

# FLORNES RESIDENCE

EMERALD BAY LOCAL COASTAL REVIEW

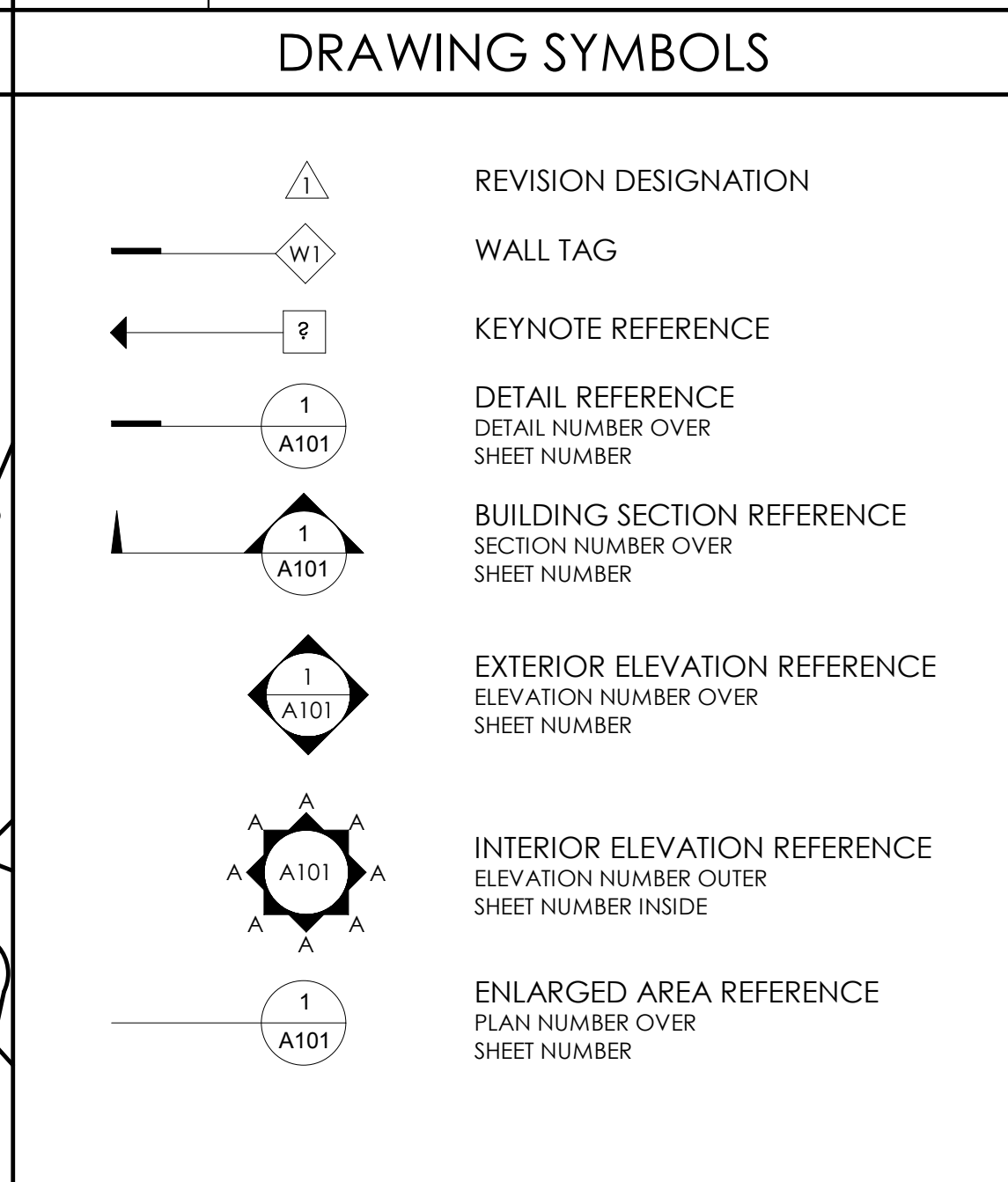
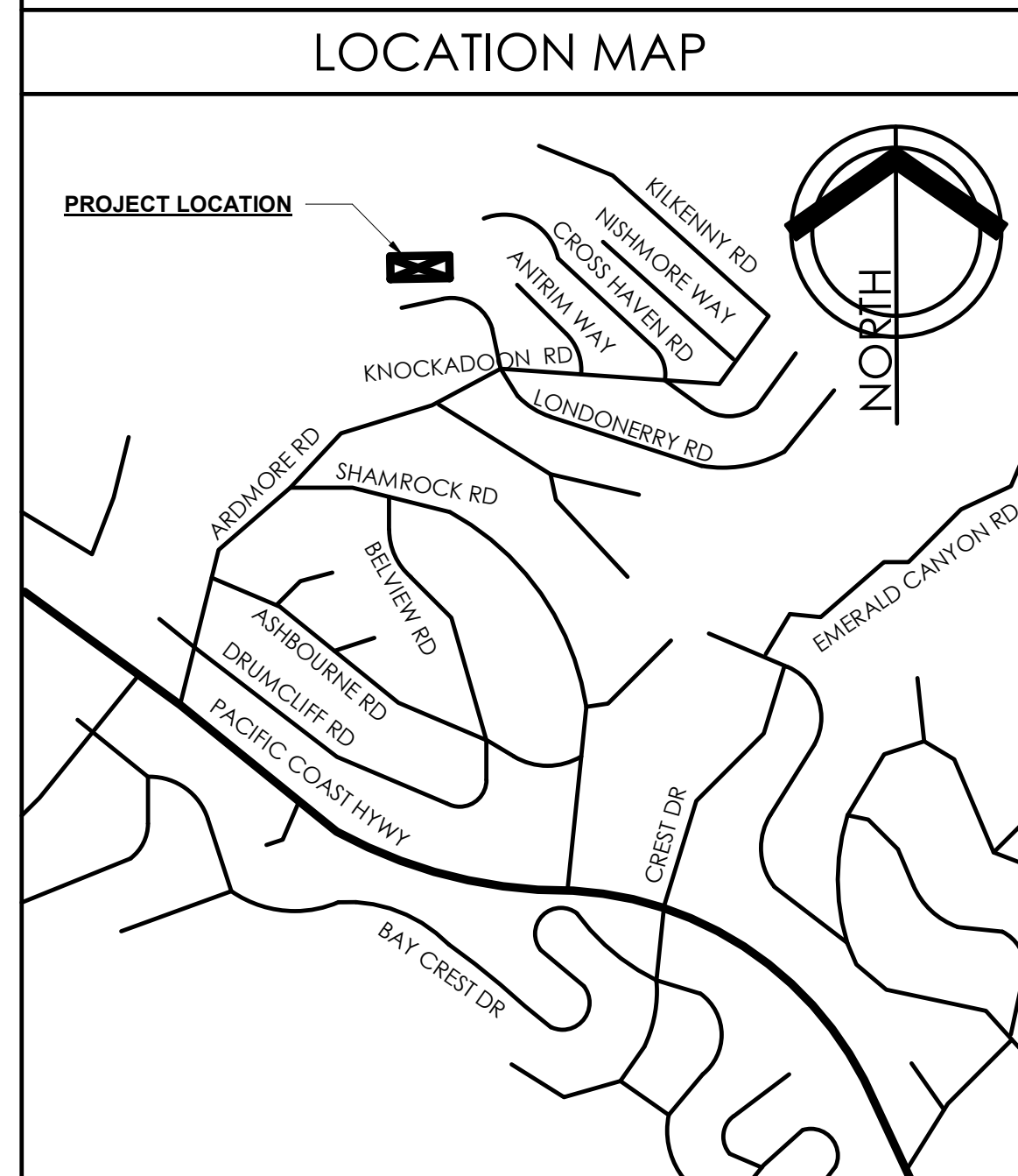


## SHEET INDEX

SHEET #	DESCRIPTION
<b>GENERAL</b>	
A000	COVER SHEET
A040	SITE CONTEXT PHOTOS
A041	INSPIRATIONAL IMAGERY
A042	PROPOSED - EXTERIOR VIEWS
A091	PROPOSED SITE PLAN
A092	BUILDING STAKING/ STORY POLE PLAN
A093	LANDSCAPE STAKING/ STORY POLE PLAN
<b>LANDSCAPE</b>	
L0.01	CONCEPT GRADING PLAN LD
L0.02	CONCEPT GRADING PLAN LD
L3.01	PLANTING PLAN
L3.02	PLANTING PLAN
<b>ARCHITECTURAL</b>	
A211	LOWER (BASEMENT) LEVEL - FLOOR PLAN
A221	MID LEVEL - FLOOR PLAN
A231	UPPER LEVEL - FLOOR PLAN
A250	ROOF PLAN
A260	EXTERIOR ELEVATIONS
A261	EXTERIOR ELEVATIONS
A270	BUILDING SECTIONS
A271	BUILDING SECTIONS
A272	BUILDING SECTIONS
A273	BUILDING SECTIONS
A274	BUILDING SECTIONS

TOTAL SHEETS 22

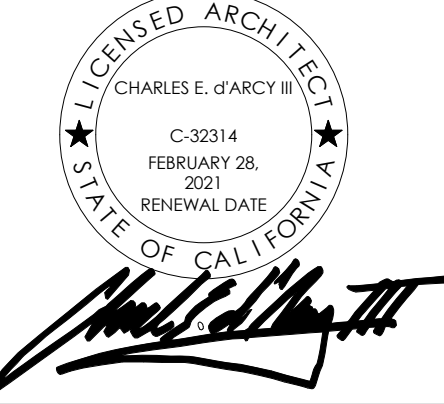
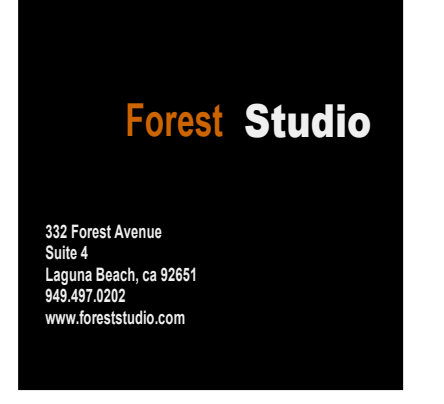
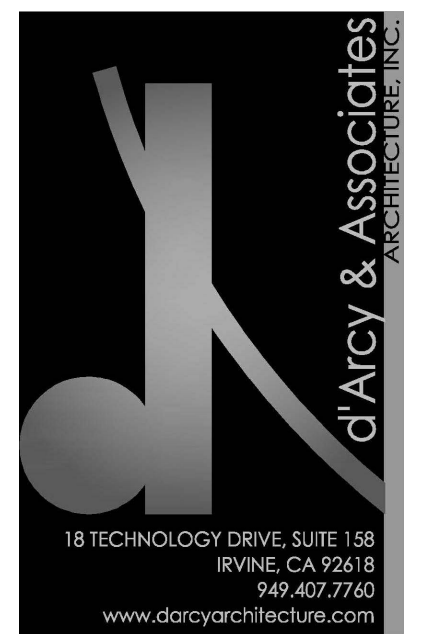
PROJECT DESCRIPTION	PROJECT LOG	CODE ANALYSIS OVERVIEW	PROJECT DATA	PROJECT TEAM														
<p>NEW 2-STORY (w/ BASEMENT) SINGLE FAMILY RESIDENCE. PROPOSED HILLSIDE CONSTRUCTION TO HAVE 4 BEDROOMS, 5 FULL BATHS &amp; 3 HALF BATHS. INFINITY EDGE POOL SHALL BE LOCATED ON TERRACE, ABOVE GARAGE. EXISTING RESIDENCE TO BE DEMOLISHED AND PERMANENT SHORING WALLS WILL BE CONSTRUCTED, AS REQUIRED, TO CONSTRUCT THE PROPOSED RESIDENCE.</p>	<table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>09.21.2017</td> <td>INITIAL HOA COMMITTEE RECOMMENDATIONS</td> </tr> <tr> <td>01.30.2018</td> <td>FINAL HOA COMMITTEE RECOMMENDATIONS</td> </tr> <tr> <td>02.06.2018</td> <td>HOA CONCEPT SUBMITTAL PACKAGE - BOARD APPROVED</td> </tr> <tr> <td>10.03.2018</td> <td>HOA PRELIMINARY SUBMITTAL PACKAGE</td> </tr> <tr> <td>10.29.2018</td> <td></td> </tr> <tr> <td>01.17.2019</td> <td>COASTAL DEVELOPMENT PERMIT SUBMITTAL</td> </tr> </tbody> </table>	DATE	DESCRIPTION	09.21.2017	INITIAL HOA COMMITTEE RECOMMENDATIONS	01.30.2018	FINAL HOA COMMITTEE RECOMMENDATIONS	02.06.2018	HOA CONCEPT SUBMITTAL PACKAGE - BOARD APPROVED	10.03.2018	HOA PRELIMINARY SUBMITTAL PACKAGE	10.29.2018		01.17.2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL	<p>PROJECT TYPE: SINGLE FAMILY DETACHED            CONSTRUCTION TYPE: TYPE VB            OCCUPANCY: R3/U            FIRE SPRINKLER: SPRINKLERED PER NFPA 13-D            APPLICABLE CODES:            2016 CALIFORNIA RESIDENTIAL CODE            2016 CALIFORNIA PLUMBING CODE            2016 CALIFORNIA MECHANICAL CODE            2016 CALIFORNIA ELECTRICAL CODE            2016 CALIFORNIA ENERGY CODE            2016 CALIFORNIA GREEN BUILDING CODE            ALL LOCAL ORDINANCES AND REQUIREMENTS</p>	<p>PROJECT ADDRESS: 1100 EMERALD BAY LAGUNA BEACH, CA 92651            APN: 053-320-11            STORIES: 2 STORIES + BASEMENT            LOT AREA: 12,489 SQ. FT.            ZONING: R1 (CD) (SR)            BUILDING AREA:  <b>LOT COVERAGE</b>            LOT SIZE 12,489 S.F.            MAX COVERAGE 40% 4,995.25 S.F.            ACTUAL COVERAGE 38.7% 4,841.5 S.F.</p> <p><b>AREA CALCULATIONS</b>            LOWER (BASEMENT) LEVEL LIVABLE AREA 660.7 S.F.            MID LEVEL LIVABLE AREA 1,960.7 S.F.            UPPER LEVEL LIVABLE AREA 3,351.6 S.F.            TOTAL LIVABLE AREA 5,973.0 S.F.            GARAGE AREA 2,266.1 S.F.            MECHANICAL STORAGE 424.8 S.F.            TOTAL STRUCTURAL AREA (TOTAL LIVABLE AREA + GARAGE + MECH/STORAGE) 8,663.9 S.F.            (5,973 S.F. + 2,266.1 S.F. + 424.8 S.F.)            TOTAL STRUCTURAL AREA LESS GARAGE (TOTAL STRUCTURAL - REQUIRED ENCLOSED PARKING) 7,649.9 S.F.            (8,663.9 S.F. - 1,014.0 S.F.)</p> <p><b>REQ'D 2 PARKING SPACES (2 SPACES PROVIDED)</b></p>	<p><b>OWNER</b>            BRIAN FLORNES            1100 EMERALD BAY LAGUNA BEACH, CA 92651            PH: 949.719.4083            brianflornes@vintagesenior.com</p> <p><b>ARCHITECTURAL DESIGN TEAM</b>            CHARLES D'ARCY &amp; ASSOC. ARCHITECTURE, INC.            18 TECHNOLOGY DRIVE SUITE 158 IRVINE, CA 92618            PH: 949.407.7760            charles@darcyarchitecture.com</p> <p>BOB WHITE            FOREST STUDIO            332 FOREST AVE, STE. 4 LAGUNA BEACH, CA 92651            PH: 949.497.0202            bob@foreststudio.com</p> <p><b>LANDSCAPE ARCHITECT</b>            BRAD FRANKEL            EPT DESIGN            844 EAST GREEN STREET, SUITE 201 PASADENA, CA 91101            PH: 626.795.2008            bfrankel@eptdesign.com</p> <p><b>CIVIL ENGINEER</b>            ADAM TOAL            TOAL ENGINEERING, INC.            139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672            PH: 949.492.3856</p>
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**MUNICIPALITY NOTES**

**SEPERATE PERMIT**  
 1. SEPERATE PERMITS AND REVIEW ARE REQUIRED FOR DEMOLITION OF EXISTING STRUCTURES, NEW POOLS, NEW SPAS, NEW WALLS, NEW FENCES, NEW PATIO COVERS, AND OTHER FREESTANDING STRUCTURES.

**DEFERED SUBMITTAL**  
 1. FIRE SPRINKLERS



**FLORNES RESIDENCE**  
 1100 EMERALD BAY LAGUNA BEACH, CA 92651

**REVISIONS**

NO.	DATE	DESCRIPTION

JOB # 1805  
 11/02/2018

**COVER SHEET**  
 SCALE : AS NOTED

**A000**



A



B



C



D



E



F



G



H



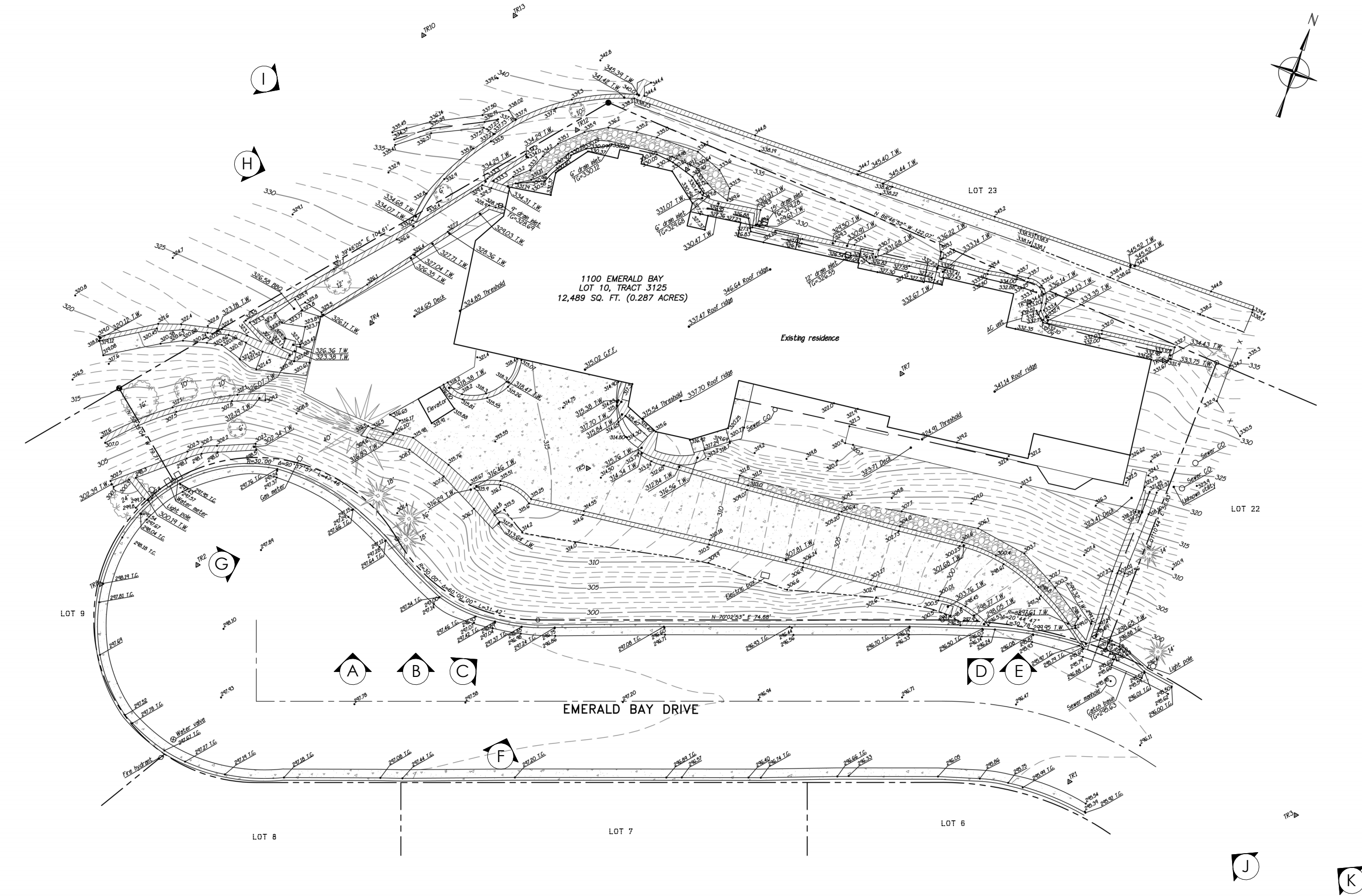
I



J



K



FLORNES RESIDENCE

1100 EMERALD BAY LAGUNA BEACH, CA 92651

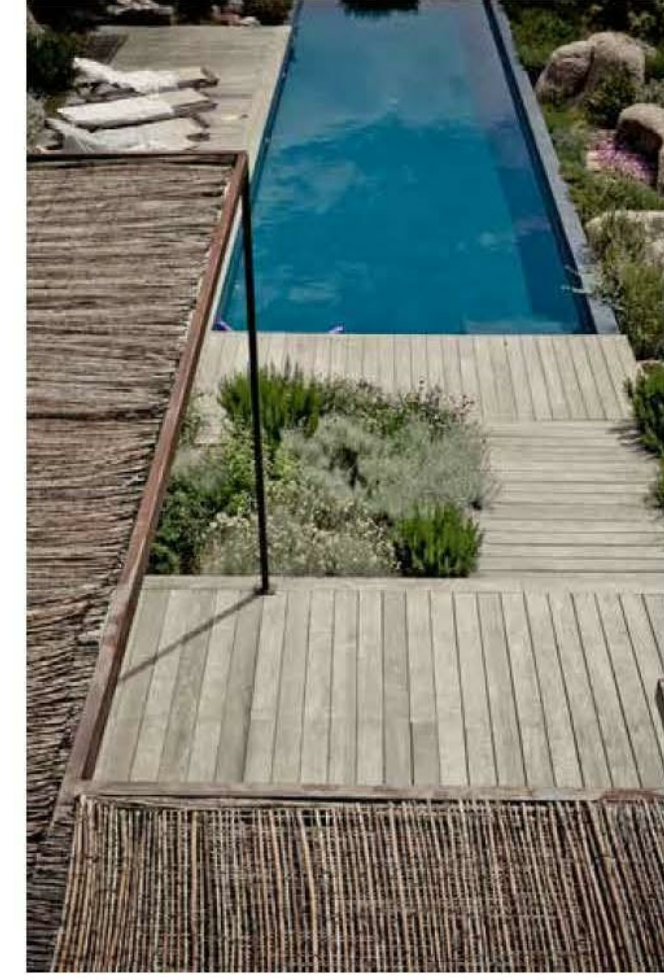
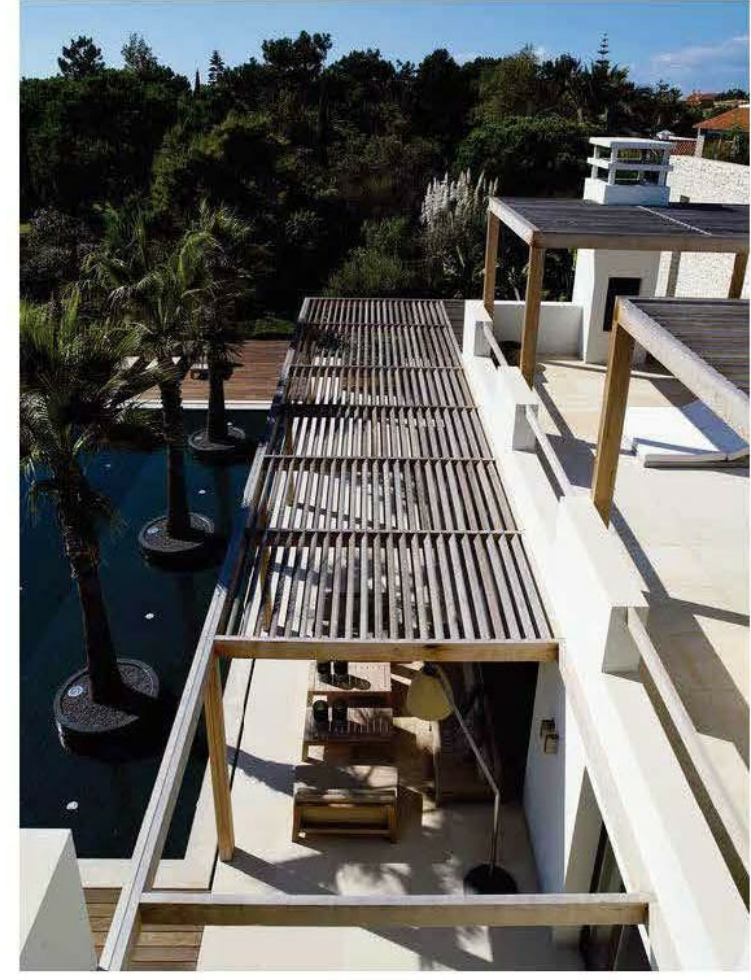
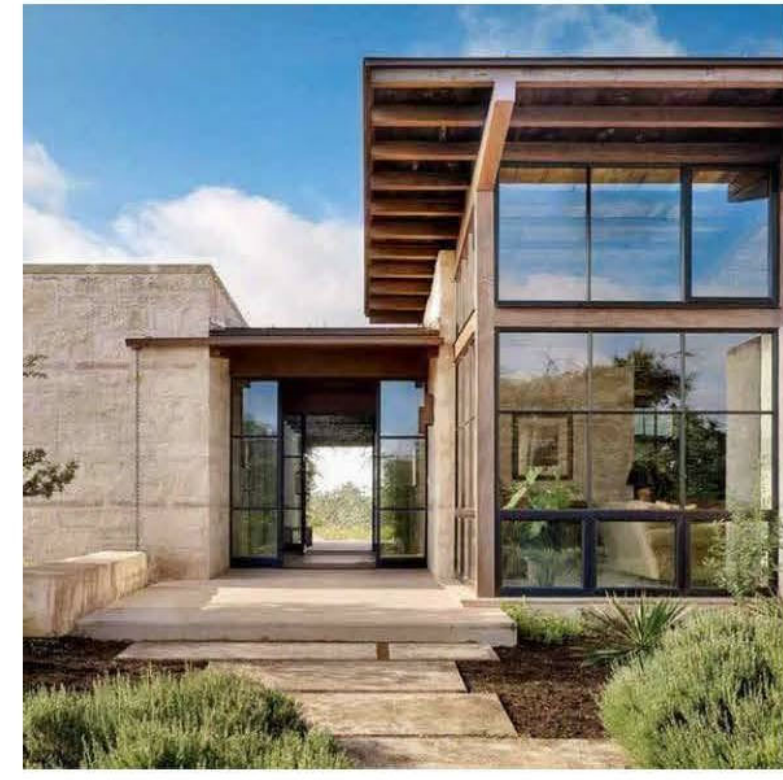
REVISIONS

JOB # 1805  
 11/02/2018

SITE CONTEXT  
 PHOTOS

1/4" = 1'-0"

A040



FLORNES RESIDENCE

1100 EMERALD BAY LAGUNA BEACH, CA 92651

REVISIONS


JOB # 1805  
11/02/2018

INSPIRATIONAL  
IMAGERY

A041





STAKING SCHEDULE	XX																																					
	RIDGELINE																																					
	XX																																					
	XX																																					
STORY POLE#		01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35		
OFFSET HUB ELEVATION		315.79	313.34	315.84	314.44	313.64	315.84	317.59	317.59	336.55	338.55	319.6	309.3	332.5	340.6	312.2	339.4	331.55	330.85	334.55	315.84	317.59	321.4	333.0	336.9	332.35	332.35	335.1	335.1	324.65	324.65	332.6	332.28	316.99	317.99			
HEIGHT OF STORY POLE FROM HUB ELEVATION		8.11	10.56	8.06	8.06	10.26	8.10	2.75	17.51	15.61	3.65	2.45	0.65	21.0	0.7	23.9	23.7	20.8	-6.4	1.45	4.75	0.16	-1.59	-5.4	1.5	-2.4	11.95	11.95	9.2	9.2	9.35	9.35	1.6	0.2	0.81	-0.19		
PROPOSED MAX ELEVATION		323.9	323.9	323.9	322.5	323.9	340.2	333.2	333.2	340.2	339.2	340.6	333.2	333.2	340.6	333.0	333.0	333.0	333.0	335.6	339.3	316.0	316.0	316.0	334.5	334.5	344.3	344.3	344.3	344.3	334.0	334.0	334.2	332.3	317.8	317.8		
EBCA REVISION																																						
OVERHANG																																						

APPROX. LOCATION OF STORY POLE/STRING DAYLIGHTING INTO EXISTING STRUCTURE/GRADE  
 RED BUILDING FOOTPRINT REPRESENTS EXISTING STRUCTURE  
 IF STANDARD SURVEY HUBS ARE NOT FEASIBLE BECAUSE OF THE EXISTENCE OF ROCKS, PAVING OR EXISTING STRUCTURAL IMPROVEMENTS, THEN THE SURVEYOR OR ENGINEER MAY USE AN ALTERNATIVE METHOD OF ESTABLISHING HORIZONTAL AND VERTICAL CONTROL FOR STORY POLES THAT CAN BE OBSERVED IN THE FIELD. THE SURVEYOR OR ENGINEER SHALL DESCRIBE THE CONTROL METHOD USED DIRECTLY ON THE FULL-SIZED STAKING PLAN. SUCH ALTERNATIVE METHODS MAY INCLUDE PAINTED MARKINGS OR NAIL WITH INFORMATION TAGS ATTACHED. IT IS ALSO RECOGNIZED THAT SOMETIMES IT MAY NOT BE FEASIBLE TO SET POLES DUE TO UNFORSEEN CIRCUMSTANCES.

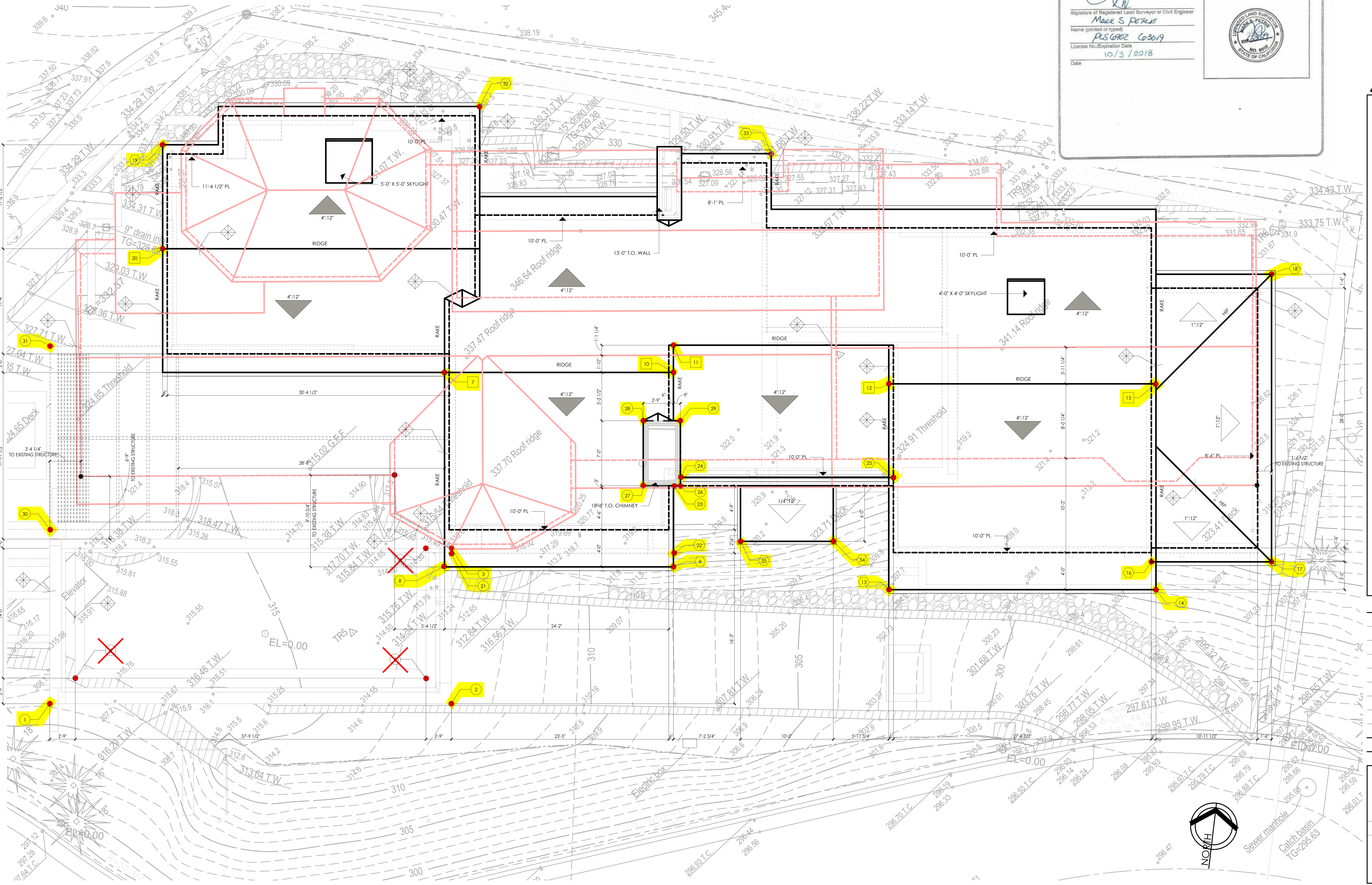
### STORY POLE HEIGHT AND LOCATION CERTIFICATION

**Instructions:** The Story Pole Height and Location Certification and Story Pole Construction Notes Table must be executed by a registered land surveyor or registered civil engineer directly on a copy of the full-size roof plan. The completed certification must be submitted to the City at least 28 days prior to the design review authority's first noticed public hearing date.

**Required Certification Statement:**  
 I hereby certify that the story poles located on the above referenced site were constructed under my supervision and survey, and the story poles are in conformance with the design, height and location as shown on the approved staking plan. I further certify that the attached table identifying 1) the story pole identification numbers, 2) elevations of the top of the surveyed offset hubs, 3) elevations of the top of the story poles and 4) the heights of the story poles as measured from the top of the offset hubs is true and correct. I acknowledge and understand that the required project staking is for the purpose of informing the owner, architect, designer, City staff, design review authority and the public as to the accurate location and exterior dimensions of the proposed structure or addition.

Please stamp & sign below

Signature of Registered Land Surveyor or Civil Engineer  
 Name (printed or typed)  
 License No./Expiration Date  
 Date



**d'ARCY & ASSOCIATES**  
 18 TECHNOLOGY DRIVE, SUITE 108  
 IRVINE, CA 92618  
 949.407.7746  
 www.darcymain.com

**Forest Studio**  
 322 Forest Avenue  
 Laguna Beach, CA 92651  
 949.491.0222  
 www.foreststudio.com

**REGISTERED ARCHITECT**  
 CHARLES E. GARCIA  
 C-23314  
 FEBRUARY 28, 2022  
 RENEWAL DATE

**FLORNES RESIDENCE**  
 1100 EMERALD BAY LAGUNA BEACH, CA 92651

REVISIONS

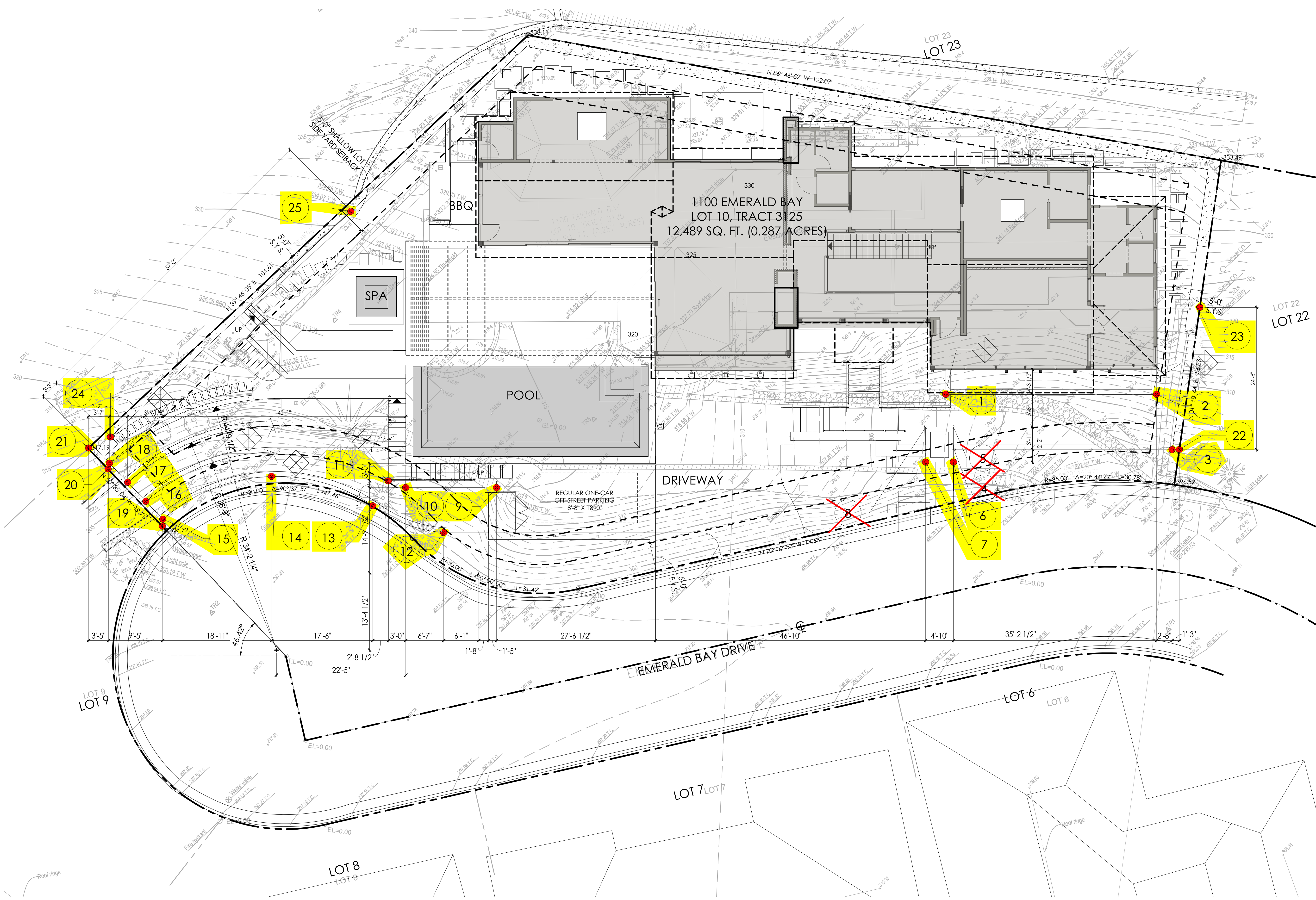
JOB # 1805  
 11/02/2018

BUILDING STAKING/  
 STORY POLE  
 PLAN  
 1/4" = 1'-0"

**A092**

STAKING SCHEDULE	XX																																																					
	RIDGELINE																																																					
XX	EAVE/RAKE																																																					
XX	VERT. ELEM.																																																					
STORY POLE#		01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	
OFFSET HUB ELEVATION ***		307.5	308.2	300.1	N/A	N/A	301.5	302.5	N/A	306.85	302.85	303.25	301.05	301.4	301.7	297.9	303.92	313.67	297.75	313.02	315.22	299.7	321.8	315.42	334.07																													
HEIGHT OF STORY POLE FROM HUB ELEVATION		1.5'	0.8'	3.4'	N/A	N/A	2.6'	1.6'	N/A	0.95'	4.95'	4.55'	0.55'	0.20'	-0.10'	3.70'	2.68'	4.28'	2.83'	4.15'	3.98'	1.78'	4.3'	-1.8'	5.08'	-0.07'																												
PROPOSED MAX ELEVATION		309.0'	309.0'	303.5	303.5	304.1'	304.1'	304.1'	304.1'	307.8	307.8	307.8	301.6	301.6	301.6	301.6	306.6	311.5	316.5	301.9	317.0	317.0	304.0	320.0	320.5	334.0																												
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Please stamp & sign below

Signature of Registered Land Surveyor or Civil Engineer  
 Name (printed or typed) **MOSE S. PERE**  
 License No./Expiration Date **PLS 602 03/2019**  
 Date **10/3/2018**

**d'ARCY & Associates**  
 18 TECHNOLOGY DRIVE, SUITE 108  
 IRVINE, CA 92618  
 949.407.7710  
 www.darcymarketing.com

**Forest Studio**  
 222 Forest Avenue  
 Laguna Beach, CA 92651  
 949.491.0222  
 www.foreststudio.com

**REGISTERED ARCHITECT**  
 CHARLES E. D'ARCY II  
 C-33114  
 FEBRUARY 26, 2021  
 RENEWAL DATE

*Charles E. D'Arcy II*

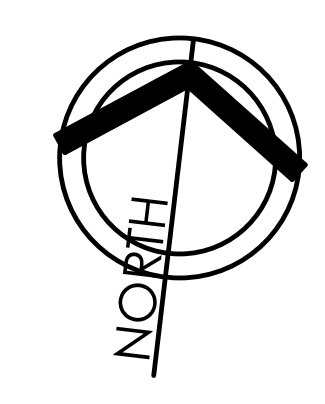
**FLORNES RESIDENCE**  
 1100 EMERALD BAY LAGUNA BEACH, CA 92651

REVISIONS

JOB # 1805  
 11/02/2018

LANDSCAPE STAKING/  
 STORY POLE PLAN  
 As indicated

**A093**



Client  
**Brian Flornes**  
**Maggie Flornes**

**EPTDESIGN**  
landscape architecture | urban design | planning

401 Glenmeade Street, First Floor | Laguna Beach, CA 92651 | T 949.502.4500 | F 949.502.4510  
844 East Green Street, Ste. 201 | Pasadena, CA 91101 | T 626.795.2008 | F 626.795.2547  
www.eptdesign.com



Revisions	By	Date
Emerald Bay Preliminary Review	BF	11/02/18

Job Number: E18-038  
Design Staff: AP  
Project Manager: BF  
Principal: NE

**Concept Grading Plan**  
Levels 1 & 2

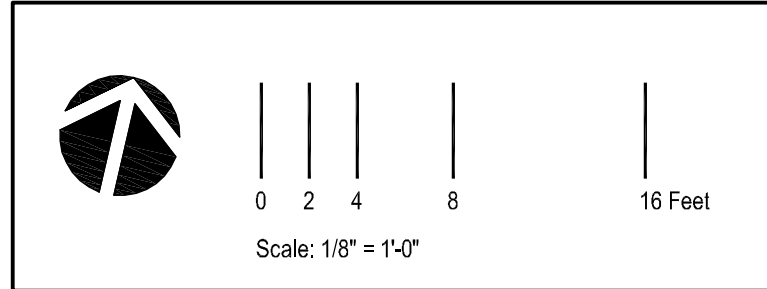
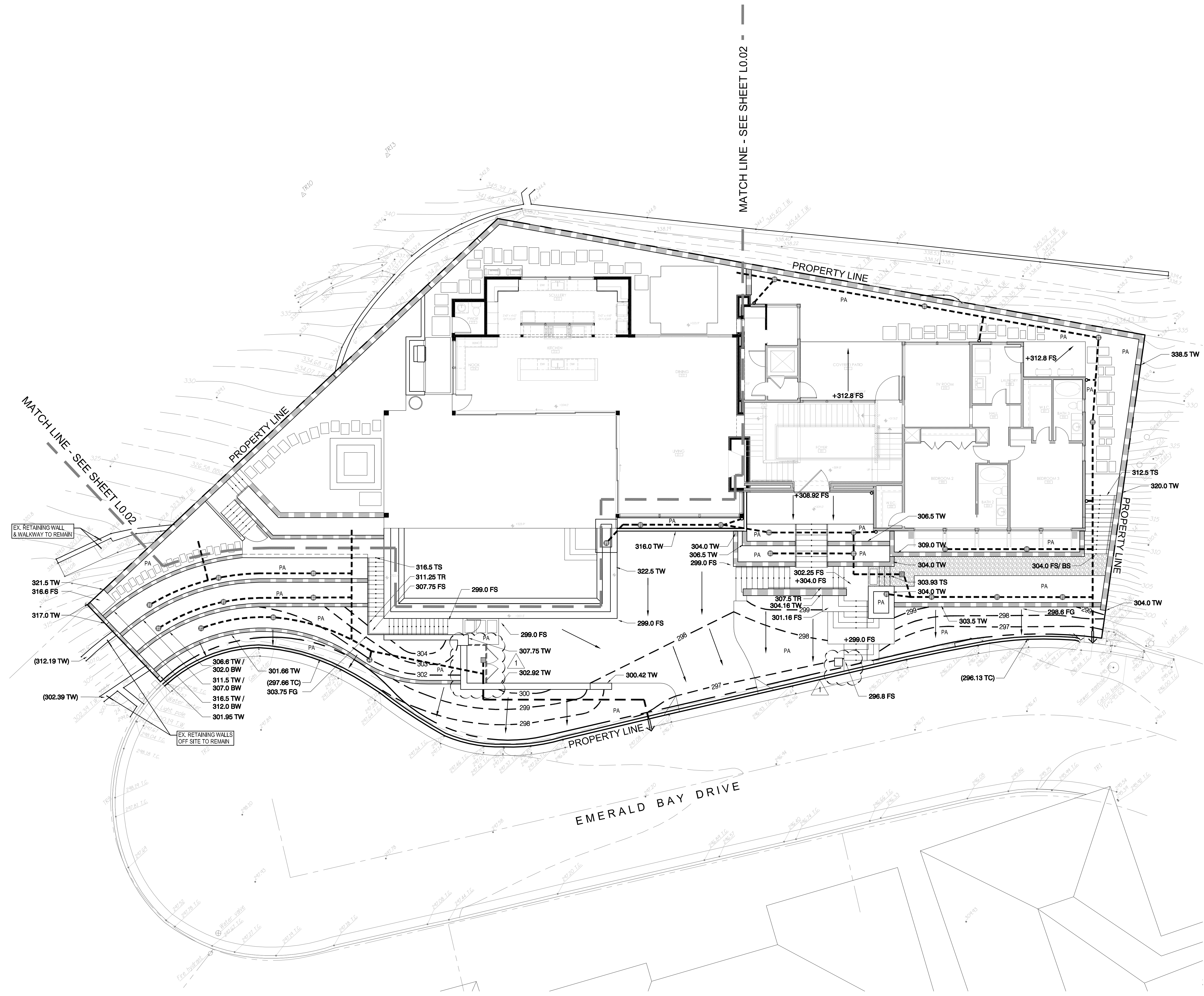
**L0.01**

Plan Check: **Not**  
Emerald Bay Preliminary Review

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ITEM	DESCRIPTION
FS	Finish Surface
FG	Finish Grade
TC	Top of Curb
TF	Top of Fence
TG	Top of Gate
TR	Top of Railing
TS	Top of Step
TW	Top of Wall
	Existing Grade
	Proposed Grade
	Proposed Contour Line
	Surface Flow
	Curb Outlet
	Atium Drain in Planting Area
	Area Drain in Hardscape
	Roof Downspout to tie into underground storm drain piping, TYP.
	Retaining Wall

- GRADING AND DRAINAGE NOTES**
- VERIFY FIELD CONDITIONS AND FINISH FLOOR ELEVATIONS PRIOR TO BEGINNING WORK. NOTIFY LANDSCAPE ARCHITECT IF CONDITIONS VARY FROM WHAT IS INDICATED ON PLAN.
  - NO TREE ROOTS ARE TO BE CUT FOR ANY GRADING OR CONSTRUCTION PURPOSES.
  - PROVIDE DRAINAGE AS INDICATED. ALL STORMWATER TO BE DIRECTED AWAY FROM THE FOUNDATION VIA NON-EROSIVE DRAINAGE DEVICES.
  - ALL DRAIN PIPES SHALL PROVIDE POSITIVE DRAINAGE AT A MINIMUM SLOPE OF 1%.
  - BACKFILL TRENCHES WITH SAND 2"-3" ABOVE THE TOP OF PIPE. THE TOP 6"-8" BELOW FINISH GRADE SHALL BE BACKFILLED WITH SITE TOPSOIL.
  - BACKFILL SHALL BE COMPACTED TO 90% IN ALL PAVED AREAS, AND 85% IN PLANTING AREAS.
  - ALL AREAS SHALL BE GRADED TO SLOPE TOWARD CATCH BASINS OR FLOW LINES AS INDICATED ON THE PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
  - ALL PROPOSED LANDSCAPE SURFACES TO BE GRADED AT A MINIMUM OF 1% PAVEMENT AT A MINIMUM OF 5%.
  - PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.







Revisions	By	Date
Emerald Bay Preliminary Review	BF	11/02/18

Job Number: E18-038  
Design Staff: AP  
Project Manager: BF  
Principal: NE

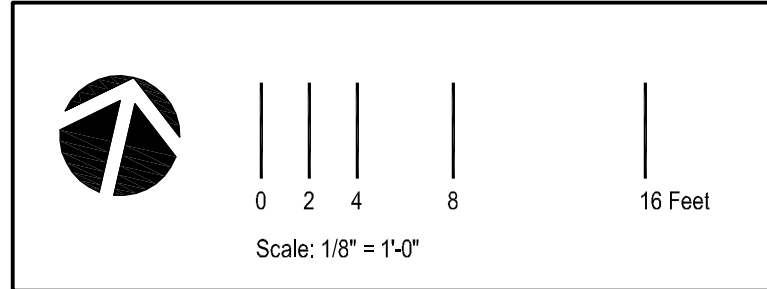
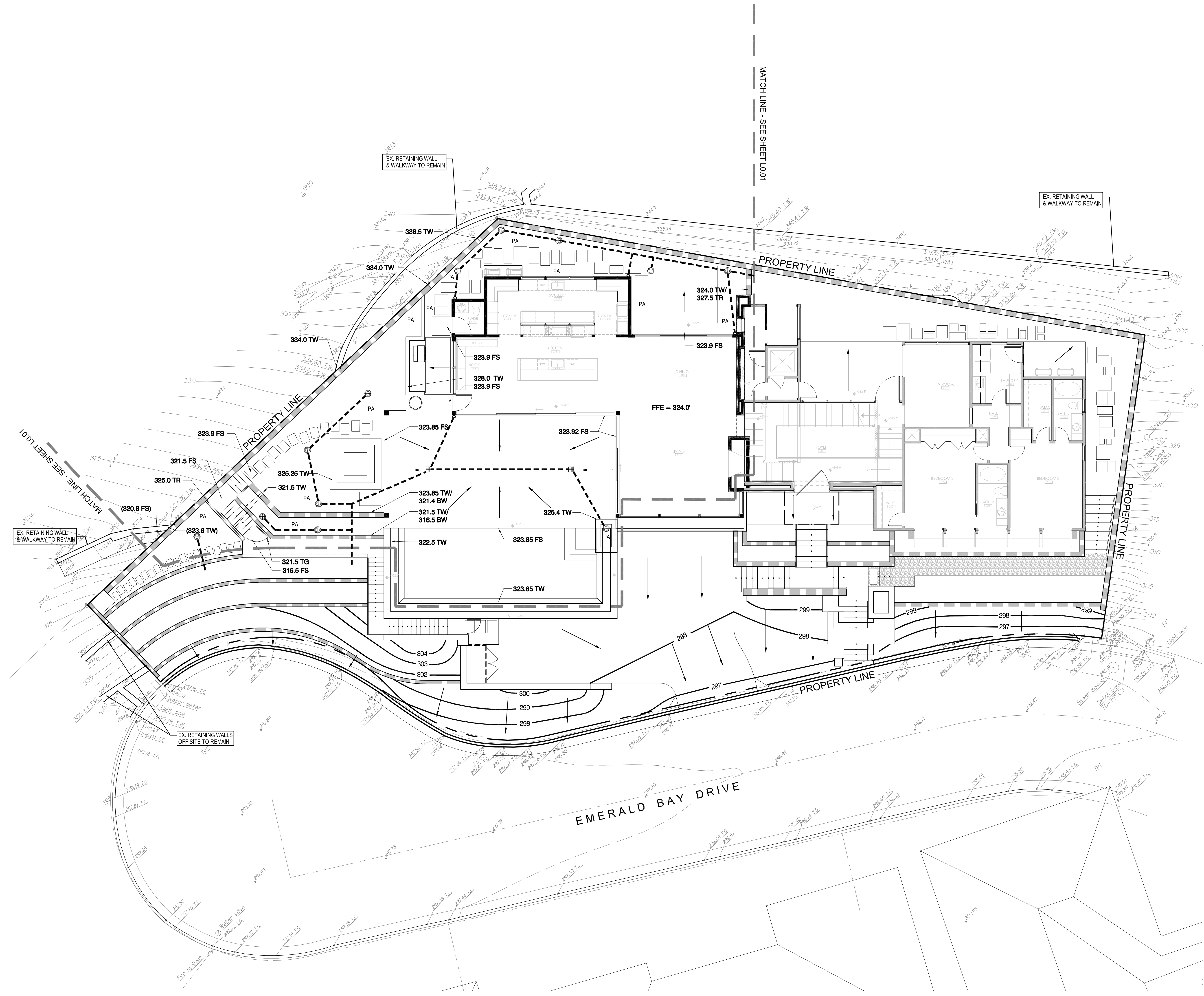
Concept Grading Plan  
Level 3

**L0.02**

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  - PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.



Client  
**Brian Flornes**  
**Maggie Flornes**

**EPTDESIGN**  
landscape architecture | urban design | planning

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Revisions	By	Date
Emerald Bay Preliminary Review	BF	11/02/18

Job Number: E18-038  
Design Staff: AP  
Project Manager: BF  
Principal: NE

**Planting Plan Levels 1 & 2**

**L3.01**

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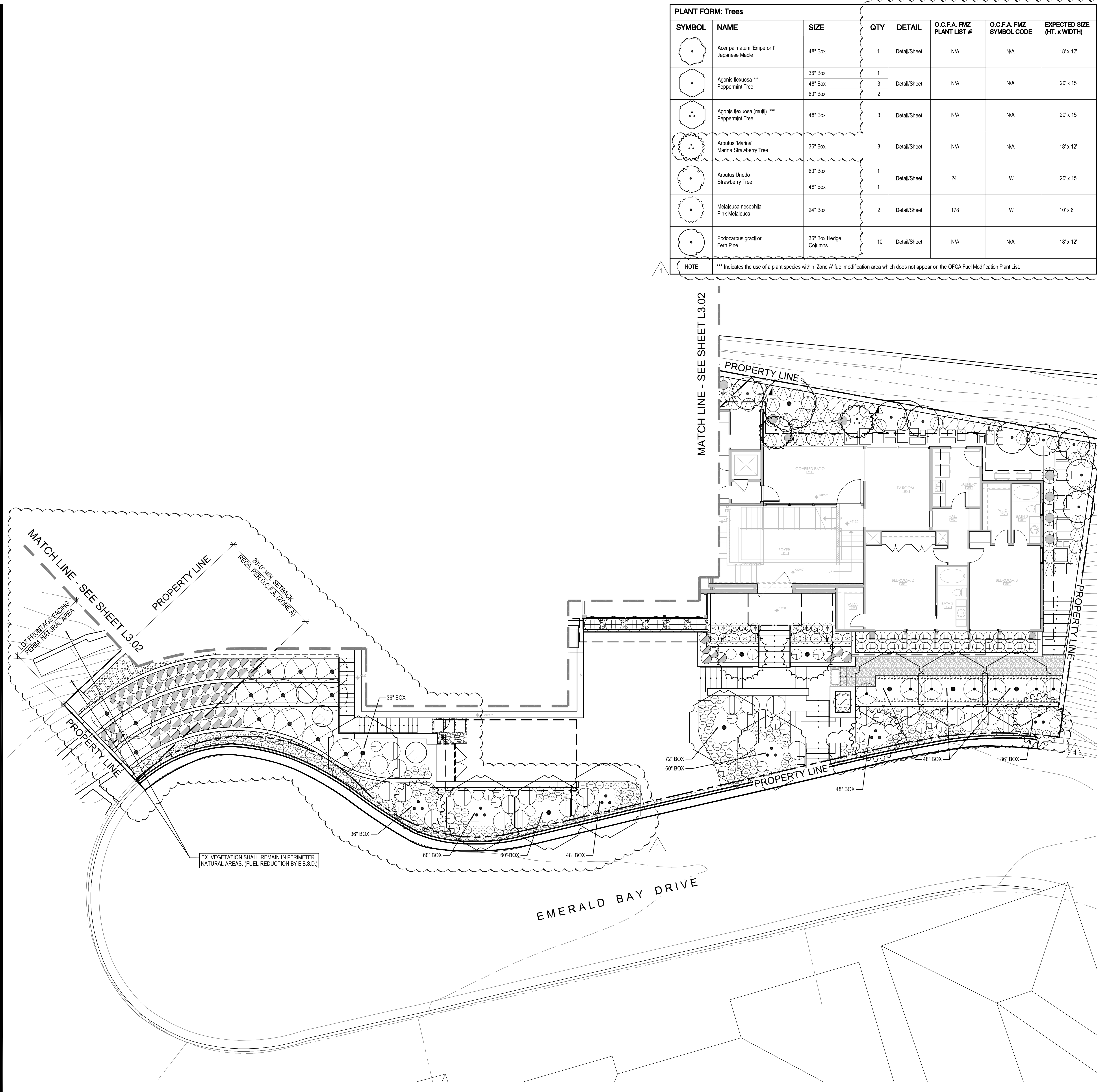
PLANT FORM: Trees							
SYMBOL	NAME	SIZE	QTY	DETAIL	O.C.F.A. FMZ PLANT LIST #	O.C.F.A. FMZ SYMBOL CODE	EXPECTED SIZE (HT. x WIDTH)
⊙	Acor palmatum 'Emperor I' Japanese Maple	48" Box	1	Detail/Sheet	N/A	N/A	18' x 12'
⊙	Agonis flexuosa *** Peppermint Tree	36" Box	1	Detail/Sheet	N/A	N/A	20' x 15'
⊙	Agonis flexuosa (multi) *** Peppermint Tree	48" Box	3				
⊙	Agonis flexuosa (multi) *** Peppermint Tree	60" Box	2	Detail/Sheet	N/A	N/A	20' x 15'
⊙	Arbutus 'Marina' Marina Strawberry Tree	48" Box	3				
⊙	Arbutus Unedo Strawberry Tree	36" Box	3	Detail/Sheet	N/A	N/A	18' x 12'
⊙	Arbutus Unedo Strawberry Tree	60" Box	1	Detail/Sheet	24	W	20' x 15'
⊙	Arbutus Unedo Strawberry Tree	48" Box	1				
⊙	Melaleuca nesophila Pink Melaleuca	24" Box	2	Detail/Sheet	178	W	10' x 6'
⊙	Podocarpus gracilior Fern Pine	36" Box Hedge Columns	10	Detail/Sheet	N/A	N/A	18' x 12'
NOTE	*** Indicates the use of a plant species within 'Zone A' fuel modification area which does not appear on the OFCA Fuel Modification Plant List.						

PLANT FORM: Shrubs, Vines, & Succulents							
SYMBOL	NAME	SIZE	QTY	DETAIL	O.C.F.A. FMZ PLANT LIST #	O.C.F.A. FMZ SYMBOL CODE	EXPECTED SIZE (HT. x WIDTH)
⊙	Acorium undulatum Staked Acorium	5 gal @ 24" o.c.	20	Detail/Sheet	N/A	N/A	2' x 2'
⊙	Agave attenuata Fox Tail Agave	15 gal, as shown	8	Detail/Sheet	8	X	2' x 3'
⊙	Aspidistra elatior Cast Iron Plant	5 gal @ 12" o.c.	16	Detail/Sheet	N/A	N/A	3' x 12'
⊙	Beschermetia yuccoides Anole	15 gal, as shown	1	Detail/Sheet	N/A	N/A	3' x 3'
⊙	Camellia sasanqua 'Setsugekka' Setsugekka Camellia	15 gal Staked, as shown	11	Detail/Sheet	N/A	N/A	6' x 3'
⊙	Dianella tasmanica Flax Lily	5 gal @ 24" o.c.	34	Detail/Sheet	N/A	N/A	2'-6" x 2'-6"
⊙	Dianella tasmanica 'Cassa Blue' *** Cassa Blue Flax Lily	5 gal @ 24" o.c.	34	Detail/Sheet	N/A	N/A	2' x 3'
⊙	Dicksonia antarctica (multi) Tasmanian Tree Fern	24" Box	4	Detail/Sheet	N/A	N/A	8' x 6'
⊙	Dodonaea viscosa Hopseed Bush	15 gal, as shown	9	Detail/Sheet	90	N	10' x 4'
⊙	Ficus pumila Creeping Fig	5 gal Staked, as shown	2	Detail/Sheet	N/A	N/A	-
⊙	Grevillea juniperina 'Molonglo' Juniper Grevillea	5 gal @ 48" o.c.	6	Detail/Sheet	N/A	N/A	2' x 4'
⊙	Litope spicata 'Silver Dragon' *** Silver Dragon Lily Turf	1 gal @ 30" o.c.	59	Detail/Sheet	N/A	N/A	2' x 3'
⊙	Litope spicata 'Silver Dragon' *** Silver Dragon Lily Turf	1 gal @ 18" o.c.	35	Detail/Sheet	N/A	N/A	10' x 12'
⊙	Lomandra longifolia 'Breeze' *** Dwarf Mat Rush	5 gal @ 30" o.c.	17	Detail/Sheet	N/A	N/A	2' x 3'
⊙	Olea europaea 'Little Olive' *** Dwarf Olive	24" Box @ 36" o.c.	9	Detail/Sheet	N/A	N/A	4' x 3' HEDGE
⊙	Parthenocissus tricuspidata Boston Ivy	15 gal Staked	5	Detail/Sheet	N/A	N/A	-
⊙	Pelargonium tomentosum Peppermint Scented Geranium	5 gal @ 48" o.c.	7	Detail/Sheet	N/A	N/A	2' x 5'
⊙	Phormium tenax *** New Zealand Flax	5 gal, as shown	2	Detail/Sheet	N/A	N/A	6' x 6'
⊙	Pittosporum crassifolium 'Compactum' Dwarf Karo	5 gal @ 42" o.c.	47	Detail/Sheet	N/A	N/A	2'-6" x 3'
⊙	Plumbago a. 'Royal Cape' PP#7822 Royal Cape Plumbago	5 gal @ 48" o.c.	13	Detail/Sheet	211	W	5' x 6'
⊙	Rosmarinus officinalis 'Irene' Trailing Blue Rosemary	5 gal @ 24" o.c.	86	Detail/Sheet	241	W n	1'-6" x 3'
⊙	Woodwardia fibrata *** Giant Chain Fern	5 gal @ 48" o.c.	12	Detail/Sheet	N/A	N/A	5' x 5'
⊙	Stephanotis floribunda Madagascar Jasmine	15 gal Staked, as shown	1	Detail/Sheet	N/A	N/A	-
NOTE	*** Indicates the use of a plant species within 'Zone A' fuel modification area which does not appear on the OFCA Fuel Modification Plant List.						

PLANT FORM: Ground Cover							
SYMBOL	NAME	SIZE	QTY	DETAIL	O.C.F.A. FMZ PLANT LIST #	O.C.F.A. FMZ SYMBOL CODE	EXPECTED SIZE (HT. x WIDTH)
⊙	Acorium decorum Red Striped Pinwheel	5 gal @ 18" o.c.	54	Detail/Sheet	6	X	1' x 2'
⊙	Armeria maritima Sea Thrift	From Dirt Flats @ 12" o.c.	10 SF	Detail/Sheet	N/A	N/A	6' x 12'
⊙	Cerastium tomentosum Snow-in-Summer	5 gal @ 60" o.c.	118 SF	Detail/Sheet	57	W	8' x 12'
⊙	Saxifraga rigens leucolena 'Pink' Pink Saxifrage	1 gal @ 18" o.c.	215	Detail/Sheet	117	X	8' x 12'
⊙	Gravel - Crushed 'Comet Granite'	3"	161 SF	Detail/Sheet	N/A	N/A	N/A
⊙	Gravel - Buff Beach Pebble	3"	60 SF	Detail/Sheet	N/A	N/A	N/A
⊙	Gravel - 'Del Rio'	3"	67 SF	Detail/Sheet	N/A	N/A	N/A

**PLANTING NOTES**

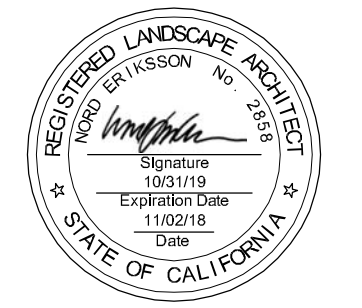
- The contractor is responsible for consulting with site superintendent. Drawings for verifying locations of underground utilities, pipes and structures. It is the contractor's sole responsibility for costs incurred due to damage of said utilities if proper verification by contractor was not performed.
- The contractor shall not willfully proceed with planting operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during design process. Bring such conditions immediately to attention of owner for resolution. The contractor assumes full responsibility for costs incurred and required modifications due to lack of providing such notification.
- Existing site soil may be used for planting areas and berms, however it will need to be amended as indicated in specifications. Should import soil be necessary to bring site to specified finish grades, indicate source location. Ensure that import soil is of a sandy loam nature, containing no toxic chemicals or elements that might inhibit or retard normal plant growth. Submit soil test results of import soil to the owner for approval prior to delivering soil to site.
- Plant material (i.e. trees, shrubs, vines, and ground covers), must be approved by the City and Landscape Architect prior to installation. Plant material installed without City and Landscape Architect approval may be subject to removal and replacement with related costs incurred by contractor.
- Final locations of plant material are subject to approval by the Landscape Architect prior to installation. Perform the following procedures before bringing planting pit excavation.
  - Shrubs - Place actual plant containers on site in preliminary locations.
  - Trees - Field mark locations with wood stakes before digging holes.
- Be responsible to furnish plant material free of pests, poor conditions, or disease.
- If conflicts arise between actual site of planting areas on-site and those indicated on drawings, contact the Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect in a timely manner may result in contractor's liability to relocate plant materials or at worst case, become unable to charge owner for plant material already planted.
- Ensure that turf areas are separated from ground cover and shrub areas with specified edging - refer to drawings.
- Triangular space ground covers and shrubs, unless indicated on drawings. Maintain half-on-center spacing when adjacent to paved areas, walls or other fixed edges.
- Excavate plant pits to dimensions noted on drawing details.
- Mulch shrub and ground cover areas (excluding turf areas) with a 2-inch deep layer of Tierra Verde Industries (TVI) Forest Mulch 1"-3".
- Do not plant trees any closer than 4-foot to any fixed edge, i.e. sidewalks and walls, unless indicated otherwise in drawings.
- Ensure that trees and shrubs are not planted too deep relative to finish grade - refer to specifications and details for proper grade elevations.
- Install plant material with its best side facing the predominant view of the public where possible.
- Plant trees per dimensioned setbacks from utilities as indicated on plans. If these setbacks conflict with requirements of utility companies, contact the Landscape Architect prior to planting trees.
- Refer to drawing details for required planting and staking methods.
- Refer to planting legend on drawings for staking requirements.
- Replace or repair existing materials that are damaged by contractor during planting operations.
- Install linear root barriers ("Deep Root" or Approved Equal) for all trees within 5'-0" of concrete curb, concrete paving, pilaster or wall per the drawings.
- Verify property lines prior to beginning planting operations.
- All trees shall equal or surpass "Valley Crest Tree Company" standards for size and quality. (818.737.2600)
- All plant material must meet the minimum standards specified in the attached document titled "American Standard for Nursery Stock", Approved May 12, 2004 by the American Nursery & Landscape Association.
- Tree branches shall not encroach within 5' radius of top of wall/fence.
- Contractor must coordinate approval of plant material with City of Las Vegas arborist / inspector.
- 90 day establishment / maintenance from City agreement to start.



Client  
**Brian Flornes**  
**Maggie Flornes**

**EPTDESIGN**  
landscape architecture | urban design | planning

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844 East Green Street, Ste. 201 | Pasadena, CA 91101 | T 626.795.2008 | F 626.795.2547  
www.eptdesign.com



Revisions	By	Date
Emerald Bay Preliminary Review	BF	11/02/18

Job Number: E18-038  
Design Staff: AP  
Project Manager: BF  
Principal: NE

**Planting Plan Level 3**

**L3.02**

Planting Plan: Emerald Bay Preliminary Review

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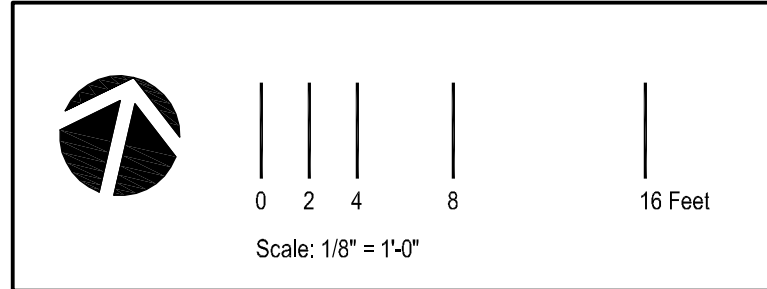
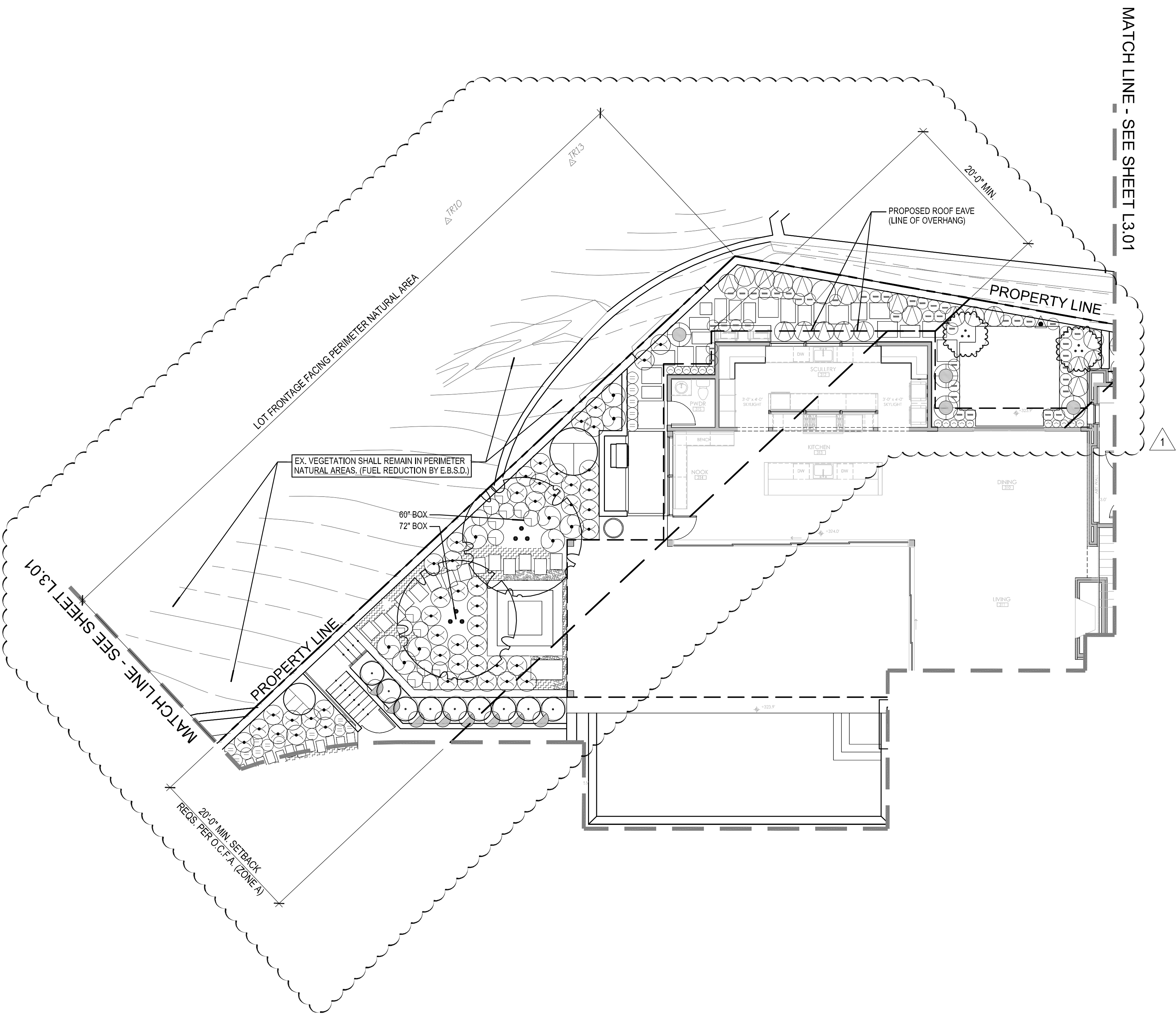
PLANT FORM: Trees							
SYMBOL	NAME	SIZE	QTY	DETAIL	O.C.F.A. FMZ PLANT LIST #	O.C.F.A. FMZ SYMBOL CODE	EXPECTED SIZE (HT. x WIDTH)
⊙	Acor palmatum 'Emperor I' Japanese Maple	48" Box	1	Detail/Sheet	N/A	N/A	18' x 12'
⊙	Agonis flexuosa *** Peppermint Tree	36" Box 48" Box 60" Box	1 3 2	Detail/Sheet	N/A	N/A	20' x 15'
⊙	Agonis flexuosa (multi) *** Peppermint Tree	48" Box	3	Detail/Sheet	N/A	N/A	20' x 15'
⊙	Arbutus 'Marina' Marina Strawberry Tree	36" Box	3	Detail/Sheet	N/A	N/A	18' x 12'
⊙	Arbutus Unedo Strawberry Tree	60" Box 48" Box	1 1	Detail/Sheet	24	W	20' x 15'
⊙	Melaleuca nesophila Pink Melaleuca	24" Box	2	Detail/Sheet	178	W	10' x 6'
⊙	Podocarpus gracilior Fern Pine	36" Box Hedge Columns	10	Detail/Sheet	N/A	N/A	18' x 12'
⊙	NOTE	*** Indicates the use of a plant species within 'Zone A' fuel modification area which does not appear on the OFCA Fuel Modification Plant List.					

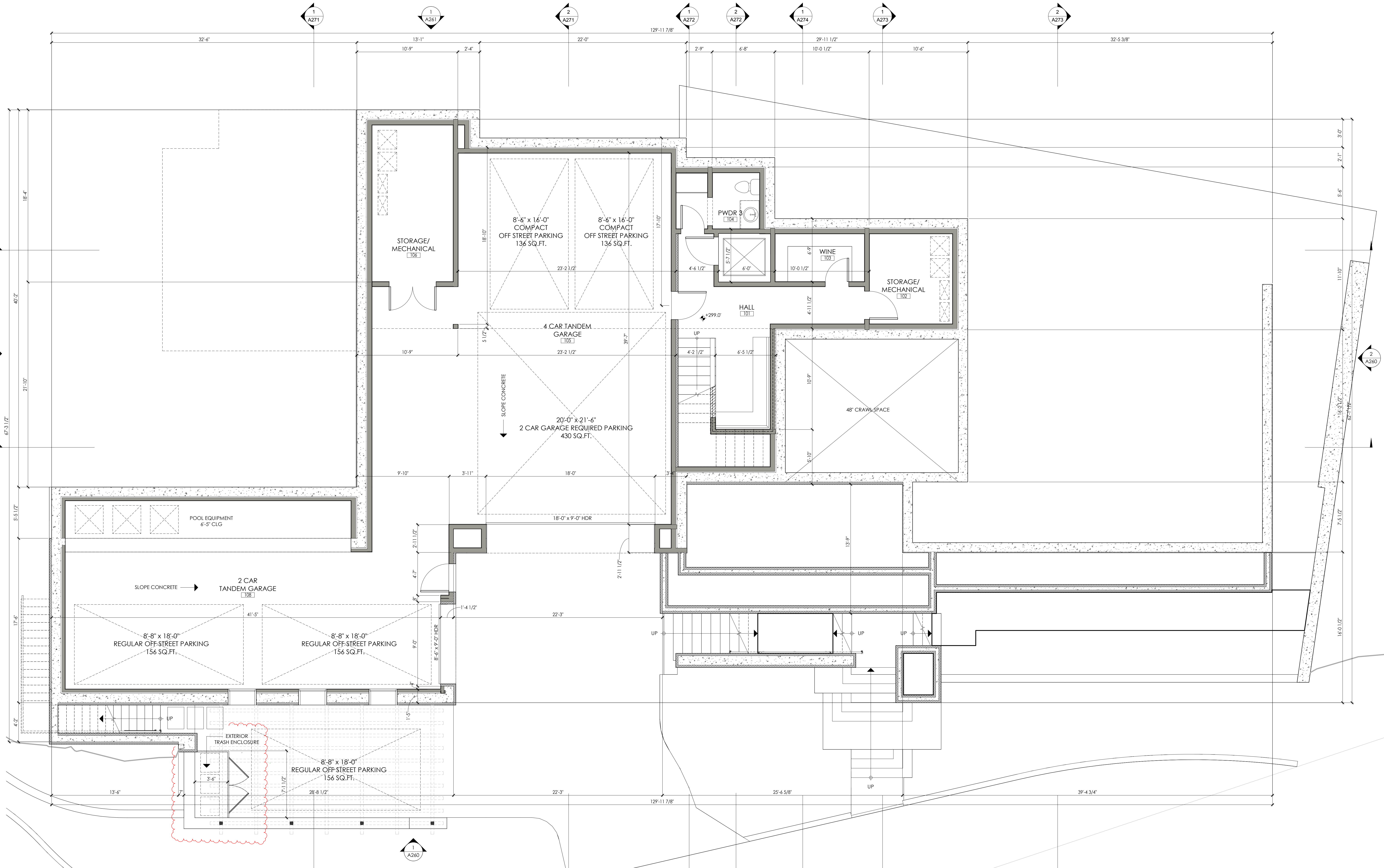
PLANT FORM: Shrubs, Vines, & Succulents							
SYMBOL	NAME	SIZE	QTY	DETAIL	O.C.F.A. FMZ PLANT LIST #	O.C.F.A. FMZ SYMBOL CODE	EXPECTED SIZE (HT. x WIDTH)
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⊙	Beschermetia yuccoides Anole	15 gal, as shown	1	Detail/Sheet	N/A	N/A	3' x 3'
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⊙	Dianella tasmanica Flax Lily	5 gal @ 24" o.c.	34	Detail/Sheet	N/A	N/A	2'-6" x 2'-6"
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⊙	Ficus pumila Creeping Fig	5 gal Staked, as shown	2	Detail/Sheet	N/A	N/A	-
⊙	Grevillea juniperina 'Molonglo' Juniper Grevillea	5 gal @ 48" o.c.	6	Detail/Sheet	N/A	N/A	2' x 4'
⊙	Litope glauca *** Giant Lily Turf	1 gal @ 30" o.c.	59	Detail/Sheet	N/A	N/A	2' x 3'
⊙	Litope spicata 'Silver Dragon' *** Silver Dragon Lily Turf	1 gal @ 18" o.c.	35	Detail/Sheet	N/A	N/A	10' x 12"
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⊙	Stephanotis floribunda Madagascar Jasmine	15 gal Staked, as shown	1	Detail/Sheet	N/A	N/A	-
⊙	NOTE	*** Indicates the use of a plant species within 'Zone A' fuel modification area which does not appear on the OFCA Fuel Modification Plant List.					

PLANT FORM: Ground Cover							
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⊙	Gravel - Crushed 'Comet Granite'	3"	161 SF	Detail/Sheet	N/A	N/A	N/A
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⊙	Gravel - 'Del Rio'	3"	67 SF	Detail/Sheet	N/A	N/A	N/A

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- Contractor must coordinate approval of plant material with City of Las Vegas arborist / inspector.
- 90 day establishment / maintenance from City agreement to start.





FLORNES RESIDENCE

11000 EMERALD BAY LAGUNA BEACH, CA 92651

REVISIONS

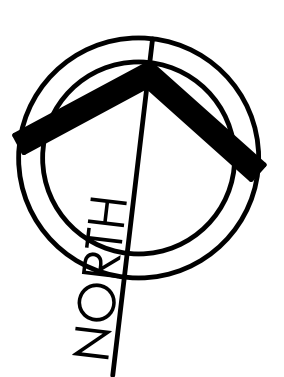
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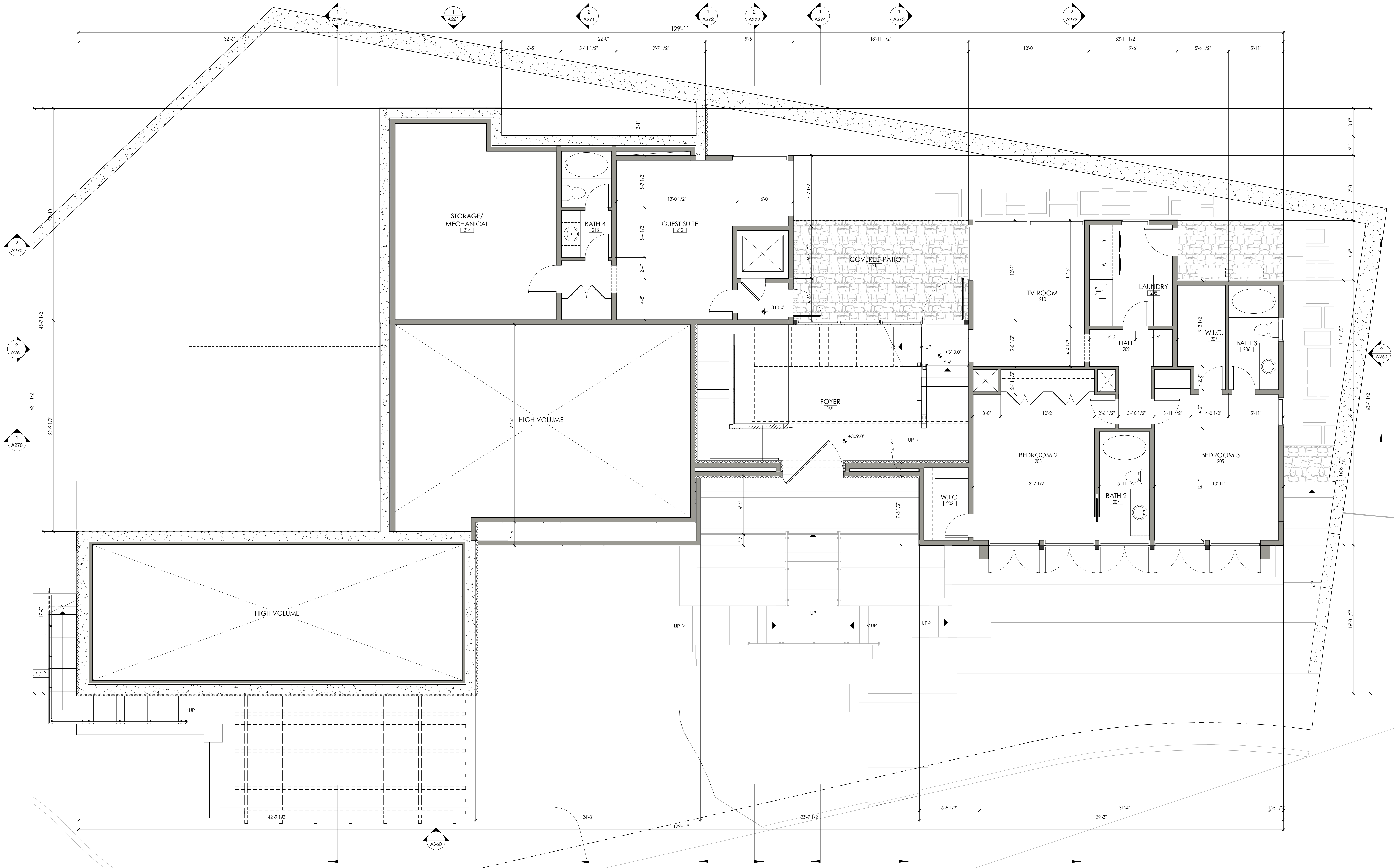
JOB # 1805  
 11/02/2018

LOWER (BASEMENT)  
 LEVEL - FLOOR  
 PLAN

1/4" = 1'-0"

A211

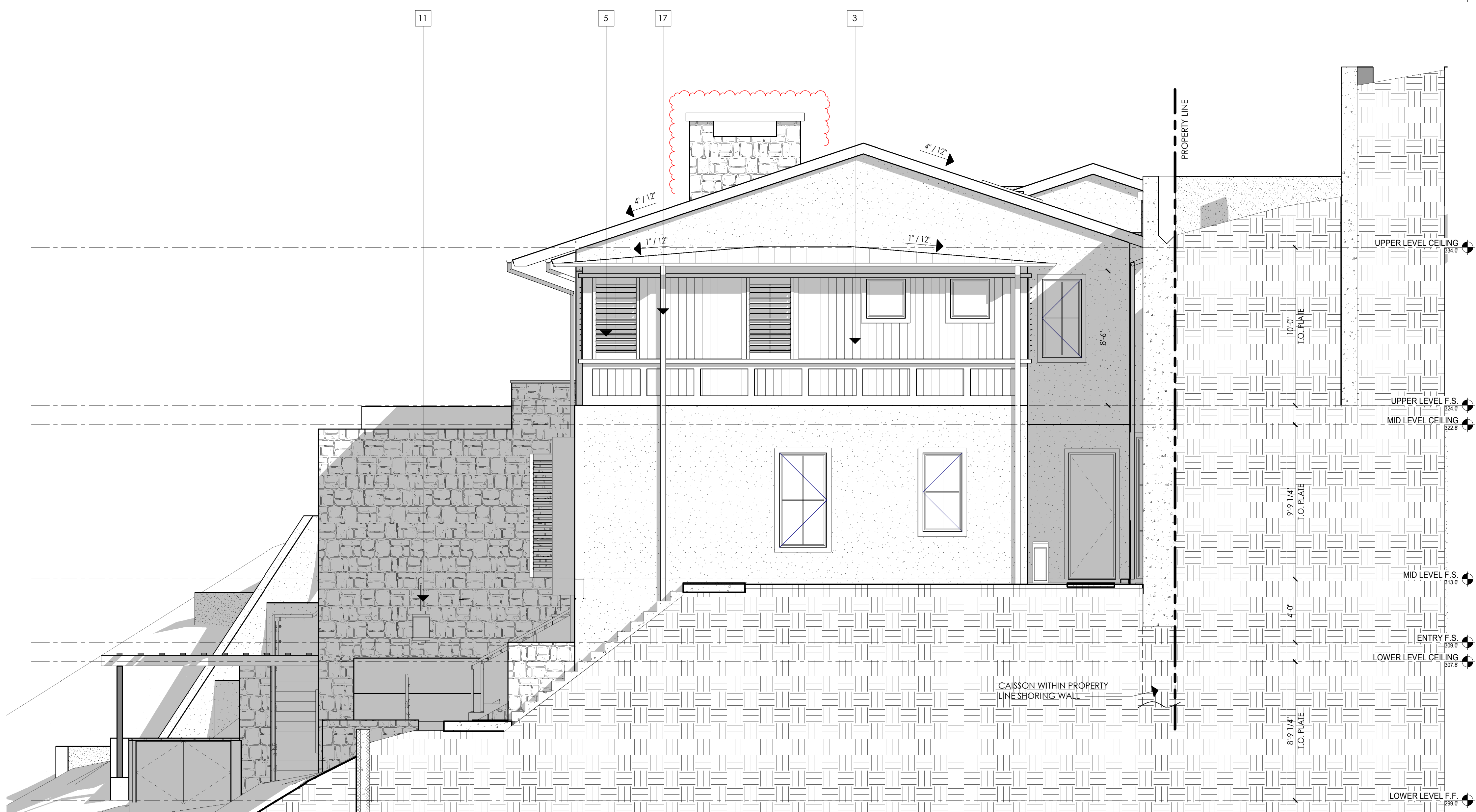








12' MAX BUILDING HEIGHT  
3607



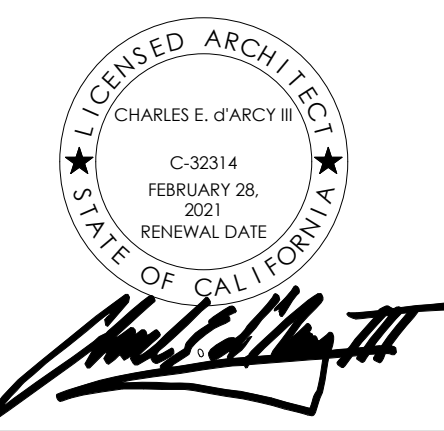
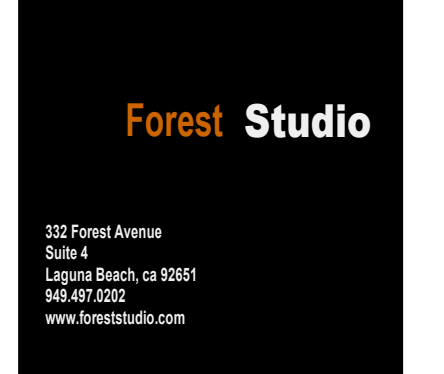
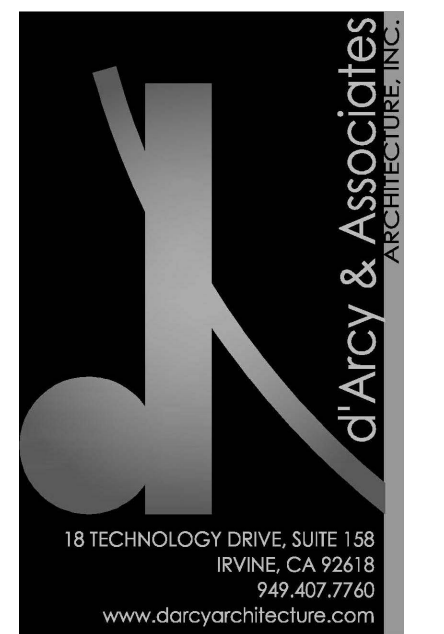
EAST ELEVATION - (RIGHT) ②  
1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- D. WINDOW HEADERS ARE AT X'-X" U.N.O.

EXT. ELEVATION KEYNOTES

- XX SYMBOL
- 1 STUCCO: MERLEX P-100; TEXTURE = SANTA BARBARA SMOOTH  
COLOR = GLACIER WHITE (WARM-WHITE)
  - 2 ROOFING: SLATE TILE, COLOR = SEMI-WEATHERING GRAY
  - 3 WOOD TRIM: LIGHT WIRE BRUSHED CEDAR  
COLOR = FOOTHILL / DRIFTWOOD TONE
  - 4 WOOD RAFTER TAIL: LIGHT WIRE BRUSHED CEDAR  
COLOR = FOOTHILL / DRIFTWOOD TONE
  - 5 WOOD SHUTTERS: LIGHT WIRE BRUSHED CEDAR  
COLOR = FOOTHILL / DRIFTWOOD TONE
  - 6 STONE:  
COLOR/ TYPE = SOUTHERN BUFF LIMESTONE  
(GOLD/ORANGE TONES REMOVED FROM MIX)  
TEXTURE = OVER-GROUTED AND MORTAR-WASHED FOR NEUTRAL  
TONE ON TONE FIELD COLOR AND REMOVAL OF VISUAL  
PATTERN  
GROUT = TO MATCH STONE COLOR
  - 7 STONE CHIMNEY / COLUMN CAP
  - 8 STEEL DOORS / WINDOWS: HOT-DIPPED GALVANIZED STEEL  
COLOR=BLACK/ BRONZE
  - 9 STEEL TRELLIS: COLOR = BLACK/ BRONZE
  - 10 STEEL HANDRAILS/ GUARD RAILS: COLOR = BLACK/ BRONZE
  - 11 STEEL EXTERIOR LIGHT FIXTURES TO COMPLIMENT ARCHITECTURE  
AND MUST BE DOWN LIT OR SHIELDED  
COLOR = BLACK/ BRONZE
  - 12 STEEL / WOOD TRELLIS CANOPY:  
COLOR = BLACK/ BRONZE AND DRIFTWOOD-TONE STAIN
  - 13 STEEL PANELING: COLOR = BLACK/ BRONZE
  - 14 STEEL CANOPY: COLOR = BLACK/ BRONZE
  - 15 STANDING SEAM METAL ROOF: COLOR = UNTREATED COPPER
  - 16 5" HALF-CIRCLE GUTTERS: COLOR: UNTREATED COPPER
  - 17 3" DOWNSPOUT SHALL BE CONNECTED TO THE AREA DRAIN SYSTEM  
COLOR: UNTREATED COPPER
  - 18 SKYLIGHT, SIZE PER SCHEDULE
  - 19 VERTICAL/ UPRIGHT A/C CONDENSER

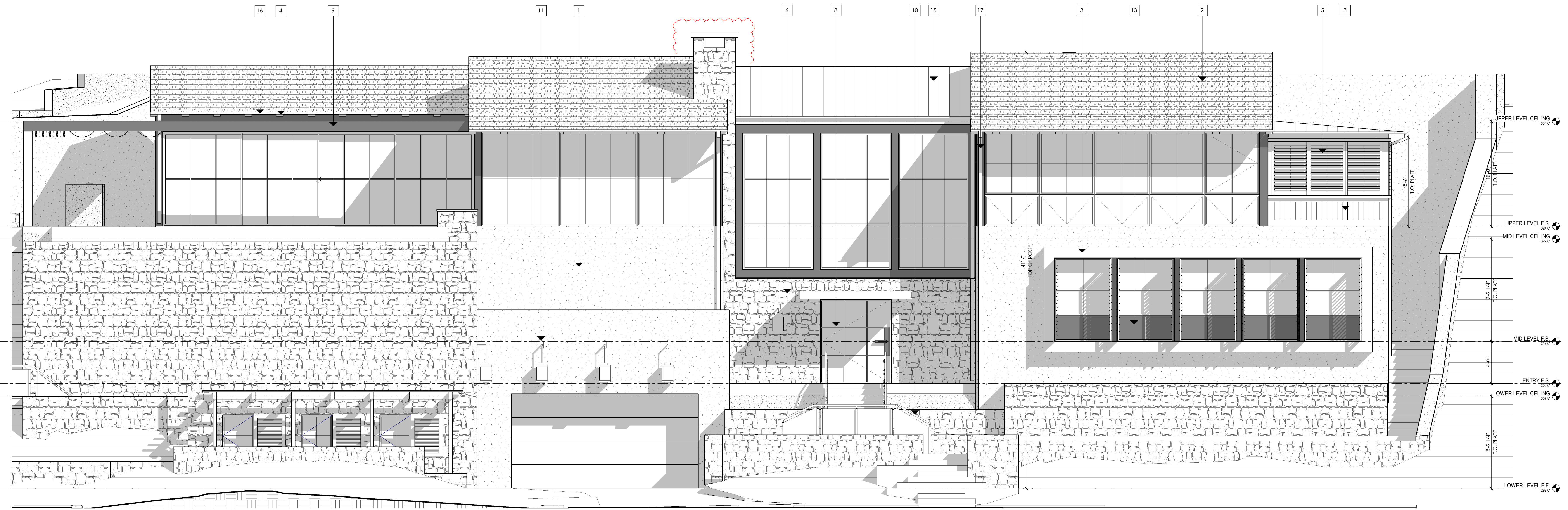


FLORNES RESIDENCE  
1100 EMERALD BAY LAGUNA BEACH, CA 92651

REVISIONS


JOB # 1805  
11/02/2018

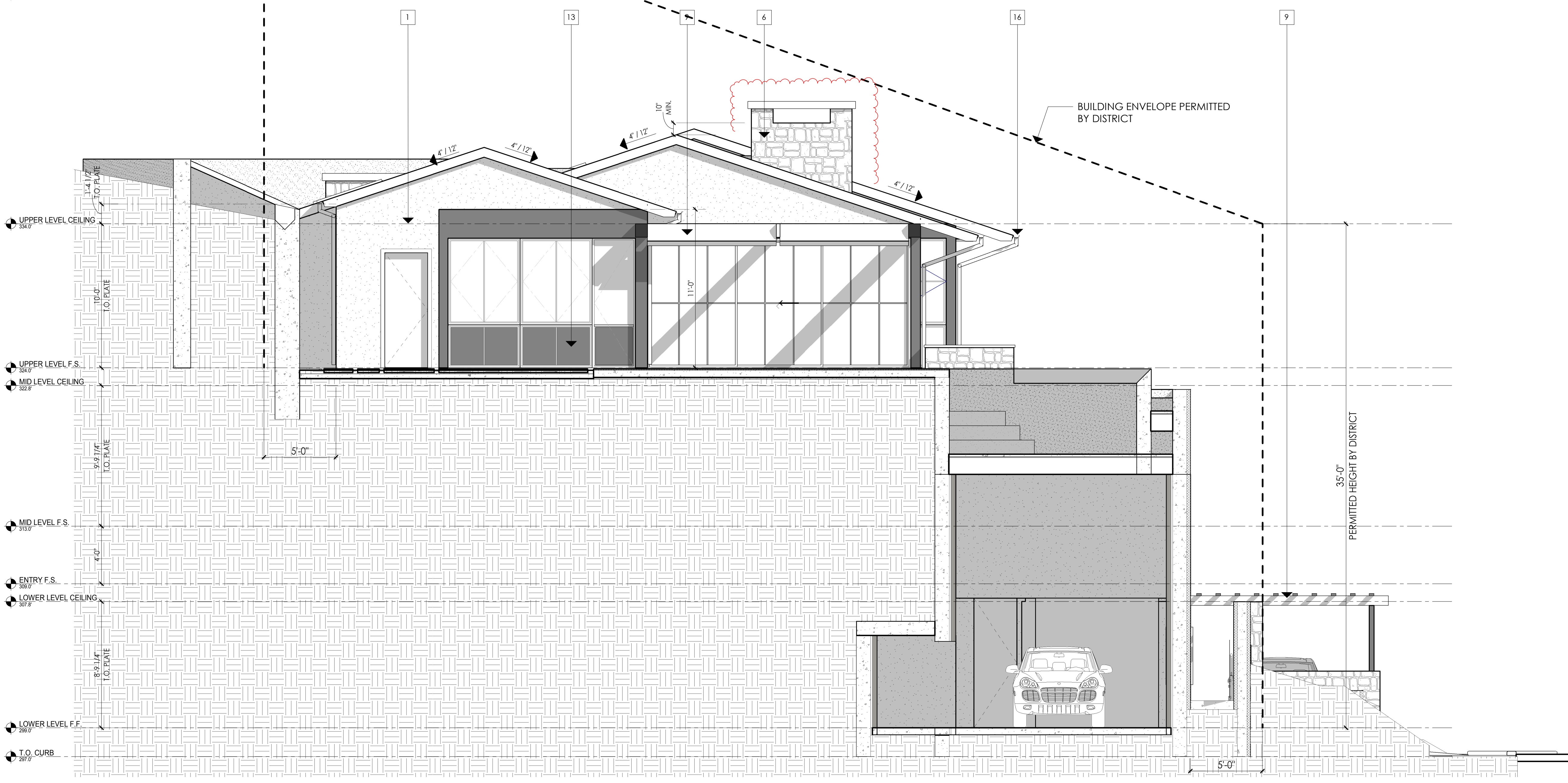
EXTERIOR ELEVATIONS  
As indicated  
A260



SOUTH ELEVATION - (FRONT) ①  
1/4" = 1'-0"



15' MAX BUILDING HEIGHT  
350.0'



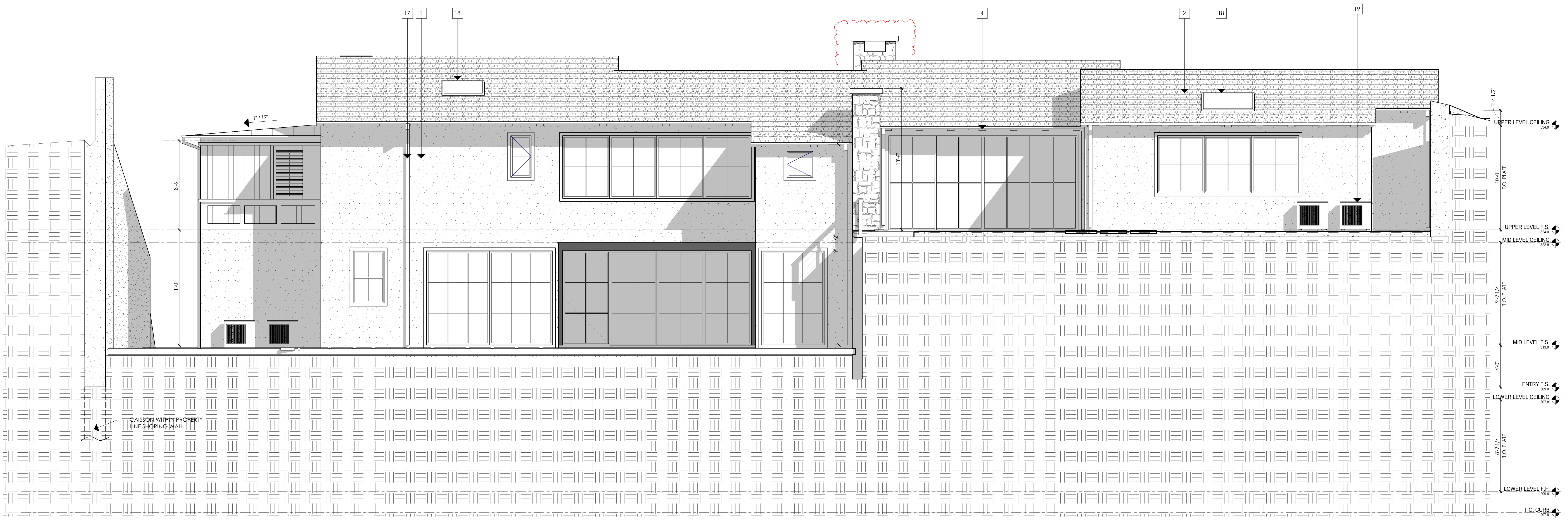
WEST ELEVATION - (LEFT) ②  
1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

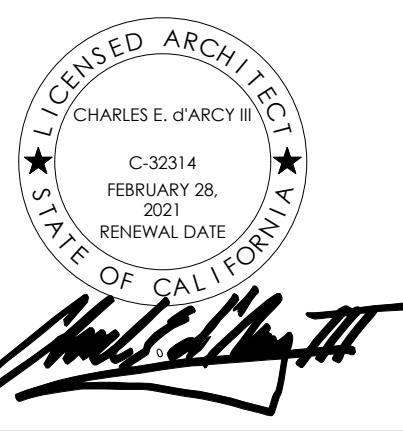
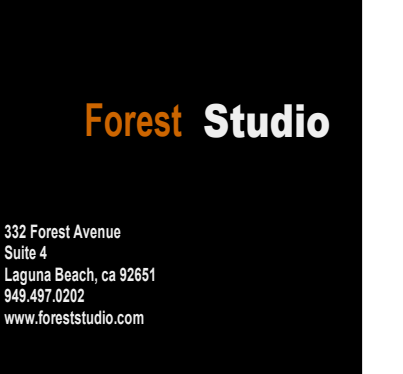
- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- D. WINDOW HEADERS ARE AT 'X'-'X" U.N.O.

EXT. ELEVATION KEYNOTES

- XX SYMBOL
- 1 STUCCO: MERLEX P-100; TEXTURE = SANTA BARBARA SMOOTH; COLOR = GLACIER WHITE (WARM-WHITE)
  - 2 ROOFING: SLATE TILE, COLOR = SEMI-WEATHERING GRAY
  - 3 WOOD TRIM: LIGHT WIRE BRUSHED CEDAR; COLOR = FOOTHILL/ 'DRIFTWOOD' TONE
  - 4 WOOD RAFTER TAIL: LIGHT WIRE BRUSHED CEDAR; COLOR = FOOTHILL/ 'DRIFTWOOD' TONE
  - 5 WOOD SHUTTERS: LIGHT WIRE BRUSHED CEDAR; COLOR = FOOTHILL/ 'DRIFTWOOD' TONE
  - 6 STONE: COLOR/ TYPE = SOUTHERN BUFF LIMESTONE (GOLD/ORANGE TONES REMOVED FROM MIX); TEXTURE = OVER-GROUTED AND MORTAR-WASHED FOR NEUTRAL 'TONE ON TONE' FIELD COLOR AND REMOVAL OF VISUAL PATTERN; GROUT = TO MATCH STONE COLOR
  - 7 STONE CHIMNEY/ COLUMN CAP
  - 8 STEEL DOORS/ WINDOWS: HOT-DIPPED GALVANIZED STEEL; COLOR=BLACK/ BRONZE
  - 9 STEEL TRELLIS: COLOR = BLACK/ BRONZE
  - 10 STEEL HANDRAILS/ GUARD RAILS: COLOR = BLACK/ BRONZE
  - 11 STEEL EXTERIOR LIGHT FIXTURES TO COMPLIMENT ARCHITECTURE AND MUST BE DOWN LIT OR SHIELDED; COLOR = BLACK/ BRONZE
  - 12 STEEL/ WOOD TRELLIS CANOPY: COLOR = BLACK/ BRONZE AND DRIFTWOOD-TONE STAIN
  - 13 STEEL PANELING: COLOR = BLACK/ BRONZE
  - 14 STEEL CANOPY: COLOR = BLACK/ BRONZE
  - 15 STANDING SEAM METAL ROOF: COLOR = UNTREATED COPPER
  - 16 5" HALF-CIRCLE GUTTERS: COLOR: UNTREATED COPPER
  - 17 3" DOWNSPOUT SHALL BE CONNECTED TO THE AREA DRAIN SYSTEM; COLOR: UNTREATED COPPER
  - 18 SKYLIGHT, SIZE PER SCHEDULE
  - 19 VERTICAL/ UPRIGHT A/C CONDENSER



NORTH ELEVATION - (REAR) ①  
1/4" = 1'-0"



FLORNES RESIDENCE

1100 EMERALD BAY LAGUNA BEACH, CA 92651

REVISIONS

NO.	DATE	DESCRIPTION

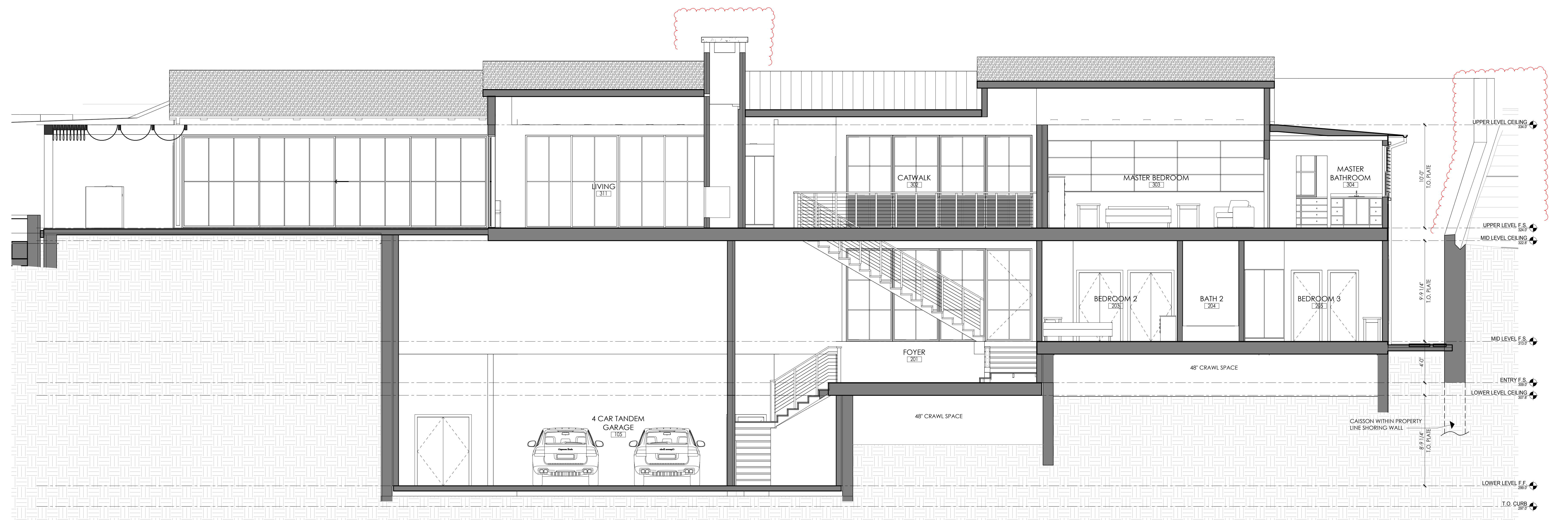
JOB # 1805  
11/02/2018

EXTERIOR ELEVATIONS  
As indicated

A261



SECTION B  
1/4" = 1'-0"



SECTION A  
1/4" = 1'-0"

FLORNES RESIDENCE

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REVISIONS

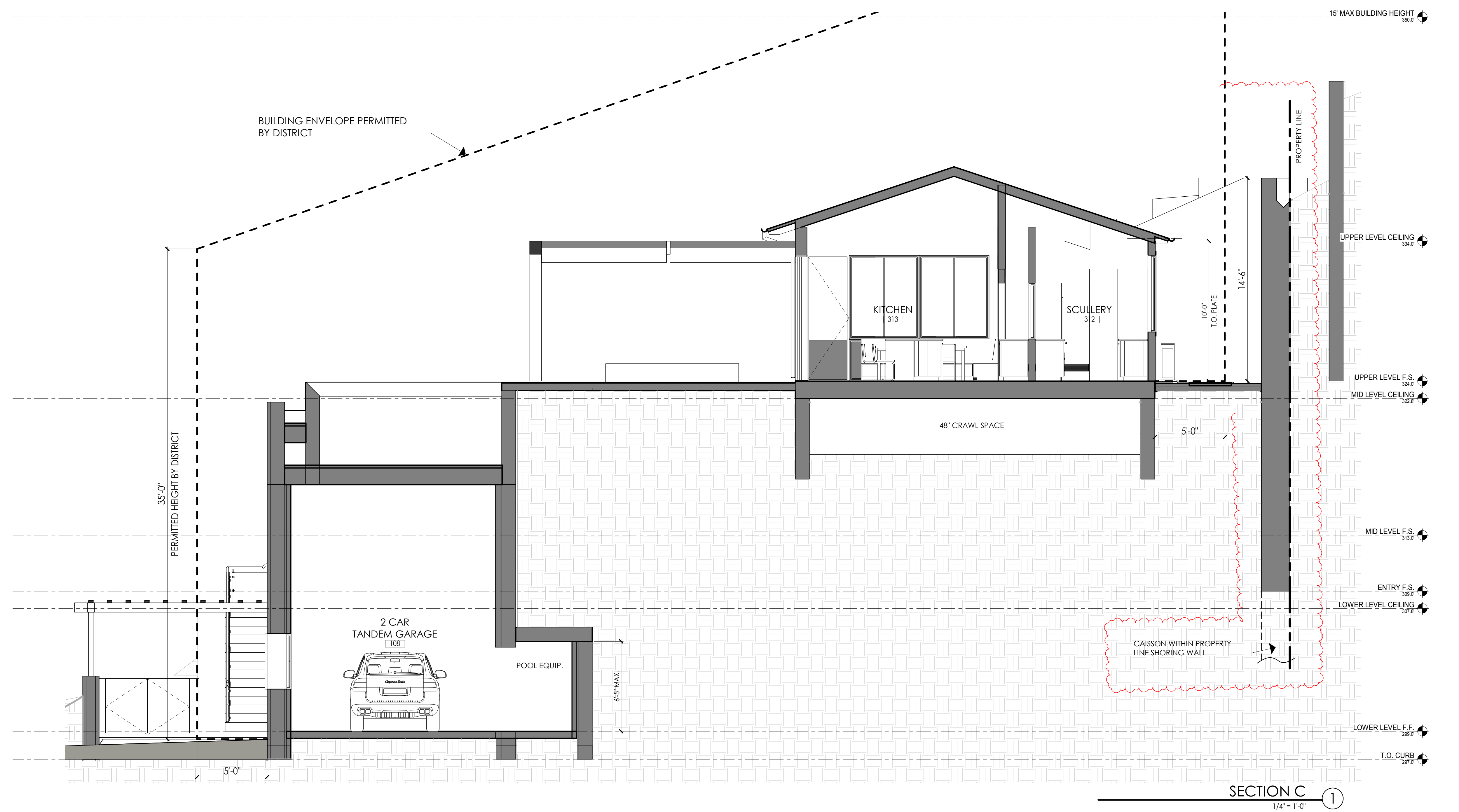
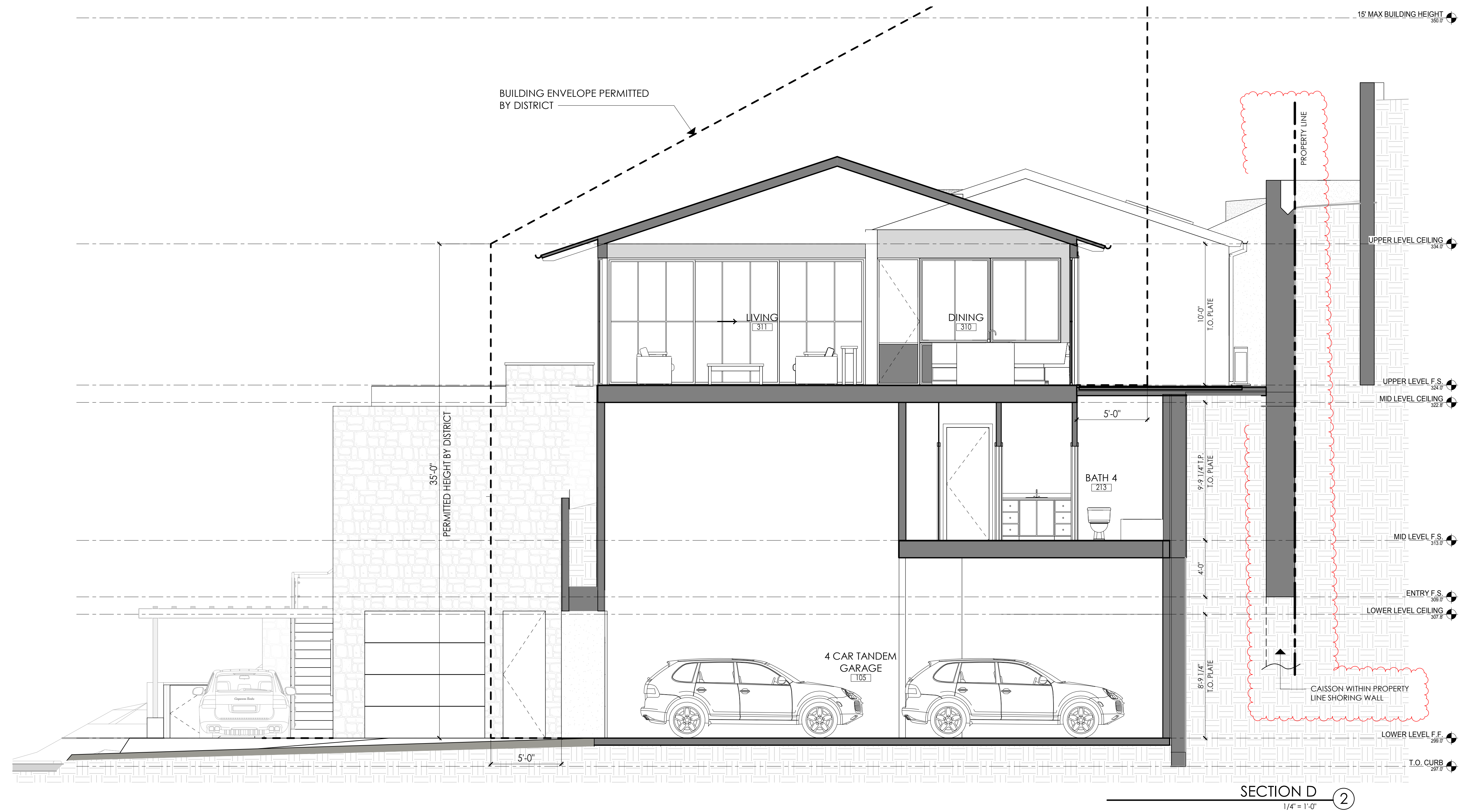
JOB # 1805

11/02/2018

BUILDING SECTIONS

1/4" = 1'-0"

A270



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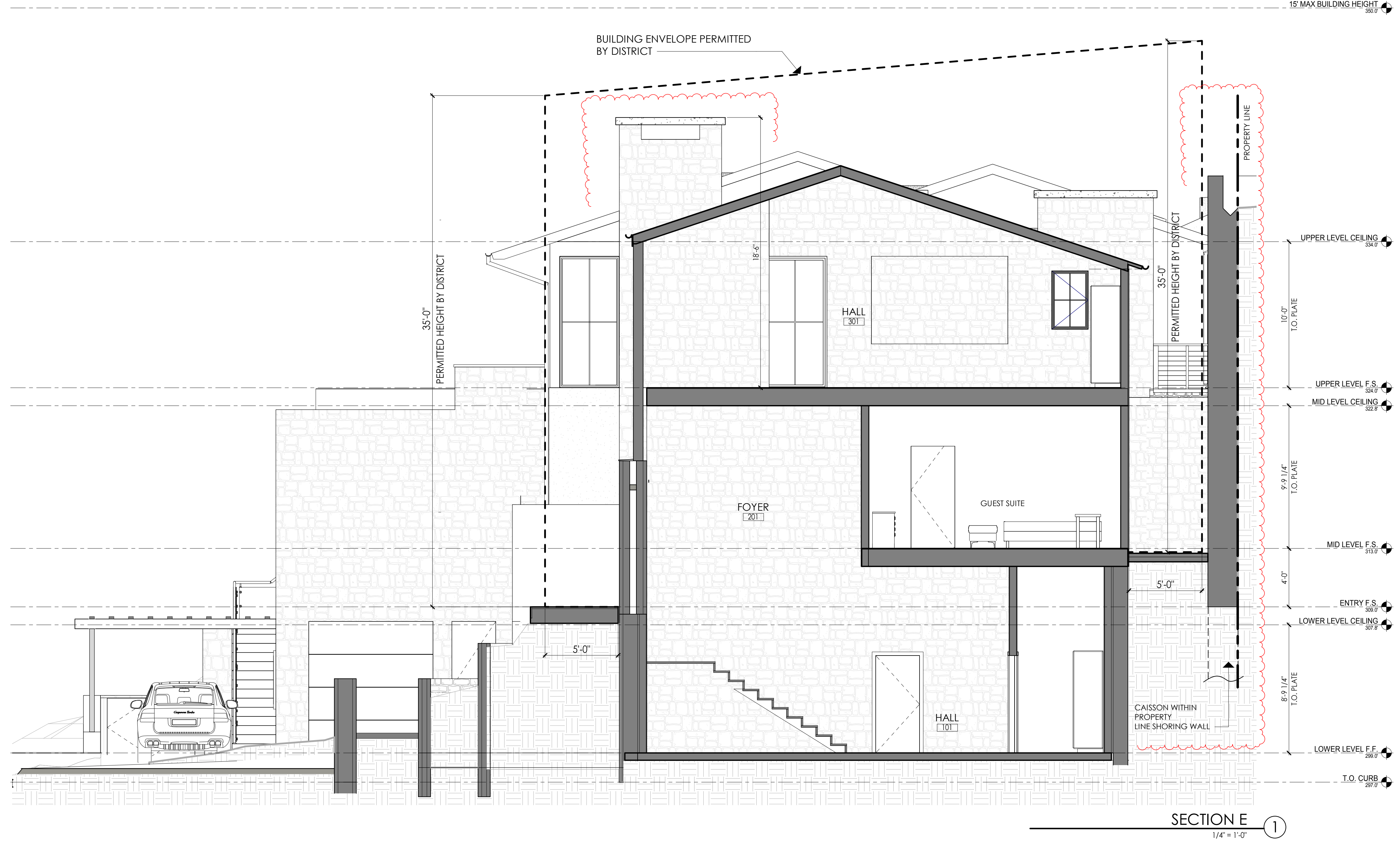
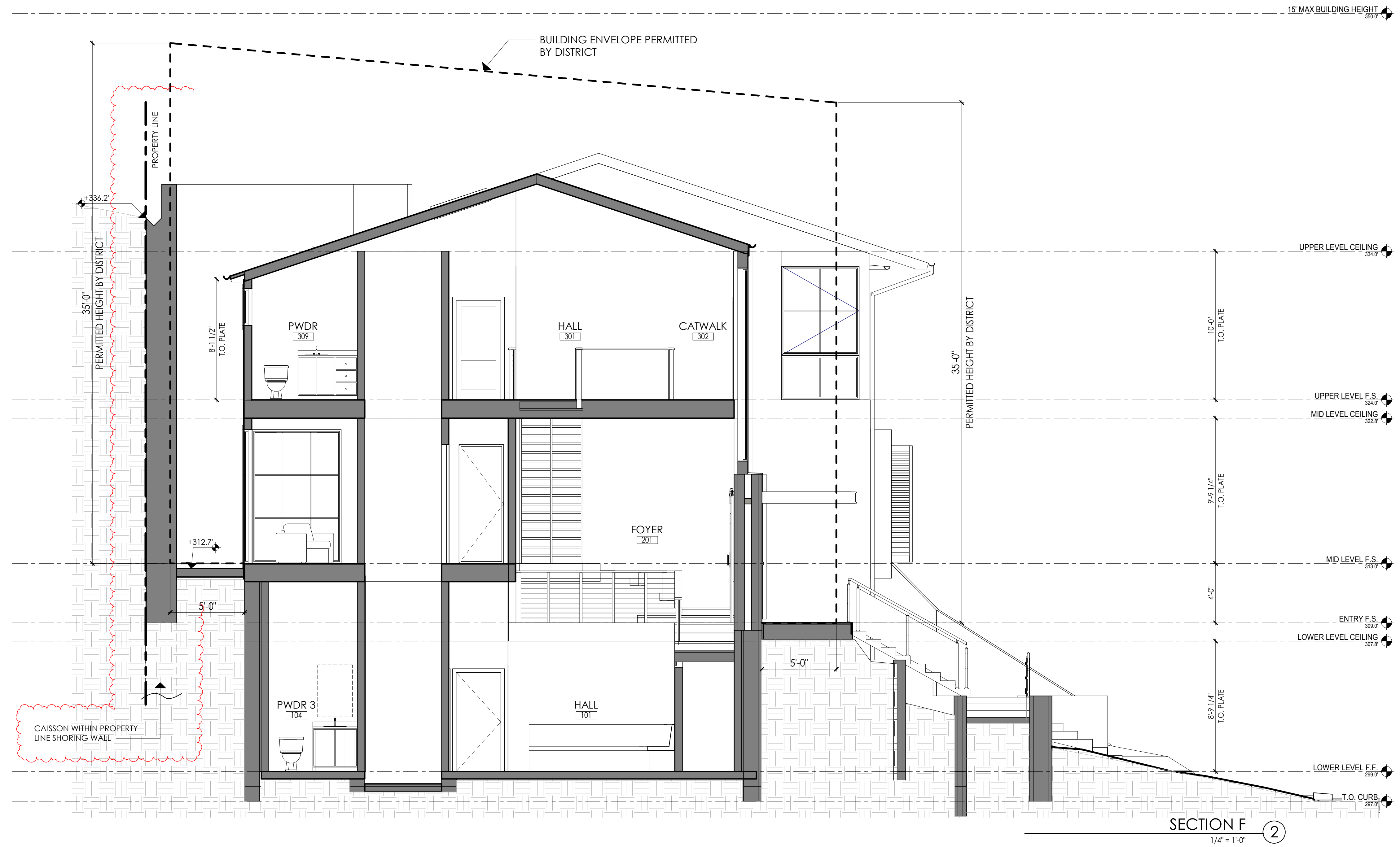
JOB # 1805

11/02/2018

BUILDING SECTIONS

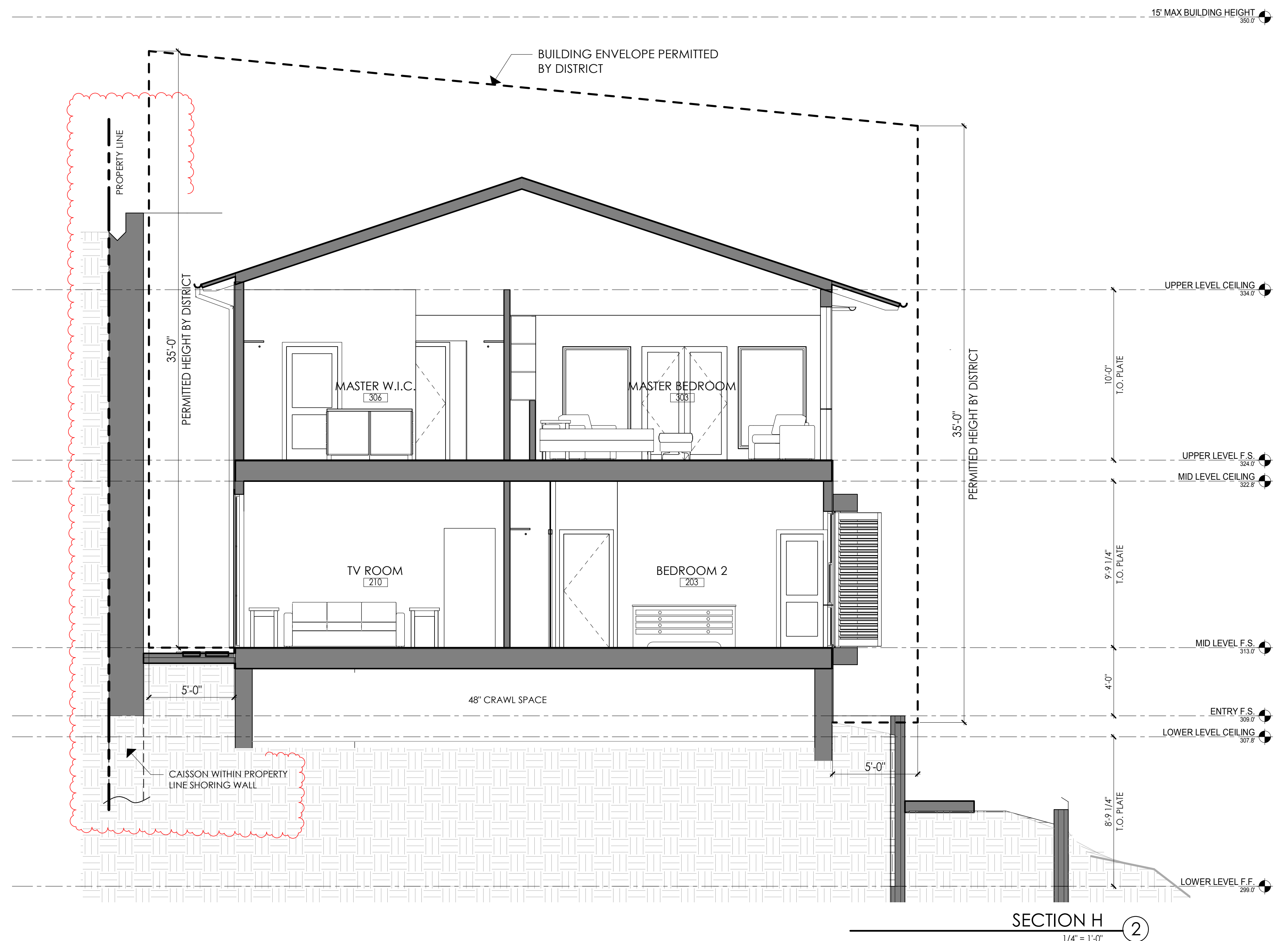
1/4" = 1'-0"

A271

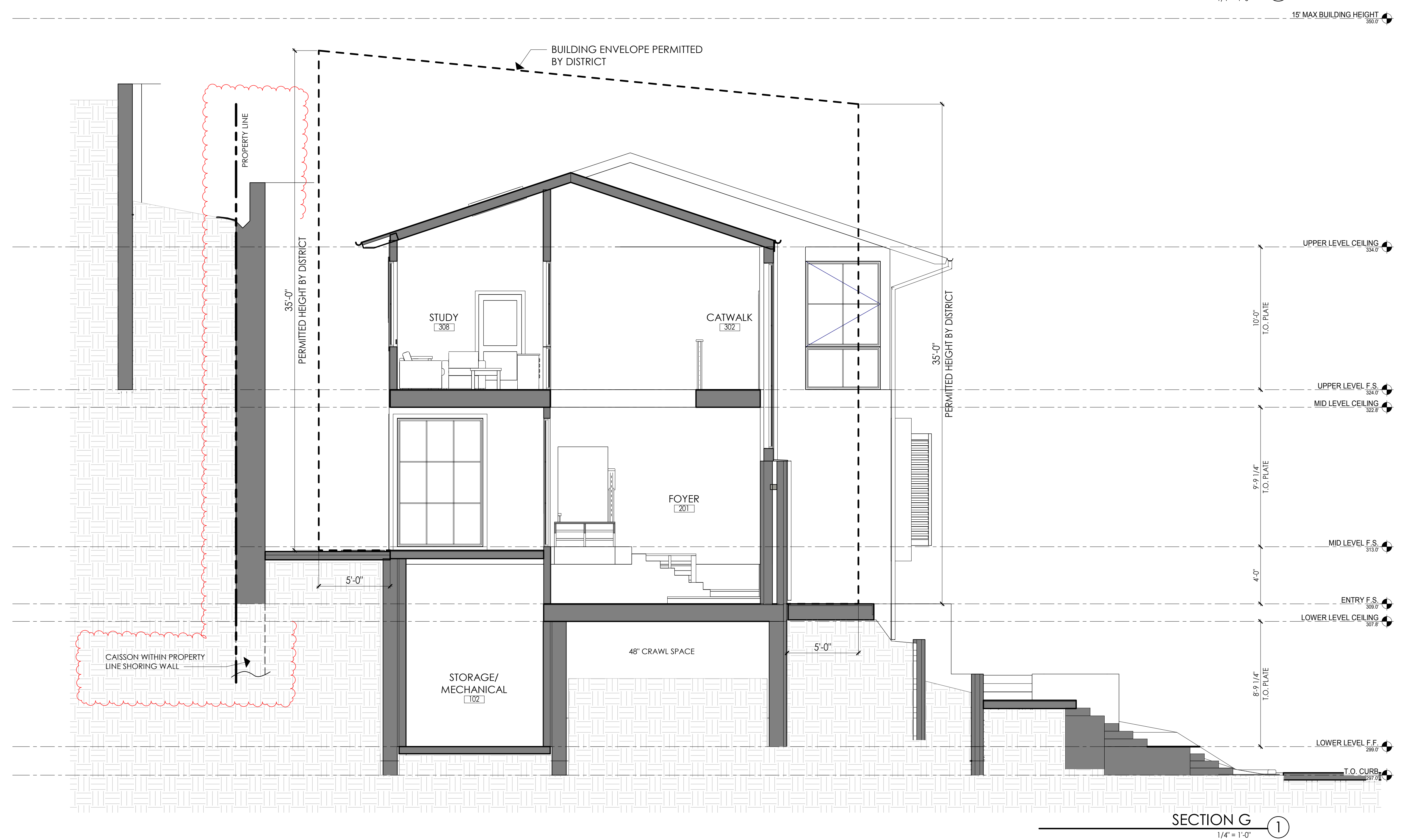


**REVISIONS**

NO.	DATE	DESCRIPTION



SECTION H  
1/4" = 1'-0"



SECTION G  
1/4" = 1'-0"

FLORNES RESIDENCE

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REVISIONS

NO.	DATE	DESCRIPTION

JOB # 1805  
11/02/2018

