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Architectural

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A-2.0	Building Elevations
A-3.0	Building Sections

Landscape

LC-1	Landscape Construction Plan
LP-1	Planting Plan

Civil

C1	Preliminary Grading Plan
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Project Data

Legal Description

Lot:	Lot 1
Tract:	976
APN:	

Site General

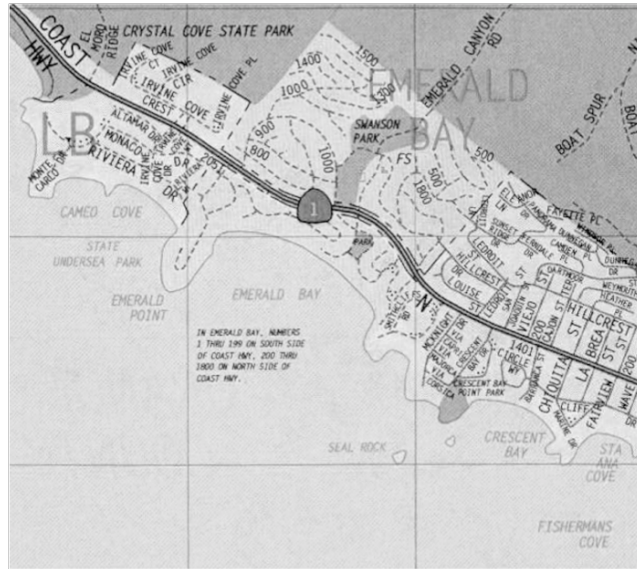
Approximate Site Area:	2,831 sf
Max. Allowable Coverage:	1,132.4 sf
Existing Coverage:	49.5% ±1,400 sf
Proposed Coverage: 39.95%	1,131 sf

Proposed Residence

Upper Level	1,067 sf
Mid-Level	997 sf
Basement Level (Street)	574 sf
Sub-Basement Level (Underground)	1,111 sf
Total Floor Area (Parking Calculation)	3,749 sf

2-Car Garage	430 sf
Total Project	4,179 sf

Upper Level Deck	396 sf
Mid Level Deck	519 sf
Total Deck Area	915 sf



ARCHITECT: C.J. Light Associates 1401 Quail Street, Suite 120 Newport Beach, CA 92660 (949) 851-8345 Fax 851-1116 Architect: Christian R. Light Contact: Victor Rogel	LANDSCAPE: Jonathan Berger Design 113 Cantera Circle Santa Fe, NM 87501 (917) 576-9035 Contact: Jonathan Berger	CIVIL ENGINEER: Toal Engineering, Inc. 139 Avenida Navarro San Clemente, CA 92672 (949) 492-8586 Fax 498-8625a Contact: Caleb Rios	SOILS ENGINEER: Geofirm Geosciences 801 Glenneyre St., Suite F Laguna Beach, CA 92651 (949) 494-2111 Contact: Erik Hilde	STRUCTURAL ENGINEER: LC Engineering Group, Inc. 889 Pierce Court, Suite 101 Thousand Oaks, CA. 91360 (818) 991-7148 Contact: Britten Pond	OWNER: Stephen F Bennett 53 Emerald Bay Laguna Beach, CA 92651
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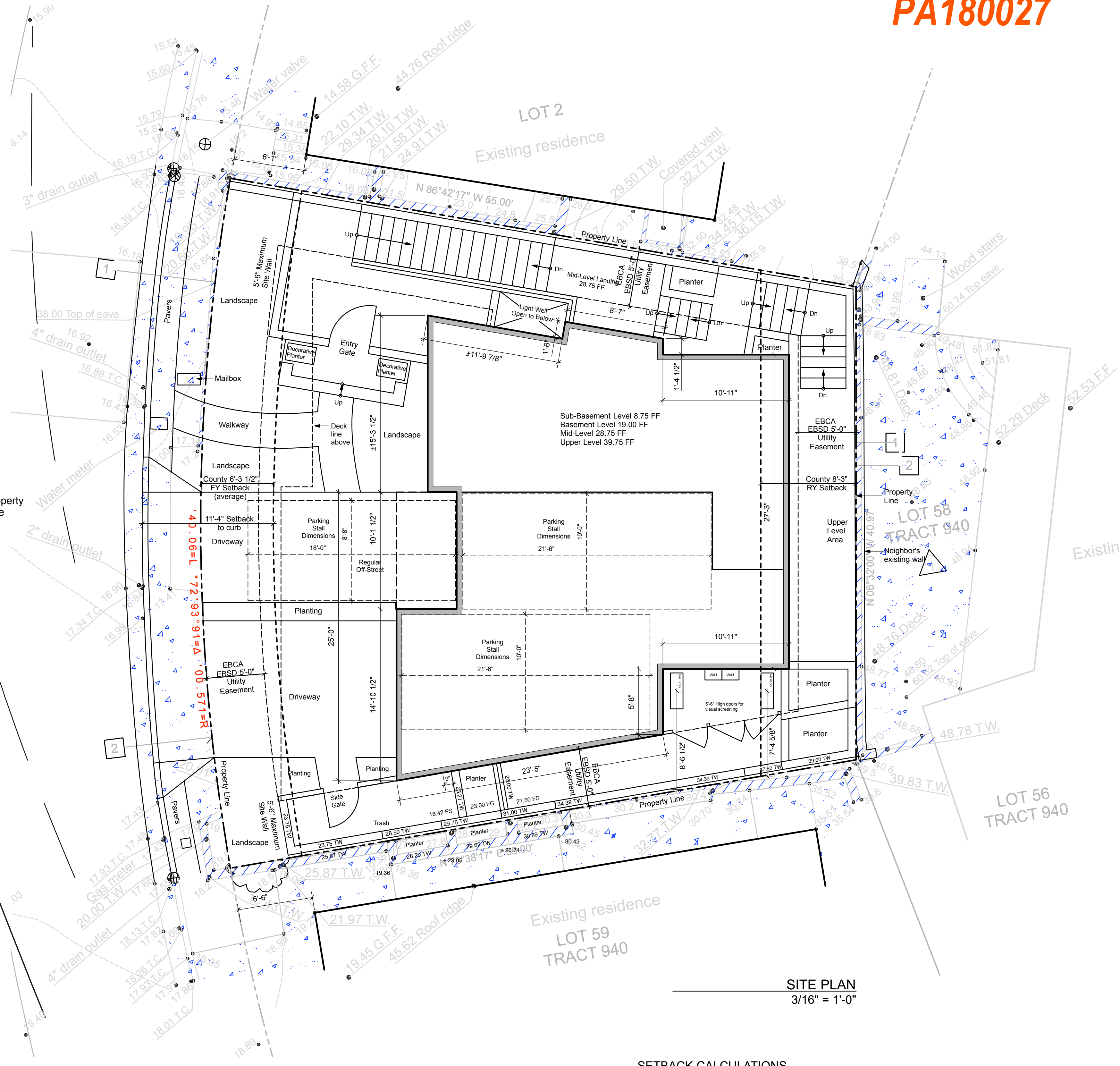
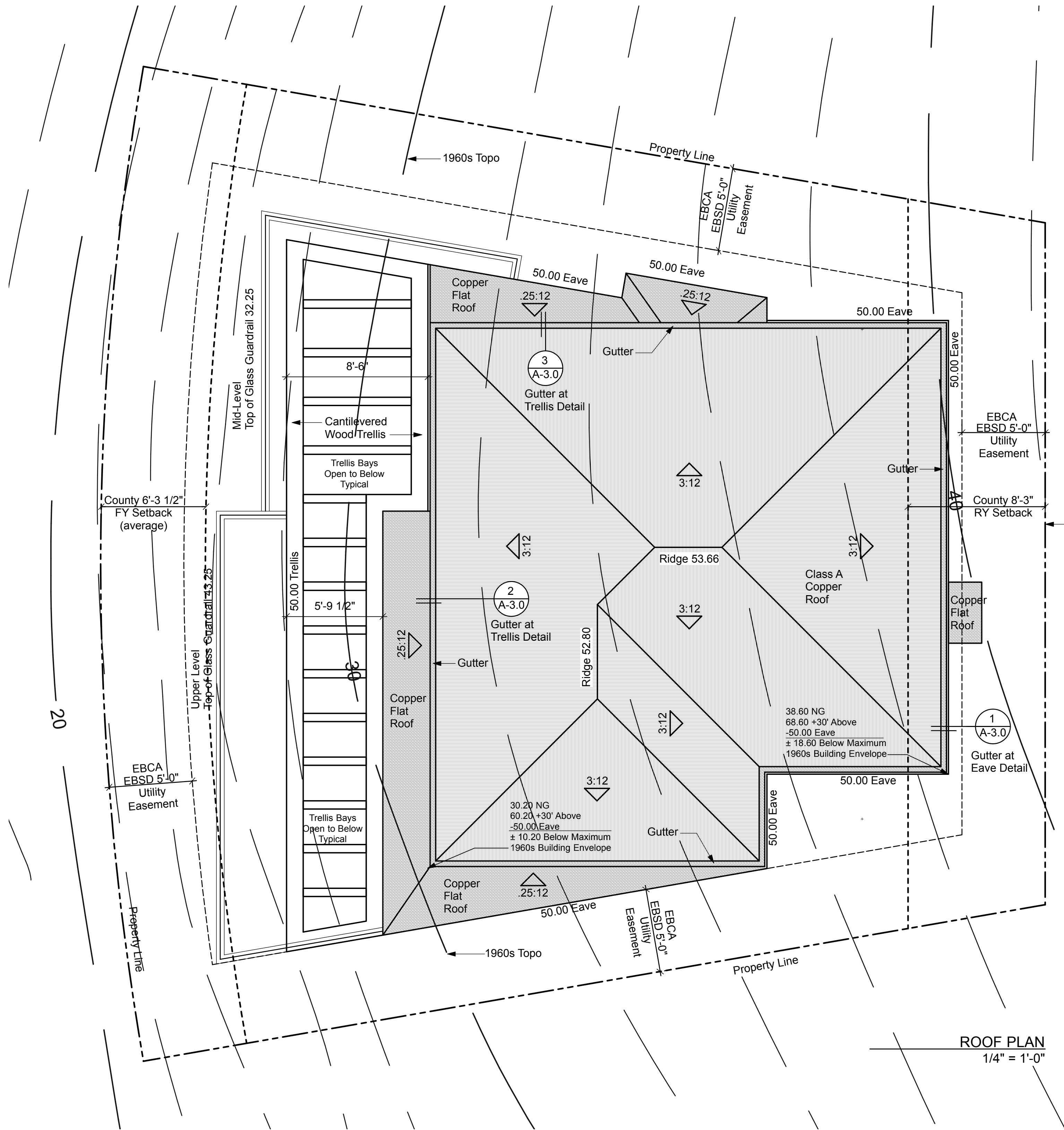
Christian R. Light • Architect

BENNETT RESIDENCE

53 Emerald Bay - Laguna Beach - California - 92651

COVER SHEET

EBCA PRELIMINARY SUBMITTAL 8-01-18
EBCA PRELIMINARY SUBMITTAL 9-05-18
COUNTY ZONING SUBMITTAL 10-09-18



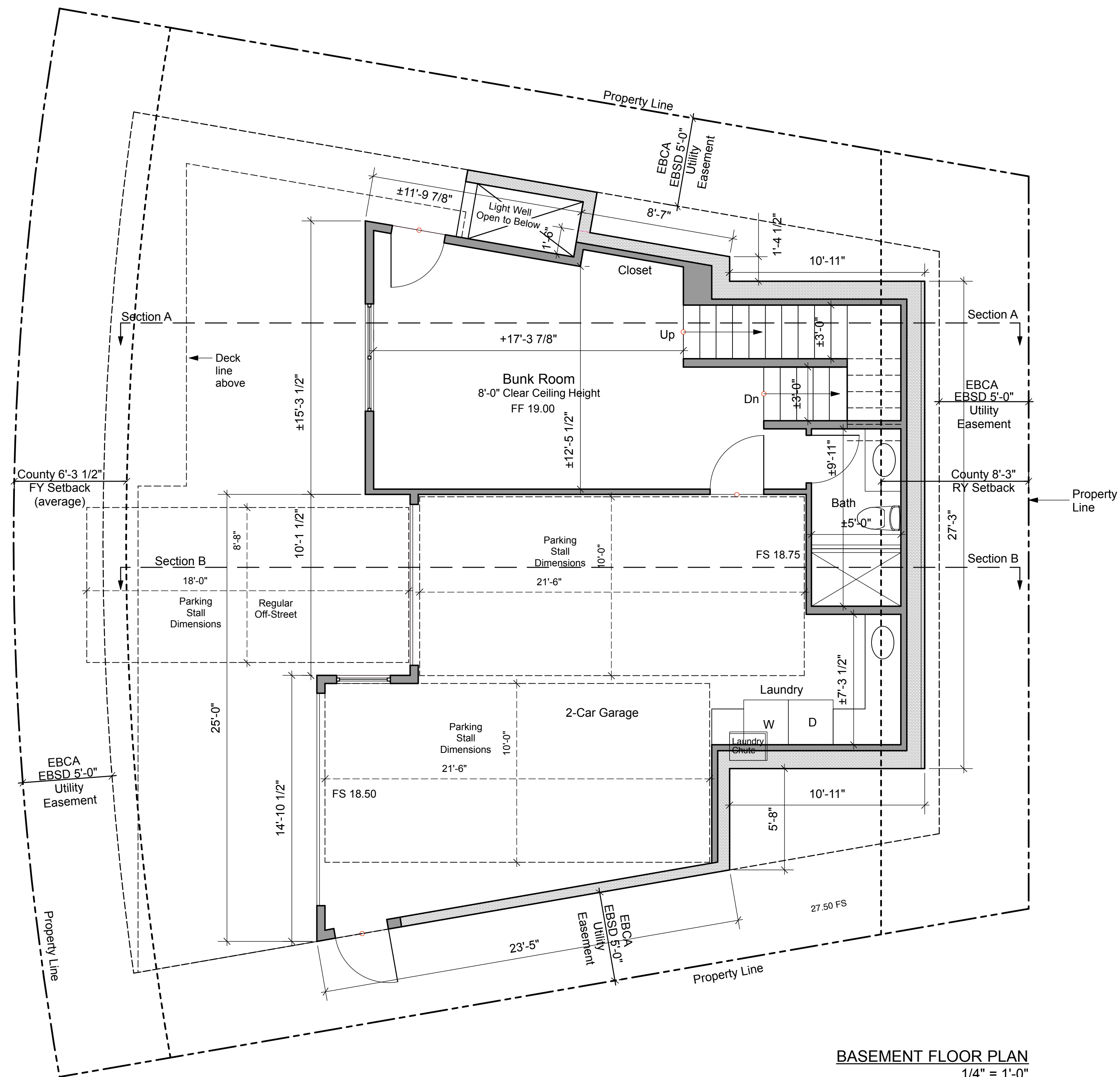
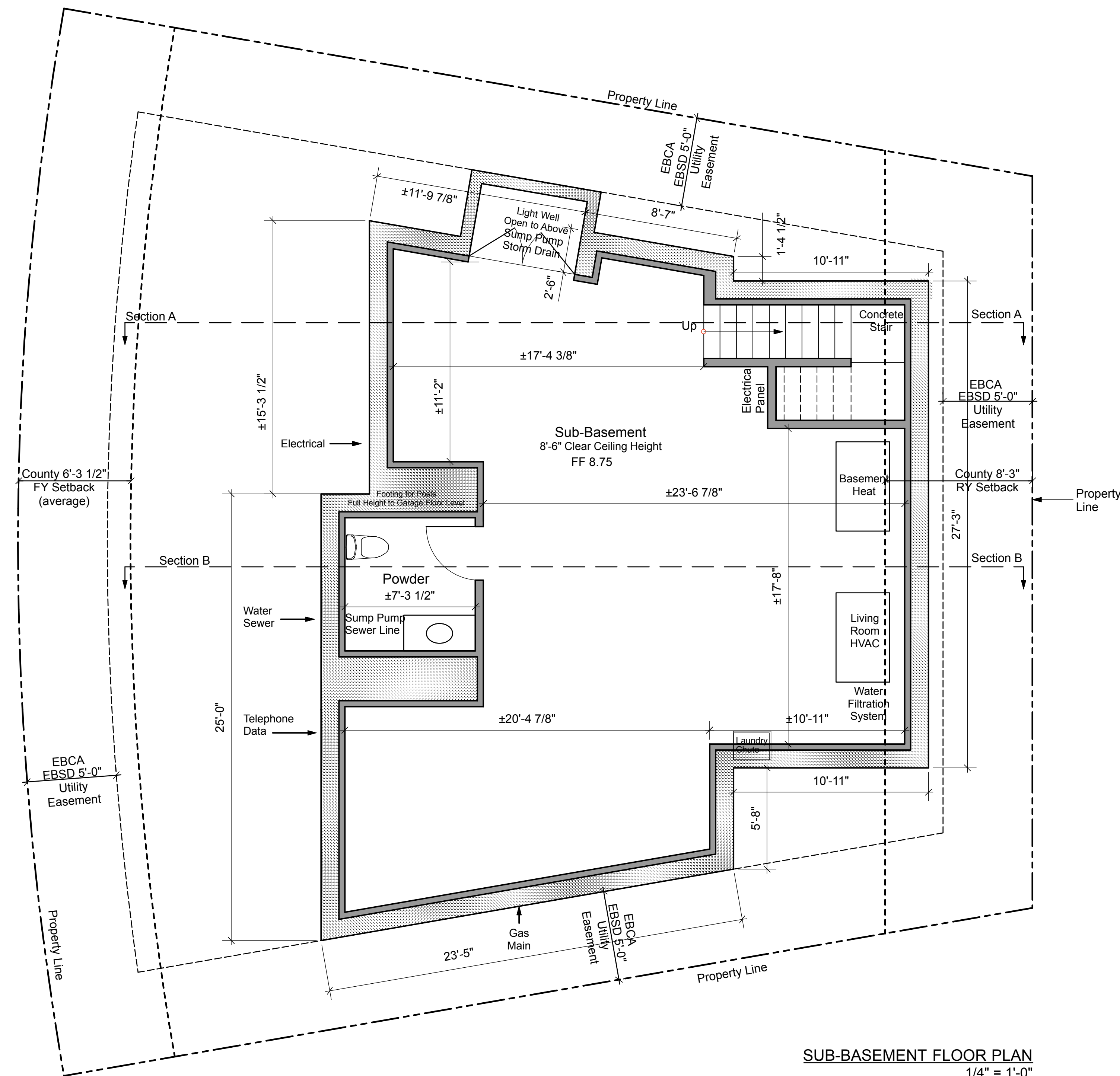
SETBACK CALCULATIONS

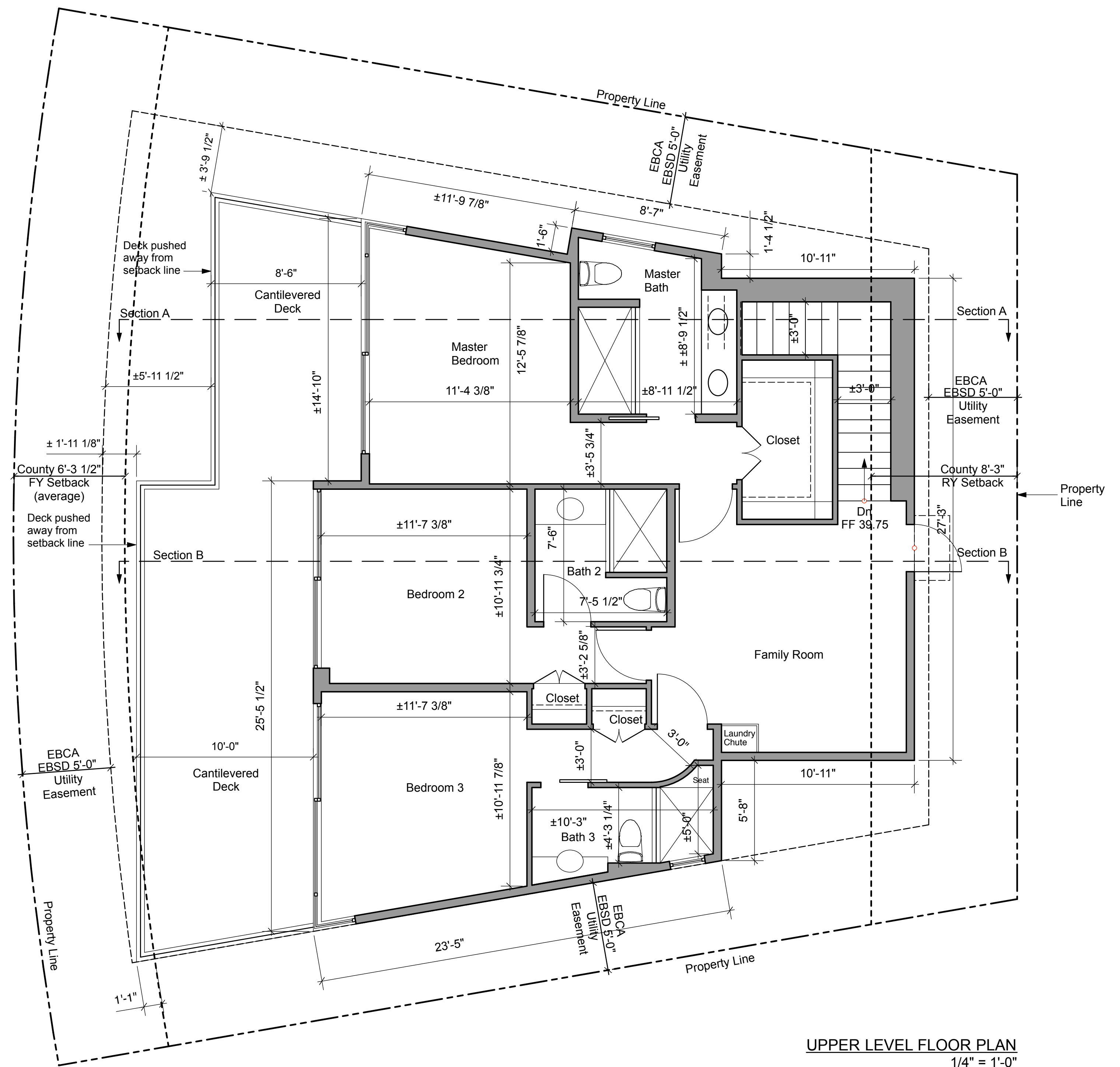
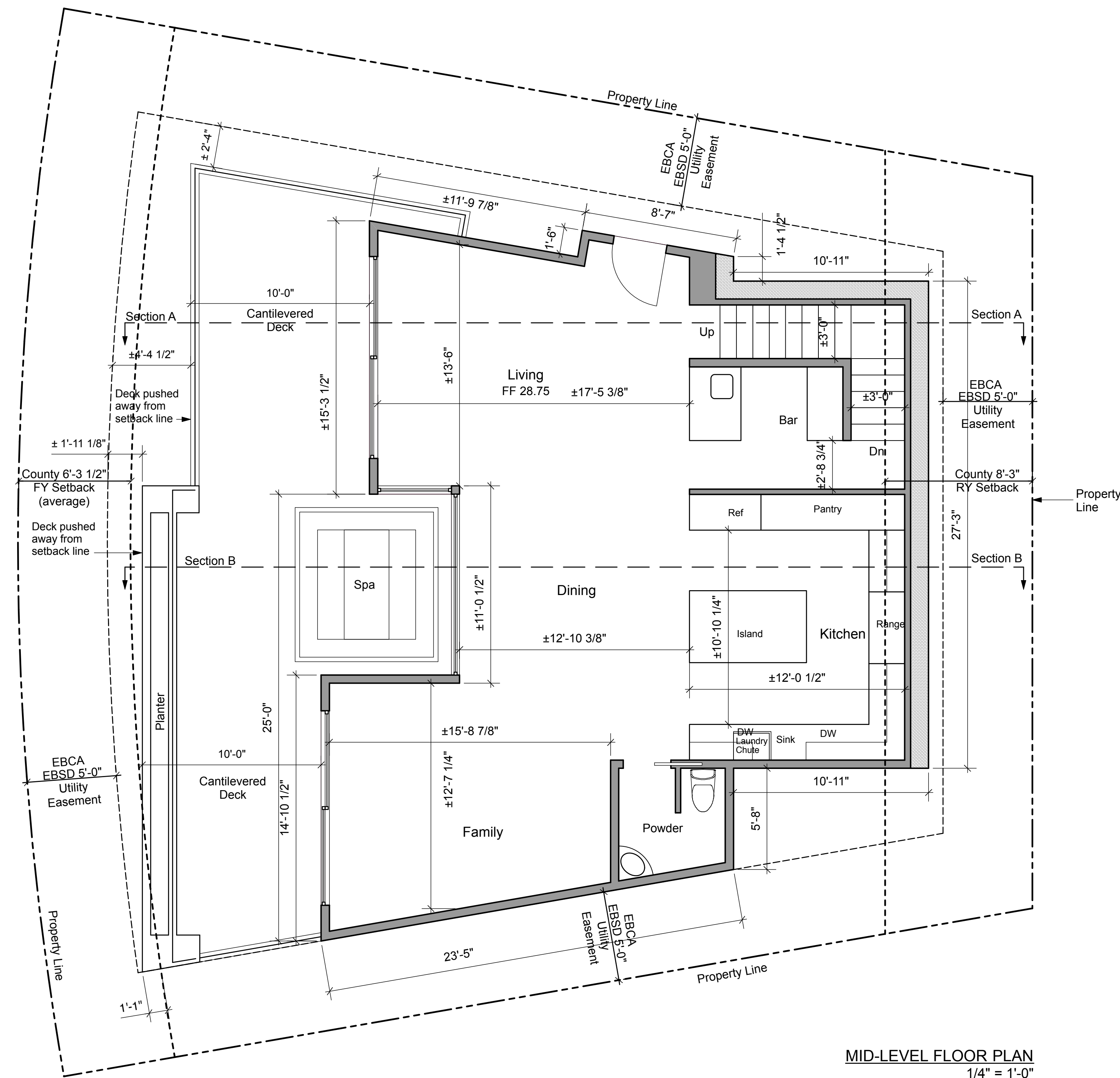
Front Yard Setback Calculation - Average Setback (Sec. 7-9-128.4): $(6'-1'' + 6'-6'') / 2 = 6'-3 \frac{1}{2}''$

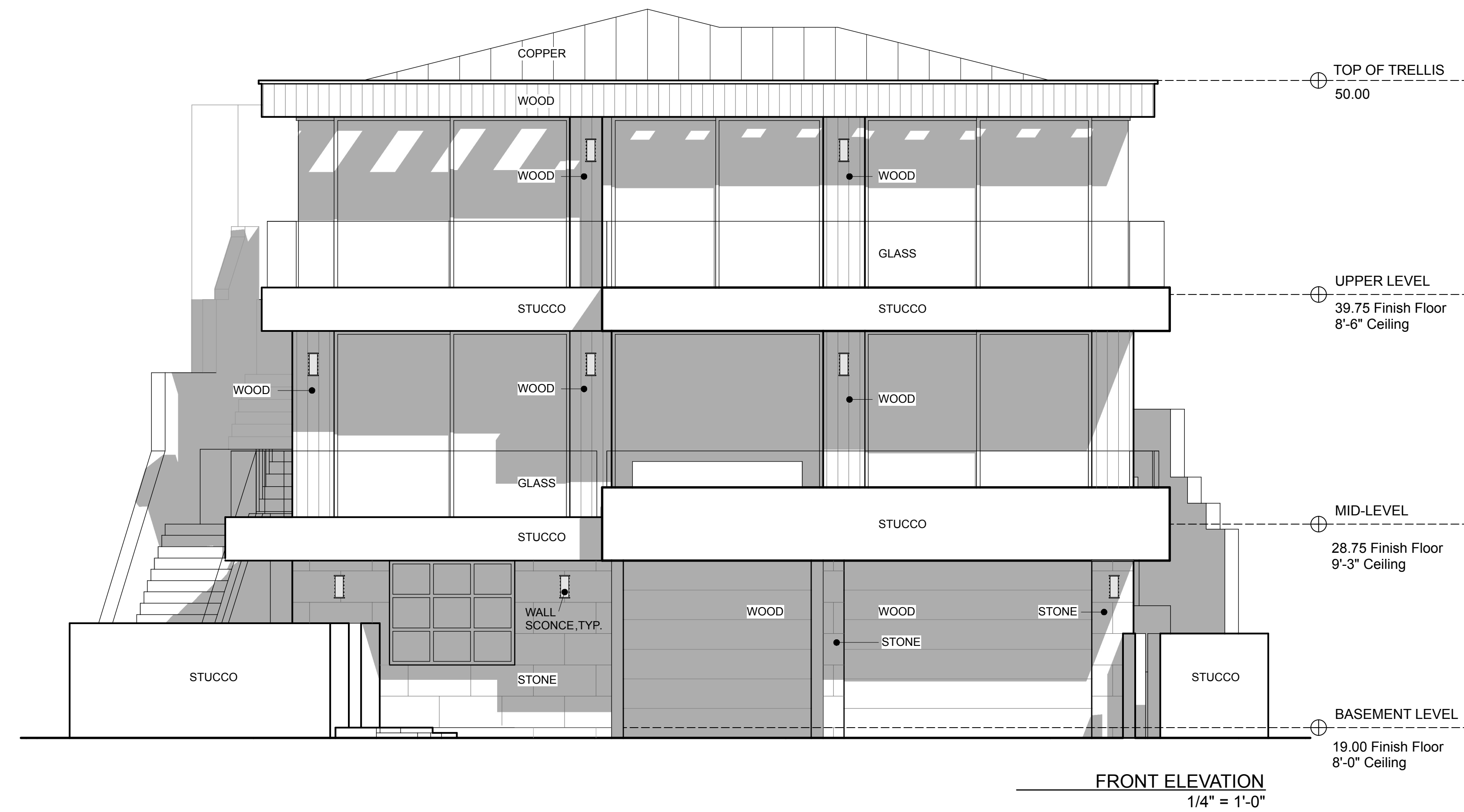
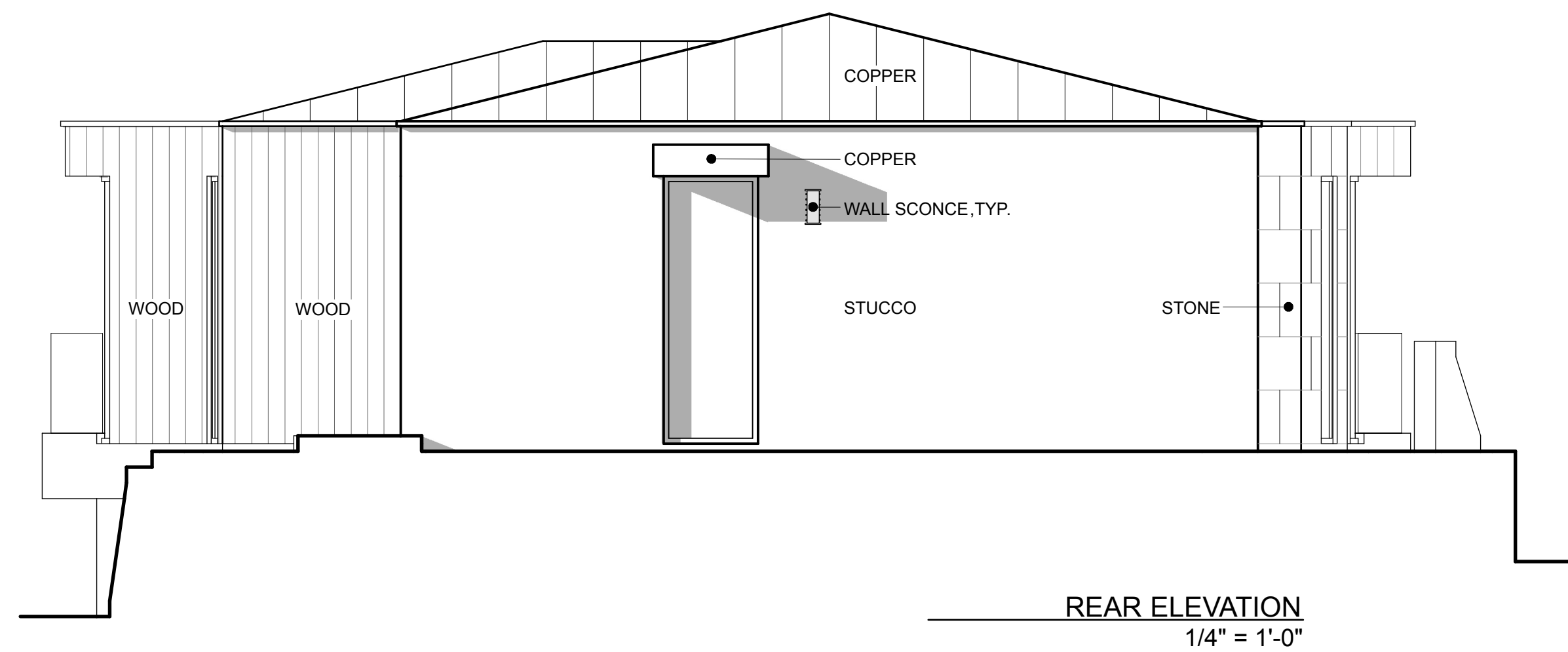
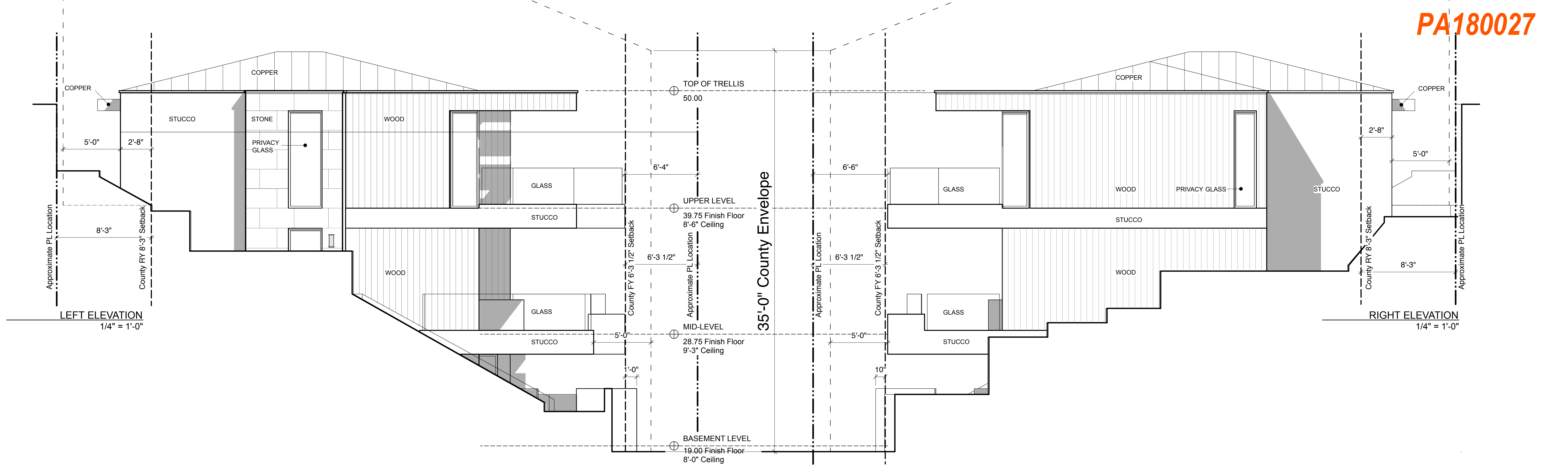
Rear Yard Setback Calculation - Shallow Lot (Sec. 7-9-128.2): $15\% \text{ of average lot depth} - (.15) \times (55') = 8.25'$

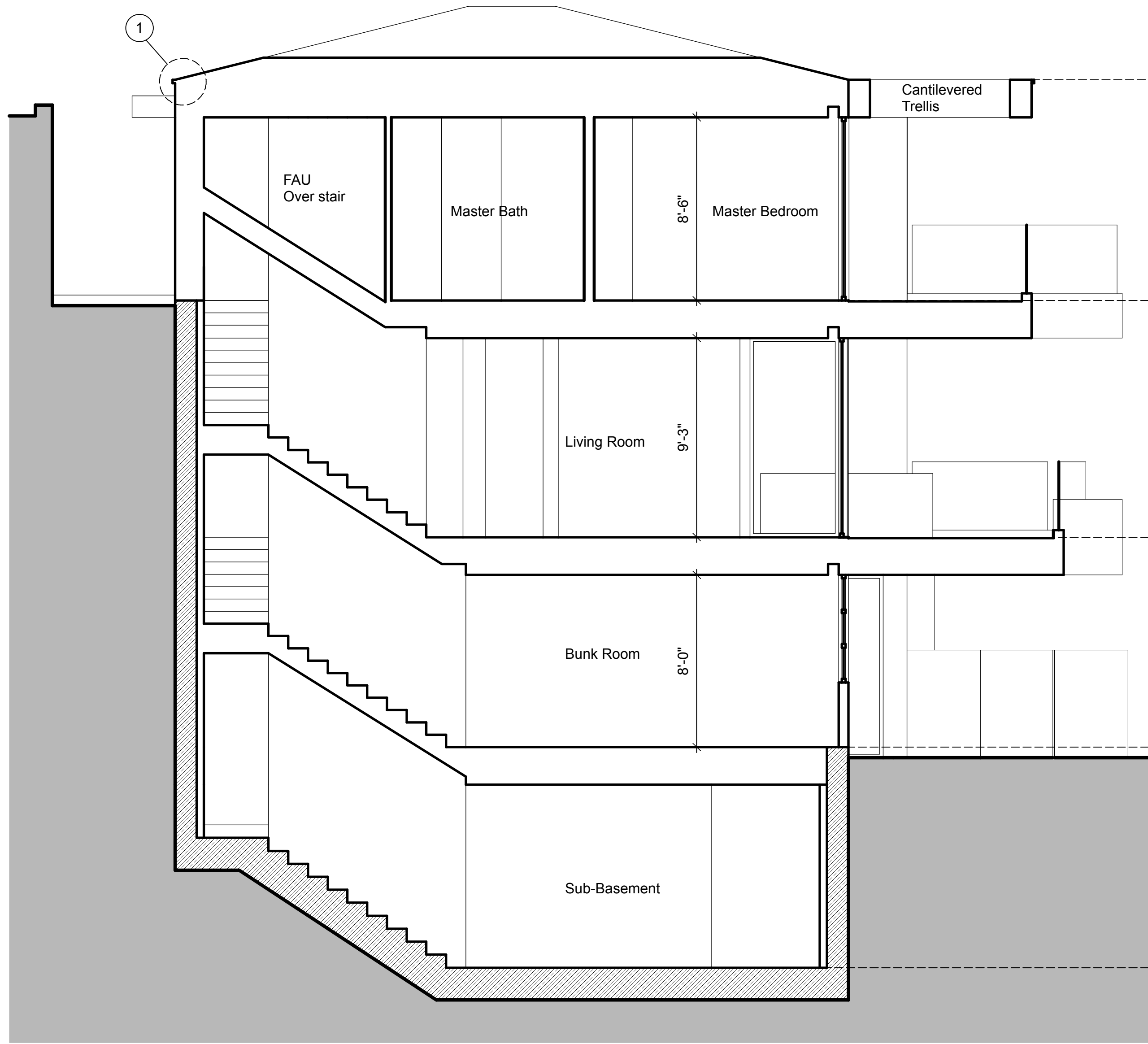
BENNETT RESIDENCE

53 Emerald Bay - Laguna Beach - California - 92651









TOP OF TRELLIS
50.00

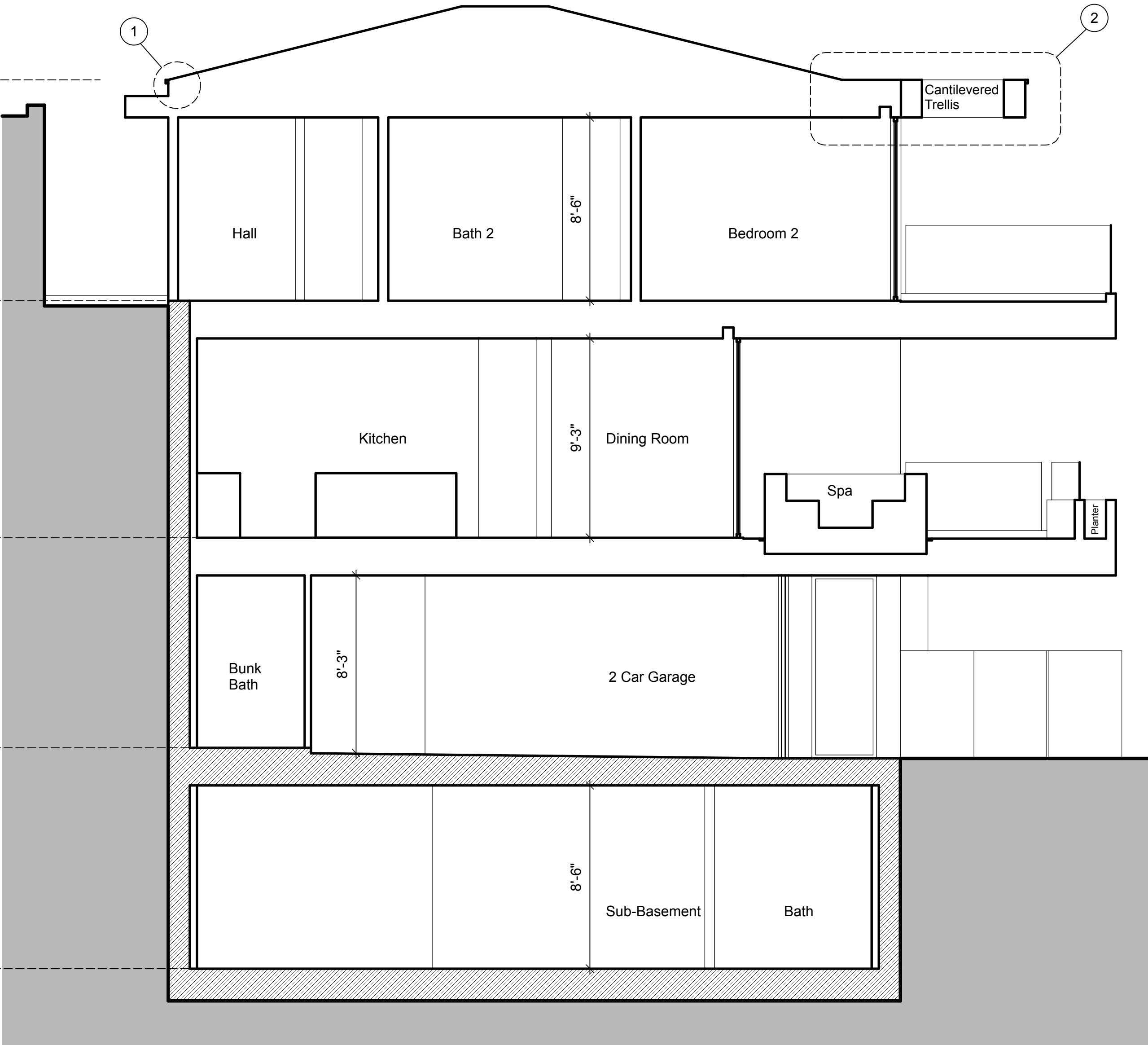
UPPER LEVEL
39.75 Finish Floor
8'-6" Ceiling

MID-LEVEL
28.75 Finish Floor
9'-3" Ceiling

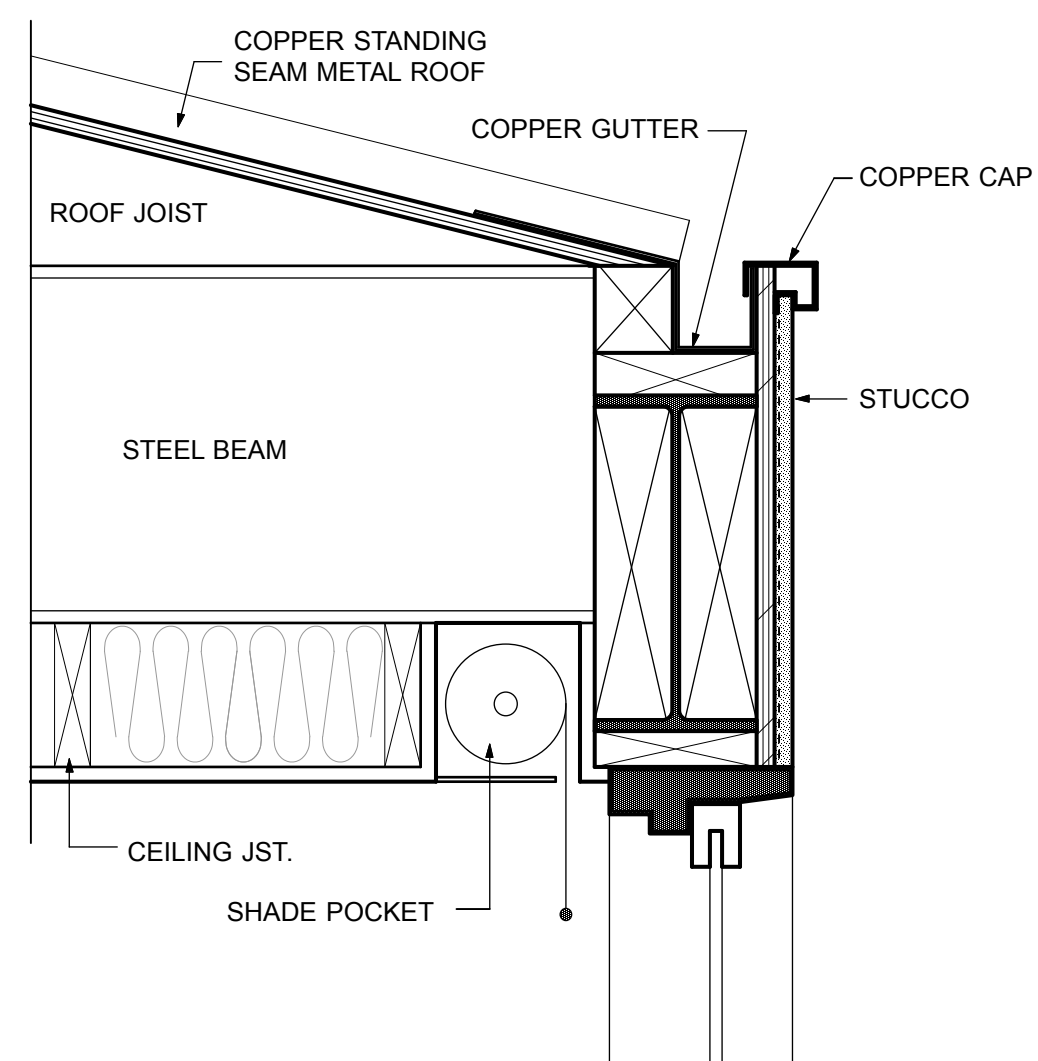
BASEMENT LEVEL
19.00 Finish Floor
8'-0" Ceiling

SUB-BASEMENT LEVEL
8.75 Finish Floor
8'-6" Ceiling

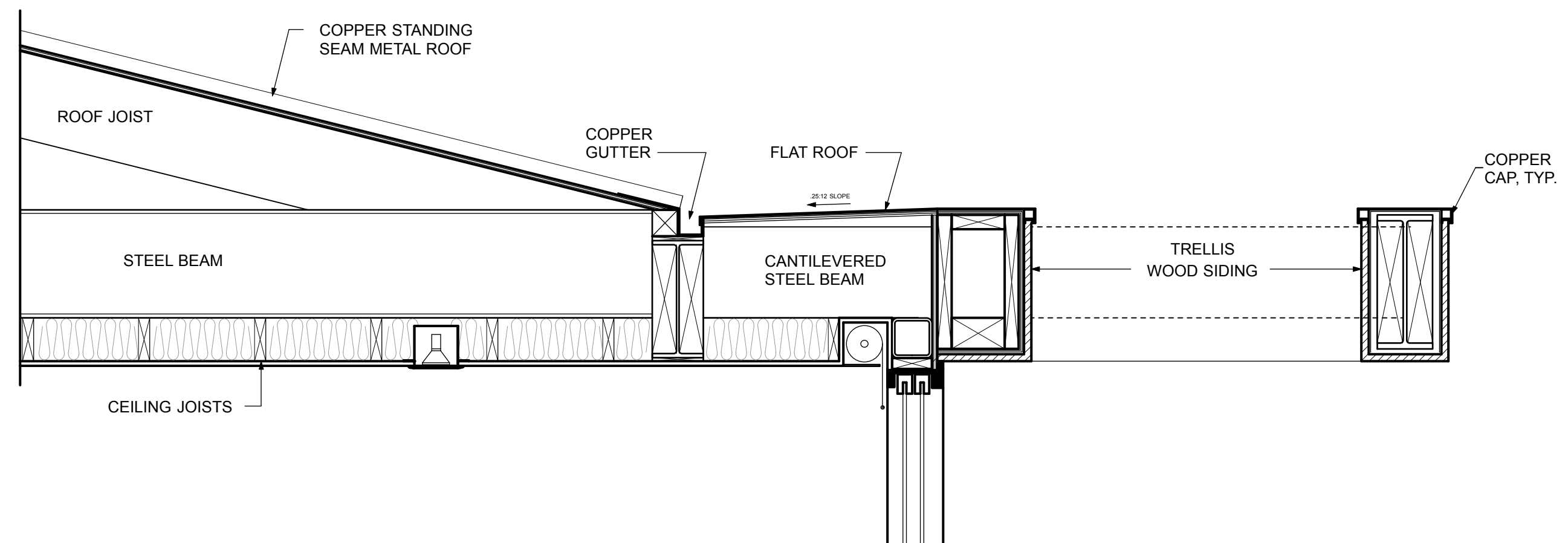
SECTION A-A
1/4" = 1'-0"



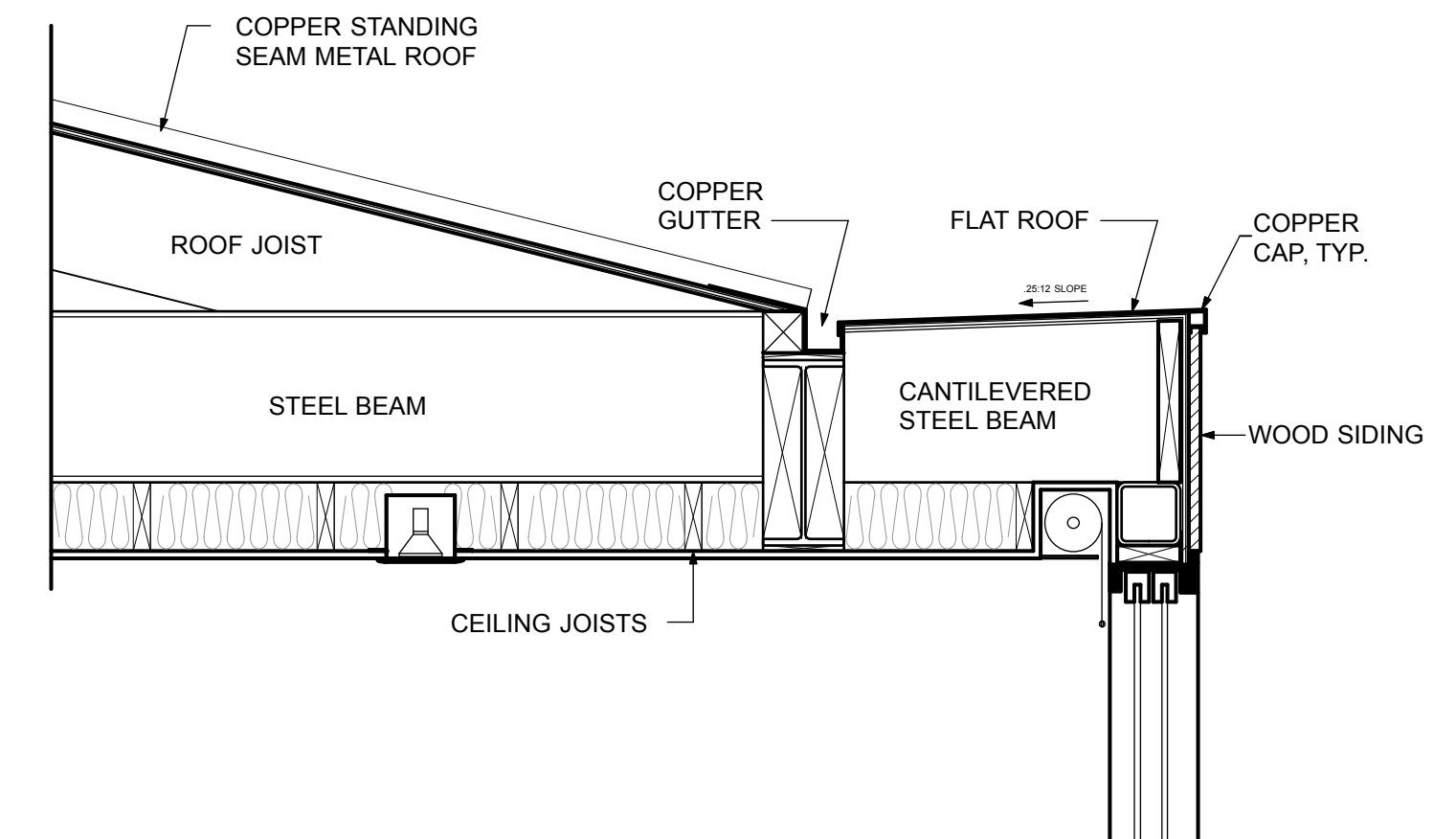
SECTION B-B
1/4" = 1'-0"



GUTTER AT WALL DETAIL
1 1/2"=1'-0" ①



CANTILEVERED TRELLIS / FLAT ROOF DETAIL
3/4"=1'-0" ②



PITCHED ROOF / FLAT ROOF DETAIL
3/4"=1'-0" ③

BENNETT RESIDENCE

53 Emerald Bay - Laguna Beach - California - 92651



BUILDING SECTIONS
EBCA PRELIMINARY SUBMITTAL 8-01-18
EBCA PRELIMINARY SUBMITTAL 9-05-18
COUNTY ZONING SUBMITTAL 10-09-18

139 Avenida Navarro
San Clemente, CA 92672
949.492.8586
www.toalengineering.com

PREPARED FOR:

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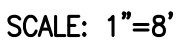
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SURVEY DATE: 06/20/18	V. SCALE: N/A	
GN.: A.A.	DWG. NO.	
MD.: C.R.	C-1	
PD.: C.R.		
JOB NO. 8112	SHEET 1	OF 1

10/16/2018 1:23:35 PM N:\181xx\18112\Drawings\Civil\18112-prelim-gp-01-no sections.dwg

- ①— CONSTRUCT CONCRETE DRIVEWAY.
- ②— CONSTRUCT CONCRETE HARDCAPE.
- ③— CONSTRUCT CONCRETE DRIVE APPROACH.
- ④— CONSTRUCT CONC. SIDEWALK.
- ⑤— INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
- ⑥— INSTALL 6" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
- ⑦— INSTALL 6" ATRIUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL.
- ⑧— INSTALL 6" DECK DRAIN NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL.
- ⑨— INSTALL 9" DECK DRAIN NDS TYPE 940 W/ RISER & ADAPTOR OR EQUAL.
- ⑩— INSTALL SUMP PUMP W/CONCRETE BASE TO RESIST UPLIFT PRESSURE FROM UNDERGROUND WATER.
- ⑪— INSTALL FORCE MAIN, SIZE PER PUMP MANUFACTURERS RECOMMENDATION.
- ⑫— INSTALL 12" SQ. DRAINBOX (BROOKS 1212CB OR EQ.) W/ LIGHT TRAFFIC RATED GRATE.
- ⑬— OUTLET 3" PIPE THRU CURB.
- ⑭— INSTALL SUBDRAIN PER SOILS REPORT RECOMMENDATIONS.

1—EXIST. WALL TO REMAIN, PROTECT IN PLACE.

2—EXIST. WATER METER TO REMAIN, PROTECT IN PLACE.



	<u>AMOUNT</u>	<u>AMOUNT</u>
EXCAVATION (CUT)	685 CY	
EMBANKMENT (FILL)		75 CY
OVEREXCAVATION/RECOMPACTION	N/A	N/A
EXPORT		610 CY
TOTAL	685 CY	685 CY

DISTURBED PROJECT AREA = 0.065 ACRES (2,832 S.F.)

PROPOSED IMPERVIOUS AREA = 0.051 ACRES (2,210 S.F.)

= 0.055 ACRES (2,380 S.F.)

CIVIL ENGINEER OF RECORD APPROVAL REQUIRED PRIOR TO BACKFILL OF ALL DRAIN PIPES, CONTACT CIVIL ENGINEER TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF DRAIN SYSTEM.

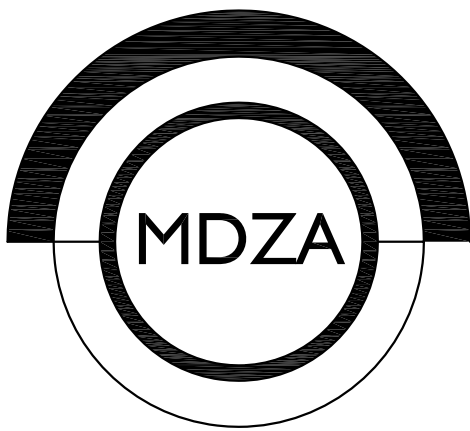
100	EXISTING CONTOUR	PAD	PROPOSED PAD ELEVATION
100	PROPOSED CONTOUR	T/SLAB	PROPOSED TOP OF SLAB
100.00	SPOT ELEVATION	FS	PROPOSED FINISHED SURFACE
	PROPOSED CONCRETE PAVING	FG	PROPOSED FINISHED GROUND
— FM —	PROP. FORCE MAIN	F.F.	PROPOSED FINISHED FLOOR
==4"==	PROPOSED STORM DRAIN	INV	INVERT OF PIPE
— SUB —	PROP. SUBDRAIN	TG	TOP OF GRATE
	DEEPEENED FOOTING	P.L.	PROPERTY LINE
	PROPOSED WALL	TW	TOP OF WALL
	EXISTING SCREEN WALL	TF	TOP OF FOOTING
	PROPOSED SCREEN WALL	W.F.	WATER FEATURE
	PROPOSED PLANTER WALL	T.P.	TOP OF PILASTER
	PROPOSED RETAINING WALL	P.A.	PLANTER AREA
---	GRADING LIMITS	H.P.	HIGH POINT

OCSBM E-783
ELEV=97.396
NGVD29 DATUM, 2004 ADJ.

ALL EASEMENTS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PER A
PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, ORDER
NO. 58601804296-JFA DATED MAY 23, 2018 UNLESS NOTED OTHERWISE.

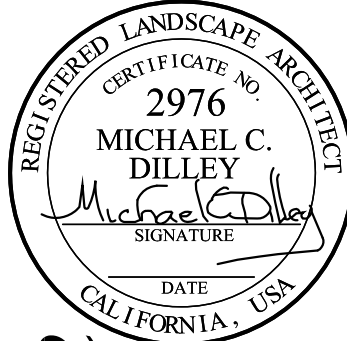
- 1 ITEM 8 OF THE PRELIMINARY TITLE REPORT, A 3' WIDE EASEMENT
RESERVATION FOR PUBLIC UTILITY, SANITARY SEWER AND STORM DRAIN
PURPOSES RECORDED IN BOOK 1007, PAGE 568 O.R.
- 2 ITEM 9 OF THE PRELIMINARY TITLE REPORT, A 5' WIDE EASEMENT FOR
PUBLIC UTILITY, SANITARY SEWER AND STORM DRAIN PURPOSES
RECORDED AS INSTRUMENT NO. 2000-496747 O.R.

PRELIMINARY GRADING PLAN, NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
PLANNING DESIGN

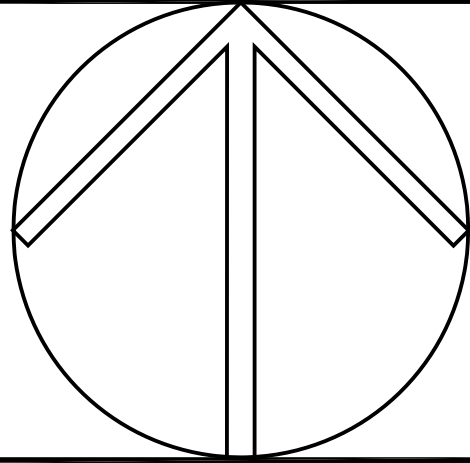
2320 SECOND AVENUE CORONA DEL MAR, CA 92625
LIC# 2976 PHONE: 949.673.0800
FAX: 949.673.0806



PROJECT
Custom Residence
53 Emerald Bay
Laguna Beach, CA 92651

REVISIONS	
▲	
▲	
▲	
▲	
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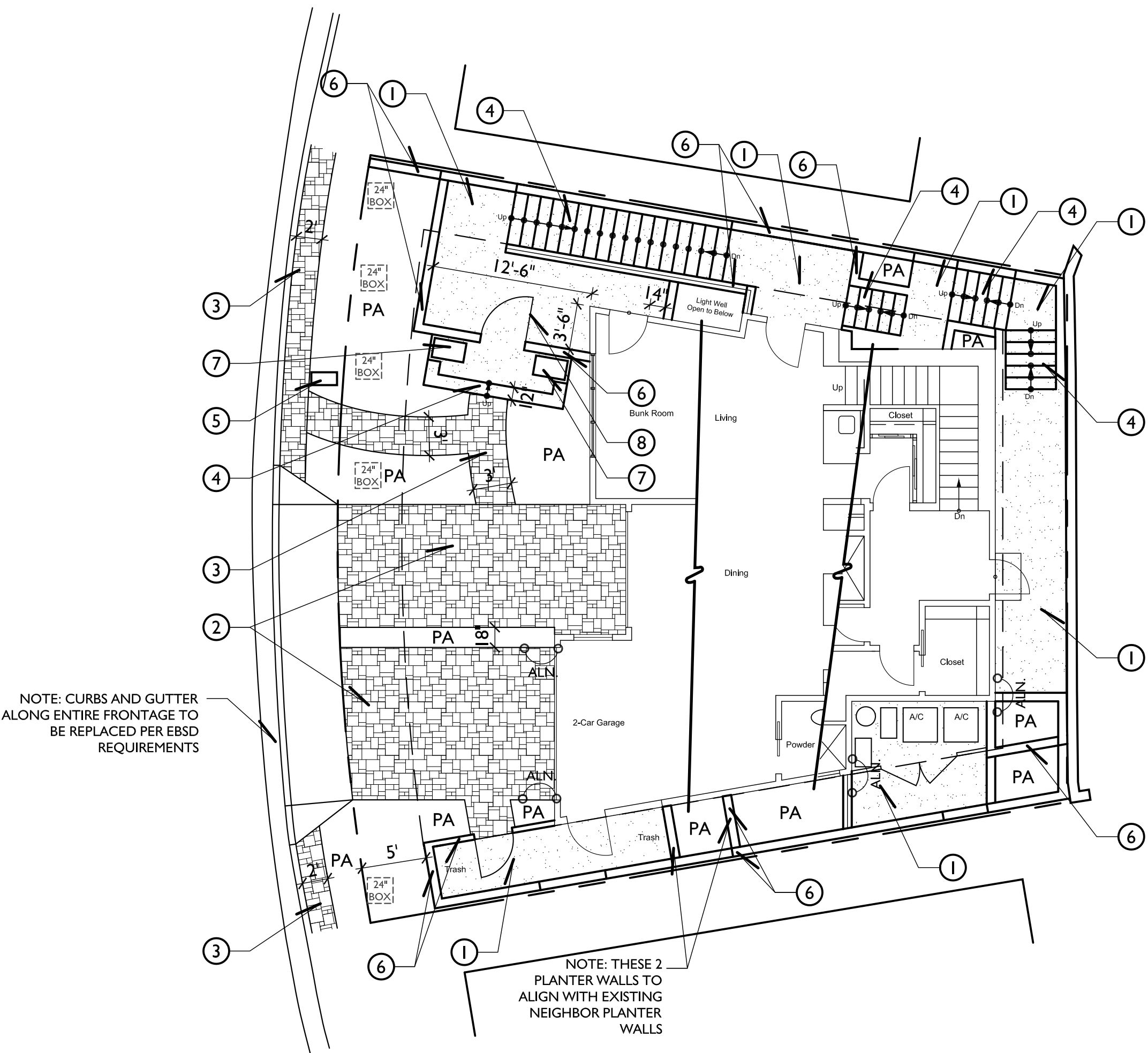
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CHECKED BY: MD
DATE: September 24, 2018
SCALE: 1/8" = 1'-0"



TITLE :
LANDSCAPE
CONSTRUCTION
PLAN

SHEET NO.:
LC-1

53 EMERALD BAY - LAGUNA BEACH - LANDSCAPE ARCHITECTURE



- CONSTRUCTION CALLOUTS:
- ① COLORED CONCRETE PAVING
 - ② LIMESTONE VEHICULAR PAVING OVER CONCRETE SUBBASE
 - ③ LIMESTONE PAVING in ASHLAR PATTERN OVER CONCRETE SUBBASE
 - ④ COLORED CONCRETE STEPS
 - ⑤ MAILBOX WITH STONE VENEER and CAP. SEE DETAIL A, THIS SHEET
 - ⑥ CMU WALL/RETAINING WALL with PLASTER FINISH. SEE GRADING PLAN for HEIGHTS
 - ⑦ DECORATIVE POTTERY. To be SELECTED by OWNER
 - ⑧ WOOD ENTRY GATE. To be SELECTED by OWNER

- LEGEND:
- | | |
|--------|----------------------|
| ALN | ALIGN |
| CLR | CLEAR |
| CL | CENTERLINE |
| EQ. | EQUAL |
| F.O.C. | FACE OF CURB |
| F.O.W. | FACE OF WALL |
| MIN. | MINIMUM |
| MAX. | MAXIMUM |
| PA | PLANTING AREA |
| R= | RADIUS EQUALS |
| TYP. | TYPICAL |
| 18 | CONSTRUCTION CALLOUT |
| — | STAIR RISER LOCATION |

FIELD VERIFY ALL UTILITY LOCATIONS
PRIOR to CONSTRUCTION

ELEVATION

LEGEND:

- ① STONE CAP OVER THIN SET MORTAR. CAP/STONE TO MATCH ARCHITECTURAL STONE
- ② BRONZE MAILBOX TO BE SELECTED. TO MEET ALL U.S. POSTAL SERVICE REQUIREMENTS INCLUDING SLOT FOR NORMAL MAIL DELIVERY
- ③ STONE VENEER OVER THIN SET MORTAR. STONE TO MATCH ARCHITECTURAL STONE
- ④ FINISH GRADE

A MAILBOX - 18" x 24"

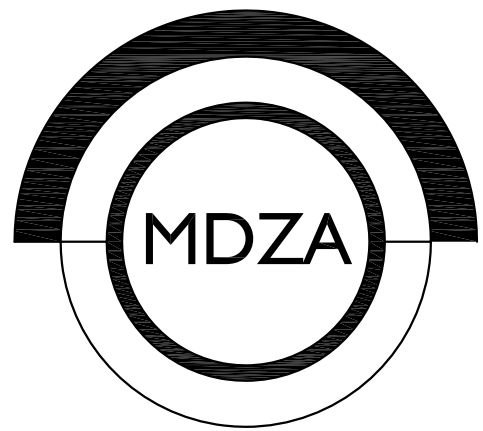
Scale: 3/4" = 1' - 0"

MAL-STO182

HARDSCAPE MATERIALS / FINISH SCHEDULE:

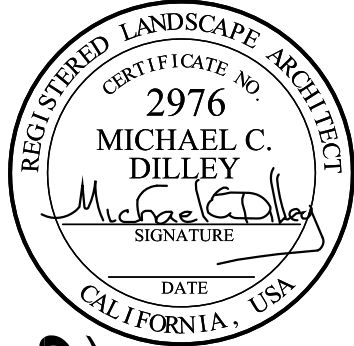
SYMBOL	ITEM	MANUFACTURER/SUPPLIER	COLOR	FINISH	COMMENTS
① ④	CONCRETE PAVING - VEHICULAR and PEDESTRIAN	L.M. SCOFIELD CO. 800-800-9900	C-12 MESA BEIGE	MEDIUM RELEASE FINISH	
② ③	LIMESTONE PAVING	AVAILABLE THRU: MODERN BUILDERS SUPPLY - (949) 254-4692 CONTACT: GREG DRAZIL	BEIGE TONE (TO BE SELECTED)		ASHLAR PATTERN
⑤	STONE VENEER	AVAILABLE THRU: MODERN BUILDERS SUPPLY - (949) 254-4692 CONTACT: GREG DRAZIL	TO MATCH STONE ON HOUSE	TO MATCH STONE ON HOUSE	
⑥	PLASTER / STUCCO FINISH		TO MATCH HOUSE	TO MATCH HOUSE	

NOTE:
CONTRACTOR TO PROVIDE 3' X 3' SAMPLE OF CONCRETE PAVING & STONE PAVING ON SITE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



LANDSCAPE ARCHITECTURE
PLANNING DESIGN

2320 SECOND AVENUE CORONA DEL MAR, CA 92625
LIC# 2976 PHONE: 949.673.0800
FAX: 949.673.0806



PROJECT
Custom Residence
53 Emerald Bay
Laguna Beach, CA 92651

REVISIONS



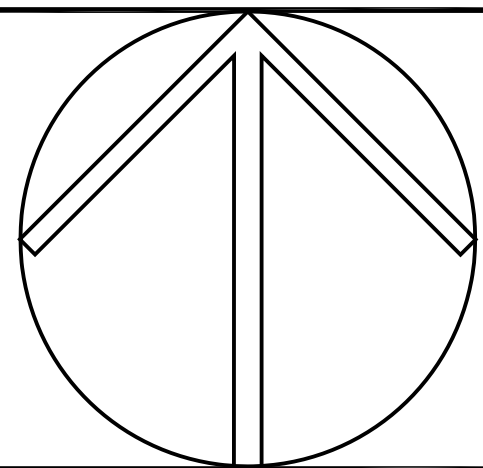
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CHECKED BY: MD

DATE: September 24, 2018

SCALE: 1/8" = 1'-0"



TITLE:

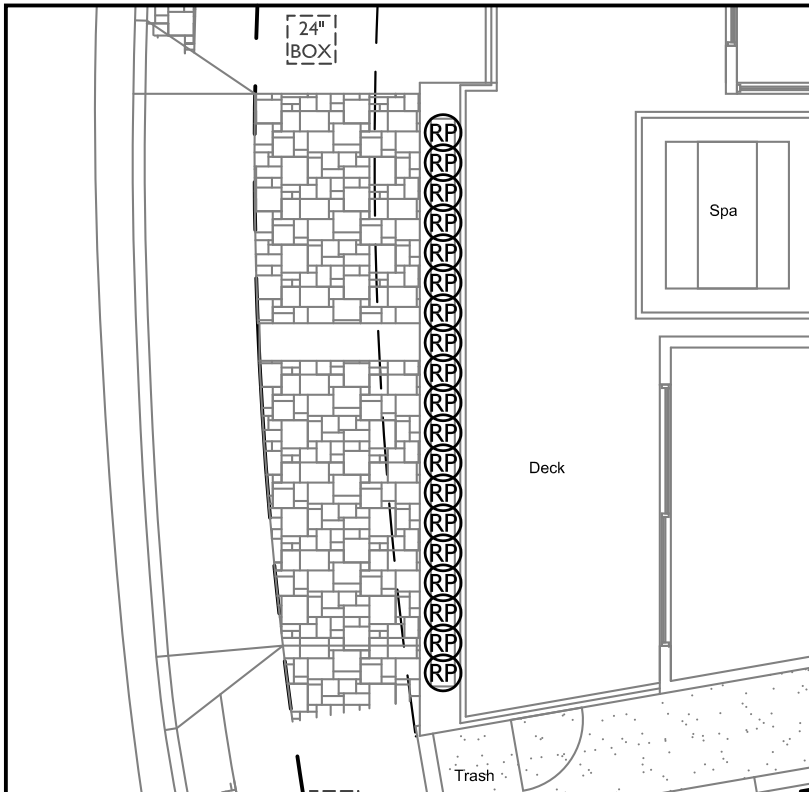
PLANTING
PLAN

SHEET NO.:

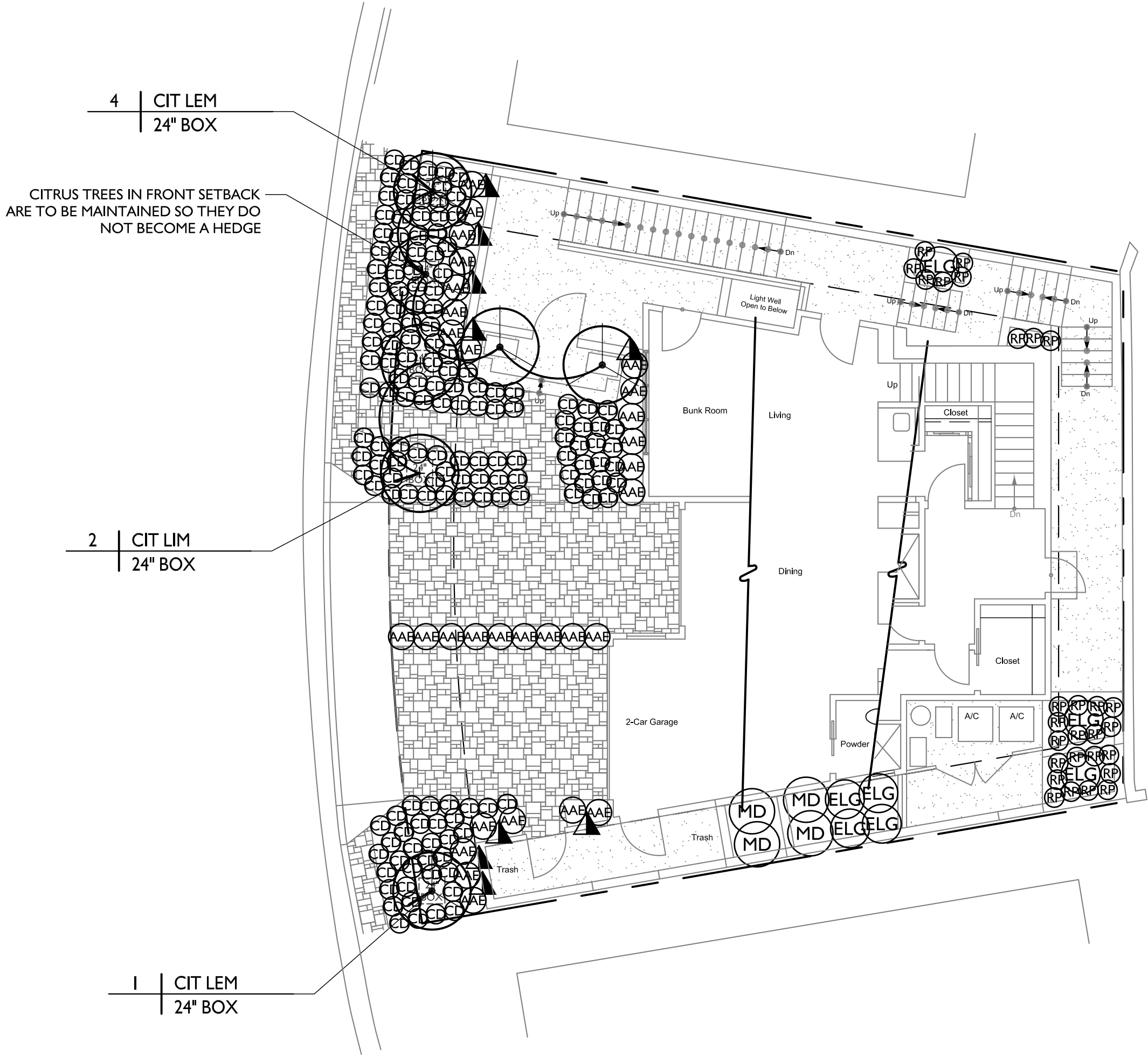
LP-1

PLANT LEGEND:

SYMBOL	NAME	SIZE	COMMENTS	HEIGHT/SPREAD at MATURITY
TREES:				
CIT LEM	CITRUS SPECIES - DWARF LEMON DWARF LEMON	PER PLAN	TO BE SELECTED BY OWNER / LANDSCAPE ARCHITECT	10' x 10'
CIT LIM	CITRUS SPECIES - DWARF LIME DWARF LIME	PER PLAN	TO BE SELECTED BY OWNER / LANDSCAPE ARCHITECT	10' x 10'
VINES:				
	FICUS PUMILA CREEPING FIG	1 GAL	PLANT AT ±6' O.C. TRAIN TO WALL	
SHRUBS:				
	AGAPANTHUS AFRICANUS 'ELLAMAE' LILY OF THE NILE	5 GAL	-	4' x 3'
	CAREX DIVULSA BERKELEY SEDGE	1 GAL	-	18" x 18"
	EUPHORBIA CHARACIAS 'WULFENII' GOLDEN SPURGE	5 GAL	-	3' x 3'
	MONSTERA DELICIOSA SWISS CHEESE PLANT	5 GAL	-	6' x 6'
	ROSEMARINUS OFFICINALIS 'PROSTRATUS' DWARF ROSEMARY	1 GAL	-	18" x 4'
GROUNDCOVERS:				
	ALL SHRUB AREAS	2" THICK WALK-ON BARK MULCH SUBMIT SAMPLE FOR APPROVAL		



PLANTER OVER DRIVEWAY



GENERAL PLANTING NOTES:

- PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN AN AGRONOMIC SOIL REPORT AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ALL PLANTER FILL NECESSARY TO BRING SOIL LEVEL TO 2" BELOW TOP OF PLANTER WALLS.
- LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ENOUGH WALK-ON BARK MULCH TO PROVIDE A 2" COVERING OF ALL SHRUB PLANTING AREAS. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PURCHASING.
- LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED PLANTING DATE.
- CONTRACTOR TO COORDINATE APPROVALS. CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER "START OF MAINTENANCE" PERIOD.
- CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE/PALM MATERIAL FOR 12 MONTHS (1 YEAR).
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION. THE FOLLOWING MINIMUM CRITERIA SHALL BE OBSERVED BY THE LANDSCAPE CONTRACTOR:
 - NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS.
 - TREES OR PALMS SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
 - NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.
 - TREES OR PALMS PLANTED IN LANDSCAPE AREAS OF LESS THAN 4' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.
 - ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.