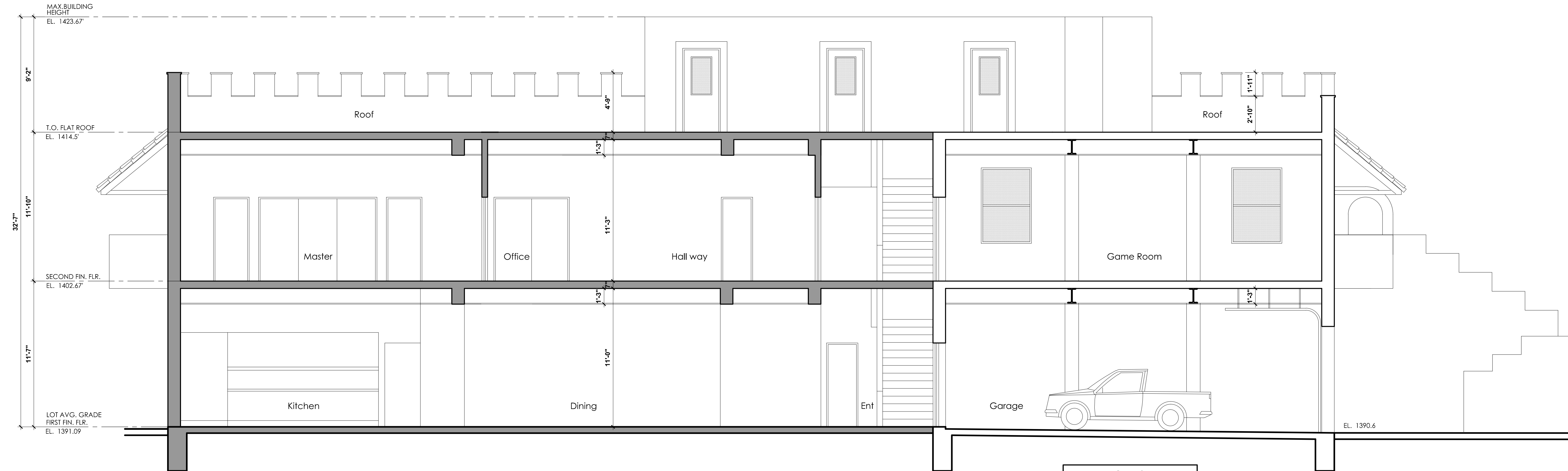
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SECTIONS

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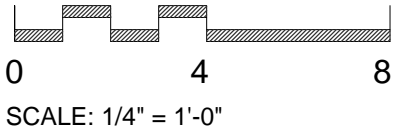


SECTION C



SECTION D

KEYNOTES:	
Existing Wall	
New Wall	



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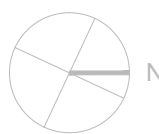
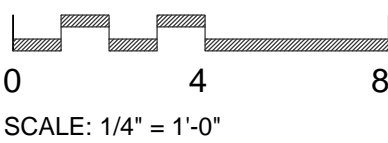
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PERMITTED 2ND UNIT
MAIN LEVEL
FLOOR PLAN

Sheet No.:

A-5.0

KEYNOTES:

Existing Wood Stud Wall	
Styrofoam Block Units W/Solid Grout and Rebar.	



Seal / Signature:

Consultants:

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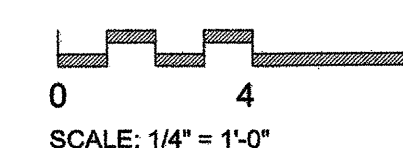
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ROOF PLAN

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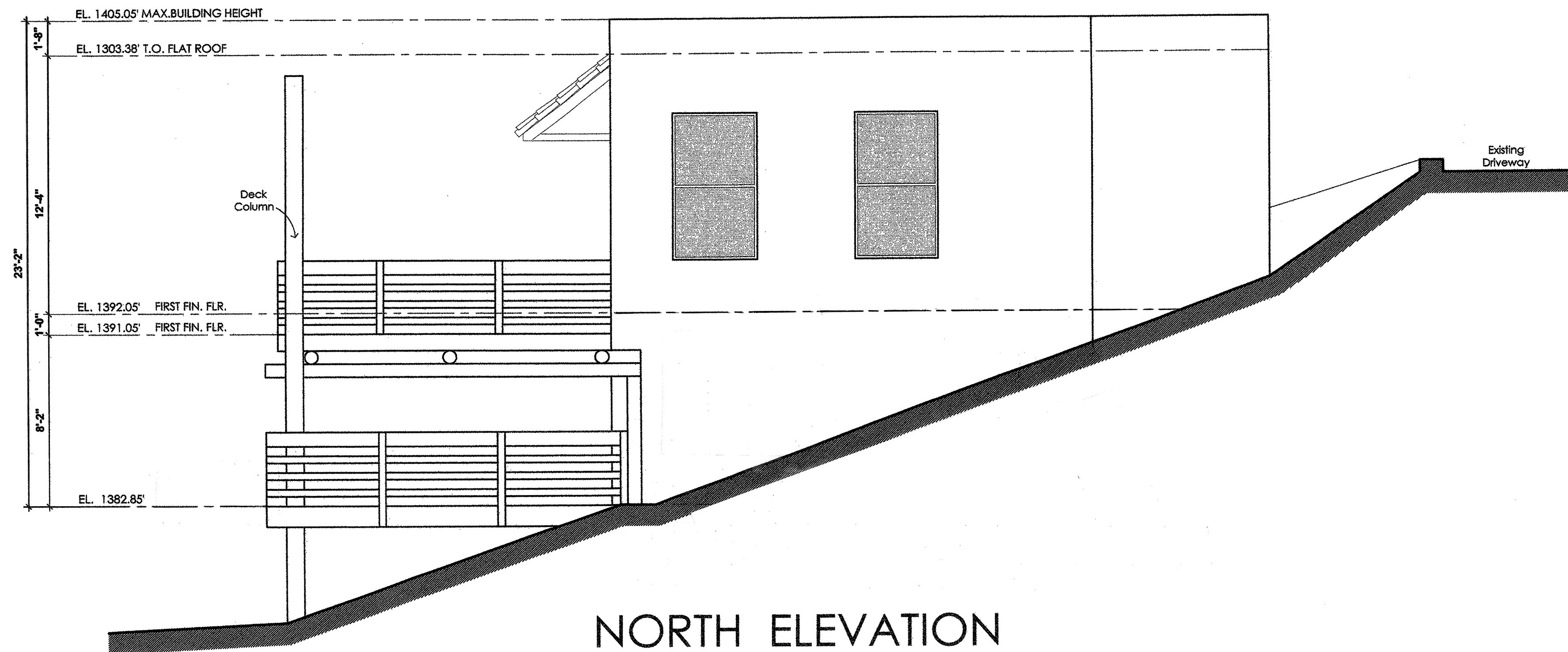
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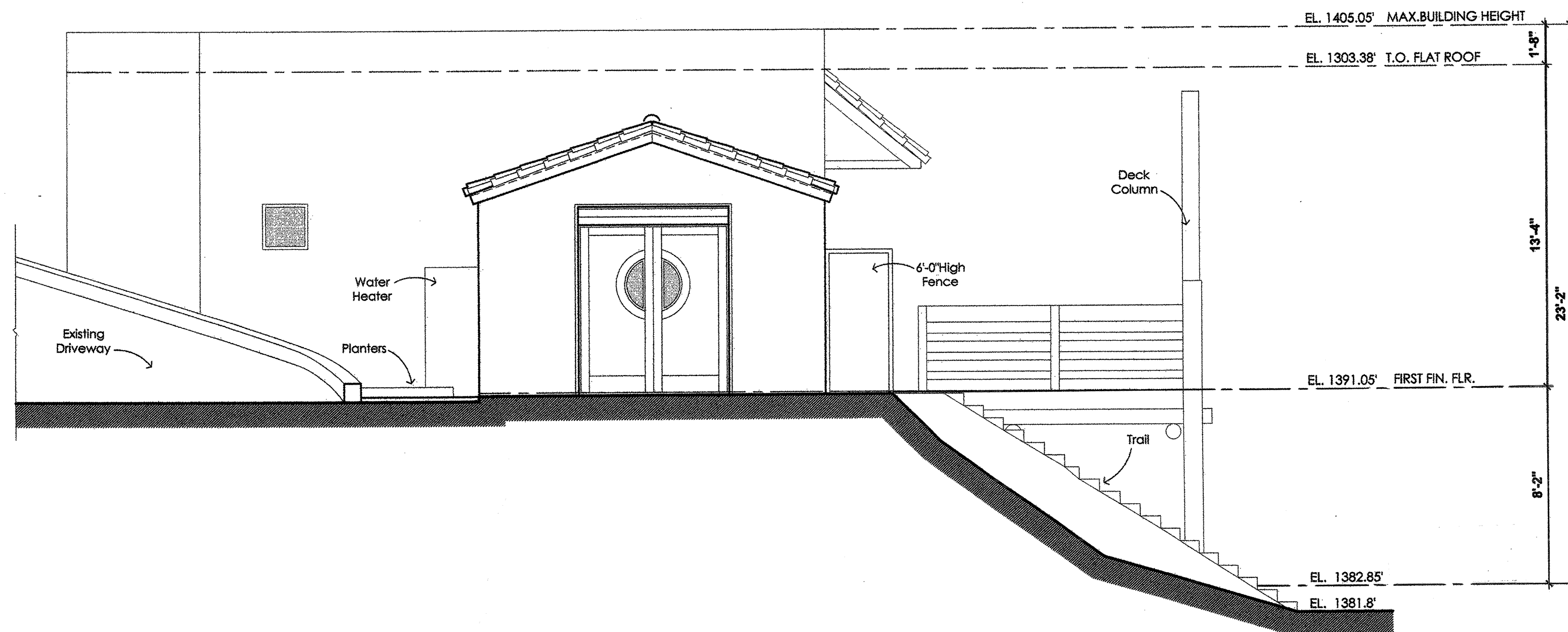
EXTERIOR
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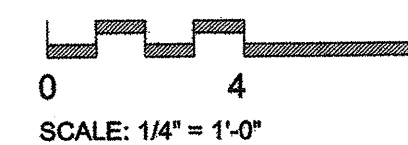
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NORTH ELEVATION



FRONT (SOUTH) ELEVATION



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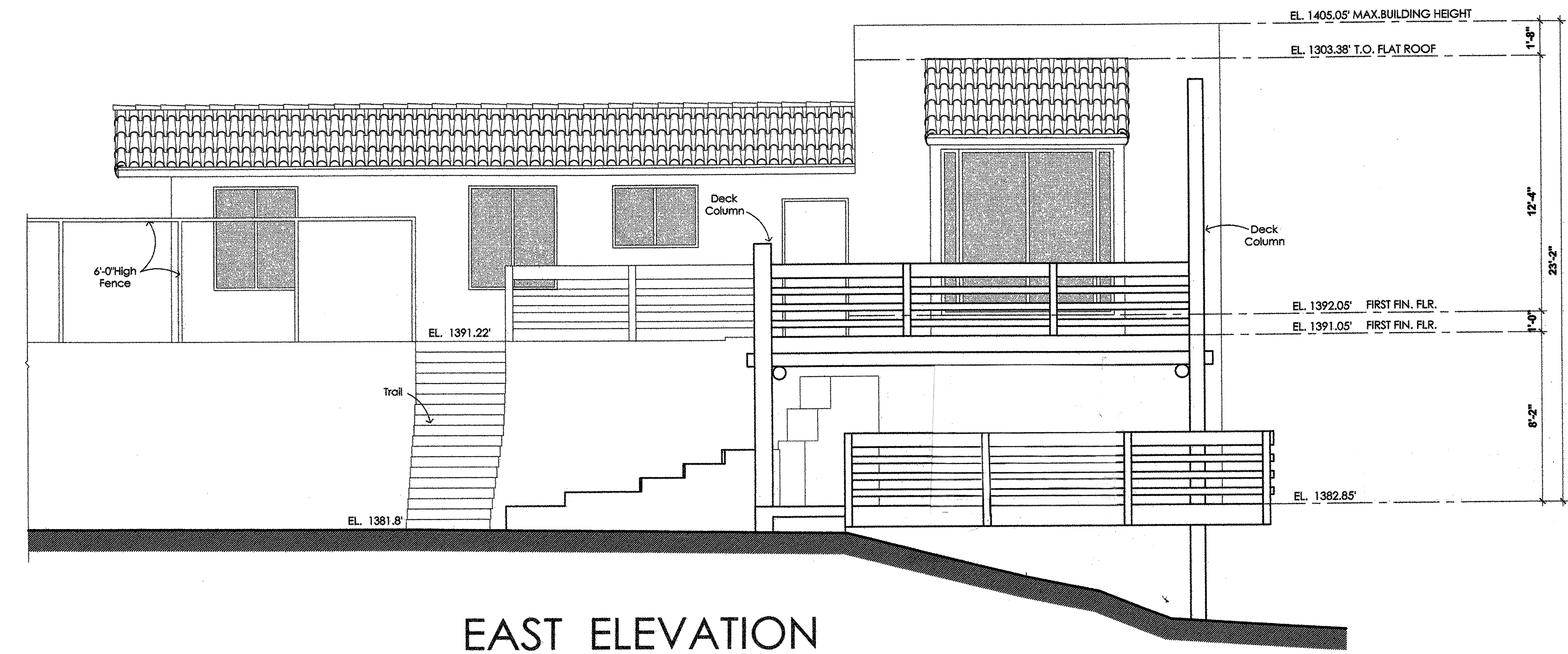
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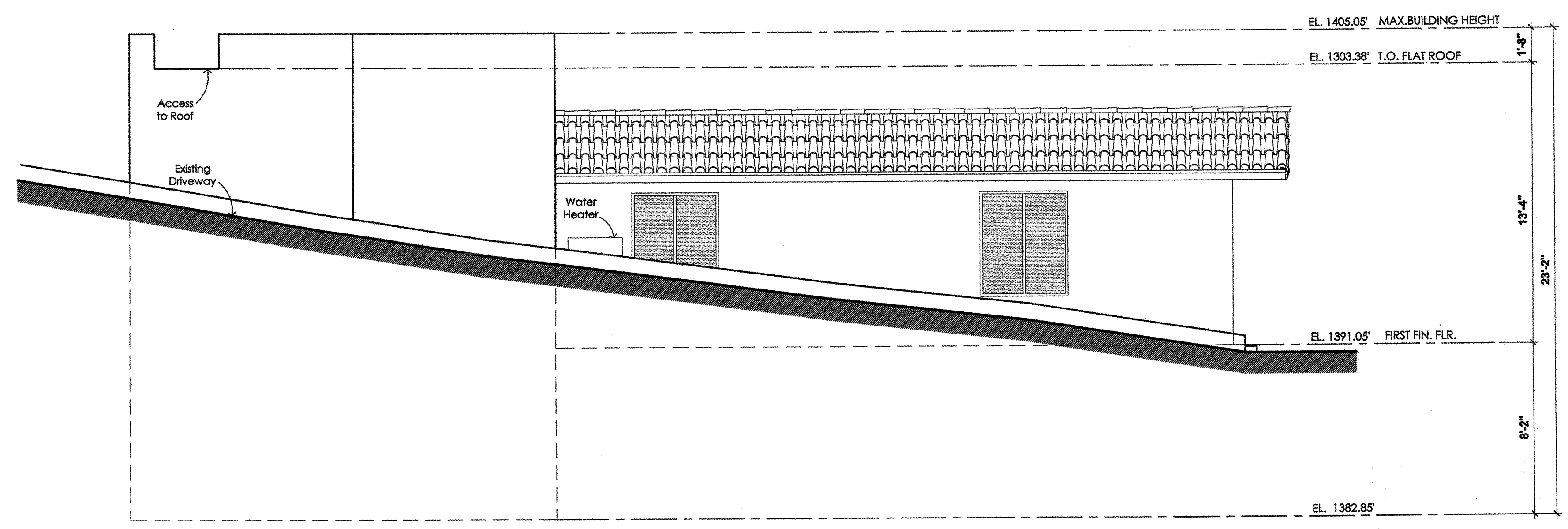
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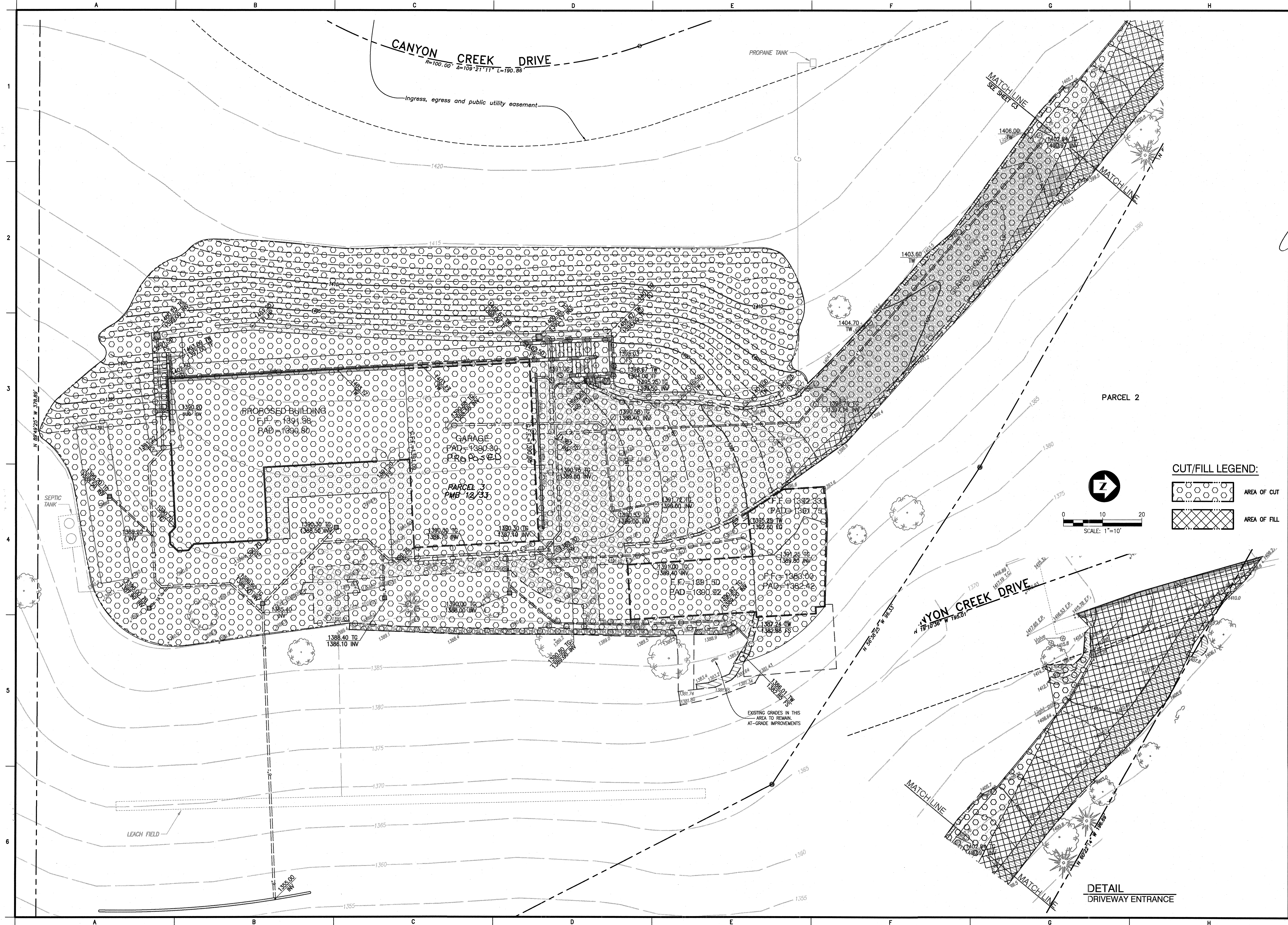
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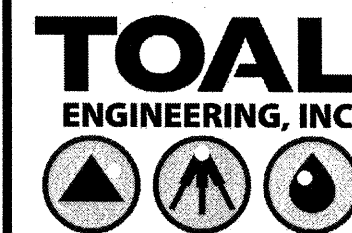
EAST ELEVATION



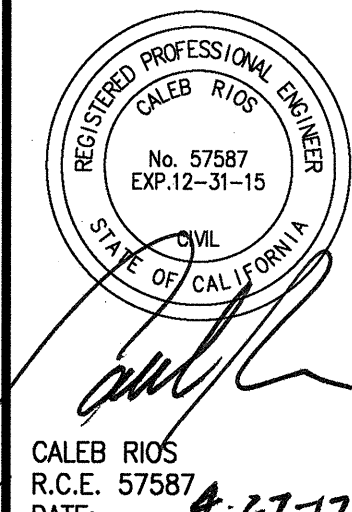
WEST ELEVATION



PLANS PREPARED BY:

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

139 Avenida Navarro
San Clemente, CA 92672
949.492.8586
www.toalengineering.com

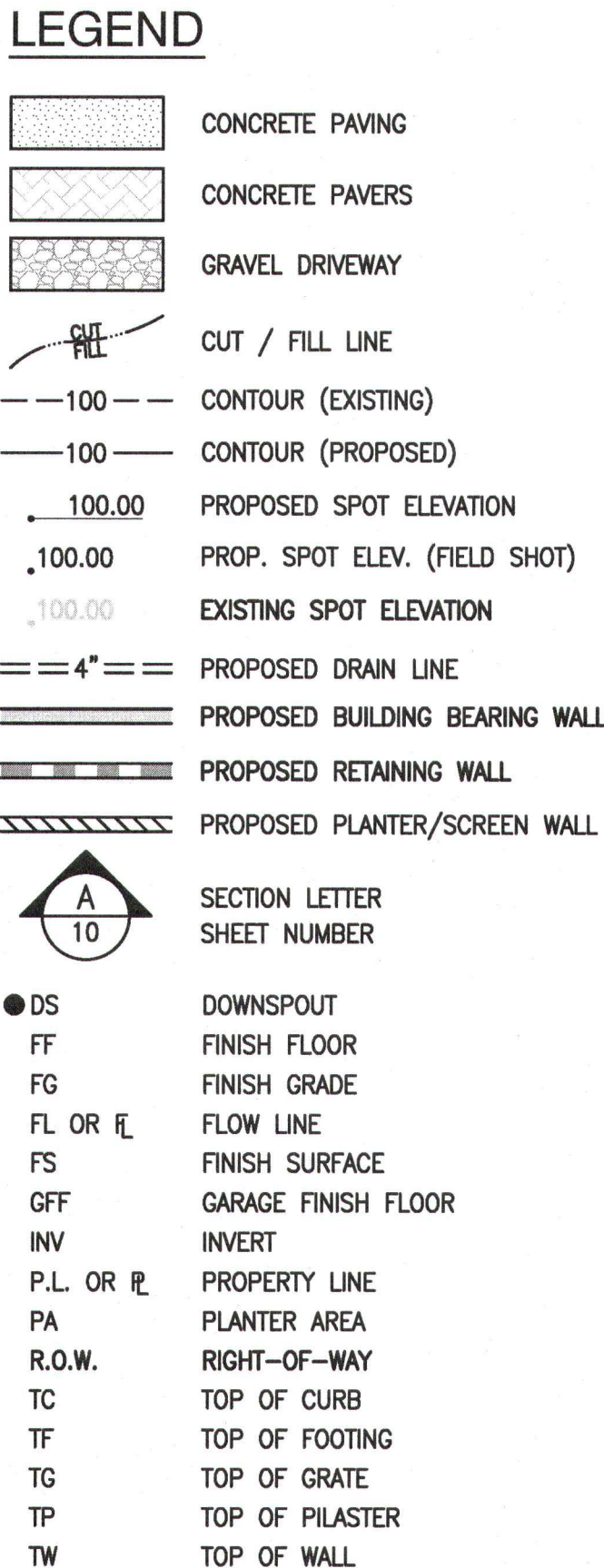


PREPARED FOR:
MR. JOHN REED
30122 CANYON CREEK DRIVE
TRABUCO CANYON, CA 92671
TEL: (619) 861-9599
EMAIL: republicanj@yahoo.com

[illegible]

THE REED RESIDENCE
CUT AND FILL EXHIBIT
PARCEL 3, P.M.B. 12/33
ANYON CREEK DRIVE, TABLICO CA

DATE: 4/24/17		H. SCALE: 1"=10'	
SURVEY DATE: 10-24-13		V. SCALE: N/A	
DRN.: M.F.B.		DWG. NO. C5	
CHD.: M.F.B.			
APPD.: C.R.			
JOB NO. 15176		SHEET 5	OF 5



NOTICE TO CONTRACTOR

REQUIRED CERTIFICATIONS / APPROVALS

In addition to any certifications required by the agencies having jurisdiction over this project, the following approvals from the Civil engineer of record are required:

1. Foundation forms for improvements on or abutting property lines is required prior to concrete pour.
2. Location, size, and depth of all drain lines prior to backfill.

ADDITIONAL NOTES

1. WHERE SHOWN, ROOFS SHALL BE GUTTERED AND DOWNSPOUTS SHALL CONNECT TO THE ON-SITE STORM DRAIN SYSTEM.
2. TYPICAL RESIDENCE AND GARAGE PAD ELEVATIONS BASED ON MINIMUM 5" CONCRETE SLAB OVER 2" SAND OVER 10 MIL VAPOR BARRIER OVER 1" SAND. CONTRACTOR TO VERIFY PAD WITH THE STRUCTURAL AND SOILS ENGINEERS PRIOR TO GRADING.
3. WHERE EXTERIOR/INTERIOR UTILITY TRENCHES ARE PROPOSED IN A DIRECTION THAT PARALLELS ANY BUILDING FOOTING, THE BOTTOM OF THESE TRENCHES SHALL NOT EXTEND BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF FOOTING. WHERE THIS OCCURS, ADJACENT FOOTING SHALL BE DEEPEMED OR UTILITY CONSTRUCTED & BACKFILLED PRIOR TO CONSTRUCTION.
4. FOR FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
5. RETAINING WALLS UNDER SEPARATE PLAN & PERMIT.
6. ALL RECOMMENDATIONS IN THE PROJECT SOILS REPORT PREPARED BY G.A. NICOLL AND ASSOCIATES, INC. (DATED OCTOBER 13, 2016; PROJECT: 7016-04) ARE CONSIDERED A PART OF THESE PLANS.

CONSTRUCTION NOTES

- ① - CONSTRUCT CONC. DRIVEWAY AND HARDSCAPE. SEE DETAIL ON SHEET C3.
- ② - CONSTRUCT CONC. PAVERS. SEE DETAIL ON SHEET C3.
- ③ - INSTALL 6" Ø PVC DRAIN PIPE SYSTEM (SCH. 40)
- ④ - INSTALL 4" Ø PVC DRAIN PIPE SYSTEM (SCH. 40 OR SDR35.)
- ⑤ - CONSTRUCT 24" WIDE CONC. V-DITCH. SEE DETAIL ON SHEET C3.
- ⑥ - INSTALL 6" ATRIUM GRATE NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL.
- ⑦ - INSTALL 6" FLAT GRATE NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL.
- ⑧ - INSTALL 12" ATRIUM GRATE NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL.
- ⑨ - INSTALL 18" SQ. DRAINBOX (BROOKS 1818CB) W/ TRAFFIC RATED GRATE.
- ⑩ - INSTALL 18" ATRIUM GRATE NDS TYPE 1881 W/ RISER & ADAPTOR OR EQUAL.
- ⑪ - INSTALL 24" SQ. DRAINBOX (BROOKS 2424CB) W/ TRAFFIC GRATE (NDS 2415)
- ⑫ - INSTALL DRAINAGE SPREADER DEVICE. SEE DETAIL ON SHEET C3.
- ⑬ - INSTALL SUBDRAIN PER SOILS REPORT. SEE DETAIL ON SHEET C3.
- ⑭ - INSTALL 5" WIDE TRENCH DRAIN W/ TRAFFIC GRATE (NDS 864 OR EQUAL).
- ⑮ - INSTALL 6" SQ. DRAINBOX (BROOKS 66CB) W/ TRAFFIC RATED GRATE.

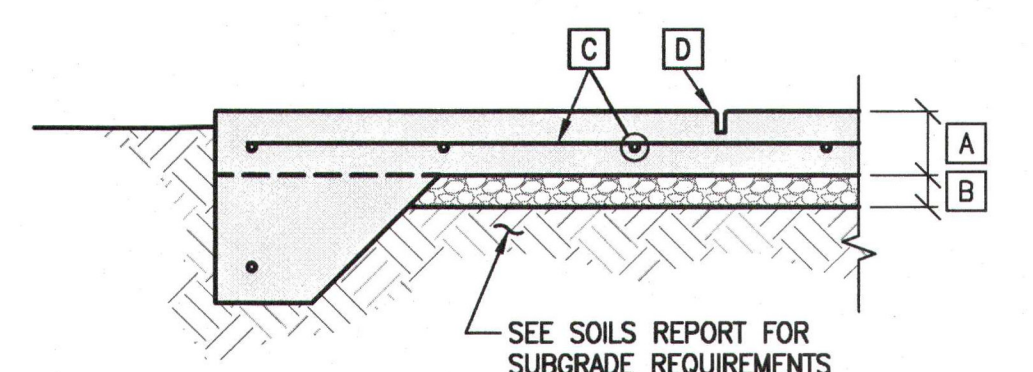
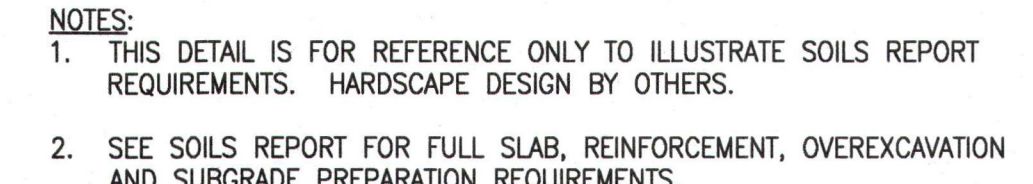
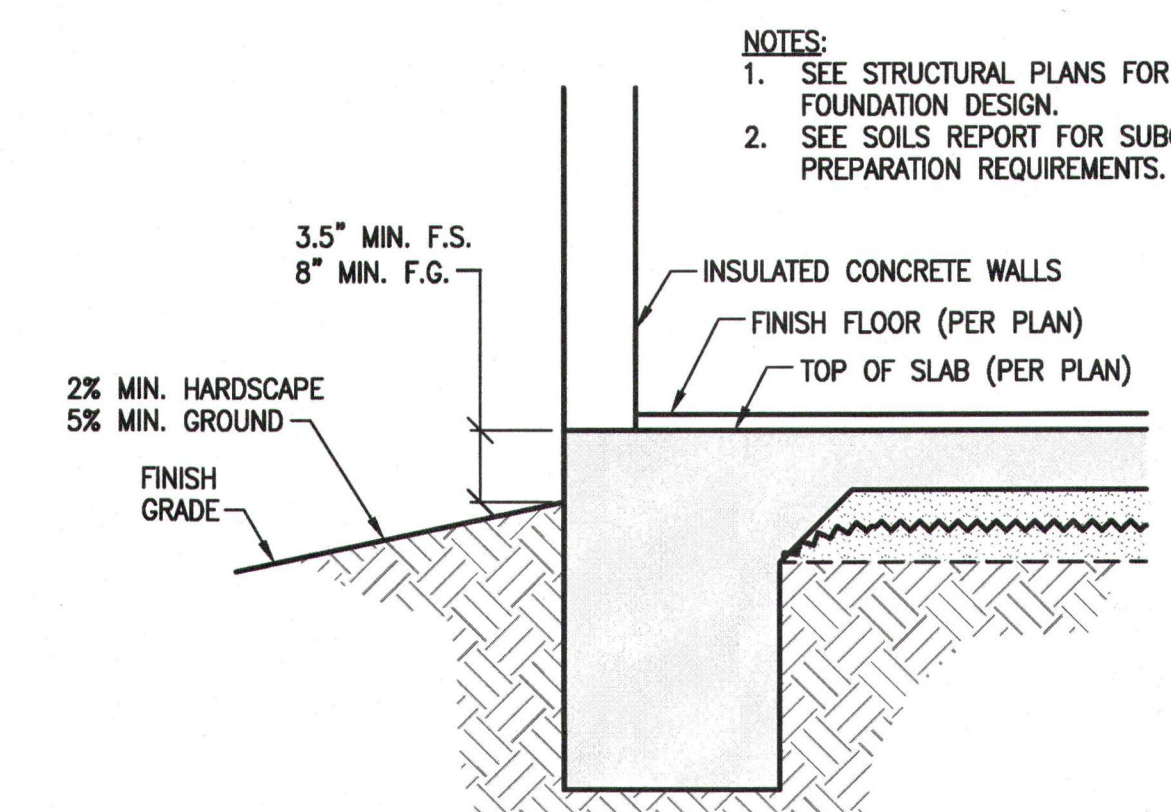
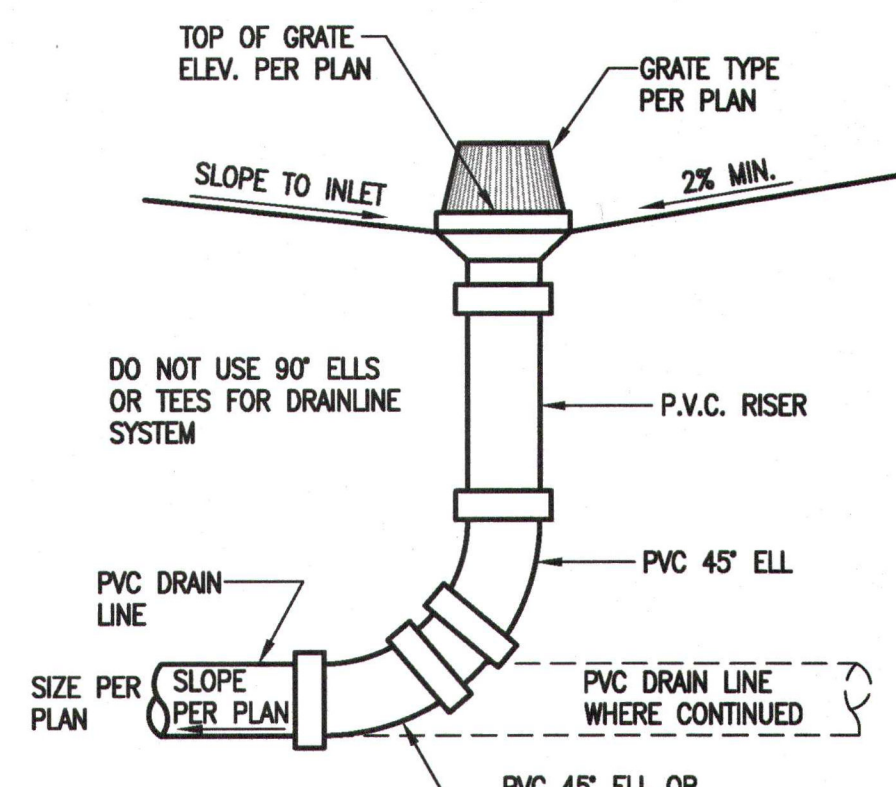
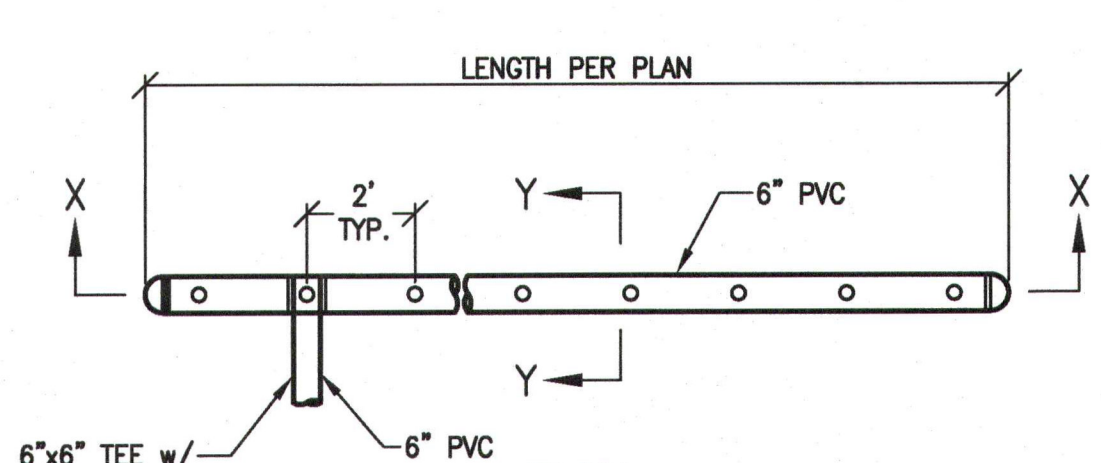
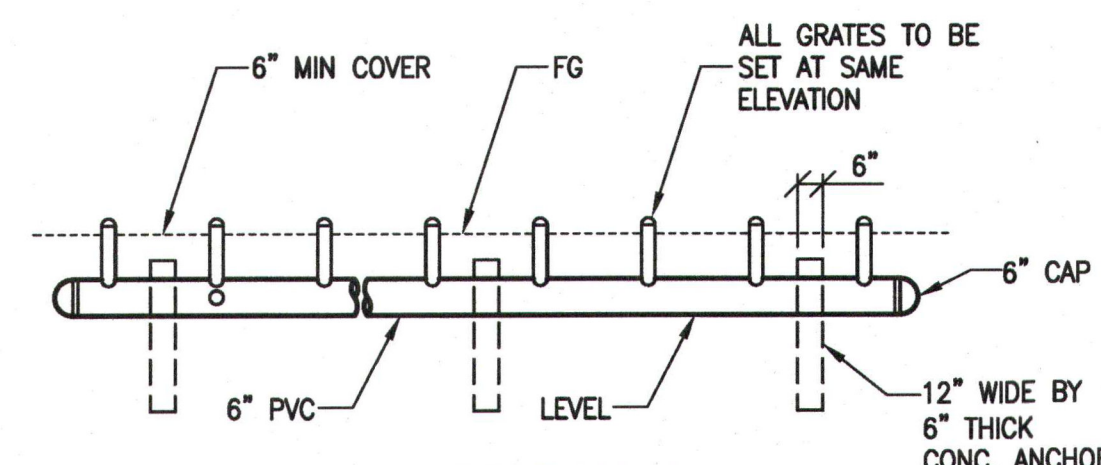
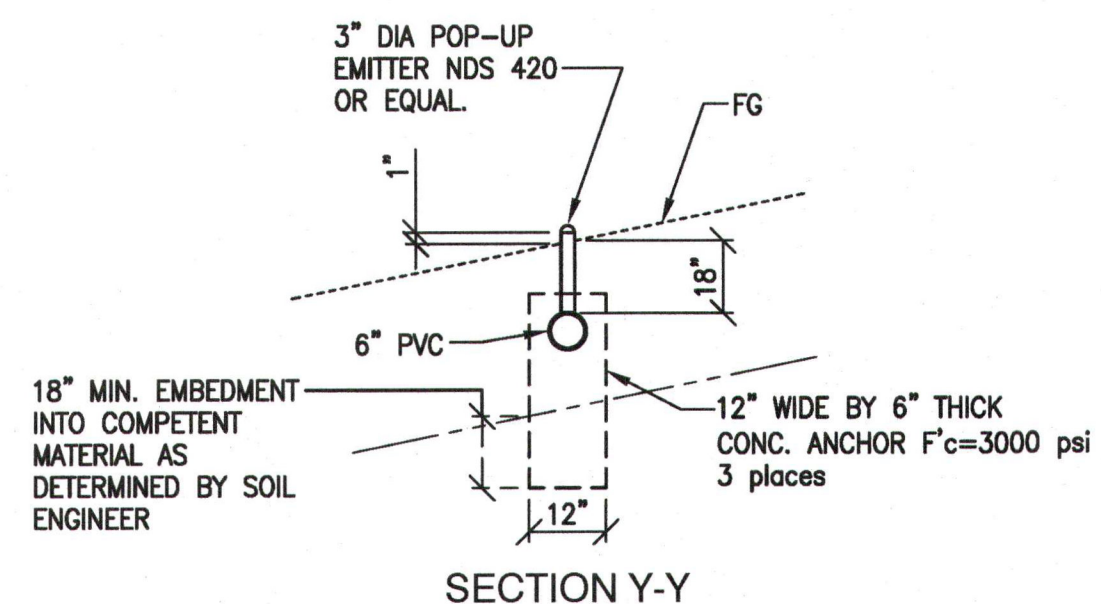
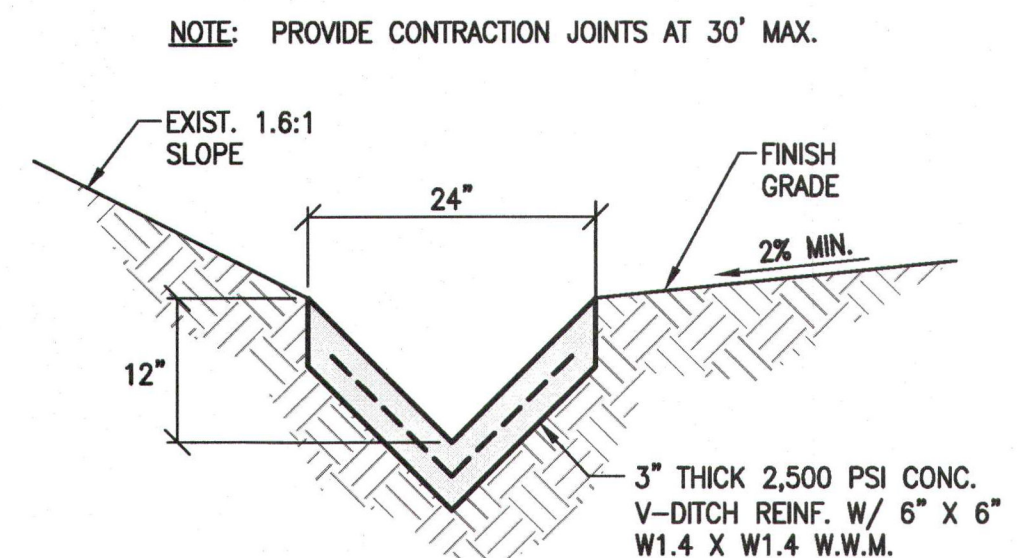
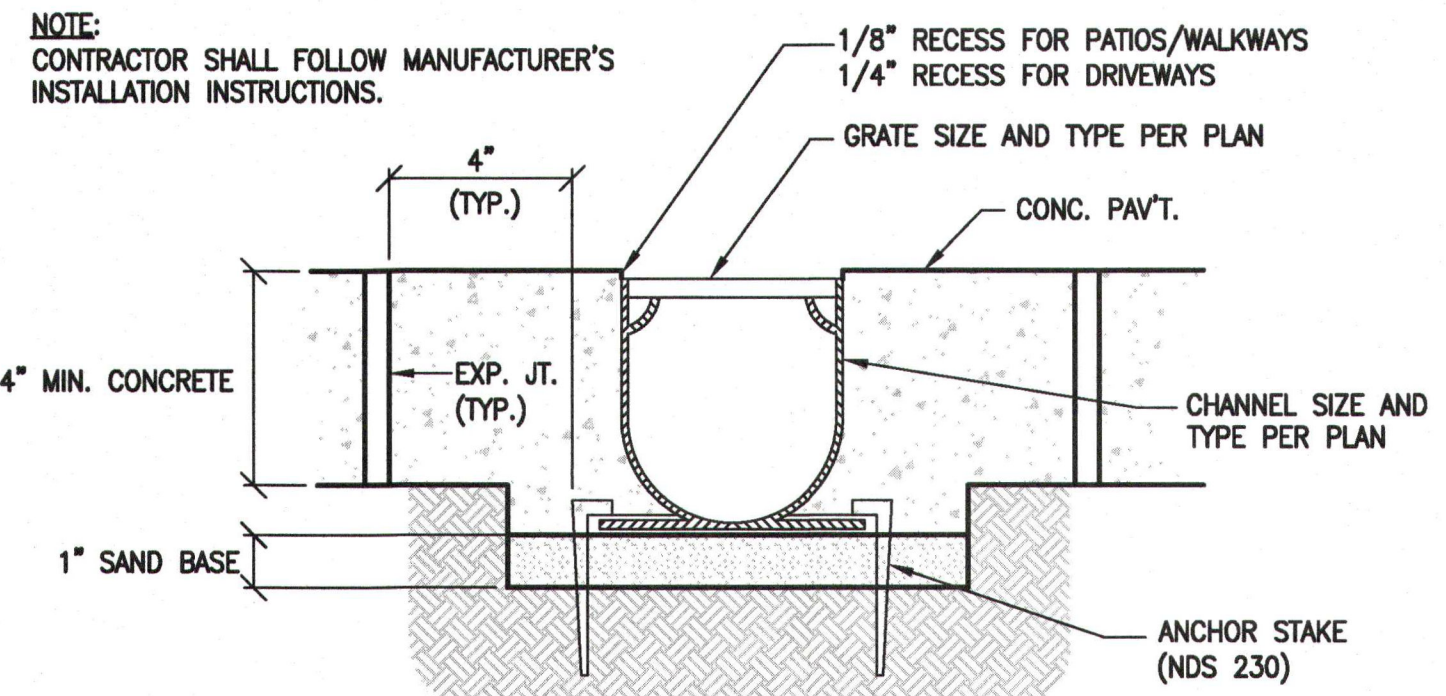
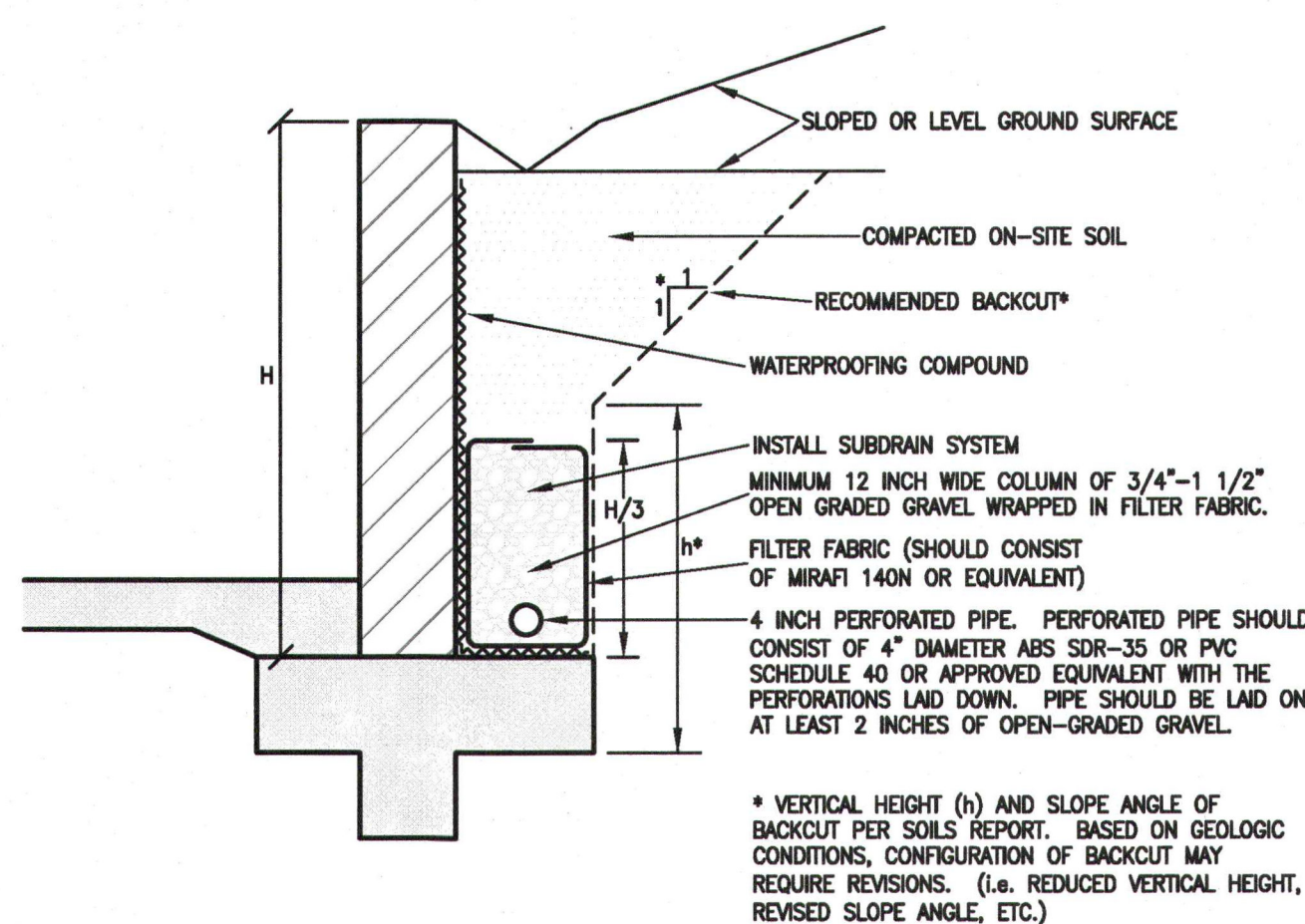
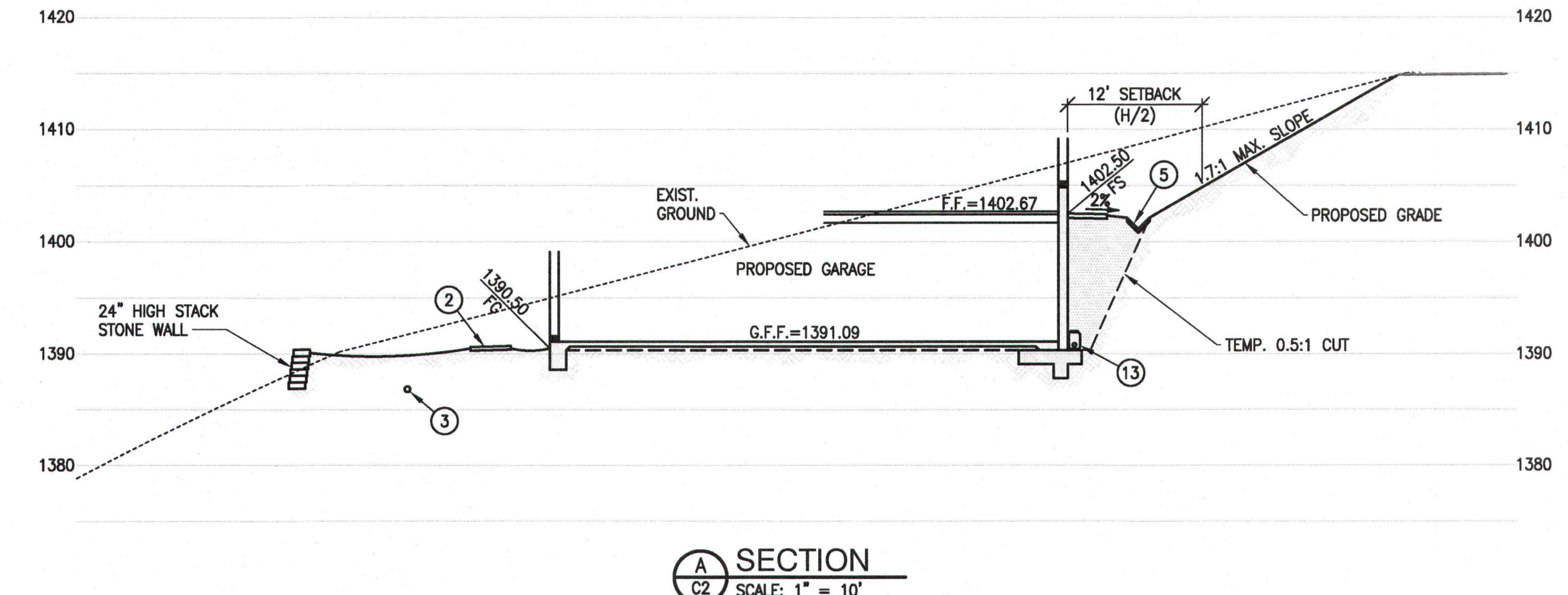
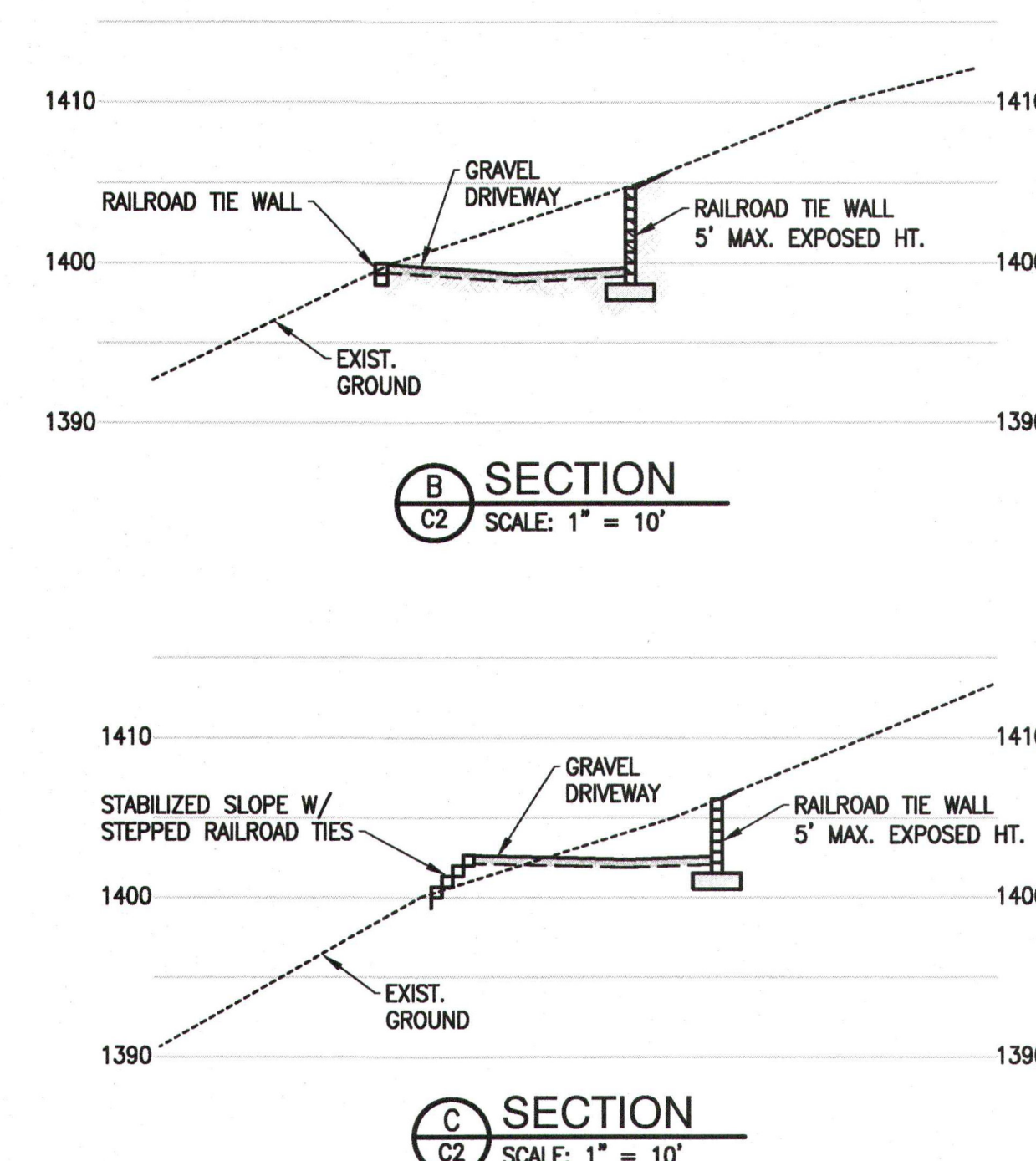
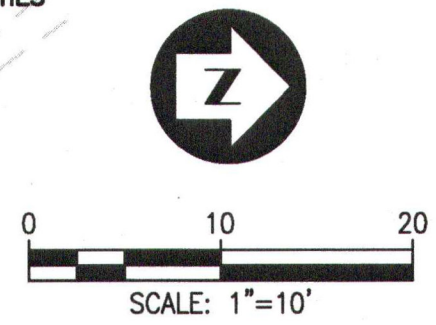
SURVEY NOTE

EXISTING ELEVATIONS AND 5' CONTOURS SHOWN HEREON REPRESENT
A BEST FIT COMPILATION OF COUNTY OF ORANGE GIS DATABASE
AERIAL INFORMATION AND FIELD SHOT ELEVATIONS FROM TOPOGRAPHIC
SURVEY PREPARED BY TOAL ENGINEERING, INC. DATED 10-24-2013.

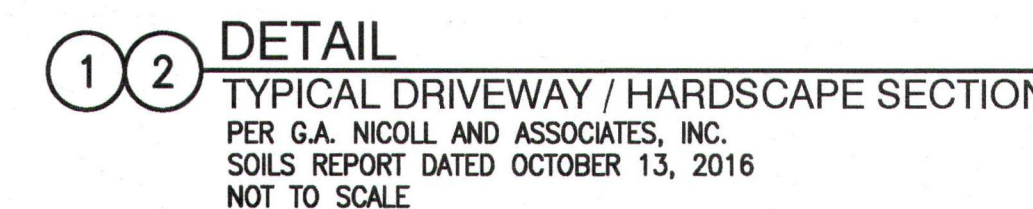
EASEMENTS OF RECORD

EASEMENTS OF RECORD PER PRELIMINARY TITLE REPORT PREPARED BY
WESTERN RESOURCES TITLE COMPANY AS ORDER No. 93620 (AF) AND
DATED MARCH 16, 2015.

5. EASEMENTS AND SERVITUDES AS THEY APPEAR ON MAPS, OR IN DOCUMENTS RECORDED IN THE OFFICIAL RECORDS OF SAID COUNTY 40' WIDE EASEMENT FOR INGRESS AND EGRESS AND FOR PUBLIC UTILITY PURPOSES PER PM 1-44 AS SHOWN ON P.M.B. 12/33. (PLOTTED HEREON)



		CONC. PAVING	PAVERS
A	MIN. THICKNESS	6"	—
B	MIN. GRAVEL/SAND THICKNESS	—	6"
C	MIN. REINFORCEMENT (O.C. / E.W.)	#4@12"	—
D	MAX. SAWCUT OR COLD JT. SPACING	10'	—

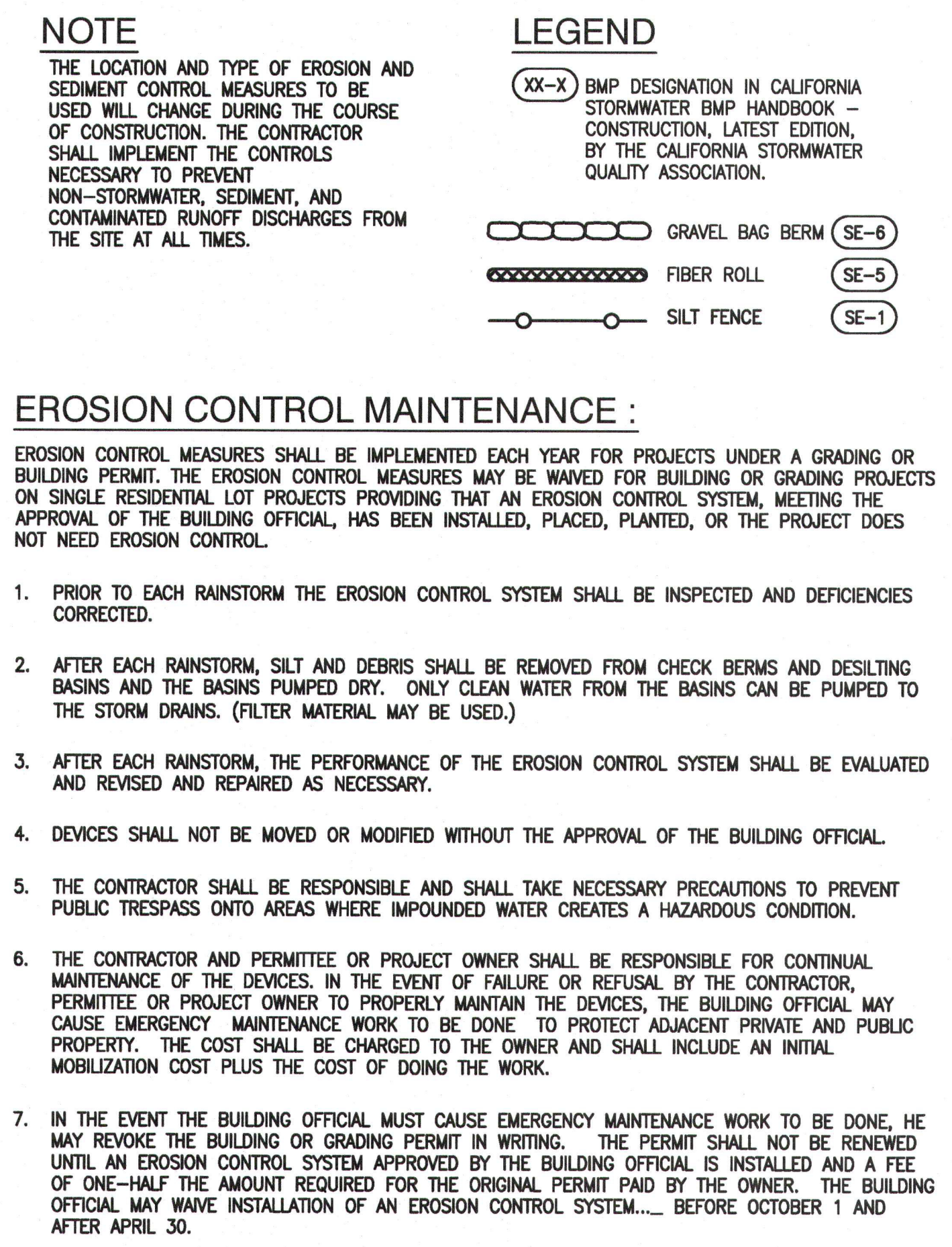


SECTION NOTES:

1. ACTUAL LIMITS OF EXCAVATION TO BE DETERMINED IN THE FIELD BY THE SOILS ENGINEER.
2. RETAINING WALLS SHOWN FOR REFERENCE ONLY. TO BE CONSTRUCTED PER SEPARATE PLANS AND PERMIT.
3. FOR FOOTING AND FOUNDATION PLANS, SEE STRUCTURAL DRAWINGS.
4. RETAINING WALL BACKFILL SHALL CONFORM TO THE SOILS REPORT AND THE STRUCTURAL DRAWINGS.

CONSTRUCTION NOTES

- (1) - CONSTRUCT CONC. DRIVEWAY AND HARDSCAPE. SEE DETAIL ON SHEET C3.
- (2) - CONSTRUCT CONC. PAVERS. SEE DETAIL ON SHEET C3.
- (3) - INSTALL 6" Ø PVC DRAIN PIPE SYSTEM (SCH. 40)
- (4) - INSTALL 4" Ø PVC DRAIN PIPE SYSTEM (SCH. 40 OR SDR35.)
- (5) - CONSTRUCT 24" WIDE CONC. V-DITCH. SEE DETAIL ON SHEET C3.
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- (7) - INSTALL 6" FLAT GRATE NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL.
- (8) - INSTALL 12" ATRIUM GRATE NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL.
- (9) - INSTALL 18" SQ. DRAINBOX (BROOKS 1818CB) W/ TRAFFIC RATED GRATE.
- (10) - INSTALL 18" ATRIUM GRATE NDS TYPE 1881 W/ RISER & ADAPTOR OR EQUAL.
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- (12) - INSTALL DRAINAGE SPREADER DEVICE. SEE DETAIL ON SHEET C3.
- (13) - INSTALL SUBDRAIN PER SOILS REPORT. SEE DETAIL ON SHEET C3.
- (14) - INSTALL 5" WIDE TRENCH DRAIN W/ TRAFFIC GRATE (NDS 864 OR EQUAL).
- (15) - INSTALL 6" SQ. DRAINBOX (BROOKS 66CB) W/ TRAFFIC RATED GRATE.



EROSION CONTROL BMPs		
EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION
TEMPORARY SEDIMENT CONTROL		
SE-1	SILT FENCE	INSTALL WHERE SHOWN ON PLAN.
SE-5	FIBER ROLL	INSTALL WHERE SHOWN ON PLAN.
SE-6	GRAVEL BAG BERM	PLACE AS SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED AND SEDIMENT COLLECTED AND PROPERLY DISPOSED OF, ON OR OFF-SITE, ON A DAILY BASIS.
WIND EROSION CONTROL		
WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE FROM ANY DISTURBED AREAS DURING CONSTRUCTION.
TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION EXIT	CONSTRUCT WHERE SHOWN ON PLAN.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-1	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTIONS.
WM-2	MATERIAL DELIVERY AND STORAGE	IF MATERIALS ARE STORED ON SITE, THEY SHALL BE STORED IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND.
WM-3	STOCKPILE AREA	STOCKPILES SHALL BE SURROUNDED AND COVERED TO AVOID RUNOFF AND/OR RUN-ON.
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEES SHALL BE EDUCATED ON THE CLASSIFICATIONS OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENTS OF THE CITY.
WM-9	SANITARY/SEPTIC WASTE MANAGEMENT	ON-SITE FACILITIES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
NON-STORMWATER MANAGEMENT		
NS-1	WATER CONSERVATION PRACTICES	MAINTAIN EQUIPMENT TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRINDING OPERATIONS	APPLY PERIMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGES.
NS-7	POTABLE WATER / IRRIGATION	EXERCISE CARE DURING CONSTRUCTION TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

[illegible]

NOTICE TO CONTRACTOR

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
2. ALL EXISTING TOPOGRAPHY AND EXISTING GRADES SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE LINES OR STRUCTURES. (ALL UTILITIES HAVE BEEN INSTALLED).
4. EARTHWORK AND OTHER CONSTRUCTION ITEM QUANTITIES ARE ESTIMATES FOR AGENCY SUBMITTAL OF THIS PLAN AND ARE NOT TO BE USED FOR CONSTRUCTION COST ESTIMATES FOR BIDDING PURPOSES. CONTRACTOR(S) TO DEVELOP OWN QUANTITIES FOR BIDDING PURPOSES.
5. A SOILS INVESTIGATION MUST BE MADE BY A QUALIFIED SOILS ENGINEER AND/OR GEOLOGIST. SOILS AND EARTH ACCEPTABILITY AE NOT UNDER THE PURVIEW OF THE RESPONSIBILITY OF DESIGN ENGINEER OF THIS PLAN. THE DESIGN ENGINEER DOES NOT TEST OR OBSERVE SOILS CONDITIONS PRIOR TO, DURING OR AFTER CONSTRUCTION AND HAS NO RESPONSIBILITY FOR SOILS (EARTH) STRUCTURES. (N/A)
6. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.
7. AN EASEMENT SEARCH WAS CONDUCTED FOR THIS PROJECT. THERE IS ONLY ONE ROAD EASEMENT AS NOTED ON THE TOPOGRAPHIC SURVEY.
8. ALL RETAINING WALL DESIGNS, T.W., T.F., STRUCTURAL, THICKNESS, SUBDRAINS, ETC. ARE TO BE BUILT PER STRUCTURAL ENGINEER, AND NOT BY INFORMATION SHOWN ON THIS PLAN. DESIGN OF RETAINING WALLS IS BY OTHERS, NOT TOLM ENGINEERING.
9. ALL SURFACE DRAINAGE, INCLUDING SHEET, SWALE OR DRAINAGE PIPES WILL NEED TO BE MAINTAINED FOR THE LIFE OF THE PROJECT. IT IS UP TO THE OWNER OF THE PROPERTY TO PERIODICALLY INSPECT AND MAINTAIN THE DRAINAGE TO ASSURE THAT NO BLOCKAGE OCCURS. CARE SHOULD BE TAKEN SO AS TO NOT OVER WATER, THEREBY CAUSING SOILS SATURATION.

GRADING NOTES

- (1) ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE COUNTY OF ORANGE AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF OCPW STANDARD PLANS SHALL BE RETAINED ON THE SITE.
- (2) GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, GEOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING. (GRADING 7 CU. YDS.; NO PRE-GRADING MEETING REQUIRED).
- (3) ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN. (GRADING PERMIT NOT REQUIRED).
- (4) THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS. (NOT REQUIRED).
- (5) PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE OC PLANNING, GRADING SECTION, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN. (NOT REQUIRED).
- (6) THE SOIL ENGINEER AND THE ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- (7) THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW. (NOT REQUIRED).
- (8) THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON. (NO FILL).
- (9) SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- (10) THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
- (11) AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOILS ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL. (NOT REQUIRED. NO FILL.)
- (12) FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER O.C.P.W. STANDARD PLAN NO. 1322. (N/A)
- (13) ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS. (THERE ARE NO FILLS).
- (14) FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE DENSITY. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO MINIMUM OF 95% RELATIVE DENSITY. MAXIMUM DENSITY SHALL BE DETERMINED BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT, AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT. (N/A)
- (15) CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE. (N/A)
- (16) ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL. (N/A)
- (17) WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPE IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND PROVIDE RECOMMENDATIONS AS NECESSARY FOR THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF SLOPE AND ADJACENT STRUCTURES UPON COMPLETION. (N/A)
- (18) WHEN CUT PADS ARE BROUGHT NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER A COMPACTED FILL BLANKET WILL BE PLACED. (N/A)
- (19) ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE. (N/A)
- (20) ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED, OR CRUSHED IN PLACE, AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER. (N/A)
- (21) ANY EXISTING WATER WELLS SHOULD BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH. (N/A)
- (22) ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF OC PLANNING/BUILDING INSPECTION. (N/A)
- (23) STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICAL PRIOR TO EXCAVATION.
- (24) EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE DISTRICT GRADING INSPECTOR. (N/A)
- (25) THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OR EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS. (N/A)
- (26) THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- (27) THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- (28) ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.

GRADING NOTES (cont.)

- (29) SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL.
- (30) ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- (31) SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- (32) THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- (33) APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING. (N/A)
- (34) GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE-HALF MILE OF A HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8:00 P.M. AND 7:00 A.M. DAILY, ON SUNDAY OR DN A FEDERAL HOLIDAY.
- (A) ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000' OR A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- (B) ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
- (C) STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OR GRADING PERMIT.
- (35) GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AQMD MEASURES F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
- (36) ASPHALT SECTIONS MUST BE PER CODE: PARKING STALLS = 3" A/C OVER 6" A/B, DRIVES 3: A/C OVER 10" (COMM) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE DISTRICT GRADING INSPECTOR. THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON "R" VALUE ANALYSIS OF THE SUBGRADE SOILS, AND EXPECTED TRAFFIC INDICES. (N/A)
- (37) ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF OCPW STANDARD PLAN 1805.
- (38) AGGREGATE BASE SECTION SHALL BE CONSTRUCTED PER OCPW STANDARD PLAN 1804.
- (39) ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.
- (40) THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SWALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS. (N/A)
- (41) PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION. (N/A)
- (42) THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING. (N/A)
- (43) THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL. (N/A)
- (44) THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN. (N/A)
- (45) IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND OC PLANNING/GRADING.

EROSION CONTROL NOTES

- (46) IN CASE OF EMERGENCY CALL: JOHN REED AT: (619) 861-9599 OR: (949) 888-8069
- (47) EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT. (WILL NOT WORK ON GRADING DURING RAINY SEASON).
- (48) EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICAL.
- (49) ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- (50) AFTER A RAINSTORM ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS & BASINS.
- (51) GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- (52) THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- (53) THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

ENVIRONMENTAL NOTES

- (54) THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- (55) PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR, OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- (56) PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

ENVIRONMENTAL NOTES (cont.)

- (57) DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- (58) SPECIAL NOTE: SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.
- (59) THIS LOT WAS GRADED IN THE 1960'S. IT WAS USED AS A BORROW PIT TO PROVIDE FILL FOR TE CONSTRUCTION OF CANYON CREEK ROAD. CONSEQUENTLY, THE HOUSE BEING BUILT WILL WEIGH LESS THAN THE MATERIAL REMOVED TO BUILD CANYON CREEK ROAD, THIS WILL PRECLUDE LONG-TERM SETTLEMENT OF THE STRUCTURE.

NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) NOTES:

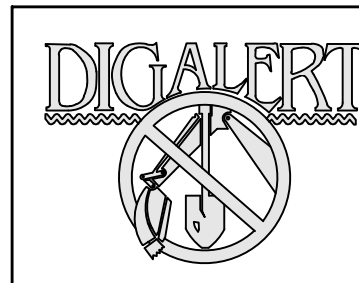
1. IN THE CASE OF EMERGENCY, CALL JOHN REED AT TELEPHONE # (619) 861-9599
2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
4. APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, AND SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 & 302.
9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLES/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPER-CHLORINATED POTABLE WATER LINE FLUSHING.
- DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
10. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO THE STREETS, DRAINAGE FACILITIES OF ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
18. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

CALIFORNIA CIVIL CODE (SECTION 832)

LATERAL AND SUBJACENT SUPPORT; EXCAVATION; DEGREE OF CARE; DAMAGES; PROTECTION OF OTHER STRUCTURES.

EACH COTERMINOUS OWNER IS ENTITLED TO THE LATERAL AND SUBJACENT SUPPORT WHICH HIS LAND RECEIVES FROM THE ADJOINING LAND, SUBJECT TO THE RIGHT OF THE OWNER OF THE ADJOINING LAND TO MAKE PROPER AND USUAL EXCAVATIONS ON THE SAME FOR PURPOSES OF CONSTRUCTION OR IMPROVEMENT, UNDER THE FOLLOWING CONDITIONS:

1. ANY OWNER OF LAND OR HIS LESSEE INTENDING TO MAKE OR TO PERMIT AN EXCAVATION SHALL GIVE REASONABLE NOTICE TO THE OWNER OR OWNERS OF ADJOINING LANDS AND OF BUILDINGS OR OTHER STRUCTURES, STATING THE DEPTH TO WHICH SUCH EXCAVATION IS INTENDED TO BE MADE, AND WHEN THE EXCAVATING WILL BEGIN.
2. IN MAKING ANY EXCAVATION, ORDINARY CARE AND SKILL SHALL BE USED, AND REASONABLE PRECAUTIONS TAKEN TO SUSTAIN THE ADJOINING LAND AS SUCH, WITHOUT REGARD TO ANY BUILDING OR OTHER STRUCTURE WHICH MAY BE THEREON, AND THERE SHALL BE NO LIABILITY FOR DAMAGE DONE TO ANY SUCH BUILDING OR OTHER STRUCTURE BY REASON OF THE EXCAVATION, EXCEPT AS OTHERWISE PROVIDED OR ALLOWED BY LAW.



RETAINING WALLS ARE SHOWN FOR INFORMATION ONLY, AND ARE TO BE INSPECTED BY OTHERS UNDER A SEPARATE PERMIT.

OWNER
COL. & COL. JOHN REED
30122 CANYON CREEK ROAD
TRABUCO CANYON, CA 92679
TEL: (949) 888-8069,
(619) 861-9599
EMAIL: republican@yahoo.com

ARCHITECT
LOHMBACH STUDIO
31742 S. COAST HIGHWAY
LAGUNA BEACH, CA 92651
TEL: (949) 661-5088

LEGAL DESCRIPTION
PARCEL 3, P.M.B. 12/33
TRABUCO CANYON, ORANGE COUNTY,
CALIFORNIA

JOB ADDRESS
30122 CANYON CREEK DRIVE
TRABUCO CANYON, CA 92679

BASIS OF BEARINGS
BEING THE CENTERLINE OF CANYON
CREEK ROAD, PER PARCEL 3,
P.M.B. 12/33, SHOWN HEREON AS
N 19°10'36" W.

BENCH MARK
ORANGE COUNTY SURVEYOR'S B.M.
DESIGNATED 3W-47-77
ELEV. 1199.572
NAVD 88 DATUM, 1990 ADJ.



VICINITY MAP
NOT TO SCALE



COUNTY OF ORANGE PLAN CHECK NO. _____

THESE PLANS ARE PREPARED
UNDER THE DIRECTION OF

Caleb Rios R.C.E. 57587
Exp. 12-31-15



TOAL ENGINEERING, INC.

Civil Engineers and Land Surveyors
139 Avenida Navarro, San Clemente, Calif. 92672
Ph: 949-492-8586 Fax: 949-498-8625

SHEET **C1** OF **2**
JOB NO.
15176

GRADING PLAN UNDER 50 CU. YDS.
PARCEL 3, P.M.B. 12/33
30122 CANYON CREEK DRIVE, TRABUCO CANYON, CA
PREPARED FOR **JOHN REED**

SHEET INDEX

TITLE SHEET

PRECISE GRADING PLAN

C1

C2

